



## Planning Commission Staff Report

Date: May 8, 2013  
Case No.: 3.3614 SFR  
Type: Single-Family Residence – Hillside  
Location: 801 Panorama Road  
APN: 504-213-012 and 505-360-003  
Applicant: Linda Usher, Owner  
General Plan: Estate Residential  
Zone: R-1-B (Single Family Residential);

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### **PROJECT DESCRIPTION:**

The application is for site plan approval of new construction for hillside development at 801 Panorama Road pursuant to Zoning Code Section 94.04.00 "*Architectural Review*" and 93.18.00 "*Hillside Development*".

### **RECOMMENDATION:**

Approve Case 3.3614 SFR, subject to the Conditions of Approval noted in Exhibit A.

### **PRIOR ACTIONS:**

On February 25, 2013, the Architectural Advisory Committee (AAC) reviewed the project and voted unanimously to recommend approval to the Planning Commission.

### **BACKGROUND AND SETTING:**

The project site is comprised of two lots totaling 71,387 square feet. The hillside lot is located in the "Little Tuscany" neighborhood. The neighborhood is comprised of many custom homes.



**AERIAL PHOTO OF 801 PANORAMA ROAD**

The parcel slopes downward, generally from west to east. It contains some existing natural vegetation, with some areas of landscaping and lawns. The surrounding land uses are noted in the table below:

**Table 1: General Plan, Zone and Surrounding Land Uses**

	<b>General Plan</b>	<b>Zone</b>	<b>Land Use</b>
North	Estate Residential (0-2.0 du/ac) Canyon Park Specific Plan (CPSP)	R-1-A	Single Family Residence (SFR)
South	Estate Residential (0-2.0 du/ac) (CPSP)	R-1-A	SFR (house & vacant lot)
East	Estate Residential (0-2.0 du/ac) (CPSP)	R-1-A	SFR (vacant)
West	Estate Residential (0-2.0 du/ac) (CPSP)	R-1-A	SFR

**PROJECT DESCRIPTION:**

The project proposes a single story three-bedroom home with an attached two-car carport. The home is designed in a contemporary architectural style.

Including covered loggias and porches the building covers 6,072 square feet or roughly 8.5% lot coverage. The structure is roughly 11 feet in height at the setbacks and roughly 18' in height at its highest point and conforms to the height limits of the zone. The entire home is an off-white color with medium grey doors and trim. The driveway is currently proposed in

decomposed granite, however a condition of approval requires precast pavers or other hard surface acceptable to the City Engineer to prevent erosion of soil into the public street and wind-borne dust.

The site would be fully landscaped with a variety of palms, citrus, Palo Verde and olive trees and a variety of drought tolerant, desert appropriate shrubs, groundcovers and boulders. Portions of the existing grassy area and some existing trees will be integrated into the new landscape design.

Details of the property development standards for the proposed project in relation to the requirements of the R-1-A zone are shown in Table 2.

**Table 2: Development Standards**

	<b>R-1-A Zone»</b>	<b>Proposed Project</b>
Lot Area	15,000 square feet	71,387 square feet
Lot Width	120 feet	120 feet (conforms)
Lot Depth	120 feet	350 feet (conforms)
Front Yard	20 feet	140 feet (conforms)
Rear Yard	15 feet	15 (conforms)
Building Height (max.)	12 feet at setback up to 18 feet; dormer projections permitted	12 feet to a maximum of 18 (conforms)
Building Coverage (max.)	35%	8.5 % (conforms)
Covered off-street Parking	Minimum 2 car off-street covered required for SFR	Two-car covered carport (conforms)
Dwelling size	1,500 square feet minimum	5,238 square feet (conforms)

**ANALYSIS:**

General Plan:

The General Plan Designation of the subject site is Estate Residential (0-2.0 dwelling units per acre). This designation allows for single family dwellings to a maximum density of two dwelling units per acre. The project proposes one single family residence on a site slightly more than 1.6-acre in size. Thus the project is consistent with this General Plan designation.

The project has been evaluated against various policies and action statements from the 2007 Palm Springs General Plan as noted below:

*HS 2.7 Foster and ensure that residential projects are of high quality and thoughtful design through the implementation of adopted architectural and design standards and architectural review.*

The project proposes a custom designed house that is compatible and complementary with the high quality development that already exists in the surrounding neighborhood.

*CD7.1 Encourage the use of native desert plants and trees that require minimal water and maintenance.*

The project proposes a water efficient landscape palette with mostly native desert plants that require a minimum of water.

Based on the above, staff concludes the project is consistent with the General Plan.

Zoning Designation:

The proposed site is zoned R-1-B. Pursuant to the City of Palm Springs Zoning Code (PSZC), Section 92.01.01(A)(1), permanent single-family dwellings are permitted within the R-1-B zone. The project therefore conforms to the applicable zone designation. The project also conforms to the development standards of the zone as denoted in Table 2 above.

Off-street parking:

The City of Palm Springs Zoning Code, Section 93.06.00(29)(a), requires all single-family homes to provide two covered parking spaces per dwelling unit. The parking standards are met by the proposed two-car carport.

**REQUIRED FINDINGS:**

There are no required findings for architectural approval which do not require environmental assessments. This project's conformance to the architectural guidelines of the Zoning Ordinance is analyzed below.

Architectural Review. Specific aspects of design shall be examined to determine whether the proposed development will provide desirable environment for its occupants as well as being compatible with the character of adjacent and surrounding developments, and whether aesthetically it is of good composition, materials, textures and colors. Conformance is evaluated based on consideration of the following:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The project proposes a single family house with related landscaping and terraces surrounding a swimming pool. The project conforms to the setbacks and requirements for open space and yards. The landscaping is designed to maintain privacy while not blocking views. Staff has concluded the project conforms to this statement.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if*

*warranted;*

The project is located in a neighborhood of large custom designed homes, each individual in their design and orientation on the lots. The proposed house is complementary to the existing development, and is respectful of views from adjacent unbuilt lots. Staff believes the project conforms to this statement.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The proposed residence conforms to all setbacks, height limits, minimum and maximum area limits. Perimeter walls conform to the development standards of the Zoning Code. Therefore staff has concluded the project conforms to this statement.

4. *Building design, materials and colors to be sympathetic with desert surroundings; AND*
5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously, AND*
6. *Consistency of composition and treatment,*

The project is proposed in a contemporary architectural style. The materials and colors are warm hued colors considered to be complementary to the desert. Staff has concluded the project is consistent with these statements.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The project proposes mostly drought-tolerant plant species deemed appropriate to the desert environment. There are no landmark or specimen plants or trees on the site. The project is therefore deemed in conformance with this statement.

Furthermore, pursuant to Zoning Code Section 93.13.00 (B)(4a), in review of hillside development for architectural approval, the Planning Commission shall consider the following:

1. *Rock and soil exposure,*

The proposed development is located on two lots; one of which was previously landscaped by an adjacent homeowner and the second lot is in relatively undisturbed condition. Much of the site remains in its native rocky condition. A portion of the site, to the northwest was previously landscaped. Much of this landscaping will be preserved and rehabilitated.

2. *Size of building pads,*

The proposed development minimizes the disturbance to the site to the area of the building pad and the area of the driveway and lawn areas previously developed with landscaping. Where possible, existing natural topography and vegetation remains undisturbed and a minimal amount of grading is proposed.

*3. Design considerations, such as supporting stilts, colors and building arrangement,*

The project proposes an "H-shaped" home on a flat portion of the site. The design is integrated into the site to maximize views and privacy.

*4. Screening of parking areas,*

The lot is fully screened from Panorama road and parking areas are located so as not to be obtrusive to adjacent properties.

*5. Landscaping plans,*

The landscaping is proposed in plant palette that is desert-appropriate drought-tolerant and integrates some existing landscaped material where possible.

*6. Continuity with surrounding development,*

The existing surrounding development is eclectic in its architecture and landscaping. The proposed development is complementary to the surroundings in which it is located.

*7. Sensitivity to existing view corridors;*

The proposed development does not impact any known view corridors.

**CONCLUSION:**

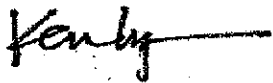
The project is recommended for approval by the Architectural Advisory Committee. Pursuant to the Zoning Code, it is allowed by right-of-zone. It is in conformance with the criteria in Section 94.04.00(D)(9) "*Architectural Review*" and Section 93.13.00 "*Hillside Development*", of the zoning code and conforms to the development standards of the zone. Therefore based on the above analysis, staff is recommending approval of Case 3.3614 SFR, subject to Conditions of Approval outlined in Exhibit A, attached.

**ENVIRONMENTAL DETERMINATION:**

Pursuant to the California Environmental Quality Act (CEQA) Guidelines, the project is a Class III exemption and is categorically exempt per Section 15303(a) (New Single-family residence).

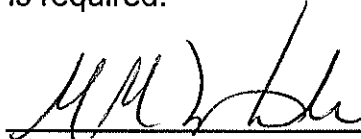
**NOTIFICATION:**

Pursuant to Section 93.18.00, adjacent property owners were notified when the application was received by the City, no further notification is required.



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Ken Lyon  
Associate Planner



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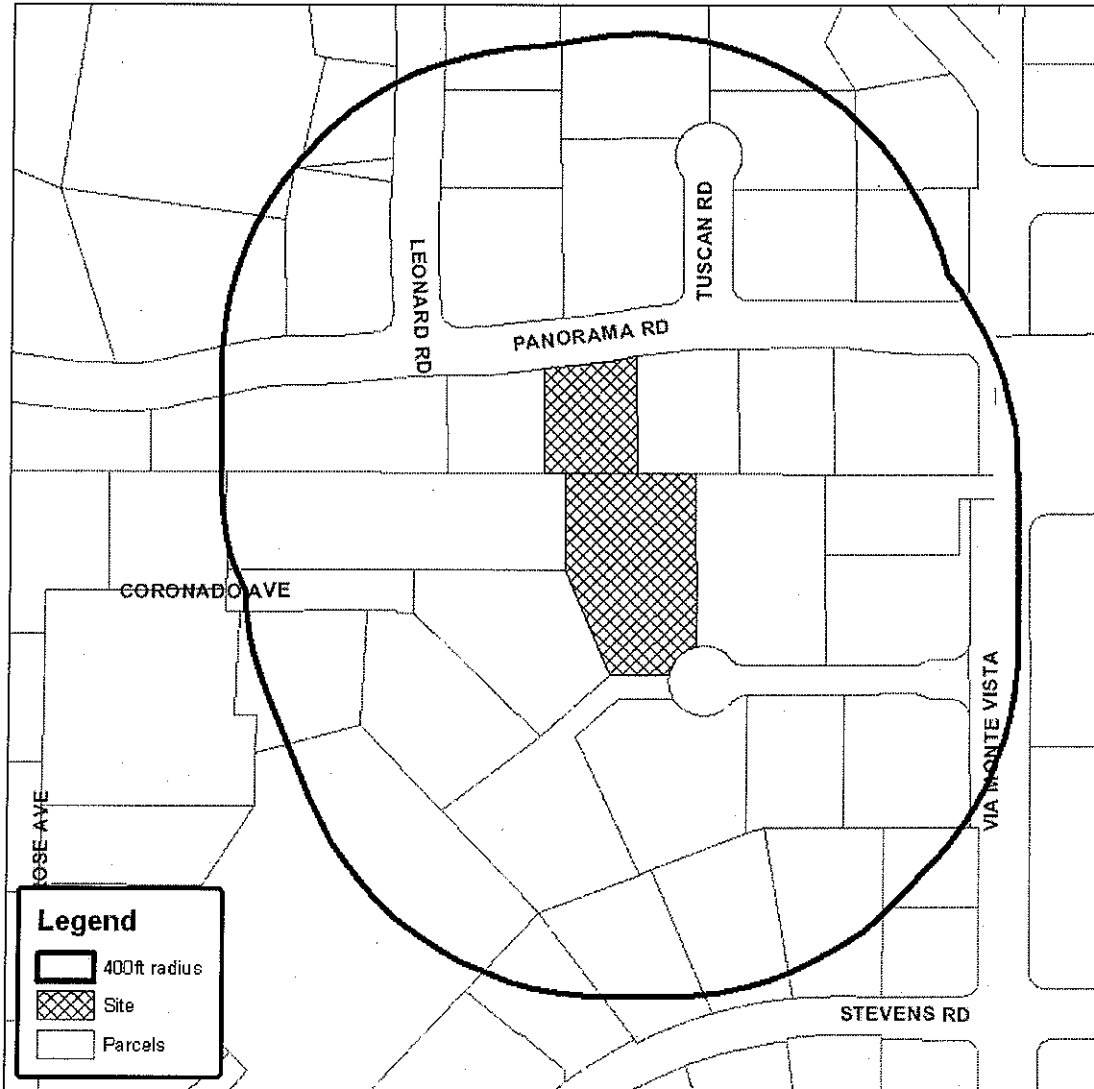
Margo Wheeler, AICP  
Director of Planning Services

**Attachments:**

- Vicinity Map
- Draft Resolution
- Exhibit A: Conditions of Approval
- Reductions of site plan and elevations



## Department of Planning Services Vicinity Map



### CITY OF PALM SPRINGS

CASE NO: 3.3614 SFR

APPLICANT: Linda Usher

DESCRIPTION: Site Plan approval of new construction on a hillside lot for a proposed single family residence at 801 Panorama; Zone R-1-A; Section 3 & 10. APNs 504-213-012 & 505-360-003



RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING CASE 3.3614 SFR; AN APPLICATION FOR SITE PLAN APPROVAL FOR CONSTRUCTION OF A ROUGHLY 5,238 SQUARE FOOT SINGLE FAMILY RESIDENCE ON A ROUGHLY 71,387 SQUARE FOOT HILLSIDE LOT AT 801 PANORAMA, APN504-213-012 AND 505-360-003, ZONE R-1-B;

WHEREAS, Linda Usher, (the "Applicant") has filed an application with the City pursuant to Section 94.04.00 of the Palm Springs Zoning Code (PSZC) for a single family residential application to allow the construction of a single family residence on a hillside lot at 801 Panorama Road, Zone R-1-B, , APN: 504-213-012 and 505-360-003; and

WHEREAS, on February 25, 2013, the Architectural Advisory Committee (AAC) reviewed the proposed project and voted unanimously to recommend approval of the project to the Planning Commission; and

WHEREAS, on May 8, 2013, a public meeting for Major Architectural Application Case 3.3614 SFR was held by the Planning Commission in accordance with applicable law; and

WHEREAS, the Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including but not limited to the staff report and all written and oral testimony presented.

THE PLANNING COMMISSION HEREBY FINDS AS FOLLOWS:

Section 1: Pursuant to the California Environmental Quality Act (CEQA) Guidelines, the project is a Class III exemption and is categorically exempt per Section 15303(a) (New single-family residence).

Section 2: Architectural Review is required for hillside development pursuant to zoning Code Section 94.04.00 (Architectural Review) and 94.13.00 (hillside development). Specific aspects of design have been examined to determine whether the proposed development will provide desirable environment for its occupants as well as being compatible with the character of adjacent and surrounding developments, and whether aesthetically it is of good composition, materials, textures and colors. Conformance is evaluated based on consideration of the following:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The project proposes a single family house with related landscaping and terraces surrounding a swimming pool. The project conforms to the setbacks and requirements for open space and yards. The landscaping is designed to maintain privacy while not blocking views. Staff has concluded the project conforms to this statement.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The project is located in a neighborhood of large custom designed homes, each individual in their design and orientation on the lots. The proposed house is complementary to the existing development, and is respectful of views from adjacent unbuilt lots. Staff believes the project conforms to this statement.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The proposed residence conforms to all setbacks, height limits, minimum and maximum area limits. Perimeter walls conform to the development standards of the Zoning Code. Therefore staff has concluded the project conforms to this statement.

4. *Building design, materials and colors to be sympathetic with desert surroundings; AND*
5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously,*  
*AND*
6. *Consistency of composition and treatment,*

The project is proposed in a contemporary architectural style. The materials and colors are warm hued colors considered to be complementary to the desert. Staff has concluded the project is consistent with these statements.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The project proposes mostly drought-tolerant plant species deemed appropriate to the desert environment. There are no landmark or specimen plants or trees on the site. The project is therefore deemed in conformance with this statement.

Furthermore, pursuant to Zoning Code Section 93.13.00 (B)(4a), in review of hillside development for architectural approval, the Planning Commission shall consider the following:

1. *Rock and soil exposure,*

The proposed development is located on two lots; one of which was previously landscaped by an adjacent homeowner and the second lot is in relatively undisturbed condition. Much of the site remains in its native rocky condition. A portion of the site, to the northwest was previously landscaped. Much of this landscaping will be preserved and rehabilitated.

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The proposed development minimizes the disturbance to the site to the area of the building pad and the area of the driveway and lawn areas previously developed with landscaping. Where possible, existing natural topography and vegetation remains undisturbed and a minimal amount of grading is proposed.

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The project proposes an "H-shaped" home on a flat portion of the site. The design is integrated into the site to maximize views and privacy.

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The lot is fully screened from Panorama road and parking areas are located so as not to be obtrusive to adjacent properties.

5. *Landscaping plans,*

The landscaping is proposed in plant palette that is desert-appropriate drought-tolerant and integrates some existing landscaped material where possible.

6. *Continuity with surrounding development,*

The existing surrounding development is eclectic in its architecture and landscaping. The proposed development is complementary to the surroundings in which it is located.

7. *Sensitivity to existing view corridors;*

The proposed development does not impact any known view corridors.

NOW, THEREFORE, BE IT RESOLVED that, based upon the foregoing, the Planning Commission hereby approves Case 3.3614 SFR; a 5,238 square foot single family home on a roughly 71,387 square foot lot located at 801 Panorama Road, subject to those conditions set forth in the attached Exhibit A, which are to be satisfied unless otherwise specified.

ADOPTED this 8<sup>th</sup> day of May, 2013.

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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Margo Wheeler, AICP  
Director of Planning Services

RESOLUTION NO. \_\_\_\_\_

**EXHIBIT A**

Case 3.3614 SFR

801 Panorama Road  
May 8, 2013

**CONDITIONS OF APPROVAL**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

**ADMINISTRATIVE CONDITIONS**

- ADM 1. Project Description. This approval is for the project described per Case 3.3614 SFR; except as modified with the conditions below;
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped April 20, 2013, including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.3614 SFR. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter

and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.
- ADM 8. Public Art Fees. This project shall be subject to Chapters 2.24 and 3.37 of the Municipal Code regarding public art. The project shall either provide public art or payment of an in lieu fee. In the case of the in-lieu fee, the fee shall be based upon the total building permit valuation as calculated pursuant to the valuation table in the Uniform Building Code, the fee being 1/2% for commercial projects or 1/4% for residential projects with first \$100,000 of total building permit valuation for individual single-family units exempt. Should the public art be located on the project site, said location shall be reviewed and approved by the Director of Planning and Zoning and the Public Arts Commission, and the property owner shall enter into a recorded agreement to maintain the art work and protect the public rights of access and viewing.

## **ENVIRONMENTAL ASSESSMENT CONDITIONS**

- ENV 1. Coachella Valley Multiple-Species Habitat Conservation Plan (CVMSHCP) Local Development Mitigation Fee (LDMF) required.

- ENV 2. Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA); therefore, an administrative fee of \$64 shall be submitted by the applicant in the form of a money order or a cashier's check payable to the Riverside County Clerk within two business days of the Commission's final action on the project. This fee shall be submitted by the City to the County Clerk with the Notice of Exemption. Action on this application shall not be considered final until such fee is paid (projects that are Categorically Exempt from CEQA).

#### **PLANNING DEPARTMENT CONDITIONS**

- PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.
- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 3. Flat Roof Requirements. Roof materials on flat roofs must conform to California Title 24 thermal standards for "Cool Roofs". Such roofs must have a minimum initial thermal emittance of 0.75 and minimum initial solar reflectance of 0.70. Only matte (non-specular) roofing is allowed in colors such as beige or tan.
- PLN 4. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 5. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.
- PLN 6. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.

- PLN 7. Pool Enclosure Approval Required. Details of fencing or walls around pools (material and color) and pool equipment areas shall be submitted for approval by the Planning Department prior to issuance of Building Permits.
- PLN 8. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 9. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 10. No off-site Parking. Vehicles associated with the operation of the proposed development including company vehicles or employees vehicles shall not be permitted to park off the proposed building site unless a parking management plan has been approved.
- PLN 11. (add any additional conditions imposed by the Planning Commission or City Council here)

#### **POLICE DEPARTMENT CONDITIONS**

- POL 1. Developer shall comply with Section II of Chapter 8.04 "Building Security Codes" of the Palm Springs Municipal Code.

#### **BUILDING DEPARTMENT CONDITIONS**

- BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

#### **ENGINEERING DEPARTMENT CONDITIONS**

The Engineering Division recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

#### **STREETS**

- ENG 1. The Engineering Division recommends deferral of off-site improvement items (identified as "**Deferred**") at this time due to lack of full improvements in the immediate area. The owner shall execute a street improvement covenant agreeing to construct all required street improvements upon the request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner(s) prior to approval of the Grading Plan or issuance of grading or building permits. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify



current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.

- ENG 2. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit.
- ENG 3. Submit street improvement plans prepared by a registered California civil engineer to the Engineering Division. The plan(s) shall be approved by the City Engineer prior to issuance of any building permits. **Deferred**

#### PANORAMA ROAD

- ENG 4. Construct a 6 inch curb and gutter, 18 feet south of centerline along the entire frontage, in accordance with City of Palm Springs Standard Drawing No. 200. **Deferred**
- ENG 5. Construct a 6 inch concrete driveway at the proposed vehicle gate location, from the property line to the existing edge of pavement, unless otherwise approved by the City Engineer.
- ENG 6. Construct a driveway approach at the proposed vehicle gate location in accordance with City of Palm Springs Standard Drawing No. 201. **Deferred**
- ENG 7. Construct a 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210. **Deferred**
- ENG 8. Construct pavement with a minimum pavement section of 2-1/2 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, from edge of proposed gutter to clean sawcut edge of pavement along the entire Panorama Road frontage in accordance with City of Palm Springs Standard Drawing No. 110 and 300. If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval. **Deferred**
- ENG 9. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

#### LAS PALMAS HEIGHTS

- ENG 10. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

## ON-SITE

- ENG 11. The proposed rock wall along the north property line shall be reviewed and approved by the City prior to issuance of building permit to construct rock wall.
- ENG 12. The proposed rock retaining wall around the proposed swimming pool shall be reviewed and approved by the City prior to issuance of building permit to construct rock retaining wall.

## SANITARY SEWER

- ENG 13. All sanitary facilities shall be connected to the public sewer system in Las Palmas Heights. The existing sewer service to the property shall be used for new sanitary facilities. New laterals shall not be connected at manholes.

## GRADING

- ENG 14. Submit cut and fill quantities to City Engineer to determine if a Grading Plan is required. If required, the Grading Plan shall be submitted to the Engineering Division for review and approval by the City Engineer prior to issuance of grading permit. If the earthwork quantity is less than 50 cubic yards, a formal grading plan is not required. To qualify for the exemption, a signed original written statement of design earthwork quantities from the owner (or design professional, prepared on company letterhead) shall be provided to the Engineering Division. Exemption of a formal Grading Plan reviewed and approved by the City Engineer does not exempt the applicant from a site grading plan that may be required from the Building Department, or any other requirement that may be necessary to satisfy the California Building Code.
- a. Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Division for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Division with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with

the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Division prior to approval of the Grading plan.

- b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report.

- ENG 15. Prior to approval of a Grading Plan or issuance of any permit, the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist. The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at (760) 699-6800, to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.
- ENG 16. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 17. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 18. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 19. Contact Desert Water Agency at (760) 323-4971 Ext. 146 to determine impacts to any existing Whitewater Mutual Water Company water lines and other facilities that may be located within the property if any. Make appropriate arrangements to protect in place or relocate any facilities that are impacted by the development. A letter of approval for relocated or adjusted facilities from Desert Water Agency shall be submitted to the Engineering Division prior to approval of the Grading Plan.
- ENG 20. Prior to issuance of grading permit, the applicant shall provide verification to the City that the fee has been paid to the Agua Caliente Band of Cahuilla Indians in

accordance with the Tribal Habitat Conservation Plan (THCP), for that parcel identified by Assessor's Parcel No. 505-360-003 (with frontage on Las Palmas Heights).

- ENG 21. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters (on Las Palmas Heights).
- ENG 22. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters (on Panorama Road). **Deferred**
- ENG 23. A Notice of Intent (NOI) to comply with the California General Construction Stormwater Permit (Water Quality Order 2009-0009-DWQ as modified September 2, 2009) is required for the proposed development via the California Regional Water Quality Control Board online SMARTS system. A copy of the executed letter issuing a Waste Discharge Identification (WDID) number shall be provided to the City Engineer prior to issuance of a grading or building permit.
- ENG 24. Projects causing soil disturbance of one acre or more, must comply with the General Permit for Stormwater Discharges Associated with Construction Activity, and shall prepare and implement a stormwater pollution prevention plan (SWPPP). As of September 4, 2012, all SWPPPs shall include a post-construction management plan (including Best Management Practices) in accordance with the current Construction General Permit. A copy of the up-to-date SWPPP shall be kept at the project site and be available for review upon request.
- ENG 25. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of two thousand dollars (\$2,000.00) per disturbed acre at the time of issuance of grading or building permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 26. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Division with the first submittal of a grading plan (if required).
- ENG 27. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. No

certificate of occupancy will be issued until the required certification is provided to the City Engineer.

- ENG 28. The applicant shall provide pad elevation certifications for all building pads in conformance with the approved grading plan, to the Engineering Division prior to construction of any building foundation.
- ENG 29. In cooperation with the Riverside County Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (RIFA Form CA-1) prior to approval of the Grading Plan. The California Department of Food and Agriculture office is located at 73-710 Fred Waring Drive, Palm Desert (Phone: 760-776-8208).

#### DRAINAGE

- ENG 30. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMP's).
- ENG 31. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property. Provide a hydrology study to determine the volume of increased stormwater runoff due to development of the site, and to determine required stormwater runoff mitigation measures for the proposed development. Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and approval of the hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study. No more than 40-50% of the street frontage parkway/setback areas should be designed as retention basins. On-site open space, in conjunction with dry wells and other subsurface solutions should be considered as alternatives to using landscaped parkways for on-site retention.
- ENG 32. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$9,212.00 per acre for that parcel identified by Assessor's Parcel No. (APN) 505-360-003 and is \$6,511.00 per acre for that parcel identified by APN 504-213-012, in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

## GENERAL

- ENG 33. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115. The developer shall be responsible for removing, grinding, paving and/or overlaying existing asphalt concrete pavement of off-site streets as required by and at the discretion of the City Engineer, including additional pavement repairs to pavement repairs made by utility companies for utilities installed for the benefit of the proposed development (i.e. Desert Water Agency, Southern California Edison, Southern California Gas Company, Time Warner, Verizon, etc.). Multiple excavations, trenches, and other street cuts within existing asphalt concrete pavement of off-site streets required by the proposed development may require complete grinding and asphalt concrete overlay of the affected off-site streets, at the discretion of the City Engineer. The pavement condition of the existing off-site streets shall be returned to a condition equal to or better than existed prior to construction of the proposed development.
- ENG 34. All proposed utility lines shall be installed underground.
- ENG 35. The record property owner(s) shall enter into a covenant agreeing to underground all of the existing overhead utilities required by the Municipal Code in the future upon request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner and submitted to the City Engineer prior to issuance of a grading or building permit. A current title report or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.
- ENG 36. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 37. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 38. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Division prior to issuance of a final certificate of occupancy. Any modifications or changes to

approved improvement plans shall be submitted to the City Engineer for approval prior to construction.

- ENG 39. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 40. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.
- ENG 41. That parcel identified by Assessor's Parcel No. 504-213-012 is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

#### TRAFFIC

- ENG 42. A minimum of 48 inches of clearance for handicap accessibility shall be provided on public sidewalks or pedestrian paths of travel within the development. **Deferred**
- ENG 43. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices for Streets and Highways, dated January 13, 2012, or subsequent editions in force at the time of construction.
- ENG 44. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

#### FIRE DEPARTMENT CONDITIONS

These Fire Department conditions may not provide all requirements. Detailed plans are still required for review.

#### GENERAL CONDITIONS

These Fire Department conditions may not provide all requirements. Detailed plans are still required for review.

- FID 1        These conditions are subject to final plan check and review. Initial fire department conditions have been determined on the site plan dated November 26, 2012. Additional requirements may be required at that time based on revisions to site plans.

FID 2 Fire Department Conditions were based on the 2010 California Fire Code. Four complete sets of plans for private fire service mains, fire alarm, or fire sprinkler systems must be submitted at time of the building plan submittal.

FID 3 **Plot Plan:** Prior to completion of the project, an 8.5"x11" plot plan or drawing, and an electronic version in an industry standard file format capable of being used in a geographical information system (GIS) preferably an ESRI shape file(s) shall be provided to the fire department. The GIS file shall be projected in the California State Plane Zone VI coordinate system and capable of being re-projected into the North American Datum 1983 coordinate system. PDF files by themselves will not meet this requirement. The GIS and ESRI shape file(s) shall clearly show all access points, fire hydrants, KNOX™ box locations, fire department connections, dwelling unit or suite identifiers, main electrical panel location(s), sprinkler riser and fire alarm locations. Industry standard symbols used in emergency management and pre-fire planning are encouraged. Large projects may require more than one page. AutoCAD files will be accepted but must be approved prior to acceptance.

FID 4 **PLANS AND PERMITS**

When there are significant changes in occupancy, water supply, storage heights, type, and quantity of storage, storage configurations, Tenant Improvements or any other changes which may affect the fire sprinkler system design, the owner, tenant or contractor shall submit plans and secure permits.

Complete plans for private fire service mains or fire sprinkler systems should be submitted for approval well in advance of installation. Plan reviews can take up to 20 working days. Submit a minimum of four (4) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain two sets.

Plans shall be submitted to:

**City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262**

**Counter Hours: M – TH, 8:00 AM – 11:00 AM and 2:00 PM – 6:00 PM**

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. The minimum fee is \$ 208.00. These fees are established by Resolution of the Palm Springs City Council.



Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall indicate all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supportive data (calculations and manufacturer's technical data sheets) shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

Plot Plan: Prior to completion of the project, a 8.5"x11" plot plan and an electronic CAD version shall be provided to the fire department. This shall clearly show all access points, fire hydrants, knox box locations, fire department connections, unit identifiers, main electrical panel locations, sprinkler riser and fire alarm locations. Large projects may require more than one page.

**FID 5**      **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13'6". Fire Department access roads shall have an all weather driving surface and support a minimum weight of 73,000 lbs.

**FID 6**      **Access Road Dimensions (CFC 503.2.1):** Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13'6". Fire Department access roads shall have an all weather driving surface and support a minimum weight of 73,000 lbs.

**FID 7**      **Fire Apparatus Access Gates (8.04.260 PSMC):** Entrance gates shall have a clear width of at least 15 feet and be equipped with a frangible chain and padlock.

**FID 8**      **Fire Department Access:** Fire Department Access Roads shall be provided and maintained in accordance with (Sections 503 CFC)

- **Minimum Access Road Dimensions:**

1. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, a greater width for private streets may be required by the City engineer to address traffic engineering, parking, and other issues. The Palm Springs Fire Department requirements for two-way private

streets, is a **minimum width of 24 feet** is required for this project, unless otherwise allowed by the City engineer. No parking shall be allowed in either side of the roadway.

2. Roads must be 30 feet wide when parking is not allowed on only one side of the roadway.
3. Roads must be 40 feet wide when parking is not restricted.

**FID 9 Premises Identification (505.1):** New and existing buildings shall have *approved* address numbers, building numbers or *approved* building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches high for R-3 occupancies and 6" - 12" for all other occupancies depending on distance from street with a minimum stroke width of 0.5 inch. Where access is by means of a private road and the building cannot be viewed from the *public way*, a monument, pole or other sign or means shall be used to identify the structure.

**FID 10 NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2010 Edition, as modified by local ordinance. The contractor should submit fire sprinkler plans as soon as possible. No portion of the fire sprinkler system may be installed prior to plan approval.

**FID 11 Fire Hydrant Flow and Number of Fire Hydrants (CFC 508.5):** Fire hydrants shall be provided in accordance with CFC Appendix B, Fire Flow Requirements for Buildings, for the protection of buildings, or portions of buildings, hereafter constructed. The required fire hydrant flow for this project is 1000 gallons per minute (sprinklered) (CFC Appendix B). One fire hydrant must be available within 250 feet from any point on your lot street frontage. (CFC Appendix C)

**FID 12 Residential Smoke and Carbon Monoxide Alarms Installation with Fire Sprinklers (CFC 907.2.10.1.2, 907.2.10.2 & 907.2.10.3; CRC R315):** Provide and install Residential Smoke and Carbon Monoxide Alarms (Kidde SM120X Relay / Power Supply Module connected to multi-station Kidde smoke and carbon monoxide alarms or equal system and fire sprinkler flow switch). Alarms shall receive their primary power from the building wiring, and shall be equipped with a battery backup. In new construction, alarms shall be interconnected so that operation of any smoke alarm, carbon monoxide alarm or fire sprinkler flow switch causes

all smoke and carbon monoxide alarms within the dwelling to sound and activate the exterior horn/strobe.

The wiring of this system shall be in accordance with Kidde SM120X Relay / Power Supply Module manual and Figure 2 (see attached). The 120 volt device wired to turn on when alarm sounds is the exterior horn / strobe. The pull for fire device is the fire sprinkler flow switch.

- FID 13      **Additional Residential Smoke Alarm Requirements (NFPA 72: 29.5.1.3):** Where the interior floor area for a given level of a dwelling unit, excluding garage areas, is greater than 1,000 Sq. Ft., the additional requirements are that all points on the ceiling shall have:
- a.      A smoke alarm within a distance of 30 ft travel distance or
  - b.      An equivalent of one smoke alarm per 500 Sq. Ft. of floor area.

One smoke alarm per 500 Sq. Ft. is evaluated by dividing the total interior square footage of floor area per level by 500 Sq. Ft.

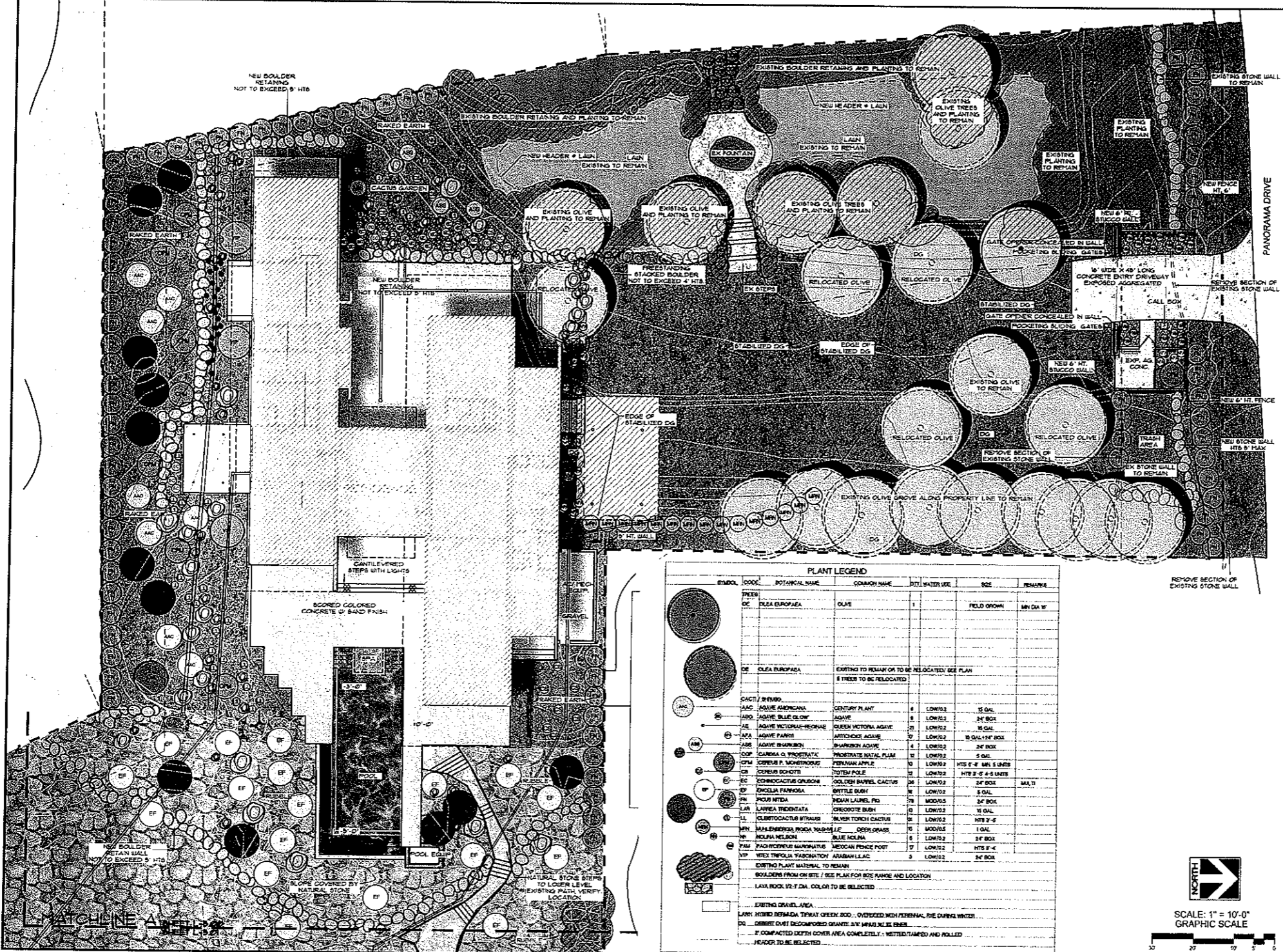
- FID 14      **Carbon Monoxide Alarm or Detector Locations (NFPA 720: 9.4.1.1 & 9.4.1.2; CRC R315.3):** Carbon monoxide alarms or detectors shall be installed as follows:
- (1) Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedrooms
  - (2) On every occupiable level of a dwelling unit, including basements, excluding attics and crawl spaces
  - (3) Other locations where required by applicable laws, codes, or standards

Each alarm or detector shall be located on the wall, ceiling, or other location as specified in the manufacturer's published instructions that accompany the unit.

- FID 15      **Audible Residential Water Flow Alarms (CFC 903.4.2):** An approved audible sprinkler flow alarm (Wheelock horn/strobe # MT4-115-WH-VFR with WBB back box or equal) shall be provided on the exterior of the building in an approved location. The horn/strobe shall be outdoor rated.

**END OF CONDITIONS**





**RGA**  
 LANDSCAPE ARCHITECTS, INC.  
 73091 EL PASO, SUITE 210  
 PALM DESERT, CA 92260  
 (760) 569-3624 FAX  
 (760) 773-5615  
 E-MAIL: rga@rpa-pd.com

**PLANTING PLAN**  
**801 W. PANORAMA DR. HOUSE**  
 PALM SPRINGS, CA

**SPECIFICATIONS**

SHEET  BOOK

JOB CAPTAIN: RP  
 DRAWN: CC  
 CHECKED: -  
 PROJ. NO: R1241  
 DATE: 11-07-12  
 SCALE: 1"=10'-0"

**REVISIONS:**

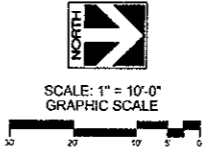
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**PLANT LEGEND**

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	HT	WATER USE	SIZE	REMARKS
(Circle with diagonal lines)	FEEN	FEEN					
(Circle with horizontal lines)	OC	OLEA EUROPAEA	OLIVE	1		FOLD GROWN	BY DA W
(Circle with vertical lines)	OC	OLEA EUROPAEA	EXISTING TO REMAIN OR TO BE RELOCATED SEE PLAN & NOTES TO BE RELOCATED				
(Circle with dots)	CACTI / BIVIND						
(Circle with diagonal lines)	AAC	AGAVE AMERICANA	CENTURY PLANT	8	LOW/02	15 GAL	
(Circle with horizontal lines)	AAD	AGAVE BLUE CLOW	AGAVE	8	LOW/02	24 BOX	
(Circle with vertical lines)	AIE	AGAVE VICTORIAN-RECONIA	QUEEN VICTORIA AGAVE	21	LOW/02	15 GAL	
(Circle with dots)	APA	AGAVE PAMPA	ARTICHOKE AGAVE	27	LOW/02	15 GAL/1" BOX	
(Circle with diagonal lines)	ABE	AGAVE BUNBURY	BUNBURY AGAVE	4	LOW/02	24 BOX	
(Circle with horizontal lines)	COF	CORONILLA P. PRESIDENTIA	PRESIDENTIAL PLUM	12	LOW/02	5 GAL	
(Circle with vertical lines)	COF	CORONILLA P. MONETROUSI	PERMANENT PLUM	10	LOW/02	HTS 2'-2" 4-8 UNITS	
(Circle with dots)	CS	CORONILLA BICHOITI	TOTEM POLE	12	LOW/02	HTS 2'-2" 4-8 UNITS	
(Circle with diagonal lines)	EC	ECHINOCACTUS GRONSONI	GOLDEN BAYBEL CACTUS	28	LOW/02	24 BOX	MULTI
(Circle with horizontal lines)	EP	ERIOGONIA FANFANOA	BITTLE BURN	18	LOW/02	5 GAL	
(Circle with vertical lines)	FM	FOCUS MEXICANA	MEXAN LAUREL	78	MOD/05	24 BOX	
(Circle with dots)	LAR	LARREA TRIDENTATA	CREOSOTE BUSH	12	LOW/02	15 GAL	
(Circle with diagonal lines)	LL	LEISTOCYCLUS BRITANNI	SILVER TORCH CACTUS	28	LOW/02	HTS 2'-2"	
(Circle with horizontal lines)	MPH	MILK BERRIES	QUEEN GRASS	15	MOD/05	1 GAL	
(Circle with vertical lines)	NE	NEOLYMA NELSONI	BLUE HOLMA	6	LOW/02	24 BOX	
(Circle with dots)	PAL	PACHYPLEURIS MANDRINATUS	MEDICAN FENCE POST	17	LOW/02	HTS 2'-2"	
(Circle with diagonal lines)	VP	VERDE TROPICAL FABRICATOY	ARABIAN LILAC	3	LOW/02	24 BOX	

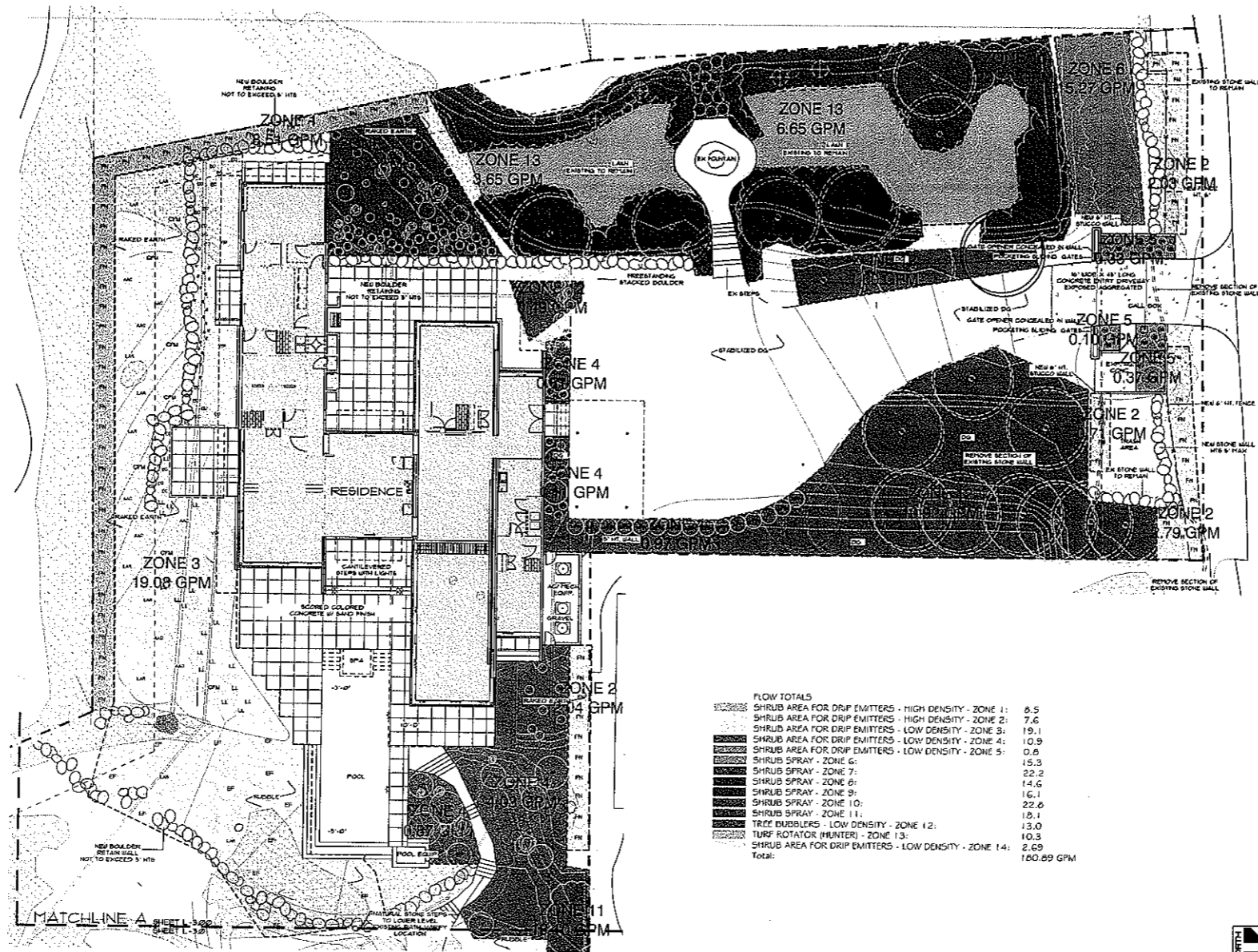
EXISTING PLANT MATERIAL TO REMAIN  
 BOLDERS FROM ON SITE / SEE PLAN FOR SIZE RANGE AND LOCATION  
 LAVA ROCK V2-V2 7/8 DIA. COLOR TO BE SELECTED

EXISTING GRAVEL AREA  
 LARK: HYBRID DEBRIDA TYPICAL GREEN BOD. OVERSEED WITH PERENNIAL. USE COUNCIL WATER.  
 DO: DEBRID CUNT DECOMPOSED GRANITE. 4" MAX. NO. 10. FINER.  
 F: COMPACTED DEPTH COVER AREA COMPLETELY. WETTED, TAMPED AND ROLLED  
 HEADER TO BE SELECTED



SHEET NO:  
**L-5.00**





FLOW TOTALS

SHRUB AREA FOR DRIP EMITTERS - HIGH DENSITY - ZONE 1:	6.5
SHRUB AREA FOR DRIP EMITTERS - HIGH DENSITY - ZONE 2:	7.6
SHRUB AREA FOR DRIP EMITTERS - LOW DENSITY - ZONE 3:	19.1
SHRUB AREA FOR DRIP EMITTERS - LOW DENSITY - ZONE 4:	10.9
SHRUB AREA FOR DRIP EMITTERS - LOW DENSITY - ZONE 5:	0.8
SHRUB SPRAY - ZONE 6:	15.3
SHRUB SPRAY - ZONE 7:	22.2
SHRUB SPRAY - ZONE 8:	14.6
SHRUB SPRAY - ZONE 9:	16.1
SHRUB SPRAY - ZONE 10:	22.6
SHRUB SPRAY - ZONE 11:	18.1
TREE BUBBLERS - LOW DENSITY - ZONE 12:	13.0
TURF ROTATORIX (HUNTERS) - ZONE 13:	10.3
SHRUB AREA FOR DRIP EMITTERS - LOW DENSITY - ZONE 14:	2.69
<b>Total:</b>	<b>160.89 GPM</b>



SCALE: 1" = 10'-0"  
GRAPHIC SCALE



DWA LANDSCAPE APPROVAL



LANDSCAPE ARCHITECTS, INC.  
7000 EL PASO, SUITE 210  
PALM DESERT, CA 92260  
PH: 951-344-3444 FAX:  
951-344-3444  
E-MAIL: rgainc@psd.com

IRRIGATION PLAN

801 W. PANORAMA DR. HOUSE  
PALM SPRINGS, CA

SHEET TITLE

PROJECT

SPECIFICATIONS

SHEET  BOOK

JOB CAPTAIN RP

DRAWN: LT

CHECKED:

PROJ. NO. R1241

DATE: 4/15/10

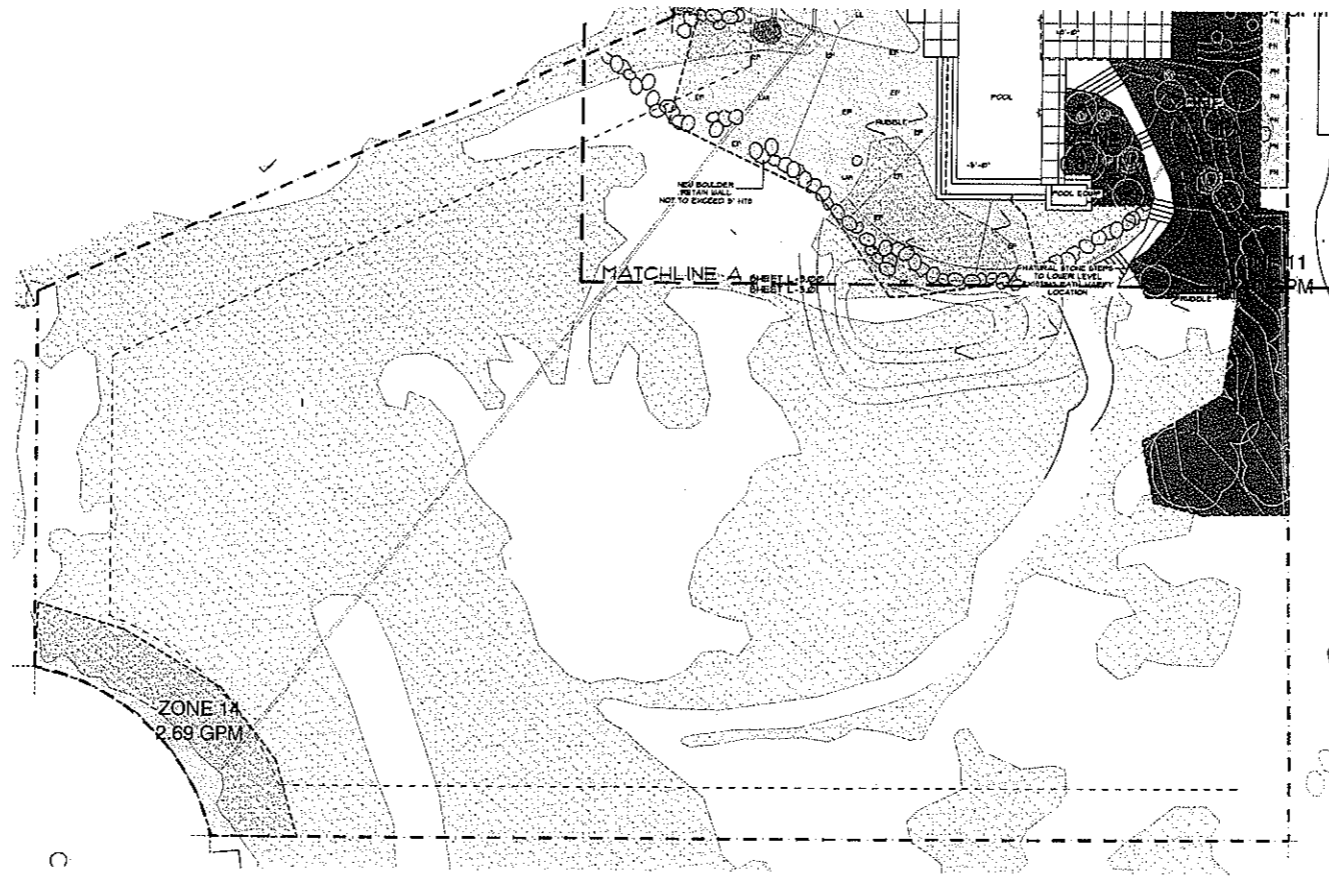
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REVISIONS:

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SHEET NO.

L-3.00



**RGA**  
 LANDSCAPE ARCHITECTS, INC.  
 72081 EL PASO, SUITE 210  
 PALM DESERT, CA 92260  
 (760) 348-3484 FAX  
 (760) 777-8882  
 E-MAIL: rgainc@earthlink.com

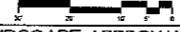
**IRRIGATION PLAN**  
 801 W. PANORAMA DR. HOUSE  
 PALM SPRINGS, CA

FLOW TOTALS

SHRUB AREA FOR DRIP EMITTERS - HIGH DENSITY - ZONE 1:	0.5
SHRUB AREA FOR DRIP EMITTERS - HIGH DENSITY - ZONE 2:	7.6
SHRUB AREA FOR DRIP EMITTERS - LOW DENSITY - ZONE 3:	19.1
SHRUB AREA FOR DRIP EMITTERS - LOW DENSITY - ZONE 4:	10.9
SHRUB AREA FOR DRIP EMITTERS - LOW DENSITY - ZONE 5:	0.8
SHRUB SPRAY - ZONE 6:	15.3
SHRUB SPRAY - ZONE 7:	22.2
SHRUB SPRAY - ZONE 8:	14.6
SHRUB SPRAY - ZONE 9:	16.1
SHRUB SPRAY - ZONE 10:	22.0
SHRUB SPRAY - ZONE 11:	18.1
TREE BUBBLERS - LOW DENSITY - ZONE 12:	13.0
TURF ROTATOR/IRROTATORS - ZONE 13:	10.3
SHRUB AREA FOR DRIP EMITTERS - LOW DENSITY - ZONE 14:	2.69
<b>Total:</b>	<b>160.69 GPM</b>



SCALE: 1" = 10'-0"  
 GRAPHIC SCALE



DWA LANDSCAPE APPROVAL

SPECIFICATIONS

SHEET  BOOK

JOB CAPTAIN: RP

DRAWN: LT

CHECKED:

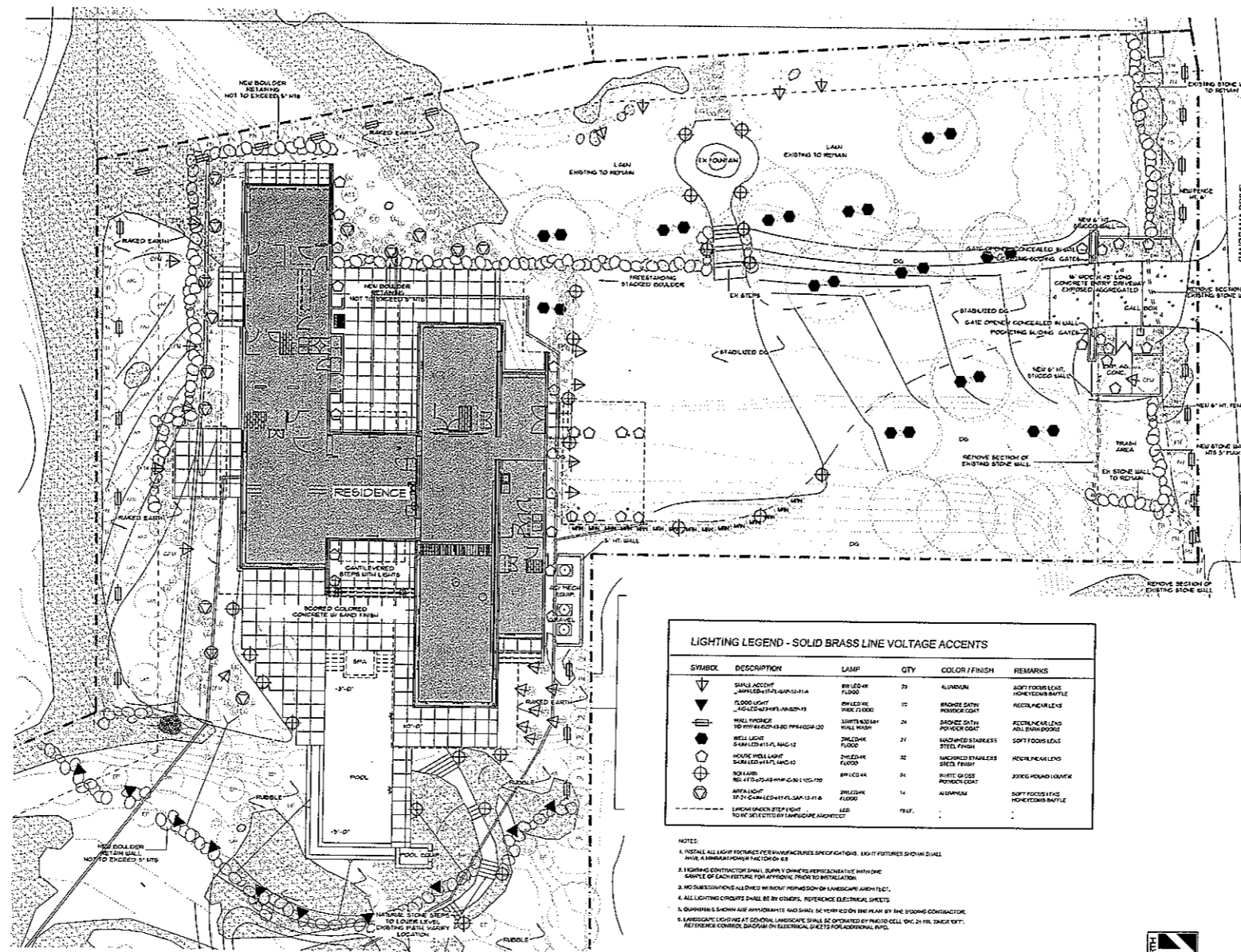
PROJ. NO: R1241

DATE: 4/15/10

SCALE: 1"=10'-0"

REVISIONS:	DATE:
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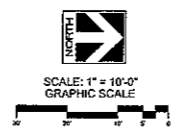
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**L-3.01**



**LIGHTING LEGEND - SOLID BRASS LINE VOLTAGE ACCENTS**

SYMBOL	DESCRIPTION	LAMP	QTY	COLOR / FINISH	REMARKS
▽	SMALL ACCENT LAMP LENS #17FL-AMPH-1211-A	BR-LED-4W FLUO-0	29	ALUMINUM	SOFT FOCUS LENS HONEYCOMB BATTLE
▽	FLOOR LIGHT #14-LED-437FL-AMPH-11	BR-LED-4W TRK-FL-000	22	BRASS BATH POURER CAST	RECTANGULAR LENS
●	WALL WASHING NO. 107FL-AMPH-180 PPH-4324-20	30WTR-LED-30W WALL WASH	24	BRASS BATH POURER CAST	RECTANGULAR LENS HONEYCOMB BATTLE
●	WELL LIGHT #14-LED-437FL-AMPH-11	30WTR-LED-30W FLUO-0	21	BRASS BATH POURER CAST	SOFT FOCUS LENS
●	POURER WASHING #14-LED-437FL-AMPH-11	30WTR-LED-30W FLUO-0	22	BRASS BATH POURER CAST	RECTANGULAR LENS HONEYCOMB BATTLE
●	NO. 107 #14-LED-437FL-AMPH-11	30WTR-LED-30W FLUO-0	24	BRASS BATH POURER CAST	RECTANGULAR LENS HONEYCOMB BATTLE
●	AREA LIGHT #14-LED-437FL-AMPH-11	30WTR-LED-30W FLUO-0	14	ALUMINUM	SOFT FOCUS LENS HONEYCOMB BATTLE
○	100 WATT #14-LED-437FL-AMPH-11	100WTR-LED-100W FLUO-0	TRUF.		

- NOTES:**
1. INSTALL ALL LIGHT FIXTURES PER MANUFACTURER'S SPECIFICATIONS. EXACT FIXTURES SHOWN SHALL HAVE A MINIMUM LUMEN FACTOR OF 85.
  2. LIGHTING CONTRACTOR SHALL SUPPLY DIMMER FOR RESIDENTIAL USE WITH ONE SAMPLE OF EACH FIXTURE FOR APPROVAL PRIOR TO INSTALLATION.
  3. NO SUBSTITUTIONS ALLOWED WITHOUT WRITTEN SIGN-OFF BY LANDSCAPE ARCHITECT.
  4. ALL LIGHTING FIXTURES SHALL BE BY OTHERS, REFERENCE ELECTRICAL SPEC'S.
  5. QUANTITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED ON THE PLAN BY THE VISUING CONTRACTOR.
  6. LANDSCAPE LIGHTING AT GENERAL LANDSCAPE SHALL BE OBTAINED BY PHOTO CELL OR 24 HR. TRIGGER UNIT. REFERENCE CONTROL DRAWING ON ELECTRICAL SPEC'S FOR ADDITIONAL INFO.



**RGA**  
 LANDSCAPE ARCHITECTS INC.  
 7700 EL PASO, SUITE 210  
 PALM SPRINGS, CA 92262  
 (760) 566-2644 FAX  
 (760) 775-6895  
 E-MAIL: rgainc@psnet.com

**LIGHTING PLAN**  
**801 W. PANORAMA DR. HOUSE**  
 PALM SPRINGS, CA

**SPECIFICATIONS**

SHEET  BOOK

JOB CAPTAIN: RP

DRAWN: OO

CHECKED:

PROJ. NO.: R1241

DATE: 4/15/13

SCALE: 1"=10'-0"

**REVISIONS:**

NO.	DATE	DESCRIPTION
1		
2		
3		
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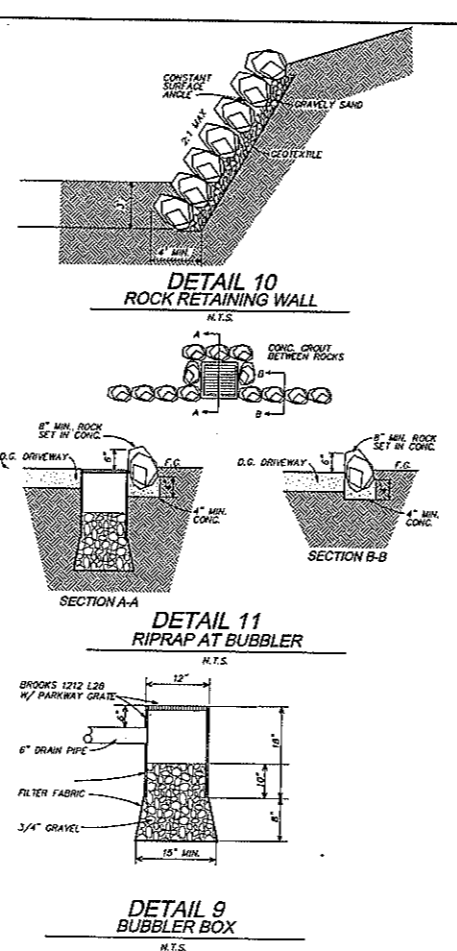
SHEET NO:  
**L-6.00**



IN THE CITY OF PALM SPRINGS, CALIFORNIA  
**PRECISE GRADING PLAN**  
PARCEL "A" PARCEL MERGER 12-03, RECORDED 12-06-12  
AS INSTRUMENT NO. 2012-0592403

- ### GRADING PLAN GENERAL NOTES
- The work shall be done in accordance with the Standard Drawings of the City of Palm Springs and the Standard Specifications for Public Works Construction, 2012 Edition.
  - The Contractor shall be responsible for providing an effective means of dust control which shall provide protection for adjacent properties during the grading process and provisions for containment of dust shall be provided until the ground surface presents sufficient cover against wind or water erosion so that specified dust control measures are no longer necessary.
  - Unless in these Plans shall require the Contractor from obtaining permits as required by Chapter 14.10 of the City of Palm Springs Municipal Code.
  - The Contractor shall set an appointment for inspection with the engineering inspector a minimum of 24 hours prior to the date of inspection.
  - All grading shall comply with Section 1004 and Appendix J of the 2010 California Building Code.
  - The location of existing underground utilities are to be shown as a schematic manner only. Subject to the provisions of Section 4210 of the California Government Code, the Contractor shall determine the exact location of all existing utilities before commencing the work. Contact the Underground Service Alert (USA) at 1-800-227-2000 two working days prior to the construction.
  - Dimensioning to curbs shall be to face of curb.
  - Contractor shall dispose of all debris off-site duly, unless otherwise specified by the City Engineer.
  - Contractor shall remove any abandoned utility facilities and show limits of removal on the record drawings.
  - The Contractor shall be responsible for the removal, replacement or relocation of all regulatory, warning and guide signs.
  - A "Record Drawing" (formerly called "As-Built" Drawing) of this Plan shall be submitted by the Project Engineer of record to the City Engineer, for approval prior to acceptance of the work.
  - Construction lighting, shoring and bracing shall be provided on all projects as required by City Standards or as directed by the City Engineer. As a minimum, all construction lighting and shoring shall be in accordance with Part 15 "Temporary Traffic Control" of the California Manual of Uniform Traffic Control Devices for Streets and Highways, dated January 13, 2012, or subsequent editions in force at the time of construction.
  - The flow line of all curb and gutters and cross gutters shall be water tested before acceptance of the work.
  - Parking stalls shall be sloped to match with a 4 to 6 inch slope "herring" or sloped to "U" design or other approved sloping or flow direction.
  - Final site grading and drainage flow lines shall be certified in writing by the Engineer of Record to be in conformance to the approved grading plan PRIOR TO FINAL INSPECTION.
  - For projects in excess of 1 acre, a notice of intent to comply with California General Construction Stormwater Permit (Water Quality Order 2009-1009-DWC) or modified September 2, 2009, in full or a copy of the notice of intent along with a Stormwater Pollution Prevention Plan (SWPPP) shall be submitted to the City Engineer. A detailed copy of the project-specific Stormwater Pollution Prevention Plan (SWPPP) shall be kept at the project site at all times.
  - A city approved fugitive dust (PM-10) control plan is required prior to issuance of a grading permit. All dust control measures described in ADWD Rule 403 (BEST AVAILABLE CONTROL MEASURES) and in the city-approved fugitive dust control plan shall be implemented at all times.
  - A wind fence and proper signage shall be erected, inspected and approved by the City's Dust Control Inspector prior to initiation of grading, grading or import/export of soil or fill material at the site (limit to 7:00 AM-3:30 PM, extension 8:00 AM for inspection 72 hours prior to initiating work will result in issuance of citation by the City).
  - The block walls, retaining walls, and other structures shown on the grading plan are for location purposes only. Separate permits for the above are required from the Building Department.
  - All problems of the preliminary soil report dated 8/21/12 prepared by Stinson Engineering, report #14-12114 shall be completed with.
- ### STREET PAVEMENT
- The asphalt concrete design shall meet the City of Palm Springs Std. Div. No. 110 and Standard Specifications for Public Works Construction, 2012 Edition, use Type B for the base bit and Type C2 for the final 1" top. The Performance Grade shall be PG-70 (VI) meeting the 2010 California Standard Specifications for Highways. The specified miscellaneous base and subgrade shall be crushed miscellaneous base according to the Standard Specifications for Public Works Construction, 2012 Edition.
- ### TRENCH PAVEMENT
- Street shall be paved with temporary A.C. paving immediately. Major and Secondary Thoroughfares shall be paved with a minimum 15 days at the final location (20 days on collector and residential streets) per City of Palm Springs Std. Div. No. 113. See Ordinance No. 14,16,372.
- ### SEWERAGE
- Trenches shall be installed and completed to support traffic at the end of each work day. The Contractor shall place permanent pavement through interlocking pipe, (1) 12" x 12" x 12" concrete manhole or collector inlets with approval of the City Engineer, contractor shall place permanent manhole cover (12" x 12" x 12") on the end of each work day.
  - If in the opinion of the City Engineer, the trench backfill is unsafe to traffic, the Contractor shall place trench paving at the end of each work day.
  - Street trench paving shall conform to California Encroachment Permit Manual Sec. 502.1 as revised July, 2009.
  - The specific miscellaneous base shall be crushed miscellaneous base according to the Standard Specifications for Public Works Construction, 2012 Edition.
- ### SWAMP GENERAL NOTES
- Erosion control Best Management Practices (BMPs) shall be implemented and maintained to minimize and/or prevent the entrainment of soil in runoff from disturbed soil areas on construction sites.
  - Sediment control BMP's shall be implemented and maintained to prevent and/or minimize the transport of soil from the construction site.
  - Stockpiles of soil shall be properly contained to eliminate or reduce sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.
  - Appropriate BMPs for construction-related materials, waste, spills or residues shall be implemented to eliminate or reduce transport from the site to streets, drainage facilities, or adjacent properties by wind or runoff.
  - BMPs shall be inspected prior to predicted storm events and following storm events, and shall be properly maintained.
  - Runoff from equipment and vehicle washing shall be contained at construction site and must not be discharged to receiving waters, adjacent roadways, catch basins, or other components of the local storm drain system.
  - All construction contractor and subcontractor personnel are to be made aware of the required best management practices and good housekeeping measures for the project site and any associated construction staging areas.
  - At the end of each day of construction activity, all construction debris and waste materials shall be collected and properly disposed of in covered trash or recycle bins.
  - Construction sites shall be maintained in such a condition that a storm does not carry wastes or pollutants off the site. Discharges other than stormwater (i.e., non-stormwater discharges) are prohibited, except as outlined by an individual National Pollution Discharge Elimination System (NPDES) permit, the General Permit for Stormwater Discharges Associated with Construction Activity from Small Linear Underground/Overhead Projects, Potential Discharges Associated with Construction Activity from Small Linear Underground/Overhead Projects, Potential Discharges from Stormwater Discharges, or the General Permit for Stormwater Discharges Associated with Construction Activity from Small Linear Underground/Overhead Projects. Potential pollutants include but are not limited to: soil or liquid chemical spills; wastes from paints, stains, sealants, solvents, detergents, glues, lime, pesticides, herbicides, fertilizers, wood preservatives, asbestos fibers, paint, latex or sludge from hydraulic, pneumatic, and hydraulic, radiator or battery fluids; concrete and related casting or curing residues; concrete washout; shalable wastes from engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning; and super-saturated potable water from line flushing or cleaning. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site, physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
  - Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging non-contaminated groundwater produced by dewatering activities may require a National Pollution Discharge Elimination System (NPDES) permit or Waste Discharge Requirements (WDR) issued by the Colorado River Basin Regional Water Quality Control Board.
  - Construction sites shall be managed to minimize the exposure time of disturbed soil areas through phasing and scheduling of grading to the extent feasible and the use of temporary and permanent soil stabilization.
- ### UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THIS PLAN WILL NOT BE RESPONSIBLE FOR USES OR MODIFICATIONS MADE TO OR IN THIS PLAN. ALL CHANGES TO THIS PLAN MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THIS PLAN.
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- SANBORN A/E, INC.  
7100 SAN JACINTO DR.  
IRVINE, CALIF. 92618  
TEL: (714) 231-2600  
FAX: (714) 231-2600  
WWW.SANBORN.COM

PROJECT DATA	
OWNER/CONTACT:	LINDA W. JENSEN CHARITABLE TRUST 333 S. DEFRANCO ST. CHICAGO, IL 60651
ENGINEER:	SANBORN A/E, INC. 7100 SAN JACINTO DR. BLDG. C-1 IRVINE, CALIF. 92618 (714) 231-2600
PERMITS REQUIRED:	GRADING PERMIT P.M. 10 WALL PERMIT
UTILITIES:	
ELECTRIC:	SO. CALIFORNIA EDISON 780-202-4291
GAS:	SO. CALIFORNIA GAS CO. 760-324-6591 ATTN: DEBTRUM WILLIAMS
TELEPHONE:	VERIZON 760-778-3601 ATTN: LARRY MOORE
TELEVISION:	TIME WARNER 760-874-5452 ATTN: DAVE SCHWABER
SEWER:	VECLA WATER 760-523-6556 J2 ATTN: GARY GRAY
WATER:	DESERT WATER AGENCY 760-324-6271 ATTN: DEBBIE RANDALL
BASIS OF BEARINGS:	
NORTH LINE (LOTS 1-3 OF TRACT 27680, N.B. 345/76-77 BEING N 89°25'35" E.	
TOPOGRAPHY:	
SANBORN A/E, INC. - JUNE 2012	
ASSESSOR'S PARCEL NO.	
504-213-012 & 505-350-003	
EARTHWORK QUANTITIES	
NOTE: THESE ARE AN ESTIMATE ONLY. CONTRACTOR IS RESPONSIBLE TO PREPARE HIS OWN ESTIMATES FOR THE PURPOSE OF BIDDING. QUANTITIES DO NOT INCLUDE SUBGRADE, SHORING, COMPACTION OR SUBSEQUENT LOSSES.	
NOTE: A RED IMPORTED FILL AND CLEARANCE REQUIRED FOR ALL EXPORTED MATERIAL	
CUT	FILL
560 C.Y.	110 C.Y.
LEGAL DESCRIPTION	
PARCEL "A" PARCEL MERGER 12-03, RECORDED 12-06-12 AS INSTRUMENT NO. 2012-0592403, RIVERSIDE COUNTY RECORDS, BEING PARCEL 1 OF LOT LINE ADJUSTMENT 11-02, RECORDED AUGUST 1, 2011 AS INSTRUMENT NO. 2011-0334736 AND LOT 3 OF TRACT NO. 27680, N.B. 345/76-77.	
VICINITY MAP/LOCATION MAP	
LEGEND	
RF	INDICATES FAD ELEVATION
FL	INDICATES FLORELINE
FS	INDICATES FINISH SURFACE OTHER THAN CURB
FF	INDICATES FINISH FLOOR
FW	INDICATES TOP OF ROCK RETAINING WALL
FW	INDICATES TOP OF WALL
FG	INDICATES FINISH GRADE
HW	INDICATES HIGHWAY
B.S.L.	INDICATES BUILDING SETBACK LINE
GD	INDICATES GRAVEL DRIVEWAY
CON	INDICATES CONCRETE
CON	INDICATES CMU WALLS
STEP	INDICATES STEP IN FINISH FLOOR



### CONSTRUCTION NOTES AND QUANTITIES:

NOTE: THESE ESTIMATES ARE FOR PERMIT USE ONLY. CONTRACTOR IS RESPONSIBLE TO PREPARE HIS OWN ESTIMATES FOR THE PURPOSE OF HIS BIDDING.

1	4" P.C.C. CONC. DRIVE (SEE ARCHITECT'S PLAN FOR FINISH)	720	S.F.
2	4" P.C.C. CONC. (SEE ARCHITECT'S PLAN FOR FINISH)	-	S.F.
3	1" COMPACTED DECOMPOSED GRANITE / POLYMERIZED SOIL STABILIZER OR APPROVED EQUAL	-	S.F.
4	4" AT-8M DRAIN, MD 78 S	11	EA.
5	4" SQUARE GRATE MD 78 S	3	EA.
6	4" ROUND BRASS GRATE, MD 810 B	3	EA.
7	4" P.V.C. SCHEDULE 40 DRAIN LINE	218	L.F.
8	6" P.V.C. SCHEDULE 40 DRAIN LINE	171	L.F.
9	INSTALL BROOKS CB 1212 X 28 BUBBLER BOX / TRAFFIC GRATE, PER DETAIL 9	1	EA.
10	ROCK RETAINING WALL, PER DETAIL	-	L.S.
11	STONE CURB PER DETAIL	36	L.F.
12	4" SEMI SEWER LINE IN SAND BED	248	L.F.
13	4" CLEANSOUT	6	EA.
14	CONSTRUCT CMU WALL (BY SEPARATE PERMIT) SEE ARCH PLANS FOR DETAILS	6	L.F.
15	INSTALL RIPRAP PER DETAIL	6	S.F.

NOTE:  
1. CONTRACTOR SHALL OVEREXCAVATE OR OTHERWISE PREPARE SUBGRADE FOR FINISH PAVEMENT WITH SUFFICIENT ENGINEERS REPORT AND RECOMMENDATIONS.  
2. ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS PLAN.  
3. SURFACE WATER WILL DRAIN AWAY FROM BUILDING.  
4. FOR SEWER, WATER & GASLINE CONNECTIONS TO BUILDING SEE ARCHITECT'S PLANS (EXISTING).  
5. ALL FREESTANDING ROCK WALLS TO BE CONSTRUCTED UNDER SEPARATE PERMIT.

### DRAIN OUTLET DETAIL

INSTALL 4" P.V.C. AT A MINIMUM SLOPE OF 1% INSTALL RIPRAP (A COMBINATION OF LARGE STONES & COBBLES) AT THE DISCHARGE END OF THE PIPE TO SPREAD OUT THE STORM RUNOFF UNIFORMLY OVER THE SURFACE OF THE GROUND.

### CONSTRUCTION NOTES AND QUANTITIES:

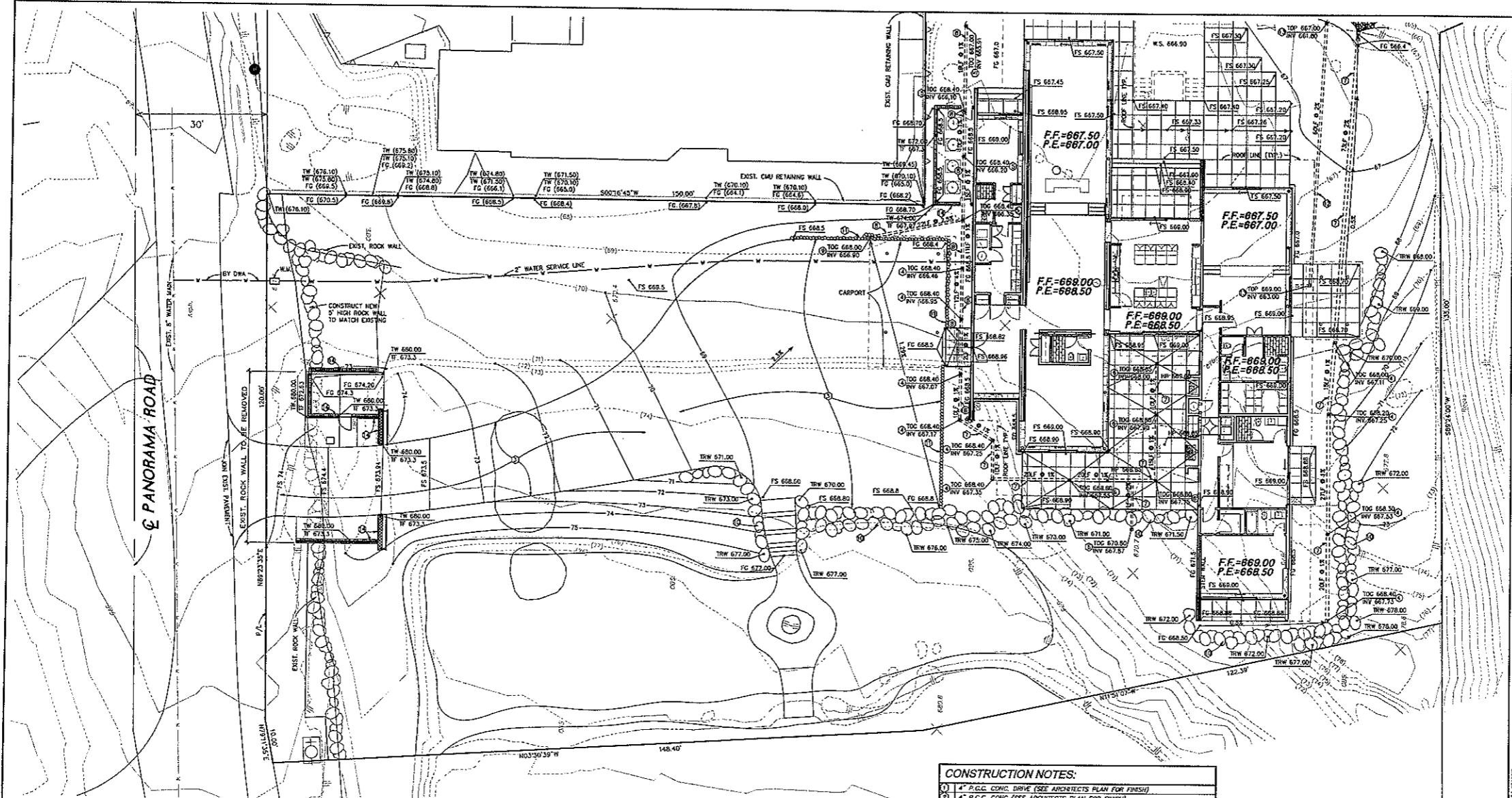
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5. ALL FREESTANDING ROCK WALLS TO BE CONSTRUCTED UNDER SEPARATE PERMIT.

"FOR REFERENCE ONLY" W.O.: 12-125

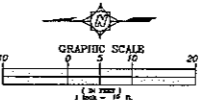
CITY OF PALM SPRINGS, CALIFORNIA			
GRADING PLAN FOR PARCEL "A" PARCEL MERGER 12-03 RECORDED DECEMBER 6, 2012 AS INSTRUMENT NO. 2012-0592403 IN SECTION 3 & 10, 14S, 14E, S.B.M.			
DRAWN BY:	DATE:	APPROVED BY:	SHEET
DAVID I. BARAKAT	DAVID I. BARAKAT	DAVID I. BARAKAT	1
CHECKED BY:	DATE:	CHECKED BY:	OF 3 SHEETS
R.C.E. MOH	DAVID I. BARAKAT	R.C.E. MOH	
DATE:	DATE:	DATE:	



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PRIVATE ENGINEERING NOTE:  
 CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES.

- CONSTRUCTION NOTES:**
- 1" 4" P.C.C. CONC. DRIVE (SEE ARCHITECT'S PLAN FOR FINISH)
  - 2" 4" P.C.C. CONC. (SEE ARCHITECT'S PLAN FOR FINISH)
  - 3" 4" COMPACTED DECOMPOSED GRANITE / POLYMERIZED SOIL STABILIZER OR APPROVED EQUAL
  - 4" ATSNM DRAIN, MDS 78 S
  - 4" SQUARE GRATE, MDS 3
  - 4" ROUND GRASS GRATE, MDS 912 B
  - 4" PVC SCHEDULE 40 DRAIN LINE
  - 6" PVC SCHEDULE 40 DRAIN LINE
  - INSTALL BROOKS CB 1212 X 28 CATCH BASIN / TRAFFIC GRATE, PER DETAIL 9
  - ROCK RETAINING WALL PER DETAIL
  - STONE CONC. PER DETAIL
  - 4" SDR SEWER LINE IN SAND BED
  - 4" CLEANOUT
  - CONSTRUCT C.M.U. WALL (BY SEPARATE PERMIT) SEE ARCH PLANS FOR DETAILS
  - INSTALL RIPRAP PER DETAIL



NO.	REVISION	DATE	BY	APPROVED BY

BRANCH MARK 3-23  
 ELEV. 827.61  
 LOCATION: RANCHO MIRAGE, SAN JUAN BAPTIST  
 1-800-227-2600

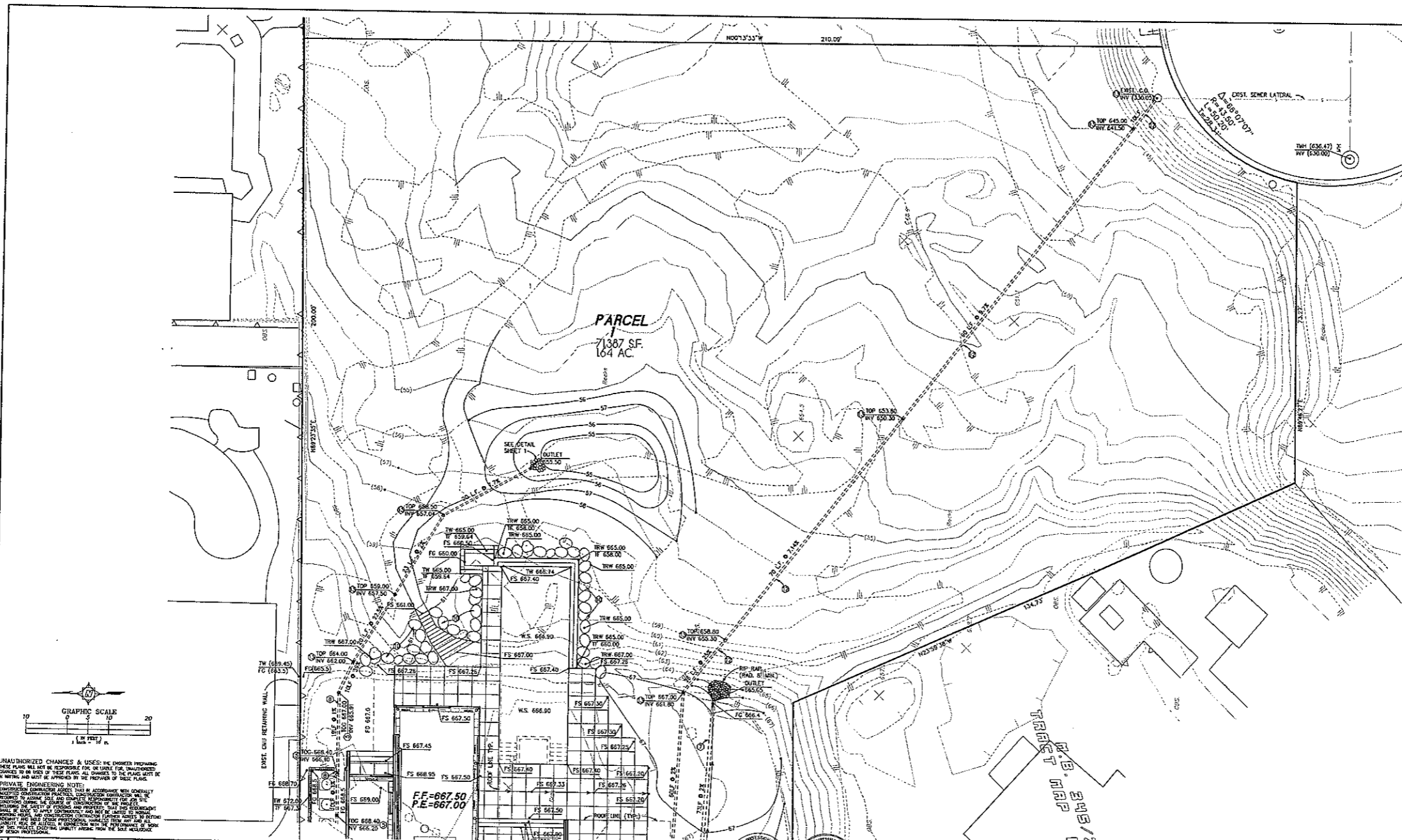
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PREPARED UNDER THE DIRECT SUPERVISION OF:  
 PETER C. ROUSE  
 DATE: 1/31/13

DESIGNED BY:  
 A.M.S.  
 CHECKED BY:  
 A.M.S.

CITY OF PALM SPRINGS, CALIFORNIA  
 GRADING PLAN FOR PARCEL "A"  
 PARCEL MERGER 12-03 RECORDED DECEMBER 6, 2012  
 AS INSTRUMENT NO. 2012-059403  
 IN SECTION 3 & 10, T4S, R4E, S1M

W.O.: 12-129  
 SHEET 2  
 OF 3 SHEETS



UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER OF RECORD.

PRIVATE ENGINEERING NOTE: THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO OBVIOUS OBSTRUCTIONS TO THE PROPOSED WORK. THE ENGINEER HAS ASSUMED THAT THE PROPERTY IS FREE OF ALL ENCUMBRANCES AND THAT THE PROPOSED WORK WILL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES. THE ENGINEER HAS NOT CONDUCTED A GEOTECHNICAL SURVEY OR FOUNDATION ANALYSIS AND IS NOT PROVIDING ANY GUARANTEE AS TO THE STABILITY OR PERFORMANCE OF THE PROPOSED WORK OR THE SOILS THEREUNDER.

NO.	REVISION	DATE	BY
	AS BUILT		

NO.	REVISION	DATE	BY

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11755 SAN JUAN AVENUE  
SAN JUAN BAPTIST  
SAN JUAN BAPTIST  
SAN JUAN BAPTIST  
SAN JUAN BAPTIST

PREPARED UNDER THE DIRECT SUPERVISION OF: PETER G. HENNING

DESIGNED BY: A.M.S.

CHECKED BY: A.M.S.

CITY OF PALM SPRINGS, CALIFORNIA

GRADING PLAN FOR PARCEL "A"

PARCEL MERCER 12-03 RECORDED DECEMBER 6, 2012

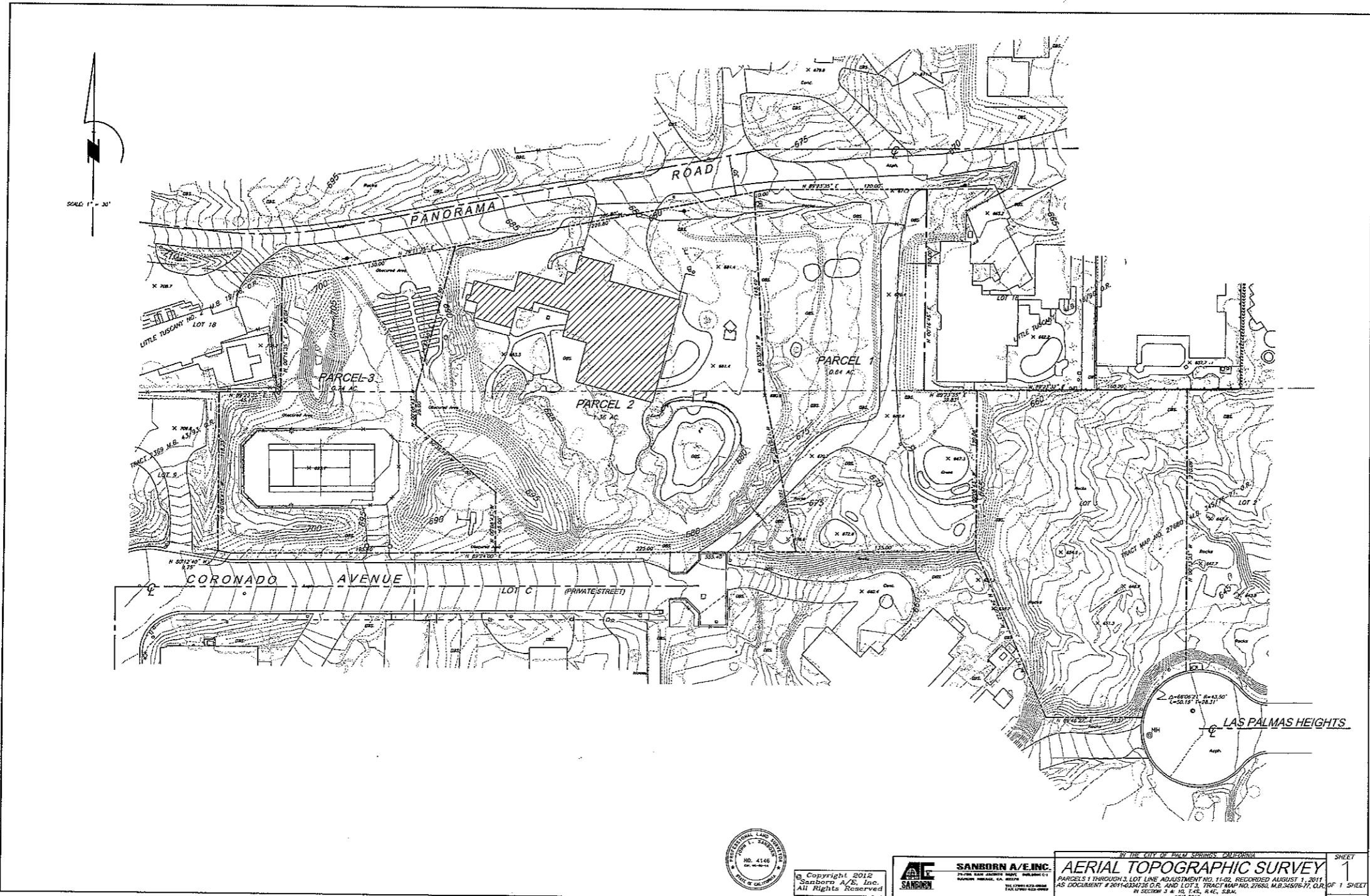
AS INSTRUMENT NO. 2012-0592403

IN SECTION 3 & 10, T4S, R4E, S.B.M.

NO. 12-125	FILE NO. E-	SHEET 3
DATE: 12/06/13	DWG. NO. 3	OF 3 SHEETS







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 SANBORN HEIGHTS, CA 94568  
 TEL: (925) 433-3333  
 FAX: (925) 433-3333

BY THE CITY OF PALM SPRINGS, CALIFORNIA  
**AERIAL TOPOGRAPHIC SURVEY**  
 PARCELS 1 THROUGH 3, LOT LINE ADJUSTMENT NO. 11-02, RECORDED AUGUST 1, 2011  
 AS DOCUMENT # 2011-0334138 O.R. AND LOT'S TRACT MAP NO. 57963, A.B. 56676-71, O.R.  
 IN SECTION 3 & 10, T.4S, R.4E, S.B.M.  
 JULY 2012

SHEET  
**1**  
 OF 1 SHEET  
 W.G. 12-125



A



F



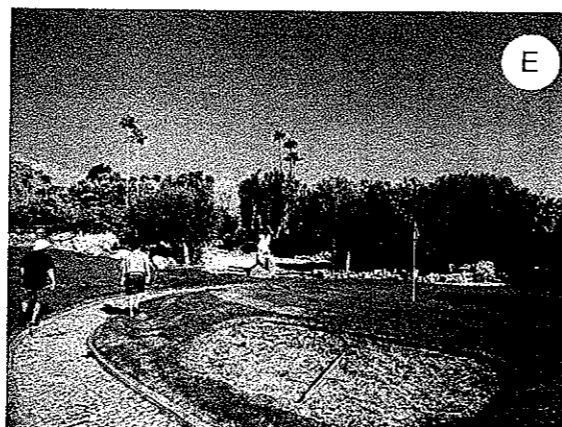
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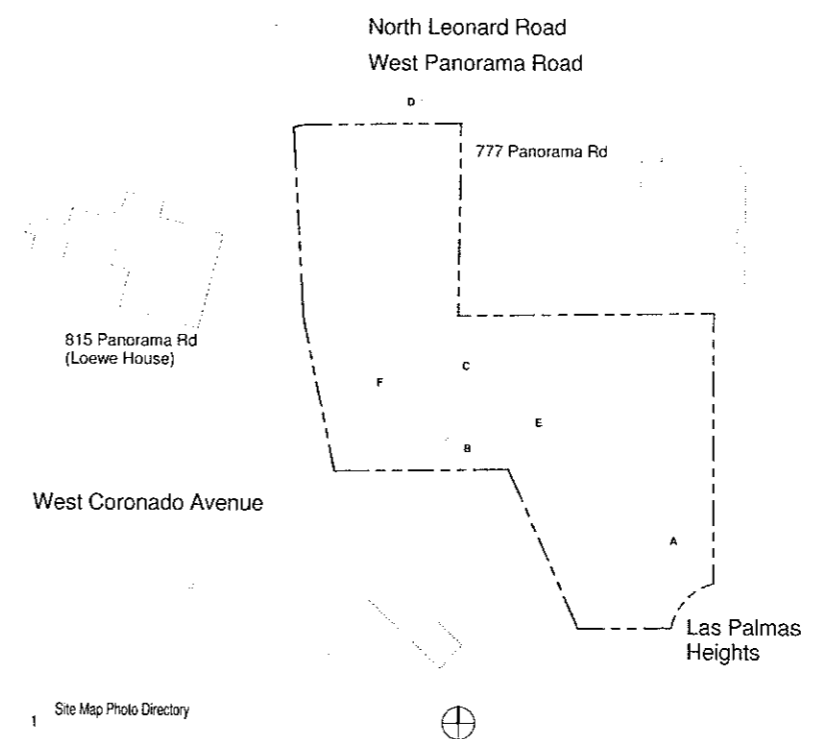
D



C



E



BOOTH HANSEN

801 W Panorama Drive, Palm Springs, CA  
Existing Site Photographs

1206.00  
April 10, 2013