



ARCHITECTURAL ADVISORY COMMITTEE STAFF MEMORANDUM

DATE: February 6, 2017

New Business

SUBJECT: SELENE PALM SPRINGS, LLC, FOR AN AMENDMENT TO A PREVIOUSLY APPROVED FINAL PLANNED DEVELOPMENT DISTRICT PROJECT CONSISTING OF A 175-ROOM HOTEL, 30 RESIDENTIAL UNITS AND A PARKING STRUCTURE LOCATED AT THE NORTHWEST CORNER OF AVENIDA CABALLEROS AND AMADO ROAD, (CASE 5.1132-PD 333) (ER).

FROM: Department of Planning Services

SUMMARY

The Architectural Advisory Committee (AAC) to review a proposed amended project that was originally approved in 2007 by the City Council. The overall size of the amended project has been reduced from 10.47 acres to 7.8 acres. Specifically, the amended project will include the following:

- Changes to the hotel main building design and density.
- Changes to the residential component of the project.
- Changes to the hotel parking structure and main entrance into the hotel.

RECOMMENDATION:

The Architectural Advisory Committee to make a recommendation of the amended project to the Planning Commission.

ISSUES:

- The Dream Hotel, formerly known as Dolce Hotel, was originally approved in 2007 by the Planning Commission and the City Council.
- The proposed amended project will now have an overall size of 7.8 acres.
- Planned Development District 333 development standards will remain in effect.
- Hotel rooms reduced from 200 to 175; residential units reduced from 50 to 30.
- Main access into the hotel has been moved from Amado Road to Calle Alvarado.

BACKGROUND INFORMATION:

<i>Related Relevant Prior City Actions</i>	
11.20.06	The Architectural Advisory Committee (AAC) reviewed a hotel and condominium project and recommended approval, with changes made by the applicant to the Planning Commission.
06.13.07	The Planning Commission approved Planned Development District 333 for a hotel and condominium project, and also recommended approval of the associated tentative tract map to the City Council.
07.18.07	The City Council approved Planned Development District (PDD 333) for a 200-room hotel, a 143-unit condominium development and Tentative Tract Map 35236.
11.10.08	An application was submitted by the Oasi Group for the Mondrian Hotel to amend the previously approved PDD 333.
11.24.08	The AAC reviewed the architecture and landscaping of the proposed project amendment and recommended a restudy with comments.
03.09.09	The AAC reviewed a revised the building exterior and landscaping based on comments from the previous meeting.
05.22.09	Following incorporation of the AAC recommendations, the Planning Commission reviewed the proposed amendment and approved the project as submitted.
06.03.09	The City Council approved the amendment to reconfigure portions of the site plan and building elevations, and allow development of the project in phases.
04.27.11	The Planning Commission granted a one-year extension to the Planned Development District (PDD 333). The tentative map is valid for five years from its original approval date.
05.23.12	The Planning Commission granted another one-year extension to the Planned Development District (PDD 333, expiring April 21, 2013).
02.25.13	At the request of the project development team, a preliminary meeting with the AAC was held to introduce the proposed project; comments provided.
03.06.13	The Planning Commission conducted a preliminary meeting on the future amendment to PDD 333 and provided comments.
04.11.13	An application was submitted by CDI Ventures, LLC, to amend the previously approved Mondrian Hotel.
04.22.13	The AAC reviewed the proposed preliminary PDD amendment and recommended approval to the Planning Commission with comments.
11.13.13	The Planning Commission approved an amendment to preliminary PDD 333.
11.20.13	The City Council approved an amendment to preliminary PDD 333.
12.09.15	The Planning Commission granted a one-year extension of time to Planned Development District (PDD 333).
09.14.16	The Planning Commission granted a one-year extension of time to Planned Development District (PDD 333).
01.25.17	The Planning Commission conducted a Study Session on the amended project.
<i>Most Recent Change of Ownership</i>	
08.31.16	A purchase agreement between the City and CDI Ventures, LLC, was executed. The purchase agreement was amended by City Council on 11/04/15. The sale was completed on August 31, 2016.
<i>Related Building Permits/Business Licenses</i>	
N/A	None
<i>Neighborhood Meeting</i>	
	Applicant has met with members of the Center Court Community on several occasions to discuss the amended project.

Field Check	
01.24.17	Staff visited the site to observe current conditions of the property.
Details of Application Request	
Site Area	
Net Acres	7.8 acres

Surrounding Property	Existing General Plan Designations	Proposed/Existing Land Use Stds.	Existing Zoning Designations (Section 14 Area)
Subject Property	HR (Residential High), 43 Units per acre	PDD 333; 200-Unit Hotel & Residential	R4; Hotel & RGA-8. 43 hotel rooms/acre (HR; Section 14)
North	HR (Residential High), 43 Units per acre	Residential Units	RGA-8, 8 Units/acre (HR; Section 14)
South	RA (Resort Attraction)	Convention Center	PD 164, Convention (RA; Section 14)
East	HR (Residential High), 43 Units per acre	Residential Units	R4, 29 Units/acre, 43 Hotel rooms/acre (HR; Section 14)
West	HR (Residential High), 43 Units per acre	Residential Units	R4; Hotel & RGA-8. 43 hotel rooms/acre (HR; Section 14)

BACKGROUND AND SETTING:

The previously-approved project, commonly known as the Dolce Hotel (now called “Dream Hotel”), is requesting approval for an amended project. In 2007, the City Council approved the project for the development of a hotel-condo to include a five-story 200-room hotel, with 143 condominium units and an associated parking structure. On April 22, 2009, the City Council approved a proposal to amend that entitlement for a 200-room hotel, 50 condominium units and a parking structure to be constructed in three phases. A second amendment with significant changes to the design was approved by the City Council on November 20, 2013; however, the number of hotel rooms and condominium units remained the same. The project site is L-shaped, and is bounded on three sides by City streets: Avenida Caballeros on the east, Amado Road on the south, and Calle Alvarado on the west. The northern portion of the L-shaped parcel is bounded on the north by vacant land and on the east by existing residential development. The subject site is currently developed as the Palm Springs Convention Center’s north parking lot. The area is generally flat, with no significant physical features. The subject site is within the Section 14 Specific Plan Area.

Proposed Planned Development District Amendment:

The amended project proposes a significant change to the site plan, configuration and overall mass compared to the original entitlement. The amended project will have the same components consisting of the hotel which is now branded the “Dream Hotel”, an urban resort with indoor and outdoor event spaces, residential use, a restaurant and swimming pools. The amended project will consist of the following changes:

- Reduction of development site from 10.47 to 7.8 acres.
- Reduction of the overall density of structures on the property.
- Reduction of hotel rooms from 200 to 175 rooms; condo units from 50 to 30 units.
- Design of main building form has changed from the “S” tower to “C” form.
- Residential units on the southeast portion of the property have been eliminated.
- Relocation of 14 residential units into the penthouse level (5th floor) of the hotel.
- Relocation of villas to the west of the main hotel building.
- Addition of a greenhouse structure with a maximum height of 20 feet.
- Above grade parking structure is eliminated; parking to be below grade.
- Back of house operations and cocktail lounge relocated below grade.



Amended Site Plan

Site Plan and Project Design:

The proposed amended project varies to some degree from the original entitlement; the new site plan, the project massing, the project design and the residential component have changed substantially. The number of hotel rooms has been reduced from 200 to 175 and residential units have been reduced from 50 to 30 units. The orientation and

location of the main hotel structure has been changed; the swimming pool previously located at the corner of Amado Road and Calle Alvarado has been relocated to the northerly portion of the site along Calle Alvarado. However, the project is still in keeping with the intent of the original PDD in terms of development standards and requirements of Section 14 Specific Plan design requirements. The form of the main hotel building has been reduced; the villas and condominium units have been reduced and relocated. The form of the main structure was a sinuous arc running north and south on the site; the amended project now has the original C-shaped scheme running north to south. Additionally, the primary building is joined to a smaller structure that runs perpendicular east to west of the site. This structure will now house up to sixteen (16) luxury residential condominiums, a restaurant, and a pool bar and wine/coffee bar. The stand alone villas and a garden will now be sited on the northeasterly portion of the property; these units are now designed as one-story high villas. Previously, the buildings ranged from 2-4 stories in height. At the intersection of Amado Road and Calle Alvarado, a small landscaped park with seats and shading trees that will be accessible to the public is being proposed. Water features, swimming pools with stadium seats and dining areas are being proposed along the frontage of the main hotel structure and the annex building. The previously approved parking structure located at the southeasterly portion of the site has been eliminated. A below grade parking structure at the same location is now being proposed. Surface parking will be limited to the northern portion of the perimeter road. Above the parking structure, open space areas will be utilized for farming by residents and immediate neighboring residents. This will be achieved with extensive raised beds for planting organic crops and fruits by guests and members of the community. A farm house (greenhouse) designed for event meeting space will also be located above the parking structure.

Access:

The main entrance into the hotel lobby area has been moved to North Calle Alvarado; the previously approved site plan had the main entrance into the hotel along Amado Road to a below grade lobby area. The new entrance provides direct access to the valet parking which is below grade on the southeasterly portion of the site. The proposed main entry for guests will be gated and will require driving the perimeter of the development to the hotel main point of entrance. A second access into the property will be off of Avenida Caballeros; this access is a service drive to be used for hotel deliveries. An access into the parking garage only is provided off Avenida Caballeros. Pedestrian entrance into the development from the convention center is located at the westerly portion of the site along Amado Road. Additional pedestrian access is proposed also along easterly of the convention center crosswalk. A vehicular drop-off zone designed for future condominium owners is being proposed along Amado Road; a service entry for the condominium and restaurants at the annex building is proposed off Calle Alvarado.

Architecture:

The main hotel building was previously approved with an S-shaped design five-story tower with a maximum height of 56 feet. The amended project has a C-shaped design running north to south, five stories high with a maximum height of 56 feet. The architectural style of the hotel remains the same with aspects of "The International

Style" with emphasis on modernist minimalist attributes. The fifth floor (penthouse level) of the main hotel building will contain fourteen (14) residential penthouses ranging from one to three bedroom units. Proposed building materials will include smooth stucco, decorative screen, glass handrails, frosted glazing, cast in place concrete with natural light gray color, pre-cast concrete (smooth) with slate color, precious pearls colored synthetic stucco (smooth), gloss finished colored glass mosaic with various colors and exterior wood with oil finish. Additional information and studies of proposed building materials are contained in the architectural exhibit.

Comparisons between Existing Project and Amended Project

Standards	Existing PDD 33	Proposed Amendment
Hotel Units	200	175
Condominium Units	50	30
Hotel Parking	273	184
Condo Parking	57	48
City Parking	0	150
Hotel / Condo Height	56' / 43'	56' / 46'
Hotel Square footage (Size)	179,930 sq. ft.	162,156 sq. ft.
Residential	130,706 sq. ft.	64,000 sq. ft.

Landscape Plan:

Proposed landscape plans covering the site area were submitted as part of the review process. The amended landscape plans covering the site include street trees, courtyards and canopy trees, street frontage and perimeter plantings, farm raised planters, privacy hedges, entry drive and interiors. The overall landscape amenities of the development including the hotel, residential condominiums and villas will include a variety of recreational and exercise pools, spas and water features. A different mix of plants is proposed within the entire site. The landscape palette for the street frontage will include a desert palette with graduated massing of yuccas, agaves, and groundcovers. The rest of the landscaping will include a mix of desert appropriate plant selections and permeable concrete paving. Proposed plant selections for the project include different selections of trees, palm trees, street trees such as Argentine Mesquite, African Sumac and Mexican Fan Palm. Proposed courtyard and canopy trees include fruiting specimen Olive trees, Argentine Mesquite, Hamlin Orange and Palo Verde. Street frontage, perimeter and interior plantings will include varying sizes of Mexican fence Post, soft leaf Yucca, big bend Yucca, tricolor Spanish Bayonet, several species of Agave, Aloe, Century Plant, Cabbage tree, Cape Rush, Natal Palm, Mexican feather grass, Sago Palm, Madagascar Palm, Dragon tree, shrub Olives, blue chalk sticks, water horsetail, mother in-law's tongue, Ocotillo Cactus, Purple heart, Elephant ear, Afterglow, Spurge and Yellow cone bush. The overall landscape design and plant selections are consistent with the guidelines of Section 14 Specific Plan Area.

Planning Commission Review:

The amended project was presented to the Planning Commission at a Study Session meeting on January 8, 2017. Overall, the Planning Commission expressed strong support for the architectural scheme and landscape design of the amended project. The

Commission urged the applicant to further study their concern with pedestrian linkage to the development especially from the Convention Center. Minutes from the Study Session meeting is attached to this memo for your review.

Architectural Review Guidelines:

Section 94.04.00(D), *Planning Commission Architectural Advisory Committee Review Guidelines* of the Palm Springs Zoning Code states the following:

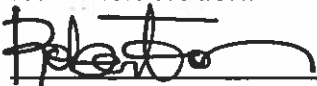
The planning commission architectural advisory committee shall examine the material submitted with the architectural approval application and specific aspects of design shall be examined to determine whether the proposed development will provide desirable environment for its occupants as well as being compatible with the character of adjacent and surrounding developments, and whether aesthetically it is of good composition, materials, textures and colors. Conformance will be evaluated, based on consideration of the following:

Item	Guideline:	Conforms	Staff Evaluation:
1	Does the proposed development provide a desirable environment for its occupants?	Conforms	The project is in keeping with the original concept and the Planned Development District. The proposed amended project will result in a less dense use thereby providing more open space for the development. The hotel and residential development will provide a desirable environment for its future guests and occupants.
2	Is the proposed development compatible with the character of adjacent and surrounding developments?	Conforms	The proposed development is compatible with the character of the Section 14 Master Plan and surrounding development especially the quality of the hotel component which will be beneficial to the Convention Center.
3	Is the proposed development of good composition, materials, textures, and colors?	Conforms	The proposed architectural design standards are an improvement over the original approval. The new design has good composition, materials, texture and colors typical of Palm Springs. Proposed building materials will include stucco, wood, masonry and glass. Proposed colors will vary but earth tone consistent with desert colors.
4	Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas	Conforms	The site layout has changed as a result of the proposed amendment. As originally designed, the site layout relates appropriately with the existing adjacent residential development, however, the reduced size of the main hotel structure has provided view sheds to neighboring residential development east of the site. Walking paths are distinct from parking structure area of the development.

5	Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood/community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted	Conforms	The hotel and residential use fits well with the existing residential uses to the east and westerly and portions of the location. The proposed architectural design and style will enhance the neighborhood. The proposed modern style architecture adds to the existing successful architectural design of the Convention Center and surrounding residential development.
6	Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment	Conforms	The maximum height, overall mass, setbacks are all in keeping with the original development standards of PDD 333. Mechanical equipment at the development will be placed on the grade and therefore will require additional screening.
7	Building design, materials and colors to be sympathetic with desert surroundings	Conforms	The proposed building designs are sympathetic with desert appropriate designs. The modern architectural style fits the site as proposed.
8	Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously	Conforms	The proposed materials, colors and other components of the hotel and villas are consistent with the architectural style the City is known for. The residential units will feature outdoor spaces, large vertical doors and windows typical of modern architecture.
9	Consistency of composition and treatment	Conforms	There is consistency in the composition and treatment of the new housing products.
10	Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials	Conforms	The proposed conceptual landscape plans and plant materials are appropriate for the desert climate. Landscaped areas will have social spaces with shade structures, water features and pools with stadium seats Proposed plant palette, sizes and inert groundcovers are consistent with the materials recommended by the Coachella Valley Water District and are appropriate for Palm Springs climate and landscape (See Attachment).

CONCLUSION:

The amended project will result in a design with reduced massing, reduced density and more open space. Also, the amended project meets or exceeds required setbacks and conforms to the height limit of the previous approval. Proposed materials are harmonious and compatible with desert surroundings. Staff is recommending that the AAC provide appropriate comments and recommendation to the Planning Commission for consideration.


Edward Robertson
Principal Planner

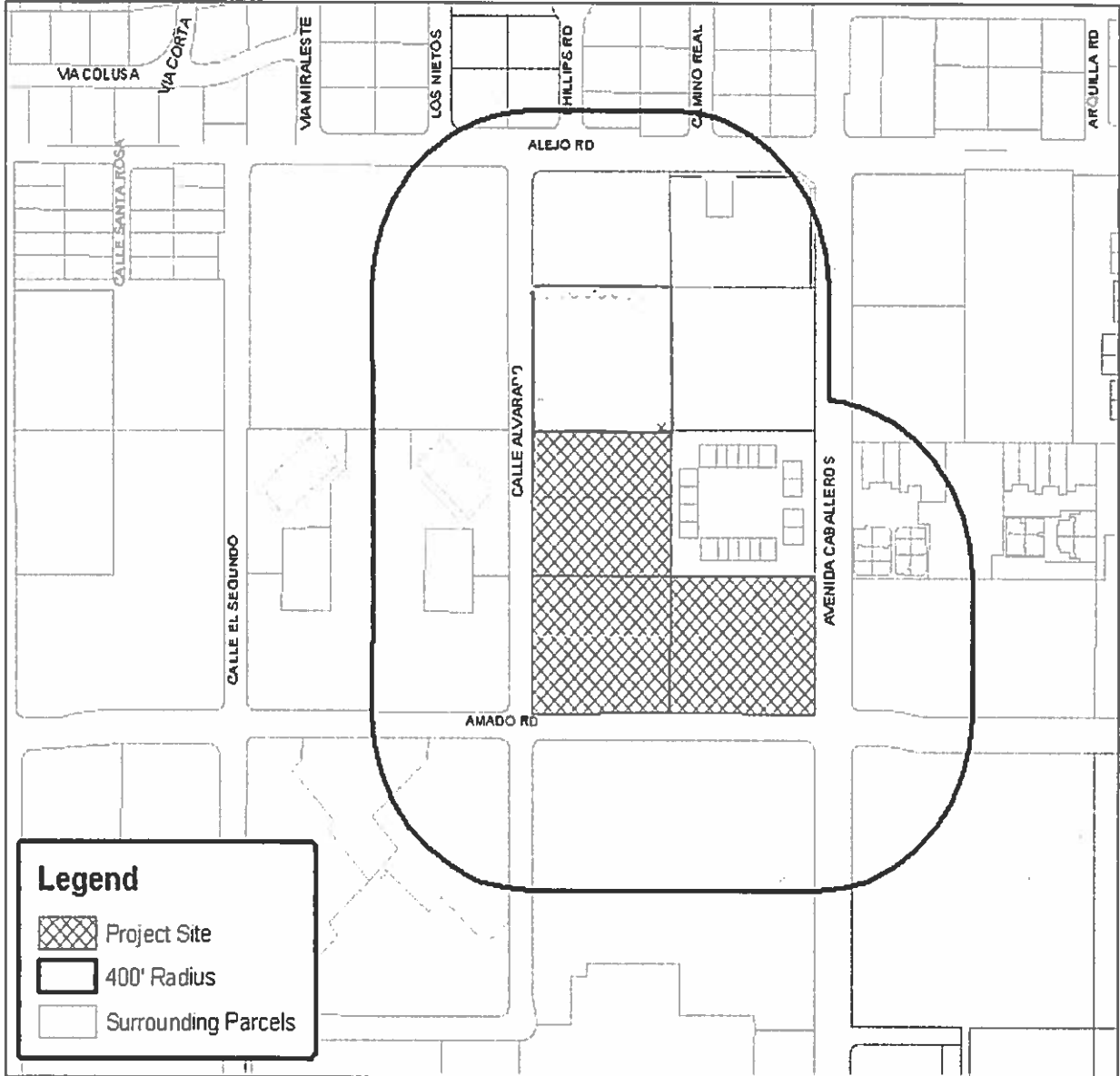

Flinn Fagg, AICP
Director of Planning Services

Attachments:

1. Vicinity Map
2. Planning Commission Minutes from Study Session meeting of Jan. 25, 2017
3. Booklet of Site Plan, Elevations, Landscape Plans and Material Board



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS

Planning Commission Study Session
25 January 2017

Chair Calerdine called the meeting to order at 11:05 a.m.

Roll Call: Doug Donenfeld, Michael Hirschbein, Doug Hudson, Randy Lowe, Lisa Middleton, Kathy Weremiuk, Lyn Calerdine

Chair Calerdine requested that the order of the agenda be revised to allow public comment after the presentation by the applicant on item #2A; the commissioners supported the revision to the order of the agenda. Mr. Calerdine then recused himself from the proceedings, as he owns property within the 500-foot notification radius of the subject site. Vice Chair Weremiuk conducted the rest of the proceedings.

Edward Robertson gave a brief presentation on the proposed modifications to the approved plan, noting reductions to the intensity of development, increases in certain setbacks, and a reduction in the overall building area.

Commissioner Hirschbein questioned the 150 parking spaces being allocated to the City.

Lori Kibby, applicant, gave an overview of the project and the proposed changes. James London (not sure on last name?), landscape architect, discussed the landscape scheme and materials proposed for the development site. Darryl Long (last name?), project architect, discussed the site plan, building layout, and architectural details.

Vice Chair Weremiuk opened the public comment portion of the agenda, with the following speakers addressing the commission:

Frank Tyson stated that he was impressed with the developer working with adjacent residents to address concerns, and noted that where we need hotels is by the convention center.

David Powell, of the Center Court HOA, stated that the developer has been open to concerns and feedback from residents, and that they still have concerns relative to noise, views, and traffic. He also mentioned that moving the valet area to the back of the hotel will have impacts to their condominiums, but improves their views of the mountains with the increased setback.

Louis Brinello (last name?), Center Court HOA, noted that there are bedrooms facing the back of the hotel and the perimeter wall, and their views will be obstructed.

Phyllis (didn't get last name), Deauville Condominiums, questioned if the developer considered putting a wall around the pool area (the applicant later noted that a wall and large landscape buffer will screen the pool from the condominiums across the street).

Lyn Calerdine requested that consideration be given to safe pedestrian access between the hotel and the convention center.

Tom Jakeway, SOL Condominiums, commended the developer for working closely with neighbors, supported the proposal for the urban garden proposed on top of the underground garage, and also offered support for the public spaces at the front of the property. He noted his concerns with

pedestrian connections to the convention center, the north end of the building needs to step down like the east end of the building, and their needs to be restrictions against outdoor amplification of music.

Vice Chair Weremiuk closed the public comment portion of the agenda.

The Planning Commissioners raised the following questions and issues:

Commissioner Donenfeld commended the developer on the changes to the project and the proposal for the urban farm concept. He noted his concerns with the condominium wing of the building, in that it detracts from the massing of the hotel building. He also stated that the entry sequence is confusing, the site needs more openness and connections to the convention center, and questioned if the pool area and other site amenities would impact residents of the condominium wing of the building.

Commissioner Hirschbein requested additional information as to how pedestrians will circulate from the convention center to the lobby of the building, and how users from the parking garage will walk to the convention center. He stated that it was a mistake to place restrooms and mechanical spaces on the ground floor of the condominium wing at the front of the site. Commissioner Hirschbein questioned if the hedge at the back of the building would be an adequate sound buffer; the applicant responded that they would be replacing windows on certain units at the Center Court Condominiums in order to mitigate noise issues. The commissioner suggested that the condominium wing of the building needs to be more architecturally significant, and that the parking structure needs to be opened up in places to allow for daylight and assist with pedestrian orientation.

Commissioner Hudson expressed his strong support for the architectural scheme and landscape architecture for the project. He stated that the condominium wing is in the right location, but needs more study as to how it joins the main hotel building, and that additional consideration should be given to the end wall of the condominium wing which needs to be a signature piece that may include artwork. He noted concerns with the roof scape of the building and stated that it needs to be stronger, and noted concerns with the parking structure and access points.

Commissioner Middleton concurred with the comments made by Commissioner Hudson, and commended the applicant for working closely with neighborhood groups. She questioned why the garage structure wasn't placed on the north side of the property as it would have less impact on the views from the Center Court Condominiums (the applicant replied that they looked at a number of alternatives, but there was a balancing act in complying with the setback requirements). She asked if the condo owners would be able to rent their units, and the applicant responded that the condo units could be rented, but only through the hotel reservation system. Commissioner Middleton also requested information on the construction timeframe; the applicant responded that the City is requiring that the final PD be approved in May 2017, and that they are expected to be open in 2019.

Commissioner Lowe noted that his biggest concern with the project is the pedestrian traffic on Amado, and that the City needs to review pedestrian safety and perhaps implement traffic calming measures. He questioned how solar panels might be integrated with the project; the applicant responded that flat panels may be utilized on top of the roof, and other panels might be integrated with the shade structures.

Commissioner Weremiuk reiterated the concerns of the other commissioners with the pedestrian entry sequence and lobby access. She requested that the applicant provide adequate shading along the sidewalks for pedestrians walking to the convention center, and that shade trees be added behind the sidewalk on Avenida Caballeros. She also stated that solar shading would be necessary on the western exposure of the building, and encouraged the applicant to look at movable shade structures for the garden areas. She would like the massing of the building to step down at the north end of the building, and expressed concern about potential noise impacts at the rear of the building and the need for a noise study.

There being no other comments from the commissioners, Vice Chair Weremiuk adjourned the study session at 12:51 p.m.



DREAM
PALM SPRINGS

DEVELOPMENT

selene international

ARCHITECTURE

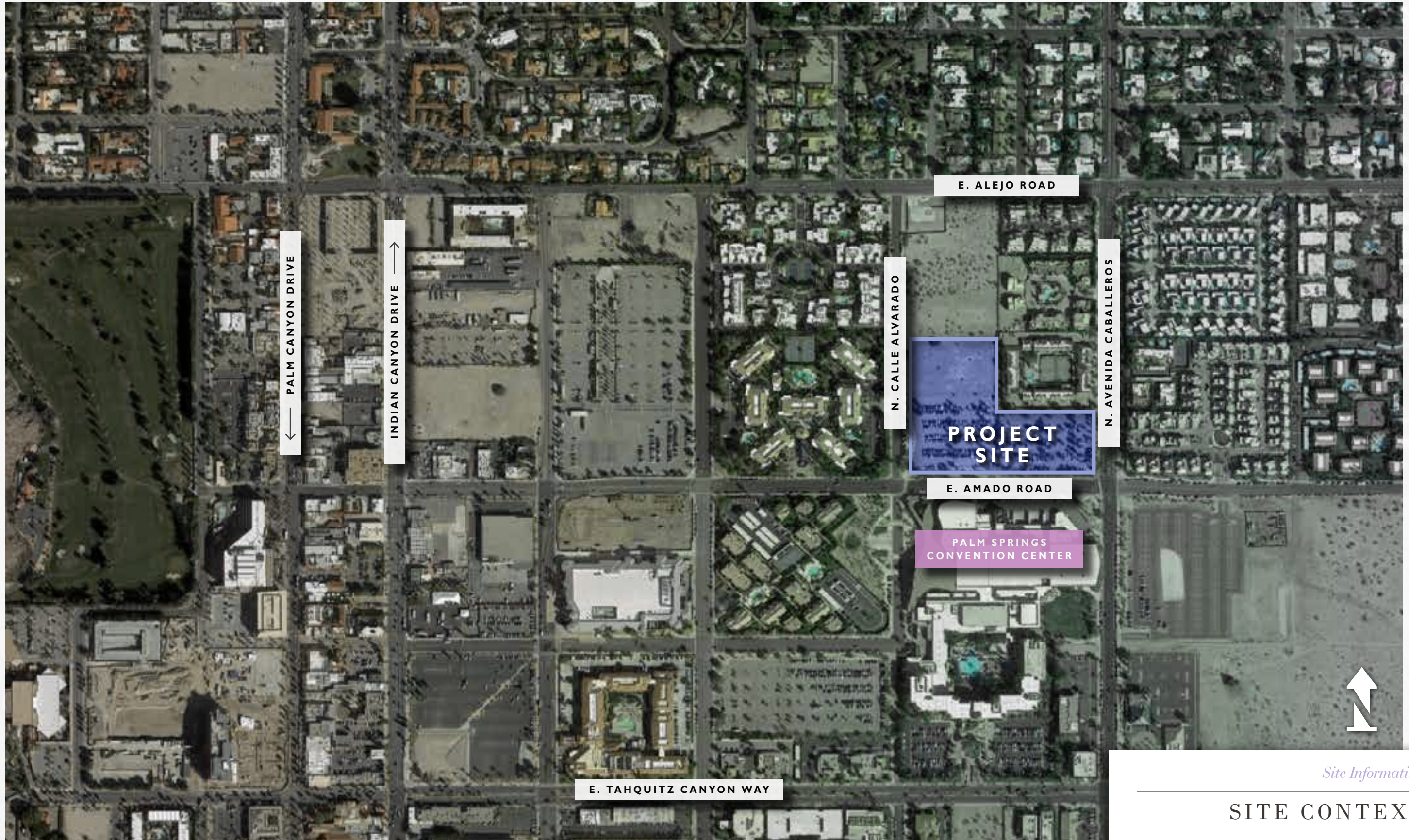
oswaldo d. lopez

LANDSCAPE

mfla associates

INTERIOR

hba international



E. ALEJO ROAD

← PALM CANYON DRIVE

INDIAN CANYON DRIVE →

N. CALLE ALVARADO

PROJECT SITE

N. AVENIDA CABALLEROS

E. AMADO ROAD

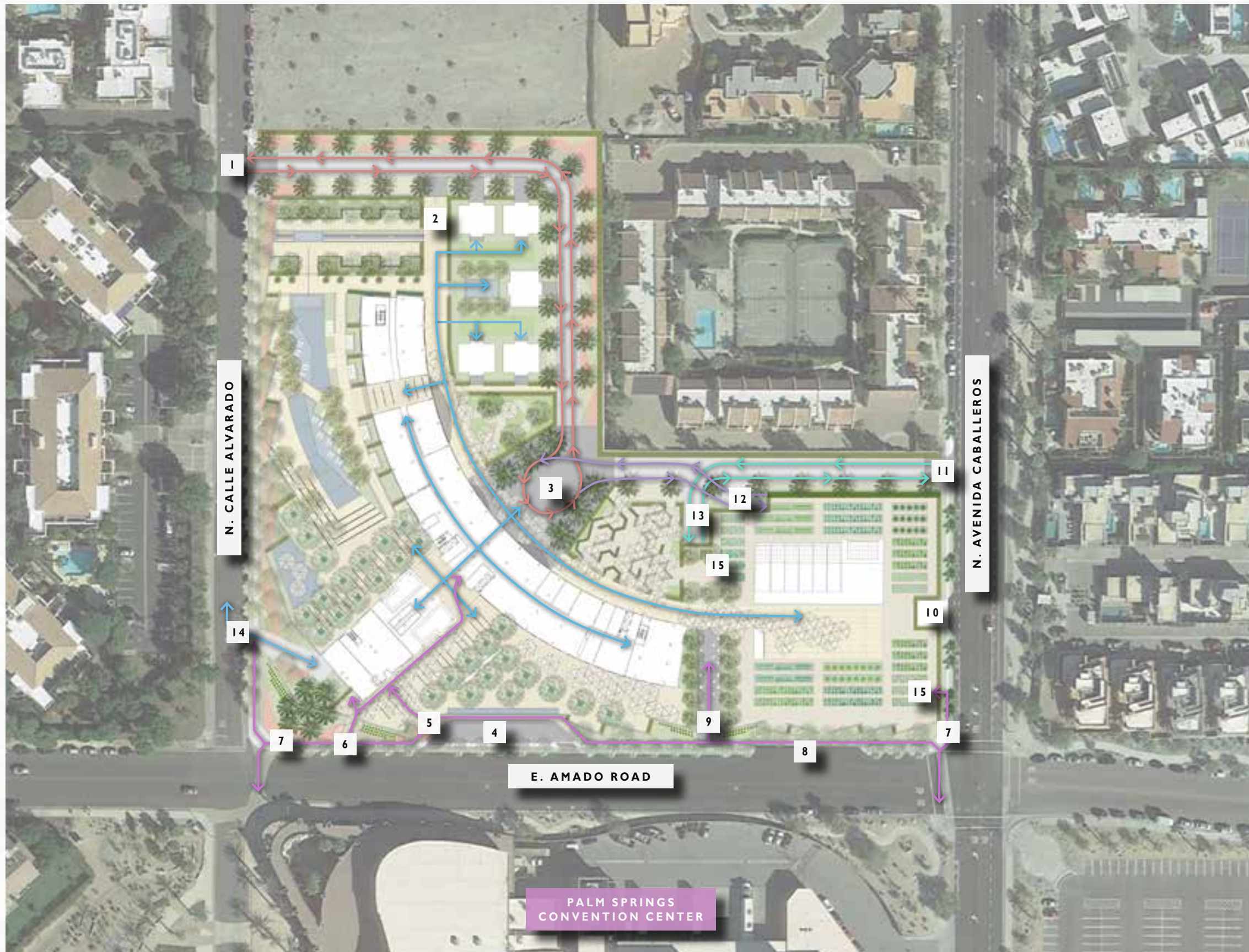
PALM SPRINGS CONVENTION CENTER

E. TAHQUITZ CANYON WAY



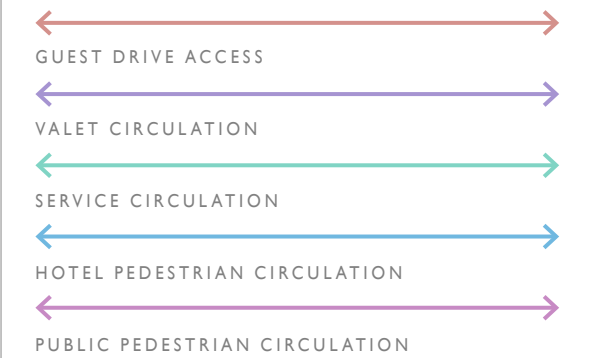
Site Information

SITE CONTEXT



Key

1. VEHICULAR DRIVE ENTRY (VISITOR)
2. FIRE ACCESS ROAD
3. PORTE COCHERE - VALET DROP OFF
4. VEHICULAR DROP OFF ZONE FOR CONDOMINIUM OWNERS
5. PEDESTRIAN ENTRY FOR CONDO OWNERS
6. PEDESTRIAN ENTRY AT CONVENTION CENTER CROSS WALK
7. PUBLIC SPACE AT INTERSECTION CROSSWALK
8. VISITOR + SPECIAL EVENT DROP OFF ZONE
9. PEDESTRIAN ENTRY + FIRE ACCESS
10. GARAGE ENTRY
11. SERVICE DRIVE
12. VALET RAMP
13. SERVICE RAMP
14. SERVICE ENTRY AT CONDOMINIUMS
15. STAIR TO PUBLIC PARKING



Site Information

SITE CIRCULATION

PALM SPRINGS
CONVENTION CENTER

PARKING

175 ROOM HOTEL AASD	144
36 CONDOS	48
HOTEL	20
80 SEATS HOTEL RESTAURANT/BAR	12
60 BREAKFAST	8
50 SCREENING ROOM	
SUB TOTAL (required)	232



PARKING PROVIDED:

SURFACE PARKING: 28
CONVENTION CENTRE BELOW GRADE PARKING-LOWER LEVEL: 150 STALLS
VALET GARAGE PARKING: 206
TOTAL PARKING PROVIDED: 234 + 150 (CONVENTION CENTER) 384

Parking per program:
 Main Hotel (175 rooms includes Villas); 206 valet parking + 25 surface parking stalls
 Condo Units (30 units); 48 valet parking + 3 surface parking stalls
 Total Spaces: 234 stalls
 Total Required: 232 stalls

LEGEND

- OPEN AREA
- DRIVEWAYS (GARAGE PARKING)
- HOTEL CONDO TOWER
- BACK OF HOUSE/BALL ROOM
- HOTEL VILLAS

FUTURE DEVELOPMENT

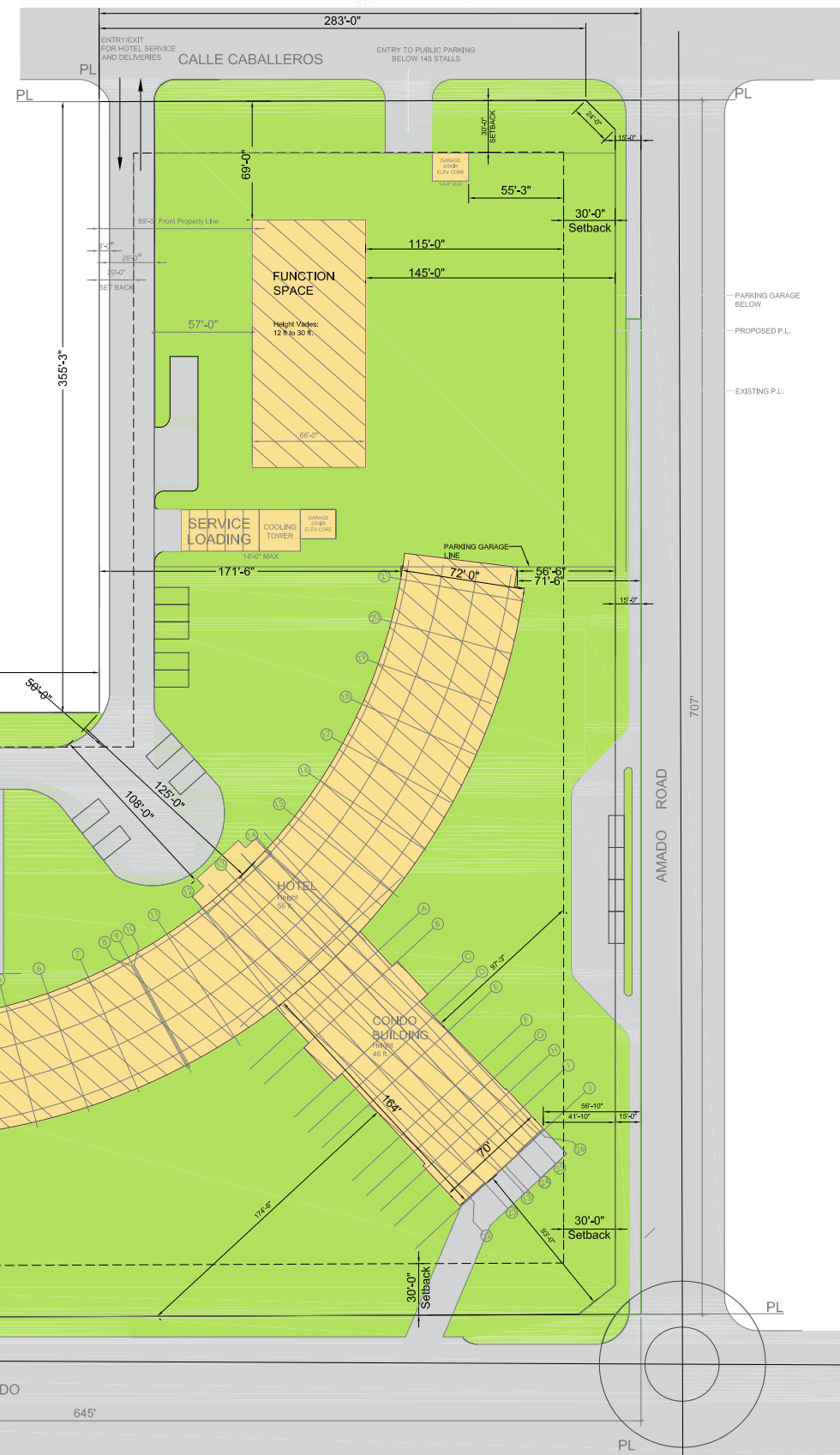
SITE INFORMATION:
 TOTAL AREA: 339,336 SQ. FT.

Site Coverage:

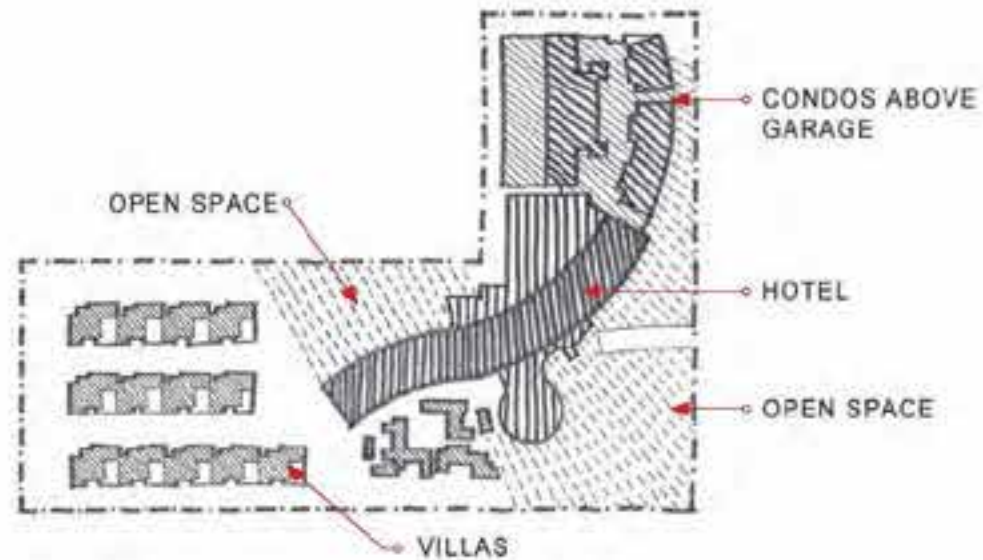
Building:
 Hotel/Condos: 46,241 sq. ft. - (16%)
 (175 hotel units+ 30 condo units = 205 units)
 Villas: 11,040 sq. ft. - (4%)
 Greenhouse: 8,450 sq. ft. - (2%)
 Driveway/Parking: 28,568 sq. ft. - (8%)
 Open Space: 242,040 sq. ft. - (70%)

Program: Total Units: 205 units
 Hotel - 165 rooms - 150,772 sq. ft.
 Hotel Villas - 10 rooms - 11,040 sq. ft.
 Condos- 30 units- 64,000 sq. ft.

PHASE 2



SITE PLAN EXHIBIT



SITE INFORMATION

Total Area: 444,583 sf

Site Coverage:

- o Building (250 units): 1,64,158 sf, 37%
- o Driveway/Surface Parking: 70,630 sf, 16%
- o Open space: 209,795 sf, 47%

PROGRAM

Total Units: 250

Total Building Square Footage: 310,636 sf

- o Hotel - 200 Rooms : 179,930 sf
- o Condos, Villas and Casitas: - 50 Units : 130,706 sf

PARKING PER PROGRAM

Total Spaces: 398 (traditional parking spaces)

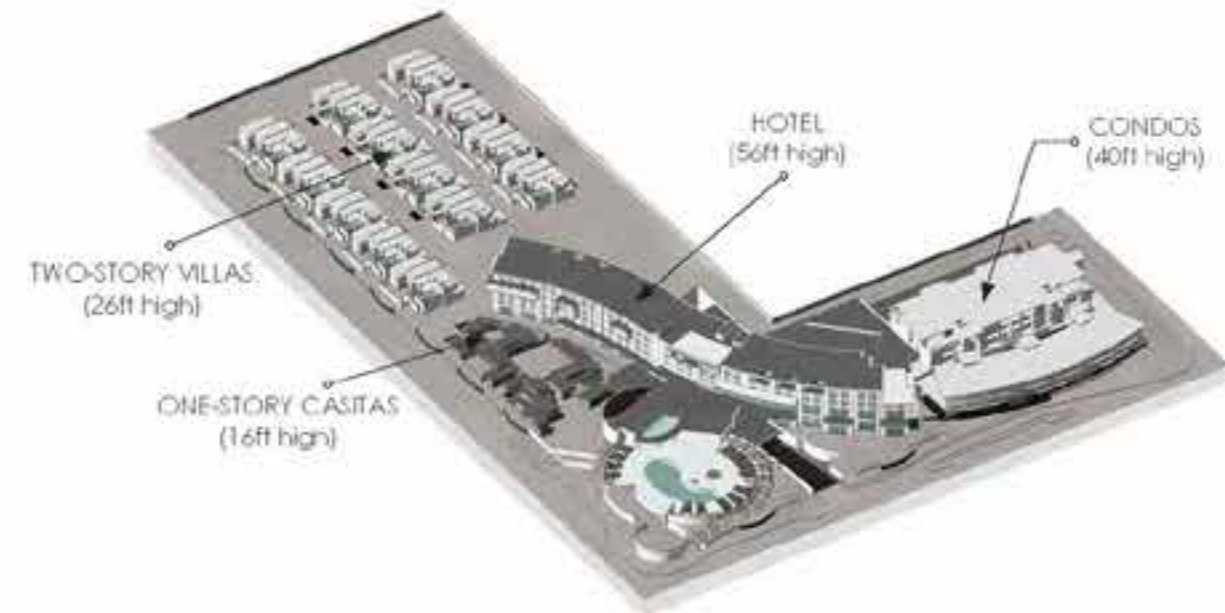
- o Main Hotel (200 rms): 258 valet spaces + 10 surface spaces
- o Condo Units (32 units): 57 self-parked garage spaces
- o Two-story Villas (13 units): 26 spaces in private garages + 29 extra spaces
- o One-story Casitas (5 units): 5 surface spaces + Hotel valet

*Valet Parking will accommodate more than the total traditional parking spaces outlined

SUMMARY

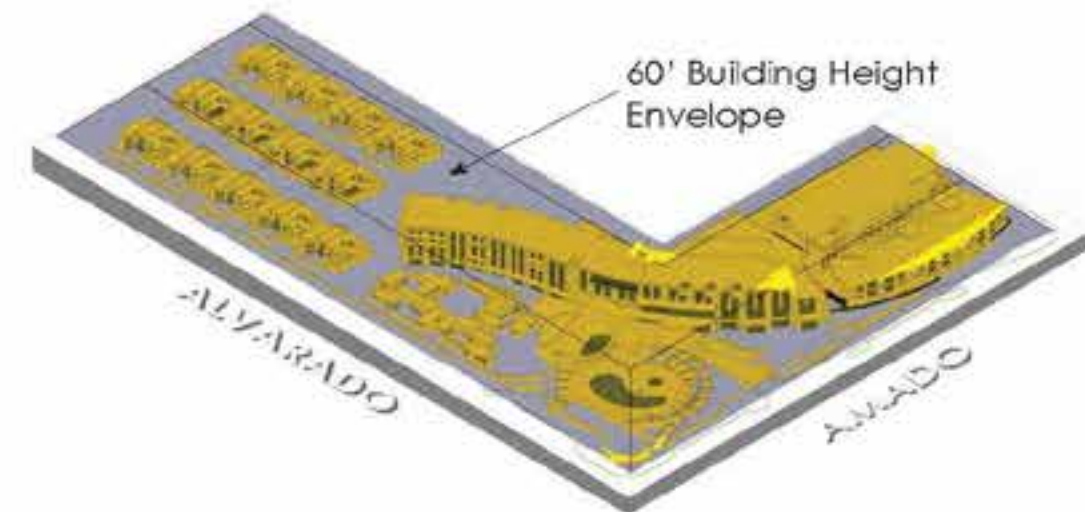
- o 250 units: 310,636 sf on the entire 444,583 sf site, which is 30,224 sf less than Entitled Plan
- o Less height across the entire site: only 56 ft height at Hotel
- o Less overall density; Less occupancy on more land when compared to Amended Plan or simply less occupancy when compared to Entitled Plan.
- o The arced building allows for more open space at the public southwest corner.

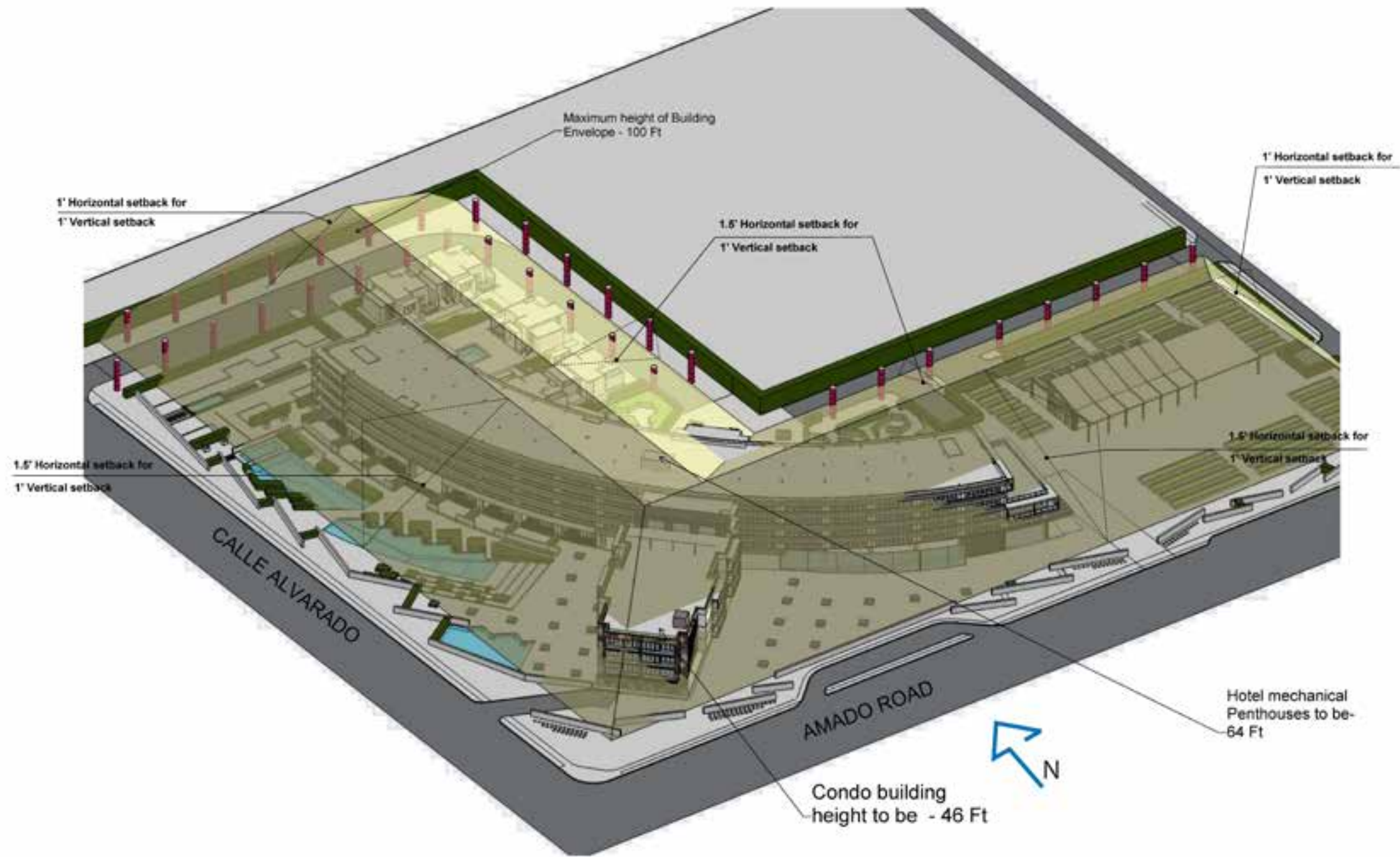
MASSING DIAGRAM



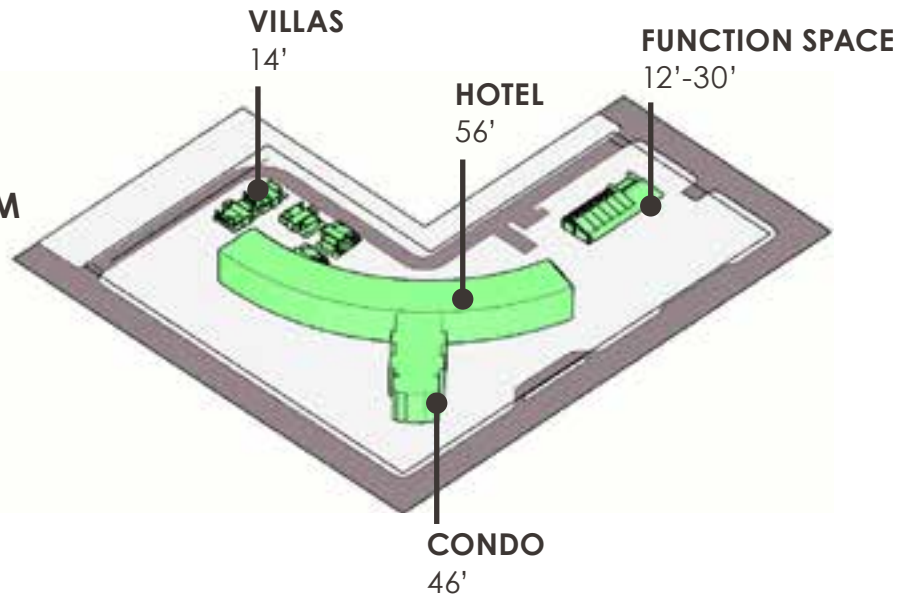
TENT DIAGRAM

The white portions of the current scheme minimally exceed the zoning Envelope compared to the previous entitled versions.





PROGRAM
Massing



SITE INFORMATION

Total Area: 339,336 sq. ft.
Site Coverage:

BUILDING INFORMATION

Hotel/Condos: 46,241 sq. ft. - 16%
(175 hotel units + 30 condo units = 205 units)
Villas: 11,040 sq. ft.-4%
Greenhouse/Farmhouse: 8,450 sq. ft. -2%
Driveway/Surface Parking: 28,568 sq. ft. -8%
Open Space: 242,040 sq. ft.-70%

PROGRAM

Total Units: 205 units
Hotel: 165 Rooms - 150,772 sq. ft.
Hotel Villas: 10 rooms - 11,040 sq. ft.
Condos: 30 units - 64,000 sq. ft.

SUMMARY FOR NEW DREAM HOTEL:

Site Information

Previous Site Lot Size: 444,583 sq. ft. (250 units; 310,636 sq. ft. on entire site)

New Site Lot Size: 339,336 sq. ft. (205 units; 185,350 sq. ft. on entire site)

- Less height across the site with the deletion of Condo Buildings at East end of site.
- Hotel Height is still at 56 ft, condo extension is now facing away from North portion of site, Condo height is 46 ft.
- One story villas are 14 ft. height max.
- Overall less density from previous 37% to 19%
- Less occupancy from original entitled Dolce Plan. Dream Plan significantly more open space.
- The arced building profile is significantly further from neighbors per the previous amended plan for the Dolce Hotel.
- Movement of the building profile towards the east and to the west allows a better view for neighbors of San Jacinto Mountains
- Moving hotel entry to Alvarado reduces traffic off of Amado Road.

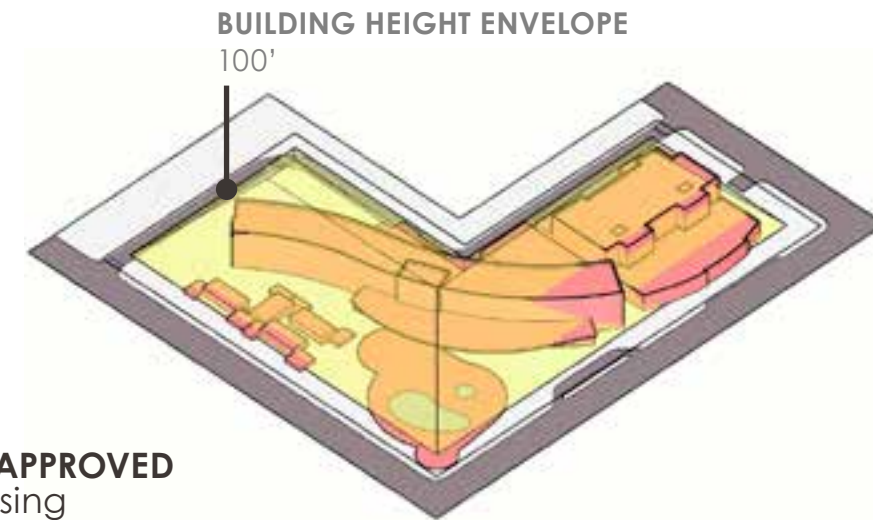
PARKING PER PROGRAM

- Total Spaces: 238 traditional spaces including additional 140 parking stalls for replacement Convention Center Parking
- Total Parking Provided: 378 parking stalls (2 levels of below grade parking)
- Hotel and Villas: All Valet parking of 172 stalls in garage parking with 12 surface parking = 184 provided
- Condo Parking : All Valet parking of 45 stalls of garage parking with 3 surface parking = 48 provided
- Total Parking Required: 232 parking stalls
- Valet Parking will accommodate more than the total traditional parking spaces outlined above.

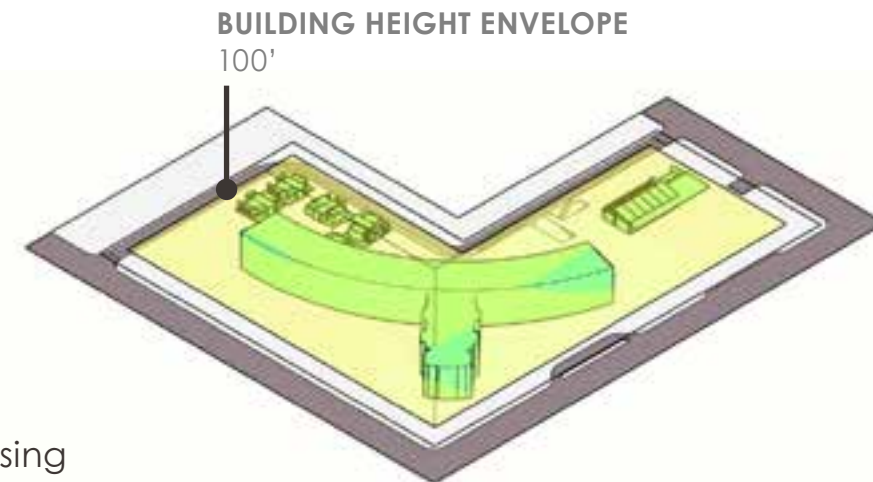
TOTAL PARKING PROVIDED

All Valet : 217 parking stalls + 15 surface parking = 232
Convention Center Parking = 140
Total (Hotel, Condos and Convention Center) = 372 parking stalls

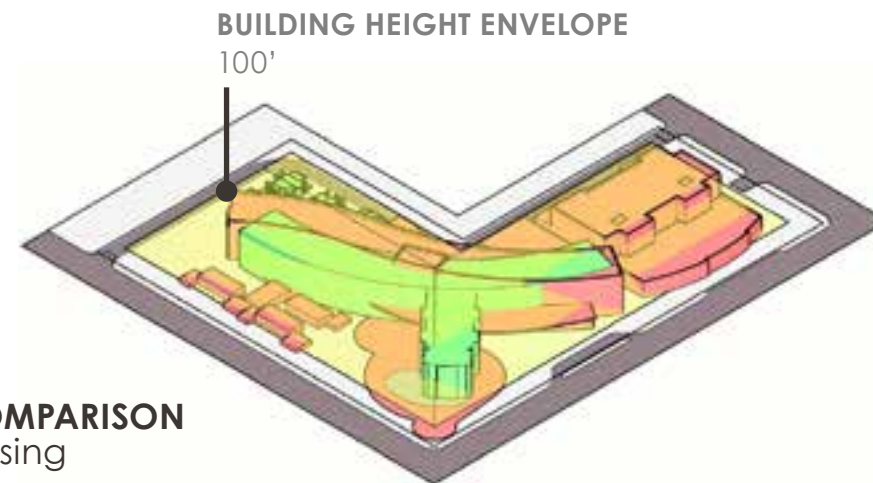
PREVIOUSLY APPROVED
Building Massing



MODIFIED
Building Massing



OVERLAY COMPARISON
Building Massing



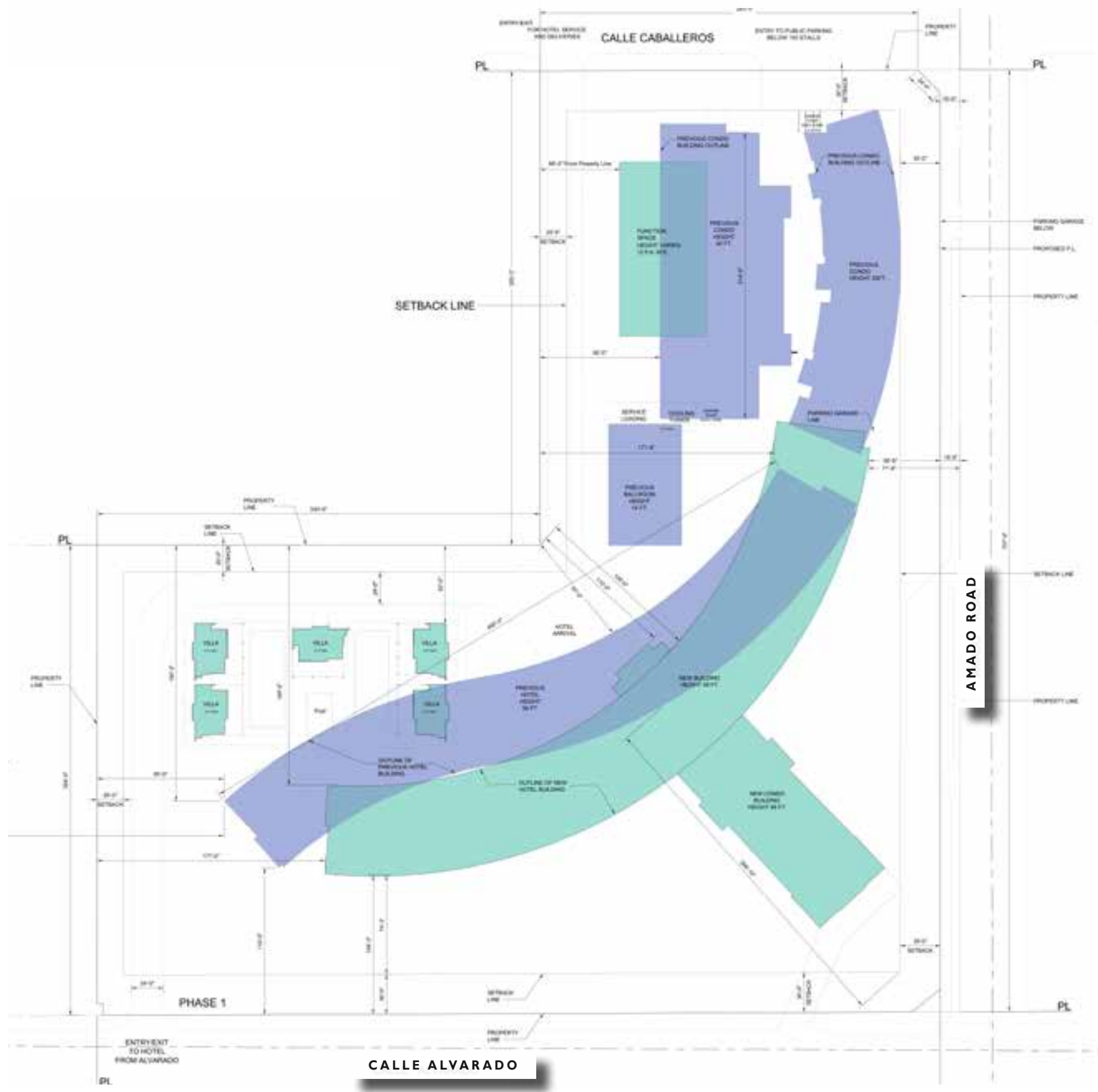
Massing and Tent Comparisons

SITE MODIFICATIONS

Legend

PREVIOUSLY APPROVED

CURRENT PROPOSAL

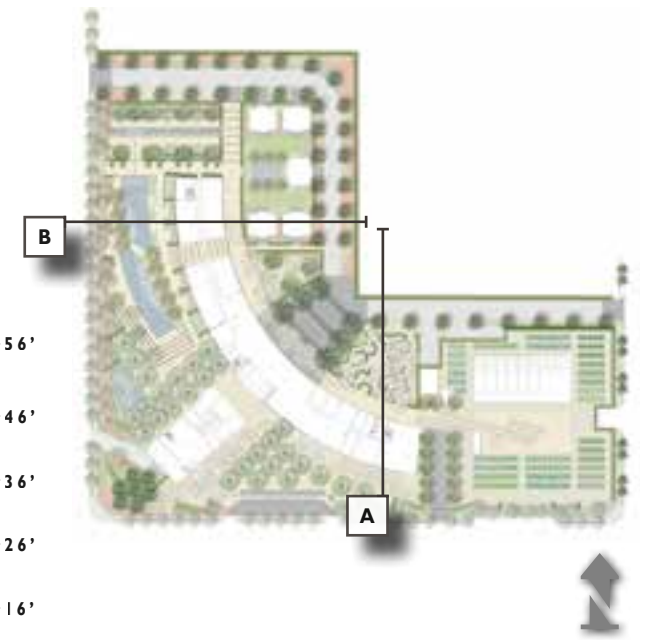


Comparative Diagram

BUILDING SETBACK



SECTION A | SOUTH/NORTH 1" = 30'



SECTION B | EAST/WEST 1" = 30'

As Noted

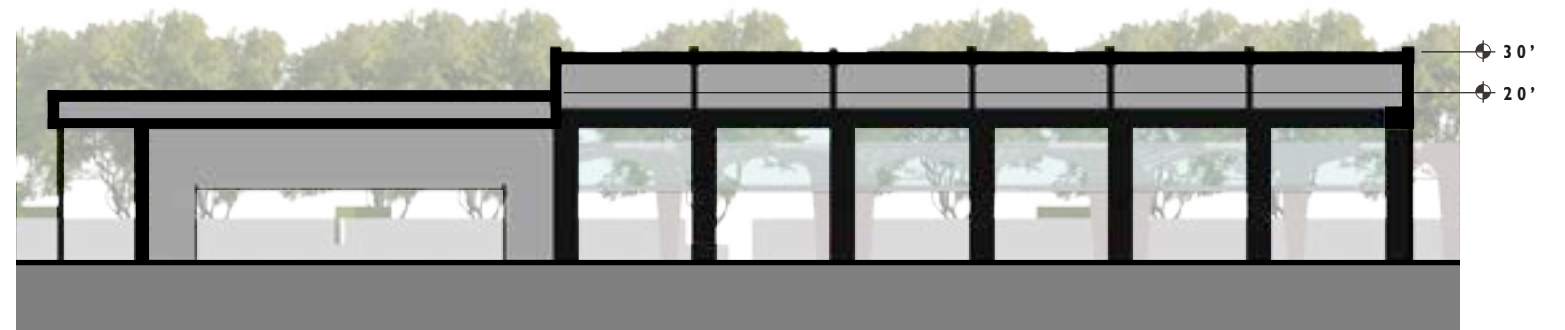
SITE SECTIONS



SECTION C | CONDO TOWER SECTION 1" = 30'



SECTION D | VILLA SECTION 1" = 20'



SECTION E | FUNCTION SPACE SECTION 1" = 20'

As Noted

SITE SECTIONS



Legend

- CIRCULATION
- PARKING
- CIRCULATION SHAFT



Program Diagram | NTS

B1 GARAGE PARKING



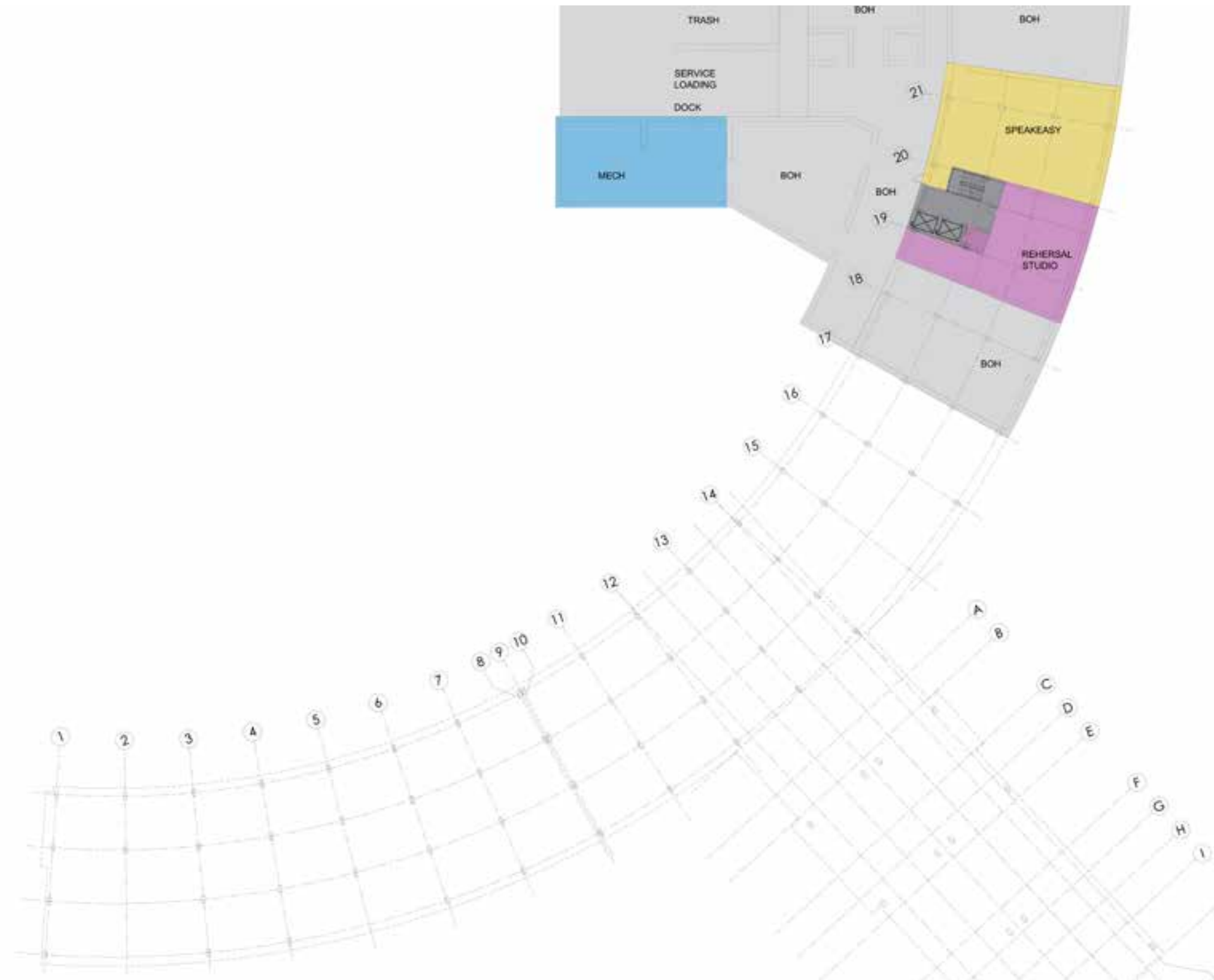
Legend

- CIRCULATION
- PARKING
- CIRCULATION SHAFT



Program Diagram | NTS

B2 VALET PARKING



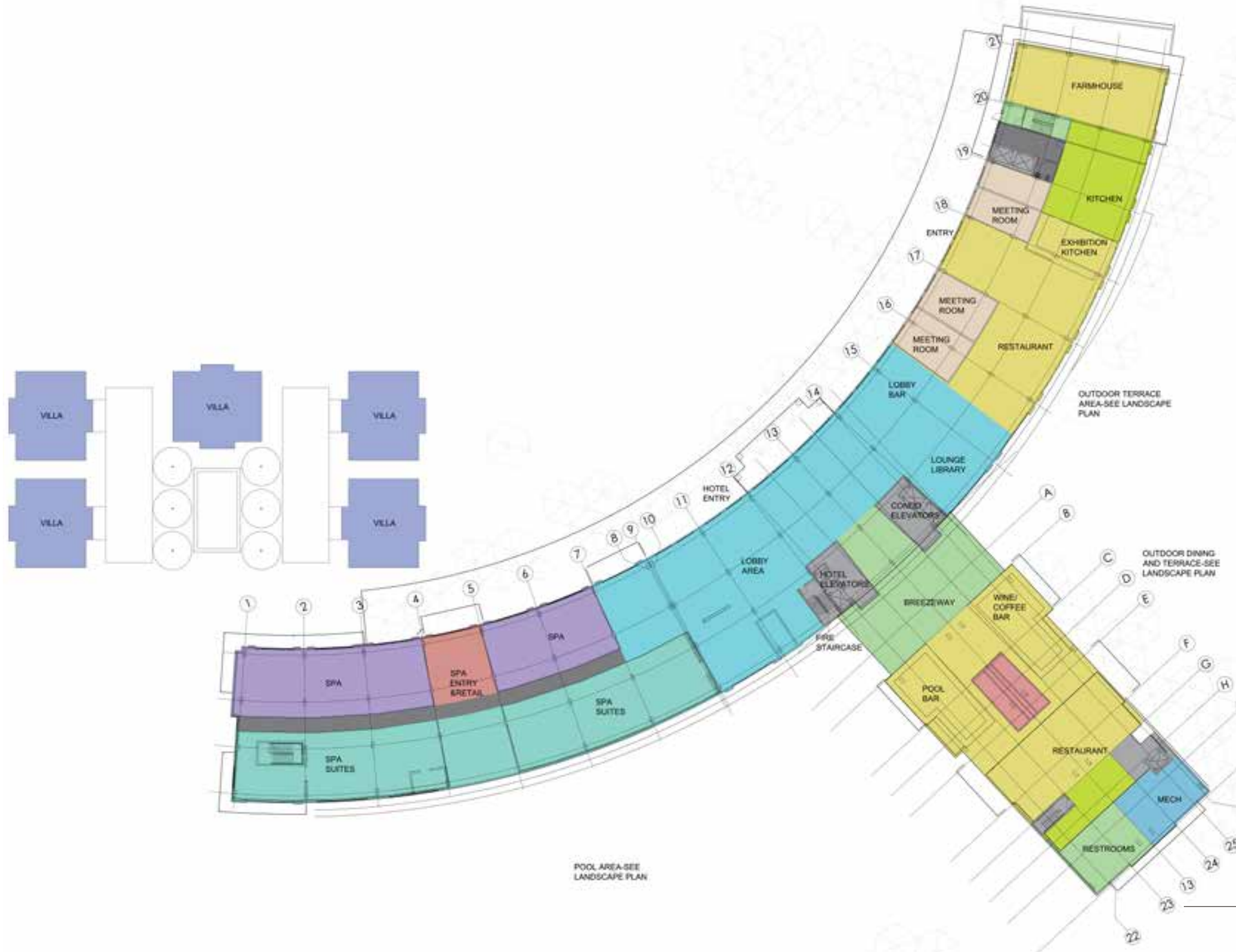
Legend

- CIRCULATION
- CIRCULATION SHAFT
- BACK OF HOUSE
- SCREENING/REHERSAL
- FOOD & BEVERAGE
- MECHANICAL



Program Diagram | NTS

B1 BACK OF HOUSE



Legend

CIRCULATION
CIRCULATION SHAFT
BACK OF HOUSE
CONDOMINIUMS
FOOD & BEVERAGE
FOOD PREPARATION
GUEST CIRCULATION
GUESTROOM
LOBBY/LOBBY LOUNGE
MECHANICAL
VILLAS
SPA
SCREENING ROOM
RETAIL
MEETING

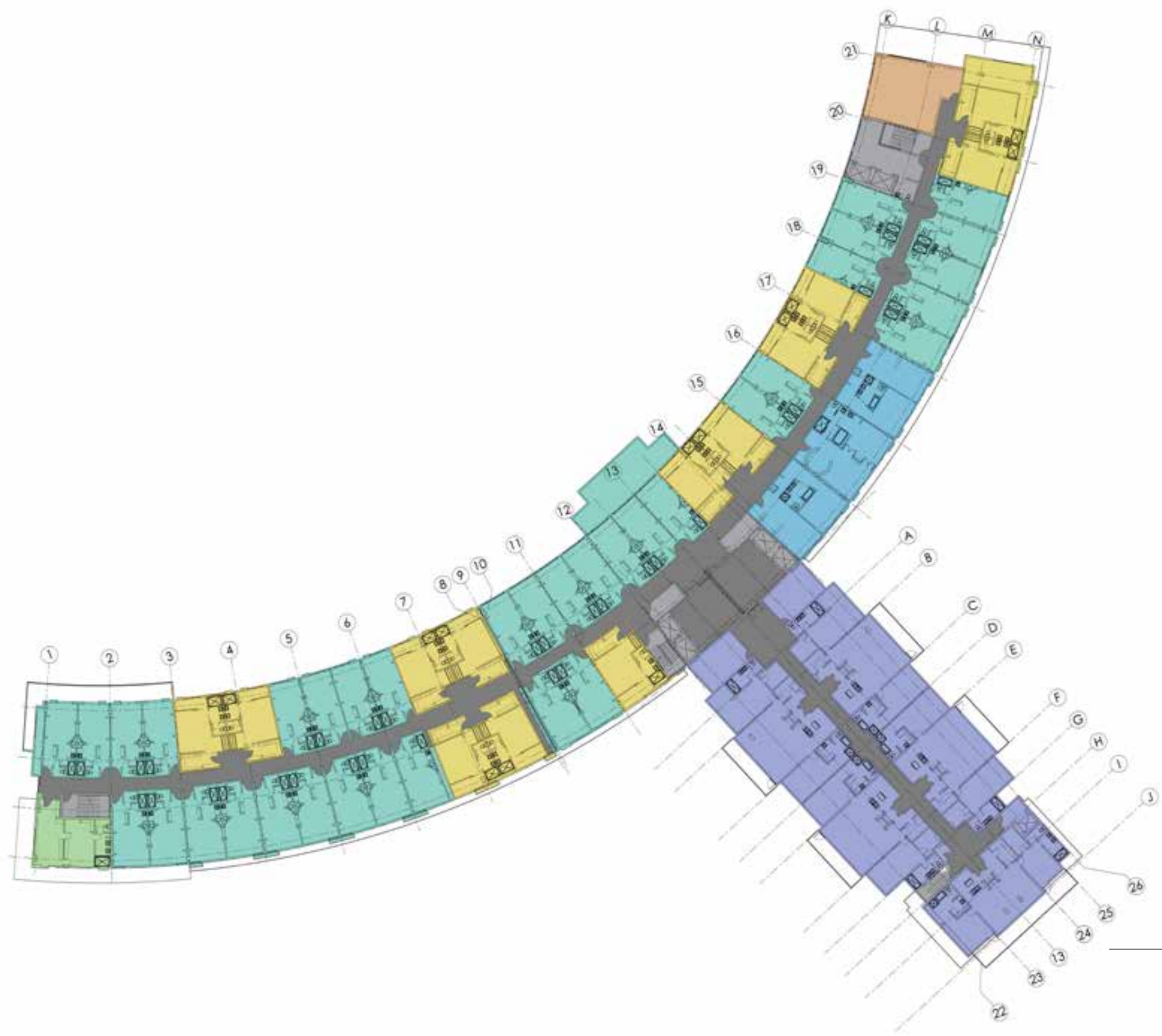


Program Diagram | NTS

FIRST FLOOR PLAN

Legend

- CIRCULATION
- CIRCULATION SHAFT
- GRAND SUITE
- DREAM RM W/ TERRACE
- ONE BEDROOM SUITE
- TYPICAL KING/DQ
- HOSPITALITY SUITE
- CONDOMINIUMS

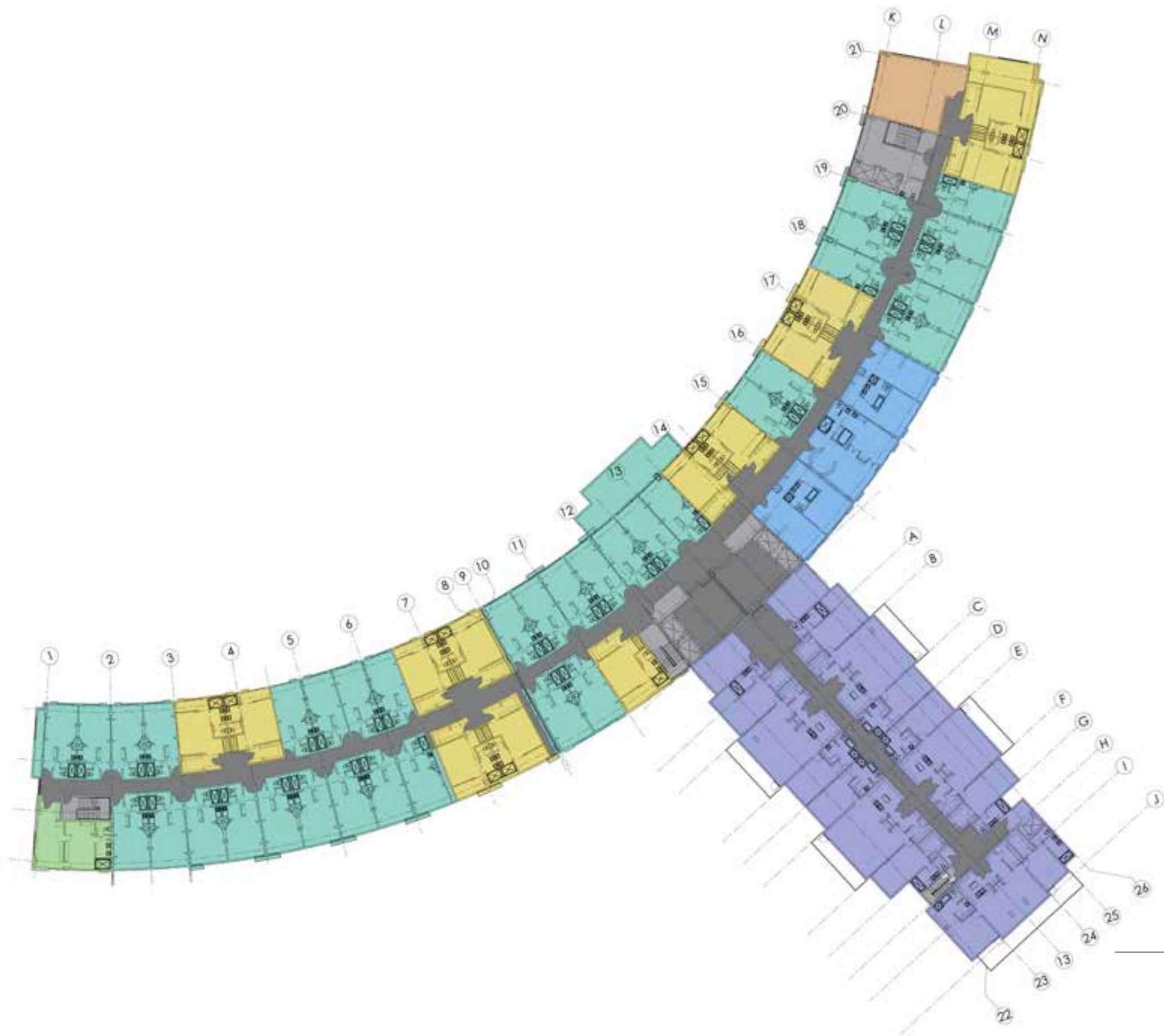


Program Diagram | NTS

SECOND FLOOR PLAN

Legend

- CIRCULATION
- CIRCULATION SHAFT
- GRAND SUITE
- DREAM RM W/ TERRACE
- ONE BEDROOM SUITE
- TYPICAL KING/DQ
- HOSPITALITY SUITE
- CONDOMINIUMS

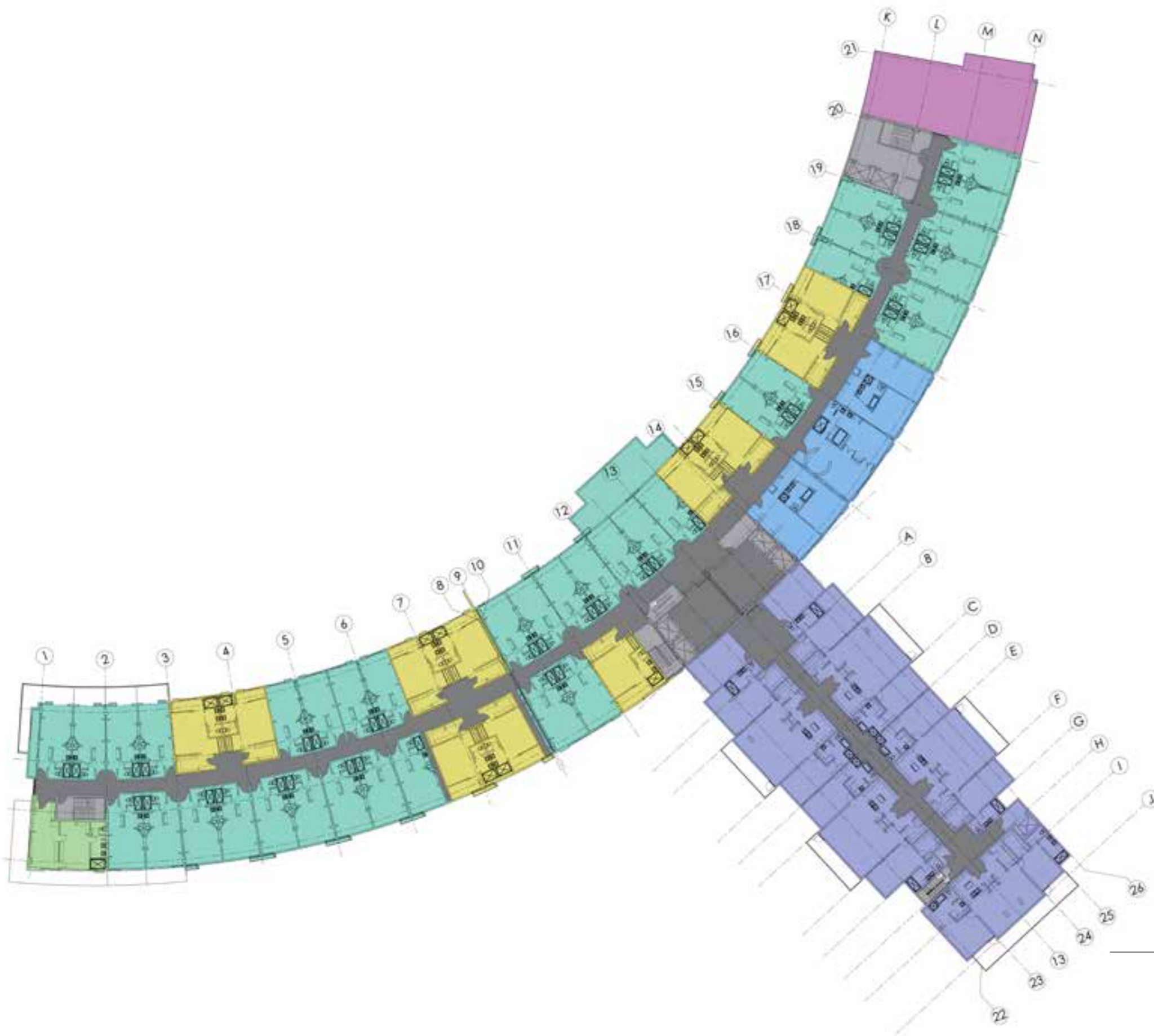


Program Diagram | NTS

THIRD FLOOR PLAN

Legend

- CIRCULATION
- CIRCULATION SHAFT
- GRAND SUITE
- DREAM RM W/ TERRACE
- ONE BEDROOM SUITE
- TYPICAL KING/DQ
- HOSPITALITY SUITE
- CONDOMINIUMS
- GUEST TERRACE

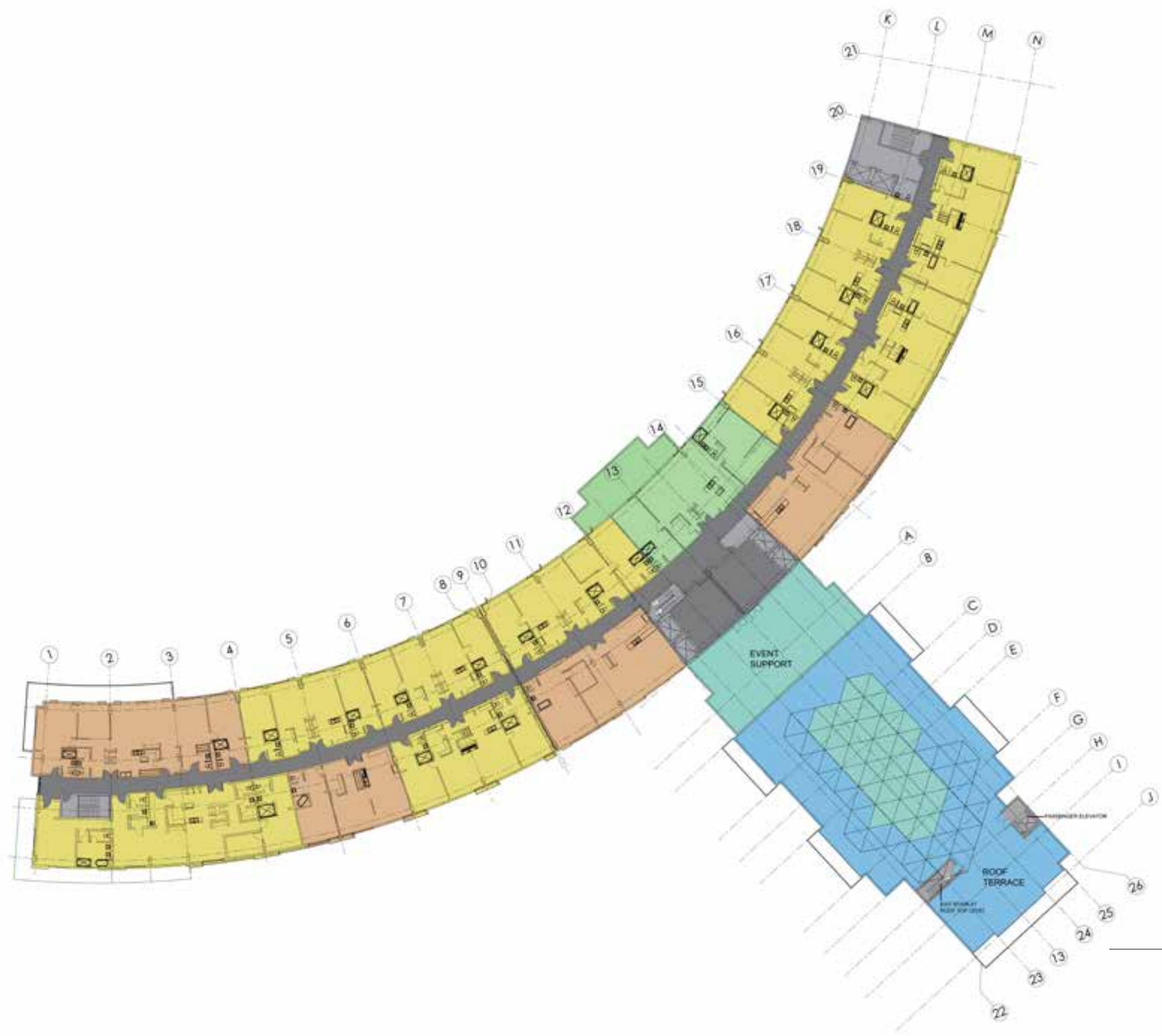


Program Diagram | NTS

FOURTH FLOOR PLAN

Legend

- CIRCULATION
- CIRCULATION SHAFT
- 1 BEDROOM CONDO
- 2 BEDROOM CONDO
- 3 BEDROOM CONDO
- EVENT SUPPORT
- ROOF TERRACE

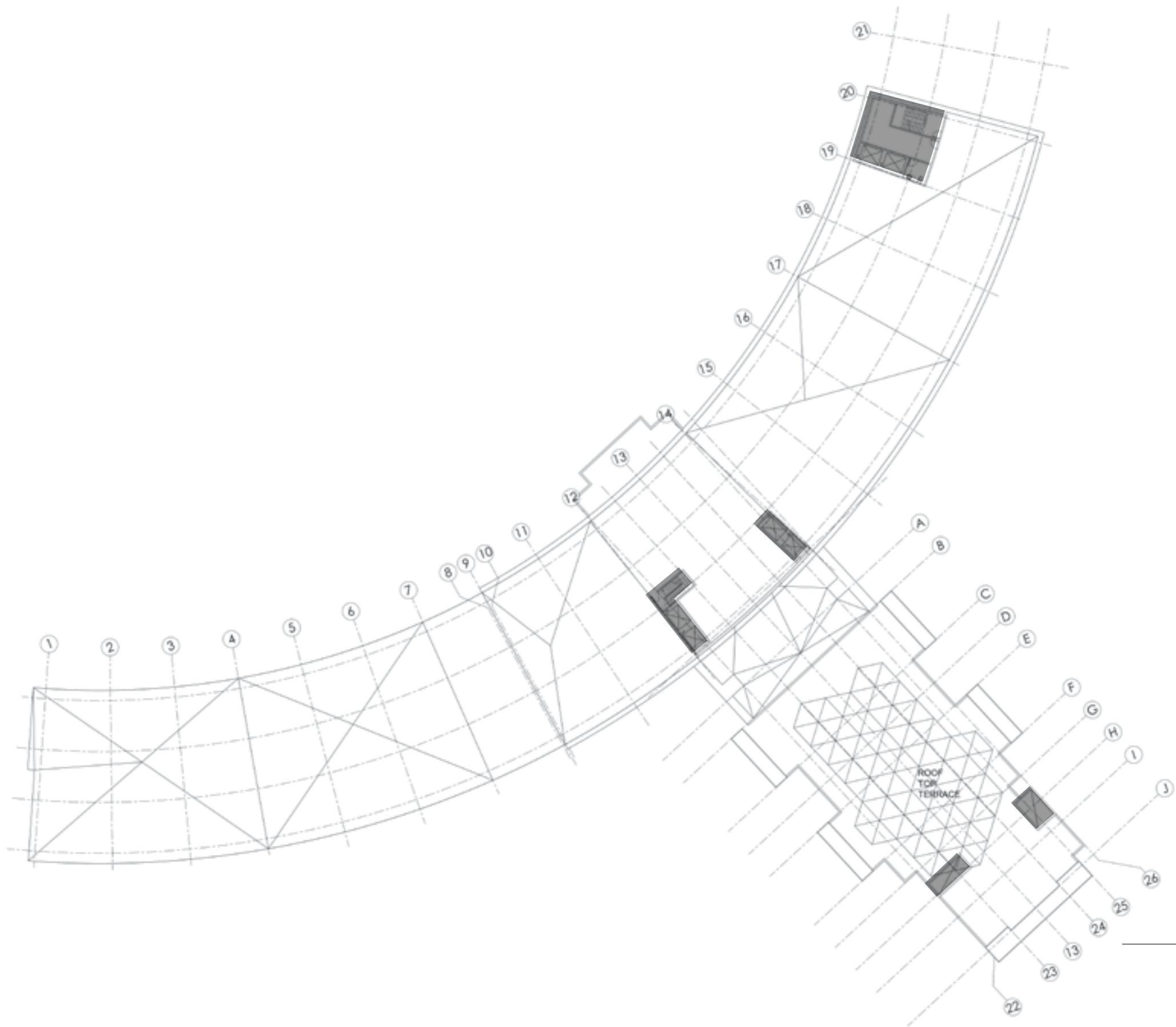


Program Diagram | NTS

FIFTH FLOOR PLAN

Legend

- CIRCULATION
- CIRCULATION SHAFT
- GRAND SUITE
- DREAM RM W/ TERRACE
- ONE BEDROOM SUITE
- TYPICAL KING/DQ
- HOSPITALITY SUITE
- CONDOMINIUMS

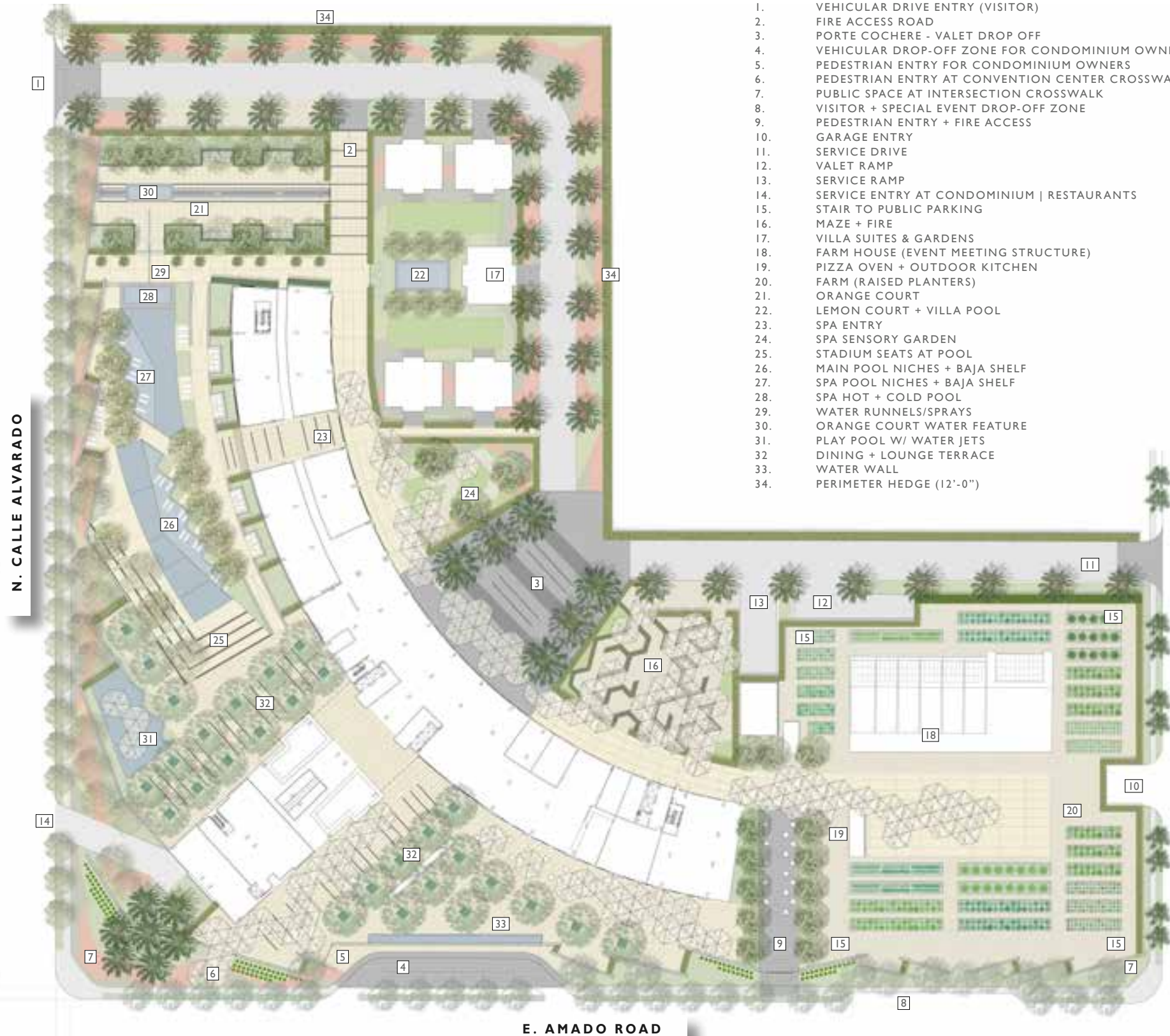


Program Diagram | NTS

ROOF PLAN

Key

1. VEHICULAR DRIVE ENTRY (VISITOR)
2. FIRE ACCESS ROAD
3. PORTE COCHERE - VALET DROP OFF
4. VEHICULAR DROP-OFF ZONE FOR CONDOMINIUM OWNERS
5. PEDESTRIAN ENTRY FOR CONDOMINIUM OWNERS
6. PEDESTRIAN ENTRY AT CONVENTION CENTER CROSSWALK
7. PUBLIC SPACE AT INTERSECTION CROSSWALK
8. VISITOR + SPECIAL EVENT DROP-OFF ZONE
9. PEDESTRIAN ENTRY + FIRE ACCESS
10. GARAGE ENTRY
11. SERVICE DRIVE
12. VALET RAMP
13. SERVICE RAMP
14. SERVICE ENTRY AT CONDOMINIUM | RESTAURANTS
15. STAIR TO PUBLIC PARKING
16. MAZE + FIRE
17. VILLA SUITES & GARDENS
18. FARM HOUSE (EVENT MEETING STRUCTURE)
19. PIZZA OVEN + OUTDOOR KITCHEN
20. FARM (RAISED PLANTERS)
21. ORANGE COURT
22. LEMON COURT + VILLA POOL
23. SPA ENTRY
24. SPA SENSORY GARDEN
25. STADIUM SEATS AT POOL
26. MAIN POOL NICHES + BAJA SHELF
27. SPA POOL NICHES + BAJA SHELF
28. SPA HOT + COLD POOL
29. WATER RUNNELS/SPRAYS
30. ORANGE COURT WATER FEATURE
31. PLAY POOL W/ WATER JETS
32. DINING + LOUNGE TERRACE
33. WATER WALL
34. PERIMETER HEDGE (12'-0")



Landscape Narrative

STREETSCAPE AND HOTEL ENTRY

The site and landscape development proposed for this hospitality and residential project incorporates the urban design guidelines and principles provided by both The City of Palm Springs Interim Downtown Urban Design Plan (07.2005) and Section 14 Master Development Plan / Specific Plan (11.2004) and the project's Conditions of Approval (11.20.2013). Situated on the periphery of both Districts this project will provide a continuation of the proposed City streetscape, further strengthening both pedestrian and vehicular connections to the Downtown District.

At the intersection of Calle Alvarado and Amado Road the hotel and condominium is scaled with a strong planting of *Phoenix dactylifera*, Date Palms flanked on either side with "Mexican Fence Post" cacti, *Pachycereus marginatus*. The primary hotel guest and porte-cochere valet drop-off entry is on Calle Alvarado and is emphasized by a double row of *Phoenix dactylifera*, Date Palms, and an twelve foot high perimeter evergreen privacy hedge. The streetscape along Calle Alvarado is planted with *Prosopis alba* "Colorado", Argentinian Mesquite, parallel to the curb within the median. Within the project frontage they occur in a casual, informal pattern, a horticultural juxtaposition against the perforated sculptural breeze-block, angled wall sections. *Rhus lancea*, African Sumac, is used in the same manner along the length of Amado Road. *Washingtonia robusta*, Mexican Fan Palms, are planted in grouping along Avenida Caballeros, framing the Farm and incorporating the Section 14 landscape design guidelines for this specific street.

Sidewalk widths are five feet wide and the street tree-planting zone is five feet, providing both a generous area for street tree root volume development as well as understory planting. Vehicular drop-off zones are provided at higher-use function areas and for short-term condominium parking and concierge services. The Hotel's porte cochere, service and loading, and garage ramps are internalized within the entry and service drives.

STREET FRONTAGE LANDSCAPE

The landscape palette developed for the street frontages incorporates a bold, desert palette. The plant palette utilizes a graduated massing of yuccas, agaves, and groundcovers. The vertical surfaces of solid and perforated privacy and pool enclosure walls are dramatic counterpoints to both the understory foliage and tree canopies creating dramatic shadow and silhouette.

HOTEL PORTE COCHERE + SITE WAYFINDING

The Hotel Entry drive lined with Date Palms intersects the Porte Cochere which will be planted with specimen *Phoenix canariensis*, Canary Island Date Palms. The porte cochere is surfaced in basalt with other accent stone in neutral tones of grays and charcoal. The dynamic freestanding modules wrapping the hotel entry functions as the ceremonial arrival court for both pedestrians and vehicular valet drop-off and retrieval for hotel and spa guests, and condominium owners. The dynamic modules begin to create an identity for the site and use materiality to highlight their function. Occurring at times as shade structures, screening light to create texture with shadow; other times as structural supports for vegetation to colonize. The modules repeat throughout the site and act as an important wayfinding devise marking pedestrian entry points and site amenities.

HOTEL AND RESIDENTIAL GROUNDS

The landscape amenities for both the hotel, residential condominiums, and villas include a series of recreational and exercise pools, spas, and splash pools designed in the tradition of Moorish court gardens. The internalized series of courtyards have been developed to be a consistent grade throughout the site with a relatively minimal grade south to north, and east to west, visually resulting in a level landscape, and providing unimpeded accessibility. The pool terrace is two feet lower than the lounge and dining terraces and the spa suites providing a visual and physical separation. Lowering the pool terrace provides for seat walls and cabana niches and allows for the security and privacy site walls to be lower as seen from the street frontages.

The water elements will express the overall site grade differential through a series of spillways, weirs and runnels, and water walls. The villa and spa suites have water walls, basins and associated weirs that visually or spatially connect to the central water spine and spa-related programs.

SENSORY COURTS

Sensory courtyards of fragrance and fruit have been developed for special function and general hotel and condominium use such as the "Orange Court", the "Lemon Court" (Spa Villas), the "Spa Sensory Garden" and the "Olive Terraces" flanking the Lobby-Bar and Restaurants. Other edible fruits are used throughout the grounds as espaliers, villa and spa garden plantings, and in containers. They are all part of the "Farm" component of the hotel in which organically grown, on-site, fruit, produce, herbs, medicinals, and floral will be cultivated and integrated into the culinary and spa programs throughout the year. Building upon the the sensory garden experience and sense of discovery, a "Maze" is located adjacent to the farm and restaurants with outdoor games and fire as its main features.

THE FARM

The Farm is an integral part of the project and utilizes the surface area of the underground parking. The Farm House (Event Meeting Structure) is a venue amenity as well as a practical, horticultural nursery component of the project. Extensive raised beds will be utilized for organic crop production and year-round rotation with permanent fruit espalier and will form the backdrop for farm-to-table events for guests and public. Spa services will also utilize the Farm's herbs and medicinals and the potential for product development will be explored. Throughout the site, fruit-bearing trees and palms have been utilized; dates, olives, citrus, figs, pomegranates, all desert adapted species and cultivars.

Landscape Legend

LANDSCAPE PLAN












N. CALLE ALVARADO

AVENIDA CABALLEROS

E. AMADO ROAD

Planting Schedule

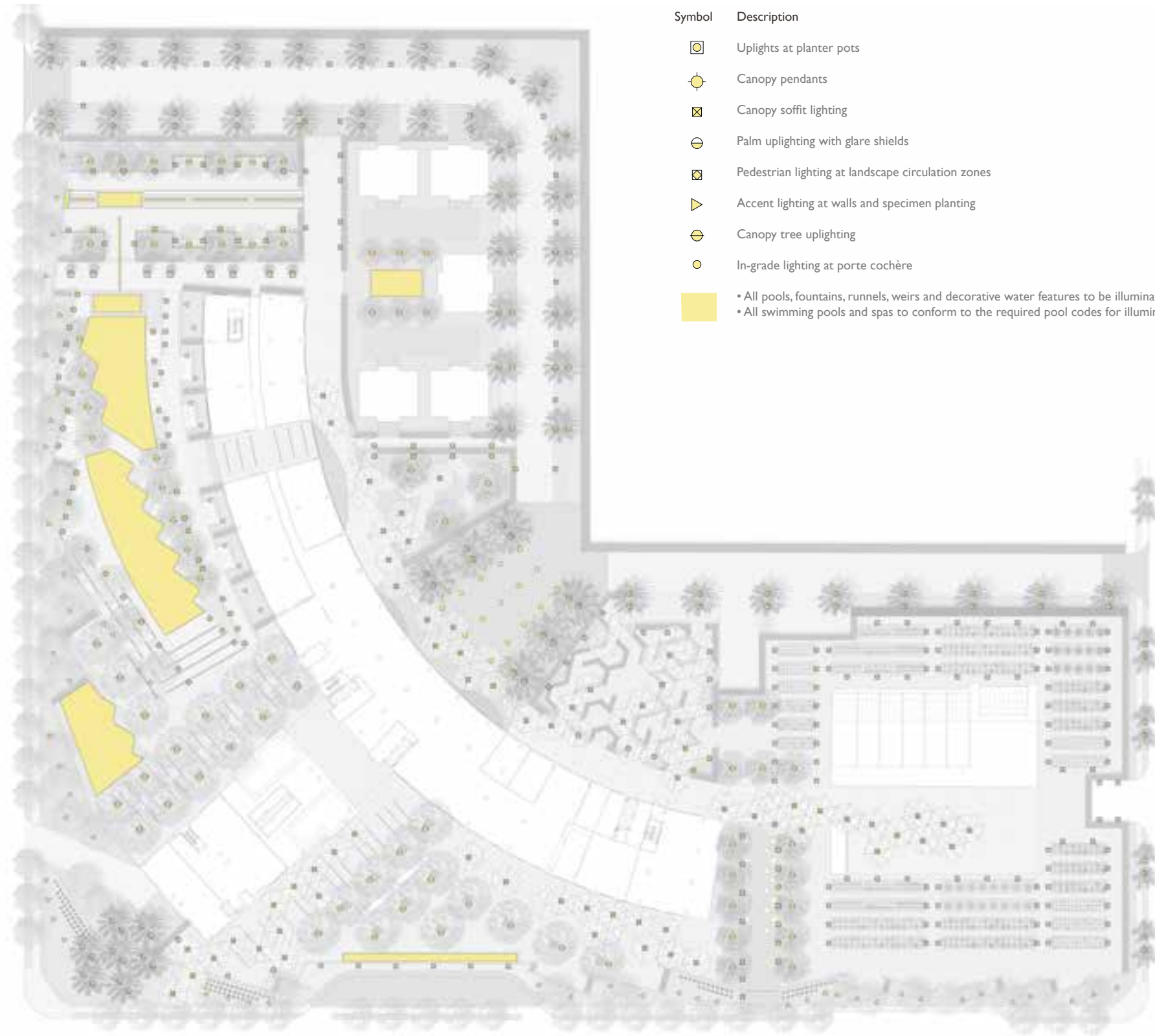
Symbol	Botanical Name	Common Name	Size
	<i>Phoenix dactylifera</i>	Medjool Date Palm	25' CT
	<i>Phoenix canariensis</i>	Canary Island Date Palm	25' CT
	Alt. <i>Phoenix laureiri</i>		
	<i>Chamerops humilis</i>	Mediterranean Fan Palm	48" B. MT
	<i>Brahea edulis</i>	Guadalupe Palm	12' CT
	<i>Phoenix roebelenii</i>	Pygmy Date Palm	24" B.
	<i>Prosopis alba</i> v. "Colorado"	Argentine Mesquite	48" B.
	<i>Rhus lancea</i>	African Sumac	48" B.
	<i>Washingtonia robusta</i>	Mexican Fan Palm	30' CT
	<i>Olea europaea</i>	Fruiting Specimen Olives	B+B 24" dia CAL
	<i>Prosopis alba</i> v. "Colorado"	Argentine Mesquite	60" B.
	<i>Citrus "Hamlin"</i>	Hamlin Orange	60" B. / 48" B.
	<i>Parkinsonia aculeata</i>	Palo Verde Tree	60" B. / 48" B.
	<i>Pachycereus marginatus</i>	Mexican Fence Post	24" B. / 15 gal.
	<i>Yucca recurvifolia</i>	Soft Leaf Yucca	15 gal.
	<i>Yucca rostrata</i>	Big Bend Yucca	15 gal.
	<i>Yucca aloifolia</i> "Tricolor"	Tricolor Spanish Bayonet	15 gal.
	<i>Yucca rostrata</i>	Big Bend Yucca	24" B.
	<i>Agave attenuata</i>	Foxtail Agave	15 gal.
	<i>Agave stricta</i>	Agave	15 gal.
	<i>Agave ovatifolia</i>	Whale's Tongue Agave	15 gal.
	<i>Agave americana</i>	Century Plant	15 gal.
	<i>Agave variegata</i>	Variegated Century Plant	15 gal.
	<i>Cordylina australis</i>	Cabbage Tree	24" B.
	<i>Coryline australis</i> v. 'Alberti'	Alberti Grass Palm	24" B.
	<i>Chondropetalum tectorum</i>	Cape Rush	5 gal.
	<i>Carissa macrocarpa</i> "Tomlinson"	Natal Plum	5 gal.
	<i>Aloe striata</i>	Coral Aloe	5 gal.
	<i>Aloe cameranii</i>	Cameroon Aloe	5 gal.
	<i>Aloe polyphylla</i>	Spiral Aloe	5 gal.
	<i>Aloe barbadensis</i>	Aloe Vera	5 gal.
	<i>Bougainvillea "Rosenka"</i>	NCN	5 gal.
	<i>Bougainvillea "Glabra"</i>	NCN	5 gal.
	<i>Bougainvillea "Oo la-la"</i>	NCN	5 gal.
	<i>Senecio mandraliscae</i> v. <i>talinooides</i>	Blue Chalk Sticks	1 gal.
	<i>Stipa tenuissima</i>	Mexican Feather Grass	1 gal.
	<i>Cycas revoluta</i>	Sago Palm	24" B.
	<i>Dioon edule</i>	Dioon	24" B.
	<i>Dioon Spinulosum</i>	Giant Dion	24" B.
	<i>Dracena draco</i>	Dragon Tree	24" B.
	<i>Dasyliion longissium</i>	Mexican Grass Tree	24" B.
	<i>Pachypodium lamerei</i>	Madagascar Palm	36" B.
	<i>Ocotillo splendens</i>	Ocotillo Cactus	24" B.
	<i>Tradescantia pallida</i>	Purple Heart	1 gal.
	<i>Colocasia esculenta</i> "Black Magic"	Elephant Ear	5 gal.
	<i>Olea "Little Ollies"</i>	Shrub Olives	15 gal.
	<i>Equisetum fluviale</i>	Water Horsetail	5 gal.
	<i>Sansevieria trifasciata</i>	Mother In Law's Tongue	5 gal.
<i>Echeveria "Afterglow"</i>	Afterglow	5 gal.	
<i>Kalanchoe thyrsiflora</i>	Flapjack	5 gal.	
<i>Euphorbia characias</i> subsp. <i>wulfenii</i>	Spurge	5 gal.	
<i>Leucadendron "Safari Gold Strike"</i>	Yellow Conebush	15 gal.	
	<i>Citrus "Cara-Cara"</i>	Cara Cara Orange	48" B.
	<i>Citrus "Tarocco"</i>	Blood Orange	36" B.
	<i>Citrus hystrix</i>	Kaffir Lime	24" B.
	<i>Citrus "Bearss"</i>	Bears Lime	24" B.
	<i>Citrus fortunella</i>	Kumquat	24" B.
	<i>Citrus limon</i> "Eureka"	Eureka Lemon	24" B.
	<i>Citrus limon</i> "Meyers Improved"	Meyers Improved Lemon Espalier	24" B. / 15 G.
	<i>Citrus "Rio Red"</i>	"Rio Red" Grapefruit "Rio Red"	24" B.
<i>Punica granatum</i> "Wonderful"	Wonderful Pomegranate	24" B.	
	Seasonal Vegetables, Herbs, Perennials, Floral		
	<i>Dracena draco</i>	Dragon Tree	24" B.
	<i>Dasyliion longissium</i>	Mexican Grass Tree	15 gal.
	<i>Pachypodium lamerei</i>	Madagascar Palm	24" B.
	<i>Ocotillo splendens</i>	Ocotillo Cactus	24" B.
	<i>Yucca rostrata</i>	Big Bend Yucca	24" B.
	<i>Calliandra surinamensis</i>	Pink Tassel Flower	15 gal.
	<i>Ficus carica</i>	Brown Turkey Fig	24" B / 15 gal.
	<i>Eriobotrya japonica</i>	Japanese Loquat	24" B / 15 gal.
	<i>Trachelospermum jaminoides</i>	Star Jasmine	15 gal.
	<i>Ficus repens</i>	Creeping Fig	5 gal.
	<i>Antigonon leptopus</i>	Coral Vines	15 gal.
	<i>Bougainvillea "Jamaica White"</i>	NCN	15 gal.
	<i>Bougainvillea "Orange King"</i>	NCN	15 gal.
	<i>Prunus caroliniana</i> "Bright-n-Tight"	Prunus "Bright n Tight"	24" B. / 15 gal
	<i>Thevetia peruviana</i>	Yellow Oleander	15 gal

Abbreviation Key NCN: No Common Name / B: Box / CT: Clear Trunk / MT: Multi-trunk / G: Gallon / CAL: Caliper

Planting Schedule

LANDSCAPE PLAN





Key

Symbol	Description
☐	Uplights at planter pots
⊙	Canopy pendants
⊗	Canopy soffit lighting
⊖	Palm uplighting with glare shields
⊠	Pedestrian lighting at landscape circulation zones
▶	Accent lighting at walls and specimen planting
⊙	Canopy tree uplighting
○	In-grade lighting at porte cochère
■	<ul style="list-style-type: none"> All pools, fountains, runnels, weirs and decorative water features to be illuminated. All swimming pools and spas to conform to the required pool codes for illumination.

Lighting Notes

1. Exterior lighting shall be integrated into the architectural character of the hotel and condominiums. The design defines a special resort ambiance and maintains dark skies and respects the character of neighboring residential neighborhoods.
2. Mexican fan palms on the public right-of-way shall be lit to accentuate the form and height of the tree. This light will not adversely affect ambient light levels on the street or surrounding neighborhood.
3. Ground level under story plantings along the perimeter of buildings shall be lit by a series of fixtures installed at grade. Lighting will be properly focused to accentuate plantings and to minimize glare and prevent spillover into the night sky.
4. Low-level accent lighting shall be employed at entrances to the site, including site walls, entry canopies and specimen trees and palms located at entry walks into the site. Entry lighting will not exceed a height of 12 feet.
5. Custom "lanterns" and in-grade lighting will be utilized at the port-cochere providing ambient and circulation lighting.
6. The lighting of interior courtyards is intended to provide dramatic accent lighting to architectural elements and interior plantings. Filters, shields and architectural walls and canopies will be used to cutoff light as to not direct light skyward.
7. Decorative and recreational water features will have integral, low-level lighting.
8. Proposed architectural lighting of walls, decorative building details or special features will be designed to graze the designated feature without light spillover.
9. Exterior paths into buildings will be lit by means of light bollards and pathlights to insure the safety of hotel guests and residents. Bollards luminaires are shielded and designed to direct light over pedestrian surfaces.
10. Lighting on upper terraces and balconies will be shielded.
11. Building signage lighting shall be in compliance with City design and lighting standards.
12. Street roadway lighting will conform to the existing standards on Amado Rd., Calle Alvarado and Avenida Caballeros.
13. No parking lot lighting or sports court lighting is projected for the project.
14. Required service and emergency lighting shall conform to the City's standards and codes.
15. Common courtyards, loggias, and stair towers will have decorative wall and ceiling luminaires with glare shields.
16. Private unit terraces will have low-level decorative wall sconces with glare shields.
17. All lighting designed in compliance with the Palm Springs Zoning Code Section 93.21.00 Outdoor Lighting Standards.



Exterior

LIGHTING PLAN



Key

1. VEHICULAR DRIVE ENTRY (VISITOR)
2. VEHICULAR DRIVE
3. PORTE COCHERE - VALET DROP OFF
4. SERVICE DRIVE
5. VALET RAMP
6. SERVICE RAMP


 PERIMETER HEDGE + LANDSCAPE BUFFER

Noise Attenuation

As noise pollution is a serious concern for adjacent neighbors (Center Court), the design team has proposed a twelve foot high evergreen hedge and associated landscape planting along the perimeter boundary. Refer to perspective view and diagram showing extent of perimeter hedge and landscape buffer

There have been numerous studies carried out to prove the mitigating effects of vegetation on noise pollution (refer to research links on this page).

Studies between plant characteristics (i.e. deciduous Vs evergreen plants), earth mounds and sound barrier materials (sound walls) have all proved to significantly reduce sound pressure levels (decibels).

Due to the limited space between the property boundary and the vehicular access road, a combination of noise attenuation methods will be installed to reduce sound levels on this site.

An evergreen hedge will be the prime method to reduce sound with the addition of earth mounding and sound walls along the stretch of road directly adjacent to Center Court.

Reference:

1. Noise barrier design: Danish and some European examples. Prepared for California Department of Transportation (Caltrans). May 2010, REprint REport: UCPRC-RP-2010-04
2. Evergreen Noise REduction Bushes. Home Guides_SF Gate Article. <http://homeguides.sfgate.com/evergreen-noise-reduction-bushes-30787.html>
3. The investigation of Noise Attenuation by Plants and the Corresponding Noise-Reducing Spectrum. Yang Fan, Bao Zhiyi (PhD), Zhu Zhujan (PhD), Liu Jiani (MSc). Oct 06, 2014. https://www.researchgate.net/profile/Zhujun_Zhu/publication/43344334_The_Investigation_of_Noise_Attenuation_by_Plants_and_the_Corresponding_Noise-Reducing_Spectrum/links/543202e50cf29bbc1278a0a6.pdf

Please note; the above reference materials are an example of studies being carried out, and do not constitute the complete list of research on this subject. Further studies can be provided upon request.

Perimeter Hedge

NOISE ATTENUATION



ELEVATION A | SW - ENTRY ELEVATION nts



ELEVATION B | NE ELEVATION nts

Building entry and rear

BUILDING ELEVATIONS



ELEVATION C | SE - CONDO TOWER ELEVATION nts

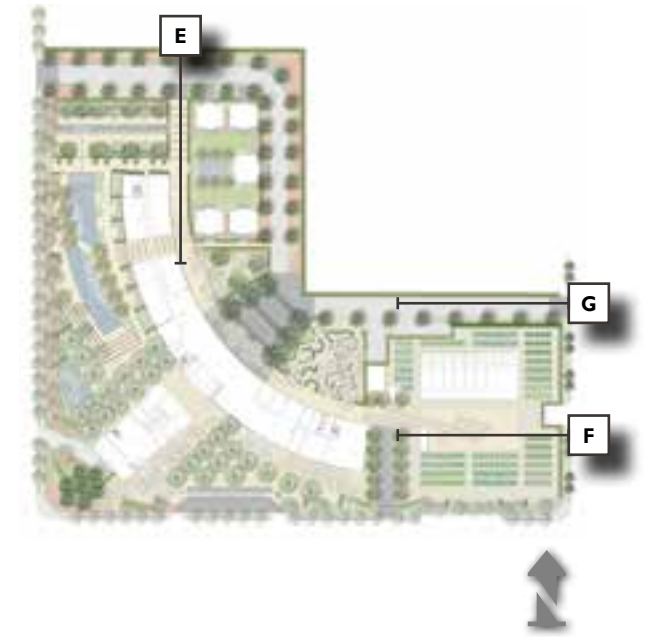


ELEVATION D | NW - CONDO TOWER ELEVATION nts



Condo Tower

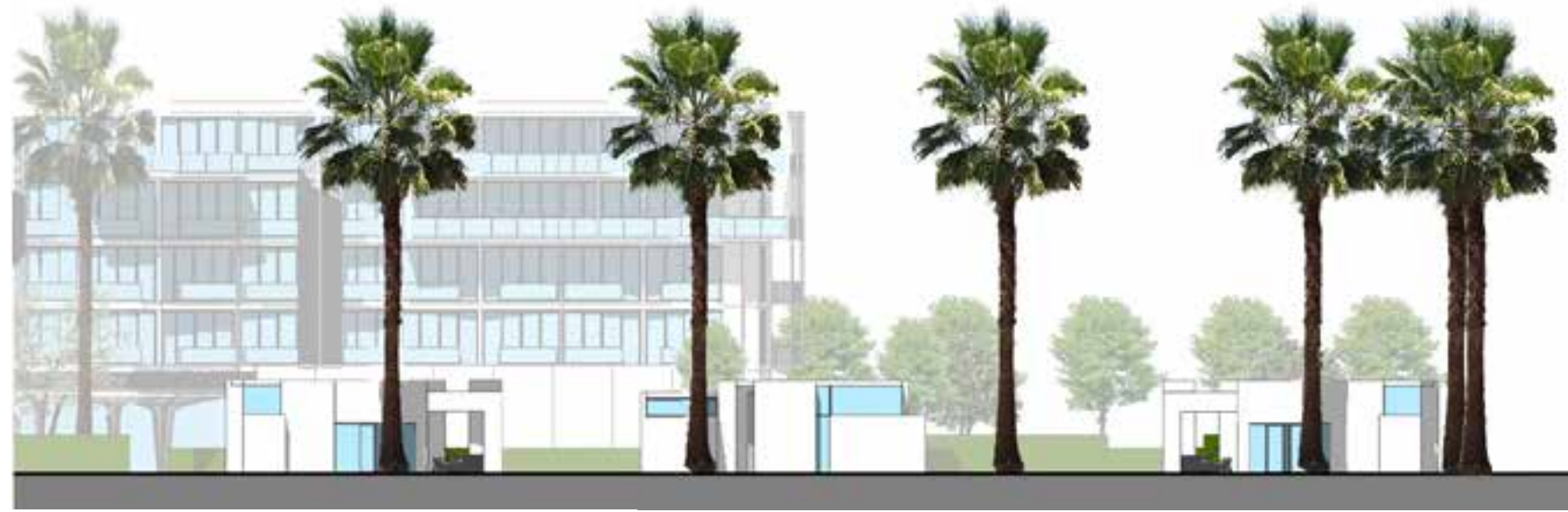
BUILDING ELEVATIONS



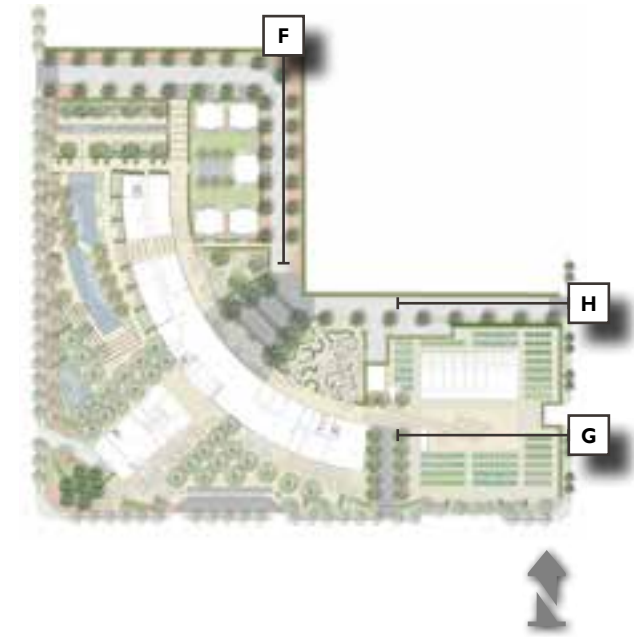
ELEVATION E | W - VILLA ELEVATION nts

Villas

BUILDING ELEVATIONS



ELEVATION F | E - VILLA ELEVATION nts



ELEVATION G | S - FUNCTION SPACE ELEVATION nts



ELEVATION H | N - FUNCTION SPACE ELEVATION nts

Villas and Function Space

BUILDING ELEVATIONS

PRIMARY MATERIALS



A Cast in Place Concrete
FINISH - Natural
COLOR - Light Gray



B Pre-Cast Concrete
FINISH - Smooth
COLOR - Slate



C Synthetic Stucco
FINISH - Smooth
COLOR - DEW386 Precious Pearls



D Colored Glass Mosaic
FINISH - Gloss
COLOR - Varies



E Exterior Wood
SPECIES - Ipe
FINISH - Oiled



ACCENT FINISHES



F Decorative Screen
FINISH - Powder Coated Aluminum/GRG
COLOR - Dusty Trail



G Glass Handrail
TYPE - PPG Ideascapes
COLOR - Starphire (Clear)



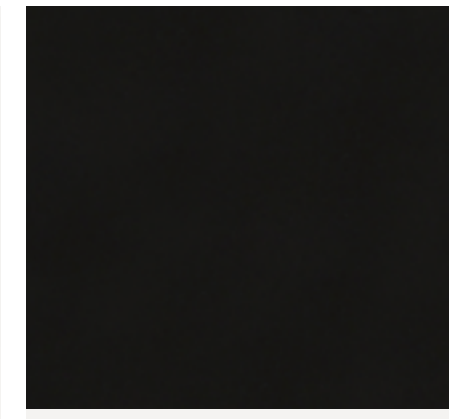
H Frosted Glazing
COLOR - White Translucent



I Glazing/Art Canopy
TYPE - PPG Ideascapes
COLOR - Varies



J Glazing
TYPE - PPG Ideascapes
COLOR - Solexia (Green)

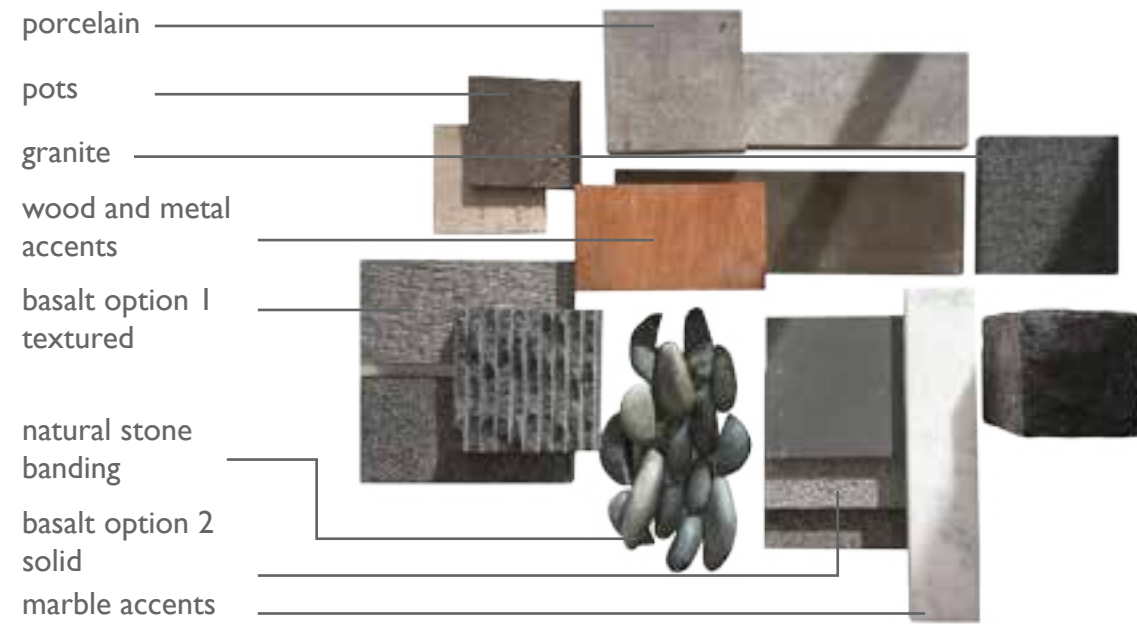


K Aluminum Trim
COLOR - Black

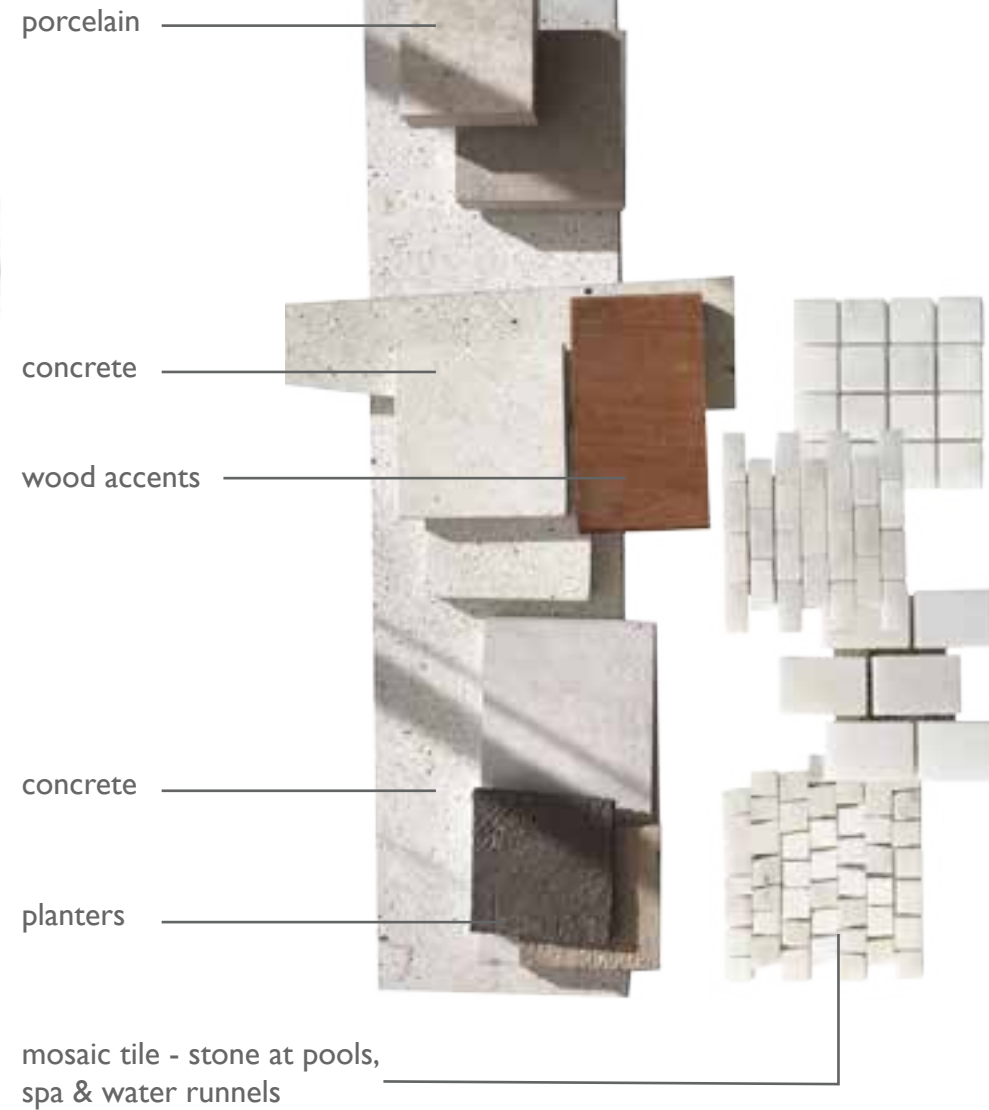
Building Materials & Colors

MATERIAL STUDIES

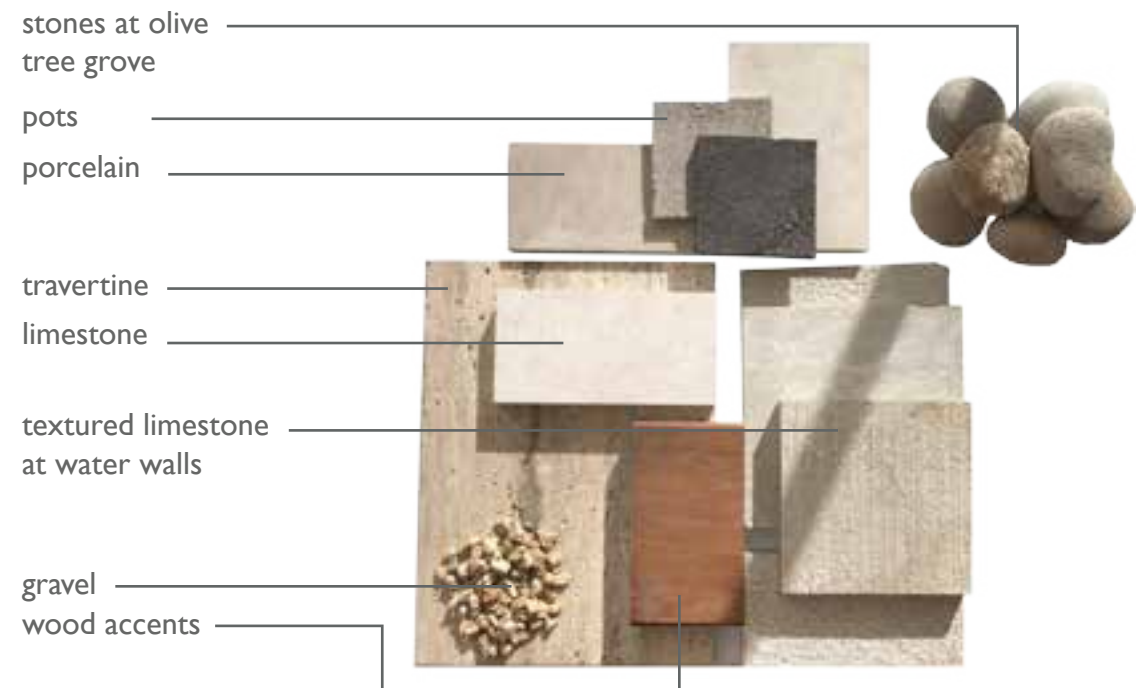
TYPE 1 - PORTE COCHERE & DRIVE ENTRIES



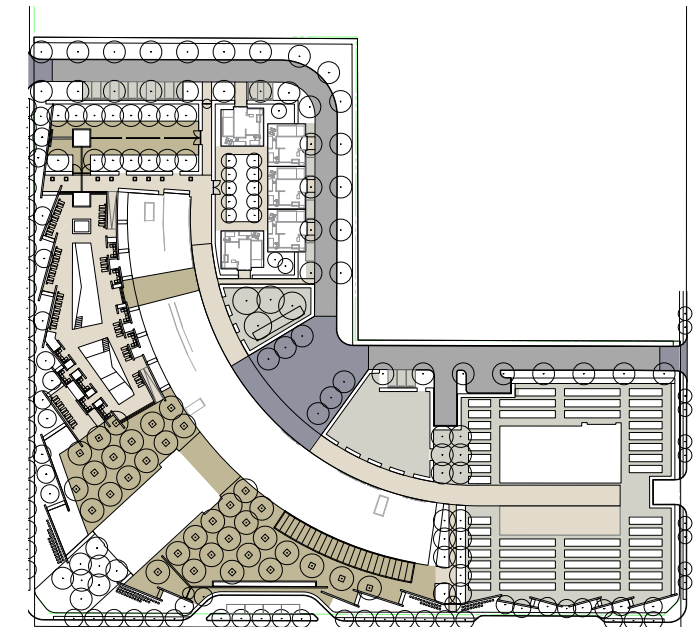
TYPE 4 - POOL TERRACE & CIRCULATION CORE



TYPE 3 - DINING, LOUNGING & SPECIAL EVENT TERRACES



Legend

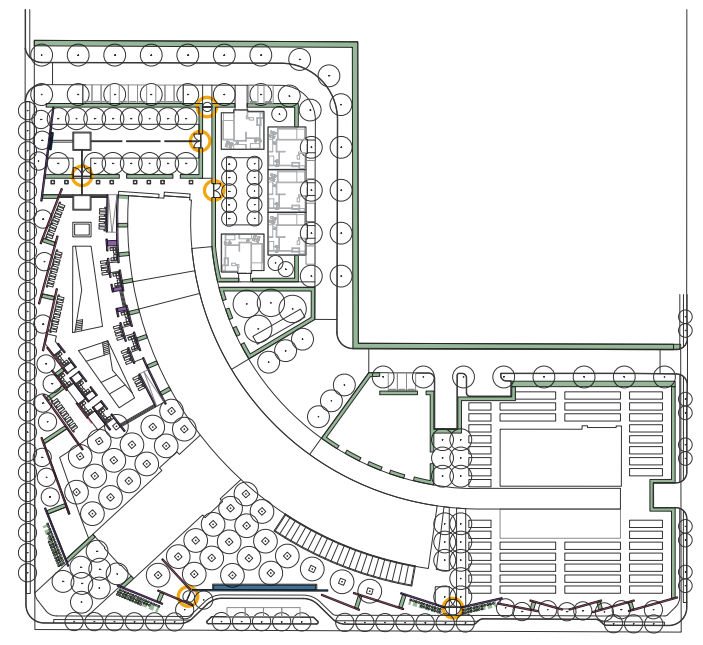


Key

- TYPE 1 : PORTE COCHERE & DRIVE ENTRIES
- TYPE 2 : ASPHALT DRIVES
- TYPE 3 : DINING, LOUNGING & SPECIAL EVENT TERRACES
- TYPE 4 : POOL TERRACE & CIRCULATION CORE
- TYPE 5 : GRAVELS AT FARM & CASUAL PARKING



LEGEND

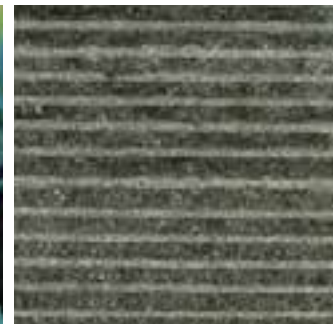


KEY

- WALL TYPE 1 : SOLID PLASTER WALLS (RETAINING | SEATING | BACKDROP)
- WALL TYPE 2 : PERFORATED | BREEZE BLOCK (4'-6"-5'-6" HEIGHT)
- WALL TYPE 3 : SPECIAL FEATURE WATER WALL
- WALL TYPE 4: "GREEN WALLS" (HEDGES AND CACTI WALLS)
- SPECIALTY GATES: PIVOT AND SWING

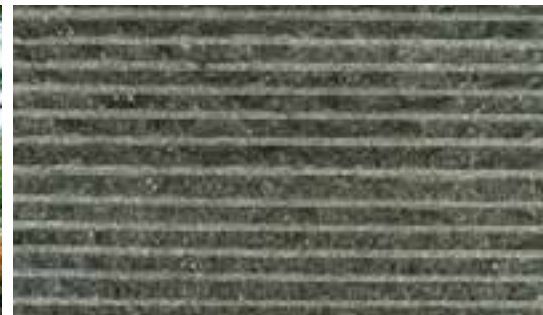
Wall Types

MATERIAL STUDIES



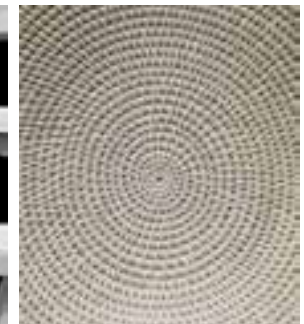
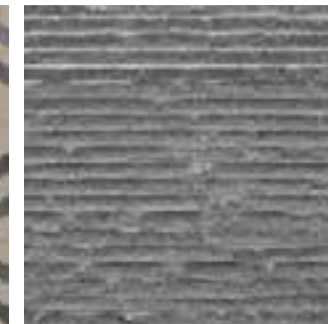
Hotel Entry Drive

MATERIAL STUDIES



Porte Cochere

MATERIAL STUDIES



Orange Court

MATERIAL STUDIES



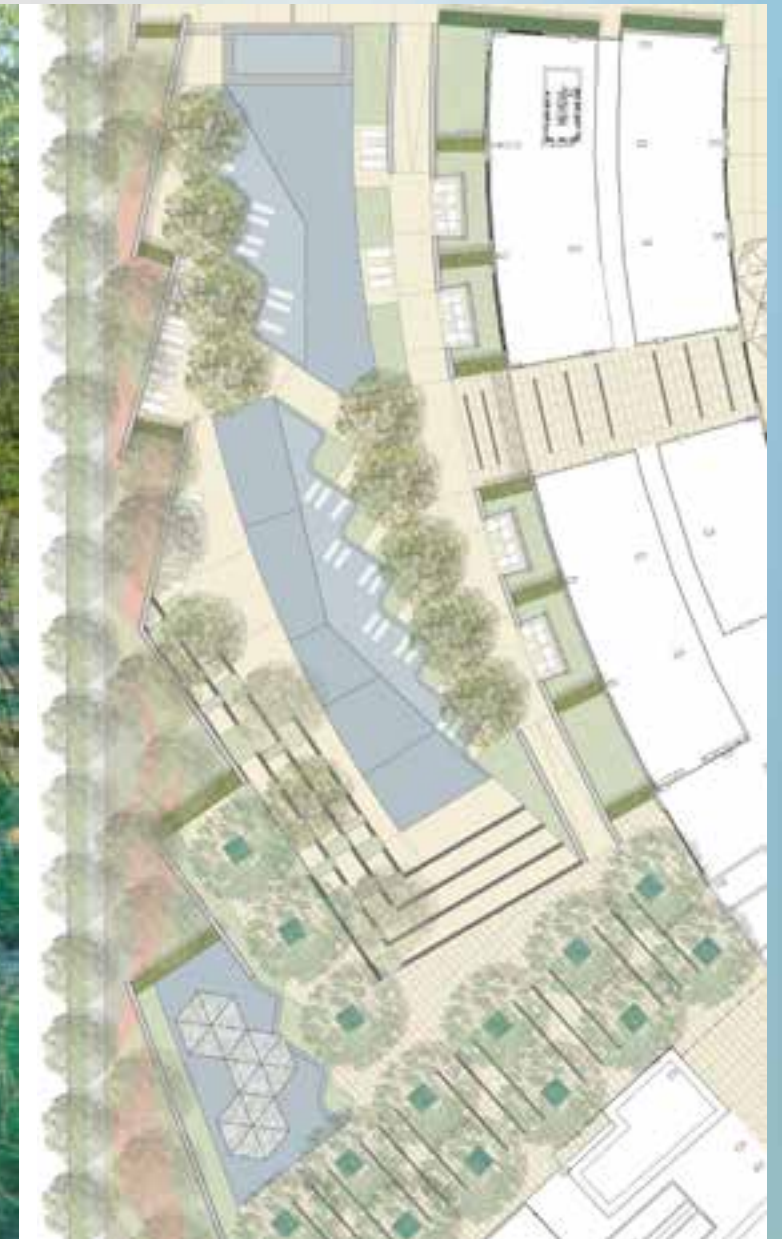
Wedding Reception



Fashion Show

Orange Court Scenarios

MATERIAL STUDIES



Pool

MATERIAL STUDIES



Outdoor Dining Area

MATERIAL STUDIES



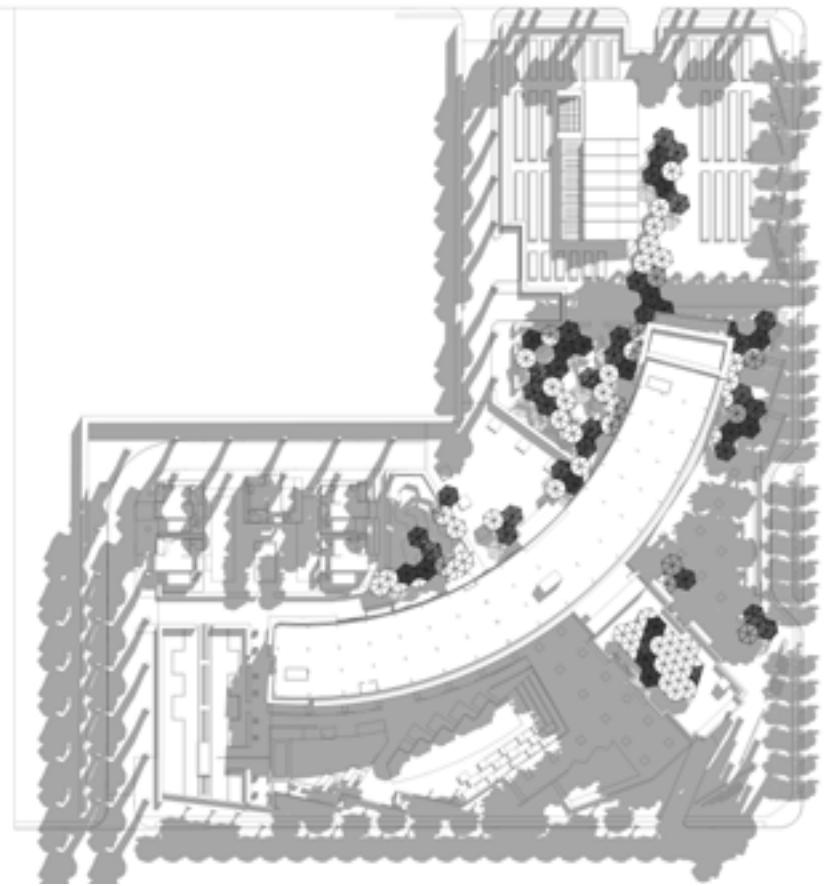
Overall

AERIAL PERSPECTIVE



The Farm

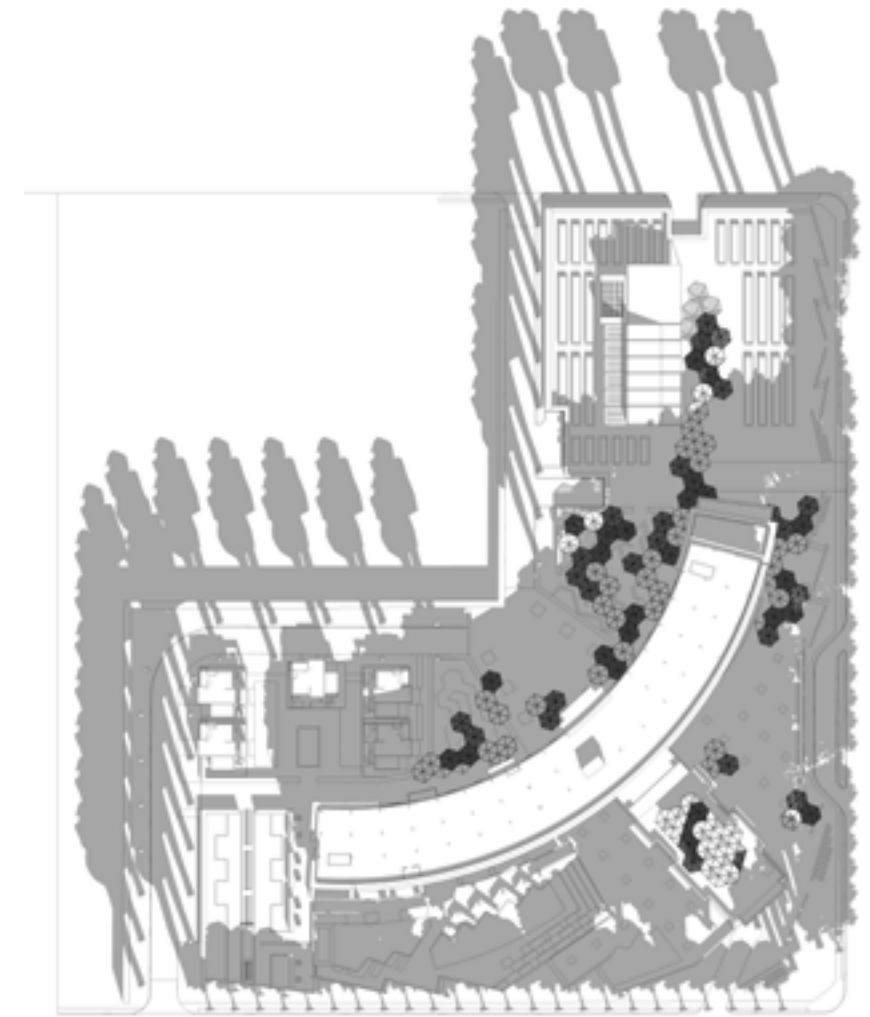
AERIAL PERSPECTIVE



9:00 AM



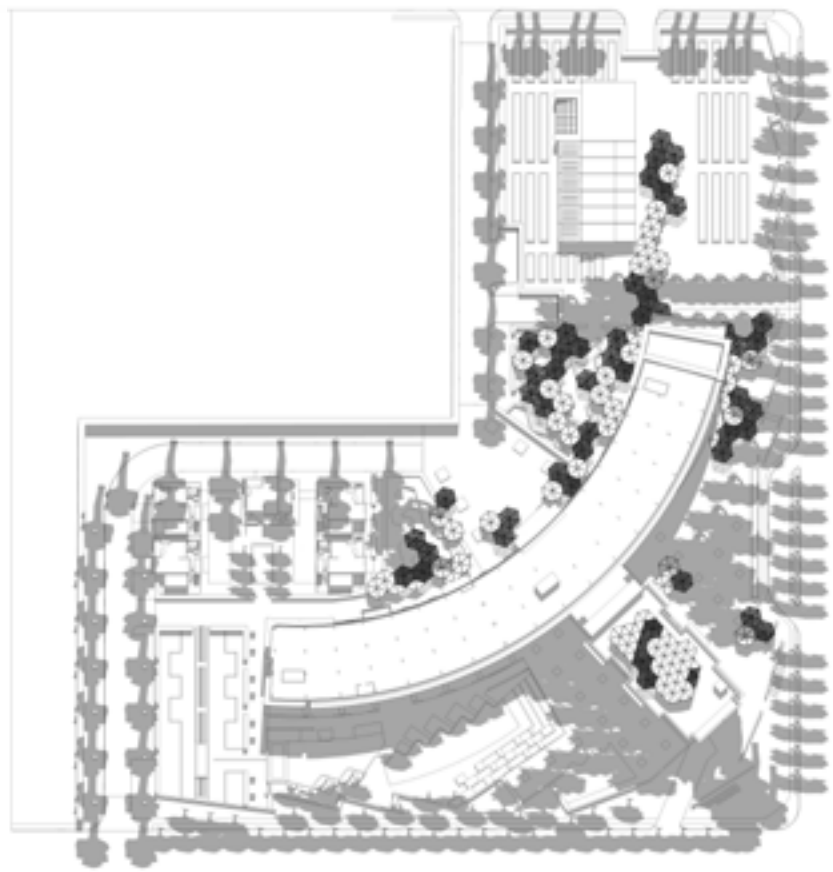
12:00 PM



4:00 PM

Spring Equinox - March 20th

SOLAR STUDIES



9:00 AM



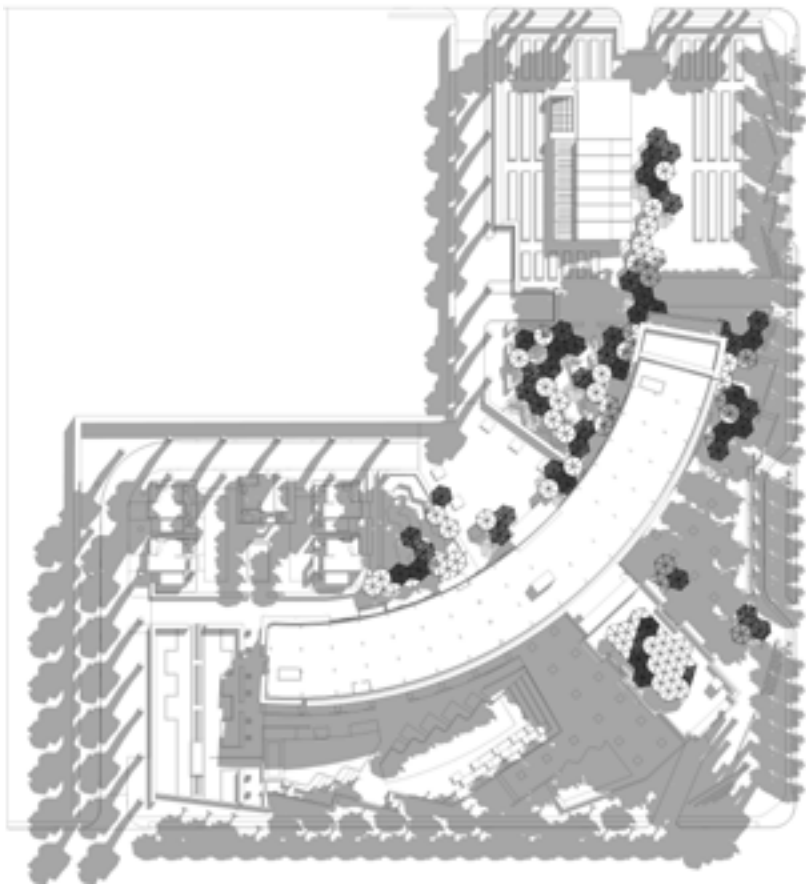
12:00 PM



5:00 PM

Summer Solstice - June 21st

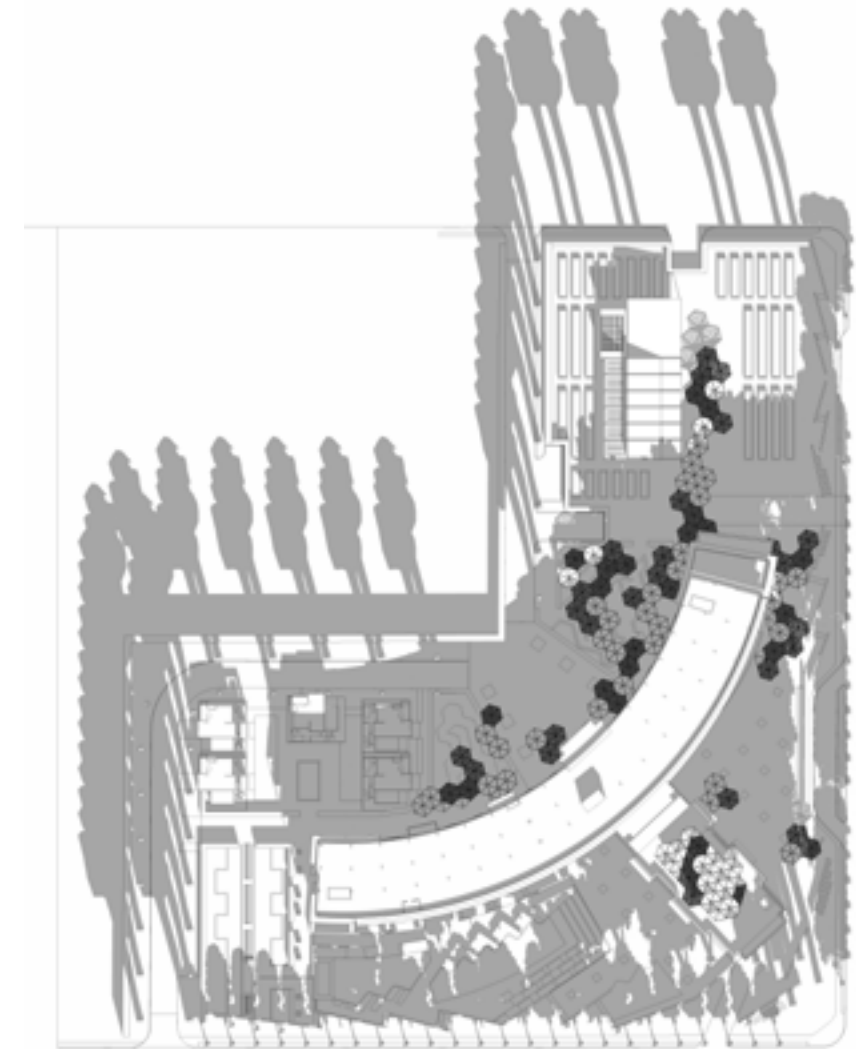
SOLAR STUDIES



9:00 AM



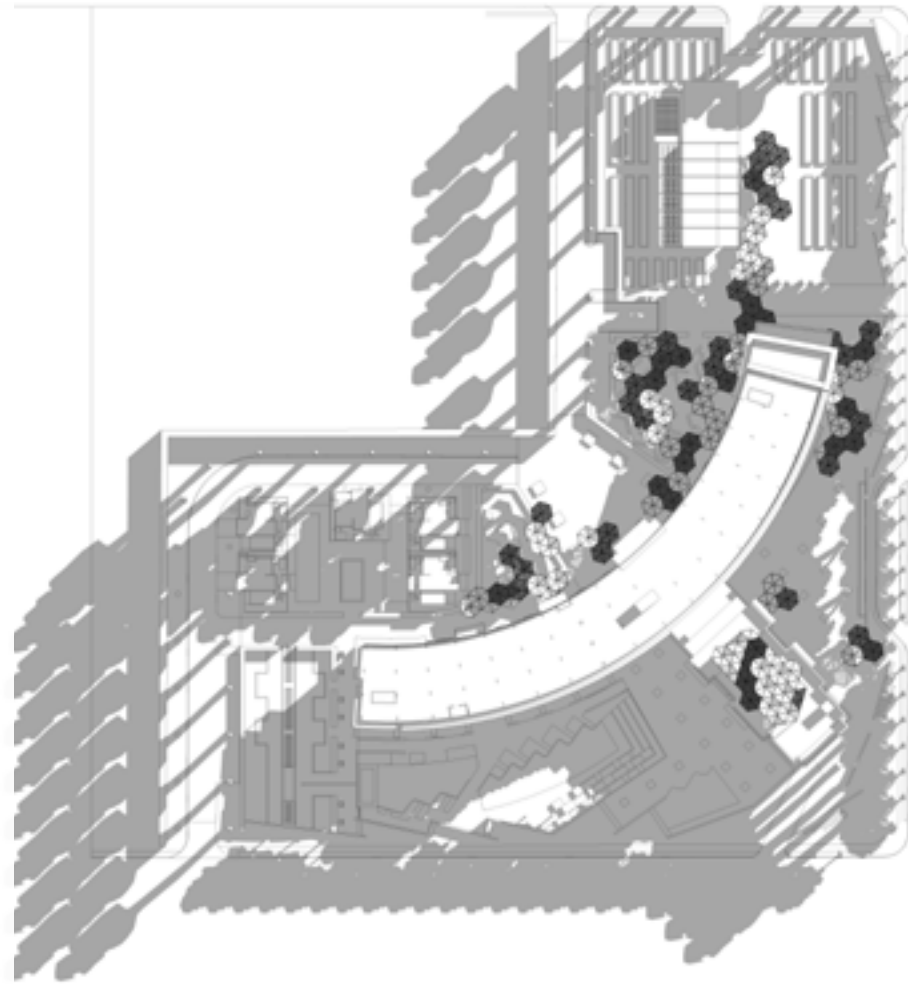
12:00 PM



4:00 PM

Autumn Equinox - September 22nd

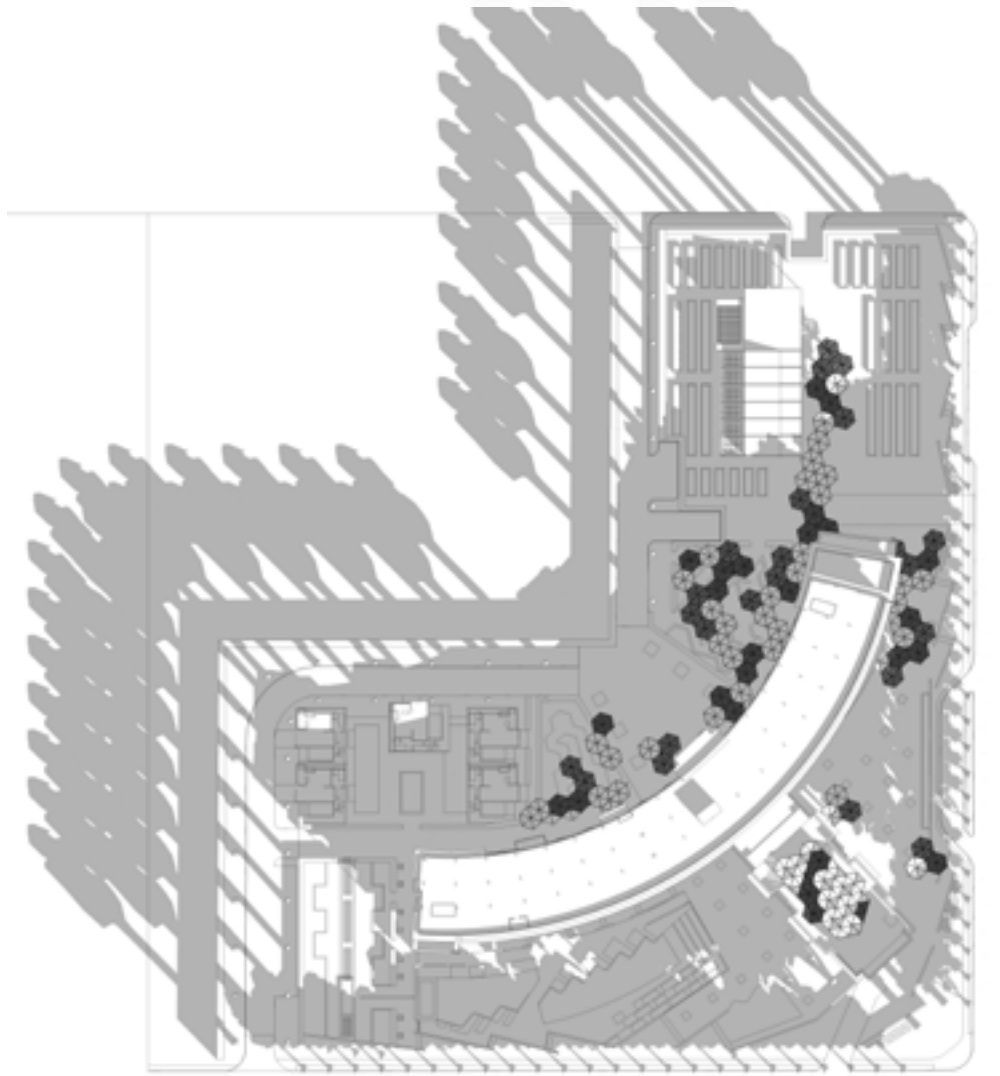
SOLAR STUDIES



9:00 AM



12:00 PM

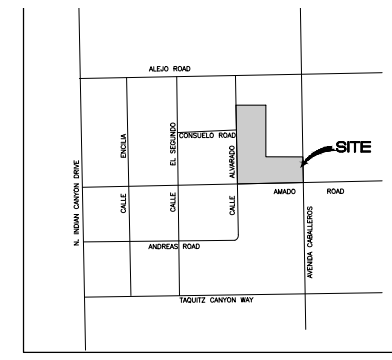
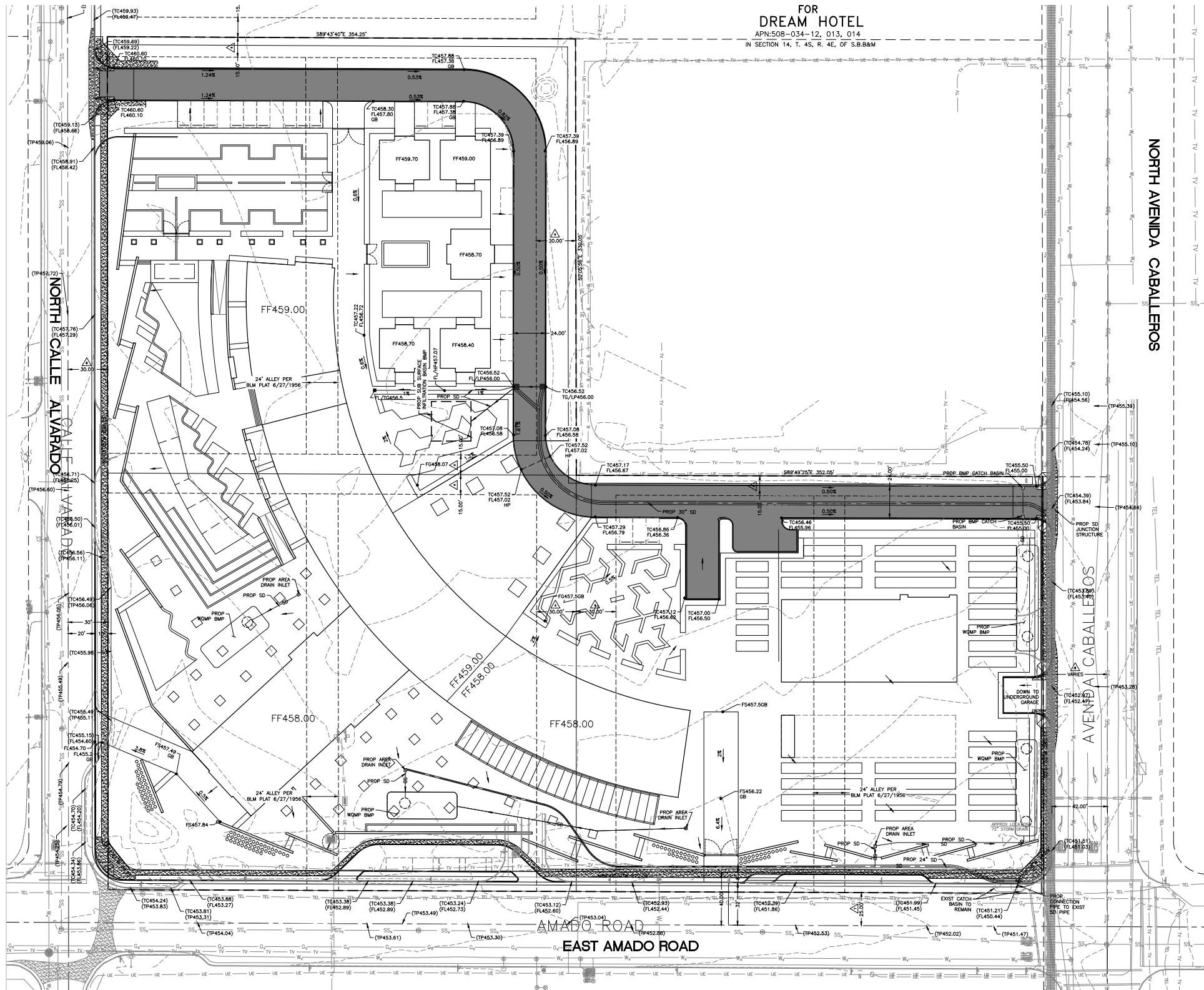


3:00 PM

Winter Solstice - December 21st

SOLAR STUDIES

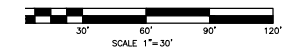
FOR
DREAM HOTEL
APN:508-034-12, 013, 014
IN SECTION 14, T. 4S, R. 4E, OF S.B.&M



VICINITY MAP
NOT TO SCALE

SEMENT NOTES
LOTS 103, 105, AND 106

- UTILITIES:**
- ELECTRIC: SOUTHERN CALIFORNIA EDISON (760) 202-4211
 - GAS: THE GAS COMPANY (760) 327-3343
 - TELEPHONE: VERIZON (760) 778-3601
 - SEWER: CITY OF PALM SPRINGS (760) 323-8299
 - WATER: DESERT WATER AGENCY (760) 323-8971
 - WASTE DISPOSAL: PALM SPRINGS DISPOSAL (760) 327-1351
 - TV CABLE: TIME WARNER CABLE (760) 320-8810
 - USA: UNDERGROUND SERVICE ALERT (800) 227-2600



4. RIGHTS OF THE PUBLIC IN AND TO THAT PORTION OF THE LAND LYING WITHIN CALLE CORONADO, MERCEDES ROAD, OLIVIA ROAD, AND DELORES ROAD.
5. AN EASEMENT FOR GAS PIPELINE AND INCIDENTAL PURPOSES IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY, RECORDED NOVEMBER 16, 1965 AS INSTRUMENT NO. 129944 C OFFICIAL RECORDS. (NOT PLOTTABLE FROM RECORD DOCUMENT)
6. A RIGHT OF WAY IN FAVOR OF THE CITY OF PALM SPRINGS FOR STREET PURPOSES LYING ALONG THE SOUTH BOUNDARY OF BLOCK 103, APPROVED JULY 26, 1968, PURSUANT TO THE ACT OF AUGUST 11, 1967 (81 STATUTES 166), AS DISCLOSED BY THE RECORDS OF THE BUREAU OF INDIAN AFFAIRS.
7. A RIGHT OF WAY IN FAVOR OF THE CITY OF PALM SPRINGS FOR STREET PURPOSES, ALONG THE SOUTH BOUNDARY OF BLOCK 105, APPROVED JULY 26, 1968, PURSUANT TO THE ACT OF AUGUST 11, 1967 (81 STATUTES 166), AS DISCLOSED BY THE RECORDS OF THE BUREAU OF INDIAN AFFAIRS.
8. A RIGHT OF WAY IN FAVOR OF THE CITY OF PALM SPRINGS, FOR HIGHWAY AND UNDERGROUND SEWER LINES LYING ALONG THE EAST BOUNDARY OF BLOCK 105, APPROVED MAY 11, 1961, PURSUANT TO THE ACT OF FEBRUARY 5, 1948 (62 STATUTES 17), AS DISCLOSED BY THE RECORDS OF BUREAU OF INDIAN AFFAIRS.

LEGAL DESCRIPTION
REAL PROPERTY IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
BLOCKS 103, 105 AND 106 IN SECTION 14, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SAN BERNARDINO MERIDIAN, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, PER TITLE REPORT PROVIDED BY FIRST AMERICAN TITLE COMPANY, 3025 FOURTEENTH STREET, RIVERSIDE, CA 92501, ORDER NUMBER: NHRV-243761 (29) DATED AS OF JUNE 20, 2006.

OWNER
SELENE PALM SPRINGS, LLC,
A CALIFORNIA LIMITED LIABILITY COMPANY
ATTN: LAURI SIBERT
PALM SPRINGS, CA 92262
TELEPHONE: (310) 877-3110

ENGINEER
FOMOTOR ENGINEERING
225 SOUTH CIVIC DRIVE, SUITE 1-5
PALM SPRINGS, CALIFORNIA 92262
TELEPHONE: (760) 323-1842
FAX: (760) 323-1742
PHILLIP K. FOMOTOR, R.C.E. 47284

ACREAGE
GROSS AREA: 7.81 ACRES (340,204 S.F.)
NET AREA: 7.55 ACRES (328,878 S.F.)

LAND USE
EXISTING: VACANT & PARKING LOT
PROPOSED: HOTEL & CONDOMINIUMS

ZONING DATA
EXISTING ZONING: R4

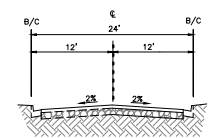
FLOOD ZONE
FEMA FLOOD ZONE "C": AREAS OF MINIMAL FLOODING
(FRM COMMUNITY PANEL NO. 060257 0006),
EFFECTIVE DATE JULY 7, 1999.

ABBREVIATIONS

- EXIST EXISTING
- MB MAP BOOK
- () EXISTING
- TO TOP OF GATE
- TC TOP OF CURB
- PROP PROPOSED
- SD STORM DRAIN
- FL FLOW LINE
- TP TOP OF PAVEMENT
- FF FINISHED FLOOR
- BLDG BUILDING
- PL PROPERTY LINE
- MIN MINIMUM
- TYP TYPICAL
- LF LOW POINT
- FS FINISH SURFACE
- FG FINISH GROUND
- HP HIGH POINT
- DR DRIVE
- AC ASPHALT CONCRETE
- RET RETAINING
- RW RIGHT OF WAY
- GB GRADE BREAK
- WS WATER SURFACE
- BSM BOTTOM
- SD STORM DRAIN

LEGEND

- BOUNDARY
- EXIST. UNDERGROUND TV CABLE
- EXIST. UNDERGROUND ELECTRIC LINE
- EXIST. SEWER LINE
- EXIST. WATER LINE
- EXIST. WALL
- PROP. RET. WALL
- EXIST. CONTOUR
- PROP. FENCE
- EXIST. FIRE HYDRANT
- EXIST. WATER VALVE
- PROP. CONCRETE
- EXIST. SEWER MANHOLE
- EXIST. STREET LIGHT
- EXIST. TV CABLE BOX
- EXIST. TELEPHONE BOX
- EXIST. UTILITY STRUCTURE
- EXIST. TREE
- EXIST. SIGN POST
- EXIST. MAIL BOX



PROPOSED SECTION
PRIVATE DRIVEWAY
N.T.S.

Topographic Plan

GRADING / DRAINAGE



VIEW FROM
Calle Alvarado



VIEW FROM
Calle Caballeros

Existing

SITE PHOTOS