



Planning Commission Staff Report

Date: May 11, 2011

Case No.: 5.0972 PDD 286 – AMND

Application Type: Final Planned Development Amendment

Location: Luminaire – 1900 South Araby Drive

Applicant: Lissoy Family Trust

Zone: R-1-B & R-G-A-6

General Plan: Estate Residential

APNs: 510-360-062

From: Craig A. Ewing, AICP, Director of Planning Services

Project Planner: David A. Newell, Associate Planner

PROJECT DESCRIPTION

The application is a request by the Lissoy Family Trust for the approval of an amendment to a previously approved Final Planned Development District plans for PD 286, commonly known as Luminaire. The amendment is proposing minor elevation and footprint changes to the three house plans and a request to incorporate newly selected color schemes in combination with approved color schemes. These changes will apply to the twenty-eight remaining vacant lots within the sixty-one unit detached residential tract.

Section 94.03.00(G) allows the Planning Commission to modify Final Development Plans of Planned Developments. The Commission may approve minor architectural or site changes that do not affect the intent of the PD. In this case, staff believes that the intent of the Planned Development was to establish a mix single-family residential units and adequate open space within the subdivision with variations to architectural designs and to certain development standards.

RECOMMENDATION

That the Planning Commission approve the proposed amendment to the Final Development Plans of Planned Development District 286, Case No. 5.0972, subject to the conditions recommended by the Architectural Advisory Committee and to all other Conditions of Approval.

PRIOR ACTIONS

On April 21, 2004, the City Council adopted a Mitigated Negative Declaration for the proposed project, and approved Case No. 5.0972, Planned Development District 286, and TTM 31514.

On March 7, 2005, the Architectural Advisory Committee (AAC) reviewed the proposed final development plans and found the plans to be in substantial conformance with the approved preliminary planned development district and voted to recommend that the Planning Commission approve the Final PD.

On March 25, 2005, the Planning Commission approved the Final Development Plans for Luminaire as recommended by the AAC.

On April 25, 2011, the AAC reviewed the architectural designs for the proposed amendment and by a vote of 7-0 recommended approval to the Planning Commission with the following comments:

1. Mesquite trees and large tree species to be replaced with an alternate tree species;
2. Lot line walls shall match existing;
3. Windows, doors, gates and light fixtures viewable from streets shall match existing;
4. New color schemes should be removed from proposal.

The applicant intends to include all of these items except the fourth. The applicant agreed to substitute the Mesquite tree species as recommended. The building materials will be identical or complementary with the existing lot line walls, windows, doors, gates and light fixtures. As for the fourth recommendation, the applicant plans to address the Commission during their presentation.

BACKGROUND AND SETTING

The Luminaire project consists of sixty-one detached single-family residential units, including associated on and off-site improvements, on approximately 13.11 acres at approximately 1900 Araby Drive. As of today, the project site currently has thirty-three residences constructed.

The applicant is proposing to construct the remaining twenty-eight vacant lots within the development. A majority of the proposed residences will be located on the southerly portion of the tract.

ANALYSIS

Amendment to the Planned Development District:

The applicant has acquired the remaining twenty-eight undeveloped lots within the Luminaire residential subdivision. The applicant is proposing minor changes to the elevations and footprints of the three approved dwelling types – Plan A, Plan B and Plan C. Staff notes that the original approval included variations to each of the three floor plans to allow two-story residences. The applicant is not proposing any two-story residences for the remaining twenty-eight lots. Three additional color schemes have been proposed by the applicant.

The previously approved design and development standards contained in PDD 286 will remain in effect; the proposed amendment is not seeking any new deviations from the development standards. According to the applicant, the new designs will “enhance marketability and functionality.” The homes will range from approximately 2,235 to 2,410 square feet in size. The applicant has provided a description of the changes for each Plan in their attached letter.

REQUIRED FINDINGS

Pursuant to Section 94.03.00(G) of the Zoning Code, the final development plan may be modified by submitting a request for such modification according to the same procedure as is required in the initial review and approval process, including public hearing by the Planning Commission and City Council in accordance with Section 94.02.00. However, minor architectural or site changes not affecting the intent of the PD may be approved by the Planning Commission. No council action is necessary for minor changes except appealed decisions. In order for the project to be approved by the Planning Commission, the following finding must be made in support of the minor change:

1. *The minor architectural or site changes do not affect the intent of the PD.*

The use and density of the subject property remains the same and are not affected by the proposed changes. The architecture will be similar to that which was originally approved and no changes to the landscaping are proposed as part of this amendment. Therefore, the minor architectural and site changes do not affect the intent of the PD.

ENVIRONMENTAL ASSESSMENT

A Mitigated Negative Declaration (MND) was previously adopted by the City Council on April 21, 2004 for the Luminaire Development. Pursuant to Section 15162 of the

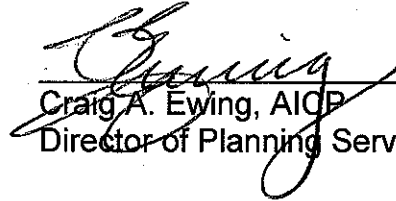
California Environmental Act (CEQA), the preparation of additional environmental documentation is not necessary because the proposed amendment will not change the circumstances related to the project. Furthermore, the amendment will not result in any new significant environmental effects or a substantial increase in the severity of previously identified significant effects. Therefore, the proposed amendment could not result in any new environmental impacts beyond those already assessed in the previously adopted mitigated negative declaration.

NOTIFICATION

Review of minor changes to a Final Development Plan does not require public notice pursuant to Section 94.03.00(G) of the Zoning Code. However, two letters have been submitted by current Luminaire residents expressing concerns (see attached).



David A. Newell
Associate Planner



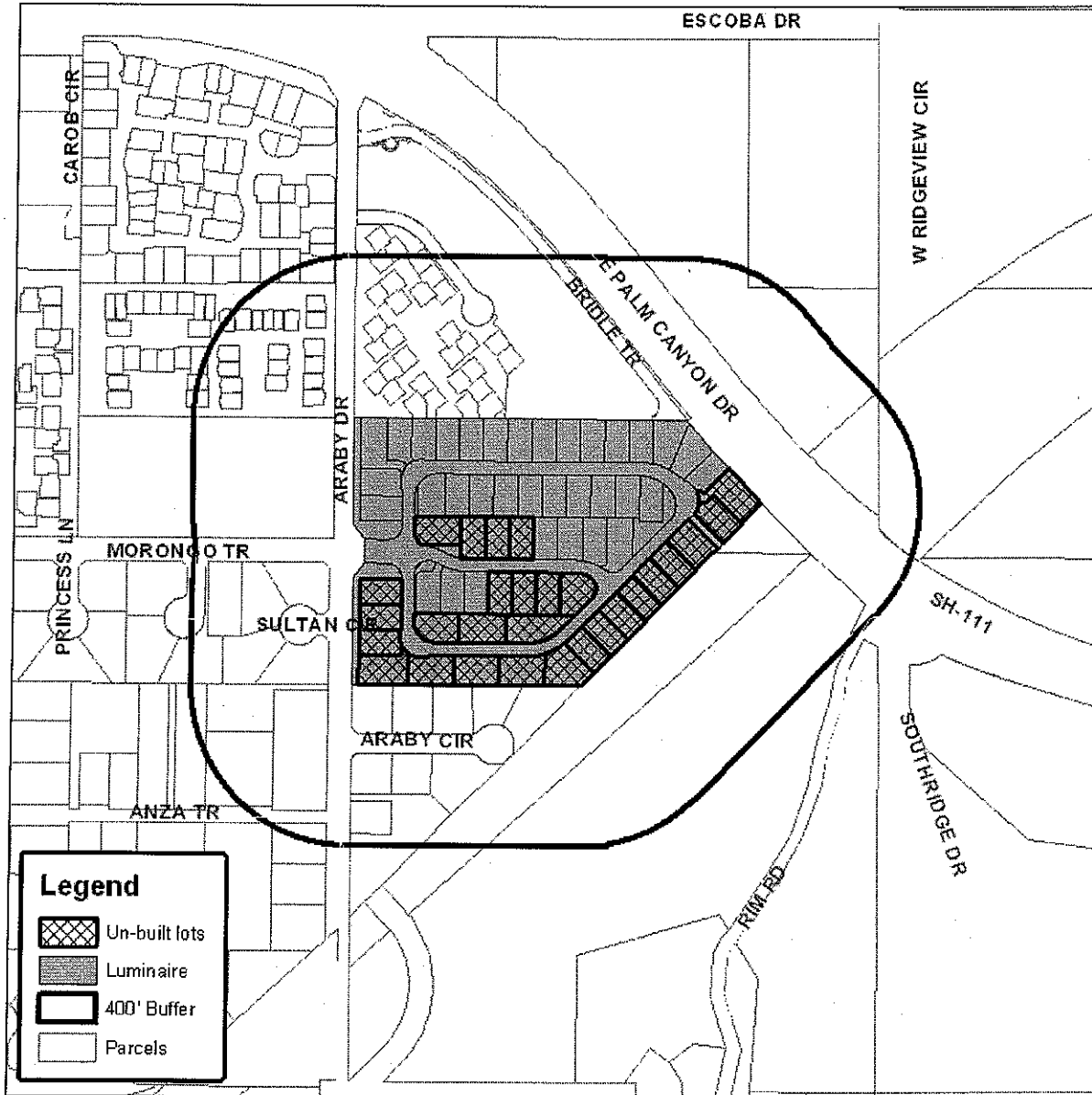
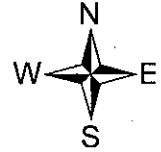
Craig A. Ewing, AICP
Director of Planning Services

ATTACHMENTS:

1. Vicinity Map
2. Draft Resolution
3. Letter from applicant
4. Reduced copy of proposed site plan and elevations
5. Two letters from property owners within Luminaire



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS

CASE: 5.0972 PD 286

APPLICANT: Lissoy Family Trust

DESCRIPTION: Lissoy Family Trust for modifications to approved plans and incorporation of newly selected color schemes for 28 un-built homes within a 61-unit detached residential tract commonly known as Luminaire located at approximately 1900 Araby Drive, Zone RGA(6) & R-1-B, Section 25. (DN)

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING CASE NO. 5.0972-PDD 286-AMND, AN AMENDMENT TO A PREVIOUSLY APPROVED FINAL PLANNED DEVELOPMENT PLANS FOR TWENTY-EIGHT VACANT LOTS WITHIN THE LUMINAIRE DEVELOPMENT LOCATED AT 1900 SOUTH ARABY DRIVE.

WHEREAS, on March 24, 2004, the Planning Commission approved Case No. 5.0972-Planned Development District 286 and recommended approval of the PDD and Tentative Tract Map 31514 to the City Council; and

WHEREAS, on April 21, 2004, the City Council adopted a Mitigated Negative Declaration (MND), and approved Planned Development District 286 and Tentative Tract Map 31514, for the Luminaire Development; and

WHEREAS, on March 25, 2005, the Planning Commission approved the Final Development Plans for PD 286; and

WHEREAS, in accordance with Section 94.03.00(G) of the Zoning Code, the Planning Commission may approve minor architectural or site changes that do not affect the intent of the PD; and

WHEREAS, Lissoy Family Trust, ("Applicant") has filed an application to amend the Final Development Plans of PD 286, Case No. 5.0972, involving modifications to the designs and architecture of single-family residences located within the Luminaire Development; and

WHEREAS, on May 11, 2011, a public meeting on Case No. 5.0972 PDD 286-AMND was held by the Planning Commission in accordance with applicable law; and

WHEREAS, pursuant to the California Environmental Quality Act (CEQA) Guidelines, the proposed amendment has been determined to be a project subject to environmental analysis under CEQA; and

WHEREAS, the Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE PLANNING COMMISSION HEREBY FINDS AS FOLLOWS:

Section 1: Pursuant to the California Environmental Quality Act (CEQA) Guidelines, a Mitigated Negative Declaration (MND) was previously adopted by the

City Council on April 21, 2004 for the Luminaire Development. Pursuant to Section 15162 of the California Environmental Act (CEQA), the preparation of additional environmental documentation is not necessary because the proposed amendment will not change the circumstances related to the project. Furthermore, the amendment will not result in any new significant environmental effects or a substantial increase in the severity of previously identified significant effects. Therefore, the proposed amendment could not result in any new environmental impacts beyond those already assessed in the previously adopted mitigated negative declaration.

Section 2: The use and density of the subject property remains the same and are not affected by the proposed changes. The architecture will be similar to that which was originally approved and no changes to the landscaping are proposed as part of this amendment. Therefore, the minor architectural and site changes do not affect the intent of the PD.

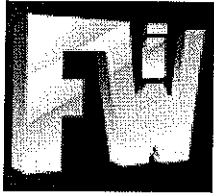
NOW, THEREFORE, BE IT RESOLVED that, based upon the foregoing, the Planning Commission hereby approves Case No. 5.0972 PDD 286 – AMND, subject to all Conditions set forth in Exhibit A of City Council Resolution 20907 and the following conditions:

1. Mesquite trees and large tree species to be replaced with an alternate tree species;
2. Lot line walls shall match existing;
3. Windows, doors, gates and light fixtures viewable from streets shall match existing;
4. The existing color schemes shall be retained.

ADOPTED this 11th day of May 2011.

CITY OF PALM SPRINGS, CALIFORNIA

Craig A. Ewing, AICP
Director of Planning Services



FAR WEST INDUSTRIES

Real Estate Development
www.farwestindustries.com

2922 Daimler Street • Santa Ana, CA 92705 • (949) 224-1970 • Fax: (949) 224-1963

April 1st, 2011

Via Email (paulashworth@santafesprings.org)

Mr. Ken Lyon
Associate Planner
Planning Department
City of Palm Springs
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92263

5 . 0972

RECEIVED

APR 04 2011

**PLANNING SERVICES
DEPARTMENT**

**Re: "Luminaire"
28 Finished Lots Acquired By Far West Industries**

Dear Mr. Lyon:

Far West Industries would like to submit to you in writing the changes in the home designs that we are seeking for the Luminaire project in Palm Springs. After acquiring the 28 finished lots and studying the three floor plans, we realized that there are some things that we could easily do to enhance the marketability and functionality of the floor plans. The modifications requested have only a minor impact on the overall foot print of each of the three floor plans. In addition, of the three elevations, only the Plan B elevation has been slightly altered in that we removed the front porch so that we could move the kitchen and the Great Room forward so that the rear yard could easily accommodate a pool and spa. As such, we have engaged the project architect and are submitting to you revisions to the Plan A, Plan B and the Plan C for the City's consideration. The highlights of the changes are as follows:

Plan A

1. The casita has been changed to a bedroom by moving the front door forward and creating a hallway.
2. The formal dining room was removed and that area was reconfigured to allow for a den / optional retreat and a standard bathroom.
3. The size of the rear covered patio was enhanced.
4. The powder room was eliminated.
5. Three windows in the master bedroom were eliminated and one 3/0 x 5/0 window was added.

6. The 2/8 x 8/0 single French Door which was located in the kitchen was removed and two 2/0x 4/6 windows were added.
7. Two sliders were removed in the Living Room and replaced with one 6/0 x 8/0 slider and two, 2/0 x 7/6 fixed windows.
8. The 5/0 x 8/0 French Door was removed in Bedroom 3 and replaced with a 6/0 x 5/0 window.

Plan B

1. The closet in bedroom 2 was re-configured by decreasing the size to allow for a coat closet in the hallway.
2. Optional sliding glass door / French door was added in the great room.
3. Optional sliding glass door / French door was added in the master bedroom.
4. The living room was re-configured by enlarging the area to accommodate for a dining area.
5. The depth of the house was decreased in order to accommodate for a pool and spa in the rear yard.

Plan C

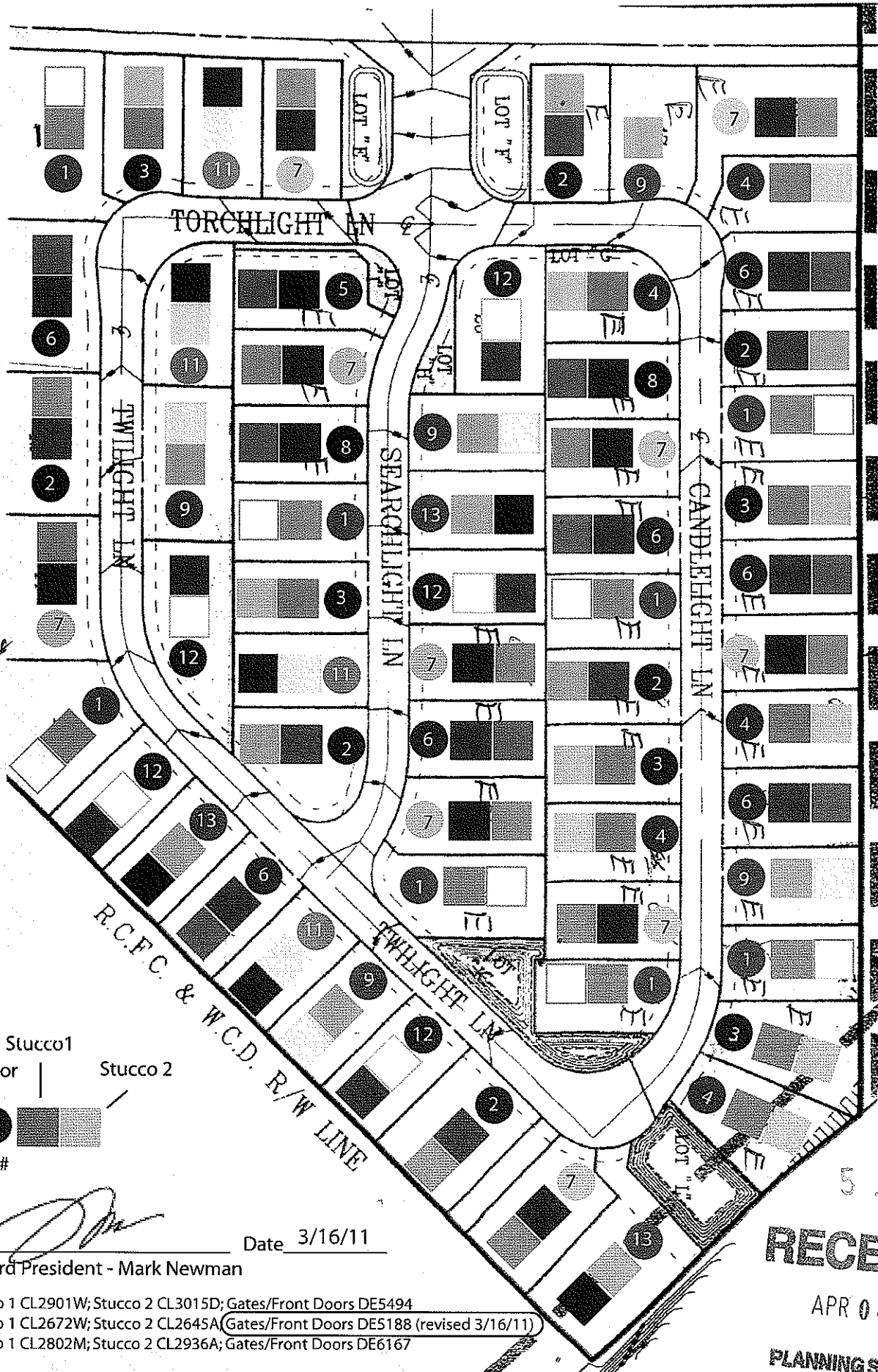
1. The courtyard width has been enhanced to accommodate a pool and spa.
2. A den / bedroom 3 has been added and the bath # 2 has been modified to accommodate the additional den / bedroom 3.
3. The foot print of the home has changed where the bedroom 2 / bath 2 is located to accommodate for the additional bedroom 3.

I thank you in advance for your review of our requested changes. We are certainly open to a face to face meeting if that is necessitated and we are most interested in a quick response from the City so that we can quickly get these plans back into plan check. Should you have any questions or comments, please do not hesitate to contact me.

Sincerely,

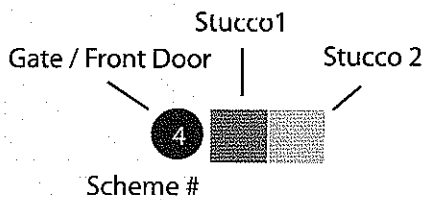
Dave Lewis
Vice President, Operations

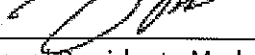
LUMINAIRE COLOR DISTRIBUTION (Proposed)



E = existing Homes

| SCHEME # | TOTAL |
|----------|-------|
| 1=3 | |
| 2=3 | |
| 3=2 | |
| 6=2 | |
| 7=3 | |
| 9=3 | |
| 11=4 | |
| 12=5 | |
| 13=3 | |



Approved  Date 3/16/11
Luminaire Board President - Mark Newman

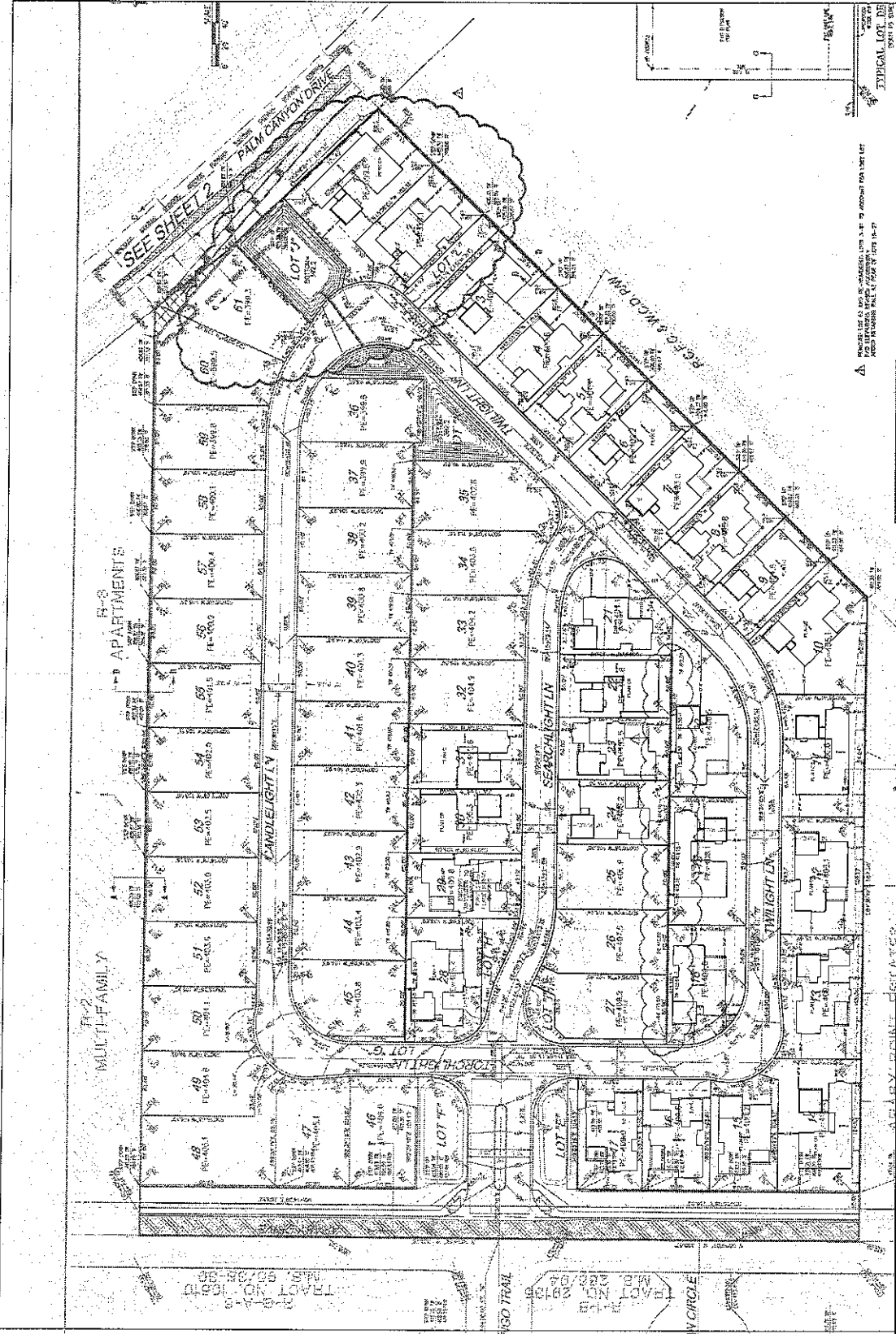
Scheme 11: Stucco 1 CL2901W; Stucco 2 CL3015D; Gates/Front Doors DE5494
 Scheme 12: Stucco 1 CL2672W; Stucco 2 CL2645A (Gates/Front Doors DE5188 (revised 3/16/11))
 Scheme 13: Stucco 1 CL2802M; Stucco 2 CL2936A; Gates/Front Doors DE6167

5.0972

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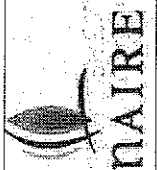
APR 04 2011

PLANNING SERVICES DEPARTMENT



FAIR WEST INDUSTRIES

REVISED SITE PLAN (PROPOSED)



LUMINAIRE



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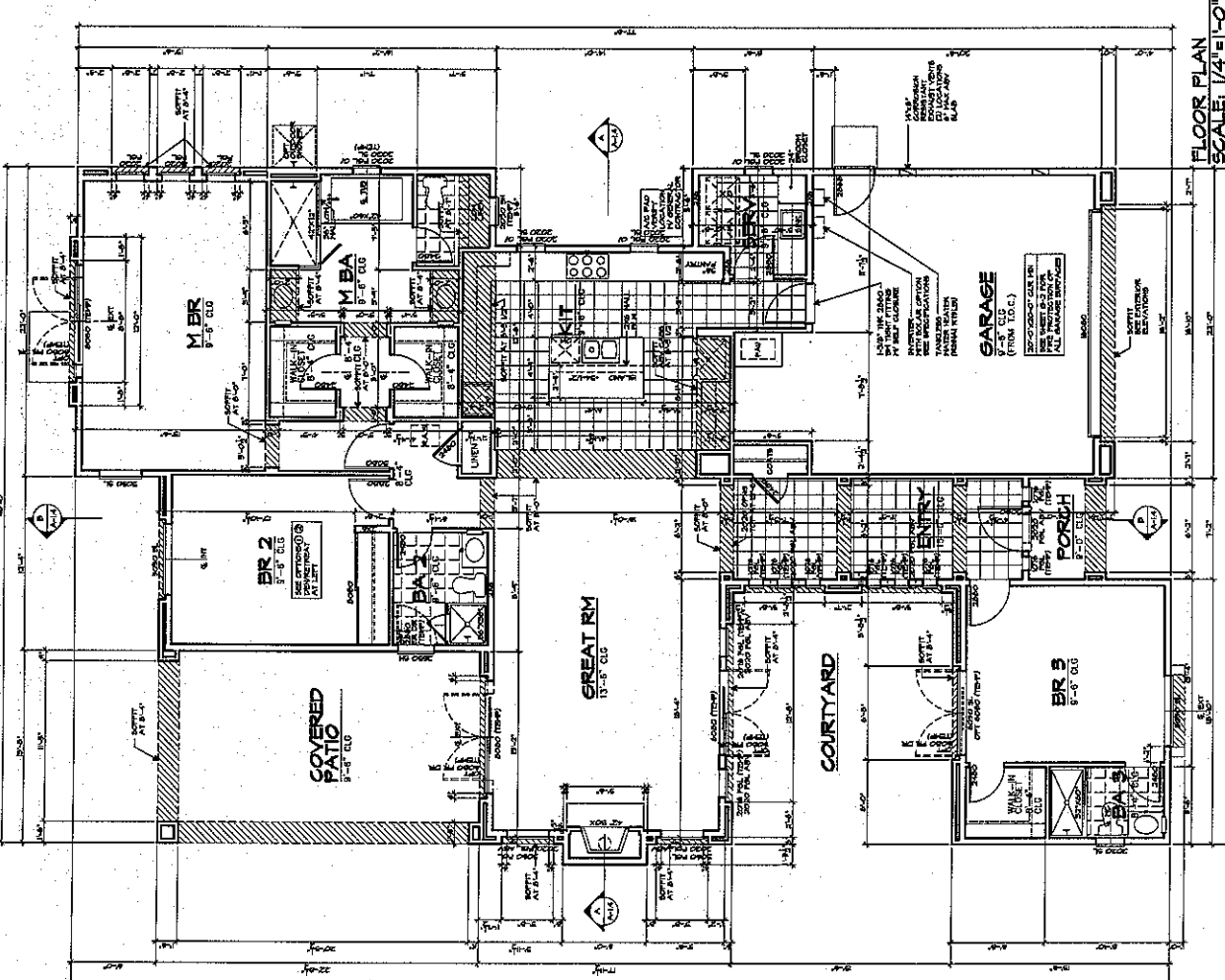
PROJECT NUMBER
11004

SHEET TITLE
PLAN A

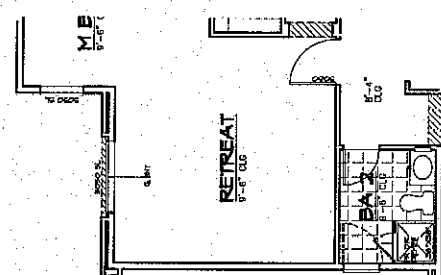
FLOOR PLAN

DATE: APRIL 4, 2011

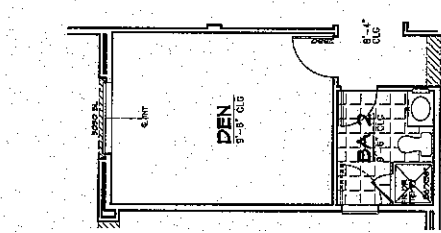
SHEET NO.
A-12



FLOOR PLAN
SCALE: 1/4"=1'-0"



OPTIONAL RETREAT
NO FOOTING ADDED



OPTIONAL DEN
NO FOOTING ADDED

AREA CALCULATIONS

| STANDARD PLAN A1 | |
|-------------------|--------------|
| TOTAL LIVING AREA | 2238 S.F. PT |
| GARAGE | 484 S.F. PT |
| COURT | 264 S.F. PT |
| COVERED PORCH | 264 S.F. PT |

USING UNFINISHED CONCRETE WITH 3" MIN. FINISH AND 1" MIN. FINISH. ALL ROOMS SHALL BE FINISHED WITH 3/4" MIN. FINISH. SEE ARCHITECTURAL NOTES SECTION 05.10 FOR DETAILS AND OPTIONS FOR FINISHES.

REFERENCE NOTES

- 1. SEE ARCHITECTURAL NOTES SECTION 05.10 FOR FINISHES.
- 2. SEE ARCHITECTURAL NOTES SECTION 05.10 FOR FINISHES.
- 3. SEE ARCHITECTURAL NOTES SECTION 05.10 FOR FINISHES.
- 4. SEE ARCHITECTURAL NOTES SECTION 05.10 FOR FINISHES.
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- 7. SEE ARCHITECTURAL NOTES SECTION 05.10 FOR FINISHES.
- 8. SEE ARCHITECTURAL NOTES SECTION 05.10 FOR FINISHES.
- 9. SEE ARCHITECTURAL NOTES SECTION 05.10 FOR FINISHES.
- 10. SEE ARCHITECTURAL NOTES SECTION 05.10 FOR FINISHES.

NOT FOR CONSTRUCTION



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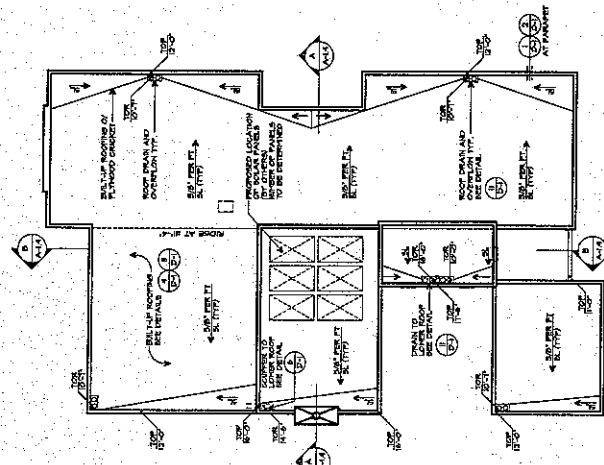
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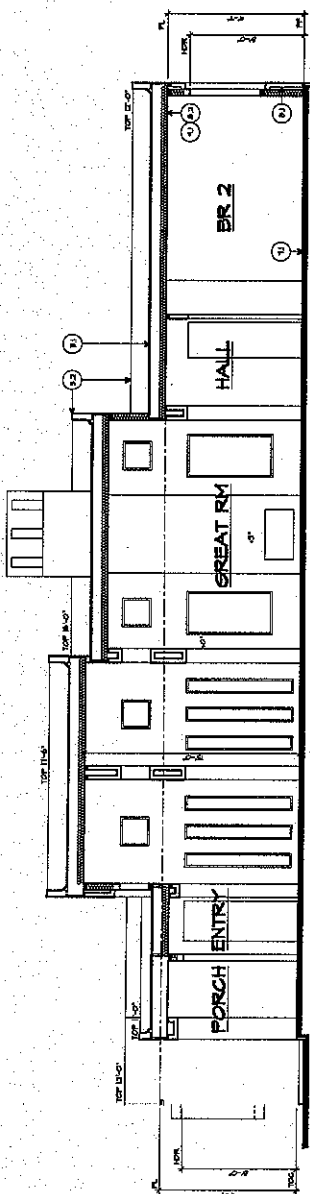
PROJECT NUMBER
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PLAN A
SECTIONS/
ROOF PLAN

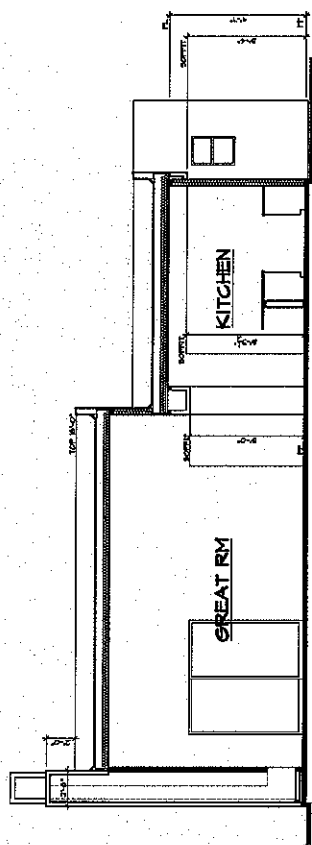
DATE: APRIL 4, 2011
 SHEET NO.
 A-1.4



ROOF PLAN
 SCALE: 1/8"=1'-0"



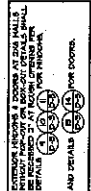
SECTION BI



SECTION AI
 SCALE: 1/4"=1'-0"

SECTION NOTES

- CONCRETE SLAB:
 - 1) SEE FOR STAIRS, TERRACE AND STAIRWAYS FOR DETAILS FOR ADDITIONAL INFORMATION.
 - 2) SEE FOR STAIRS, TERRACE AND STAIRWAYS FOR DETAILS FOR ADDITIONAL INFORMATION.
 - 3) SEE FOR STAIRS, TERRACE AND STAIRWAYS FOR DETAILS FOR ADDITIONAL INFORMATION.
 - 4) SEE FOR STAIRS, TERRACE AND STAIRWAYS FOR DETAILS FOR ADDITIONAL INFORMATION.
- INTERIOR MATERIALS:
 - 1) SEE FOR STAIRS, TERRACE AND STAIRWAYS FOR DETAILS FOR ADDITIONAL INFORMATION.
 - 2) SEE FOR STAIRS, TERRACE AND STAIRWAYS FOR DETAILS FOR ADDITIONAL INFORMATION.
 - 3) SEE FOR STAIRS, TERRACE AND STAIRWAYS FOR DETAILS FOR ADDITIONAL INFORMATION.
 - 4) SEE FOR STAIRS, TERRACE AND STAIRWAYS FOR DETAILS FOR ADDITIONAL INFORMATION.



THE FOUNDATION AND FRAMING ELEMENTS SHOWN HERE ARE GENERAL IN NATURE AND MAY NOT BE CONSISTENT WITH THE PROJECT REFER TO THE STRUCTURAL DRAWINGS FOR THE FOUNDATION AND FRAMING DETAILS. SEE OTHER SHEETS BY OTHER FOR ALL STRUCTURAL INFORMATION.



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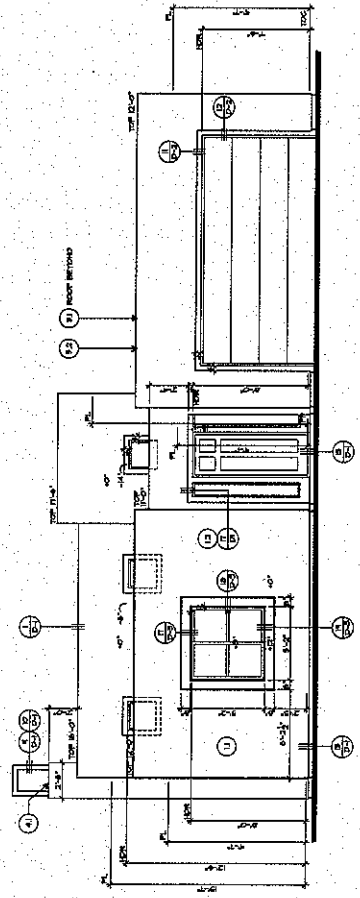
PROJECT TITLE
LUMINAIRE

PROJECT NUMBER
 11004-4

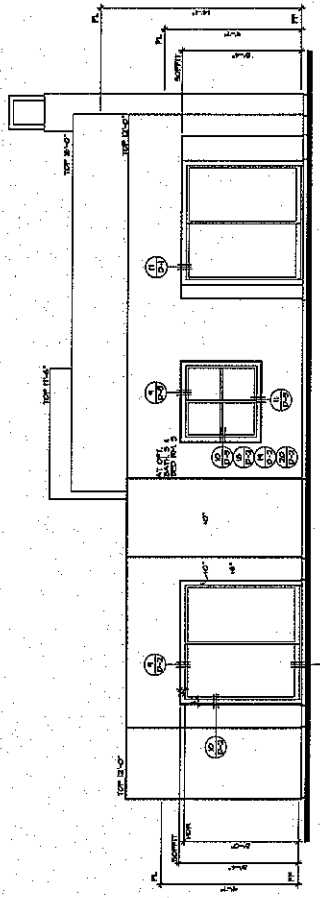
PLAN A
EXTERIOR ELEVATIONS

DATE: APRIL 4, 2011

SHEET NO.
A-15



FRONT



REAR
 SCALE: 1/4"=1'-0"

- ELEVATION NOTES**
- 1. EXTERIOR MATERIALS
 - 2. 5/8" X 3" X 3" SQUARE
 - 3. 1/2" X 3" X 3" SQUARE
 - 4. 1/4" X 3" X 3" SQUARE
 - 5. 1/8" X 3" X 3" SQUARE
 - 6. 1/4" X 3" X 3" SQUARE
 - 7. 1/8" X 3" X 3" SQUARE
 - 8. 1/4" X 3" X 3" SQUARE
 - 9. 1/8" X 3" X 3" SQUARE
 - 10. 1/4" X 3" X 3" SQUARE
 - 11. 1/8" X 3" X 3" SQUARE
 - 12. 1/4" X 3" X 3" SQUARE
- NOTE TO ALL SUBCONTRACTORS:** MATERIALS AND FINISHES SHALL BE AS SHOWN IN THE ELEVATION AND MATERIALS LISTED BELOW.

EXTERIOR MATERIALS TO BE USED AS SHOWN IN THE ELEVATION AND MATERIALS LISTED BELOW. MATERIALS AND FINISHES SHALL BE AS SHOWN IN THE ELEVATION AND MATERIALS LISTED BELOW. MATERIALS AND FINISHES SHALL BE AS SHOWN IN THE ELEVATION AND MATERIALS LISTED BELOW.



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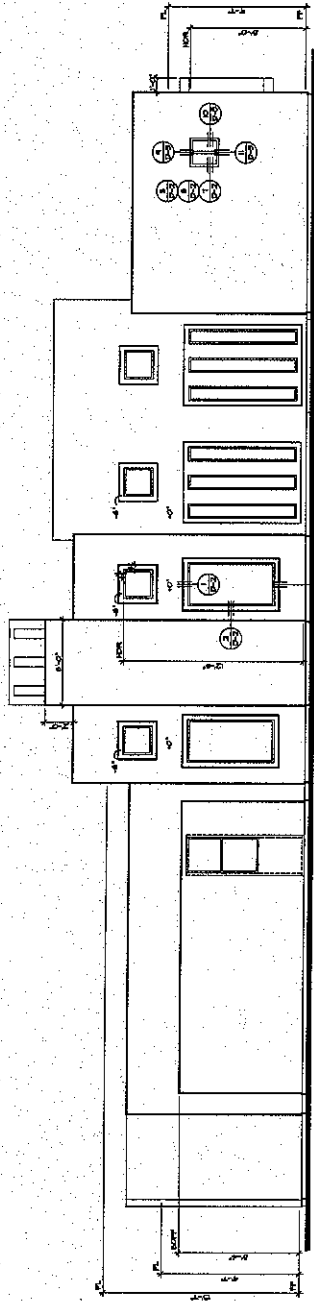
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LUMINAIRE

PROJECT NUMBER
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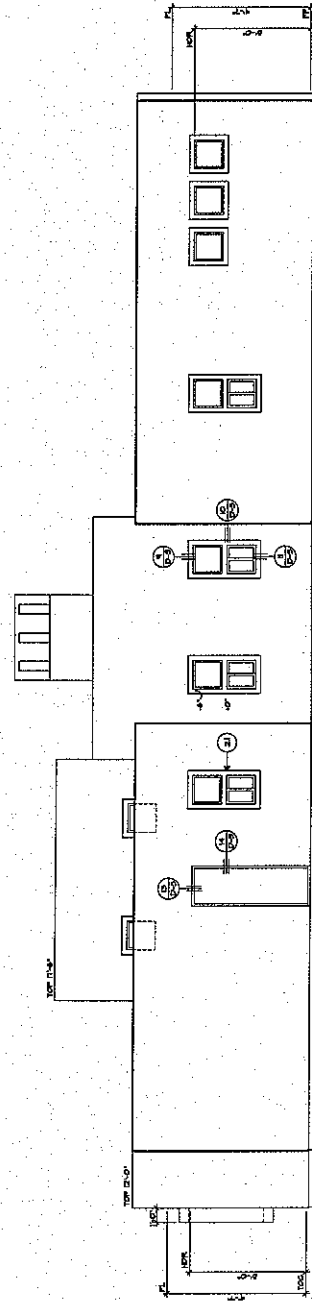
**PLAN A
 EXTERIOR
 ELEVATIONS**

DATE: APRIL 4, 2011

SHEET NO.
A-16



LEFT



RIGHT

EXTERIOR WINDOWS & DOORS AT 20% SCALE
 EXTERIOR WALLS AT 1/8" SCALE
 EXTERIOR ELEVATION DETAILS SHALL
 BE SHOWN AT 1/4" SCALE UNLESS NOTED
 OTHERWISE. SEE DETAILS FOR WINDOW
 AND DOOR DETAILS.

- ELEVATION NOTES**
- 1. REFER TO MATERIAL SCHEDULE FOR MATERIALS.
 - 2. REFER TO SECTION OF CANTILEVERED AREAS.
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 - 16. REFER TO SECTION OF CANTILEVERED AREAS.
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 - 18. REFER TO SECTION OF CANTILEVERED AREAS.
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 - 23. REFER TO SECTION OF CANTILEVERED AREAS.
 - 24. REFER TO SECTION OF CANTILEVERED AREAS.



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PROJECT TITLE
LUMINAIRE

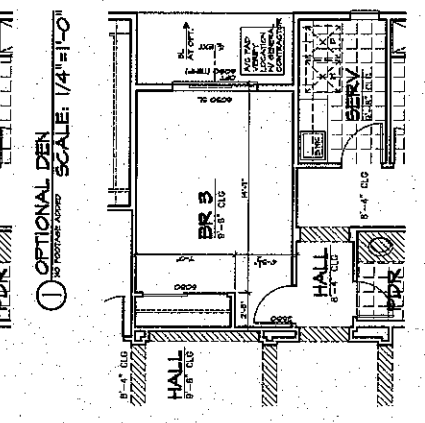
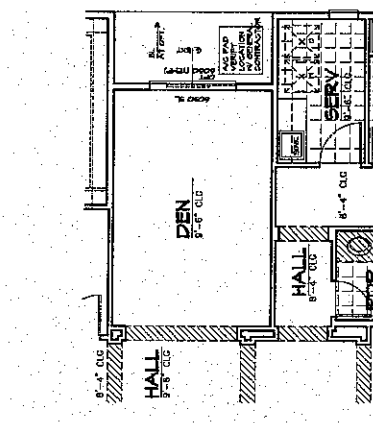
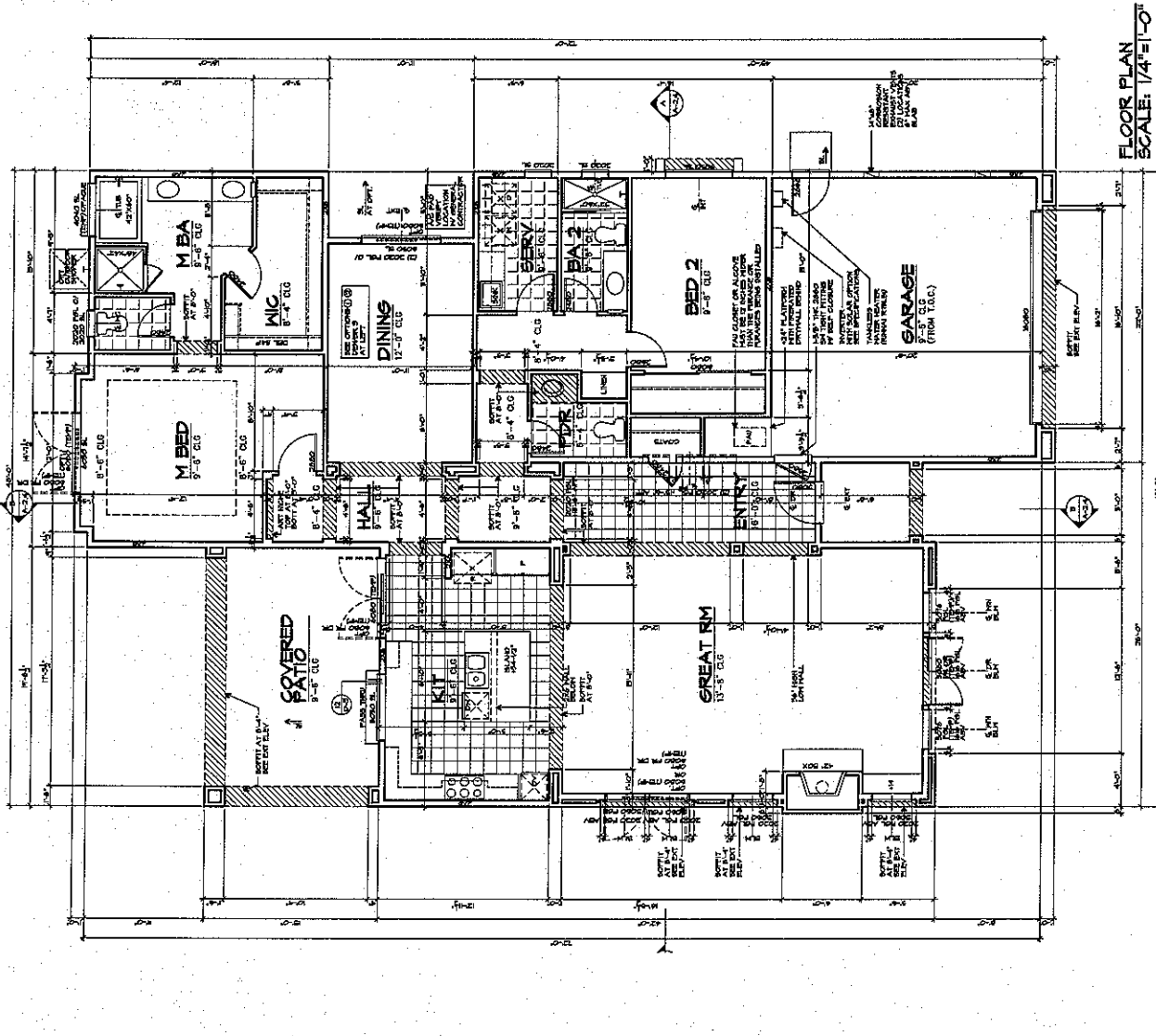
PROJECT NUMBER
11004

SHEET TITLE

**PLAN B
FLOOR PLAN**

DATE: APRIL 4, 2011

SHEET NO. **A-2.2**



AREA CALCULATIONS

| DESCRIPTION | AREA |
|----------------------|------------|
| TOTAL LUMINAIRE AREA | 3238 SQ FT |
| COVERED PATIO | 294 SQ FT |
| COVERED PORCH | 33 SQ FT |
| EXTERIOR PATIO | 33 SQ FT |

REFERENCE NOTES

- 1) REFER TO ARCHITECTURAL DRAWINGS FOR ALL FINISHES AND MATERIALS.
- 2) REFER TO MECHANICAL DRAWINGS FOR ALL MECHANICAL SYSTEMS.
- 3) REFER TO ELECTRICAL DRAWINGS FOR ALL ELECTRICAL SYSTEMS.
- 4) REFER TO PLUMBING DRAWINGS FOR ALL PLUMBING SYSTEMS.
- 5) REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL SYSTEMS.
- 6) REFER TO SITE DRAWINGS FOR ALL SITE RELATED INFORMATION.
- 7) REFER TO LUMINAIRE SPECIFICATIONS FOR ALL LUMINAIRE PRODUCTS.
- 8) REFER TO LUMINAIRE INSTALLATION DETAILS FOR ALL LUMINAIRE PRODUCTS.
- 9) REFER TO LUMINAIRE MAINTENANCE PROCEDURES FOR ALL LUMINAIRE PRODUCTS.



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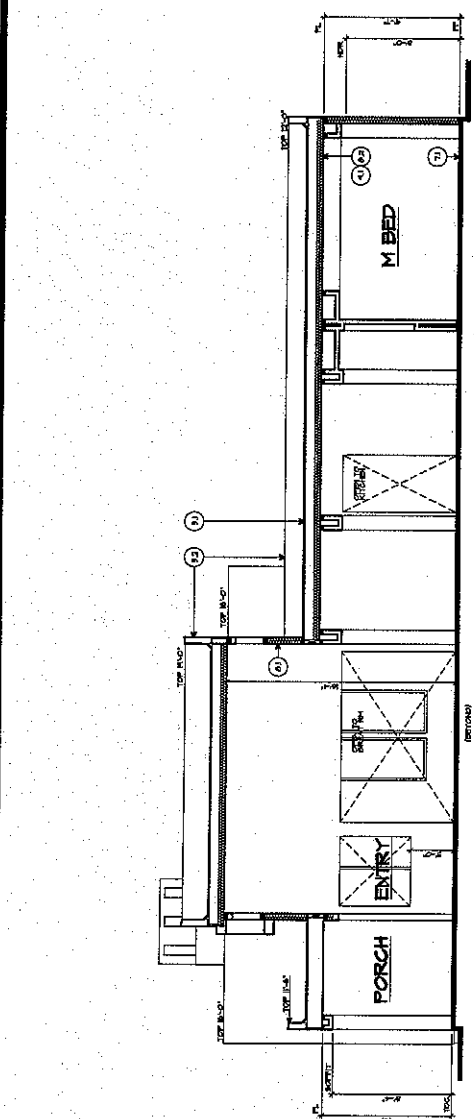
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PROJECT NUMBER: 11004

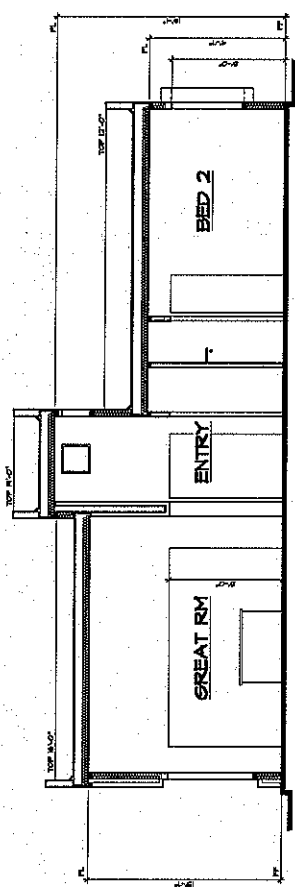
SHEET TITLE: **PLAN B SECTIONS/ ROOF PLAN**

DATE: APRIL 4, 2011

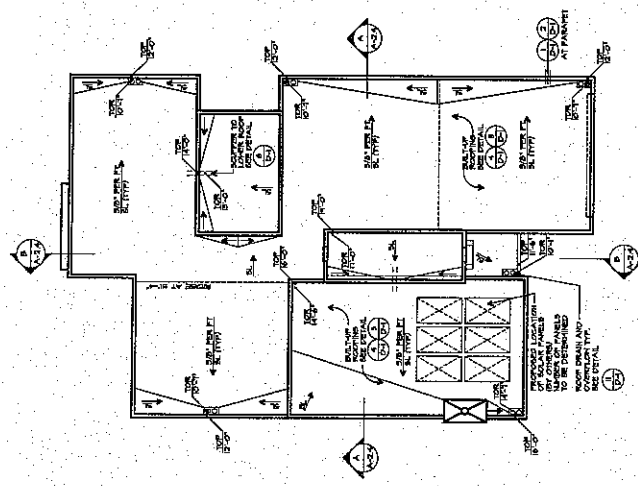
SHEET NO: **A-2.4**



SECTION B1



SECTION A1
 SCALE: 1/4"=1'-0"



ROOF PLAN
 SCALE: 1/8"=1'-0"

- SECTION NOTES**
- ROOFING:
 - M1 ROOFING SHALL BE AS SHOWN IN SECTION "A"
 - M2 DETAILS AND MATERIALS SHALL BE AS SHOWN IN SECTION "A"
 - M3 FINISHES
 - FLOORING:
 - M4 FLOORING SHALL BE AS SHOWN IN SECTION "A"
 - M5 FINISHES SHALL BE AS SHOWN IN SECTION "A"
 - CONCRETE SLAB:
 - M6 CONCRETE SHALL BE AS SHOWN IN SECTION "A"
 - M7 REINFORCING SHALL BE AS SHOWN IN SECTION "A"
 - M8 DETAILS AND MATERIALS SHALL BE AS SHOWN IN SECTION "A"
 - M9 FINISHES SHALL BE AS SHOWN IN SECTION "A"
 - WALLS:
 - M10 WALLS SHALL BE AS SHOWN IN SECTION "A"
 - M11 FINISHES SHALL BE AS SHOWN IN SECTION "A"
 - EXTERIOR WALLS:
 - M12 EXTERIOR WALLS SHALL BE AS SHOWN IN SECTION "A"
 - M13 FINISHES SHALL BE AS SHOWN IN SECTION "A"
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 - M14 EXTERIOR FINISHES SHALL BE AS SHOWN IN SECTION "A"
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 - EXTERIOR WALLS:
 - M50 EXTERIOR WALLS SHALL BE AS SHOWN IN SECTION "A"
 - M51 FINISHES SHALL BE AS SHOWN IN SECTION "A"

EXTERIOR DOORS & WINDOWS IN THIS PLAN SHALL BE AS SHOWN IN SECTION "A". ALL DETAILS AND MATERIALS SHALL BE AS SHOWN IN SECTION "A".

THE FOUNDATION AND FINISHING ELEMENTS SHALL BE AS SHOWN IN SECTION "A". ALL DETAILS AND MATERIALS SHALL BE AS SHOWN IN SECTION "A".



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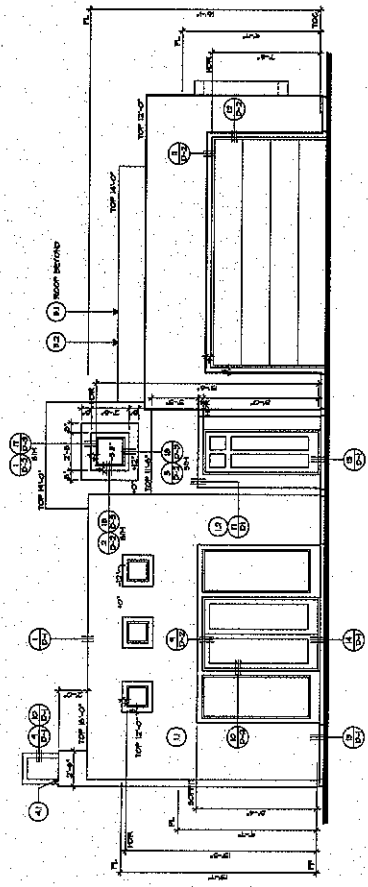
PROJECT TITLE
LUMINAIRE

PROJECT NUMBER
110004

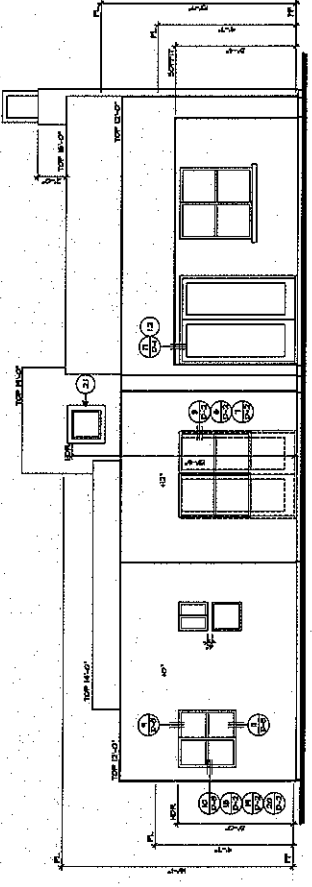
**PLAN B
EXTERIOR
ELEVATIONS**

DATE: APRIL 4, 2011

SHEET NO.
A-2.5



FRONT



REAR
SCALE 1/4"=1'-0"

WOOD SIGNAGE: 1. WOOD SIGNAGE, 2. WOOD SIGNAGE, 3. WOOD SIGNAGE, 4. WOOD SIGNAGE, 5. WOOD SIGNAGE, 6. WOOD SIGNAGE, 7. WOOD SIGNAGE, 8. WOOD SIGNAGE, 9. WOOD SIGNAGE, 10. WOOD SIGNAGE, 11. WOOD SIGNAGE, 12. WOOD SIGNAGE, 13. WOOD SIGNAGE, 14. WOOD SIGNAGE, 15. WOOD SIGNAGE, 16. WOOD SIGNAGE, 17. WOOD SIGNAGE, 18. WOOD SIGNAGE, 19. WOOD SIGNAGE, 20. WOOD SIGNAGE, 21. WOOD SIGNAGE, 22. WOOD SIGNAGE, 23. WOOD SIGNAGE, 24. WOOD SIGNAGE, 25. WOOD SIGNAGE, 26. WOOD SIGNAGE, 27. WOOD SIGNAGE, 28. WOOD SIGNAGE, 29. WOOD SIGNAGE, 30. WOOD SIGNAGE, 31. WOOD SIGNAGE, 32. WOOD SIGNAGE, 33. WOOD SIGNAGE, 34. WOOD SIGNAGE, 35. WOOD SIGNAGE, 36. WOOD SIGNAGE, 37. WOOD SIGNAGE, 38. WOOD SIGNAGE, 39. WOOD SIGNAGE, 40. WOOD SIGNAGE, 41. WOOD SIGNAGE, 42. WOOD SIGNAGE, 43. WOOD SIGNAGE, 44. WOOD SIGNAGE, 45. WOOD SIGNAGE, 46. WOOD SIGNAGE, 47. WOOD SIGNAGE, 48. WOOD SIGNAGE, 49. WOOD SIGNAGE, 50. WOOD SIGNAGE, 51. WOOD SIGNAGE, 52. WOOD SIGNAGE, 53. WOOD SIGNAGE, 54. WOOD SIGNAGE, 55. WOOD SIGNAGE, 56. WOOD SIGNAGE, 57. WOOD SIGNAGE, 58. WOOD SIGNAGE, 59. WOOD SIGNAGE, 60. WOOD SIGNAGE, 61. WOOD SIGNAGE, 62. WOOD SIGNAGE, 63. WOOD SIGNAGE, 64. WOOD SIGNAGE, 65. WOOD SIGNAGE, 66. WOOD SIGNAGE, 67. WOOD SIGNAGE, 68. WOOD SIGNAGE, 69. WOOD SIGNAGE, 70. WOOD SIGNAGE, 71. WOOD SIGNAGE, 72. WOOD SIGNAGE, 73. WOOD SIGNAGE, 74. WOOD SIGNAGE, 75. WOOD SIGNAGE, 76. WOOD SIGNAGE, 77. WOOD SIGNAGE, 78. WOOD SIGNAGE, 79. WOOD SIGNAGE, 80. WOOD SIGNAGE, 81. WOOD SIGNAGE, 82. WOOD SIGNAGE, 83. WOOD SIGNAGE, 84. WOOD SIGNAGE, 85. WOOD SIGNAGE, 86. WOOD SIGNAGE, 87. WOOD SIGNAGE, 88. WOOD SIGNAGE, 89. WOOD SIGNAGE, 90. WOOD SIGNAGE, 91. WOOD SIGNAGE, 92. WOOD SIGNAGE, 93. WOOD SIGNAGE, 94. WOOD SIGNAGE, 95. WOOD SIGNAGE, 96. WOOD SIGNAGE, 97. WOOD SIGNAGE, 98. WOOD SIGNAGE, 99. WOOD SIGNAGE, 100. WOOD SIGNAGE

ELEVATION NOTES

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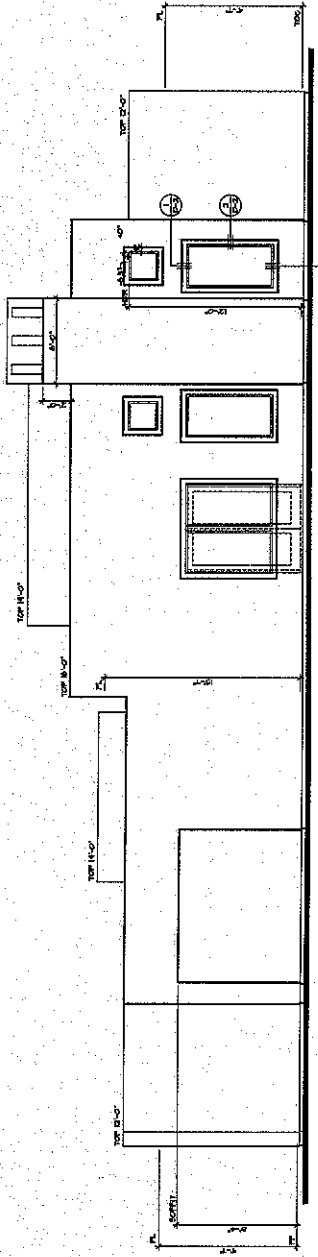
PROJECT TITLE
LUMINAIRE

PROJECT NUMBER
 11004

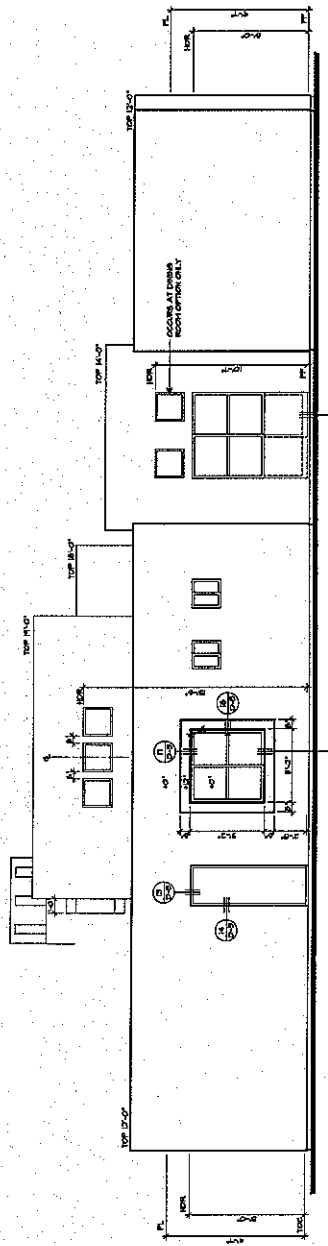
SHEET TITLE
**PLAN B
 EXTERIOR
 ELEVATIONS**

SCALE DATE:
 APRIL 4, 2011

SHEET NO.
A-2.6



LEFT



RIGHT

EXTERIOR FINISHES TO BE SHOWN AT THIS SCALE
 WITHOUT REFERENCE TO BOX-CUT DETAILS SHALL
 BE DEEMED TO BE THE SAME AS THE FINISHES
 SHOWN IN THE BOX-CUT DETAILS AND DETAILS
 AND DETAILS TO BE SHOWN.

ELEVATION NOTES

- 1. FINISH MATERIALS
- 2. SOFFIT BOTTOM OF CANTILEVERED AREAS
- 3. FINISH
- 4. TOP TO EXTEND 2'-0" MINIMUM ABOVE ANY ROOF FINISH (P.O.P.)
- 5. FINISH
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NOTE TO ALL SUBCONTRACTORS:
 VERIFY THE LOCATION OF ALL MATERIALS AND FINISHES
 UNDER EXTERIOR MATERIALS.



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SHEET TITLE
LUMINAIRE

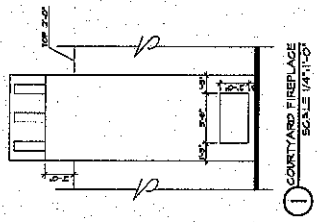
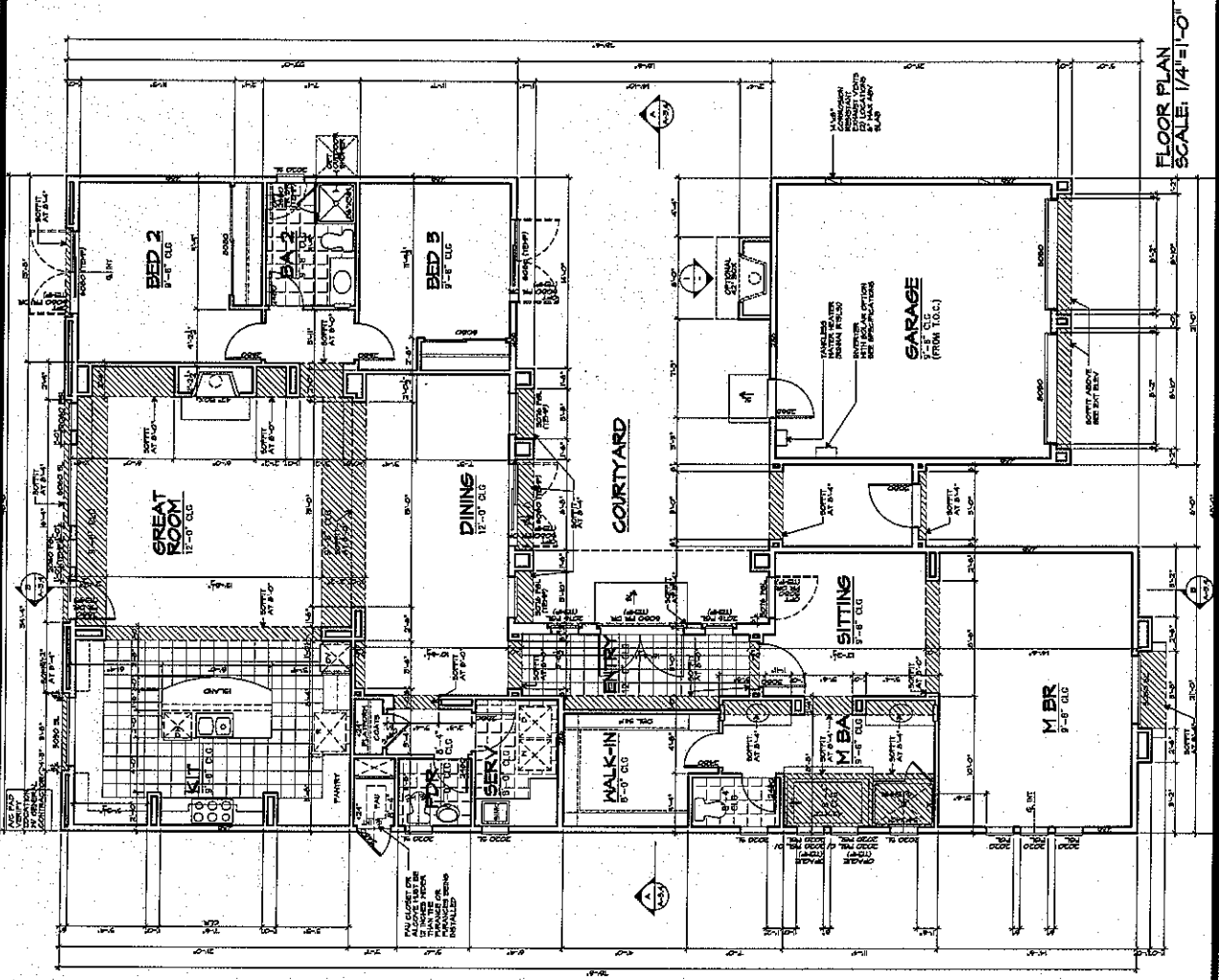
PROJECT NUMBER
11004
SHEET TITLE

**PLAN C
FLOOR PLAN**

DATE: APRIL 4, 2011

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SHEET NO. **A-32**



REFERENCE NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS:

- INTERNATIONAL RESIDENTIAL CODE BOOK (IRC)
- INTERNATIONAL MECHANICAL CODE BOOK (IMC)
- INTERNATIONAL ELECTRICAL CODE BOOK (IEC)
- INTERNATIONAL PLUMBING AND MECHANICAL CODE BOOK (IMPC)
- INTERNATIONAL FIRE CODE BOOK (IFC)
- INTERNATIONAL BUILDING CODE BOOK (IBC)

2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS:

- INTERNATIONAL RESIDENTIAL CODE BOOK (IRC)
- INTERNATIONAL MECHANICAL CODE BOOK (IMC)
- INTERNATIONAL ELECTRICAL CODE BOOK (IEC)
- INTERNATIONAL PLUMBING AND MECHANICAL CODE BOOK (IMPC)
- INTERNATIONAL FIRE CODE BOOK (IFC)
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4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS:

- INTERNATIONAL RESIDENTIAL CODE BOOK (IRC)
- INTERNATIONAL MECHANICAL CODE BOOK (IMC)
- INTERNATIONAL ELECTRICAL CODE BOOK (IEC)
- INTERNATIONAL PLUMBING AND MECHANICAL CODE BOOK (IMPC)
- INTERNATIONAL FIRE CODE BOOK (IFC)
- INTERNATIONAL BUILDING CODE BOOK (IBC)

AREA CALCULATIONS

| | |
|---------------------|---------------|
| TOTAL LIVING AREA | 2,400 SQ. FT. |
| TOTAL GARAGE AREA | 1,100 SQ. FT. |
| TOTAL COVERED PATIO | 441 SQ. FT. |

NOTES: GARAGE, PATIO, DECK, AND PORCH ARE NOT INCLUDED IN TOTAL SQUARE FOOTAGE.

ALL DIMENSIONS ARE SHOWN IN FEET AND INCHES.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS:

- INTERNATIONAL RESIDENTIAL CODE BOOK (IRC)
- INTERNATIONAL MECHANICAL CODE BOOK (IMC)
- INTERNATIONAL ELECTRICAL CODE BOOK (IEC)
- INTERNATIONAL PLUMBING AND MECHANICAL CODE BOOK (IMPC)
- INTERNATIONAL FIRE CODE BOOK (IFC)
- INTERNATIONAL BUILDING CODE BOOK (IBC)



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 SUITE 200
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 WWW.DANIELIAN.COM

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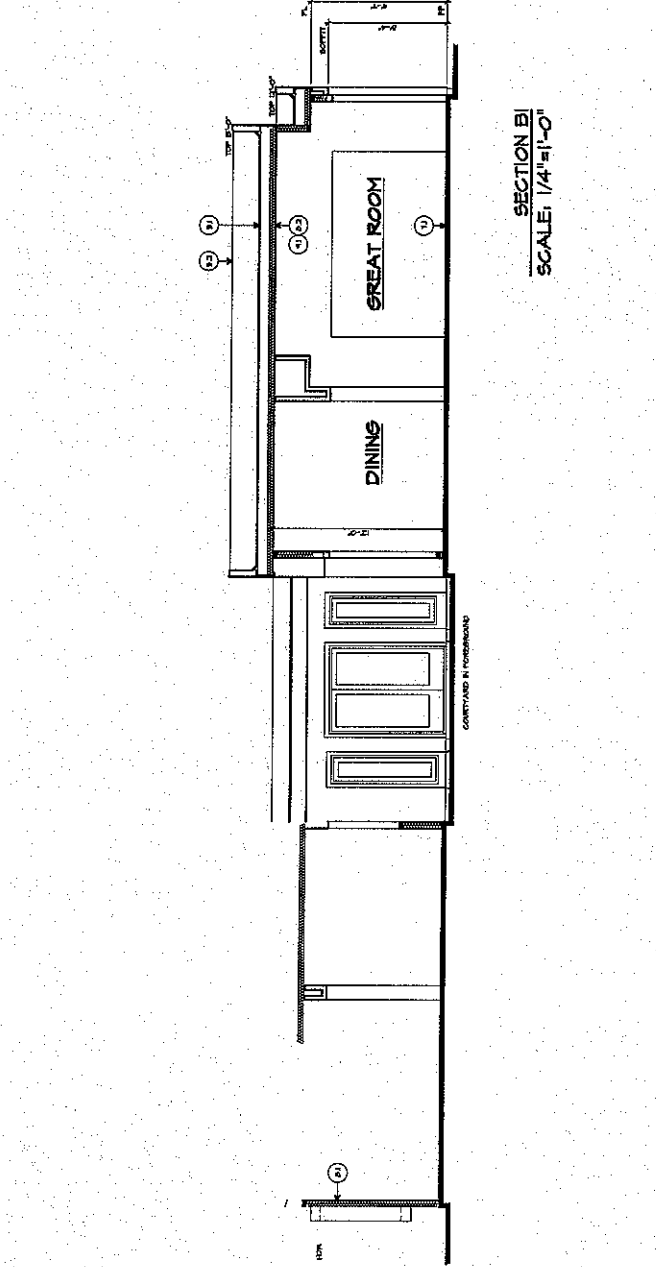
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PROJECT TITLE
LUMINAIRE

PROJECT NUMBER
 10004

PLAN C
**SECTIONS/
 ROOF PLAN**

DATE: APRIL 4, 2011
 SHEET NO. **A-3.4**



SECTION B
 SCALE: 1/4"=1'-0"

SECTION A
 SCALE: 1/4"=1'-0"

ROOF PLAN
 SCALE: 1/8"=1'-0"

SECTION NOTES

- ROOFING:
 - 1) SEE SECTION A FOR DETAILS OF ROOFING AT COURTYARD
 - 2) SEE SECTION B FOR DETAILS OF ROOFING AT GREAT ROOM
 - 3) SEE SECTION C FOR DETAILS OF ROOFING AT DINING
 - 4) SEE SECTION D FOR DETAILS OF ROOFING AT ENTRY
 - 5) SEE SECTION E FOR DETAILS OF ROOFING AT BALCONY
 - 6) SEE SECTION F FOR DETAILS OF ROOFING AT TERRACE
 - 7) SEE SECTION G FOR DETAILS OF ROOFING AT PORCH
 - 8) SEE SECTION H FOR DETAILS OF ROOFING AT DRIVEWAY
 - 9) SEE SECTION I FOR DETAILS OF ROOFING AT DRIVEWAY
 - 10) SEE SECTION J FOR DETAILS OF ROOFING AT DRIVEWAY
 - 11) SEE SECTION K FOR DETAILS OF ROOFING AT DRIVEWAY
 - 12) SEE SECTION L FOR DETAILS OF ROOFING AT DRIVEWAY
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 - 16) SEE SECTION P FOR DETAILS OF ROOFING AT DRIVEWAY
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 - 18) SEE SECTION R FOR DETAILS OF ROOFING AT DRIVEWAY
 - 19) SEE SECTION S FOR DETAILS OF ROOFING AT DRIVEWAY
 - 20) SEE SECTION T FOR DETAILS OF ROOFING AT DRIVEWAY
 - 21) SEE SECTION U FOR DETAILS OF ROOFING AT DRIVEWAY
 - 22) SEE SECTION V FOR DETAILS OF ROOFING AT DRIVEWAY
 - 23) SEE SECTION W FOR DETAILS OF ROOFING AT DRIVEWAY
 - 24) SEE SECTION X FOR DETAILS OF ROOFING AT DRIVEWAY
 - 25) SEE SECTION Y FOR DETAILS OF ROOFING AT DRIVEWAY
 - 26) SEE SECTION Z FOR DETAILS OF ROOFING AT DRIVEWAY
- CONCRETE SLAB:
 - 1) SEE SECTION A FOR DETAILS OF CONCRETE SLAB AT COURTYARD
 - 2) SEE SECTION B FOR DETAILS OF CONCRETE SLAB AT GREAT ROOM
 - 3) SEE SECTION C FOR DETAILS OF CONCRETE SLAB AT DINING
 - 4) SEE SECTION D FOR DETAILS OF CONCRETE SLAB AT ENTRY
 - 5) SEE SECTION E FOR DETAILS OF CONCRETE SLAB AT BALCONY
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 - 25) SEE SECTION Y FOR DETAILS OF CONCRETE SLAB AT DRIVEWAY
 - 26) SEE SECTION Z FOR DETAILS OF CONCRETE SLAB AT DRIVEWAY
- INTERIOR FINISHES:
 - 1) SEE SECTION A FOR DETAILS OF INTERIOR FINISHES AT COURTYARD
 - 2) SEE SECTION B FOR DETAILS OF INTERIOR FINISHES AT GREAT ROOM
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 - 26) SEE SECTION Z FOR DETAILS OF INTERIOR FINISHES AT DRIVEWAY

EXTERIOR WALLS, ROOFING, & DOORS: SEE SECTION A FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION B FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION C FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION D FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION E FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION F FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION G FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION H FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION I FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION J FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION K FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION L FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION M FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION N FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION O FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION P FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION Q FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION R FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION S FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION T FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION U FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION V FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION W FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION X FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION Y FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS. SEE SECTION Z FOR DETAILS OF EXTERIOR WALLS, ROOFING, & DOORS.

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PROJECT TITLE
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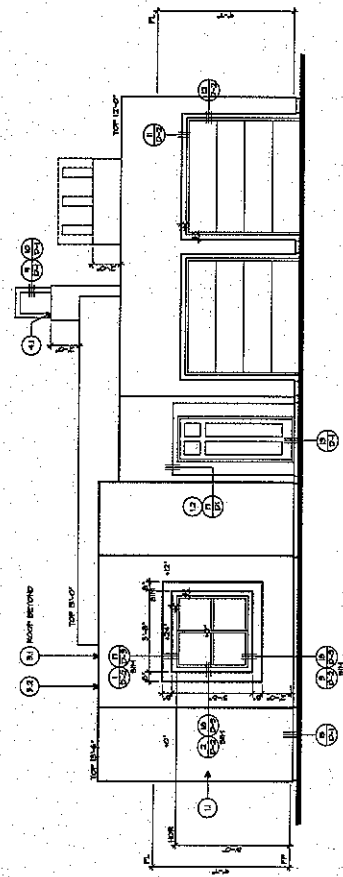
PROJECT NUMBER
 11004

SHEET TITLE
PLAN C

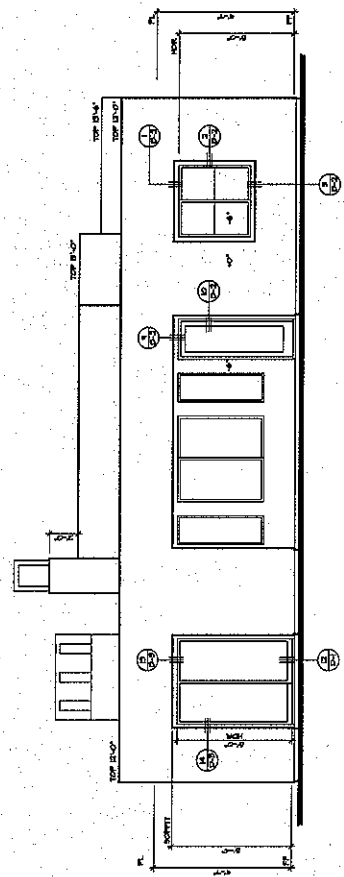
EXTERIOR ELEVATIONS

SCALE DATE: APRIL 4, 2011

SHEET NO.
A-35



FRONT



REAR
 SCALE: 1/4"=1'-0"

ELEVATION NOTES

- 1. FINISH MATERIALS
- 2. WINDOW AND DOOR SCHEDULES
- 3. MATERIALS AND FINISHES
- 4. WINDOW AND DOOR SCHEDULES
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- 97. MATERIALS AND FINISHES
- 98. WINDOW AND DOOR SCHEDULES
- 99. MATERIALS AND FINISHES
- 100. WINDOW AND DOOR SCHEDULES

EXTERIOR WINDOWS & DOORS AT 20% FALLS
 WINDOW SCHEDULES & DOOR SCHEDULES WILL
 BE PROVIDED BY THE ARCHITECT FOR REVIEW
 AND DETAILS (SEE CALLOUTS FOR WINDOW
 AND DETAILS) (SEE CALLOUTS FOR DOORS)



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PROJECT TITLE
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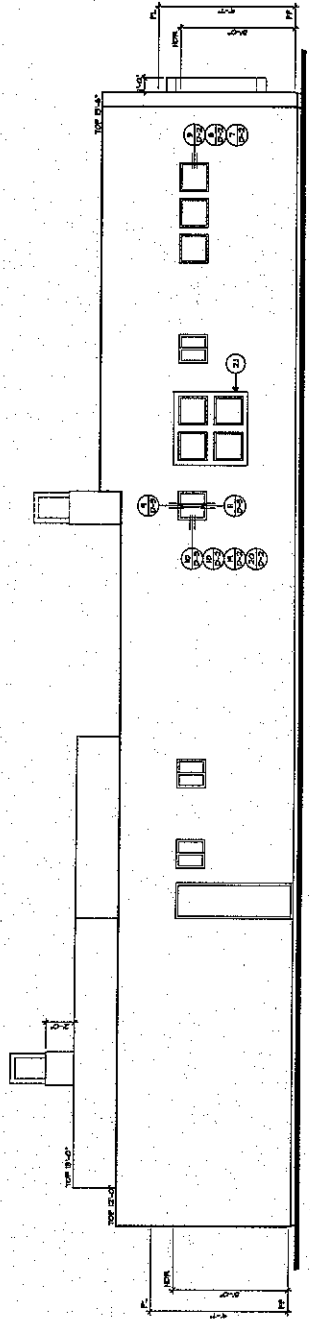
PROJECT NUMBER
11004

SHEET TITLE
PLAN C

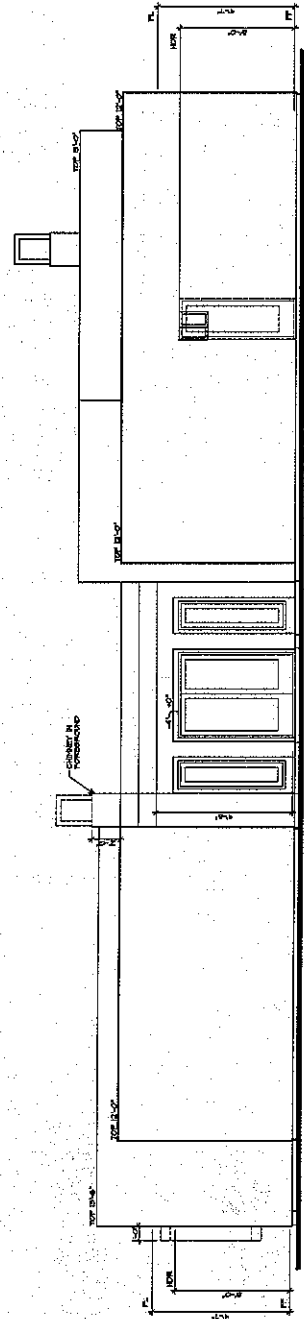
EXTERIOR ELEVATIONS

DATE
APRIL 4, 2011

SHEET NO.
A-3.6



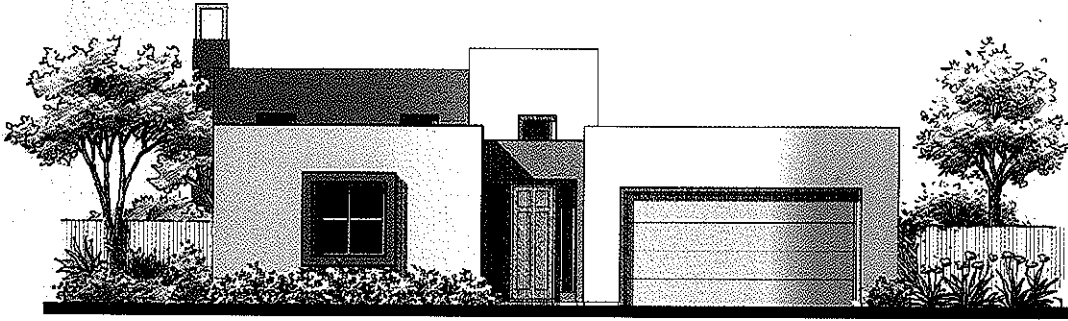
LEFT



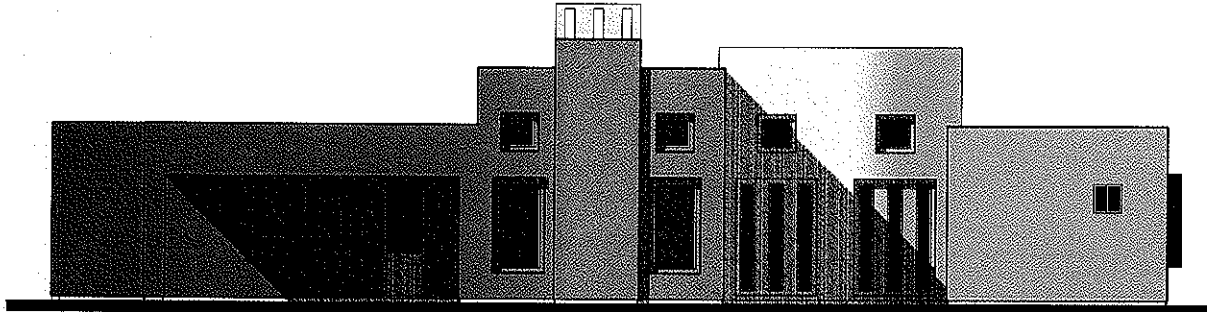
RIGHT

EXTERIOR WINDOWS & DOORS AT THE BALLS AND STRIKES SHALL BE FINISHED WITH 1/2" X 1/2" X 1/4" ALUMINUM CLIP MOULDING WITH 1/4" X 1/2" X 1/4" ALUMINUM FINISH. SEE DETAIL 21.1 FOR WINDOW AND DETAIL 21.2 FOR DOORS.

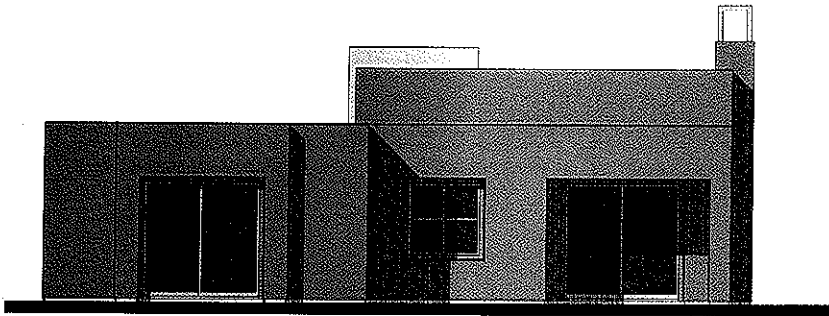
- ELEVATION NOTES**
- 1 FINISH MATERIALS
 - 21 WINDOW AND DOOR FINISHES, SEE DETAIL 21.1 FOR WINDOW AND DETAIL 21.2 FOR DOORS.
 - 22 FINISH MATERIALS
 - 23 WINDOW AND DOOR FINISHES, SEE DETAIL 21.1 FOR WINDOW AND DETAIL 21.2 FOR DOORS.
 - 24 WINDOW AND DOOR FINISHES, SEE DETAIL 21.1 FOR WINDOW AND DETAIL 21.2 FOR DOORS.
- NOTE TO ALL SUBCONTRACTORS: VERIFY FINISH MATERIALS AND LOCATIONS OF ELECTRICAL PANELS FROM EXTERIOR MATERIALS.



FRONT ELEVATION

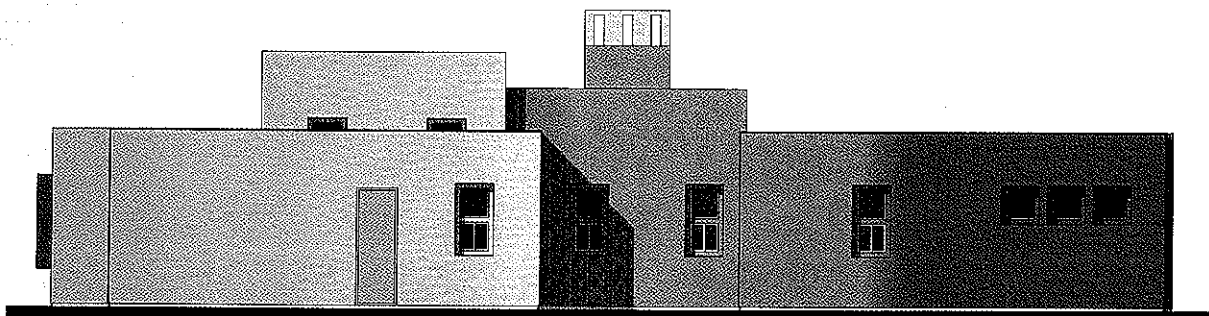


RIGHT ELEVATION



REAR ELEVATION

| | |
|--------------------------------|----------------------|
| STUCCO: | Orange |
| PAINT: | Pravox |
| GARAGE DR: | Amar |
| SCHEME | |
| 10 | |
| Main Stucco: Pravox Match | Salida #0L2913M |
| Secondary Stucco: Pravox Match | Employ #0L3015D |
| Pop-outs / Trim | Employ #0L3015D |
| Entry Door / Gate | EMPT Smokey #0L3015W |
| Garage Door | Sandstone LLC 1274D |



LEFT ELEVATION

PLAN A

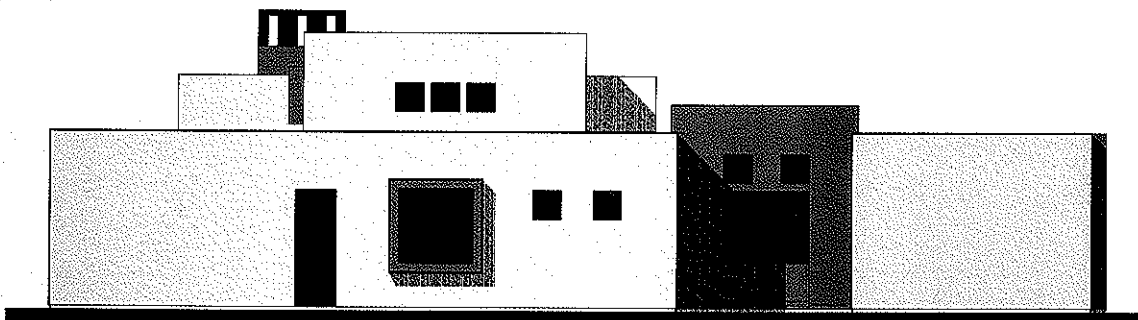

LUMINAIRE
FAR WEST INDUSTRIES
 PALM SPRINGS, CALIFORNIA

SCALE: 1/4"=1'-0"
 DATE: 2011-04-04 11004.00
DANIELIAN ASSOCIATES
 ARCHITECTURE + PLANNING
 6451 Corporate Park, Irvine, CA 92618 949-471-4230 www.danielian.com

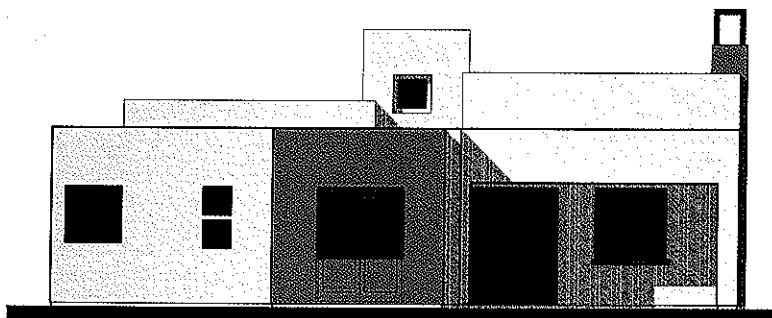




FRONT ELEVATION

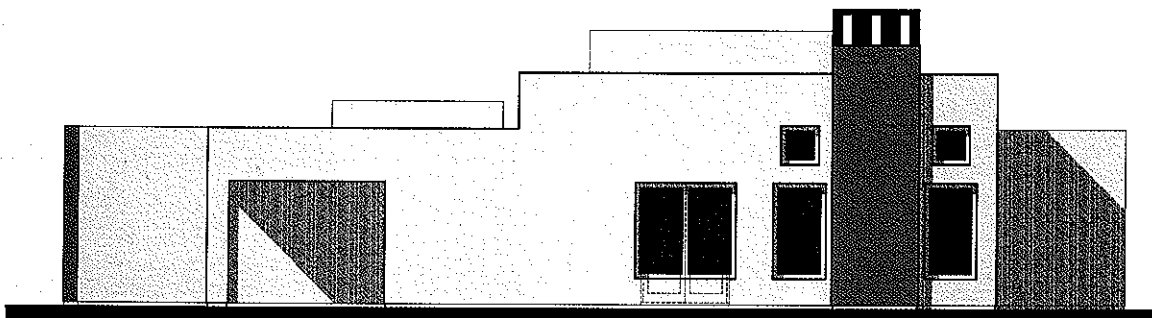


RIGHT ELEVATION



REAR ELEVATION

| | |
|--------------------------------|--------------------------|
| STUCCO: | Orange |
| PAINT: | Prizee |
| GARAGE DR: | Amar |
| SCHEME | 11 |
| Main Stucco: Frazee Match | Custom ACL1672W |
| Secondary Stucco: Frazee Match | Mod Puddle ACL1645A |
| Roofs / Tiles | Mod Puddle ACL1645A |
| Entry Door / Gate | Round ACL1642M |
| Garage Door | Dark Brown CLC- 1283M |



LEFT ELEVATION

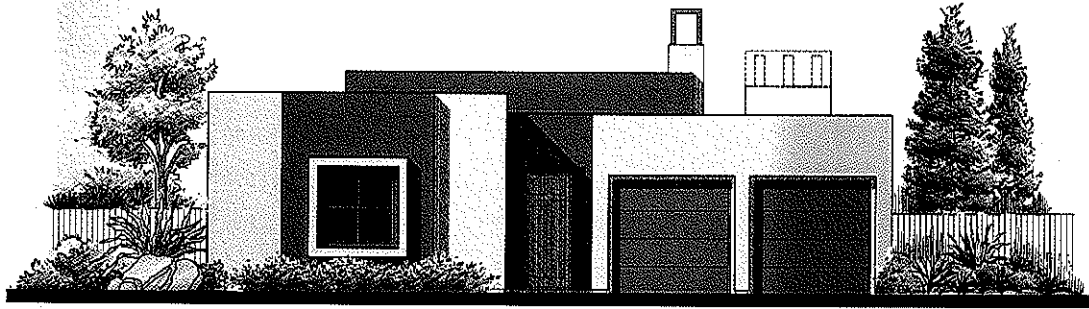
PLAN B


LUMINAIRE
 FAR WEST INDUSTRIES
 PALM SPRINGS, CALIFORNIA

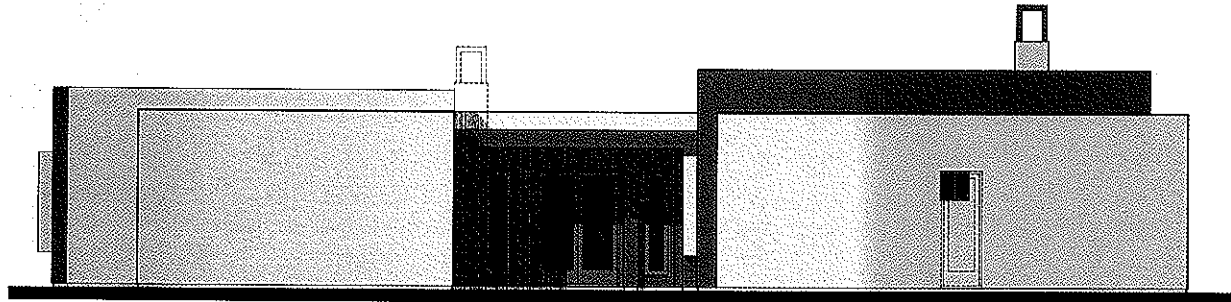
SCALE: 1/4"=1'-0"
 DATE: 2011-04-04 11004.00

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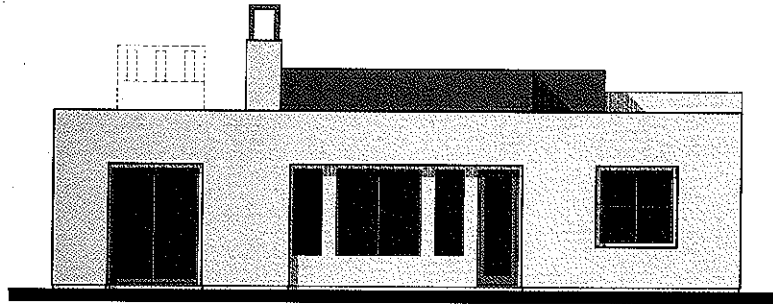




FRONT ELEVATION

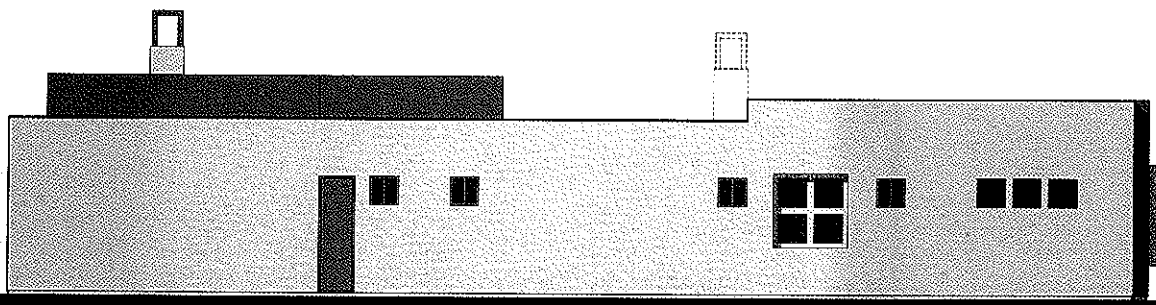


RIGHT ELEVATION



REAR ELEVATION

| | |
|--------------------------------|----------------------------|
| STUDIO: | Omega |
| PARIT: | Frazier |
| GARAGE DR: | Amor |
| SCHEME | |
| 12 | |
| Main Suptos: Frazee Match | 8aboucha #CL2507M |
| Secondary Suptos: Frazee Match | Crane Clipping #CL2316A |
| Pop-outs / Trim | Crane Clipping #CL2338A |
| Entry Door / Gate | Glulux #CL2353M |
| Garage Door | Sandstone CLC- 1724D |



LEFT ELEVATION

PLAN C


LUMINAIRE
FAR WEST INDUSTRIES
 PALM SPRINGS, CALIFORNIA

SCALE: 1/4"=1'-0"
 DATE: 2011-04-04 11004.00

DANIELIAN ASSOCIATES
ARCHITECTURE + PLANNING
845 Corporate Park, #104, CA 92262 951.414.8220 www.danielian.com



Case 5.0972 PD 286 AMEND

There are two major issues for consideration of the Planning Commission that were not addressed by the AAC. It doesn't make sense to amend the Final Approved Development Plan unless there is an improvement to the Plan.

TWO STORY HOMES: The proposed amendment eliminates all two story homes. This is not an improvement. This would change the character of the Luminaire development. The developer should be required to build some two story homes as designated in the Approved Final Development Plan. One of the models should be a two story home.

CASITAS: The proposed amendment eliminates all stand alone casitas. This changes the character and demographics of the Luminaire development. This is not an improvement, because it provides one bedroom & bath attached to the house rather than a stand alone casita with one bedroom & bath. Therefore, the Amendment would provide additional homes for families with children rather than the current demographics, ie single people and couples. The developer should be required to build some stand alone casitas as designated in the Approved Final Development Plan.

In addition to the above, the Planning Commission should approve the recommendations of the AAC as they relate to the colors, stucco finishes, walls, landscaping, etc.

Pierre-André Monney

PIERRE-ANDRÉ MONNEY

2990 CANDLELIGHT LANE

(LUMINAIRE)

5.0972 PD 286 AMEND
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**PLANNING SERVICES
DEPARTMENT**

Architecture Advisory Committee Meeting

Palm Springs

April 25, 2011

Items that are critical to the current owners

- Stucco Plan must be identical
- All entry doors, garage doors, windows, exterior light fixtures and metal gates must be identical
- Paint schemes must be identical, no contrast garage doors
- With the addition of 28 homes there is no need for an additional 3 paint schemes 13 is excessive.
- New homes must have walls in front for privacy as do all but one of the current homes
- Desert landscaping on all front and side yards outside the privacy walls, no visible grass

NO MESQUITE TREES, TOO LARGE.

Concerns:

- Elimination of multi zone HVAC systems to a single system, is less efficient to operate than the current HVAC.
- Elimination of the ensuite bedroom concept with the addition of a third bedroom in every plan.
- Chopped up spaces to add a third bedroom in every plan resulting in a change of interior character from large spaces with high ceilings to smaller spaces with high ceilings which will be out of proportion.
- Elimination of the powder room in Plan A, adding an alcove to the garage and forcing guests to use one of the homeowner baths
- Elimination of access to outdoors from the Kitchen in Plan A which in the current plan is perfect for the location of an outdoor kitchen
- Elimination of the Casita in Plan A creating a long narrow foyer with a door to the former Casita, now a bedroom. This change will make it impossible to place a king or queen size bed with two nightstands in the room without overlapping a door or window
- Elimination of dining rooms in favor of a third bedroom which is in conflict with the addition of a third bedroom if the developer's intent is to make the homes more family friendly
- Elimination of sliding doors that will result in a reduction of the light and airy feeling that is a signature of these homes
- I know that you drive through developments before these meetings to familiarize yourselves with the property . Since the properties are walled in for the most part, I am urging you to ask for volunteers from among the homeowners to allow you to tour the interiors of each plan as part of your due diligence. I volunteer my home, a Plan A for you to visit at any time that is convenient.