



## PLANNING COMMISSION STAFF REPORT

DATE: September 11, 2013

SUBJECT: SINGLE FAMILY RESIDENCE (SFR) APPLICATION BY GREGORY WAGONER & WILLIAM BEAN TO CONSTRUCT A 3,248-SQUARE FOOT RESIDENCE AND ATTACHED 616-SQUARE FOOT GARAGE ON A 21,780-SQUARE FOOT HILLSIDE LOT (CEQA CLASS 3 EXEMPTION) LOCATED AT 675 WEST STEVENS ROAD, ZONED R-1-A (CASE NO. 3.3668 SFR & 7.1397 AMM). (DN)

FROM: Department of Planning Services

### SUMMARY

The Planning Commission will consider an architectural review application to construct a 3,248-square foot single-family residence and 616-square foot garage on a vacant, hillside lot located at 675 West Stevens Road.

### RECOMMENDATION:

Approve, subject to Conditions of Approval.

### ISSUES:

- Administrative Minor Modification (AMM) required to modify front yard setback and building height envelope.

### BACKGROUND:

<b><i>Planning Areas</i></b>		
Specific Plan	None	
Design Plan	None	
Airport Overlay	None	
Indian Land	None	

<b><i>Most Recent Change of Ownership</i></b>	
3/23/2012	William Bean purchased the property.

<b><i>Related Relevant City Actions by Planning, Fire, Building, etc...</i></b>	
8/12/2013	The Architectural Advisory Committee recommended approval of the project, subject to installing screening hedges along the west property line and filling-in hedge along the east property line.

<b>Neighborhood Meeting</b>	
None	

<b>General Plan, Zoning and Land Uses of Site &amp; Surrounding Areas</b>			
	<b>Existing General Plan Designations</b>	<b>Existing Zoning Designation</b>	<b>Existing Land Use</b>
Subject Property	ER (Estate Residential)	R-1-A (Single Family Residential)	Single-family residential
North	ER	R-1-A	Single-family Residential
South	ER	R-1-A	Single-family Residential
East	ER	R-1-A	Single-family Residential
West	ER	R-1-A	Single-family Residential



**SUBJECT SITE**

**ANALYSIS:**

<b>General Plan</b>			
<b>Land Use Designation</b>	<b>F.A.R. / Density</b>	<b>Request</b>	<b>Compliance</b>
Estate Residential	0 – 2.0 dwellings / acre	No change	Yes

Zoning – Uses & Lot Standards			
	R-1-A Zone	Proposed	Compliance
<b>Uses permitted</b>	Single Family Dwellings	Single Family Dwelling	Yes
<b>Density</b>	1 dwelling on existing lots of record	1 dwelling on existing lot	Yes
<b>Lot Standards</b>			
Min. Area	20,000 sq. ft. minimum	No change (21,780 sq. ft.)	Yes
Min. Width	130 ft. minimum	No change (112 feet)	Yes
Min. Depth	120 ft. minimum	No change (200 feet)	Yes

Zoning – Building Development Standards			
	R-1-A Zone	Proposed	Compliance
<b>Building Height</b>	Buildings shall not exceed one (1) story and twelve (12) feet in height at the minimum setback. From the minimum setback, the height may be allowed to increase along a plane which has a slope of 4:12, until a building height of eighteen (18) feet is attained. Gable ends, dormers and front entrance treatments, not exceeding fifteen (15) feet in height, may encroach past the building envelope limits. <b>These regulations may be modified by the planning commission for hillside lots pursuant to Section 94.06.01(A)(8)</b>	Garage: 9ft. Main residence: 12 ft. Master Suite: 14 ft. down to 11 ft. at east side yard setback line. (as measured from proposed finished floor)	Yes, with approval of AMM
<b>Yard Setbacks</b>			
Garages	25 ft.	22 ft.	Yes, with approval of AMM
Front	25 ft. (may be reduced to 10 ft. for hillside developments through AMM process)	22 ft.	Yes, with approval of AMM
Interior Side (West)	10 ft.	10 ft.	Yes
Interior Side (East)	10 ft.	10 ft.	Yes
Rear	15 ft.	35 ft.	Yes
Pool / spas	5 ft.	30 ft.	Yes
<b>Distance Between Buildings</b>	N/a	(Structures attached per Zoning Code def.)	Yes
<b>Lot Coverage</b>	35% maximum	18%	Yes
<b>Off-street Parking</b>	2 covered parking spaces (each 10ft. by 20 ft.)	2 covered parking spaces	Yes
<b>Trash Enclosure</b>	Within 50 ft. of street and concealed from street view	Concealed behind block wall adjacent to garage at northeasterly corner of site	Yes

**REQUIRED FINDINGS:**

**Architectural Review:** Staff evaluated the proposal against the architectural review guidelines, pursuant to Section 94.04.00 of the Zoning Code, and prepared the following response:

Item	Guideline:	Conforms?	Staff Evaluation:
1	Does the proposed development provide a desirable environment for its occupants?	Yes	Residence provides shaded parking, open living / kitchen layout and private bedroom space
2	Is the proposed development compatible with the character of adjacent and surrounding developments?	Yes	Development is sensitive to existing topography of the site. Structures proposed include low flat roof planes.
3	Is the proposed development of good composition, materials, textures, and colors?	Yes	The modern design includes a variety of materials such smooth stucco finish, composite wood, aluminum shade screens, break metal, sand blasted and clear glass, precision block. Colors consist of earth tones.
4	Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas	Yes	Site layout sensitive with existing topography; pedestrian and vehicular areas defined with hardscape;
5	Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood/community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted	Yes	Project consists of single-family residence with landscape and outdoor usable space (lanai and pool area), which is consistent with surrounding developments; neighborhood includes variety of architectural styles;
6	Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment	Yes	Project conforms to development standards of the R-1-A zone;
7	Building design, materials and colors to be sympathetic with desert surroundings	Yes	Soft grays and tans are proposed;

8	Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously	Yes	(See item 3 above)
9	Consistency of composition and treatment	Yes	(See item 3 above)
10	Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials	Yes	Enhanced landscape includes Palo Verde, Orangequat, Mexican Fan Palm and Cholla Cactus, which are known to withstand harsh desert climate conditions; preservation of existing boulders and trees is proposed where possible

**Hillside Developments:** Pursuant to Section 93.13.00(B)(4) of the Zoning Code, the Planning Commission is to consider the following in addition to the architectural review guidelines:

Item	Architectural Guideline:	Staff Evaluation:
i.	<i>Rock and soil exposure</i>	The applicant intends to retain existing rocks and boulders on-site with a majority of the site to remain in its native rocky condition.
ii.	<i>Size of building pads</i>	Two pad elevations are proposed to adjust to the existing topography and minimize large amounts of earth cut and fill. The building pads are located above the existing grades where possible on flatter portions of the lot.
iii.	<i>Design considerations, such as supporting stilts, colors and building arrangement</i>	The modern design of the proposed home includes simple rectangular shapes and low flat roofs. These shapes adjust to existing topography as the building extends to the rear.
iv.	<i>Screening of parking areas</i>	Two parking spaces are provided in the proposed garage and the parking area adjacent to the garage will be screened by a proposed wall.
v.	<i>Landscaping plans</i>	The landscaping is proposed in plant palette that is desert-appropriate drought-tolerant and integrates some existing landscaped material where possible.
vi.	<i>Continuity with surrounding development</i>	The existing surrounding development is eclectic in its architecture and landscaping. The proposed development is complementary to the surroundings in which it is located.
vii.	<i>Sensitivity to existing view corridors</i>	The structure is not anticipated to affect any existing view corridors.

**Administrative Minor Modification:** The applicant has applied for an Administrative Minor Modification to reduce the front yard setback from 25 to 22 feet and to modify the building height envelope for an additional two feet of height at the setback line. These modifications are may be approved pursuant to Section 94.06.01(A)(8) of the Zoning Code:

*Slope and Hillside Areas.*

*For areas with a grade of ten (10) percent or more, modification of building height to a maximum of thirty (30) feet and modification of front yard to a minimum of ten (10) feet, upon approval of a site plan, elevations and a grading map showing existing and finished contours. Approval shall be based on the finding that such minor modification will not have detrimental effect upon adjacent properties*

Staff evaluated the proposal against the required findings for approval below:

Item	Finding:	Staff Evaluation:
a.	<i>The requested minor modification is consistent with the general plan, applicable specific plan(s) and overall objectives of the zoning ordinance;</i>	There is no General Plan Policy that would be adversely affected by this modification, nor are there any specific plans associated with this property. The Palm Springs Zoning Code, Section 94.06.01(A)(8), specifically allows for reduction of the front setback and modification of building height for hillside lots with the approval of an AMM application.
b.	<i>The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the minor modification;</i>	The front yard will be reduced to twenty feet for the proposed side-entry garage, which is anticipated to be a minimal impact on neighboring properties. The R-1-A zone building height envelope limits structures to twelve feet at the minimum setback lines; this requirement may be modified for residences on hillside lots. The proposed request is to increase the building envelope by two feet at the east setback line for the master suite. The impacted property would be east of the subject property. The proposed finished floor of the master suite will be on-half foot lower than the finished floor the east property. Furthermore, the properties are divided by a landscape hedge screen. Therefore, it is anticipated that the increase will have minimal impact on neighboring properties, including the property to the east of the subject site.
c.	<i>The approval or conditional approval of the minor modification will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity;</i>	All construction will be built to the Uniform Building Code, Palm Springs Zoning Code as modified by this Administrative Minor Modification, and Fire Code.
d.	<i>The approval of the minor modification is justified by environmental features, site conditions, location of existing improvements, or historic development patterns of the property or neighborhood.</i>	The subject property is a hillside lot that slopes downward from the street grade to the rear of the site. The flatter portions of the lot are located near the front and east side of the property. Thus, the building height increase and reduced front yard setback are necessary to accommodate a building in a location where topography is least undulating on the site.

ENVIRONMENTAL DETERMINATION:

Pursuant to the California Environmental Quality Act (CEQA) Guidelines, the project is Categorically Exempt as a Class III exemption per Section 15303 (Class 3 – single family residence or second dwelling unit in residential zone).

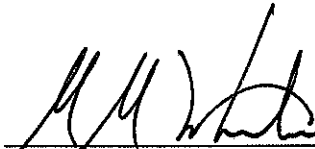
NOTIFICATION:

Pursuant to Section 93.13.00(B)(1) of the Zoning Code, notification was sent to adjacent property owners on June 27, 2013, to inform the neighbors that there has been an application submitted for the subject property. An additional notice was sent to adjacent property owners on August 29, 2013, to inform the neighbors that the project will be reviewed by the Planning Commission on September 11, 2013. After the first notice, staff received a couple of phone inquiries for information on the proposal, but no other correspondence has been received.



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David A. Newell  
Associate Planner



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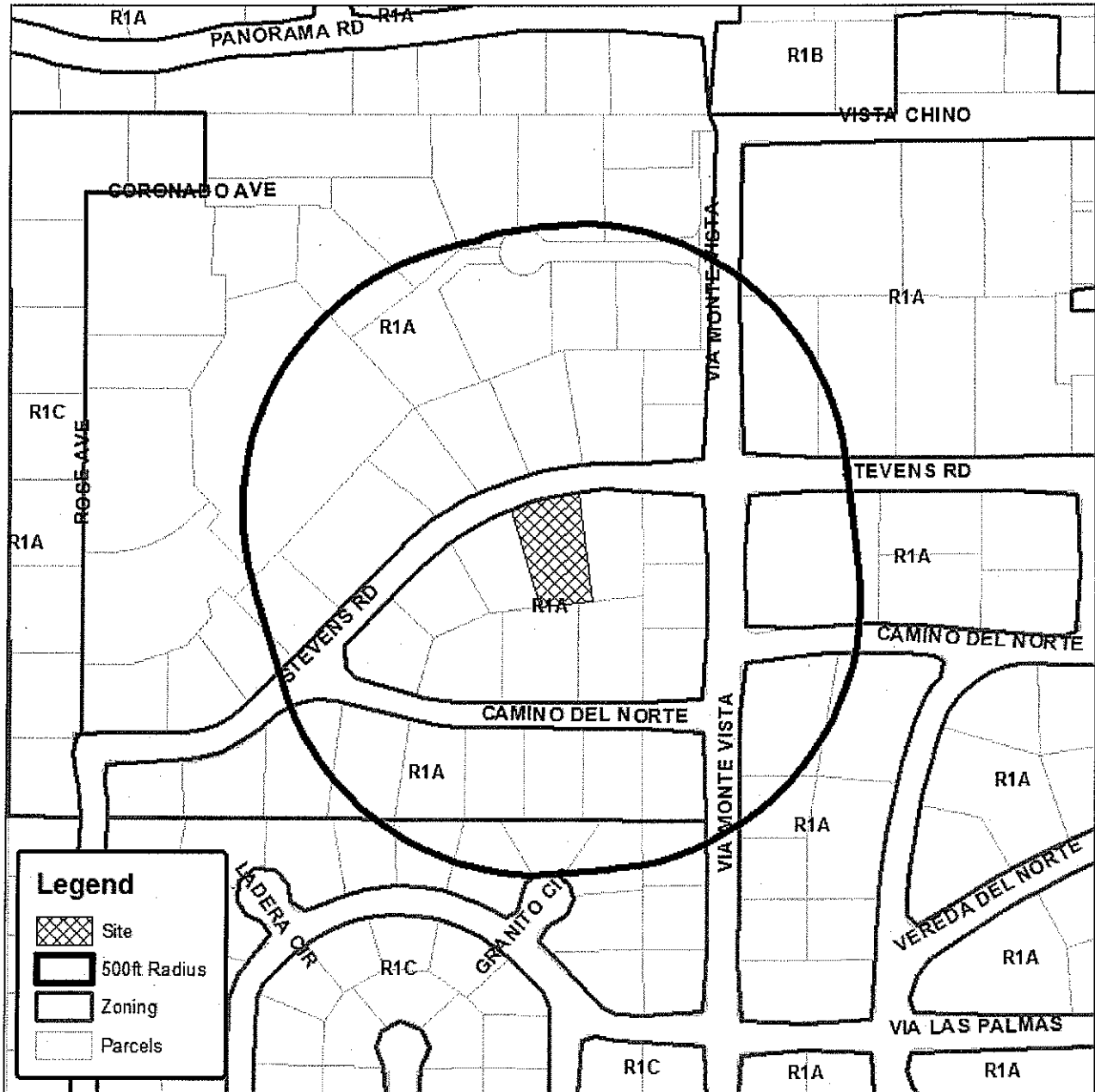
Margo Wheeler, AICP  
Director of Planning Services

Attachments:

1. Vicinity Map
2. Draft Resolution with Conditions of Approval
3. 8/12/2013 AAC Draft Minutes (excerpt)
4. Site Plan and Building Elevations



# Department of Planning Services Vicinity Map



## CITY OF PALM SPRINGS

**CASE NO:** 3.3668 SFR and  
7.1397 AMM

**APPLICANT:** William Bean &  
Gregory Wagoner

**DESCRIPTION:**  
A proposed single-family residence at 675 West  
Stevens Road, Zone R1A Section 10.



RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING CASE 3.3668 SFR AND CASE 7.1397 AMM; AN APPLICATION FOR SITE PLAN AND ARCHITECTURAL APPROVAL FOR THE CONSTRUCTION OF A ROUGHLY 3,248-SQUARE FOOT RESIDENCE AND ATTACHED 616-SQUARE FOOT GARAGE ON A 21,780-SQUARE FOOT HILLSIDE LOT AT 675 WEST STEVENS ROAD.

WHEREAS, Gregory Wagoner and William Bean ("Applicant(s)") filed an application with the City pursuant to Section 94.04.00 of the Palm Springs Zoning Code (PSZC) for architectural approval to allow the construction of a single family residence on a hillside lot located at 675 West Stevens Road, Zone R-1-A, APN: 505-052-014; and

WHEREAS, the Applicants filed an application with the City pursuant to Section 94.06.01 of the PSZC for Administrative Minor Modifications to reduce the front yard setback from twenty-five to twenty-two feet and modify the R-1-A building height requirements for the proposed single-family residence on the hillside lot located at 675 West Stevens Road; and

WHEREAS, on August 12, 2013, the Architectural Advisory Committee (AAC) reviewed the proposed project and voted unanimously to recommend approval of the project to the Planning Commission; and

WHEREAS, on September 11, 2013, a public meeting on the applications for architectural and administrative minor modification approval were held by the Planning Commission in accordance with applicable law; and

WHEREAS, the proposed project is considered a "project" pursuant to the terms of the California Environmental Quality Act ("CEQA"), and has been determined to be Categorically Exempt as a Class III exemption (single-family residence) pursuant to Section 15303(a) of the CEQA Guidelines; and

WHEREAS, the Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including but not limited to the staff report and all written and oral testimony presented.

THE PLANNING COMMISSION HEREBY FINDS AS FOLLOWS:

Section 1: Pursuant to the California Environmental Quality Act (CEQA) Guidelines, the project is a Class III exemption and is categorically exempt per Section 15303(a) (New

single-family residence).

Section 2: Architectural Review is required for hillside development pursuant to Zoning Code Section 94.04.00 (Architectural Review) and 94.13.00 (hillside development). Specific aspects of design have been examined to determine whether the proposed development will provide desirable environment for its occupants as well as being compatible with the character of adjacent and surrounding developments, and whether aesthetically it is of good composition, materials, textures and colors. Conformance is evaluated based on consideration of the following:

Item	Guideline:	Project Evaluation:
1	<i>Does the proposed development provide a desirable environment for its occupants?</i>	Residence provides shaded parking, open living / kitchen layout and private bedroom space
2	<i>Is the proposed development compatible with the character of adjacent and surrounding developments?</i>	Development is sensitive to existing topography of the site. Structures proposed include low flat roof planes.
3	<i>Is the proposed development of good composition, materials, textures, and colors?</i>	The modern design includes a variety of materials such smooth stucco finish, composite wood, aluminum shade screens, break metal, sand blasted and clear glass, precision block. Colors consist of earth tones.
4	<i>Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas</i>	Site layout sensitive with existing topography; pedestrian and vehicular areas defined with hardscape;
5	<i>Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood/community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted</i>	Project consists of single-family residence with landscape and outdoor usable space (lanai and pool area), which is consistent with surrounding developments; neighborhood includes variety of architectural styles;
6	<i>Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment</i>	Project conforms to development standards of the R-1-A zone;
7	<i>Building design, materials and colors to be sympathetic with desert surroundings</i>	Soft grays and tans are proposed;

8	<i>Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously</i>	(See item 3 above)
9	<i>Consistency of composition and treatment</i>	(See item 3 above)
10	<i>Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials</i>	Enhanced landscape includes Palo Verde, Orangequat, Mexican Fan Palm and Cholla Cactus, which are known to withstand harsh desert climate conditions; preservation of existing boulders and trees is proposed where possible

Furthermore, pursuant to Zoning Code Section 93.13.00 (B)(4a), in review of hillside development for architectural approval, the Planning Commission shall consider the following:

Item	Architectural Guideline:	Staff Evaluation:
i.	<i>Rock and soil exposure</i>	The applicant intends to retain existing rocks and boulders on-site with a majority of the site to remain in its native rocky condition.
ii.	<i>Size of building pads</i>	Two pad elevations are proposed to adjust to the existing topography and minimize large amounts of earth cut and fill. The building pads are located above the existing grades where possible on flatter portions of the lot.
iii.	<i>Design considerations, such as supporting stilts, colors and building arrangement</i>	The modern design of the proposed home includes simple rectangular shapes and low flat roofs. These shapes adjust to existing topography as the building extends to the rear.
iv.	<i>Screening of parking areas</i>	Two parking spaces are provided in the proposed garage and the parking area adjacent to the garage will be screened by a proposed wall.
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vi.	<i>Continuity with surrounding development</i>	The existing surrounding development is eclectic in its architecture and landscaping. The proposed development is complementary to the surroundings in which it is located.
vii.	<i>Sensitivity to existing view corridors</i>	The structure is not anticipated to affect any existing view corridors.

**Section 2:** Pursuant to Section 94.06.01 (Administrative Minor Modifications) of the Palm Springs Zoning Code, the Planning Commission finds that:

Item	Finding:	Staff Evaluation:
a.	<i>The requested minor modification is consistent with the general plan, applicable specific plan(s) and overall objectives of the zoning ordinance;</i>	There is no General Plan Policy that would be adversely affected by this modification, nor are there any specific plans associated with this property. The Palm Springs Zoning Code, Section 94.06.01(A)(8), specifically allows for reduction of the front setback and modification of building height for hillside lots with the approval of an AMM application.

b.	<i>The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the minor modification;</i>	The front yard will be reduced to twenty feet for the proposed side-entry garage, which is anticipated to be a minimal impact on neighboring properties. The R-1-A zone building height envelope limits structures to twelve feet at the minimum setback lines; this requirement may be modified for residences on hillside lots. The proposed request is to increase the building envelope by two feet at the east setback line for the master suite. The impacted property would be east of the subject property. The proposed finished floor of the master suite will be on-half foot lower than the finished floor the east property. Furthermore, the properties are divided by a landscape hedge screen. Therefore, it is anticipated that the increase will have minimal impact on neighboring properties, including the property to the east of the subject site.
c.	<i>The approval or conditional approval of the minor modification will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity;</i>	All construction will be built to the Uniform Building Code, Palm Springs Zoning Code as modified by this Administrative Minor Modification, and Fire Code.
d.	<i>The approval of the minor modification is justified by environmental features, site conditions, location of existing improvements, or historic development patterns of the property or neighborhood.</i>	The subject property is a hillside lot that slopes downward from the street grade to the rear of the site. The flatter portions of the lot are located near the front and east side of the property. Thus, the building height increase and reduced front yard setback are necessary to accommodate a building in a location where topography is least undulating on the site.

NOW, THEREFORE, BE IT RESOLVED that, based upon the foregoing, the Planning Commission hereby approves Case Nos. 3.3668 SFR & 7.1397; for the construction of a 3,248-square foot single family residence on a roughly 21,780-square foot lot located at 675 West Stevens Road, subject to those conditions set forth in the attached Exhibit A, which are to be satisfied unless otherwise specified.

ADOPTED this 11<sup>th</sup> day of September, 2013.

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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Margo Wheeler, AICP  
 Director of Planning Services

RESOLUTION NO. \_\_\_\_\_  
EXHIBIT A

Case Nos. 3.3668 SFR & 7.1397 AMM

675 West Stevens Road  
September 11, 2013

**CONDITIONS OF APPROVAL**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

**ADMINISTRATIVE CONDITIONS**

- ADM 1. Project Description. This approval is for the project described per Case 3.3668 SFR & Case 7.1395 AMM; except as modified with the conditions below;
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped June 20, 2013, including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.3668 SFR and 7.1397 AMM. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or

will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.
- ADM 8. Public Art Fees. This project shall be subject to Chapters 2.24 and 3.37 of the Municipal Code regarding public art. The project shall either provide public art or payment of an in lieu fee. In the case of the in-lieu fee, the fee shall be based upon the total building permit valuation as calculated pursuant to the valuation table in the Uniform Building Code, the fee being 1/2% for commercial projects or 1/4% for residential projects with first \$100,000 of total building permit valuation for individual single-family units exempt. Should the public art be located on the project site, said location shall be reviewed and approved by the Director of Planning and Zoning and the Public Arts Commission, and the property owner shall enter into a recorded agreement to maintain the art work and protect the public rights of access and viewing.

## ENVIRONMENTAL ASSESSMENT CONDITIONS

- ENV 1. Coachella Valley Multiple-Species Habitat Conservation Plan (CVMSHCP) Local Development Mitigation Fee (LDMF) required.
- ENV 2. Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA); therefore, an administrative fee of \$64 shall be submitted by the applicant in the form of a money order or a cashier's check payable to

the Riverside County Clerk within two business days of the Commission's final action on the project. This fee shall be submitted by the City to the County Clerk with the Notice of Exemption. Action on this application shall not be considered final until such fee is paid (projects that are Categorically Exempt from CEQA).

## PLANNING DEPARTMENT CONDITIONS

- PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.
- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 3. Conditions Imposed from AAC Review. The applicant shall incorporate the following comments from the review of the project by the City's Architectural Advisory Committee:
- a. Prior to final inspection, the applicant shall plant screening hedges along the west property line and install similar hedges as existing along the east property line as needed.
- PLN 4. Flat Roof Requirements. Roof materials on flat roofs must conform to California Title 24 thermal standards for "Cool Roofs". Such roofs must have a minimum initial thermal emittance of 0.75 and minimum initial solar reflectance of 0.70. Only matte (non-specular) roofing is allowed in colors such as beige or tan.
- PLN 5. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 6. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.

- PLN 7. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 8. Pool Enclosure Approval Required. Details of fencing or walls around pools (material and color) and pool equipment areas shall be submitted for approval by the Planning Department prior to issuance of Building Permits.
- PLN 9. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 10. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 11. No off-site Parking. Vehicles associated with the operation of the proposed development including company vehicles or employees vehicles shall not be permitted to park off the proposed building site unless a parking management plan has been approved.
- PLN 12. (add any additional conditions imposed by the Planning Commission or City Council here)

#### **POLICE DEPARTMENT CONDITIONS**

- POL 1. Developer shall comply with Section II of Chapter 8.04 "Building Security Codes" of the Palm Springs Municipal Code.

#### **BUILDING DEPARTMENT CONDITIONS**

- BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

#### **ENGINEERING DEPARTMENT CONDITIONS**

The Engineering Division recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

- ENG 1. The Engineering Division recommends deferral of off-site improvement items (identified as "**Deferred**") at this time due to lack of full improvements in the immediate area. The owner shall execute a street improvement covenant agreeing to construct all required street improvements upon the request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner(s) prior to approval of the Grading Plan or issuance of grading or building permits. A



current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.

- ENG 2. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit.
- ENG 3. Submit street improvement plans prepared by a registered California civil engineer to the Engineering Division. The plan(s) shall be approved by the City Engineer prior to issuance of any building permits. **Deferred**

#### WEST STEVENS ROAD

- ENG 4. Construct a 6 inch concrete driveway unless otherwise approved by the City Engineer, from the property line to the existing back of curb.
- ENG 5. Construct a driveway approach in accordance with City of Palm Springs Standard Drawing No. 201. **Deferred**
- ENG 6. Construct a 5 feet wide sidewalk behind the existing curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210. **Deferred**
- ENG 7. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

#### SANITARY SEWER

- ENG 8. All sanitary facilities shall be connected to the public sewer system. New laterals shall not be connected at manholes. The on-site sewer system shall connect to the sewer main with a standard sewer lateral connection in accordance with City of Palm Springs Standard Drawing No. 405.
- ENG 9. Applicant shall pay a sewer assessment fee of \$8,418.71 in accordance with the terms of the Sewer Construction Refund Agreement between the City of Palm Springs and Melvyn Haber, Sewer Agreement No. 4875. The fee shall be paid to the City of Palm Springs prior to issuance of a building permit.

#### GRADING

- ENG 10. Submit cut and fill quantities to City Engineer to determine if a Grading Plan is required. If required, the Grading Plan shall be submitted to the Engineering Division for review and approval by the City Engineer prior to issuance of grading permit. If the earthwork quantity is less than 50 cubic yards, a formal grading plan is not required. To qualify for the exemption, a signed original

written statement of design earthwork quantities from the owner (or design professional, prepared on company letterhead) shall be provided to the Engineering Division. Exemption of a formal Grading Plan reviewed and approved by the City Engineer does not exempt the applicant from a site grading plan that may be required from the Building Department, or any other requirement that may be necessary to satisfy the California Building Code.

- a) Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Division for review and approval if there is disturbance of 5,000 square feet or more. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Division with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Division prior to approval of the Grading plan.
- b) The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report.

ENG 11. Prior to approval of a Grading Plan or issuance of any permit, the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist. The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at (760) 699-6800, to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.

- ENG 12. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 13. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 14. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 15. Contact Desert Water Agency at (760) 323-4971 Ext. 146 to determine impacts to any existing Whitewater Mutual Water Company water lines and other facilities that may be located within the property if any. Make appropriate arrangements to protect in place or relocate any facilities that are impacted by the development. A letter of approval for relocated or adjusted facilities from Desert Water Agency shall be submitted to the Engineering Division prior to approval of the Grading Plan.
- ENG 16. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.
- ENG 17. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of two thousand dollars (\$2,000.00) per disturbed acre at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 18. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Division with the first submittal of a grading plan (if required) or prior to issuance of any permit.
- ENG 19. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all

compaction and other soils testing are to be provided even though there may not be a grading plan for the project. No certificate of occupancy will be issued until the required certification is provided to the City Engineer.

- ENG 20. The applicant shall provide pad elevation certifications for all building pads in conformance with the approved grading plan, to the Engineering Division prior to construction of any building foundation.
- ENG 21. In cooperation with the Riverside County Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (RIFA Form CA-1) prior to approval of the Grading Plan. The California Department of Food and Agriculture office is located at 73-710 Fred Waring Drive, Palm Desert (Phone: 760-776-8208).

#### DRAINAGE

- ENG 22. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMP's).
- ENG 23. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property. Provide a hydrology study to determine the volume of increased stormwater runoff due to development of the site, and to determine required stormwater runoff mitigation measures for the proposed development. Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and approval of the hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study. No more than 40-50% of the street frontage parkway/setback areas should be designed as retention basins. On-site open space, in conjunction with dry wells and other subsurface solutions should be considered as alternatives to using landscaped parkways for on-site retention.
- ENG 24. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$9,212.00 per acre in accordance

with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

## GENERAL

- ENG 25. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115. The developer shall be responsible for removing, grinding, paving and/or overlaying existing asphalt concrete pavement of off-site streets as required by and at the discretion of the City Engineer, including additional pavement repairs to pavement repairs made by utility companies for utilities installed for the benefit of the proposed development (i.e. Desert Water Agency, Southern California Edison, Southern California Gas Company, Time Warner, Verizon, etc.). Multiple excavations, trenches, and other street cuts within existing asphalt concrete pavement of off-site streets required by the proposed development may require complete grinding and asphalt concrete overlay of the affected off-site streets, at the discretion of the City Engineer. The pavement condition of the existing off-site streets shall be returned to a condition equal to or better than existed prior to construction of the proposed development.
- ENG 26. All proposed utility lines shall be installed underground.
- ENG 27. The record property owner shall enter into a covenant agreeing to underground all of the existing overhead utilities required by the Municipal Code in the future upon request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner and submitted to the City Engineer prior to issuance of a grading permit. A current title report or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.
- ENG 28. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 29. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.

- ENG 30. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Division prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 31. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 32. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.
- ENG 33. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

#### TRAFFIC

- ENG 34. A minimum of 48 inches of clearance for handicap accessibility shall be provided on public sidewalks or pedestrian paths of travel within the development. Minimum clearance on public sidewalks (or pedestrian paths of travel) shall be provided by either an additional dedication of a sidewalk easement (if necessary) and widening of the sidewalk, or by the relocation of any obstructions within the public sidewalk along the West Stevens Road frontage of the subject property. **Deferred**
- ENG 35. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices for Streets and Highways, dated January 13, 2012, or subsequent editions in force at the time of construction.
- ENG 36. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

#### FIRE DEPARTMENT CONDITIONS

These Fire Department conditions may not provide all requirements. Detailed plans are still required for review.

## GENERAL CONDITIONS

These Fire Department conditions may not provide all requirements. Detailed plans are still required for review.

FID 1      These conditions are subject to final plan check and review. Initial fire department conditions have been determined on the site plan dated June 20, 2013. Additional requirements may be required at that time based on revisions to site plans.

FID 2      Fire Department Conditions were based on the 2010 California Fire Code. Four complete sets of plans for private fire service mains, fire alarm, or fire sprinkler systems must be submitted at time of the building plan submittal.

FID 3      **Plot Plan:** Prior to completion of the project, an 8.5"x11" plot plan or drawing, and an electronic version in an industry standard file format capable of being used in a geographical information system (GIS) preferably an ESRI shape file(s) shall be provided to the fire department. The GIS file shall be projected in the California State Plane Zone VI coordinate system and capable of being re-projected into the North American Datum 1983 coordinate system. PDF files by themselves will not meet this requirement. The GIS and ESRI shape file(s) shall clearly show all access points, fire hydrants, KNOX™ box locations, fire department connections, dwelling unit or suite identifiers, main electrical panel location(s), sprinkler riser and fire alarm locations. Industry standard symbols used in emergency management and pre-fire planning are encouraged. Large projects may require more than one page. AutoCAD files will be accepted but must be approved prior to acceptance.

### FID 4      **PLANS AND PERMITS**

When there are significant changes in occupancy, water supply, storage heights, type, and quantity of storage, storage configurations, Tenant Improvements or any other changes which may affect the fire sprinkler system design, the owner, tenant or contractor shall submit plans and secure permits.

Complete plans for private fire service mains or fire sprinkler systems should be submitted for approval well in advance of installation. Plan reviews can take up to 20 working days. Submit a minimum of four (4) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain two sets.

Plans shall be submitted to:

**City of Palm Springs**  
**Building and Safety Department**  
**3200 E. Tahquitz Canyon Way**  
**Palm Springs, CA 92262**  
**Counter Hours: M – TH, 8:00 AM – 11:00 AM and 2:00 PM – 6:00 PM**

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. The minimum fee is \$ 208.00. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall indicate all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supportive data (calculations and manufacturer's technical data sheets) shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

Plot Plan: Prior to completion of the project, a 8.5"x11" plot plan and an electronic CAD version shall be provided to the fire department. This shall clearly show all access points, fire hydrants, Knox box locations, fire department connections, unit identifiers, main electrical panel locations, sprinkler riser and fire alarm locations. Large projects may require more than one page.

FID 5      **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13'6". Fire Department access roads shall have an all weather driving surface and support a minimum weight of 73,000 lbs.

FID 6      **Fire Apparatus Access Gates (8.04.260 PSMC):** Entrance gates shall have a clear width of at least 15 feet and be equipped with a frangible chain and padlock.

FID 7      **Fire Department Access:** Fire Department Access Roads shall be provided and maintained in accordance with (Sections 503 CFC)

- **Minimum Access Road Dimensions:**

1. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, a greater width for private



streets may be required by the City engineer to address traffic engineering, parking, and other issues. The Palm Springs Fire Department requirements for two-way private streets, is a **minimum width of 24 feet** is required for this project, unless otherwise allowed by the City engineer. No parking shall be allowed in either side of the roadway.

2. Roads must be 30 feet wide when parking is not allowed on only one side of the roadway.
3. Roads must be 40 feet wide when parking is not restricted.

**FID 8      Dimensions (CFC 503.2.1):** Fire apparatus access roads shall have an unobstructed width of not less than 20 feet except for approved security gates in accordance with Section 503.6 and an unobstructed vertical clearance of not less than 13 feet 6 inches.

**FID 9      Premises Identification (505.1):** New and existing buildings shall have *approved* address numbers, building numbers or *approved* building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches high for R-3 occupancies and 6" - 12" for all other occupancies depending on distance from street with a minimum stroke width of 0.5 inch. Where access is by means of a private road and the building cannot be viewed from the *public way*, a monument, pole or other sign or means shall be used to identify the structure.

**FID 10     Fire Hydrant Flow and Number of Fire Hydrants (CFC 508.5):** Fire hydrants shall be provided in accordance with CFC Appendix B, Fire Flow Requirements for Buildings, for the protection of buildings, or portions of buildings, hereafter constructed. The required fire hydrant flow for this project is 875 gallons per minute (sprinklered) (CFC Appendix B). One fire hydrant must be available within 250 feet from any point on your lot street frontage. (CFC Appendix C)

**FID 11     NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2010 Edition, as modified by local ordinance. The contractor should submit fire sprinkler plans as soon as possible. No portion of the fire sprinkler system may be installed prior to plan approval.

**FID 12     Residential Smoke and Carbon Monoxide Alarms Installation with Fire Sprinklers (CFC 907.2.10.1.2, 907.2.10.2 & 907.2.10.3; CRC R315):** Provide and install Residential Smoke and Carbon Monoxide Alarms

(Kidde SM120X Relay / Power Supply Module connected to multi-station Kidde smoke and carbon monoxide alarms or equal system and fire sprinkler flow switch). Alarms shall receive their primary power from the building wiring, and shall be equipped with a battery backup. In new construction, alarms shall be interconnected so that operation of any smoke alarm, carbon monoxide alarm or fire sprinkler flow switch causes all smoke and carbon monoxide alarms within the dwelling to sound and activate the exterior horn/strobe.

The wiring of this system shall be in accordance with Kidde SM120X Relay / Power Supply Module manual and Figure 2 (see attached). The 120 volt device wired to turn on when alarm sounds is the exterior horn / strobe. The pull for fire device is the fire sprinkler flow switch.

- FID 13      **Additional Residential Smoke Alarm Requirements (NFPA 72: 29.5.1.3):** Where the interior floor area for a given level of a dwelling unit, excluding garage areas, is greater than 1,000 Sq. Ft., the additional requirements are that all points on the ceiling shall have:
- a.      A smoke alarm within a distance of 30 ft travel distance or
  - b.      An equivalent of one smoke alarm per 500 Sq. Ft. of floor area.

One smoke alarm per 500 Sq. Ft. is evaluated by dividing the total interior square footage of floor area per level by 500 Sq. Ft.

- FID 14      **Carbon Monoxide Alarm or Detector Locations (NFPA 720: 9.4.1.1 & 9.4.1.2; CRC R315.3):** Carbon monoxide alarms or detectors shall be installed as follows:
- (1) Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedrooms
  - (2) On every occupiable level of a dwelling unit, including basements, excluding attics and crawl spaces
  - (3) Other locations where required by applicable laws, codes, or standards

Each alarm or detector shall be located on the wall, ceiling, or other location as specified in the manufacturer's published instructions that accompany the unit.

- FID 15      **Audible Residential Water Flow Alarms (CFC 903.4.2):** An approved audible sprinkler flow alarm (Wheelock horn/strobe # MT4-115-WH-VFR with WBB back box or equal) shall be provided on the exterior of the building in an approved location. The horn/strobe shall be outdoor rated.

**END OF CONDITIONS**

APPLICANT CHRISTOPHER BRANDON, architect, said he added more stacked stone.

APPLICANT CARTER MCLARAND, property manager, clarified residence plan 4 not part of new submittal.

APPLICANT RYAN MCDANIEL, architectural project manager, said stacked stone will be on approximately 50% or every other home.

M/S/C (Fredricks/Song, 4-0-3 absent Cassady, Hirschbein, Secoy-Jensen) Approve, as submitted.

**NEW BUSINESS:**

**3. SINGLE FAMILY RESIDENCE (SFR) APPLICATION BY GREGORY WAGONER & WILLIAM BEAN TO CONSTRUCT A 3,248-SQUARE FOOT RESIDENCE AND ATTACHED 616-SQUARE FOOT GARAGE ON A 21,780-SQUARE FOOT HILLSIDE LOT (CEQA CLASS 3 EXEMPTION) LOCATED AT 675 WEST STEVENS ROAD, ZONED R-1-A (CASE NO. 3.3668 SFR). (DN)**

LANCE O'DONNELL, architect, presented the project and answered questions regarding perimeter wall, indicating no change; that the existing fence will fill-in and that site work will expose boulders to be retained on-site.

Committee Member Purnel indicated volunteer plants take time and it's important that site needs to look finished for the neighborhood.

M/S/C (Song/Fauber, 4-0-3 absent Cassady, Hirschbein, Secoy-Jensen) Approve with added condition that hedge must be filled in on west and screening complete on east.

*(THIS ITEM WAS HEARD OUT OF ORDER.)*

**5. BUILDING REPAINT APPLICATION BY CREVI II SUNRISE PALM, LLC, FOR FIVE COLORS LOCATED AT 311 SOUTH SUNRISE WAY, ZONE HR, SECTION 14 (CASE NO. 3.2672 MAA). (GM)**

SCOTT SINCLAR, owner representative, presented the project.

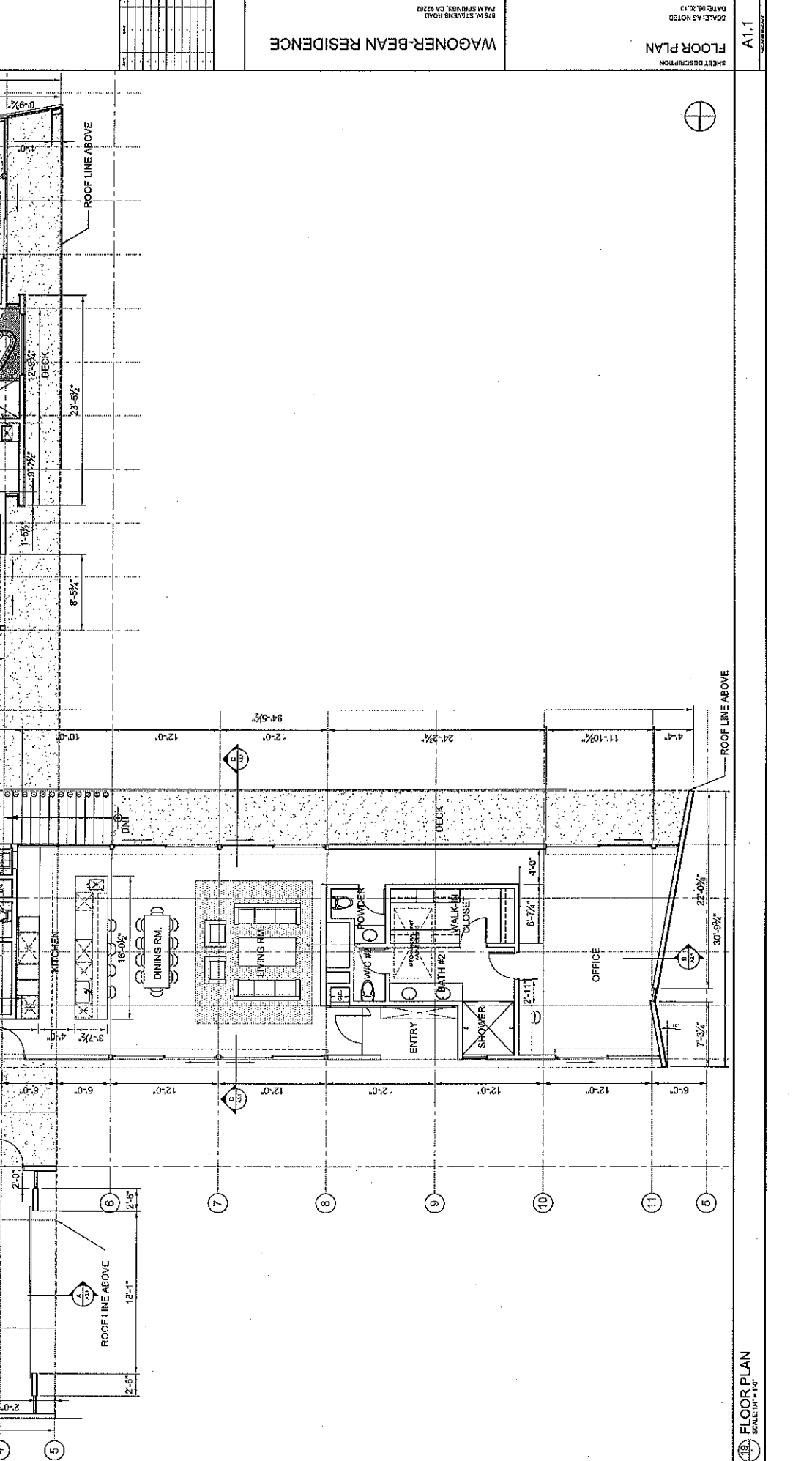
Committee Member Song said colors are too intense, darker colors should be accent.

Committee Member Fauber questioned which of the five colors to go where on the building.

Committee Member Song said color rendering is a must to be able to decide.

Committee Member Fredricks said colors do not complement.





THIS DOCUMENT SHALL BE REPRODUCED FOR SMALL TIME  
 EXCEPT AS EXPRESSLY AUTHORIZED BY 2 ARCHITECTURE.





THIS DOCUMENT IS THE PROPERTY OF 02 ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY AUTHORIZED BY 02 ARCHITECTURE.

**02 Architecture**  
 1000 W. STEVENS ROAD  
 PALM SPRINGS, CA 92262  
 TEL: 760.326.1000  
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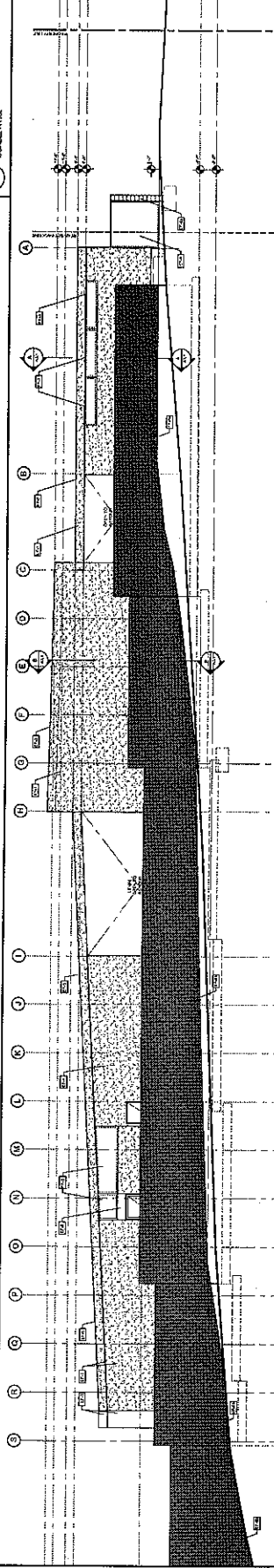
**CLIENT**  
 WAGNER-BEAN RESIDENCE

**ARCHITECT**  
 02 ARCHITECTURE

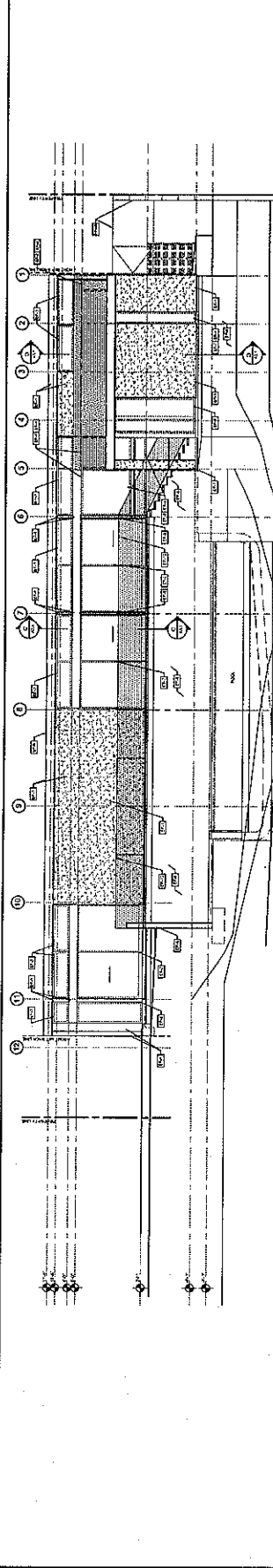
**CONTRACTOR**  
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- LEGEND**
- 1001 1/2" CLEAR GLASS, 100% TRANSPARENT
  - 1002 1/2" CLEAR GLASS, 100% TRANSPARENT, WITH ALUMINUM FRAME
  - 1003 1/2" CLEAR GLASS, 100% TRANSPARENT, WITH ANODIZED ALUMINUM FRAME
  - 1004 1/2" CLEAR GLASS, 100% TRANSPARENT, WITH ANODIZED ALUMINUM FRAME, WITH INSULATED FRAME
  - 1005 1/2" CLEAR GLASS, 100% TRANSPARENT, WITH ANODIZED ALUMINUM FRAME, WITH INSULATED FRAME, WITH LOW-E GLASS
  - 1006 1/2" CLEAR GLASS, 100% TRANSPARENT, WITH ANODIZED ALUMINUM FRAME, WITH INSULATED FRAME, WITH LOW-E GLASS, WITH TINTED GLASS
  - 1007 1/2" CLEAR GLASS, 100% TRANSPARENT, WITH ANODIZED ALUMINUM FRAME, WITH INSULATED FRAME, WITH LOW-E GLASS, WITH TINTED GLASS, WITH LOW-E GLASS
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  - 1018 1/2" CLEAR GLASS, 100% TRANSPARENT, WITH ANODIZED ALUMINUM FRAME, WITH INSULATED FRAME, WITH LOW-E GLASS, WITH TINTED GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS
  - 1019 1/2" CLEAR GLASS, 100% TRANSPARENT, WITH ANODIZED ALUMINUM FRAME, WITH INSULATED FRAME, WITH LOW-E GLASS, WITH TINTED GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS
  - 1020 1/2" CLEAR GLASS, 100% TRANSPARENT, WITH ANODIZED ALUMINUM FRAME, WITH INSULATED FRAME, WITH LOW-E GLASS, WITH TINTED GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS, WITH LOW-E GLASS

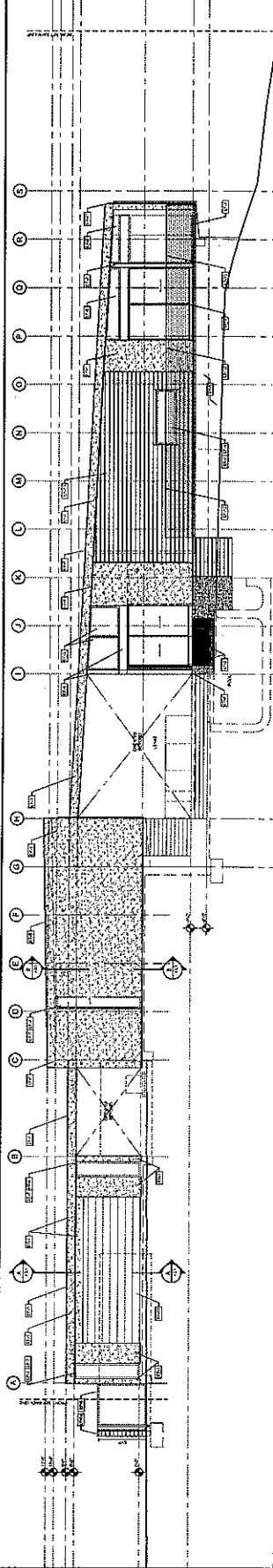
**1 NORTH ELEVATION**  
 SCALE: 3/8" = 1'-0"



**2 EAST ELEVATION**  
 SCALE: 3/8" = 1'-0"



**3 SOUTH ELEVATION**  
 SCALE: 3/8" = 1'-0"



**4 WEST ELEVATION**  
 SCALE: 3/8" = 1'-0"



**WAGONER-BEAN RESIDENCE**

DATE: 06.10.13  
 025 W. STEVENS ROAD  
 PALM SPRINGS, CA 92262

**ELEVATIONS**

SHEET DESCRIPTION

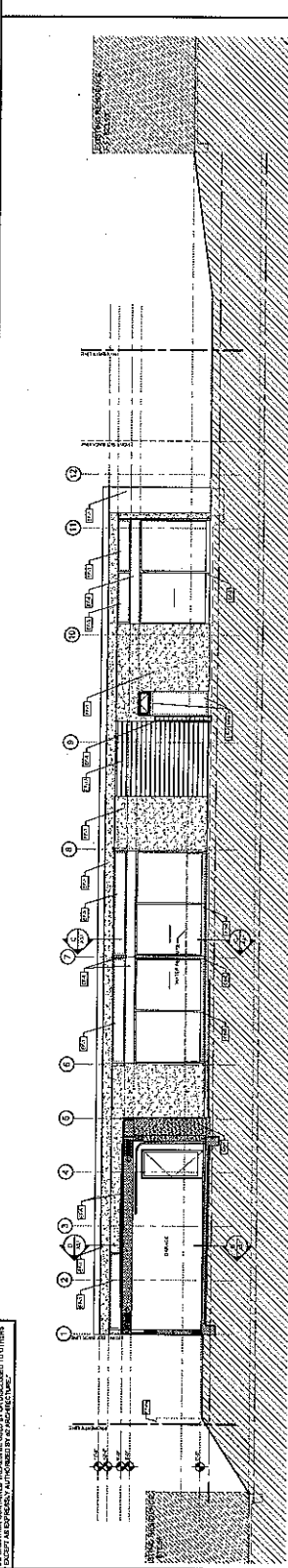
SCALE: AS NOTED

DATE: 06.10.13

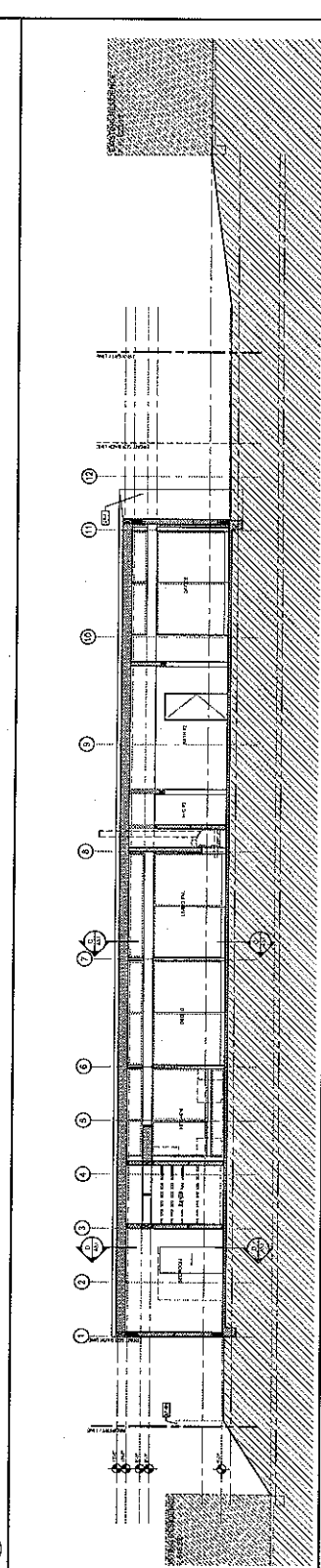
**A2.1**

LEGEND

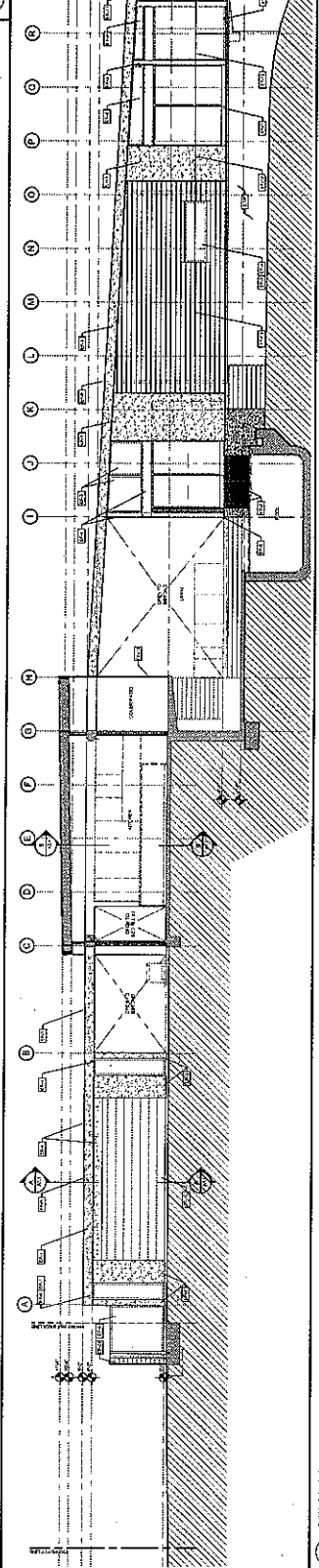
- 1. 2x4 STUDS, 16" ON CENTER
- 2. 1/2" GYPSUM BOARD
- 3. 1/2" GYPSUM BOARD
- 4. 1/2" GYPSUM BOARD
- 5. 1/2" GYPSUM BOARD
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- 99. 1/2" GYPSUM BOARD
- 100. 1/2" GYPSUM BOARD



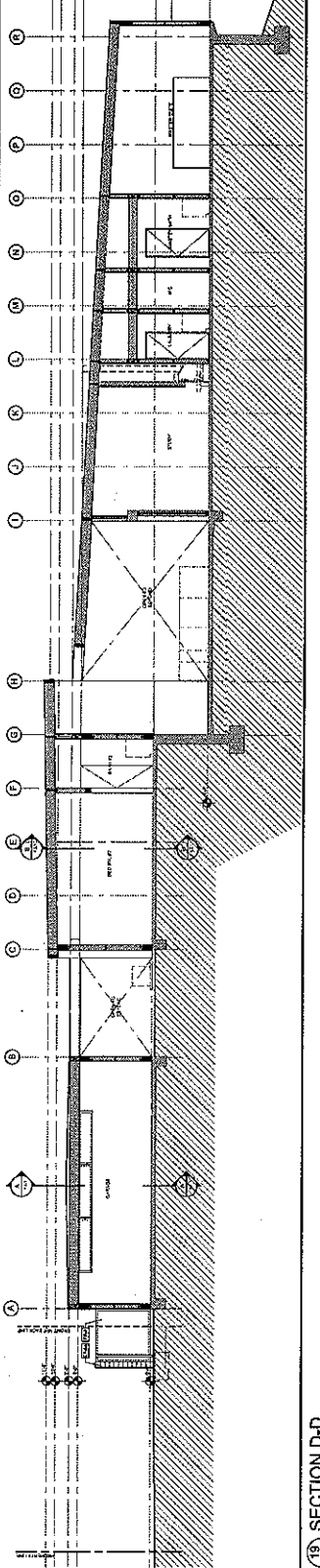
SECTION A-A  
 SCALE: 3/16" = 1'-0"



SECTION B-B  
 SCALE: 3/16" = 1'-0"



SECTION C-C  
 SCALE: 3/16" = 1'-0"



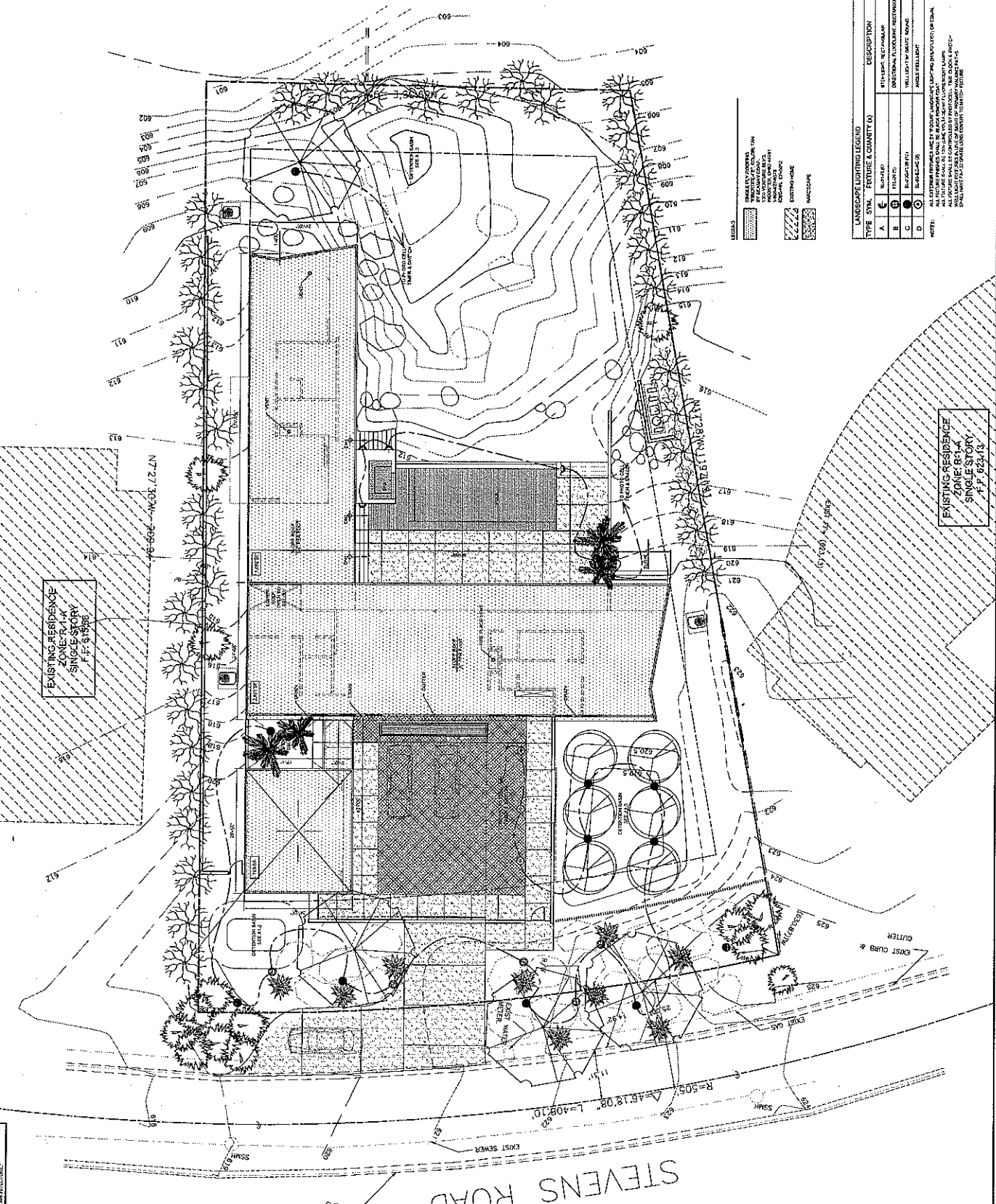
SECTION D-D  
 SCALE: 3/16" = 1'-0"

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.



NO.	DATE	DESCRIPTION
1	06.20.13	ISSUED FOR PERMITS
2		
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10		

EXIST. FF = (296.42)



LANDSCAPE LIGHTING LEGEND

TYPE	SYMBOL	FIXTURE & QUANTITY (X)	DESCRIPTION
A	(Symbol)	117-148R, 148-110R	RECTANGULAR
B	(Symbol)	117-148R, 148-110R	DIRECTIONAL, RECTANGULAR, RECTANGULAR
C	(Symbol)	117-148R, 148-110R	WELL LIGHT, W/ GRATE, ROUND
D	(Symbol)	117-148R, 148-110R	ANGLE WELL LIGHT

NOTES:  
ALL LIGHTING FIXTURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE LIGHTING PLAN AND THE NOTES THEREON.  
ALL FIXTURES SHALL BE CONTROLLED BY PHOTOCELLS. THE PHOTOCELLS SHALL BE INSTALLED IN ACCORDANCE WITH THE LIGHTING PLAN AND THE NOTES THEREON.  
THE LIGHTING PLAN IS TO BE USED TO DETERMINE THE LOCATION AND QUANTITY OF FIXTURES.

EXISTING RESIDENCE  
SINGLE STORY  
SINGLE STORY  
S.P.P. 565-19

EXISTING RESIDENCE  
SINGLE STORY  
SINGLE STORY  
S.P.P. 565-19

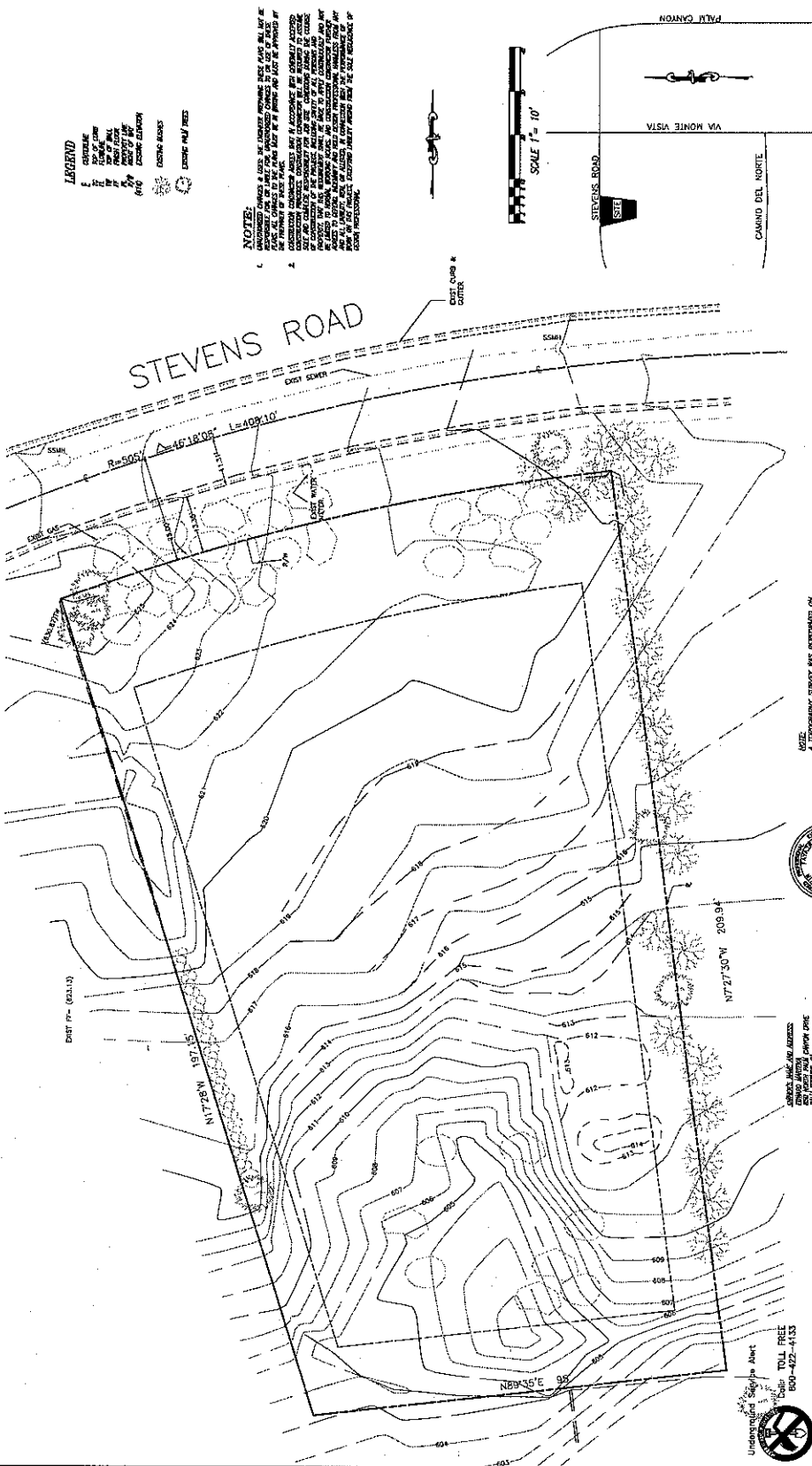
THIS DOCUMENT IS FOR INFORMATIONAL PURPOSES ONLY. IT DOES NOT CONSTITUTE A CONTRACT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

**LEGEND**

- 1. UNIMPROVED ROADS
- 2. IMPROVED ROADS
- 3. DRIVEWAYS
- 4. DRIVEWAYS
- 5. DRIVEWAYS
- 6. DRIVEWAYS
- 7. DRIVEWAYS
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- 18. DRIVEWAYS
- 19. DRIVEWAYS
- 20. DRIVEWAYS

**NOTE:**  
 UNIMPROVED ROADS & DRIVEWAYS ARE SHOWN AS DASHED LINES. UNIMPROVED ROADS MAY BE IMPROVED AT THE DISCRETION OF THE OWNER. IMPROVED ROADS ARE SHOWN AS SOLID LINES. DRIVEWAYS ARE SHOWN AS DASHED LINES WITH A CENTER LINE. DRIVEWAYS ARE NOT TO BE CONSIDERED AS PART OF THE ROADWAY. THE CITY OF PALM SPRINGS IS NOT RESPONSIBLE FOR THE MAINTENANCE OF UNIMPROVED ROADS OR DRIVEWAYS. THE CITY OF PALM SPRINGS IS NOT RESPONSIBLE FOR THE MAINTENANCE OF DRIVEWAYS.

**STEVENS ROAD**



**NOTE:**  
 THIS MAP IS A TOPOGRAPHIC MAP AND IS NOT A SURVEY. THE CITY OF PALM SPRINGS IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS MAP. THE CITY OF PALM SPRINGS IS NOT RESPONSIBLE FOR THE MAINTENANCE OF THIS MAP.

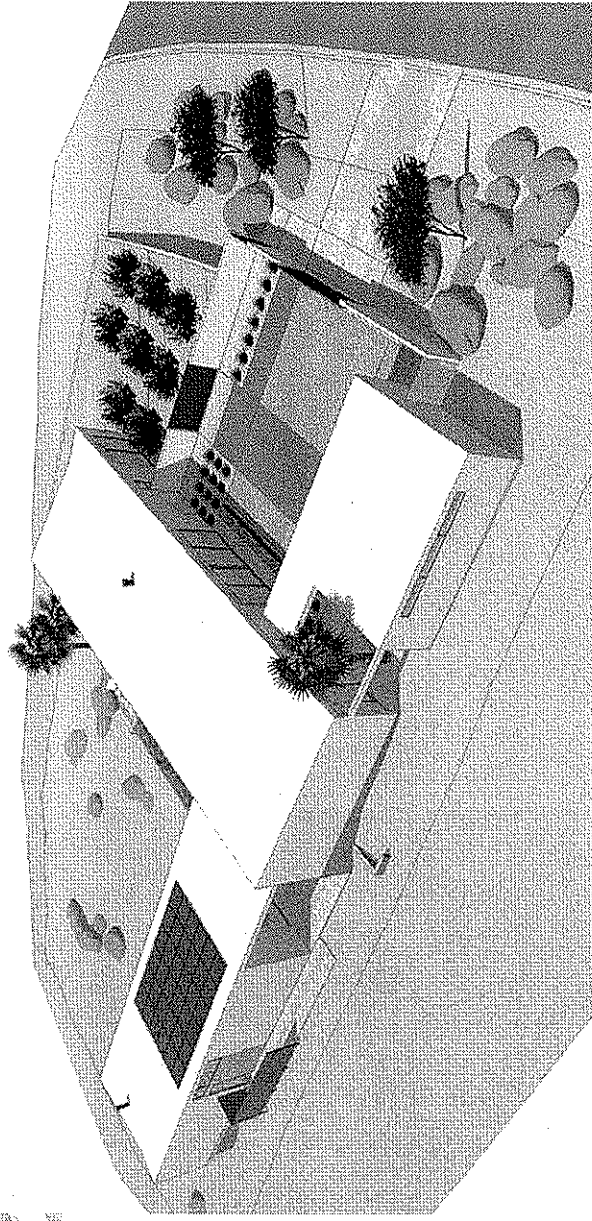
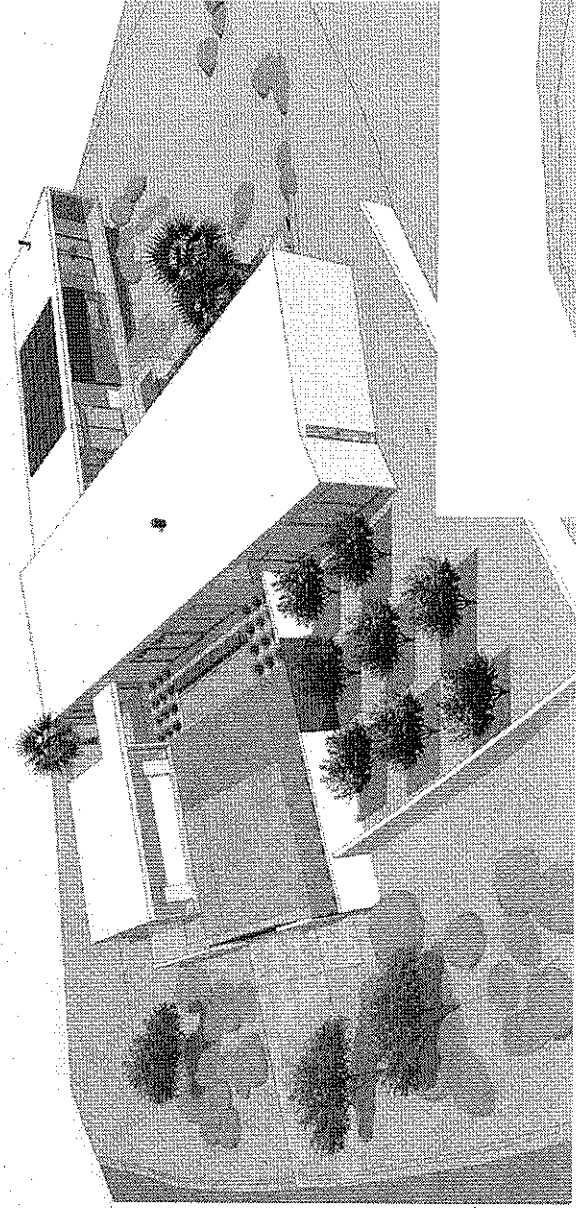


ENGINEER MARK HAS BEEN  
 DESIGNATED AS THE DESIGNER  
 OF THIS PROJECT.

UNIMPROVED ROADS ARE SHOWN AS  
 DASHED LINES WITH A CENTER LINE.  
 IMPROVED ROADS ARE SHOWN AS  
 SOLID LINES.

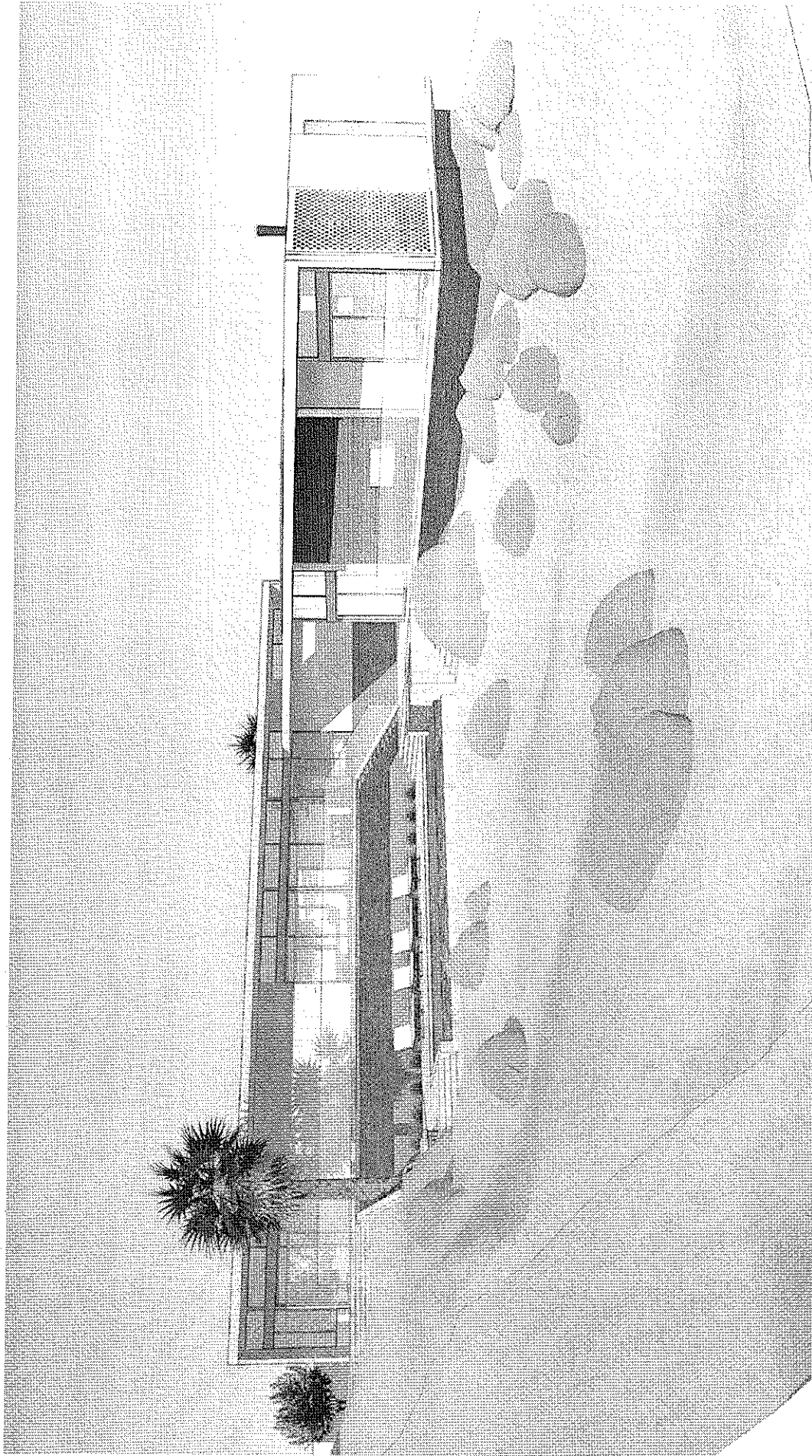
TO KNOW MORE ABOUT US  
 VISIT OUR WEBSITE AT  
 WWW.PALMSPRINGS.CA.GOV

FILE NO. SHEET 1 OF 1	DATE: 02/11/13	SCALE: 1" = 10'	PROJECT: CITY OF PALM SPRINGS TOPOGRAPHIC MAP
PROJECT NO. 1133	DATE: 02/11/13	SCALE: 1" = 10'	PROJECT: CITY OF PALM SPRINGS TOPOGRAPHIC MAP
PROJECT NO. 1133	DATE: 02/11/13	SCALE: 1" = 10'	PROJECT: CITY OF PALM SPRINGS TOPOGRAPHIC MAP
PROJECT NO. 1133	DATE: 02/11/13	SCALE: 1" = 10'	PROJECT: CITY OF PALM SPRINGS TOPOGRAPHIC MAP
PROJECT NO. 1133	DATE: 02/11/13	SCALE: 1" = 10'	PROJECT: CITY OF PALM SPRINGS TOPOGRAPHIC MAP



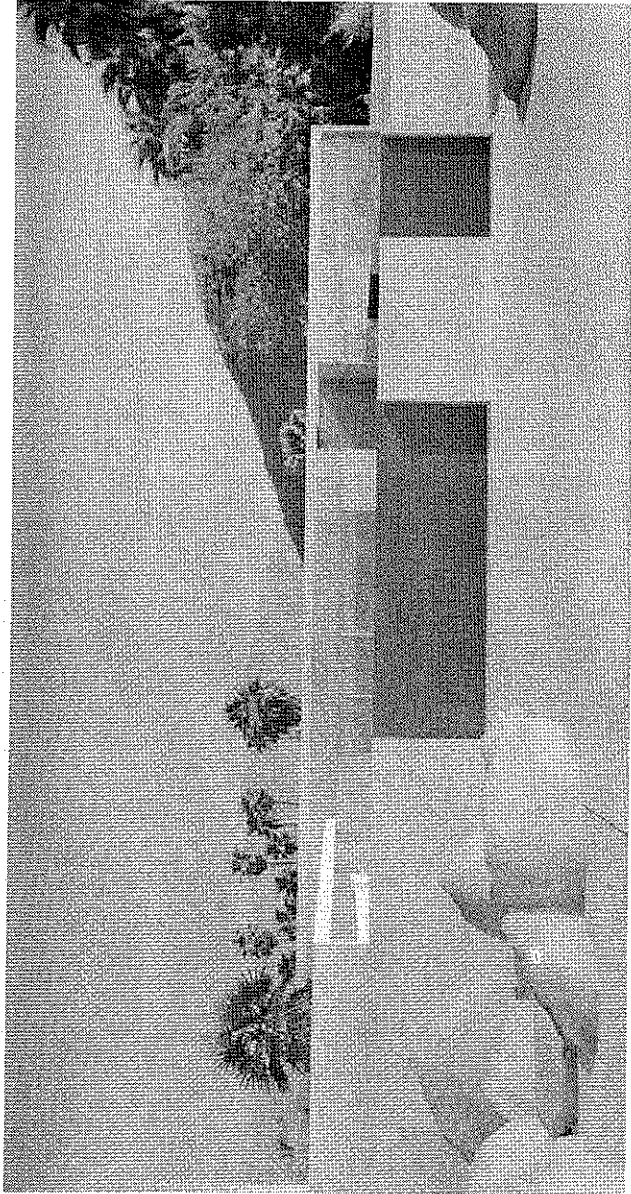
Aerial Views

Project title: **Bean Wagoner Residence**  
Address: **675 West Stevens Road, Palm Springs, CA**

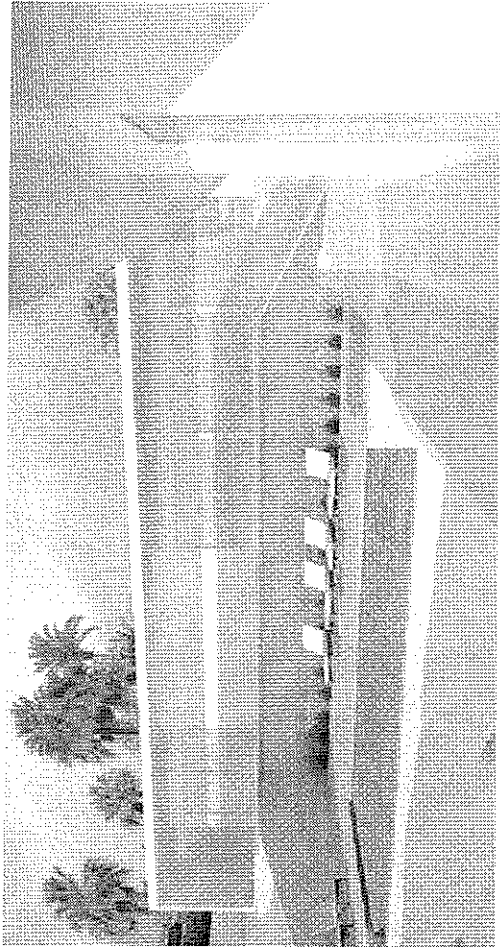


Southwest View





Street View



View from Balcony



Images