



ARCHITECTURAL ADVISORY COMMITTEE STAFF REPORT

DATE: APRIL 6, 2015

SUBJECT: FRANK M. HOMES INC, REQUESTING A MAJOR ARCHITECTURAL APPROVAL FOR A 2,913-SQUARE FOOT HOUSE ALONG A MAJOR THOROUGHFARE AT 2700 NORTH SUNRISE WAY, ZONE R-1-C (CASE 3.3849 MAJ) (GM)

FROM: Flinn Fagg, AICP, Director of Planning Services

SUMMARY

The Architectural Advisory Committee to review a request to construct a 2,913-square foot house along North Sunrise Way, a major thoroughfare.

RECOMMENDATION:

Approve as submitted with conditions.

ISSUES:

- North Sunrise Way is considered as a major thoroughfare requiring architectural review.

BACKGROUND:

Related Relevant City Actions by Planning, Fire, Building, etc...

None

Most Recent Ownership

11/27/2002	Frank M. Homes Inc.
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Neighborhood Notification

Not Required

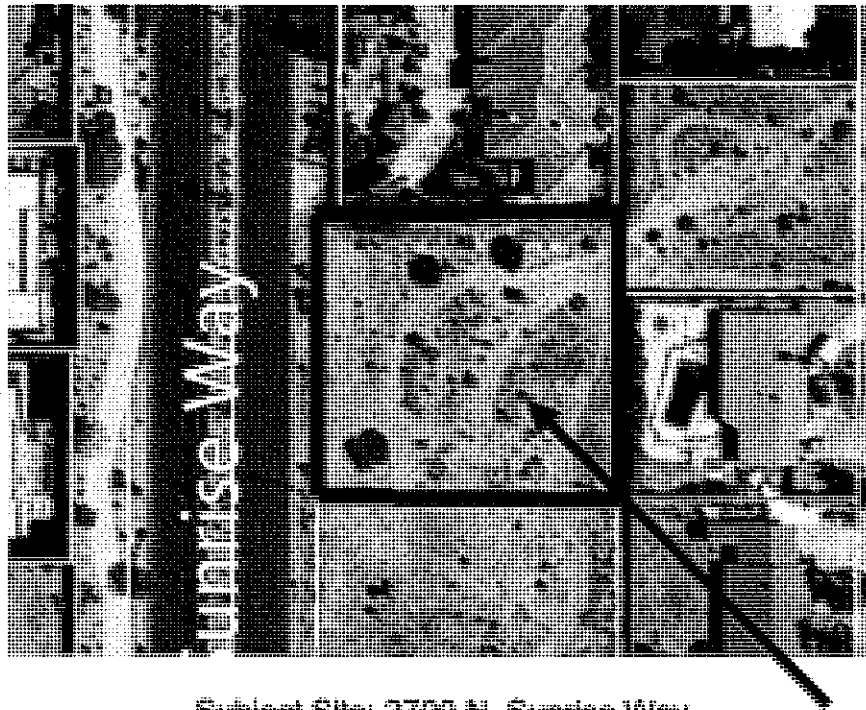
Field Check

March 2015	Staff visited site to observe existing conditions
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Notification

Not Required

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Area	22,080-square feet



Subject Site: 2700 N. Sunrise Way

ANALYSIS:

<i>Surrounding Property</i>	<i>Existing General Plan Designations</i>	<i>Existing Land Use</i>	<i>Existing Zoning Designations</i>
Subject Property	VLDR (Very Low Density Residential), 4 Units per acre	Single-Family Residential - Vacant	R-1-C Single-Family Residential
North	VLDR (Very Low Density Residential), 4 Units per acre	Single-Family Residential	R-1-C Single-Family Residential
South	VLDR (Very Low Density Residential), 4 Units per acre	Single-Family Residential - Vacant	R-1-C Single-Family Residential
East	VLDR (Very Low Density Residential), 4 Units per acre	Single-Family Residential	R-1-C Single-Family Residential
West	LDR (Low Density Residential)	Single-Family Residential – Enclave Development	R-1-C Single-Family Residential

DEVELOPMENT STANDARDS:

	R-1-C	Proposed Project
Lot Area	10,000 – sq. ft.	22,080–sq. ft. (conforms)
Lot Width	100 feet	138 feet (conforms)
Lot Depth	140 feet – Major Thoroughfare	160 feet (conforms)
Front Yard	50 feet	61 feet (conforms)
Side Yard	10 feet	14 feet (conforms)
Rear Yard	15 feet	27 feet (conforms)
Building Height (max.)	12 feet at setback line to max 18 at a 4:12 slope	15.10' feet from established pad height (conforms)
Bldg. Coverage	35% lot coverage	16.19% (conforms)
House / Garage	1,500 – sq ft	2,913 - sq. ft. (conforms)
Off-street parking	2 covered spaces	2 covered provided (conforms)
Landscaping	No specific requirements	Landscape plan provided (conforms)

PROJECT DESCRIPTION:

The applicant is seeking approval to construct a 2,913-square foot house and garage on a vacant lot on a major thoroughfare. The proposed large lot is 22,080-square feet in size located on the east side of North Sunrise Way between East Racquet Club Drive and East Francis Drive. The lot is flat with a block wall to the north and wooden fence on the east property line. The contemporary designed U-shaped house will have a front yard setback of 61 feet; a side yard setback of 14 feet; and a rear yard setback of 27 feet. The proposed house will be comprised of three bedrooms with an attached casita and pool in the front yard. Building materials to include a stucco finish "Dove Gray" color; vinyl windows beige framed; stone veneer on the west facing bedrooms; and hanger rod canopy over doors and windows facing west. The main portion of the house will have an elevated shed roof with clerestory windows at a maximum height of 15.8' tall; and two smaller shed roofs over the bedrooms.

The landscape plan proposes four Cypress trees framing the driveway and pedestrian gate; Texas Ranger, agave, ocotillo, and lantana planted between the sidewalk and 6' tall wall. The highly visible front wall will be constructed of 6" split face blocks with integrated tan color. A detail of the wall is shown on the landscape plan and a picture of the proposed block is attached as an exhibit. The interior landscaping will consist of two lawn areas, eight lemon trees, and other desert landscaping.

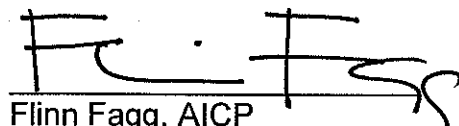
D. Planning Commission Architectural Advisory Committee Review Guidelines.

The Planning Commission and Architectural Advisory Committee shall examine the material submitted with the architectural approval application and specific aspects of design shall be examined to determine whether the proposed development will provide desirable environment for its occupants as well as being compatible with the character of adjacent and surrounding developments, and whether aesthetically it is of good composition, materials, textures and colors. Conformance will be evaluated, based on consideration of the following:

ARCHITECTURAL GUIDELINES:

Item	Guideline	Conforms?	Staff Evaluation
1	Is the proposed development compatible with the character of adjacent and surrounding developments?	Yes	Proposed new house is designed to complement the parkway feel along N. Sunrise Way with front yard setbacks consistent with neighboring properties.
2	Is the proposed development of good composition, materials, textures, and colors?	Yes	Building materials to consist of stucco walls, stone veneer, framed glass window system, and integrated color for front yard block wall.
3	Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood/community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted	Yes	Contemporary architectural design utilizing flat shed roofs of varying heights appropriate with surrounding developments.
4	Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment	Yes	The maximum building height of 15.8'; overall mass, and setbacks are all in keeping with the required development standards for lots in the R-1-C zone along a major thoroughfare.
5	Building design, materials and colors to be sympathetic with desert surroundings	Yes	Proposed building exterior to include stucco, stone veneer, and block walls. Front block wall to be split face with integrated brown color.
6	Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously	Yes	The use of hanger rod canopies and long flat roof overhangs will provide solar control and add visual interest to the house. Landscape plan to use a variety of desert plants providing a formal entrance while maintaining a large portion of the site in native vegetation.


Glenn Mlaker, AICP
Assistant Planner

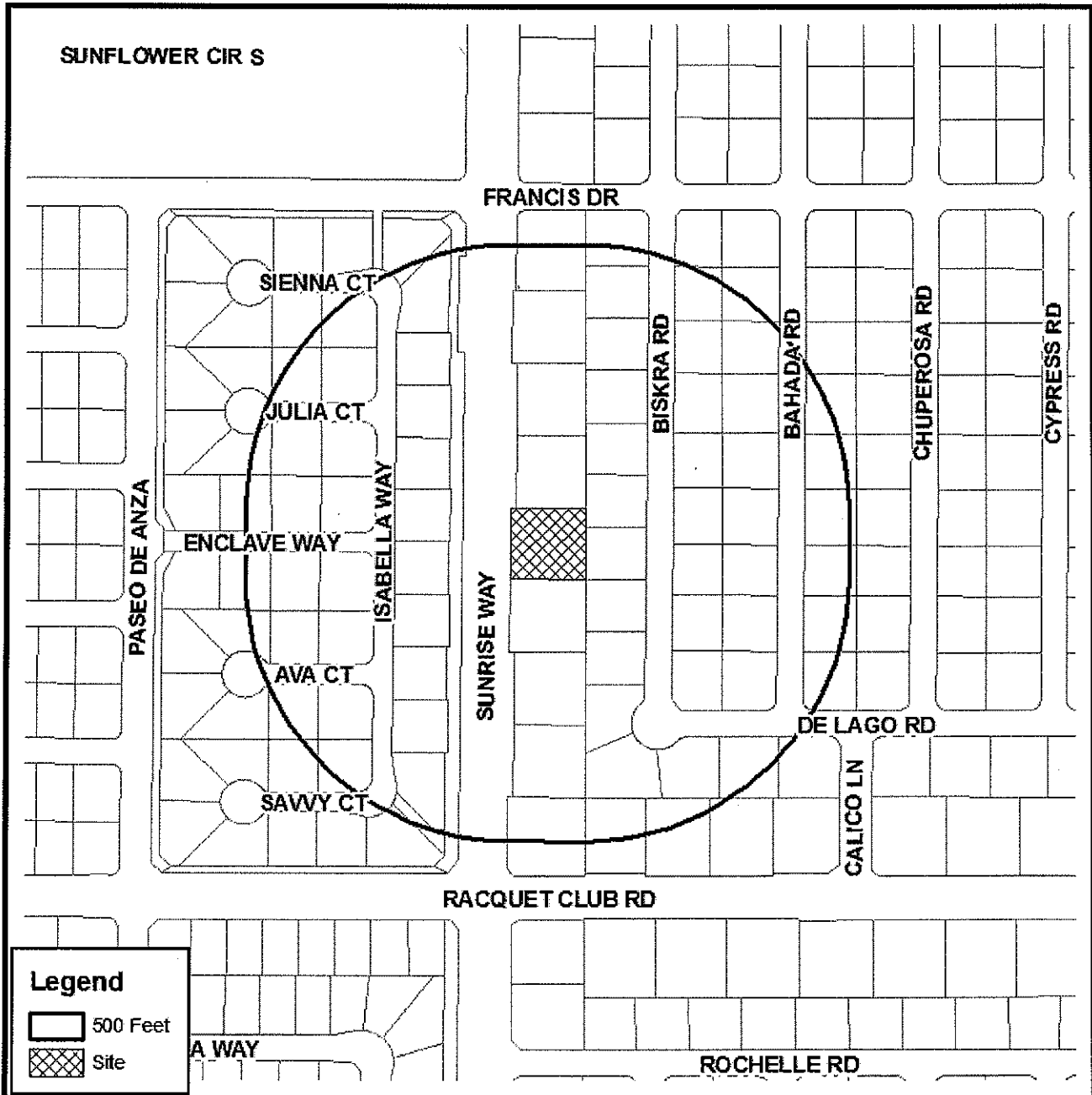
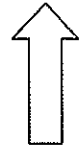

Flinn Fagg, AICP
Director of Planning Services

Attachments:

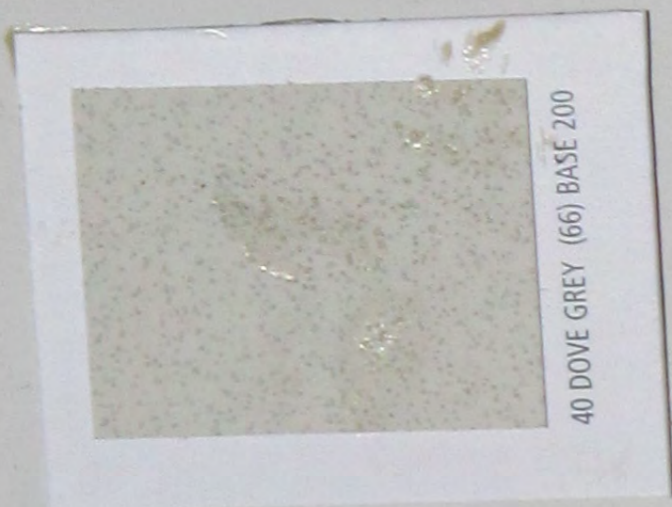
1. Vicinity Map
2. Site Photograph
3. Material Board / Block Picture
4. Site Plan / Landscape Plan
5. Building Elevations
6. Floor Plans
7. 3D Perspective



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS



3.3849

RECEIVED

MAY 17, 2015

PLANNING SERVICES
DEPARTMENT

01/04/2015

CONSTRUCTION LEGEND:

- 1

4" Concrete slab around the pool.
- 2

6' High Garden Wall ,integrated tan 6" blocks, split face for the front.
- 3

4" Concrete Patio.
- 4

20' x 40' Pool / Spa.
- 5

Decomposed Granite (DG)
- 6

Planter Areas.
- 7

Lawn area.
- 8

3/4" Decorative Rocks.
- 9

Driveway Approach.
- 10

Existing Curb.
- 11

Existing garden Wall.
- 12

48" WI Gate with self closing Hinges.
- 13

15' WI Automatic Entry Gate.
- 14

Concrete Driveway
- 15

Concrete Walk Way.
- 16

Drain Ditch with rocks








GRADING NOTE:

This lot **DOES NOT** require a grading plan.
Amount of dirt moved is 36 cubic yards.
(less than 50 cubic yard limit.)

IRRIGATION NOTES:

1. Trees and shrubs shall be on separate valves and will feed the plants with drip irrigation system.
2. Lawn area shall be on a separate valve with spray heads.
No head shall have any over spray outside the lawn area.
3. All valves shall be on a timer.

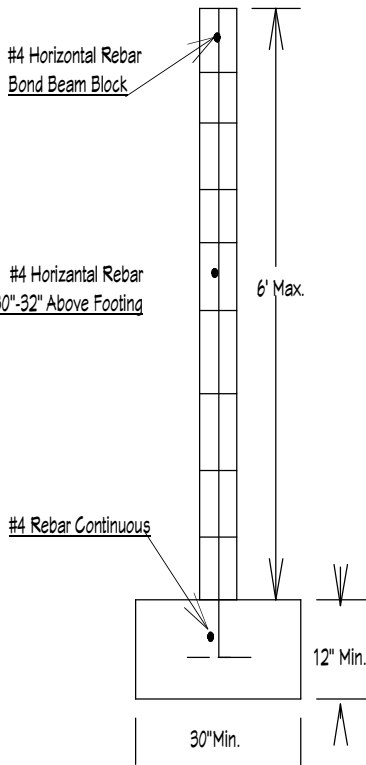
PLANT LEGEND

Plant ID Symbol	Plant Name	Quantity	Size (Gallon)	Square Footage of Planted Area	Water Use Estimate
	Cypress	4	15	6	Med., 0.7
	Occatillo	3	15	6	Mod, 0.5
	New Gold Lantana	20	5	5	Mod, 0.5
	Texas Ranger	32	5	2	mod, 0.5
	Agave Americana	4	5	4	Mod, 0.5
	Deer Grass	30	5	2	Low, 0.5
	Lemon Tree	6	15	5	med., 0.7

1st Floor

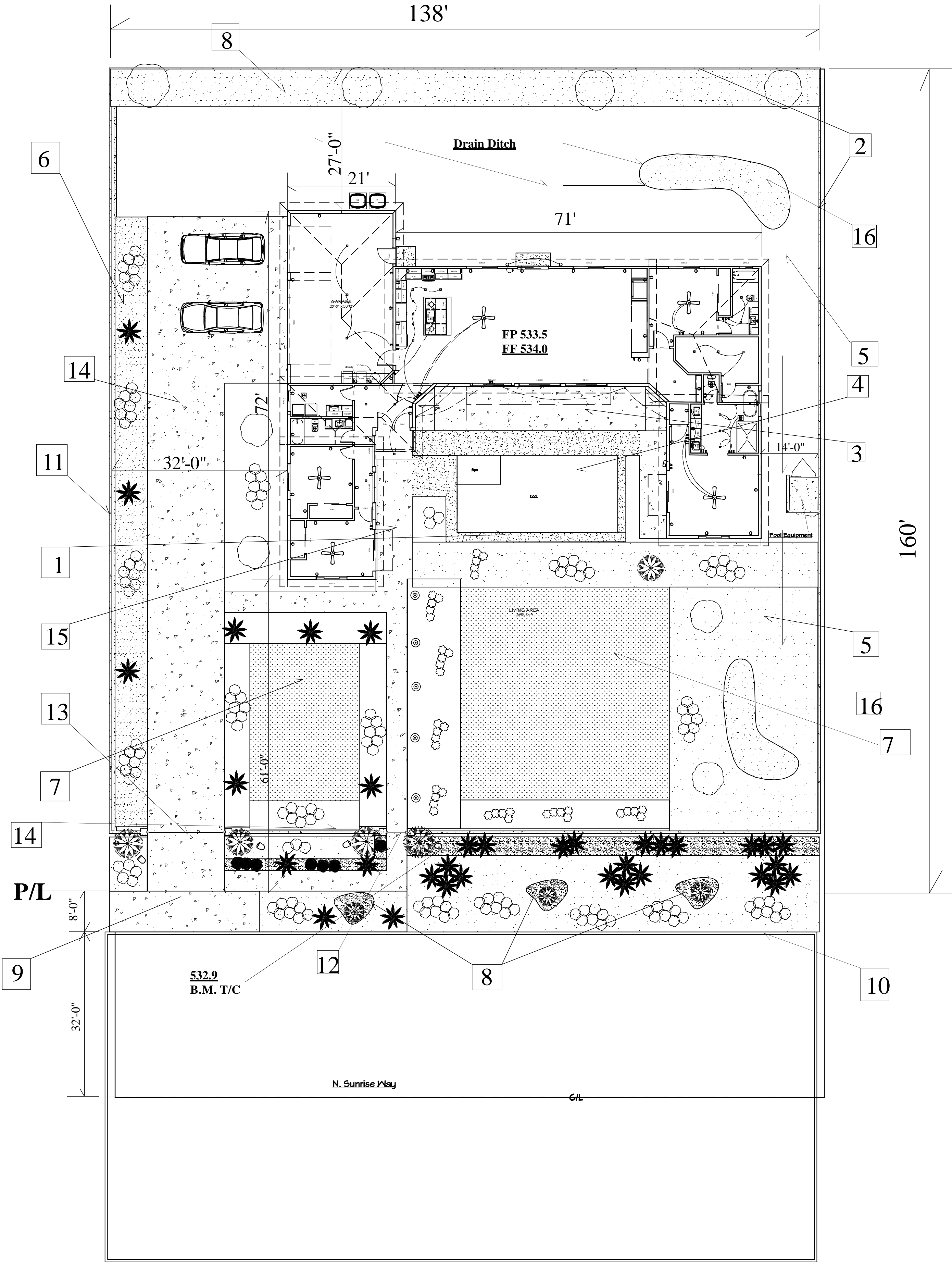
EXTERIOR LIGHT LEGEND:

-  Path Light
-  Spot Light



1. Materials: conc. 2000 psi, Mortar 1800 psi, Grout 2000psi, Blocks C-90N.
2. Max Grade differential opposite sides: 6"
3. Min. Lap rebar: 24", maintain 3" clearance from soil.
4. Center reinforcing steel in the center of blocks.
5. Inspection needed prior to footing and grout placement.

Block Wall City Standard Detail



1st Floor

Vicinity Map



REVISION TABLE

NUMBER	DATE	DESCRIPTION

Site and landscaping Plan

Owner: Frank Moayeddi

2700 North Sunrise Way, Palm Springs, Ca. 92262

Project: Single Family Residence

Occupancy: R-3

Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:

Frank Moayeddi

P.O. Box 2747, Mission Viejo, Ca. 92690

(760) 774-6816

DATE:

3/31/2015

SCALE:

1/4"=1'-0

SHEET:

A-1



Electrical Notes:

1. All outlets serving kitchen counters shall be GFI.

2. Minimum of two appliance circuits, 20 Amps, for kitchen appliances.

3. No more than two bathroom receptacles shall be served with one 20 Amp circuit.

4. Small appliance branch and the laundry branch circuits shall supply only the receptacle outlets specified in section 220-b and 4c.

5. ground wire shall be #4 copper connected to the upher rebar and the gas line.

6. General lighting wire size shall be #14 copper. All appliance wire sizes shall be #12 copper.

7. Service panel shall not be installed within the required shear wall panel.

8. Receptacle outlets locations shall comply with NEC Art.

9. Countertop receptacle outlets shall comply with NEC Art 210-52C.

10. Bedroom branch circuits shall be Arc Fault Protected (NEC Art 210-12B)

11. Ground Fault Circuit Interrupter (GFI) shall comply with NEC Art 210-8

12. All 125-Volt single phase, 15 and 20 amp receptacles installed in bathroom, kitchen counters and out doors.

13. Primary kitchen and bathrooms shall be Fluorescent.
-

General Notes:

1. House shall be identified with numbers 4" high and internally or externally illuminate with light sensors.

2. Front landscaping to be installed prior to issuance of certificate of occupancy.

3. Smoke detectors shall be arranged so that the operation of any detector or fire sprinkler alarm causes the alarm in all detectors within the dwelling to sound.

4. Smoke detectors shall receive their primary power from the building wiring and shall be equiped with battery back up.
-

Livable Space 2835 sq. ft., Garage Space 705 sq. ft.

Electrical Load Calculations:

General lighting @ 3w/sq ft (3 x 2826)	8478
Appliance Circuits (3 x 155)	4500
1 Garbage Disposal	1500
1 Dishwasher Circuit	1500
4 Exhaust Fan circuits	1000
1 Garage door Opener	600

Total17,578

First 10KVA @100%	10,000
17200 @40%	6,880
1 ea. 5 Ton Air Conditioner	7,200
Future	10,000

Total34,458 Watts

34458 Watts divided by 240 volts = 143.5Amps

Electrica Panel----- 200 Amp Service

Lighting Notes:

1. All high efficiency lights must be controlled separately from low efficiency lighting.

2. All high efficiency light fixtures shall have electronic ballasts.

3. All can lights shall be labled "IC" and "AT". Installation must be air tight with either caulking or sealed gaskets.

4. Bedroom, dining room and hallways shall have dimmers or occupancy/vacancy sensors which must be manual on an automatic or manual/automatic off.

5. Flourescent lighting shall have "warm light" color.

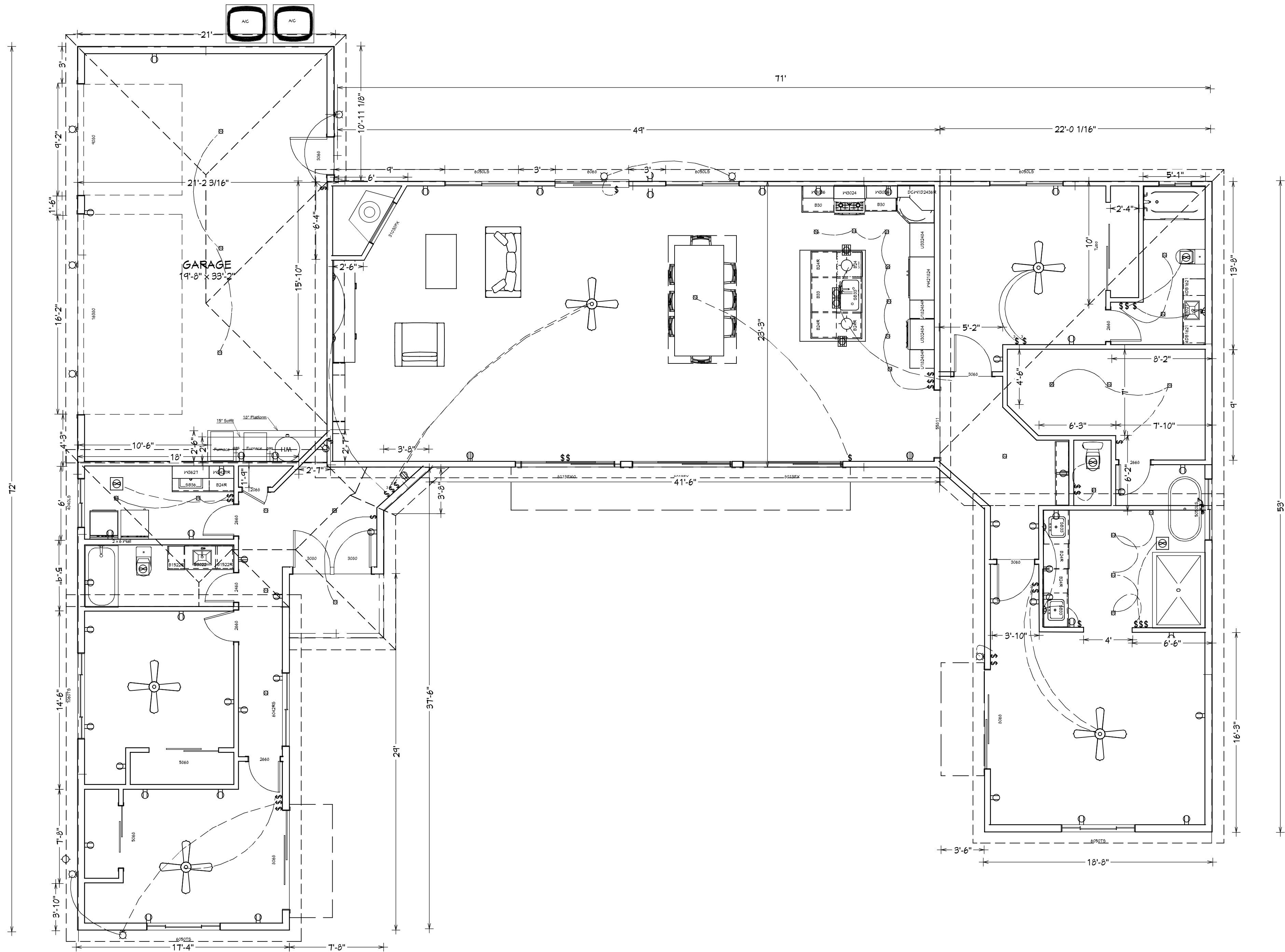
6. Primary kitchen lighting shall be as follows:
- 3 ea under cabinet Flurescent lights @ 13 W ea.

3 ea cieling Flurescent lights @ 13 W ea.

1 ea inconescent light over the sink @ 75 W ea.
-

Total153 Watts

7. Primary bathroom lighting shall be Flurescent.



1st Floor

REVISION TABLE		DESCRIPTION			
NUMBER	DATE				

Floor and Electrical Plan

Owner: Frank Moayed
2700 North Sunrise Way, Palm Springs, Ca. 92262
Project: Single Family Residence
Occupancy: R-3
Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:
Frank Moayed
P.O. Box 2747, Mission Viejo, Ca. 92690
(760) 774-6816

DATE:

3/31/2015

SCALE:

1/4"=1'-0

SHEET:

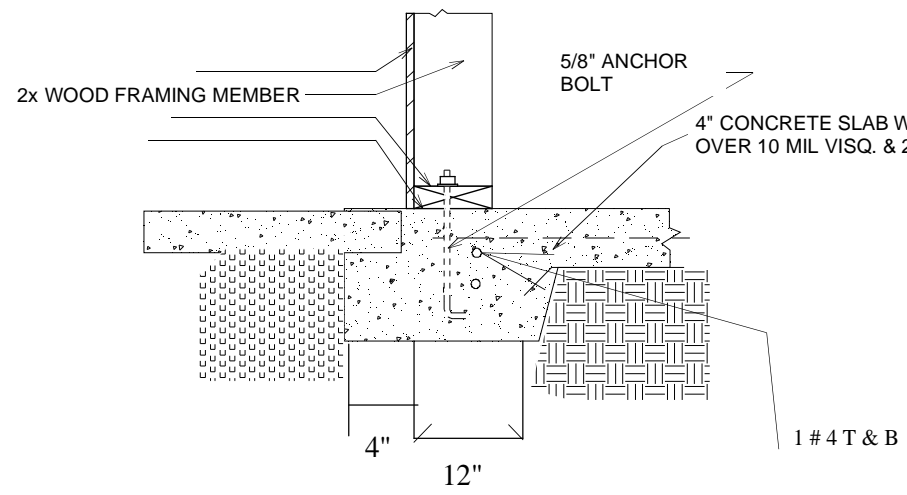
A-2

Foundation Notes:

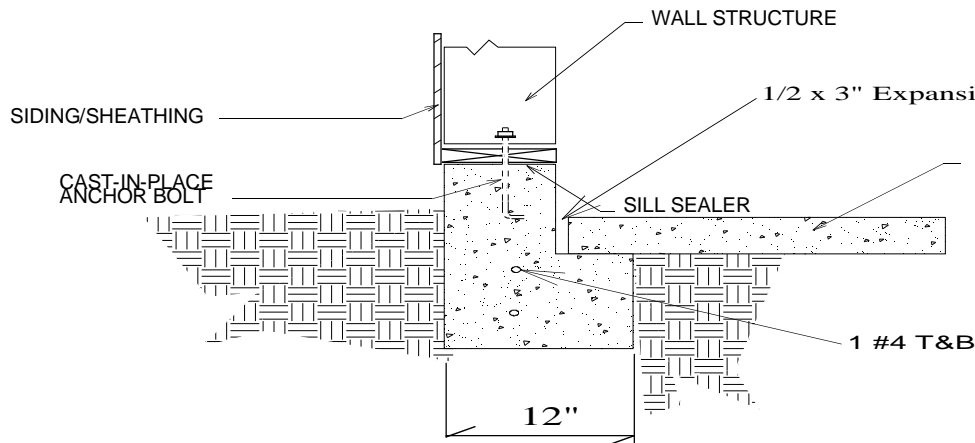
- 1) Concrete mix shall be 2500 psi minimum.
- 2) Reinforcement steel shall be deformed and comply with ASTM specifications A615 Grade 40. When one continuous bar cannot be used, a lap or splice of 40 bar diameter is required.
- 3) Inspections are required prior to placing concrete in footings and grouting steel cells.

Shear Panel Notes:

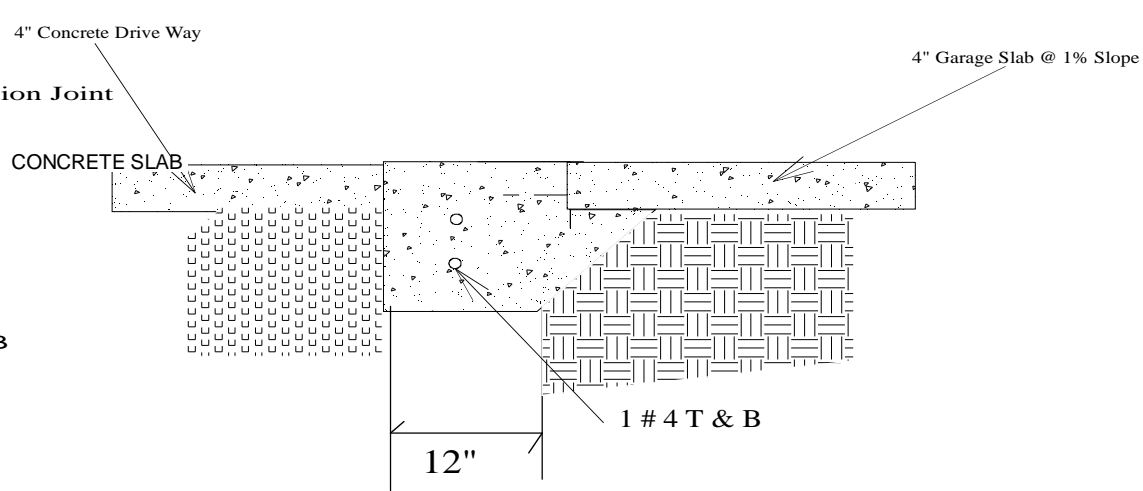
- (SP-A) 3/8" plywood STR W/#8d 2 4" OC Field. Block all edges. Each section of the shear panel shall be a minimum of 48" (2:1 ratio for 9'-0" plate height) with 2 ea. 5/8" A/ Bolts and 2" x 2" x 3/16" sq. washers.
- (SP-B) Sections less than 48" in width shall be a minimum of 2'-8" with one HPAHD22 at each end.



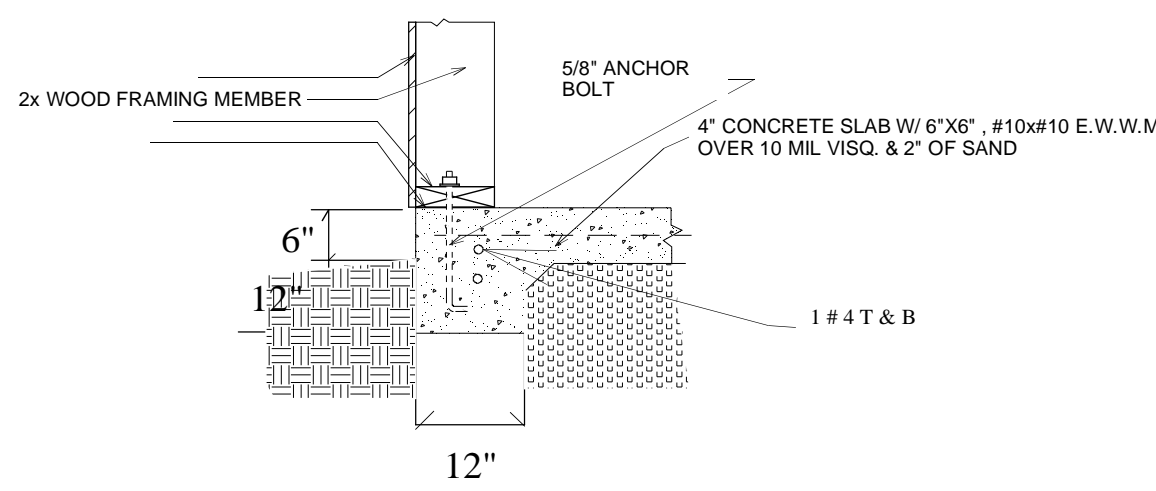
Garage to Dwelling Wall Detail



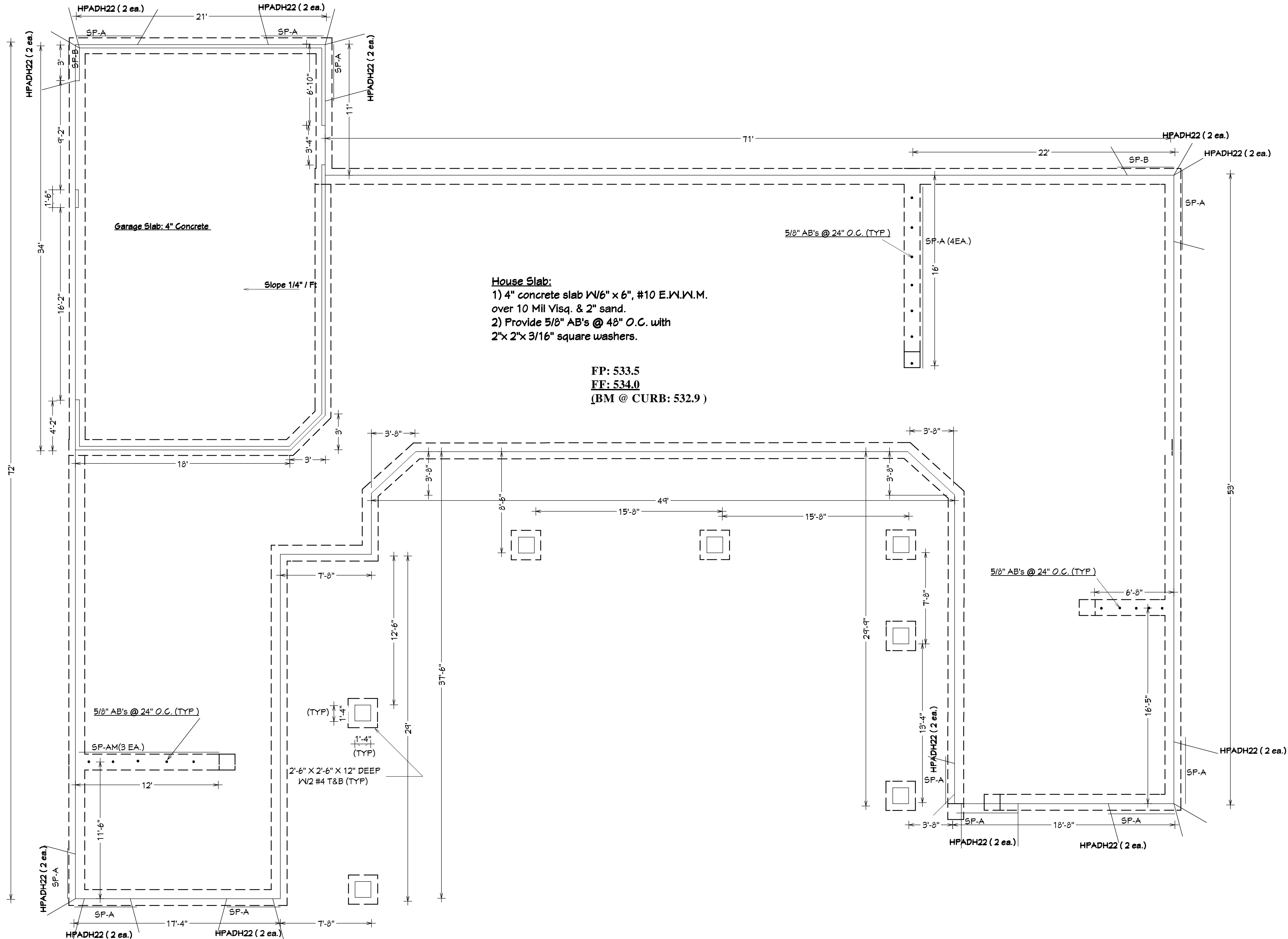
Garage Stemwall Detail



Garage Opening Detail



Exterior Wall Detail



Foundation

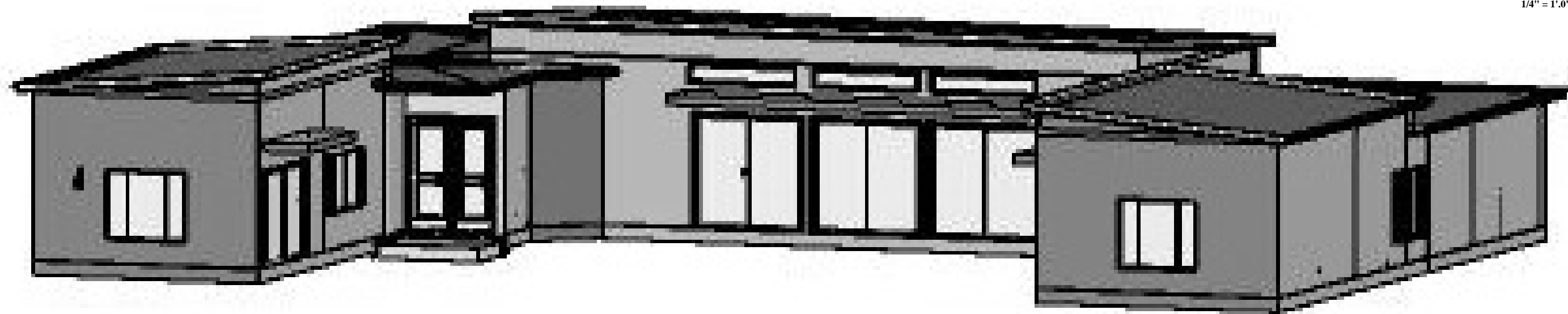
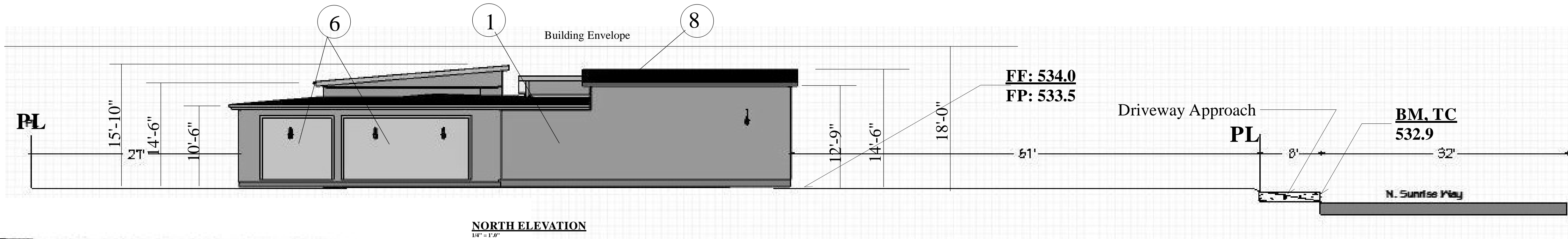
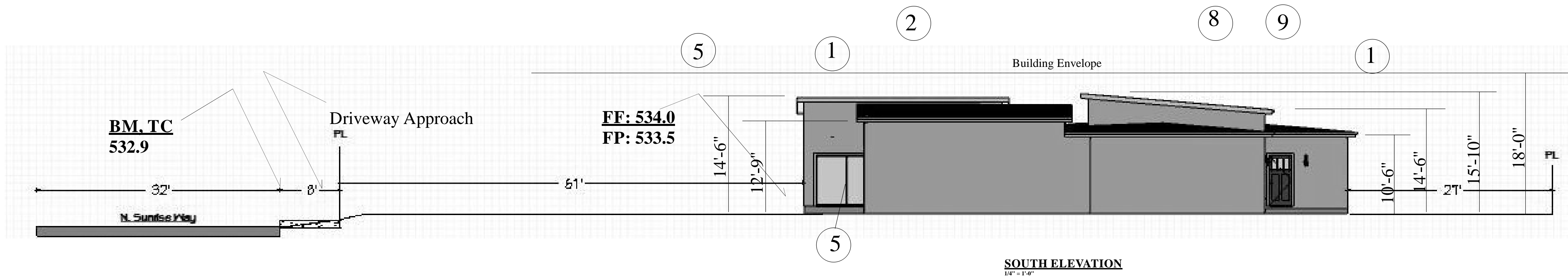
REVISION TABLE		DESCRIPTION
NUMBER	DATE	

Foundation Plan

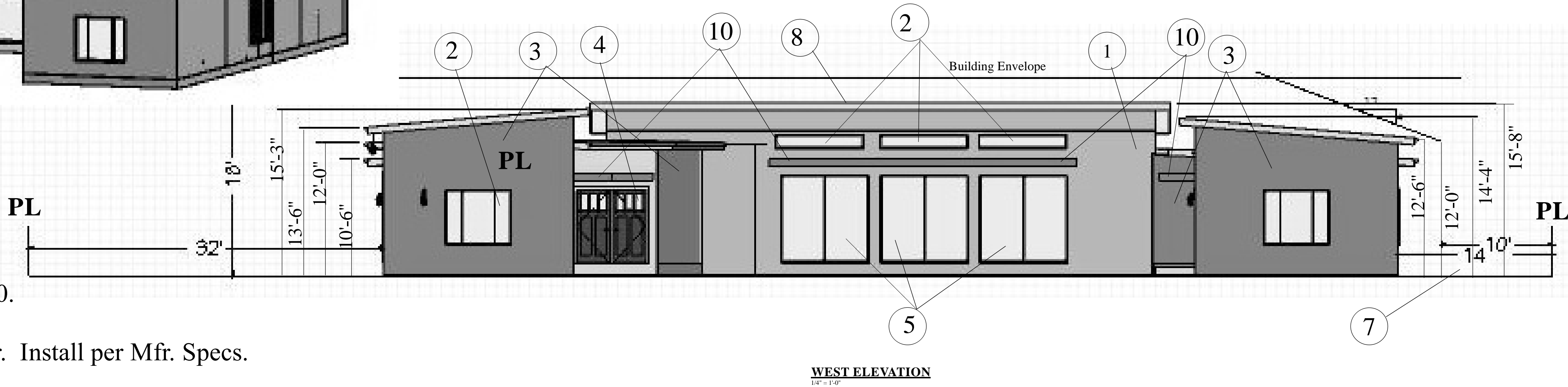
Owner: Frank Moayedli
2700 North Sunrise Way, Palm Springs, Ca. 92262
Project: Single Family Residence
Occupancy: R-3
Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:
Frank Moayedli
P.O. Box 2747, Mission Viejo, Ca. 92690
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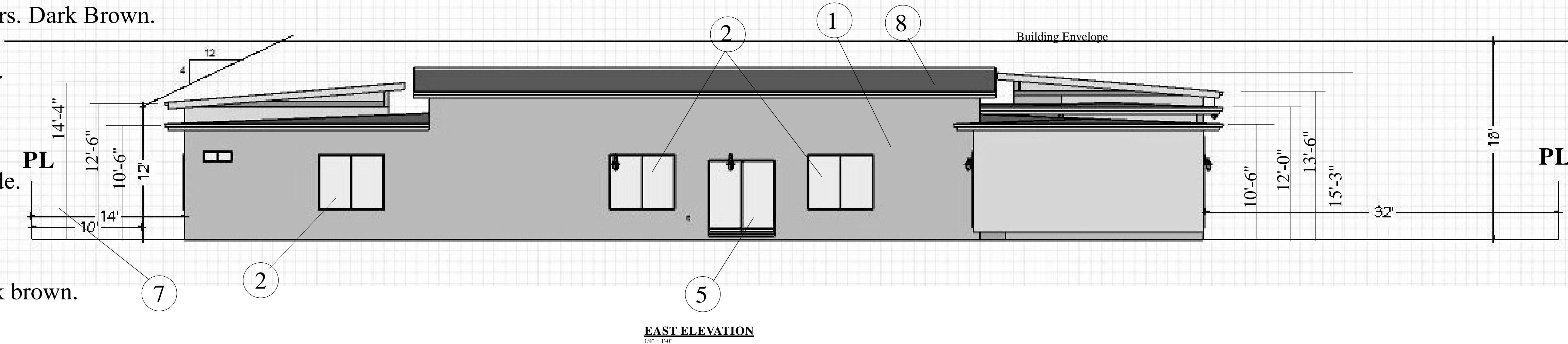
DATE:
3/31/2015
SCALE:
1/4"=1'-0
SHEET:
A-3



Perspective View



WEST ELEVATION



EAST ELEVATION

Exterior Materials / Finishes:

- ① Sand finish stucco Lahabra Dove Grey (66) Base 200.
- ② Vinyl windows, Dual glazed clear glass, Beige color. Install per Mfr. Specs.
- ③ Stone veneer- Eldorado stack stone (Santa Fe)
- ④ Front Door- 5'-0 x 8'-0" double 1 3/4" slab doors. Dark Brown.
- ⑤ Sliding vinyl doors with screen Beige in color.
- ⑥ Slab Garage door.
- ⑦ Pool equipment area, 3" min above finish grade.
- ⑧ Urothane Foam flat roof.
- ⑨ Garage to outside door. 1 3/4" slab door. Dark brown.
- ⑩ Hanger Rod Canopy

REVISION TABLE		DESCRIPTION
NUMBER	DATE	

Elevation Plan

Owner: Frank Moayed
2700 North Sunrise Way, Palm Springs, Ca. 92262
Project: Single Family Residence
Occupancy: R-3
Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:
Frank Moayed
P.O. Box 2747, Mission Viejo, Ca. 92690
(760) 774-6816

DATE:

3/31/2015

SCALE:

1/4"=1'-0

SHEET:

A-4

Framing Notes:

1. Top plates shall have a minimum of 48" lap splice.
2. Nailing shall be in compliance with Table 23-11-B1.
3. Fire stops shall be installed at the following locations:
 - 3.1 In concealed areas of stud walls and partitions, Including furred spaces, at the ceiling and floor levels and at 10' intervals both vertical and horizontal.
 - 3.2 At all interconnections between concealed verticals and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
 - 3.3 In openings around vents, pipes, ducts, chimneys fireplaces and similar openings which afford a passage for fire at ceiling and floor levels, with non-combustible materials.
 - 3.4 At openings between attic spaces and chimney chases for factory built chimneys.
4. Studs shall be 2 x 4 @ 16" OC, except as noted on the plan for plumbing.
5. Braced walls shall be in accordance with UBC section 2320.11.3 Table IV-C-1:
 - 5.1 Braced wall panels shall start no more than 8' from each end of a braced wall line.
 - 5.2 Braced wall lines shall be in line or offset from each other by not more than 4'.
 - 5.3 In all seismic zones, braced wall panels in one story structures shall be installed at each end not more than 25 feet on center along the length of the braced wall line.
6. Interior braced wall panels shall extend to the roof or floor diaphragm level.
7. Continuous footings shall be provided under interior braced wall lines.

Roofing Schedule:

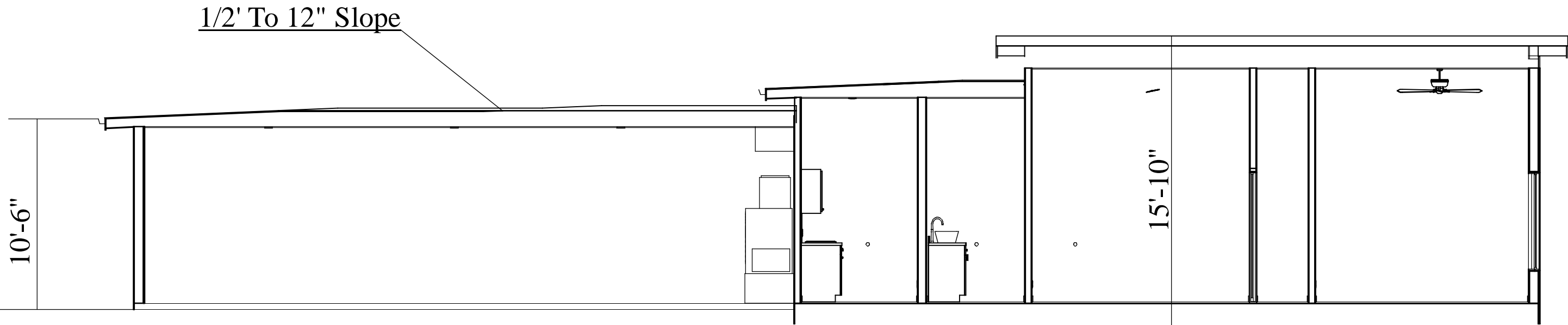
1. Roof sheathing shall be 15/32" OSB plywood with radiant barrier on one side Per title 24 (tech. sheet) or equal.
2. Roof nailing shall be #8 @ 12" OC field and 6" OC edges.
3. Roofing material shall be a urethane roof system (Flex Roof) or equal.

Structural Notes:

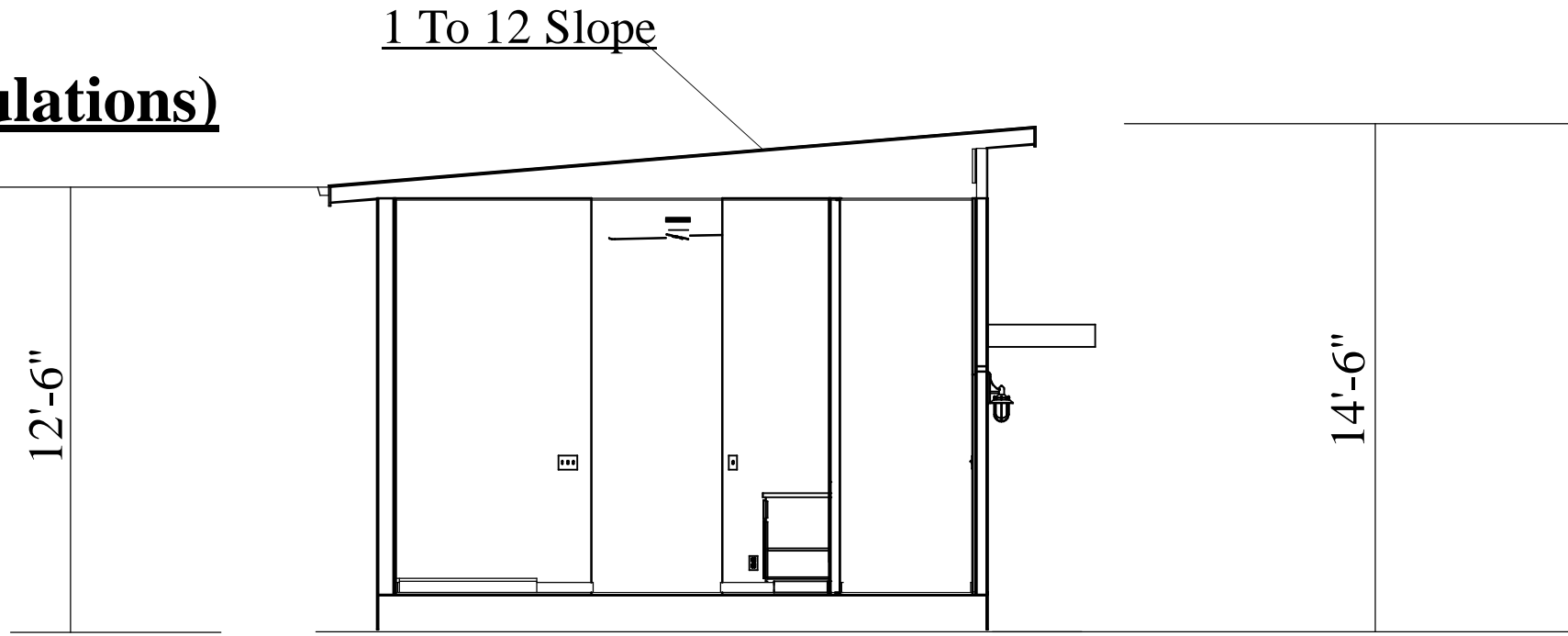
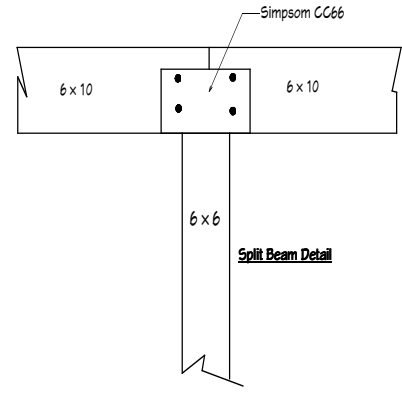
1. 2 x and 6x beams shall be DF#1.
2. 2x framing shall be DF#2.
3. 2x studs shall be DF#2.
4. Top plate splices use 16d nails each side of splice.
5. All nail hole for strap ties and strap hold downs to be filled with common nails. Except where 16d sinkers are allowed by manufacturer.
6. Shear panel nail spacing to hold down posts shall be edge nailing.
7. Hold down anchor bolts and hold down straps shall be placed prior to foundation inspection.
8. Footing construction shall be single pour.
9. All structural lumber shall be graded in accordance with "Grading and Dressing Rule #16 of the West Coast Lumberman's Association".

Note:

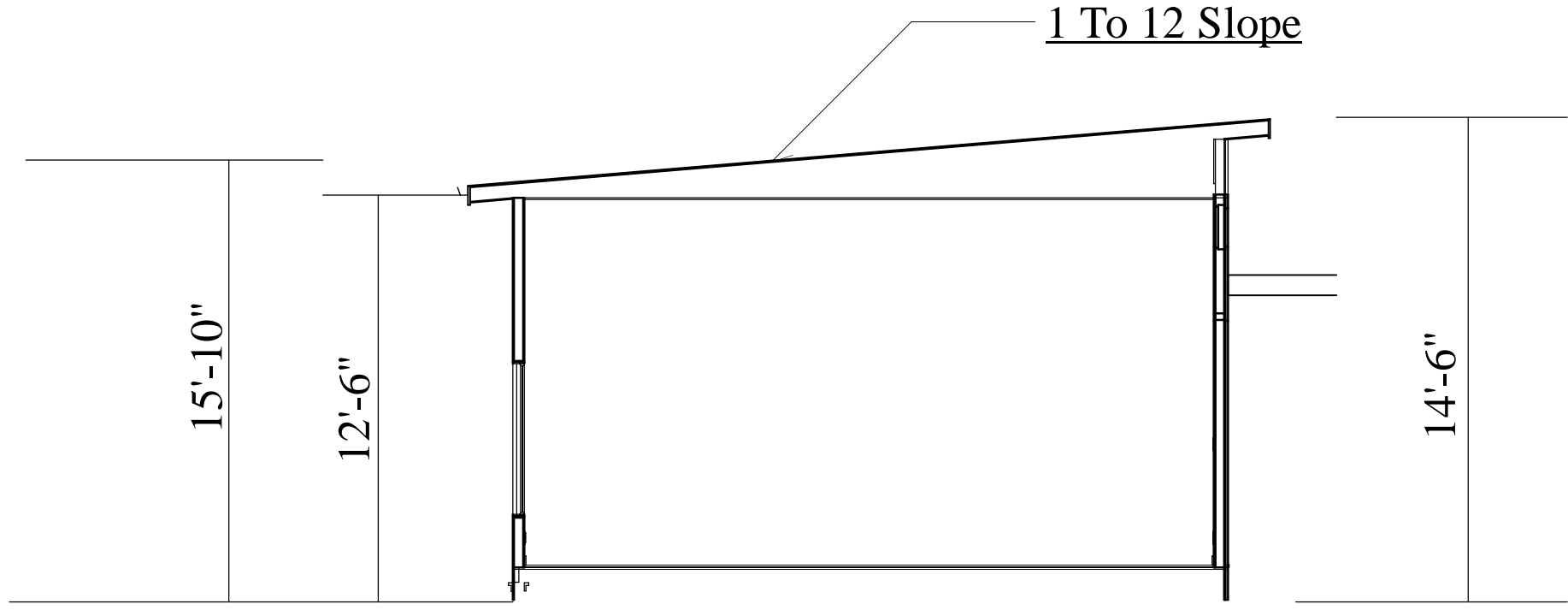
1. All fireplace chimney shall be terminated 24" above the highest point if roof within 10 feet in accordance with manufacturer recommendation and shall have 26 Ga. Galv. Spark Arrester.
1. Discharge point for the exhaust air shall be at least 3 feet from any opening which allows air into occupied portion of the building.
2. Recirculating fans cannot be used in the bathrooms if a tub or a shower is present.
3. Attic ventilation openings shall be covered with corrosion resistant metal mesh with mesh openings of 1/4 inch in dimention.



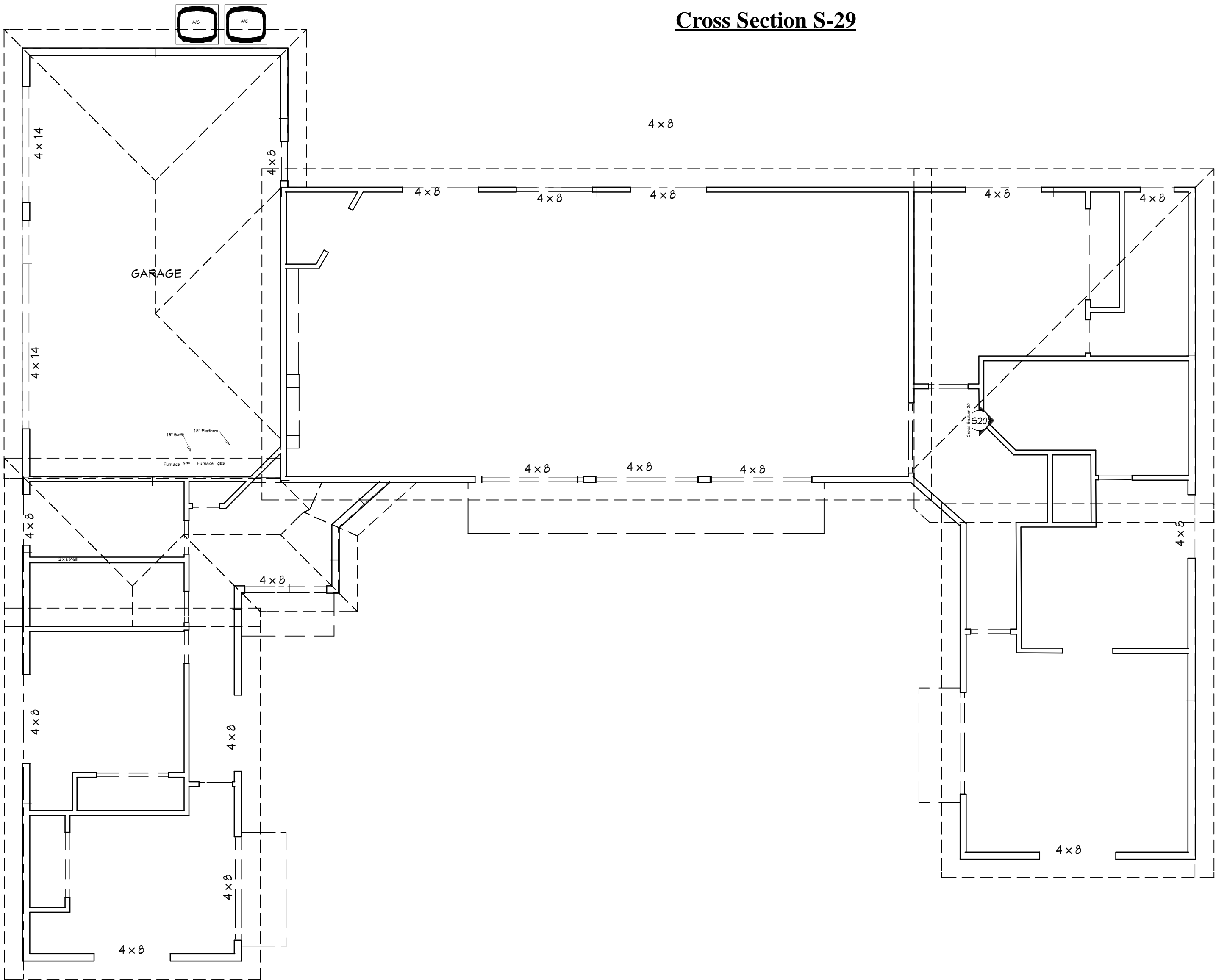
Cross Section S-27



Cross Section S-30



Cross Section S-29



REVISION TABLE		NUMBER	DATE	DESCRIPTION

Roof & Framing Plan

Owner: Frank Moayedli
2700 North Sunrise Way, Palm Springs, Ca. 92262
Project: Single Family Residence
Occupancy: R-3
Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:
Frank Moayedli
P.O. Box 2747, Mission Viejo, Ca. 92690
(760) 774-6816

DATE:

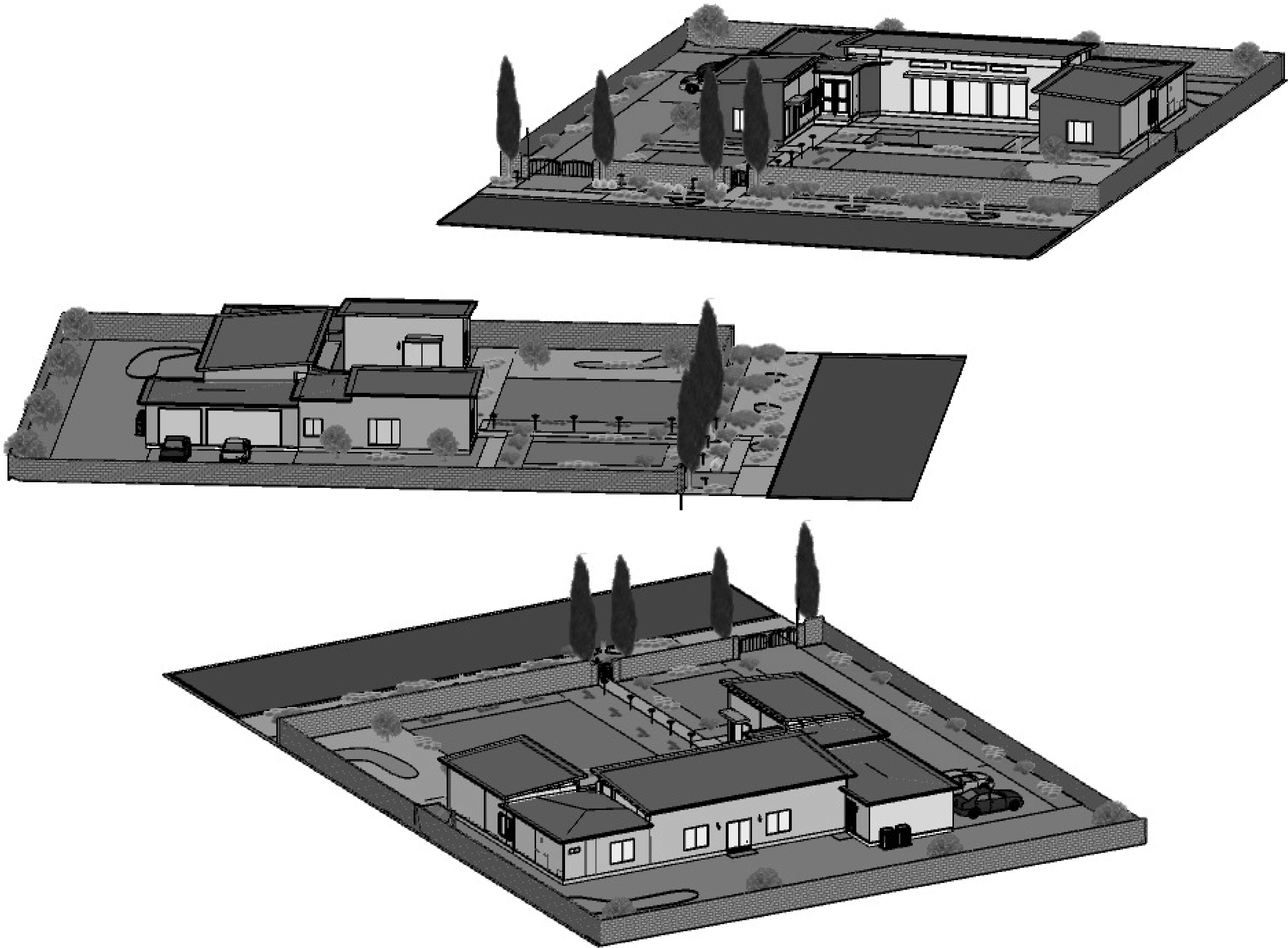
3/31/2015

SCALE:

1/4"=1'-0

SHEET:

A-5



REVISION TABLE		
NUMBER	DATE	DESCRIPTION

Perspective Views

Owner: Frank Moayeddi
2700 North Sunrise Way, Palm Springs, Ca. 92262
Project: Single Family Residence
Occupancy: R-3
Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:
Frank Moayeddi
P.O. Box 2747, Mission Viejo, Ca. 92690
(760) 774-6816

DATE:

3/31/2015

SCALE:

1/4"=1'-0

SHEET:

A-6