



## Planning Commission Staff Report

Date: December 9, 2009

Case No.: 5.1024 PDD 306 – AMND

Application Type: Final Planned Development Amendment

Location: 2900 Whitewater Club Drive

Applicant: Jim Cioffi on behalf of Dos Palmas Development LLC

Zone: PDD 306

General Plan: MDR - Medium Density Residential

APNs: 501-620-001 through 501-620-023

From: Craig A. Ewing, AICP, Director of Planning Services

Project Planner: David A. Newell, Associate Planner

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### PROJECT DESCRIPTION

The applicant, Jim Cioffi, Architect, is requesting that the Planning Commission approve an amendment to the Final Development Plans for PDD 306, Case No. 5.1024, located at 2900 Whitewater Club Drive within the Palm Springs Country Club. The proposed changes involve modifications to the building square footage and architecture of the twenty-three un-built single-family residences. The tract is known as Alexander Estates II.

Section 94.03.00(G) allows the Planning Commission to modify Final Development Plans of Planned Developments. The Commission may approve minor architectural or site changes that do not affect the intent of the PD. In this case, staff believes that the intent of the Planned Development was to establish a mix single-family residential units and adequate open space within the subdivision with variations to certain development standards.

**RECOMMENDATION**

That the Planning Commission approve the proposed amendment to the Final Development Plans of Planned Development District 306, Case No. 5.1024, subject to all other Conditions of Approval.

**PRIOR ACTIONS**

On May 11, 2005, the Planning Commission approved Case No. 5.1024-Planned Development District 306 and recommended approval of the PDD and Tentative Tract Map 32675 to the City Council.

On June 1, 2005, the City Council adopted a Mitigated Negative Declaration (MND), and approved Planned Development District 306 and Tentative Tract Map 32675 for the development of twenty-five detached single-family residential units on 6.06 acres.

On November 9, 2009, the Architectural Advisory Committee (AAC) reviewed the proposed amendment and by a vote of 7-0 recommended approval to the Planning Commission as submitted.

**BACKGROUND AND SETTING**

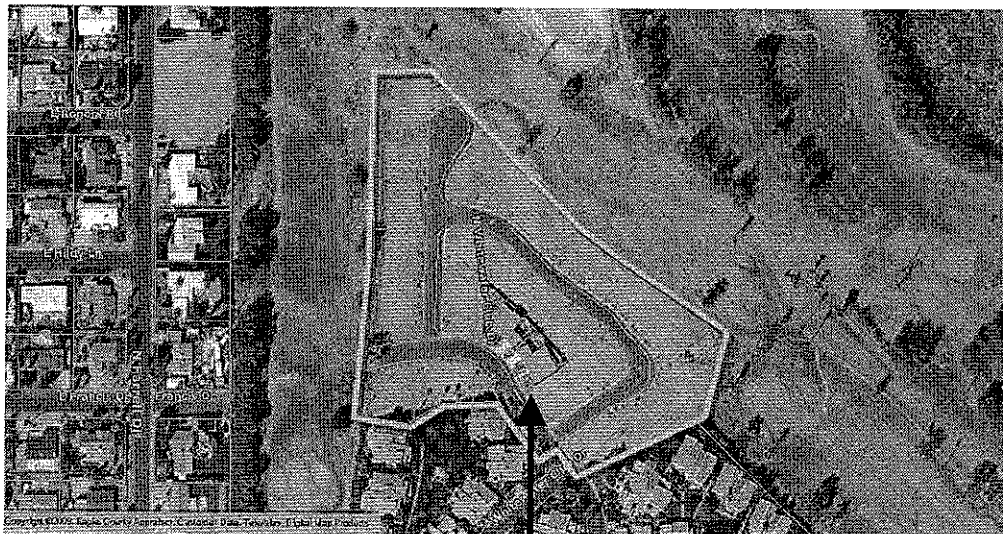
The property, known as Alexander Estates II, is situated within the Palm Springs Country Club development and is primarily surrounded by an abandoned golf course with some multi-family residential to the south. The overall size of the Alexander Estates II property is 6.06 acres and includes twenty-five single-family lots, streets and retention basins. The residential lots range in size from 6,242 to 10,727 square feet with an average of 7,801 square feet.

Currently, all streets have been improved within the subdivision and two homes have been completed – lots 24 and 25. These homes are three bedrooms and 2.5 bath units that are approximately 1,902 square feet in size.

**Table 1: Surrounding land uses, General Plan, Zoning**

|       | <b>Existing Land Use</b>                          | <b>General Plan</b>                | <b>Zoning</b>                       |
|-------|---|------------------------------------|-------------------------------------|
| Site  | Vacant, except for improved streets and two homes | MDR; Medium Density Residential    | PDD 306                             |
| North | Vacant (abandoned golf course)                    | OS – P/R; Open Space – Parks/ Rec. | O; Open Space                       |
| East  | Vacant (abandoned golf course)                    | OS – P/R; Open Space – Parks/ Rec. | O; Open Space                       |
| West  | Vacant (abandoned golf course)                    | OS – P/R; Open Space – Parks/ Rec. | O; Open Space                       |
| South | Multi-family Residential                          | MDR; Medium Density Residential    | RGA (8); Garden Apartments Multiple |

PLANNED DEVELOPMENT DISTRICT



**Alexander Estates II**

## **ANALYSIS**

### *General Plan and Zoning:*

The General Plan designation of the site is "MDR" Medium Density Residential; this designation allows for the development of 6.1 to 15.0 dwelling units per acre. The zoning designation is Planned Development District 306. PDD 306 allows for the creation of lots ranging from 6,242 to 10,727 square feet in size. The PDD also allows for other deviations from the Zoning Code's development standards; these deviations include reductions of lot widths, front, rear and side yard setback requirements.

### *Amendment to the Planned Development District:*

The previously approved project includes components which vary from the development standards of the underlying zoning designation of R-G-A (8). As a result, Planned Development District 306 was approved under the provisions of Section 94.03.00.B of the Palm Springs Zoning Code. The previously approved design and development standards contained in PDD 306 will remain in effect and the proposed amendment is not seeking any new deviations from the development standards. The applicant is now requesting a smaller building footprint and some minor changes to the design of the architecture for the twenty-three un-built homes. Specifically, the proposed amendment will include the following:

- *The architecture of the nine floor plan types is proposed to be reduced from to four.*
- *The floor plan for the two bedroom units will be reduced from 1,840 square feet to 1,818 square feet.*

- *The square footages of the three bedroom units will be reduced from 1,932-2,116 square feet to 1,903 square feet.*
- *The breezeways are proposed to be omitted between the garage and house to reflect the product already built. The breezeway reduction increased the average setbacks throughout the project.*
- *Optional steel shade canopies will be added to the patios and entries to provide solar shading for the glass.*
- *A 3-car garage option is proposed to be added on the larger lots.*

The architecture will be similar to that which was originally approved and no changes to the landscaping are proposed as part of this amendment. All proposed single-family residences feature two parking spaces in an attached garage (some residences feature three parking spaces in an attached garage) and additional two parking spaces in front of the garage, in accordance with established parking standards. The applicant has also indicated that the previously approved landscape plan will be carried forward without modification.

### **REQUIRED FINDINGS**

Pursuant to Section 94.03.00(G) of the Zoning Code, the final development plan may be modified by submitting a request for such modification according to the same procedure as is required in the initial review and approval process, including public hearing by the Planning Commission and City Council in accordance with Section 94.02.00. However, minor architectural or site changes not affecting the intent of the PD may be approved by the Planning Commission. No council action is necessary for minor changes except appealed decisions. In order for the project to be approved by the Planning Commission, the following finding must be made in support of the minor change (MC 1):

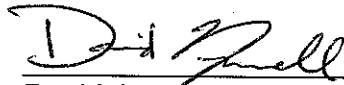
1. *The minor architectural or site changes do not affect the intent of the PD.*

The use and density of the subject property remains the same and are not affected by the proposed changes. The open space is becoming greater through increased setback areas. The architecture will be similar to that which was originally approved (mid-century modern) and no changes to the landscaping are proposed as part of this amendment. Therefore, the minor architectural and site changes do not affect the intent of the PD.

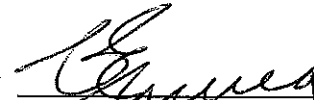
### **ENVIRONMENTAL ASSESSMENT**

A Mitigated Negative Declaration (MND) was previously adopted by the City Council on June 1, 2005. Pursuant to Section 15162 of the California Environmental Act (CEQA), the preparation of additional environmental documentation is not necessary because the proposed amendment will not change the circumstances related to the project. Furthermore, the amendment will not result in any new significant environmental effects or a substantial increase in the severity of previously identified significant effects. Therefore, the proposed amendment could not result in any new environmental impacts

beyond those already assessed in the previously adopted mitigated negative declaration.



David A. Newell  
Associate Planner



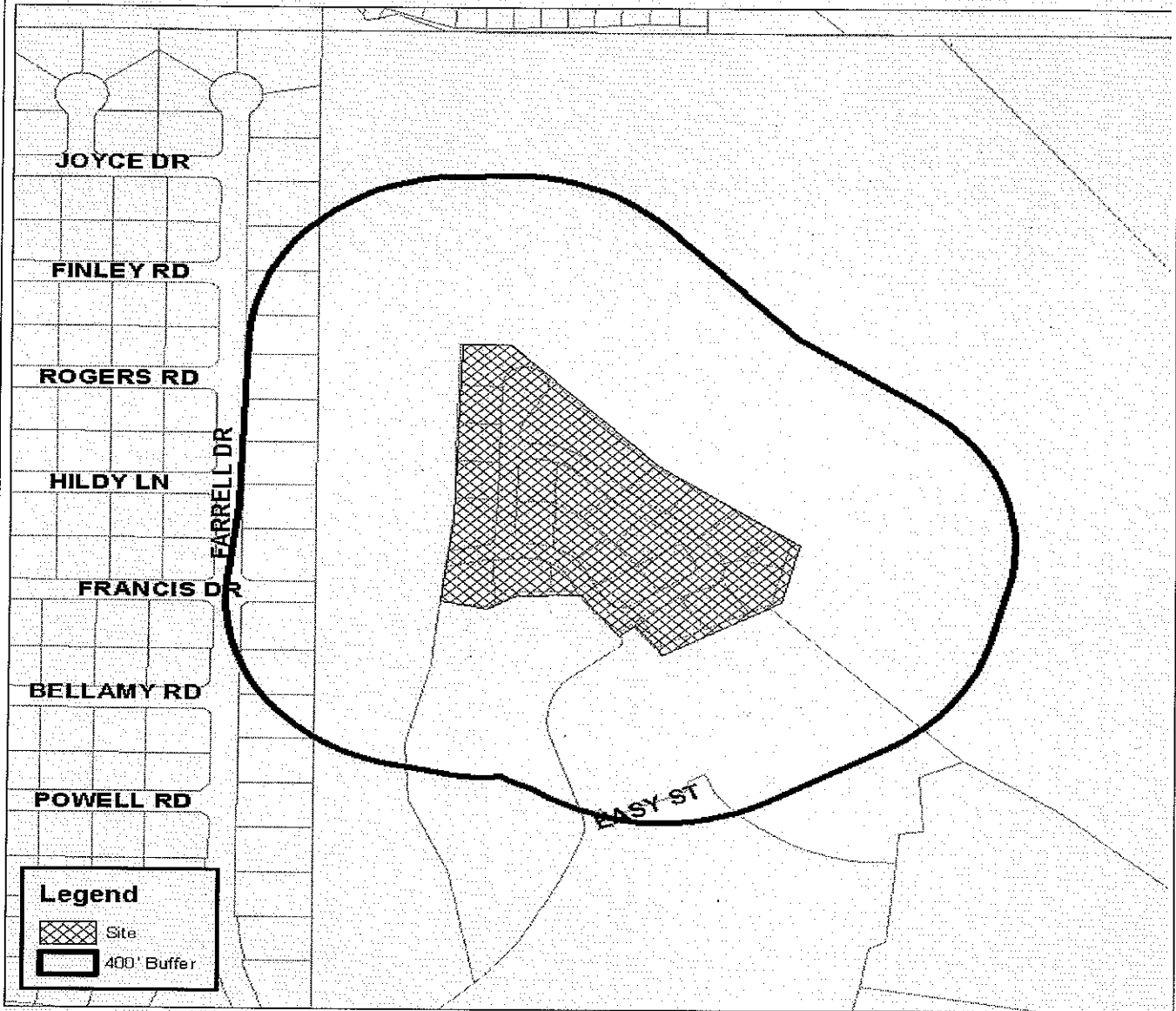
Craig A. Ewing, AICP  
Director of Planning Services

ATTACHMENTS:

1. Vicinity Map
2. Draft Resolution
3. Reduced copy of proposed site and elevation plans
4. Reduced copy of originally approved site and elevation plans



# Department of Planning Services Vicinity Map



## CITY OF PALM SPRINGS

**CASE NO:** 5.1024 PD 306 AMND

**APPLICANT:** Jim Cioffi, Architect

**DESCRIPTION:** To consider an amendment application by Jim Cioffi, Architect, to a previously approved Final Development Plan for PDD 306 to modify the architecture and floor plans of the Alexander Estates II subdivision located at 2900 Whitewater Club Drive within the Palm Springs Country Club, Zone R-G-A (8).

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING CASE NO. 5.1024-PDD 306, AN AMENDMENT TO A PREVIOUSLY APPROVED FINAL PLANNED DEVELOPMENT PLAN FOR THE ALEXANDER ESTATES II PROJECT LOCATED AT 2900 WHITEWATER CLUB DRIVE.

WHEREAS, On May 11, 2005, the Planning Commission approved Case No. 5.1024-Planned Development District 306 and recommended approval of the PDD and Tentative Tract Map 32675 to the City Council; and

WHEREAS, on June 1, 2005, the City Council adopted a Mitigated Negative Declaration (MND), and approved Planned Development District 306 and Tentative Tract Map 32675, by Resolution No. 21278, for the development of twenty-five detached single-family residential units on 6.06 acres located on Whitewater Club Drive; and

WHEREAS, in accordance with Section 94.03.00(G) of the Zoning Code, the Planning Commission may approve minor architectural or site changes that do not affect the intent of the PD; and

WHEREAS, Jim Cioffi, Architect, ("Applicant") on behalf of Dos Palmas Development LLC, has filed an application for minor architectural and site changes to the Final Development Plans of PD 306, Case No. 5.1024, involving modifications to the building square footage and architecture of the twenty-three un-built single-family residences located within the Palm Springs Country Club at 2900 Whitewater Club Drive; and

WHEREAS, on December 9, 2009, a public meeting on Case No. 5.1024 PDD 306 - Final PD Minor Change 1 was held by the Planning Commission in accordance with applicable law; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA) Guidelines, the proposal has been determined to be a project subject to environmental analysis under CEQA; and

WHEREAS, the Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE PLANNING COMMISSION HEREBY FINDS AS FOLLOWS:

Section 1: Pursuant to the California Environmental Quality Act (CEQA) Guidelines, a Mitigated Negative Declaration (MND) was previously adopted by the

City Council on June 1, 2005. Pursuant to Section 15162 of the California Environmental Act (CEQA), the preparation of additional environmental documentation is not necessary because the proposed amendment will not change the circumstances related to the project. Furthermore, the amendment will not result in any new significant environmental effects or a substantial increase in the severity of previously identified significant effects. Therefore, the proposed amendment could not result in any new environmental impacts beyond those already assessed in the previously adopted mitigated negative declaration.

Section 2: The use and density of the subject property remains the same and are not affected by the proposed changes. The open space is becoming greater through increased setback areas. The architecture will be similar to that which was originally approved (mid-century modern) and no changes to the landscaping are proposed as part of this amendment. Therefore, the minor architectural and site changes do not affect the intent of the PD.

NOW, THEREFORE, BE IT RESOLVED that, based upon the foregoing, the Planning Commission hereby approves Case No. 5.1024 PDD 306 – AMND, subject to all Conditions set forth in Exhibit A of City Council Resolution 21278.

ADOPTED this 9<sup>th</sup> day of December, 2009.

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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Craig A. Ewing, AICP  
Director of Planning Services



JAMES CROFT ARCHITECT  
11111 N. PALM AVENUE, SUITE 100  
PALM SPRINGS, CALIFORNIA 92262



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|-------------|--------------|
| REVISION    |              |
| DATE        |              |
| BY          |              |
| PLAT DATE   |              |
| 7-27-09     |              |
| 10-20-09    |              |
| SCALE       | 1" = 30'-0"  |
| PROJECT NO. | 0608         |
| FILE NO.    | 0608-00 SITE |
| SHEET       | A-1.1        |

**LEGAL DESCRIPTION**  
LOT 1 OF TRACT NO. 14020, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 112 PAGES(S) 61 AND 62, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAND COUNTY.  
**ASSESSOR'S PARCEL NUMBER**  
501-190-072

| LOT # | ADDRESS                   |
|-------|---------------------------|
| 1     | 2630 ALEXANDER CLUB DRIVE |
| 2     | 2628 ALEXANDER CLUB DRIVE |
| 3     | 2626 ALEXANDER CLUB DRIVE |
| 4     | 2624 ALEXANDER CLUB DRIVE |
| 5     | 2622 ALEXANDER CLUB DRIVE |
| 6     | 2620 ALEXANDER CLUB DRIVE |
| 7     | 2618 ALEXANDER CLUB DRIVE |
| 8     | 2616 ALEXANDER CLUB DRIVE |
| 9     | 2614 ALEXANDER CLUB DRIVE |
| 10    | 2612 ALEXANDER CLUB DRIVE |
| 11    | 2610 ALEXANDER CLUB DRIVE |
| 12    | 2608 ALEXANDER CLUB DRIVE |
| 13    | 2606 ALEXANDER CLUB DRIVE |
| 14    | 2604 ALEXANDER CLUB DRIVE |
| 15    | 2602 ALEXANDER CLUB DRIVE |
| 16    | 2600 ALEXANDER CLUB DRIVE |
| 17    | 2598 ALEXANDER CLUB DRIVE |
| 18    | 2596 ALEXANDER CLUB DRIVE |
| 19    | 2594 ALEXANDER CLUB DRIVE |
| 20    | 2592 ALEXANDER CLUB DRIVE |
| 21    | 2590 ALEXANDER CLUB DRIVE |
| 22    | 2588 ALEXANDER CLUB DRIVE |
| 23    | 2586 ALEXANDER CLUB DRIVE |

5.1024

TIM 32675  
5.1024 PD 306 AMND  
**RECEIVED**

NOV 03 2009

PLANNING SERVICES  
DEPARTMENT

OVERALL SITE PLAN  
SCALE: 1" = 30'-0"



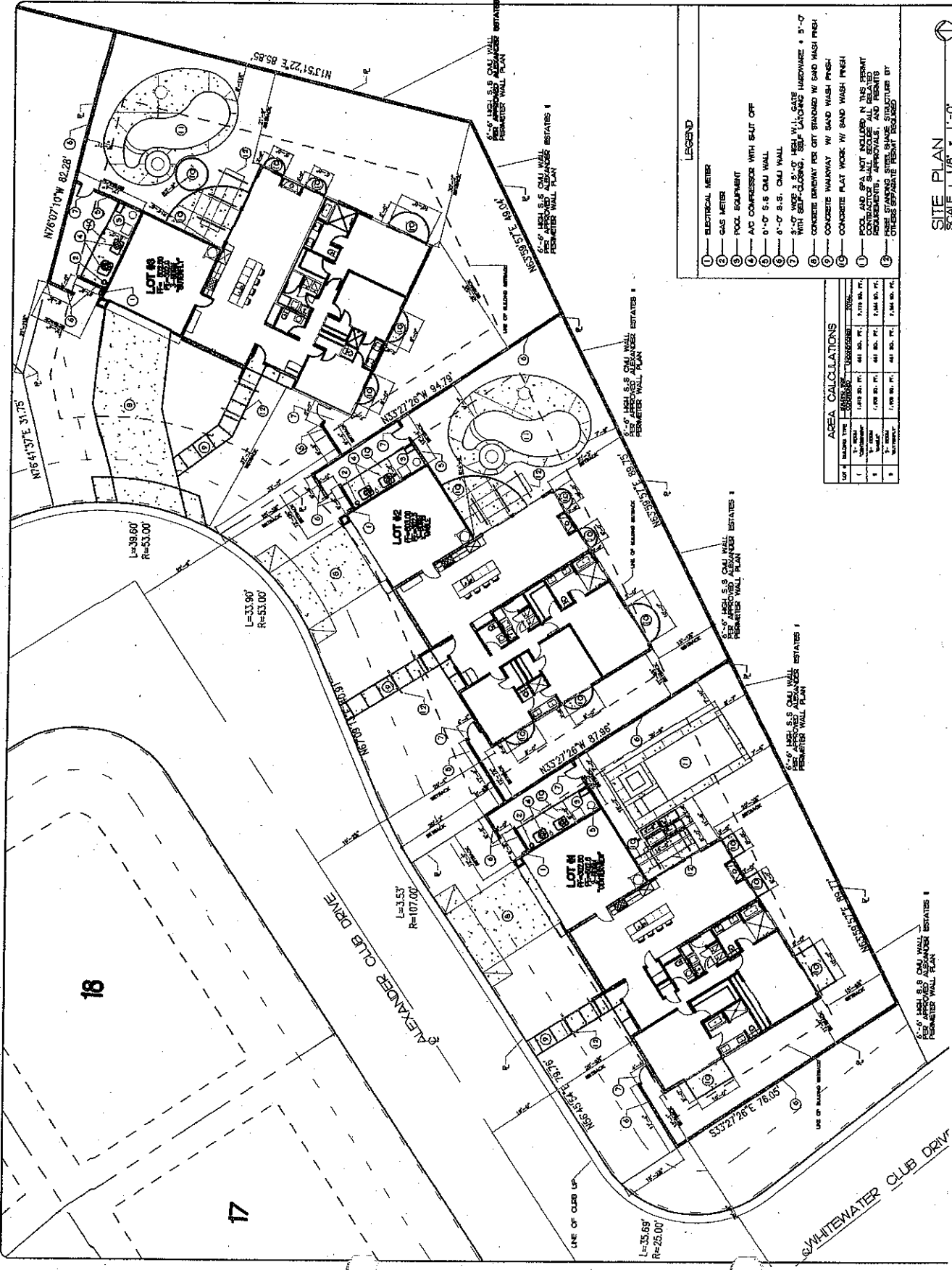
PAVING CONTRACT ARCHITECT  
1000 N. CALIFORNIA AVE.  
PALM SPRINGS, CALIF. 92262



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PROJECT NO: 0903  
SCALE: 1/8" = 1'-0"  
FILE: 0903-36 SITE

SHEET  
**A-12**



**LEGEND**

- ELECTRICAL METER
- GAS METER
- POOL EQUIPMENT
- A/C COMPRESSOR WITH BUT OFF
- 0'-0" 5.6 CMU WALL
- 0'-0" 8.5 CMU WALL
- 3'-0" WIDE 5'-0" HIGH W/ GATE HARDWARE + 5'-0" WITH SELF-CLOSING, SETP LATCHING HARDWARE + 5'-0" CONCRETE DRIVEWAY PER CITY STAMPEO W/ SAND WASH FINISH
- CONCRETE PLAY WORK W/ SAND WASH FINISH
- POOL AND SPA NOT INCLUDED IN THIS PERMIT APPROVALS, APPROVALS, AND PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR. OTHERS SEPARATE PERMIT REQUIRED

**AREA CALCULATIONS**

| LOT # | IRREGULAR TYPE | AREA (SQ. FT.) | PERIMETER (LINEAL FT.) | PERIMETER (LINEAL FT.) | PERIMETER (LINEAL FT.) | PERIMETER (LINEAL FT.) |
|-------|----------------|----------------|------------------------|------------------------|------------------------|------------------------|
| 1     |                | 1,028 SQ. FT.  | 441                    | 441                    | 441                    | 441                    |
| 2     |                | 1,028 SQ. FT.  | 441                    | 441                    | 441                    | 441                    |
| 3     |                | 1,028 SQ. FT.  | 441                    | 441                    | 441                    | 441                    |
| 4     |                | 1,028 SQ. FT.  | 441                    | 441                    | 441                    | 441                    |
| 5     |                | 1,028 SQ. FT.  | 441                    | 441                    | 441                    | 441                    |

**SITE PLAN**  
SCALE: 1/8" = 1'-0"

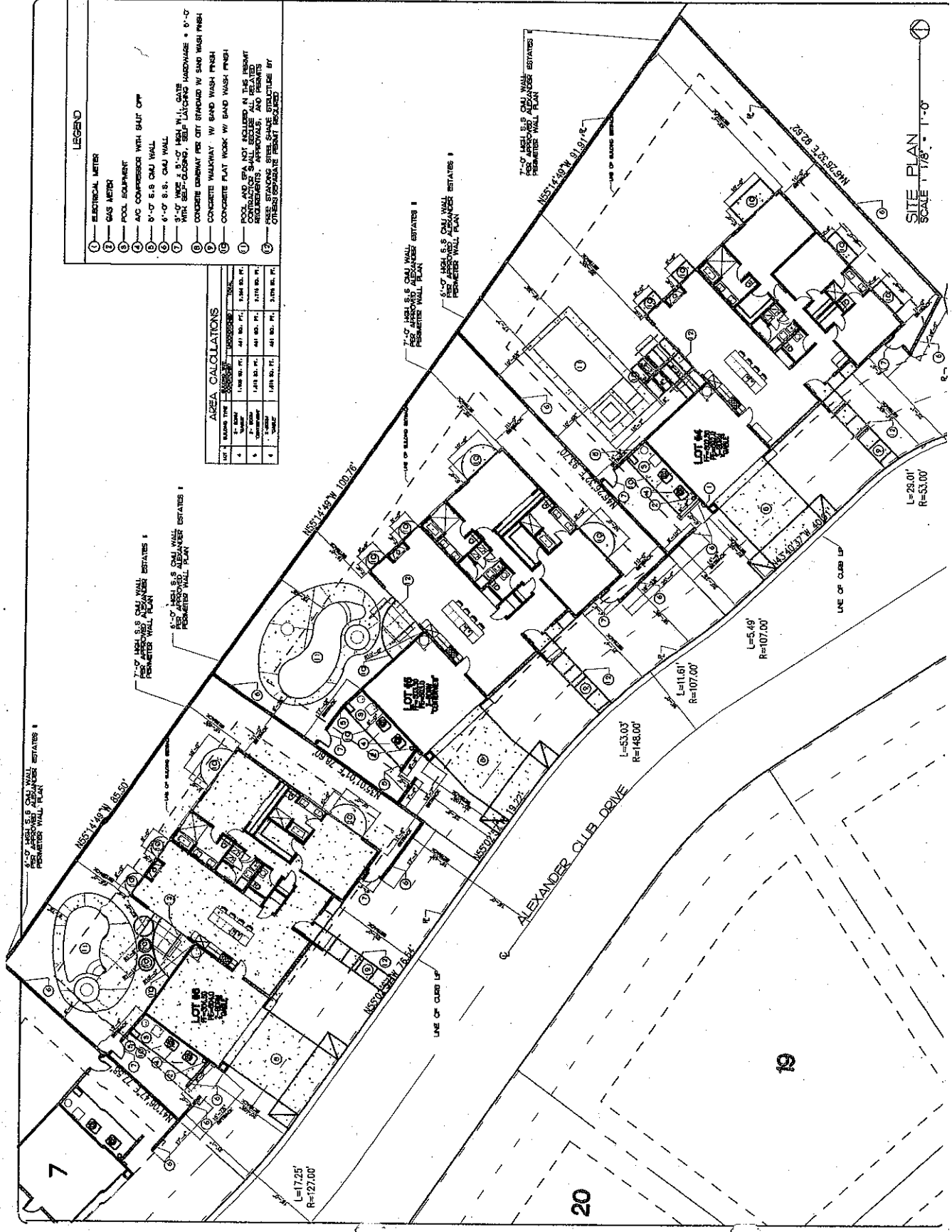
WALTER CIOFFI ARCHITECT  
1000 N. PALM SPRINGS BLVD.  
PALM SPRINGS, CALIF. 92262



| REVISION | DATE | BY | CHKD. |
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SCALE: 1/8" = 1'-0"  
PROJECT NO. 0000  
FILE: 0000-00 SITE  
SHEET

**A-13**



- LEGEND**
- ① ELECTRICAL METER
  - ② GAS METER
  - ③ POOL EQUIPMENT
  - ④ AC COMPRESSOR WITH SHUT OFF
  - ⑤ 6'-0" S.S. CMU WALL
  - ⑥ 8'-0" S.S. CMU WALL
  - ⑦ 3'-0" WIDE 2'-0" HIGH W.P. GATE WITH SELF-CLOSING, SELF LATCHING HARDWARE + 9'-0" CONCRETE CURBWAY W/ SAND WASH FINISH
  - ⑧ CONCRETE PLAT WORK W/ SAND WASH FINISH
  - ⑨ POOL AND SPA NOT INCLUDED IN THE PERMIT REQUIREMENTS. APPROVALS, AND PERMITS FOR STAKING, STEEL SHADE STRUCTURE BY OTHERS/COMPANIE PERMIT REQUIRED

**AREA CALCULATIONS**

| LOT # | MEANS TYPE | AREA (SQ. FT.) | PERCENTAGE |
|-------|------------|----------------|------------|
| 1     | 1.000      | 1,000.00       | 10.00%     |
| 2     | 1.000      | 1,000.00       | 10.00%     |
| 3     | 1.000      | 1,000.00       | 10.00%     |
| 4     | 1.000      | 1,000.00       | 10.00%     |
| 5     | 1.000      | 1,000.00       | 10.00%     |
| 6     | 1.000      | 1,000.00       | 10.00%     |
| 7     | 1.000      | 1,000.00       | 10.00%     |
| 8     | 1.000      | 1,000.00       | 10.00%     |
| 9     | 1.000      | 1,000.00       | 10.00%     |
| 10    | 1.000      | 1,000.00       | 10.00%     |
| 11    | 1.000      | 1,000.00       | 10.00%     |
| 12    | 1.000      | 1,000.00       | 10.00%     |
| 13    | 1.000      | 1,000.00       | 10.00%     |
| 14    | 1.000      | 1,000.00       | 10.00%     |
| 15    | 1.000      | 1,000.00       | 10.00%     |
| 16    | 1.000      | 1,000.00       | 10.00%     |
| 17    | 1.000      | 1,000.00       | 10.00%     |
| 18    | 1.000      | 1,000.00       | 10.00%     |
| 19    | 1.000      | 1,000.00       | 10.00%     |
| 20    | 1.000      | 1,000.00       | 10.00%     |

**SITE PLAN**  
SCALE: 1/8" = 1'-0"  
SHEET

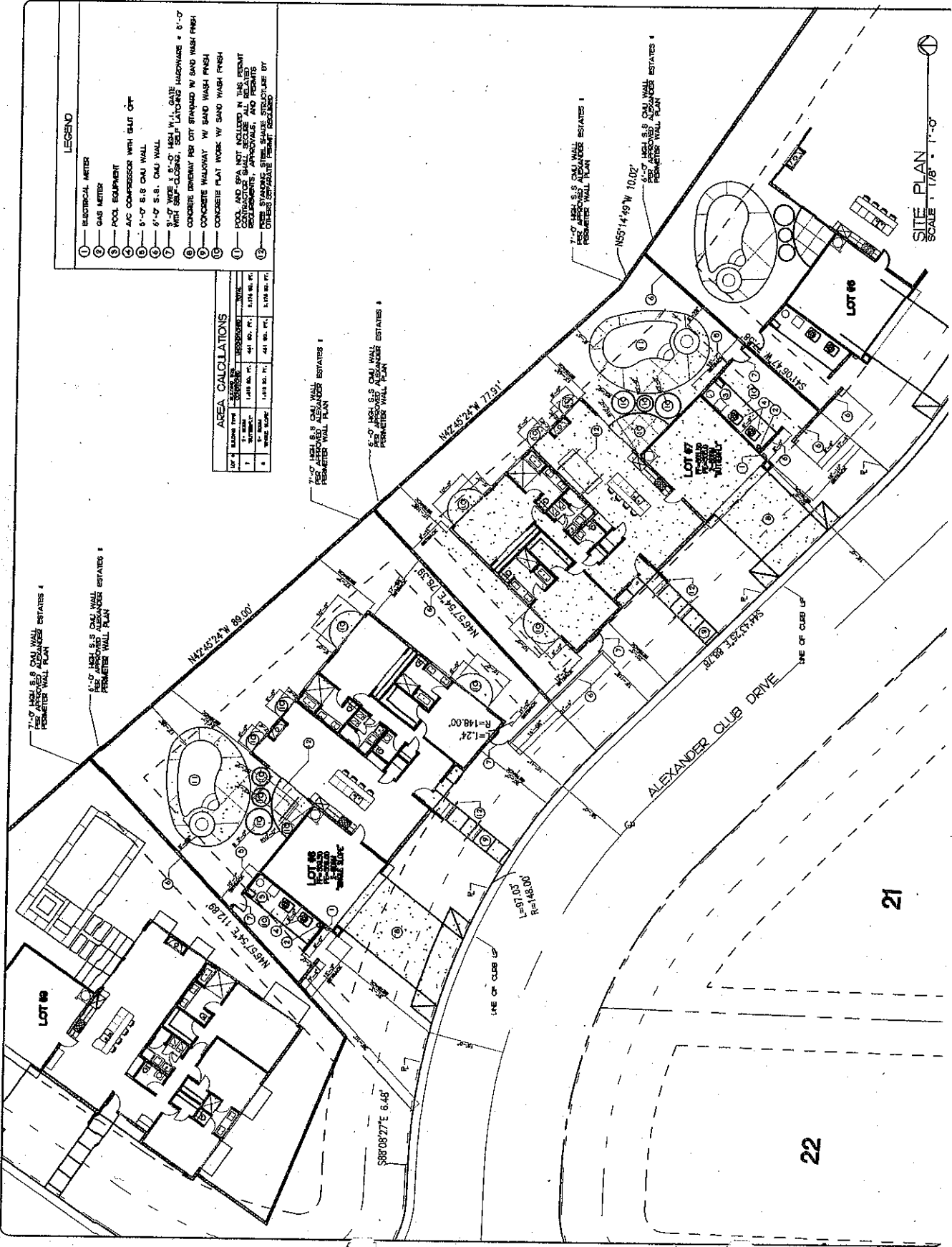
PLANNING & ARCHITECTURE  
1000 N. CALIFORNIA AVENUE  
P.O. BOX 1000  
PALM SPRINGS, CALIFORNIA 92262  
PHONE (951) 485-1000  
FAX (951) 485-1001



| REVISION | DATE | BY | CHKD. |
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SCALE: 1/8" = 1'-0"  
PROJECT NO: 0008  
P.L.E. GROUP-30 SRS

SHEET  
**A-14**



### LEGEND

- 1 ELECTRICAL METER
- 2 GAS METER
- 3 POOL EQUIPMENT
- 4 A/C COMPRESSOR WITH SALT OIL
- 5 8'-0" S.S. CMU WALL
- 6 6'-0" S.S. CMU WALL
- 7 3'-0" WIDE 2.5'-0" HIGH W.I.C. GATE WITH SELF-CLOSING, SELF-LATCHING HINGEWARE & 8'-0" CONCRETE DRIVEWAY W/ OIL STAINING W/ SAND WASH FINISH
- 8 CONCRETE PLAY WARE W/ SAND WASH FINISH
- 9 1'-0" HIGH 8.5 CMU WALL PERIMETER WALL PLAN
- 10 6'-0" HIGH 8.5 CMU WALL PERIMETER WALL PLAN
- 11 7'-0" HIGH 8.5 CMU WALL PERIMETER WALL PLAN
- 12 1'-0" HIGH 8.5 CMU WALL PERIMETER WALL PLAN
- 13 6'-0" HIGH 8.5 CMU WALL PERIMETER WALL PLAN
- 14 7'-0" HIGH 8.5 CMU WALL PERIMETER WALL PLAN

### AREA CALCULATIONS

| LOT # | AREA (SQ. FT.) | PERIMETER (FT.) | AREA (SQ. FT.) | PERIMETER (FT.) |
|-------|----------------|-----------------|----------------|-----------------|
| 1     | 1,418.88       | 441.80          | 1,418.88       | 441.80          |
| 2     | 1,418.88       | 441.80          | 1,418.88       | 441.80          |
| 3     | 1,418.88       | 441.80          | 1,418.88       | 441.80          |

SITE PLAN  
SCALE: 1/8" = 1'-0"



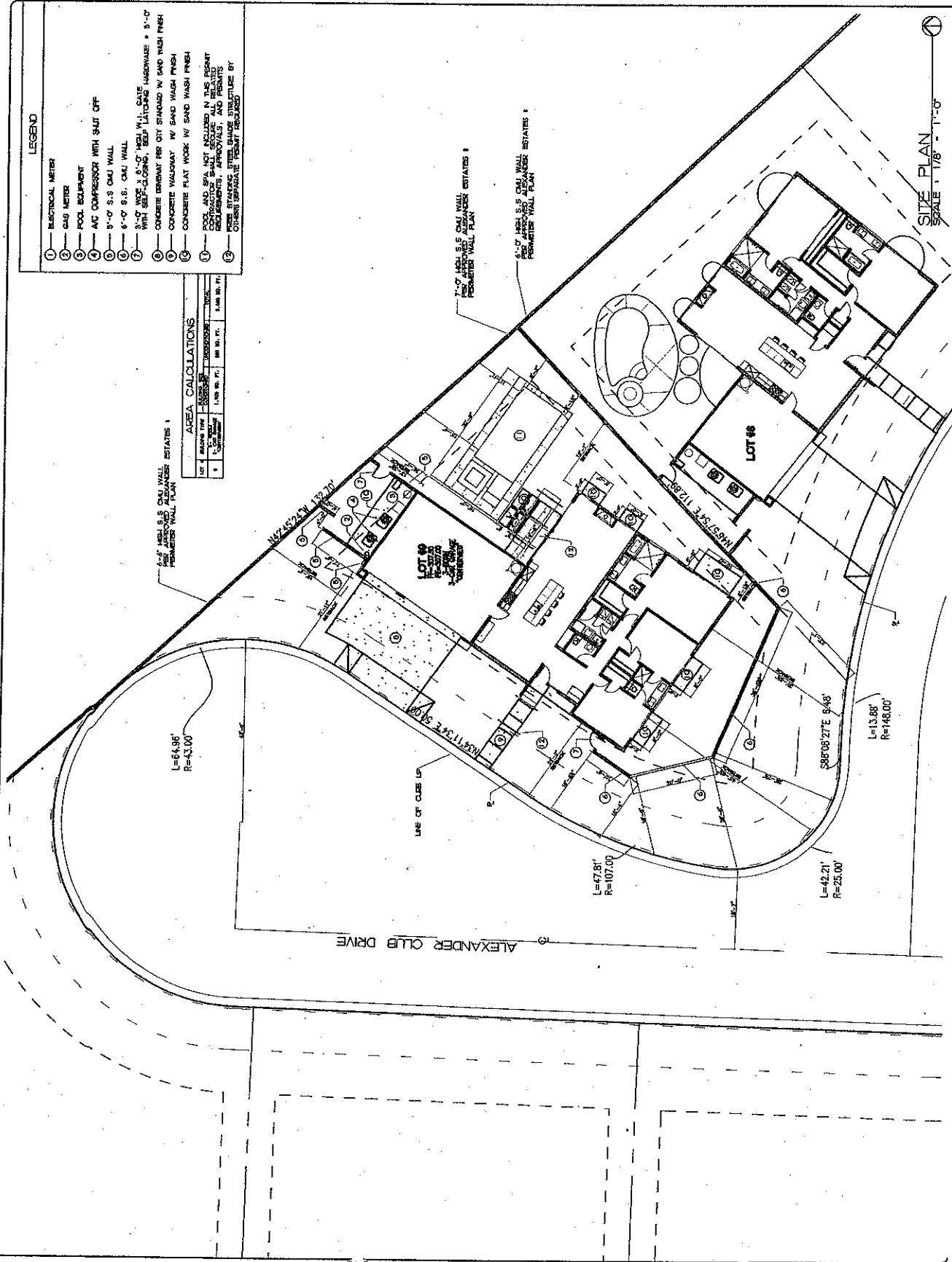
REVISION

| NO. | DATE     | DESCRIPTION |
|-----|----------|-------------|
| 1   | 7-27-09  | PLAT DATE   |
| 2   | 8-11-09  |             |
| 3   | 8-23-09  |             |
| 4   | 8-28-09  |             |
| 5   | 10-26-09 |             |

PLAT DATE

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| 7-27-09  |
| 8-11-09  |
| 8-23-09  |
| 8-28-09  |
| 10-26-09 |

SCALE: 1" = 30'-0"  
PROJECT NO: 0906  
FILE: 0906-30 SITS



AREA CALCULATIONS

| LOT | BLK | AREA (SQ FT) | PERCENT | TYPE |
|-----|-----|--------------|---------|------|
| 1   | 1   | 128,000      | 100.00% | 1    |
| 2   | 1   | 128,000      | 100.00% | 2    |
| 3   | 1   | 128,000      | 100.00% | 3    |
| 4   | 1   | 128,000      | 100.00% | 4    |
| 5   | 1   | 128,000      | 100.00% | 5    |

- LEGEND
- ① ELECTRICAL METER
  - ② GAS METER
  - ③ POOL EQUIPMENT
  - ④ A/C COMPRESSOR WITH SHUT OFF
  - ⑤ 8"-0" S.S. CMU WALL
  - ⑥ 6"-0" S.S. CMU WALL
  - ⑦ 12"-0" HIGH S.S. CMU WALL PER APPROVED ALEXANDER ESTATES II PERIMETER WALL PLAN
  - ⑧ 4'-0" HIGH S.S. CMU WALL PER APPROVED ALEXANDER ESTATES II PERIMETER WALL PLAN
  - ⑨ 7'-0" HIGH S.S. CMU WALL PER APPROVED ALEXANDER ESTATES II PERIMETER WALL PLAN
  - ⑩ CONCRETE FINISH WITH SAND WASH FINISH
  - ⑪ CONCRETE FINISH WITH SAND WASH FINISH
  - ⑫ CONCRETE FINISH WITH SAND WASH FINISH
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AREA CALCULATIONS

| LOT | BLK | AREA (SQ FT) | PERCENT | TYPE |
|-----|-----|--------------|---------|------|
| 1   | 1   | 128,000      | 100.00% | 1    |
| 2   | 1   | 128,000      | 100.00% | 2    |
| 3   | 1   | 128,000      | 100.00% | 3    |
| 4   | 1   | 128,000      | 100.00% | 4    |
| 5   | 1   | 128,000      | 100.00% | 5    |

7'-0" HIGH S.S. CMU WALL PER APPROVED ALEXANDER ESTATES II PERIMETER WALL PLAN

4'-0" HIGH S.S. CMU WALL PER APPROVED ALEXANDER ESTATES II PERIMETER WALL PLAN

L=64.96'  
R=43.00'

L=47.81'  
R=107.00'

L=42.21'  
R=25.00'

L=13.88'  
R=148.00'

SITE PLAN  
SCALE: 1" = 1'-0"

PLANNING & ARCHITECTURE  
1000 N. CALIFORNIA AVENUE  
SANTA ANA, CALIFORNIA 92701

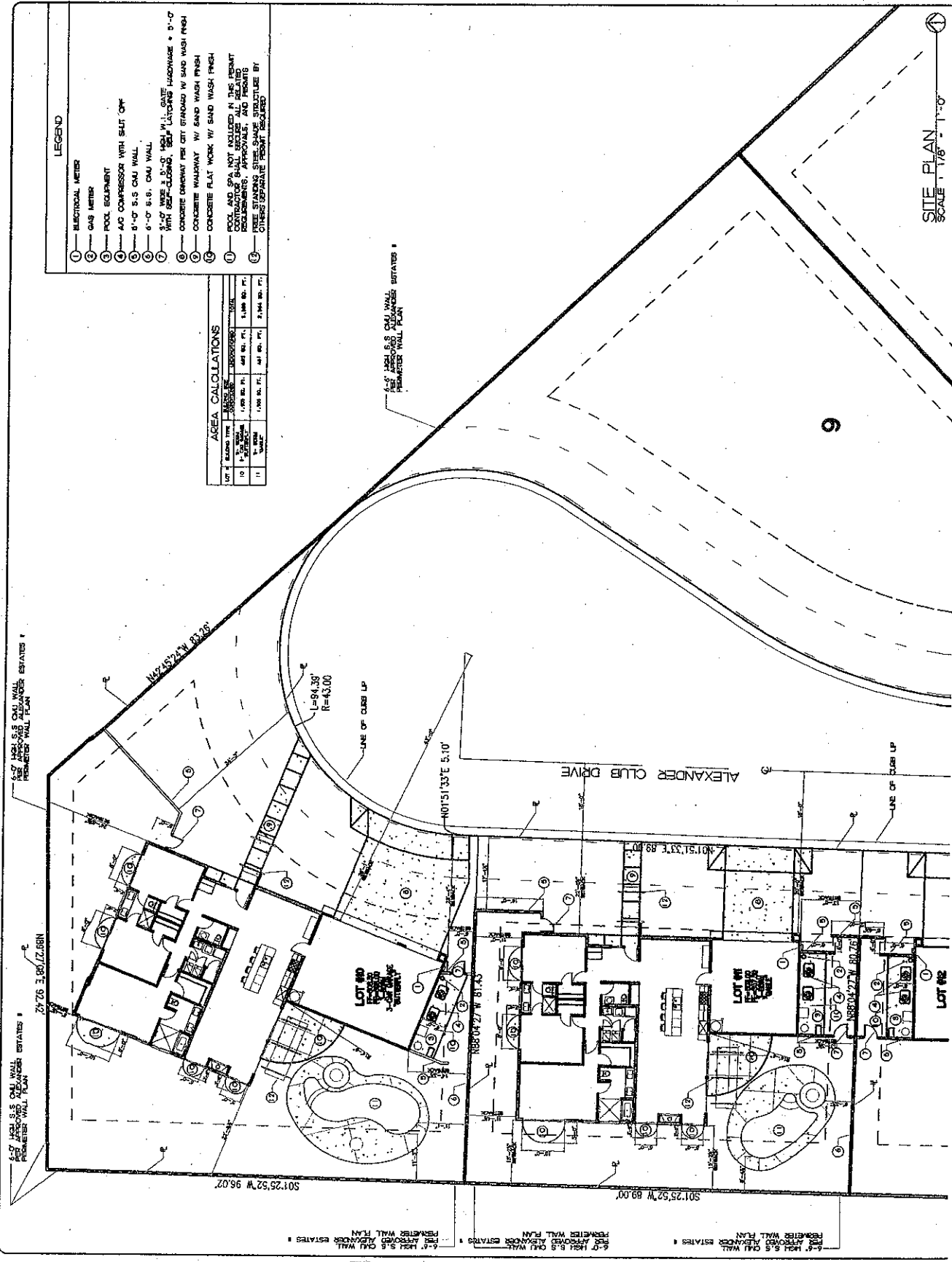


|          |             |
|----------|-------------|
| DATE     | DESCRIPTION |
| 7-27-59  | PLAT DATES  |
| 7-11-59  |             |
| 7-11-59  |             |
| 7-18-59  |             |
| 10-25-59 |             |

SCALE: 1/8" = 1'-0"  
PROJECT NO: 008  
FILE: 008-56 SITES

SHEET  
**A-1.6**

SITE PLAN  
SCALE: 1/8" = 1'-0"



### LEGEND

- ① ELECTRICAL METER
- ② GAS METER
- ③ POOL EQUIPMENT
- ④ AIR COMPRESSOR WITH SALT OFF
- ⑤ 8'-0" S.S. CMU WALL
- ⑥ 6'-0" S.S. CMU WALL
- ⑦ 5'-0" WIDE 2'-0" HIGH W.I. GATE WITH SELF-CLOSING, SELF-LATCHING MECHANISM + 3'-0" CONCRETE DRIVEWAY W/ SAND WASH FINISH
- ⑧ CONCRETE WALKWAY W/ SAND WASH FINISH
- ⑨ CONCRETE FLAT WORK W/ SAND WASH FINISH
- ⑩ 6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES
- ⑪ 6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES
- ⑫ 6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES
- ⑬ 6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES
- ⑭ 6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES
- ⑮ 6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES
- ⑯ 6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES
- ⑰ 6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES
- ⑱ 6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES
- ⑲ 6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES
- ⑳ 6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES

### AREA CALCULATIONS

| LOT # | AREA (SQ. FT.) | PERCENTAGE OF TOTAL |
|-------|----------------|---------------------|
| 10    | 1,000          | 10.00               |
| 11    | 1,000          | 10.00               |
| 12    | 1,000          | 10.00               |
| TOTAL | 3,000          | 100.00              |

6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES

6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES

N89°07'27.68"E 24.72

S01°25'52"W 98.07'

6'-0" HIGH S.S. CMU WALL PERMITTED WALL HEIGHTS SUPERSEDES

LOT #10

LOT #11

LINE OF CURB UP

N01°51'33"E 5.10'

L=94.33'  
R=43.00'

ALEXANDER CLUB DRIVE

S01°25'52"W 89.00'

N01°51'33"E 89.00'

LOT #12

9

LINE OF CURB UP

N88°04'27"W 80.27'

LOT #11

LOT #12

PAVED COURT AS SHOWN  
IN EXHIBIT 'A'



| REVISION | DATE |
|----------|------|
|          |      |
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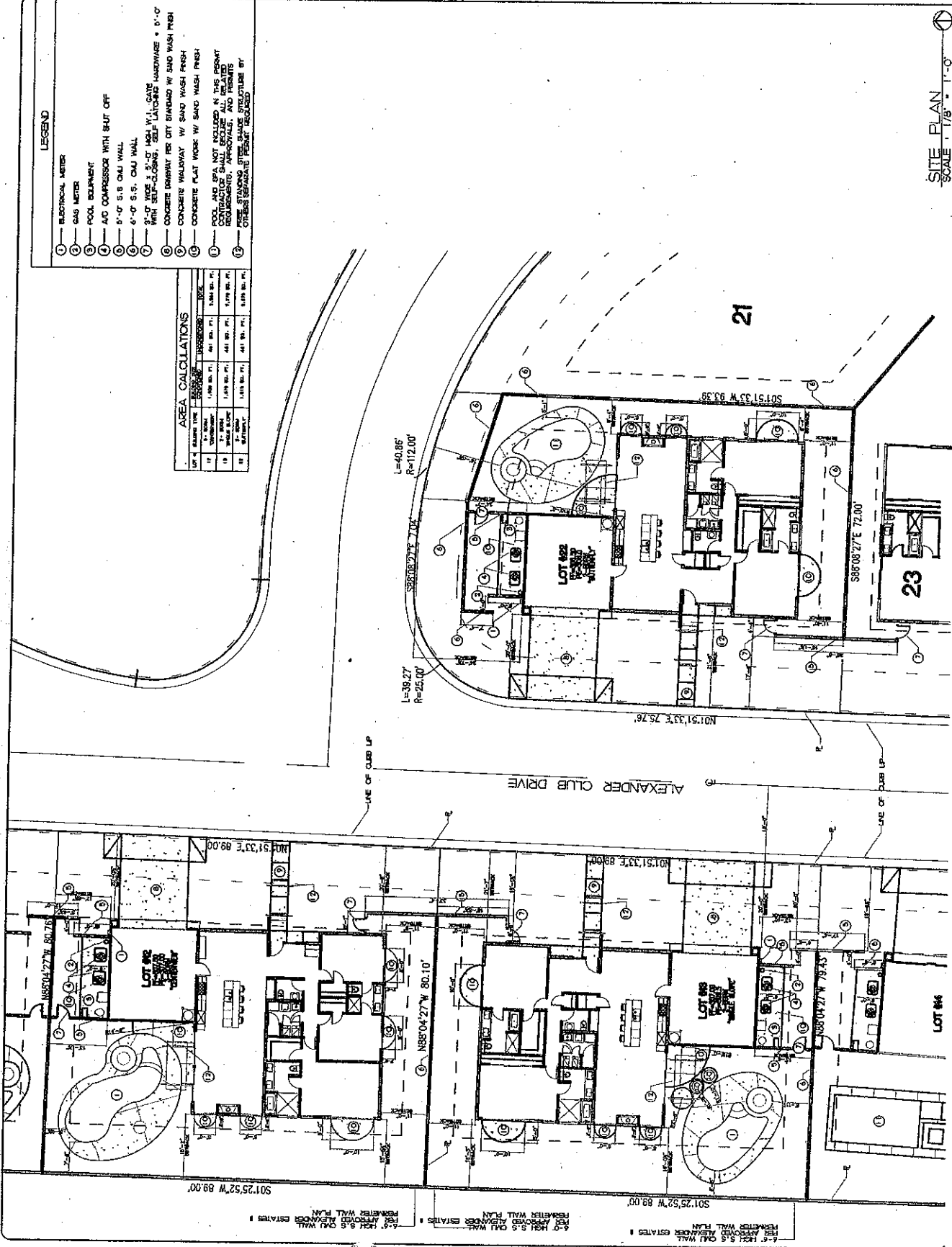
| PLAT DATE |
|-----------|
| 7-27-59   |
| 2-1-59    |
| 2-28-59   |
| 12-30-59  |

SCALE: 1/8" = 1'-0"  
PROJECT NO: 0905  
FILE: 0000-30 SITES

SITE PLAN  
SCALE: 1/8" = 1'-0"

| LOT # | AREA TYPE | AREA (SQ. FT.) | PERCENTAGE | AREA (SQ. FT.) |
|-------|-----------|----------------|------------|----------------|
| 11    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 12    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 13    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 14    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 15    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 16    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 17    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 18    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 19    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 20    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 21    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 22    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 23    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 24    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 25    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 26    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 27    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 28    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 29    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |
| 30    | 1.000     | 1,000.00       | 100.00%    | 1,000.00       |

- LEGEND**
- 1 ELECTRICAL METER
  - 2 GAS METER
  - 3 POOL EQUIPMENT
  - 4 A/C COMPRESSOR WITH SHUT OFF
  - 5 6"-Ø S.S. CHU WALL
  - 6 6"-Ø S.S. CHU WALL
  - 7 6"-Ø S.S. CHU WALL
  - 8 6"-Ø S.S. CHU WALL
  - 9 6"-Ø S.S. CHU WALL
  - 10 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 11 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 12 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 13 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 14 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 15 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 16 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 17 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 18 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
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  - 21 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 22 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 23 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 24 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 25 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 26 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 27 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 28 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 29 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
  - 30 CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH





| REVISION | DATE | BY | DESCRIPTION |
|----------|------|----|-------------|
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| DATE     | BY | DESCRIPTION |
|----------|----|-------------|
| 7-27-59  |    |             |
| 8-15-59  |    |             |
| 7-28-59  |    |             |
| 10-30-59 |    |             |

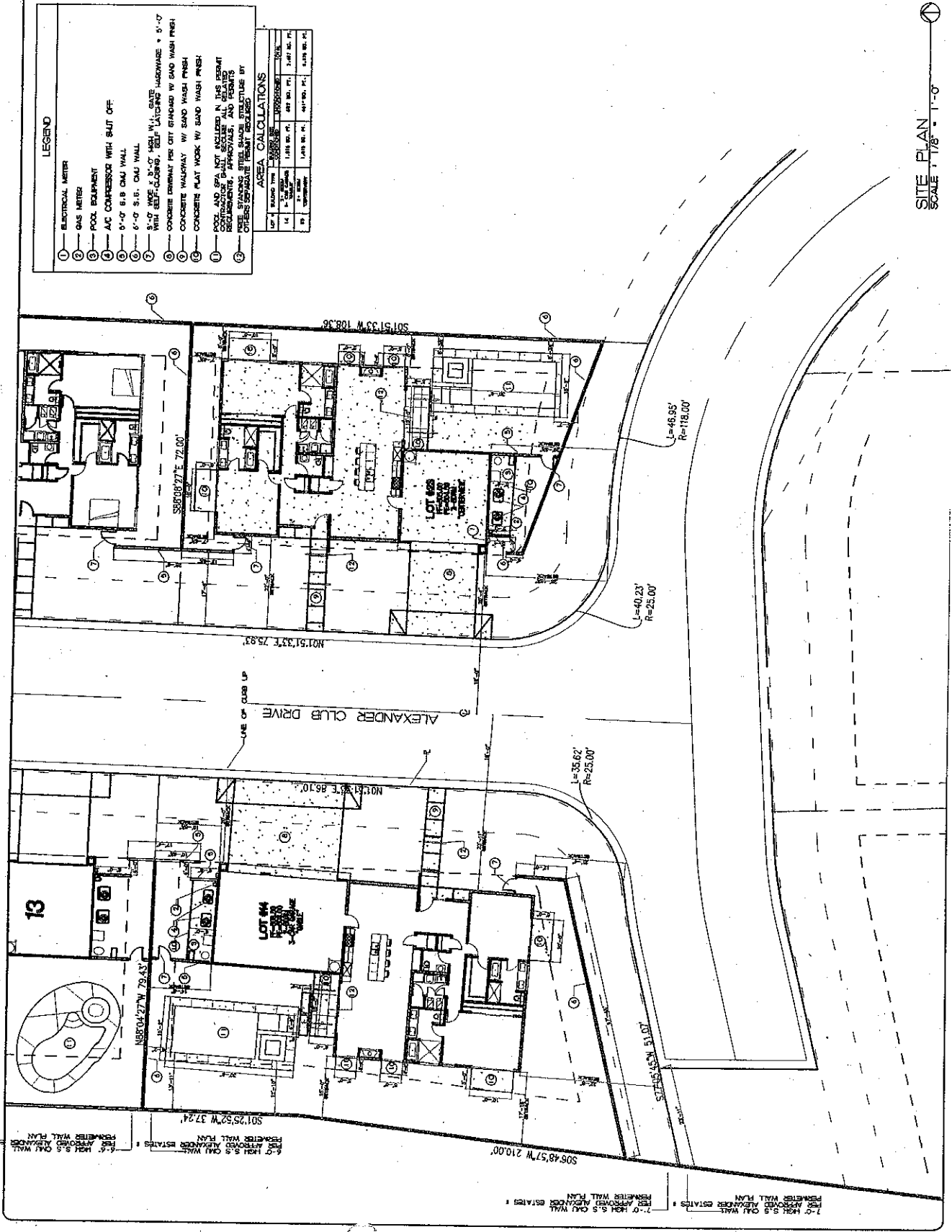
  

|                     |       |
|---------------------|-------|
| PROJECT NO.         | 0505  |
| FILED ORIO-50 SITES |       |
| SHEET               | A-1.8 |

- ### LEGEND
- 1 ELECTRICAL METER
  - 2 GAS METER
  - 3 POOL EQUIPMENT
  - 4 A/C COMPRESSOR WITH SHUT OFF
  - 5 6"-Ø 8" Ø CMJ WALL
  - 6 8"-Ø 8" Ø CMJ WALL
  - 7 8"-Ø 8" Ø CMJ WALL
  - 8 CONCRETE DRIVEWAY FOR CITY STANDARD W/ SAND WASH FINISH
  - 9 CONCRETE WALKWAY W/ SAND WASH FINISH
  - 10 CONCRETE PLAT WORK W/ SAND WASH FINISH
  - 11 WALL NOT INCLUDED IN THIS PERMIT
  - 12 WALL NOT INCLUDED IN THIS PERMIT
  - 13 WALL NOT INCLUDED IN THIS PERMIT
  - 14 WALL NOT INCLUDED IN THIS PERMIT
  - 15 WALL NOT INCLUDED IN THIS PERMIT
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  - 48 WALL NOT INCLUDED IN THIS PERMIT
  - 49 WALL NOT INCLUDED IN THIS PERMIT
  - 50 WALL NOT INCLUDED IN THIS PERMIT

### AREA CALCULATIONS

| NO. | DESCRIPTION    | AREA (SQ. FT.) | PERCENT | TOTAL     |
|-----|----------------|----------------|---------|-----------|
| 1   | POOL DECK      | 1,200.00       | 10.00   | 1,200.00  |
| 2   | POOL EQUIPMENT | 100.00         | 0.85    | 1,300.00  |
| 3   | WALKWAY        | 1,000.00       | 8.50    | 2,300.00  |
| 4   | DRIVEWAY       | 1,500.00       | 12.75   | 3,800.00  |
| 5   | PLAT WORK      | 1,700.00       | 14.50   | 5,500.00  |
| 6   | WALL           | 1,000.00       | 8.50    | 6,500.00  |
| 7   | WALL           | 1,000.00       | 8.50    | 7,500.00  |
| 8   | WALL           | 1,000.00       | 8.50    | 8,500.00  |
| 9   | WALL           | 1,000.00       | 8.50    | 9,500.00  |
| 10  | WALL           | 1,000.00       | 8.50    | 10,500.00 |
| 11  | WALL           | 1,000.00       | 8.50    | 11,500.00 |
| 12  | WALL           | 1,000.00       | 8.50    | 12,500.00 |
| 13  | WALL           | 1,000.00       | 8.50    | 13,500.00 |
| 14  | WALL           | 1,000.00       | 8.50    | 14,500.00 |
| 15  | WALL           | 1,000.00       | 8.50    | 15,500.00 |
| 16  | WALL           | 1,000.00       | 8.50    | 16,500.00 |
| 17  | WALL           | 1,000.00       | 8.50    | 17,500.00 |
| 18  | WALL           | 1,000.00       | 8.50    | 18,500.00 |
| 19  | WALL           | 1,000.00       | 8.50    | 19,500.00 |
| 20  | WALL           | 1,000.00       | 8.50    | 20,500.00 |
| 21  | WALL           | 1,000.00       | 8.50    | 21,500.00 |
| 22  | WALL           | 1,000.00       | 8.50    | 22,500.00 |
| 23  | WALL           | 1,000.00       | 8.50    | 23,500.00 |
| 24  | WALL           | 1,000.00       | 8.50    | 24,500.00 |
| 25  | WALL           | 1,000.00       | 8.50    | 25,500.00 |
| 26  | WALL           | 1,000.00       | 8.50    | 26,500.00 |
| 27  | WALL           | 1,000.00       | 8.50    | 27,500.00 |
| 28  | WALL           | 1,000.00       | 8.50    | 28,500.00 |
| 29  | WALL           | 1,000.00       | 8.50    | 29,500.00 |
| 30  | WALL           | 1,000.00       | 8.50    | 30,500.00 |
| 31  | WALL           | 1,000.00       | 8.50    | 31,500.00 |
| 32  | WALL           | 1,000.00       | 8.50    | 32,500.00 |
| 33  | WALL           | 1,000.00       | 8.50    | 33,500.00 |
| 34  | WALL           | 1,000.00       | 8.50    | 34,500.00 |
| 35  | WALL           | 1,000.00       | 8.50    | 35,500.00 |
| 36  | WALL           | 1,000.00       | 8.50    | 36,500.00 |
| 37  | WALL           | 1,000.00       | 8.50    | 37,500.00 |
| 38  | WALL           | 1,000.00       | 8.50    | 38,500.00 |
| 39  | WALL           | 1,000.00       | 8.50    | 39,500.00 |
| 40  | WALL           | 1,000.00       | 8.50    | 40,500.00 |
| 41  | WALL           | 1,000.00       | 8.50    | 41,500.00 |
| 42  | WALL           | 1,000.00       | 8.50    | 42,500.00 |
| 43  | WALL           | 1,000.00       | 8.50    | 43,500.00 |
| 44  | WALL           | 1,000.00       | 8.50    | 44,500.00 |
| 45  | WALL           | 1,000.00       | 8.50    | 45,500.00 |
| 46  | WALL           | 1,000.00       | 8.50    | 46,500.00 |
| 47  | WALL           | 1,000.00       | 8.50    | 47,500.00 |
| 48  | WALL           | 1,000.00       | 8.50    | 48,500.00 |
| 49  | WALL           | 1,000.00       | 8.50    | 49,500.00 |
| 50  | WALL           | 1,000.00       | 8.50    | 50,500.00 |



SITE PLAN  
SCALE 1/8" = 1'-0"  
SHEET



JAMES SCOTT ARCHITECT  
11111 PALM BLVD.  
PALM SPRINGS, CA 92260

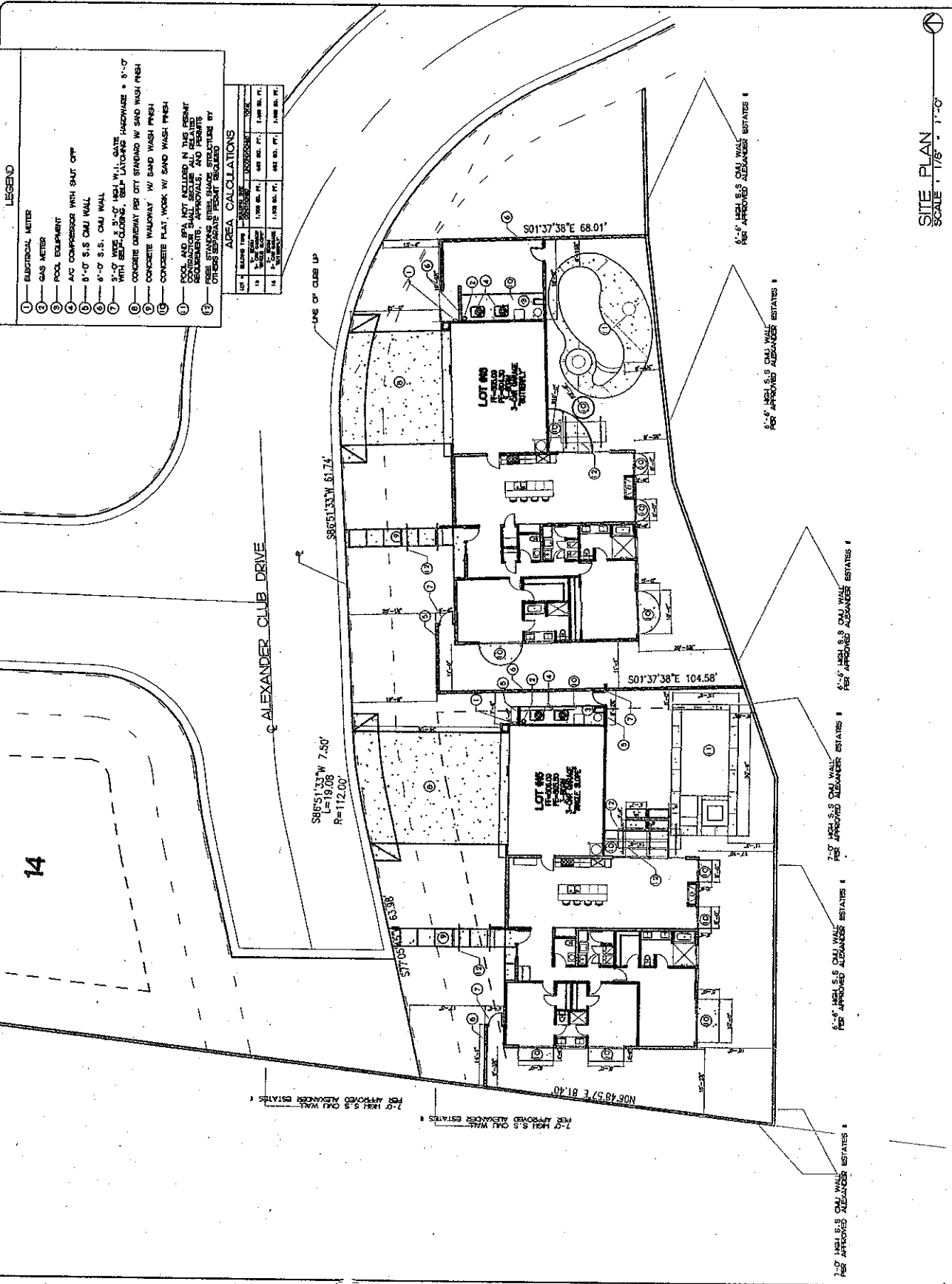


| REVISION | DATE     |
|----------|----------|
| 1        | 7-27-09  |
| 2        | 8-11-09  |
| 3        | 9-28-09  |
| 4        | 10-30-09 |

SCALE: 1/8" = 1'-0"  
PROJECT NO: 0940  
FILE: 0940-02 SITE

SHEET  
**A-1.9**

SITE PLAN  
SCALE: 1/8" = 1'-0"



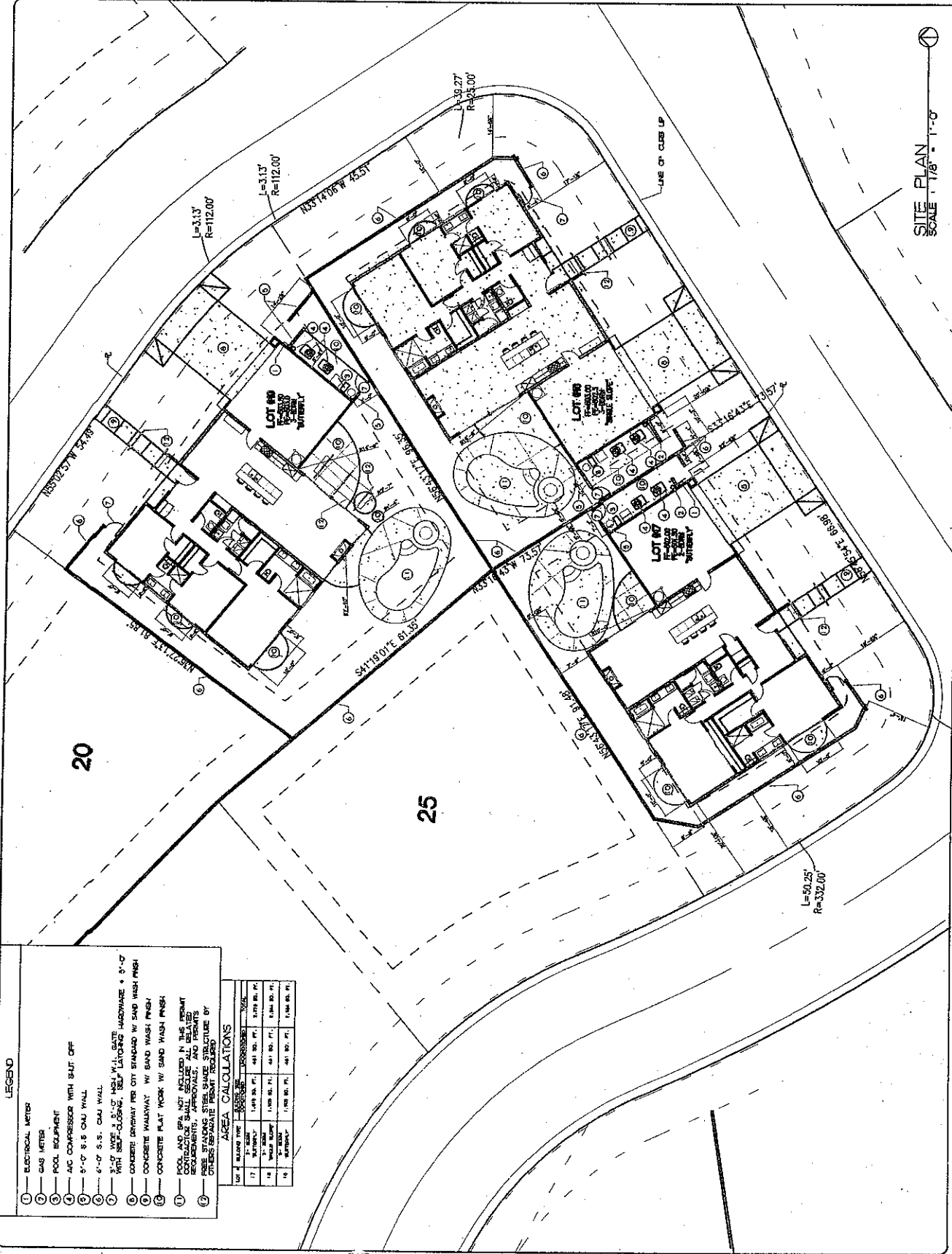
JAMES COFFI ARCHITECT  
1000 N. PALM SPRINGS BLVD.  
PALM SPRINGS, CALIF. 92262



| REVISION | DATE     | BY | CHKD. |
|----------|----------|----|-------|
| 1        | 7-27-05  | JC | JC    |
| 2        | 8-1-05   | JC | JC    |
| 3        | 9-28-05  | JC | JC    |
| 4        | 10-25-05 | JC | JC    |

SCALE: 1/8" = 1'-0"  
PROJECT NO. 0803  
P.L.D. 0006-30 0105

SHEET  
**A-1.10**



SITE PLAN  
SCALE: 1/8" = 1'-0"

**LEGEND**

- ① ELECTRICAL METER
- ② GAS METER
- ③ POOL EQUIPMENT
- ④ A/C COMPRESSOR WITH SHUT OFF
- ⑤ 9'-0" S.S. CHU WALL
- ⑥ 6'-0" S.S. CHU WALL
- ⑦ CONCRETE DRIVEWAY PER CITY STANDARDS WITH SAND WASH FINISH
- ⑧ CONCRETE DRIVEWAY PER CITY STANDARDS WITH SAND WASH FINISH
- ⑨ CONCRETE DRIVEWAY PER CITY STANDARDS WITH SAND WASH FINISH
- ⑩ POOL AND SPA NOT INCLUDED IN THIS PERMIT
- ⑪ CENTIGRADE SHALL SECURE ALL RELATED PERMITS, APPROVALS, AND PERMITS
- ⑫ OTHERS SHALL BE THE RESPONSIBILITY OF THE CLIENT

**AREA CALCULATIONS**

| NO. | DESCRIPTION | AREA (SQ. FT.) |
|-----|-------------|----------------|
| 1   | LOT 67      | 1,100.00       |
| 2   | LOT 68      | 1,100.00       |
| 3   | LOT 69      | 1,100.00       |
| 4   | TOTAL       | 3,300.00       |

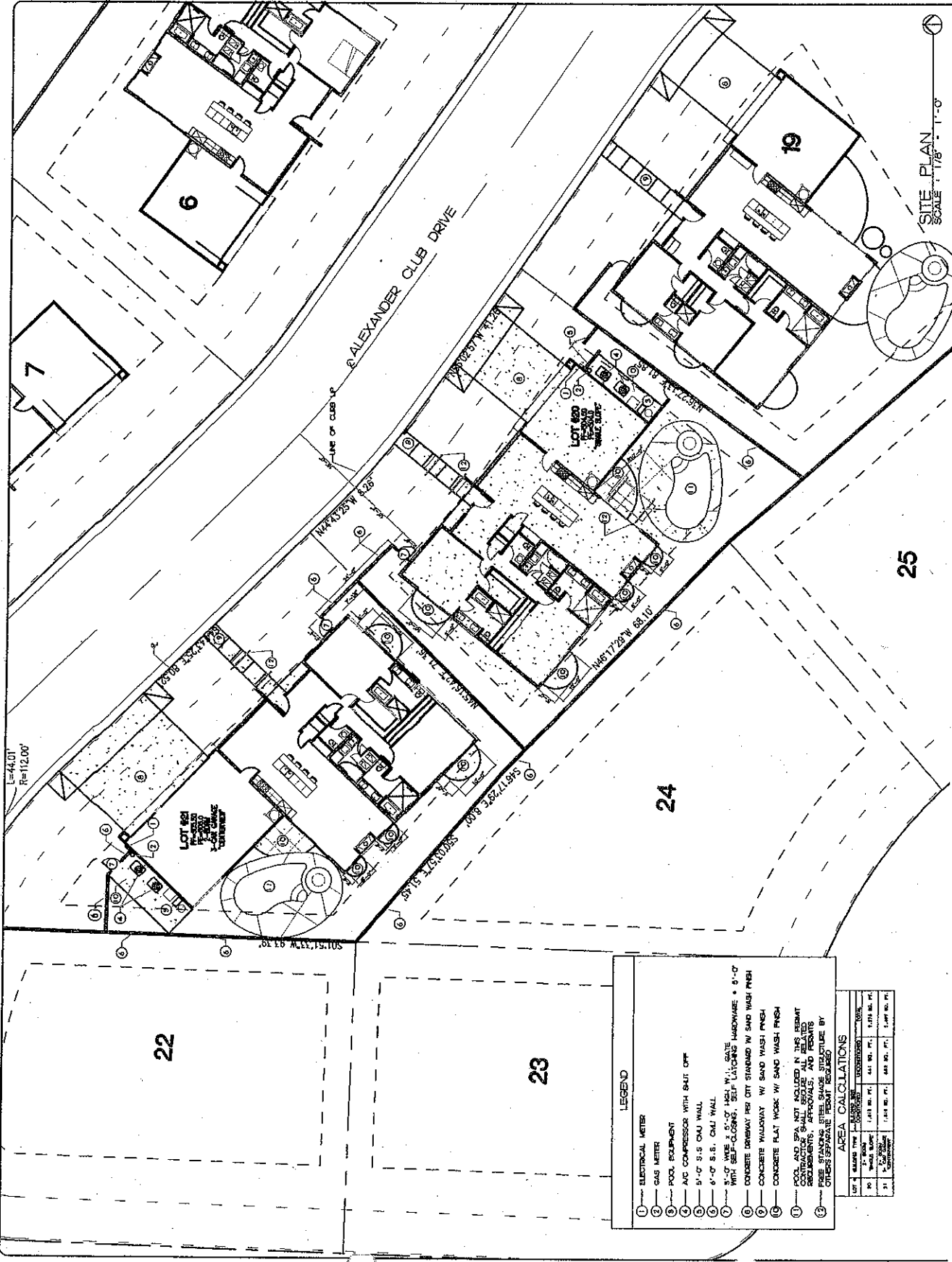
WMS SURVEY ARCHITECTS  
1000 N. CALIFORNIA AVE.  
PALM SPRINGS, CALIF. 92260  
TEL. 760-325-2200



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| REVISION |  |
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SCALE: 1/8" = 1'-0"  
PROJECT NO: 0008  
FILE: 0008-30 SITES

SHEET  
**A-1.11** (2)



**LEGEND**

- ① ELECTRICAL METER
- ② GAS METER
- ③ POOL EQUIPMENT
- ④ A/C COMPRESSOR WITH SHUT OFF
- ⑤ 5'-0" S/S CMU WALL
- ⑥ 6'-0" S.S. CMU WALL
- ⑦ 3'-0" WIDE X 5'-0" HIGH W/I. GATE WITH SELF-CLOSING, SELF LATCHING HARDWARE • 9'-0" CONCRETE DRIVEWAY PER CITY STANDARD W/ SAND WASH FINISH
- ⑧ CONCRETE WALKWAY W/ SAND WASH FINISH
- ⑨ CONCRETE FLAT WALK W/ SAND WASH FINISH
- ⑩ POOL AND SPA NOT INCLUDED IN THIS PERMIT CONTRACTOR SHALL VERIFY ALL RELATED PERMITS AND REGULATIONS WITH THE CITY OF PALM SPRINGS. PERMITS SHALL BE OBTAINED BY THE CONTRACTOR. OTHERS SEPARATE PERMIT REQUIRED BY

**AREA CALCULATIONS**

| LOT # | AREA          | PERCENT | TOTAL         |
|-------|---------------|---------|---------------|
| 19    | 1,418 SQ. FT. | 4.18%   | 3,392 SQ. FT. |
| 24    | 1,418 SQ. FT. | 4.18%   | 3,392 SQ. FT. |
| 23    | 1,418 SQ. FT. | 4.18%   | 3,392 SQ. FT. |
| 22    | 1,418 SQ. FT. | 4.18%   | 3,392 SQ. FT. |

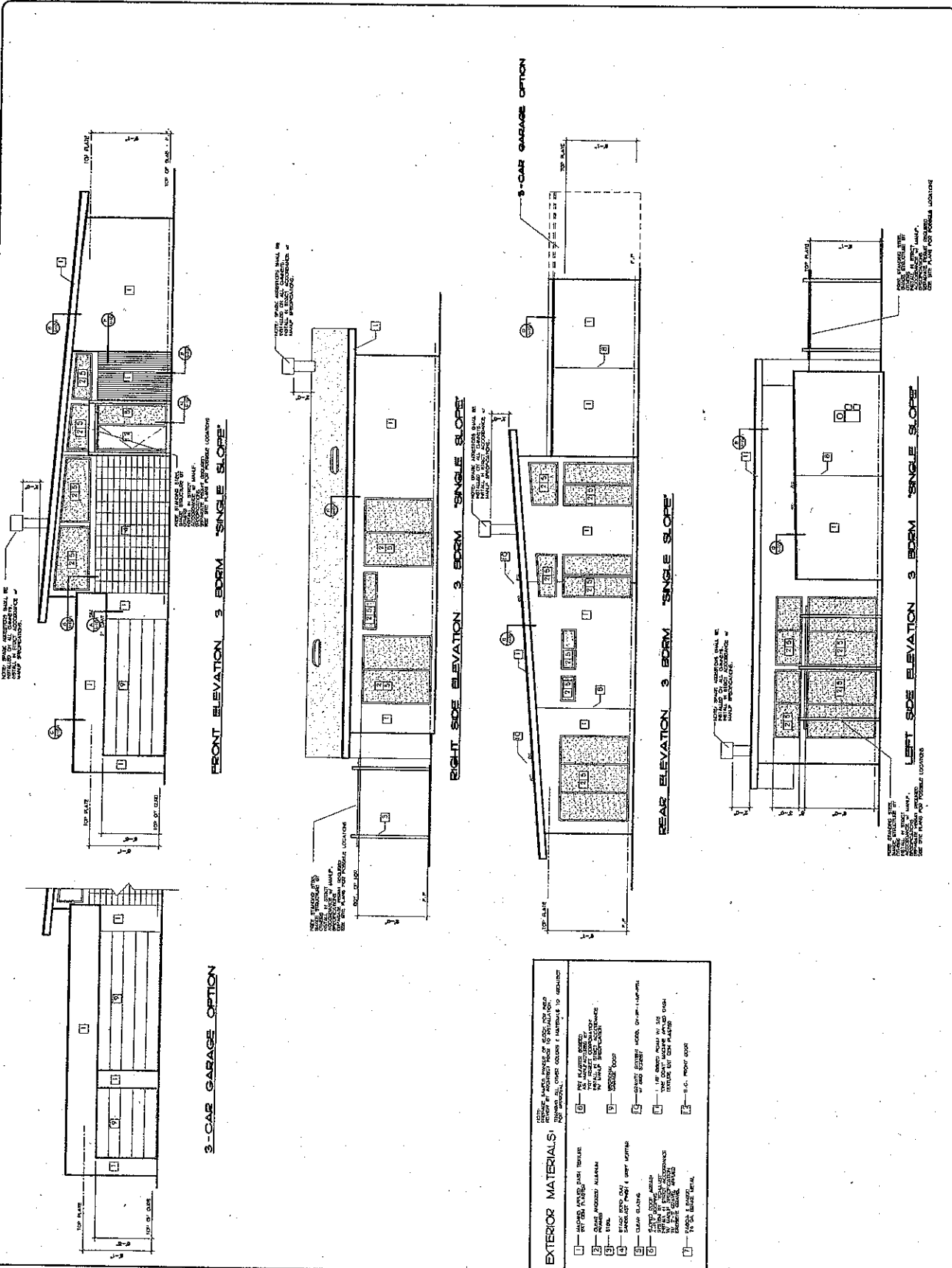
WES COPI COMPANY  
1000 N. GARDEN AVENUE  
PALM SPRINGS, CALIF. 92260



| REVISION | DATE     |
|----------|----------|
| 8-13-59  | 10-23-59 |
| 8-13-59  | 10-23-59 |
| 10-17-59 | 10-21-59 |
| 10-17-59 | 10-21-59 |

SCALE: 1/8" = 1'-0"  
PROJECT NO. 0908  
FILE 0908-45C  
SHEET

**A-5.2**

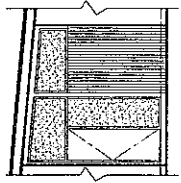


**EXTERIOR MATERIALS:**

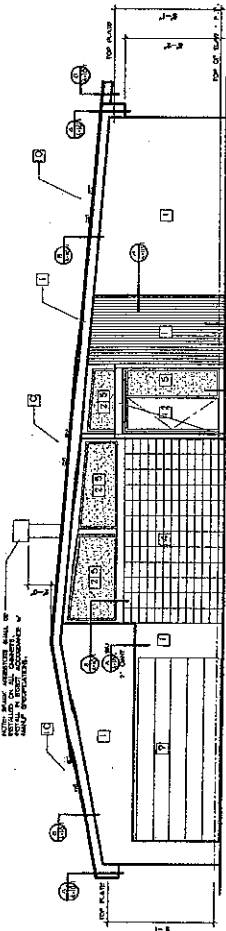
1 - SANDY, FLAT, PINK TONED  
2 - SANDY, FLAT, PINK TONED  
3 - SANDY, FLAT, PINK TONED  
4 - SANDY, FLAT, PINK TONED  
5 - SANDY, FLAT, PINK TONED  
6 - SANDY, FLAT, PINK TONED  
7 - SANDY, FLAT, PINK TONED  
8 - SANDY, FLAT, PINK TONED

1 - SANDY, FLAT, PINK TONED  
2 - SANDY, FLAT, PINK TONED  
3 - SANDY, FLAT, PINK TONED  
4 - SANDY, FLAT, PINK TONED  
5 - SANDY, FLAT, PINK TONED  
6 - SANDY, FLAT, PINK TONED  
7 - SANDY, FLAT, PINK TONED  
8 - SANDY, FLAT, PINK TONED

SEE ELEVATION 3-BDRM SINGLE SLOPE FOR WINDOW LOCATIONS  
SEE ELEVATION 3-BDRM SINGLE SLOPE FOR WINDOW LOCATIONS  
SEE ELEVATION 3-BDRM SINGLE SLOPE FOR WINDOW LOCATIONS  
SEE ELEVATION 3-BDRM SINGLE SLOPE FOR WINDOW LOCATIONS

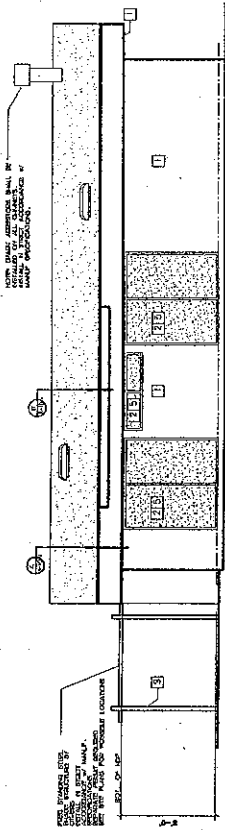


OPTIONAL WINDOW

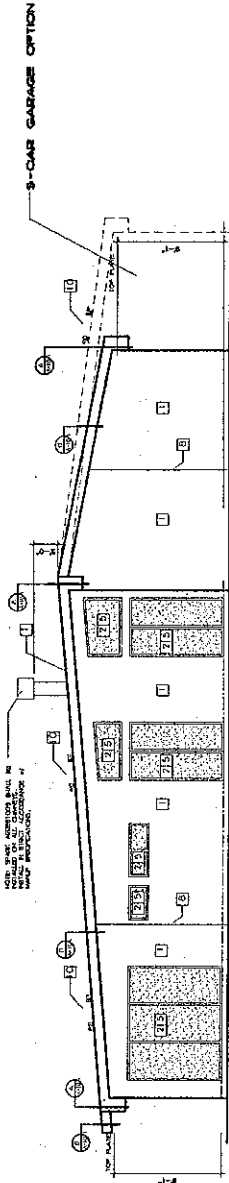


FRONT ELEVATION 3 BORM 'GABLE'

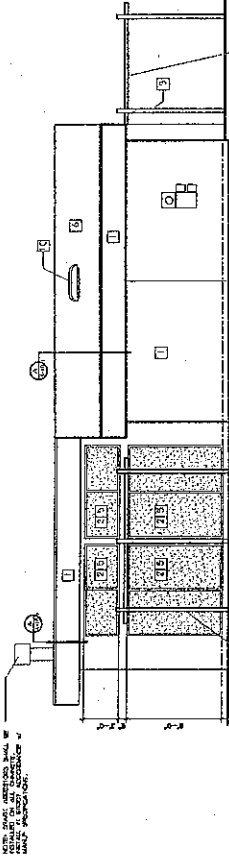
3-CAR GARAGE OPTION



RIGHT SIDE ELEVATION 3 BORM 'GABLE'



REAR ELEVATION 3 BORM 'GABLE'



RIGHT SIDE ELEVATION 3 BORM 'GABLE'

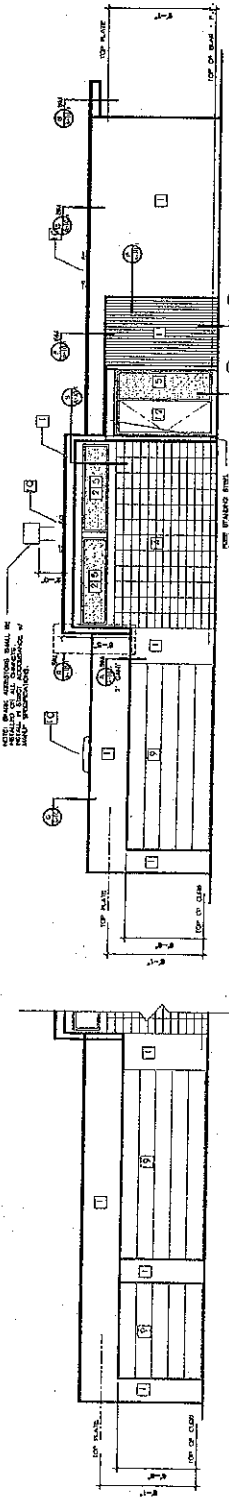
**EXTERIOR MATERIALS:**

- 1 - STAINLESS STEEL
- 2 - 1/2" ALUMINUM CLADDING
- 3 - 1/2" ALUMINUM CLADDING
- 4 - 1/2" ALUMINUM CLADDING
- 5 - 1/2" ALUMINUM CLADDING
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- 100 - 1/2" ALUMINUM CLADDING

NOTES: 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.  
2. SEE ARCHITECT'S MANUAL FOR MATERIAL SPECIFICATIONS.  
3. SEE ARCHITECT'S MANUAL FOR FINISHES.  
4. SEE ARCHITECT'S MANUAL FOR WINDOW SIZES AND PLACEMENT.  
5. SEE ARCHITECT'S MANUAL FOR DOOR SIZES AND PLACEMENT.  
6. SEE ARCHITECT'S MANUAL FOR GARAGE SIZES AND PLACEMENT.  
7. SEE ARCHITECT'S MANUAL FOR ROOF PITCHES.  
8. SEE ARCHITECT'S MANUAL FOR FOUNDATION TYPES.  
9. SEE ARCHITECT'S MANUAL FOR UTILITY LOCATIONS.  
10. SEE ARCHITECT'S MANUAL FOR MECHANICAL LOCATIONS.

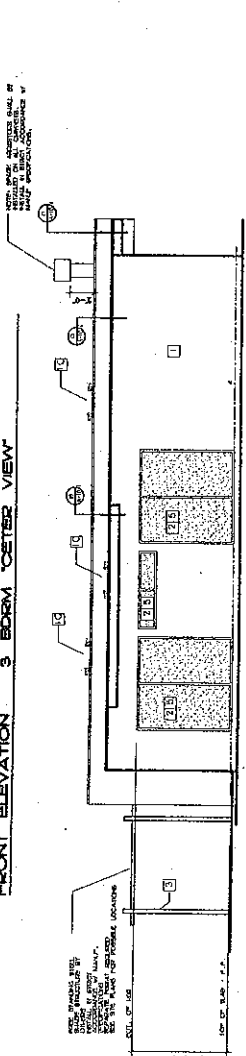


|             |              |
|-------------|--------------|
| REVISION    |              |
| DATE        |              |
| 8-3-59      | 10-30-59     |
| 8-15-59     | 10-15-59     |
| 9-1-59      | 10-15-59     |
| 9-15-59     | 10-21-59     |
| 10-1-59     |              |
| 10-21-59    |              |
| SCALE       | 1/8" = 1'-0" |
| PROJECT NO. | 0408         |
| FILE NO.    | 0900-450     |
| SHEET       |              |

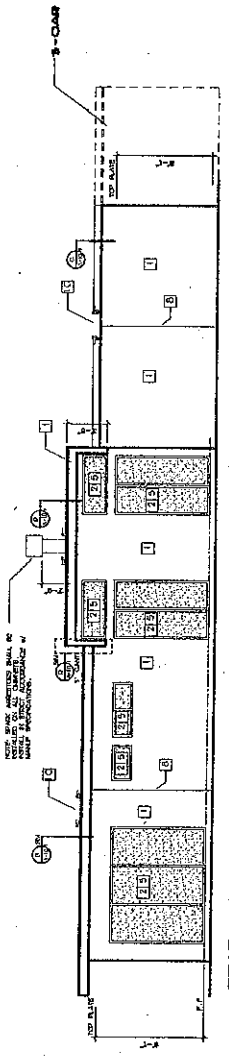


**3-CAR GARAGE OPTION**

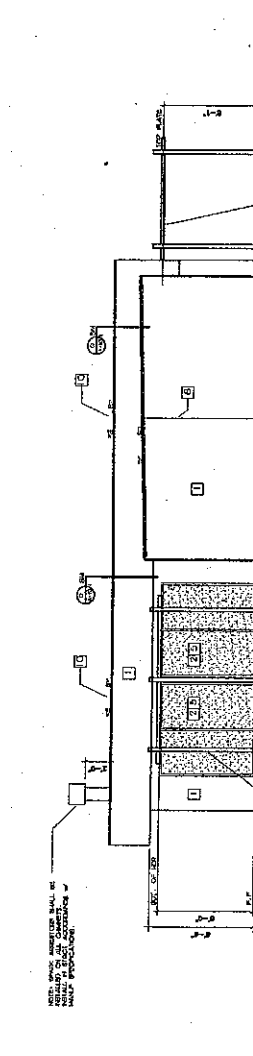
**FRONT ELEVATION 3 BORM 'CENTER VIEW'**



**RIGHT SIDE ELEVATION 3 BORM 'CENTER VIEW'**



**REAR ELEVATION 3 BORM 'CENTER VIEW'**



**LEFT SIDE ELEVATION 3 BORM 'CENTER VIEW'**

**EXTERIOR MATERIALS:**

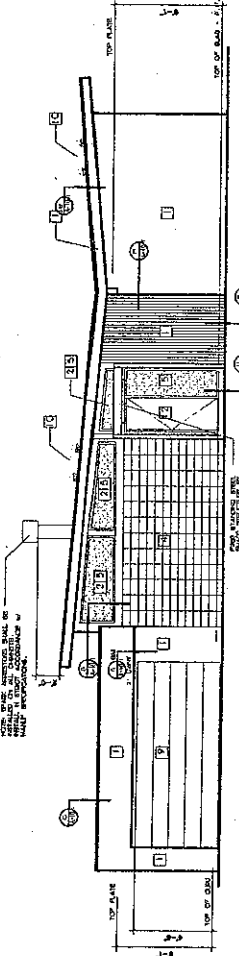
- 1 - WOOD SHED ROOF TRUSS
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NOTE: ALL MATERIALS SHALL BE  
SPECIFIED IN THE CONTRACT DOCUMENTS  
AND SHALL BE SUBJECT TO THE APPROVAL  
OF THE ARCHITECT.

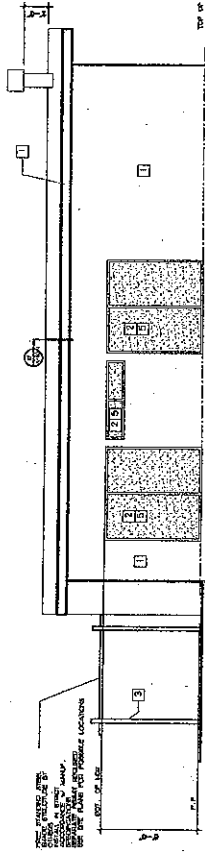
NOTE: ALL MATERIALS SHALL BE  
SPECIFIED IN THE CONTRACT DOCUMENTS  
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OF THE ARCHITECT.



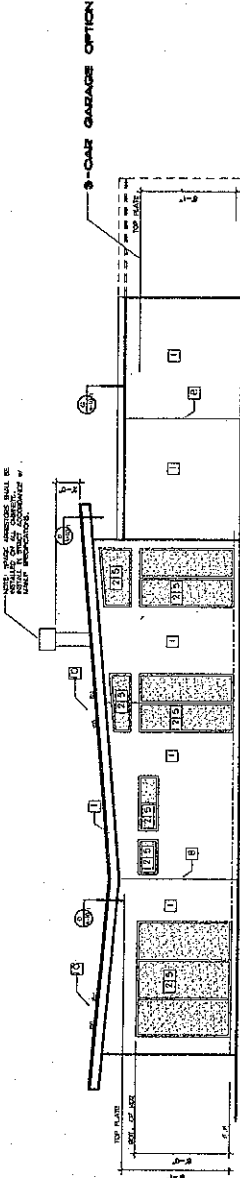
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| REVISION    |         |
| DATE        |         |
| 9-3-09      | 0-30-09 |
| 9-15-09     |         |
| 10-14-09    |         |
| 10-21-09    |         |
| 10-21-09    |         |
| PROJECT NO. | 0908    |
| FILE NO.    | 09R-48C |
| SHEET       |         |



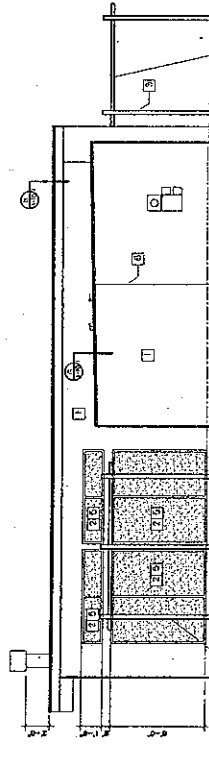
FRONT ELEVATION 3 BDRM BUTTERFLY



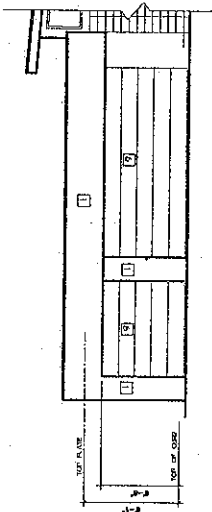
RIGHT SIDE ELEVATION 3 BDRM BUTTERFLY



REAR ELEVATION 3 BDRM BUTTERFLY



LEFT SIDE ELEVATION 3 BDRM BUTTERFLY



3-CAR GARAGE OPTION

**EXTERIOR MATERIALS:**

NOTE: ALL MATERIALS SHALL BE SPECIFIED BY BRAND NAME AND MODEL NUMBER. OTHER COLORS & FINISHES TO AGREEMENT.

|     |                   |
|-----|-------------------|
| 1   | 1" x 4" x 8" PINE |
| 2   | 1" x 4" x 8" PINE |
| 3   | 1" x 4" x 8" PINE |
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| 100 | 1" x 4" x 8" PINE |

NOTE: ALL MATERIALS SHALL BE SPECIFIED BY BRAND NAME AND MODEL NUMBER. OTHER COLORS & FINISHES TO AGREEMENT.

**DEVELOPER:**  
 CONTEMPO HOMES INC.  
 1701 N. PALM CANYON DR. #1  
 PALM SPRINGS, CA. 92262  
 TEL. 760-323-3916

**ARCHITECT:**  
 O'DONNELL + ESCALANTE ARCHITECTS  
 121 S. PALM CANYON DRIVE SUITE 222  
 PALM SPRINGS, CA. 92262  
 TEL. 760-323-1925

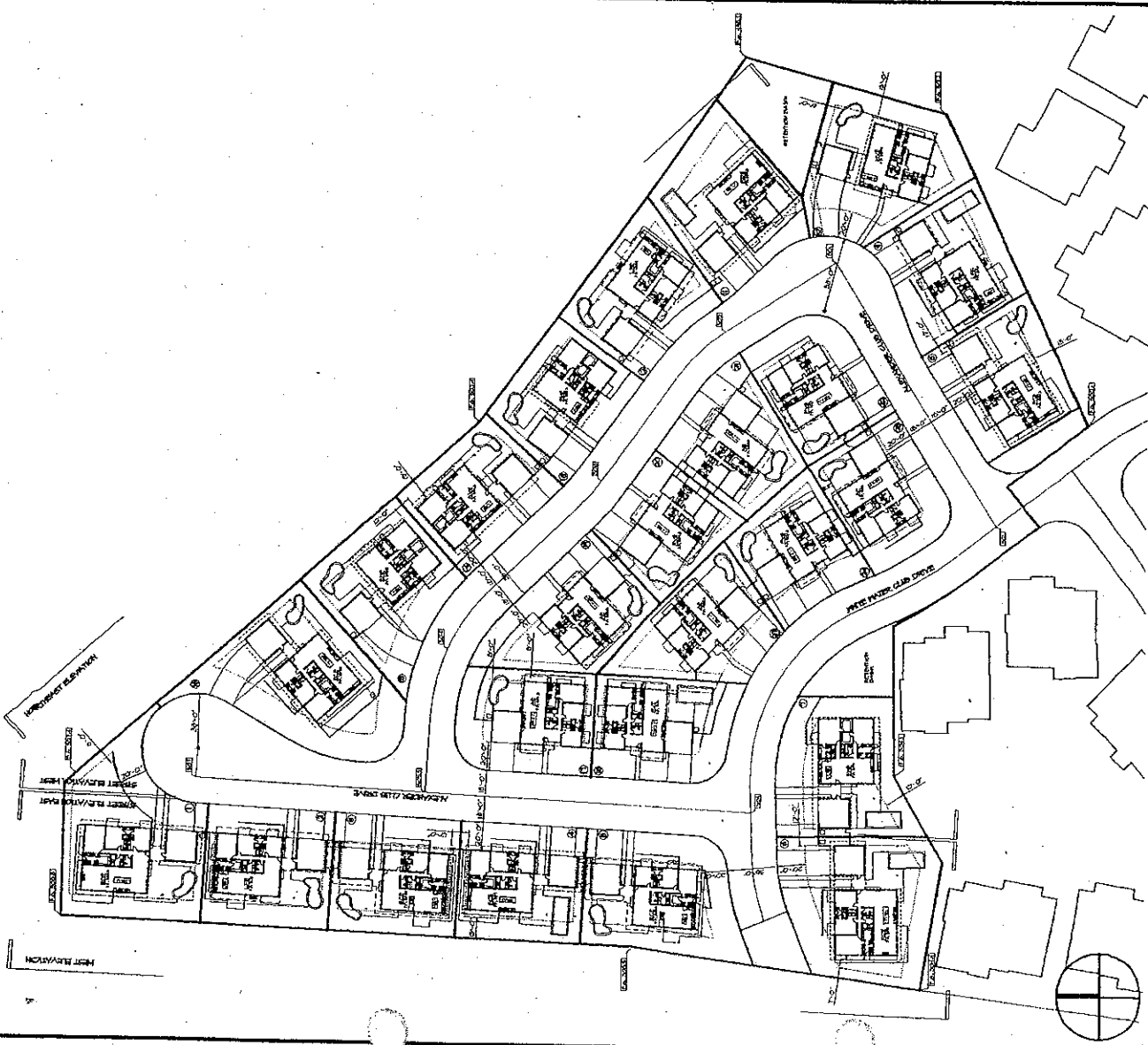
**CIVIL ENGINEER:**  
 THE KEITH COMPANIES  
 PALM DESERT DIVISION  
 79-733 FRED WARING DR. SUITE 100  
 PALM DESERT, CA. 92260-2590  
 TEL. 760-346-9844

**SITE AREA:** 263,887 SF  
 6.06 AC  
 194,145 SF  
 4.50 AC  
 50,369 SF  
 1.14 AC  
 9,333 SF  
 0.21 AC  
 0.21 AC

**APN #:** 501-190-012

**TIM #:** 92475

| LOT #   | 194,145 SF | 6.06 AC | COND     | UNCOND | LOT COVERAGE |
|---------|------------|---------|----------|--------|--------------|
| LOT 1:  | 10,399 SF  | 0.24 AC | 2,116 SF | 442 SF | 24.8%        |
| LOT 2:  | 7,398 SF   | 0.17 AC | 1,932 SF | 442 SF | 32.4%        |
| LOT 3:  | 7,329 SF   | 0.17 AC | 1,932 SF | 442 SF | 32.7%        |
| LOT 4:  | 7,361 SF   | 0.17 AC | 1,932 SF | 442 SF | 33.0%        |
| LOT 5:  | 8,172 SF   | 0.21 AC | 1,932 SF | 442 SF | 24.6%        |
| LOT 6:  | 9,284 SF   | 0.24 AC | 2,116 SF | 442 SF | 24.7%        |
| LOT 7:  | 8,584 SF   | 0.24 AC | 1,840 SF | 442 SF | 26.5%        |
| LOT 8:  | 7,318 SF   | 0.17 AC | 1,840 SF | 442 SF | 32.7%        |
| LOT 9:  | 7,840 SF   | 0.18 AC | 1,932 SF | 442 SF | 34.3%        |
| LOT 10: | 9,604 SF   | 0.22 AC | 2,116 SF | 442 SF | 26.4%        |
| LOT 11: | 9,067 SF   | 0.21 AC | 2,116 SF | 442 SF | 31.4%        |
| LOT 12: | 7,622 SF   | 0.17 AC | 1,932 SF | 442 SF | 33.5%        |
| LOT 13: | 6,918 SF   | 0.16 AC | 1,840 SF | 442 SF | 33.3%        |
| LOT 14: | 6,912 SF   | 0.16 AC | 1,840 SF | 442 SF | 29.9%        |
| LOT 15: | 7,957 SF   | 0.18 AC | 1,840 SF | 442 SF | 29.9%        |
| LOT 16: | 10,484 SF  | 0.25 AC | 1,932 SF | 442 SF | 35.0%        |
| LOT 17: | 6,844 SF   | 0.16 AC | 1,840 SF | 442 SF | 31.7%        |
| LOT 18: | 7,131 SF   | 0.16 AC | 1,932 SF | 442 SF | 31.7%        |
| LOT 19: | 7,521 SF   | 0.17 AC | 1,840 SF | 442 SF | 30.7%        |
| LOT 20: | 6,046 SF   | 0.14 AC | 1,932 SF | 442 SF | 34.8%        |
| LOT 21: | 6,897 SF   | 0.16 AC | 1,932 SF | 442 SF | 34.9%        |
| LOT 22: | 6,872 SF   | 0.16 AC | 1,932 SF | 442 SF | 34.9%        |
| LOT 23: | 6,803 SF   | 0.16 AC | 1,932 SF | 442 SF | 35.2%        |
| LOT 24: | 6,296 SF   | 0.14 AC | 1,932 SF | 442 SF | 38.1%        |
| LOT 25: | 7,304 SF   | 0.17 AC | 1,932 SF | 442 SF | 33.3%        |



CONTEMPO HOMES, INC. 1701 N. PALM CANYON DRIVE, SUITE 1  
 PALM SPRINGS, CA. 92262 P. 760.323.3916 F. 760.323.5547  
 O'DONNELL + ESCALANTE ARCHITECTS 121 S. PALM CANYON DRIVE, SUITE 222  
 PALM SPRINGS, CALIFORNIA P. 760.323.1925 F. 760.320.1887  
 THE KEITH COMPANIES PALM DESERT DIVISION 79-733 FRED WARING DR. SUITE 100  
 PALM DESERT, CA. 92260-2590 TEL. 760-346-9844  
 CONTEMPO HOMES, INC. 1701 N. PALM CANYON DRIVE, SUITE 1  
 PALM SPRINGS, CA. 92262 P. 760.323.3916 F. 760.323.5547  
 O'DONNELL + ESCALANTE ARCHITECTS 121 S. PALM CANYON DRIVE, SUITE 222  
 PALM SPRINGS, CALIFORNIA P. 760.323.1925 F. 760.320.1887  
 THE KEITH COMPANIES PALM DESERT DIVISION 79-733 FRED WARING DR. SUITE 100  
 PALM DESERT, CA. 92260-2590 TEL. 760-346-9844  
 SCALE: 1" = 30'-0"  
 PROJECT NO. 01-01-01  
 SITE PLAN

RECEIVED

OCT 21 2004

PLANNING DIVISION

5.1024-71306 AM

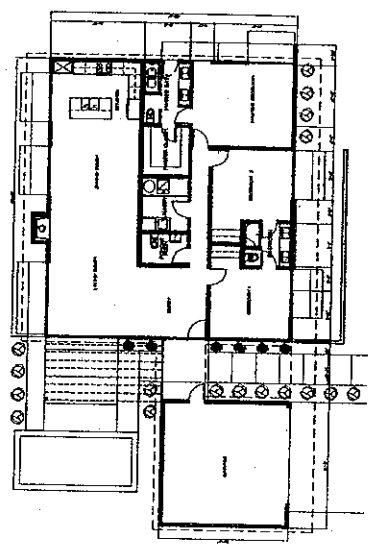


1701 N. PALM CANYON DRIVE SUITE 1  
 PALM SPRINGS, CA. 92232  
 P. 760.325.2916 F. 760.325.5667

ALEXANDER COUNTRY CLUB ESTATES  
 PALM SPRINGS, CALIFORNIA

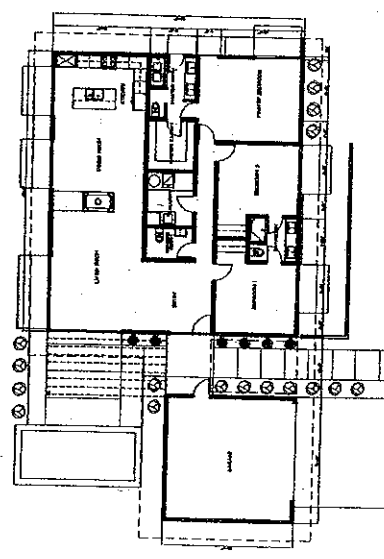
CONTEMPO HOMES, INC.  
 1701 N. PALM CANYON DRIVE SUITE 1  
 PALM SPRINGS, CA. 92232  
 P. 760.325.2916 F. 760.325.5667

3 BEDROOM, 2 1/2 BATHROOM  
 LIVING AREA: 1,932 SQ. FT.  
 SWIMMING POOL: 210 SQ. FT.  
 TRELIS AND BREZEWAY: 424.8 SQ. FT.  
 DETACHED GARAGE AREA: 462 SQ. FT.

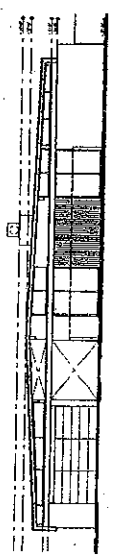


FLOOR PLAN

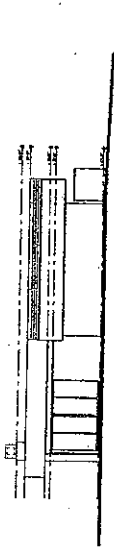
3 BEDROOM, 2 1/2 BATHROOM  
 LIVING AREA: 1,932 SQ. FT.  
 SWIMMING POOL: 210 SQ. FT.  
 TRELIS AND BREZEWAY: 424.8 SQ. FT.  
 DETACHED GARAGE AREA: 462 SQ. FT.



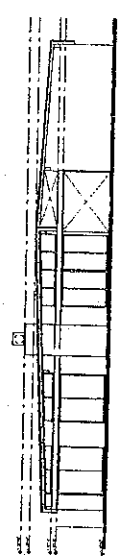
FLOOR PLAN



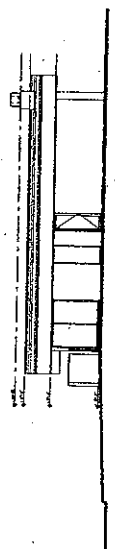
STREET ELEVATION



SIDE ELEVATION

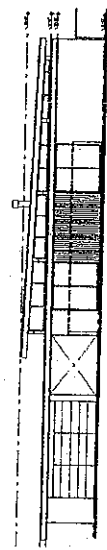


BACK ELEVATION

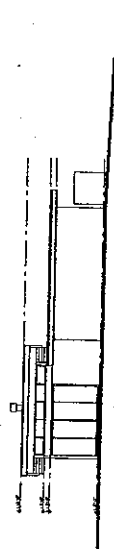


SIDE ELEVATION

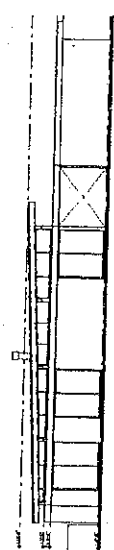
LONG GABLE - LPE-3



STREET ELEVATION



SIDE ELEVATION



BACK ELEVATION



SIDE ELEVATION

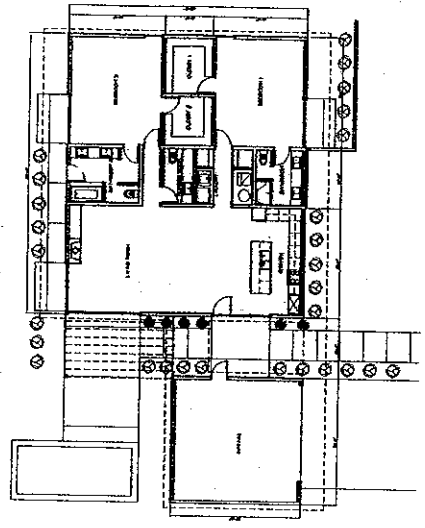
SINGLE SLOPE - RCE-3

© 1988, Escalante  
 123 S. PALM CANYON DRIVE, SUITE 212  
 PALM SPRINGS, CA. 92262  
 P. 760.323.1939 F. 760.320.7857

ALEXANDER COUNTRY CLUB ESTATES  
 PALM SPRINGS, CALIFORNIA

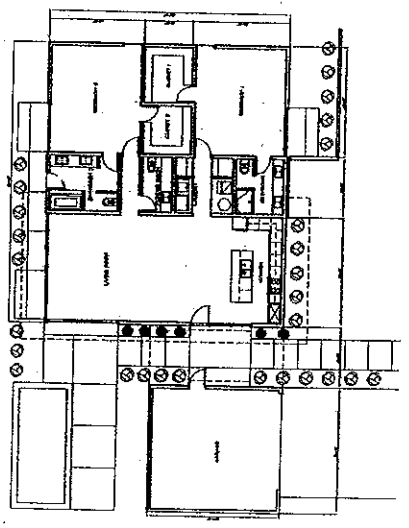
CONTEMPO HOMES, INC.  
 1701 N. PALM CANYON DRIVE, SUITE 1  
 PALM SPRINGS, CA. 92262  
 P. 760.325.9916 F. 760.325.5447

3 BEDROOM, 2 1/2 BATHROOM  
 LIVING AREA: 1,840 SQ. FT.  
 SWIMMING POOL: 210 SQ. FT.  
 TRELLIS AND BREZEWAY: 404.6 SQ. FT.  
 DETACHED GARAGE AREA: 462 SQ. FT.

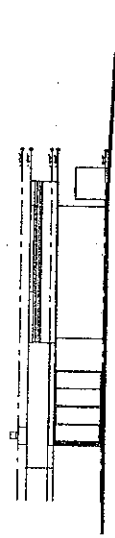


FLOOR PLAN

3 BEDROOM, 2 1/2 BATHROOM  
 LIVING AREA: 1,840 SQ. FT.  
 SWIMMING POOL: 210 SQ. FT.  
 TRELLIS AND BREZEWAY: 404.6 SQ. FT.  
 DETACHED GARAGE AREA: 462 SQ. FT.



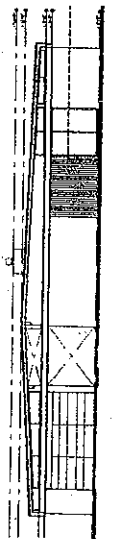
FLOOR PLAN



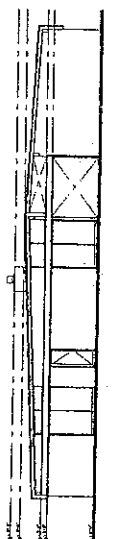
SIDE ELEVATION



SIDE ELEVATION

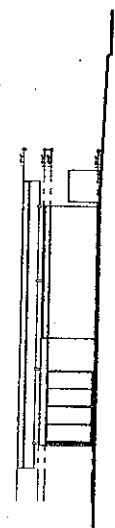


STREET ELEVATION

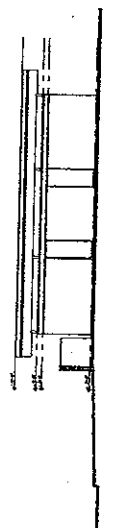


BACK ELEVATION

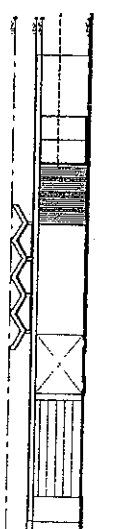
LONG GABLE - EYE 2



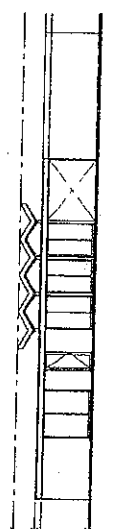
SIDE ELEVATION



SIDE ELEVATION



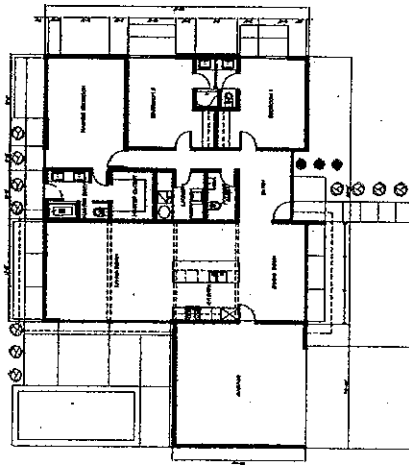
STREET ELEVATION



BACK ELEVATION

MOCKED FOLDED PLATE - GIVE 2

3 BEDROOM, 2 1/2 BATHROOM  
 LIVING AREA: 1,932 SQ. FT.  
 SWIMMING POOL: 210 SQ. FT.  
 ATTACHED GARAGE AREA: 473 SQ. FT.



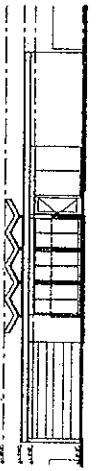
FLOOR PLAN



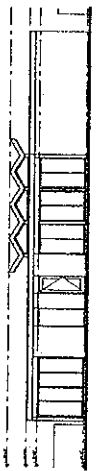
SIDE ELEVATION



SIDE ELEVATION



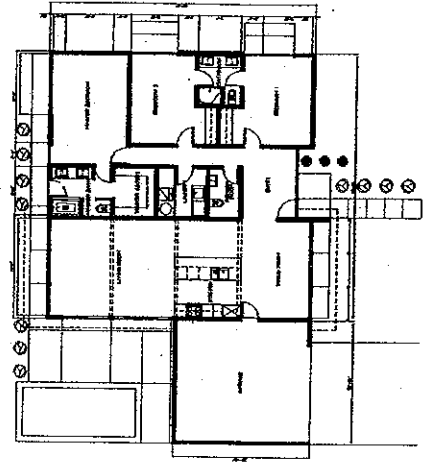
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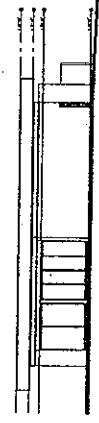
BACK ELEVATION

MODIFIED FOLDED PLATE PVE-3

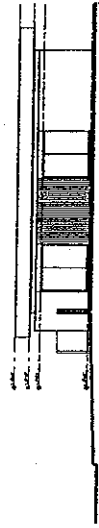
3 BEDROOM, 2 1/2 BATHROOM  
 LIVING AREA: 1,932 SQ. FT.  
 SWIMMING POOL: 210 SQ. FT.  
 ATTACHED GARAGE AREA: 473 SQ. FT.



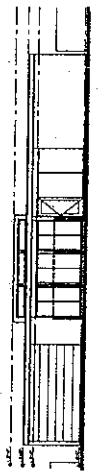
FLOOR PLAN



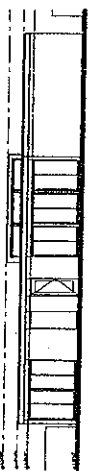
SIDE ELEVATION



SIDE ELEVATION



STREET ELEVATION



BACK ELEVATION

LONGVIEW-AE-3

CONTEMPO HOMES, INC.  
 1701 N. PALM CANYON DRIVE, SUITE 1  
 PALM SPRINGS, CA 92262  
 P. 760.326.2916 F. 760.326.5567

ALEXANDER COUNTRY CLUB ESTATES  
 PALM SPRINGS, CALIFORNIA

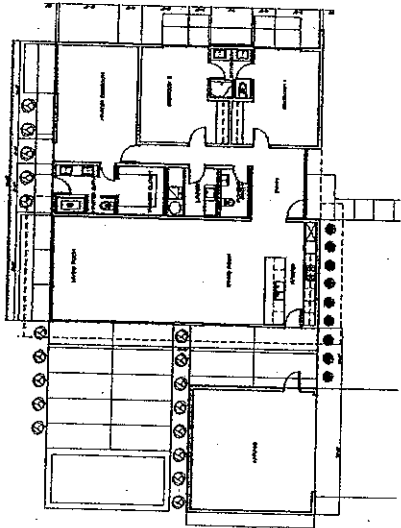
CONTEMPO HOMES, INC.  
 1701 N. PALM CANYON DRIVE, SUITE 1  
 PALM SPRINGS, CA 92262  
 P. 760.326.2916 F. 760.326.5567

121 S. PALM CANYON DRIVE, SUITE 222  
 PALM SPRINGS, CA. 92262  
 P. 760.323.1925 F. 760.320.7897  
 O'Donnell & Associates

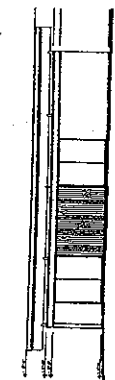
ALEXANDER COUNTRY CLUB ESTATES  
 PALM SPRINGS, CALIFORNIA

CONTEMPO HOMES, INC.  
 1701 N. PALM CANYON DRIVE, SUITE 1  
 PALM SPRINGS, CA. 92262  
 P. 760.323.3916 F. 760.323.5462

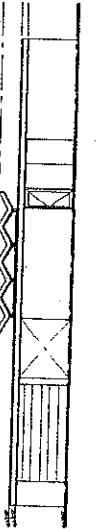
3 BEDROOM, 2 1/2 BATHROOM  
 LIVING AREA: 2,116 SQ. FT.  
 SWIMMING POOL: 210 SQ. FT.  
 TRELLIS AND BREZEWAY: 213 SQ. FT.  
 DETACHED GARAGE AREA: 462 SQ. FT.



FLOOR PLAN



STREET ELEVATION



BACK ELEVATION

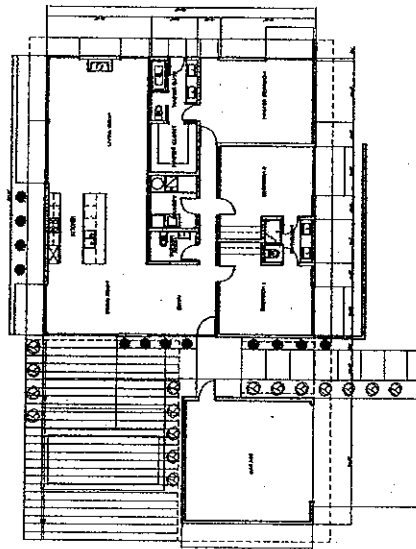
SIDE ELEVATION



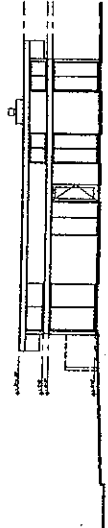
SIDE ELEVATION

MODIFIED GOLDEN PINE WIVES

3 BEDROOM, 2 1/2 BATHROOM  
 LIVING AREA: 2,116 SQ. FT.  
 SWIMMING POOL: 210 SQ. FT.  
 TRELLIS AND BREZEWAY: 213 SQ. FT.  
 DETACHED GARAGE AREA: 462 SQ. FT.



FLOOR PLAN

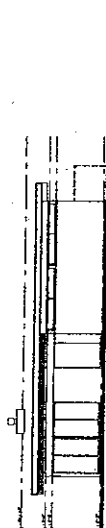


STREET ELEVATION



BACK ELEVATION

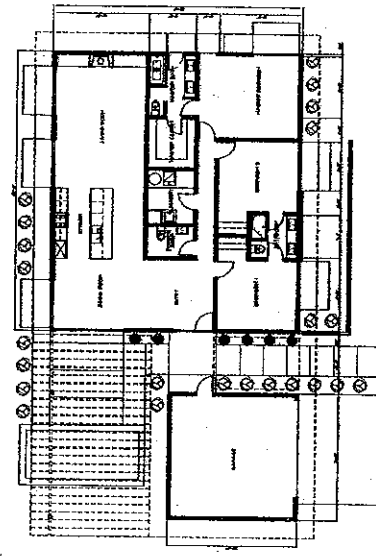
SIDE ELEVATION



SIDE ELEVATION

BUFFALO ROBES

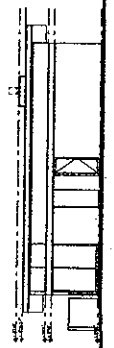
3 BEDROOM, 2 1/2 BATHROOM  
 LIVING AREA: 1,932 SQ. FT.  
 SWIMMING POOL: 210 SQ. FT.  
 TRELLIS AND BREEZEWAY: 997 SQ. FT.  
 DETACHED GARAGE AREA: 462 SQ. FT.



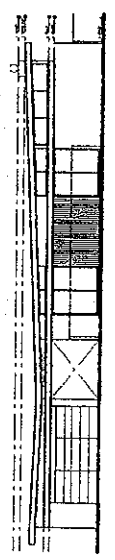
FLOOR PLAN



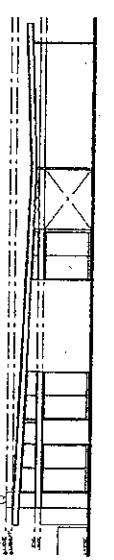
SIDE ELEVATION



BACK ELEVATION



STREET ELEVATION



SIDE ELEVATION

BUTTERFLY EGE-0

CONTEMPO HOMES, INC.  
 1701 N. PALM CANYON DRIVE, SUITE 1  
 PALM SPRINGS, CA 92262  
 P. 760.325.3976 F. 760.325.5667

ALEXANDER COUNTRY CLUB ESTATES  
 PALM SPRINGS, CALIFORNIA

O'Donnell Escrow  
 121 S. PALM CANYON DRIVE, SUITE 22  
 PALM SPRINGS, CA 92262  
 P. 760.325.1925 F. 760.330.7897