

CANYON SOUTH SPECIFIC PLAN
(Amendment to Canyon Park Specific Plan, #1)

Prepared for:

City of Palm Springs
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I. INTRODUCTION

A. Authority and Scope

Section 65450 of the California Government Code grants local planning agencies the authority to prepare a Specific Plan of development over a given piece of property. Consistent with this authority, the City of Palm Springs is implementing a revised Specific Plan for the Canyon Park project, now called the Canyon South Specific Plan, using its Planned Development District process as the implementation tool for the Specific Plan (Section 94.03.00, Palm Springs Zoning Ordinance). A General Plan Amendment (Section 65358 CGC) will accompany the revised Specific Plan.

The Palm Springs General Plan recognizes the use of Specific Plans for certain areas of the City, including Canyon South, when it states¹:

A Specific Plan is a development plan which may further refine the General Plan. Specific Plans often provide detailed design and analysis of complex mixed-use projects, and indicate specific land use locations and design. A Specific Plan contains text, exhibits and diagrams indicating the distribution, location and intensity of proposed land uses and the necessary public and private urban support systems pursuant to California government Code Sec. 65450-65457. Such plans shall be adopted prior to any development in the specified areas.

Each Specific Plan also defines the standards and criteria for development, open space, and, where applicable, conservation programs. Additionally, the Specific Plan provides a program of implementation measures and financing necessary to carry out the project.

B. Project History

The lands encompassed in the Canyon South Specific Plan have been addressed through a number of planning efforts over the past decade, including amendments to General Plan land use designations, Specific Plan amendments and a development agreement. The Specific Plan for these lands has been refined and revised, and has been the subject of environmental analyses and special studies, including the certified Final Environmental Impact Report for the Canyon Redevelopment Plan prepared in 1991 (SCH# 91012026) and the Environmental Assessment for the Canyon Park Resort & Spa Specific Plan Amendment adopted by the City of Palm Springs in

¹ Palm Springs General Plan, 1993, page I-20.

1994. Most recently, a Specific Plan Amendment was approved to allow the reconstruction of the existing golf course. These documents are available for review at the City of Palm Springs.

Additionally, the Specific Plan is governed by a Stipulated Judgment² which addresses and controls certain aspects of development within the Specific Plan boundary. These issues are particularly associated with conservation of the west end of the Specific Plan boundary, within the foothills of the San Jacinto mountains, and development restrictions on the eastern end of the Specific Plan area, in and adjacent to the Palm Canyon Wash. All components of this Specific Plan conform to the Stipulated Judgment. The City is committed to reviewing all proposed plans, permits and other entitlements to ensure that the City complies with all terms of the Stipulated Judgment. A copy of the Stipulated Judgment is available at the City of Palm Springs.

C. Project Location

The project area is located in the southern portion of the City of Palm Springs, in Riverside County. The site is bounded by Murray Canyon Drive on the north, Acanto Drive to the south, the Palm Canyon Wash to the east, and the San Jacinto mountains to the west (see Exhibit I-1 Regional Location Map, Exhibit I-2 Vicinity Map, and Exhibit I-3 Existing Site Conditions).

The area surrounding the Specific Plan boundary represents both urban and rural land uses. The lands to the west of the Specific Plan boundary are the San Jacinto Mountains, which rise rapidly above the Valley floor in this area. To the south are single family homes, and further south the Indian Canyons and other lands permanently preserved as open space. To the southeast of the Specific Plan, lands are generally developed in low and very low density residential land uses. To the north, both single and multi-family residential developments already exist, as does the Canyon Golf Course. Lands to the east include the Palm Canyon Wash and the Smoke Tree Ranch project, an existing single-family residential development and stables (see Exhibit I-3, Existing Site Conditions). The development proposed within the Specific Plan boundary is similar to, and consistent with that already occurring in this area.

D. Project Description

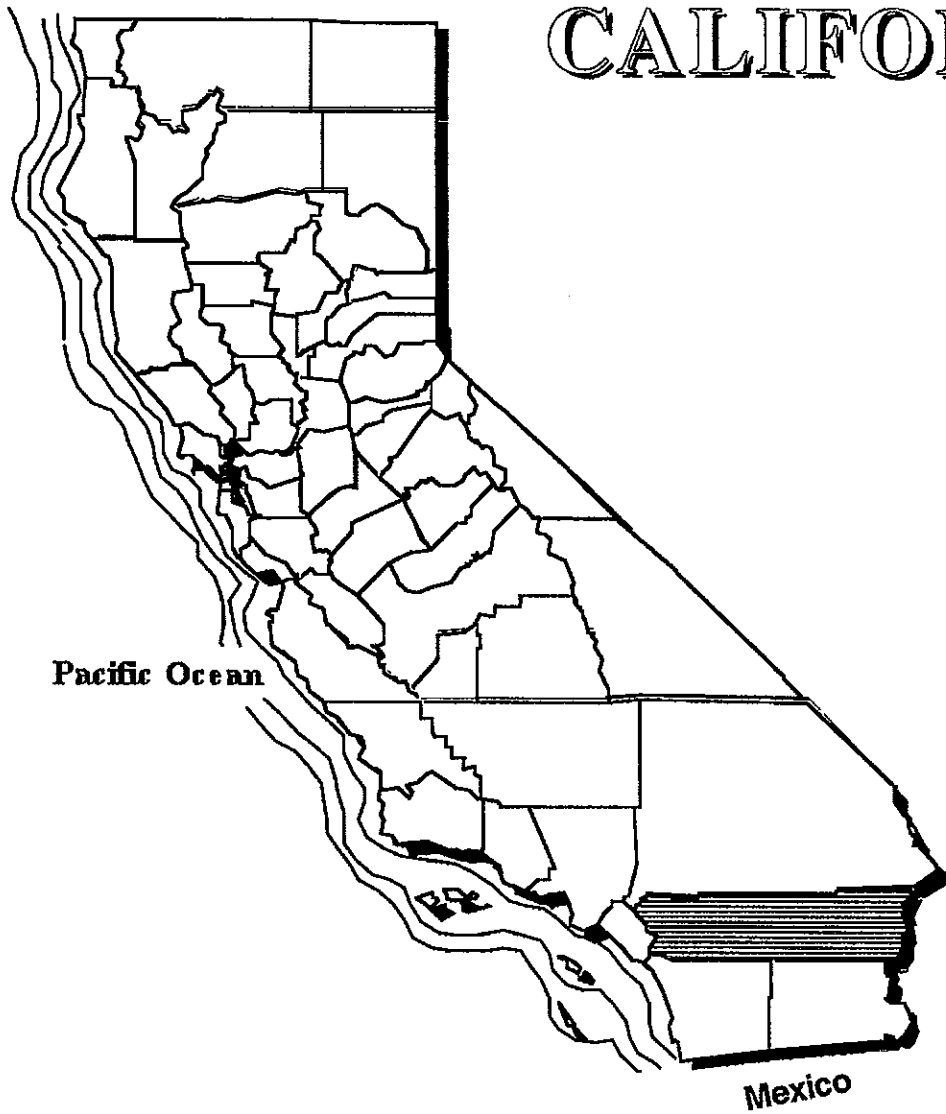
There are four distinct components to the project area: the golf course redesign and clubhouse remodeling; the hotel and spa construction; existing and proposed residential development; and conservation/open space. The entire planning area encompasses 721± acres of land, including the 145± acres of land for the golf course currently under construction.

Finally, the project boundary will be reduced by approximately 20 acres at the northeast corner, eliminating an area which has been determined to be undevelopable under the Stipulated Judgment.

Each component of the plan is described in further detail below. Table I-1 illustrates the acreages and units in each land use designation within the plan.

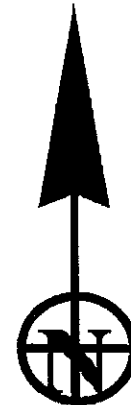
² “Stipulation for Entry of Judgment,” Sierra Club et. al. Vs. Canyon Development et. al., August 1993.

CALIFORNIA

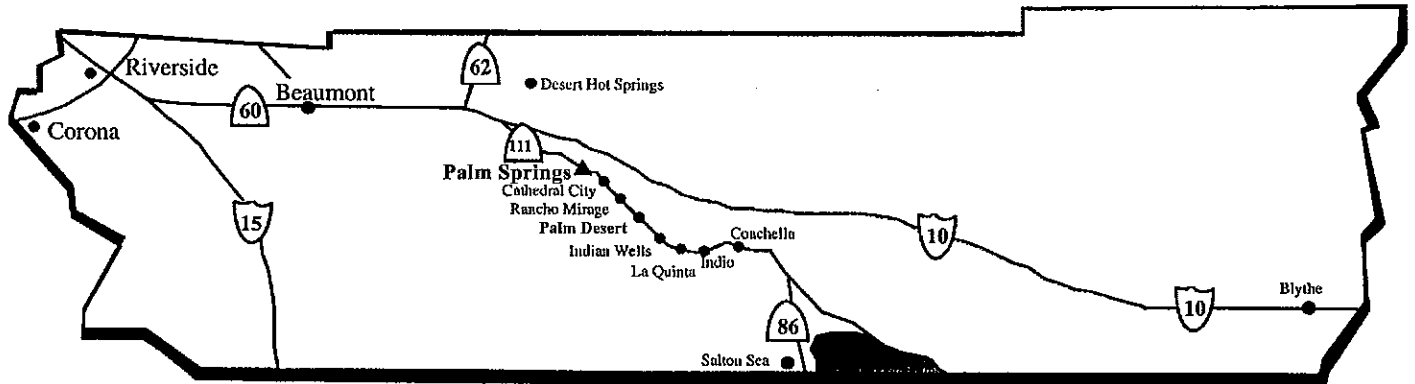


Pacific Ocean

Mexico



No Scale



RIVERSIDE COUNTY



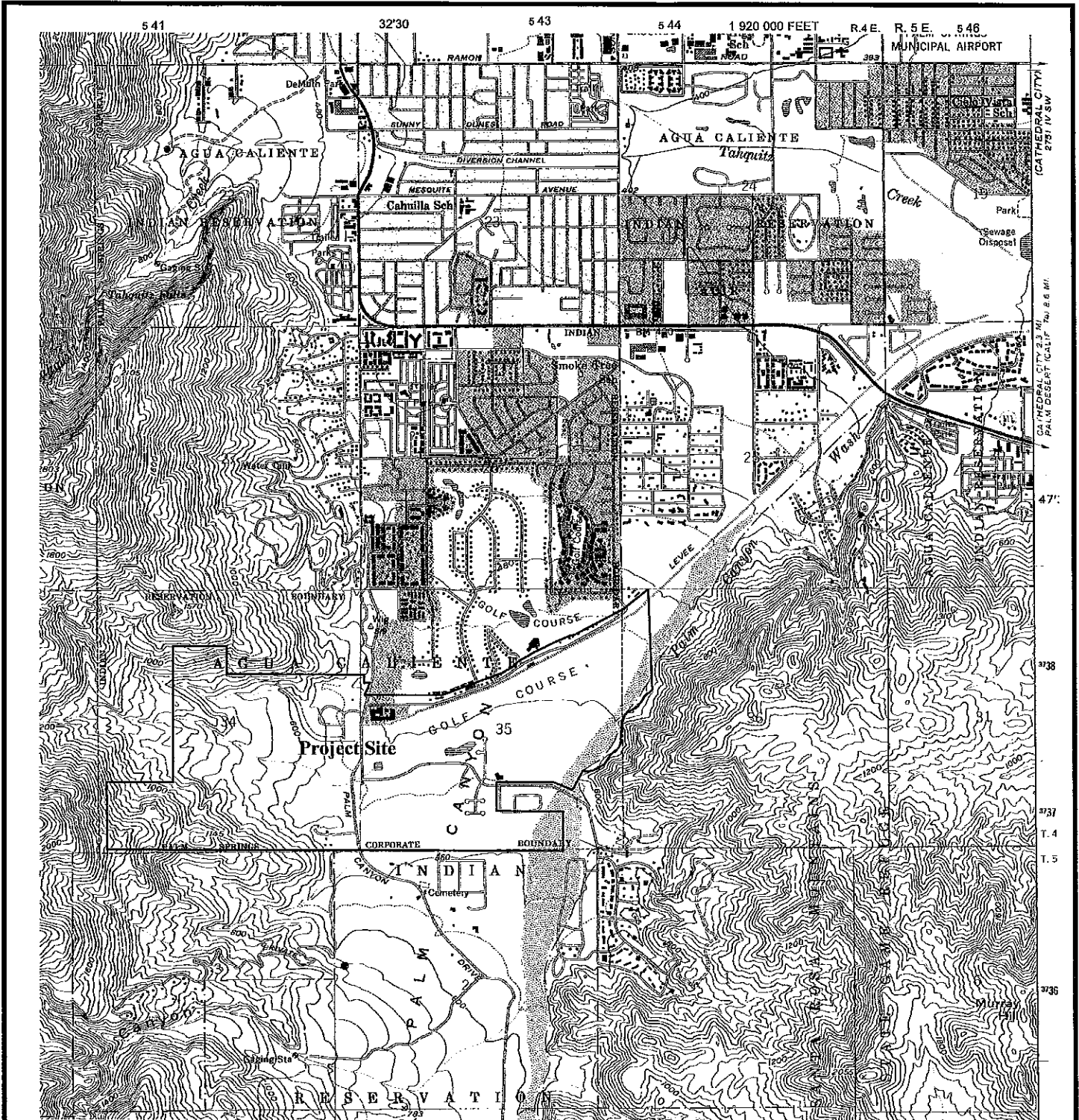
TERRA NOVA®
Planning & Research, Inc.

Agua Caliente Development Authority
Regional Location Map
City of Palm Springs



Exhibit

I-1



(Palm View Peak) 541 542 3230 544 545 546

SCALE 1:24 000

1000 0 1000 2000 3000 4000 5000 6000 7000 FEET

1 5 0 1 KILOMETER

CONTOUR INTERVAL 40 FEET
 DOTTED LINES REPRESENT 20-FOOT CONTOURS
 NATIONAL GEODETIC VERTICAL DATUM OF 1929

Source: USGS 7.5" Maps: Palm Springs 1957, Photo Revised 1988



TERRA NOVA[®]
 Planning & Research, Inc.

Agua Caliente Development Authority
Project Vicinity Map
City of Palm Springs



Exhibit

I-2



Source: Gensler Architects

**Table I-1
Land Use Designations within the Plan**

Land Use	Acres	No. of Units	No. of Units Previously Approved
Conservation	255	0	16*
Open Space (Golf Course)	145	--	
Residential	308	810	834
Hotel	13	450	450
Totals	721	1,260	1,300
*Subject to provisions of Stipulated Judgment			

Canyon South Golf Course and Clubhouse

The golf course was originally constructed during the mid-sixties, and is currently undergoing redesign and reconstruction. Modernization and physical improvement to bring the course up to current standards are the primary goals of the golf course reconstruction project. Designs include waterfalls and lakes, the use of boulders, vegetation and mounds to conceal the existing concrete dike, and other landscaping techniques that enhance the golf course design.

The clubhouse is proposed to be remodeled to provide an improved amenity for the golf course. The clubhouse will encompass up to 25,000 square feet, within a building up to 35 feet in height (measured from the top of curb of Murray Canyon Drive). The goal of the clubhouse design is to create a unique golf facility that will enhance Palm Springs and complement the majesty of the Indian Canyons. It also intended to support the adjacent Indian Canyon Resort Hotel proposed in this Specific Plan. The design emphasizes the tribal canyons by view orientation, landscape, and use of indigenous materials.

Indian Canyons Resort Hotel

The hotel site offers spectacular mountain views and acts as a gateway to the sacred Indian Canyons. The Specific Plan will allow for the development of up to 450 guest rooms with amenities including a spa, exercise facilities, retail, meeting and banquet areas, executive offices, food services and general support services on 13.3-acres of land. The primary building on the site will be the hotel itself, which is conceptually planned as a 4 to 5 story, 80 foot maximum height structure (100 feet is allowed for 'Indian land' projects in the City's Zoning Ordinance. The hotel structure, which undulates on the site and extends to a length of 686 feet, is set back from both Palm Canyon Drive and Murray Canyon Drive at least 250 feet. Other structures on the site will include a parking structure, ballroom and conference facilities, and 2 story villas or casitas, which are included in the total room count of the hotel. Parking facilities will include garage and surface parking with up to 740 spaces. The Agua Caliente Development Authority (ACDA) is planning to develop this location with premier accommodations on this distinctive site, in order to compete with the Coachella Valley's more luxurious resorts.

The goal of the hotel design is to reflect the unique beauty of the desert and the majesty of the Indian Canyons. The design emphasizes the canyons by view orientation, landscape, and use of

indigenous materials. The design elements support and reinforce these goals. The style of the hotel is contemporary, capturing the spirit of the site and the climate. The Hotel building is a clear modulated structure that provides sun control. The materials are local, appropriate and reinforce the Canyons. Ancillary buildings attached to the hotel mass express their use.

As a component of the site design, the South Palm Springs dike will be realigned towards the south to match the existing dike west of South Palm Canyon Drive. The hotel site will then be graded from the top of the dike realignment north, to match the existing grade at Murray Canyon Road. As a result, the hotel entry level will be constructed to align with grade at the dike on the southern portion of the site.

Residential Development

The existing and proposed residential developments within the project site will be developed independently from the resort components of the Specific Plan, whereas the previous plan envisioned a master developer for all lands within the Specific Plan boundary. The residential developments will range from standard, large-lot single-family subdivisions to cluster designs emphasizing common open space and recreation facilities, and could total up to 810 residential units. Some of the residential sites within the plan area have been constructed since the original Specific Plan approval, primarily consisting of individual single family homes. A single family residential tract was also recently approved at the northeast corner of Acanto and South Palm Canyon.

The portion of the property described as the area westerly of South Palm Canyon Drive within the designated critical habitat area (Study Area) shall remain undeveloped until additional environmental analysis can be performed as to potential impacts to Peninsular Bighorn Sheep (PBS). Although extensive environmental review has been performed for the project, the Study Area is especially sensitive and additional review is warranted. This additional environmental review, which shall be performed before any development is approved within the Study Area, shall address, at a minimum, the proposed development's potential impact on the PBS Recovery Plan and potential impacts on designated critical habitat for PBS.

Conservation and Open Space

A total of 238 acres are designated Conservation within the Specific Plan boundary. This represents an increase of 38 acres over the previously approved Specific Plan. The additional acreage is located in the northwestern portion of the Plan area, on lands southwest of the Canyon Heights development. The Stipulated Judgment included provisions that the developer of the Specific Plan area make his or her best efforts to secure 120 acres of land at the western edge of the Specific Plan area. The land owners and the City of Palm Springs have, since that time, secured and placed in open space 100 of the 120 acres. The balance of the land identified in the Stipulated Judgment is designated Conservation under this Specific Plan. In addition, the lands immediately east, totaling 35 acres, have been designated Conservation in this Specific Plan, with a density transfer to the balance of the acreage (80 acres) in this area. Finally, 31 acres of the Palm Canyon Wash, on the eastern end of the Specific Plan boundary, has also been designated for Conservation.

II. GENERAL PLAN

A. General Plan Consistency

The project site is located in the southern portion of the incorporated City of Palm Springs. As shown in Exhibit II-1, Existing Land Use Designations, the General Plan lists land uses for this area as Parks and Recreation, Golf Course, attached and detached (low, medium and high) Residential, and Conservation. A discussion of these land use designations is provided below.

General Plan Land Use:

- H30: High Density Residential - This land use designation provides for the development of a maximum of thirty (30) dwelling units per acre for residential development, and up to 43 hotel rooms per acre. High rise development is allowed under this designation, up to 60 feet on fee lands, and up to 100 feet on Indian lands.
- M15: Medium Density Residential - This designation allows up to fifteen (15) dwelling units per acre.
- L4: Low Density Residential - This land use designation provides for the development of a maximum of four (4) dwelling units per acre.
- L2: Low Density Residential - This land use designation provides for the development of a maximum of two (2) dwelling units per acre.
- C: Conservation - This land use designation provides for the development of a maximum of one (1) dwelling unit per twenty (20) acres.
- PR: Parks and Recreation - This land use designation provides for the development of park and recreational facilities.
- Golf Course Symbol - The placement of this symbol at the site indicates the City's desired location for a golf course.
- W: Watercourse - This land use designation acknowledges areas subject to flooding.

Finally, the Specific Plan area has been specifically identified in the City's General Plan as including:

“a guard-gated residential enclave with estate homes; a resort hotel, including a spa and fitness complex; an 18 hole championship golf course and clubhouse; and accessory recreational and commercial facilities.”










The land uses included in this Specific Plan amendment are consistent with the existing description in the Specific Plan, and will not change the character of the area from that originally envisioned for the site.

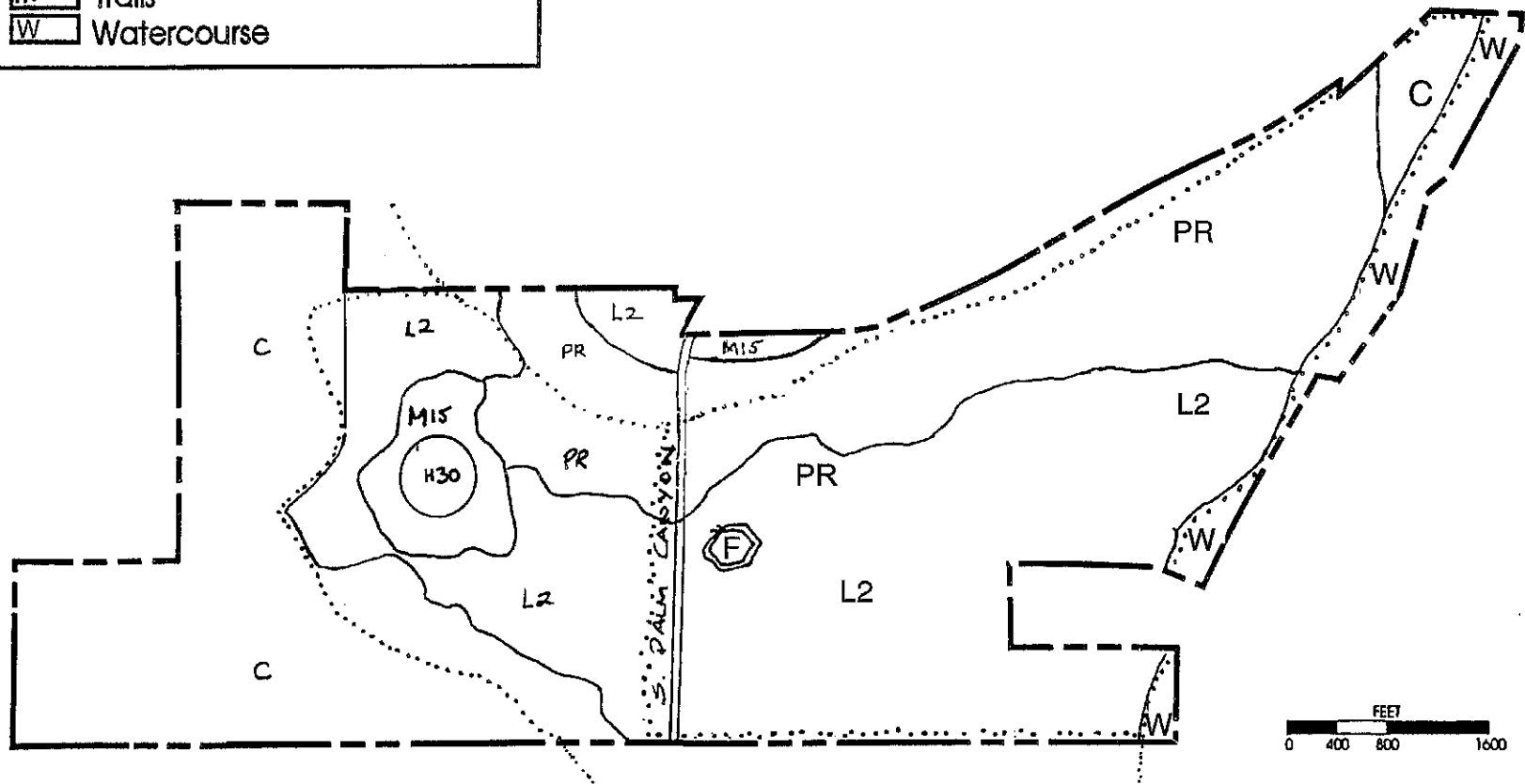
B. General Plan Amendment

The current General Plan designation for the southeast corner of Murray Canyon and South Palm Canyon, the proposed hotel site, is M15, Medium Density Residential (see Exhibit II-1). To accommodate the hotel and spa, a General Plan amendment to increase the density will be submitted concurrently with the Specific Plan (see Exhibit II-2). The new designation will be H30 Medium-High Density Residential. This designation provides for the development of a threshold of twenty-one (21) dwelling units per acre and a maximum of thirty (30) units per acre. Appropriate residential development under this designation includes multiple-family apartments, resort hotels and similar permanent and resort housing.










Also as part of this amendment, the designations of H30, M15, and PR west of South Palm Canyon Drive will be removed, leaving only the Low Density Residential (L2) and Conservation (C) designations in this area.

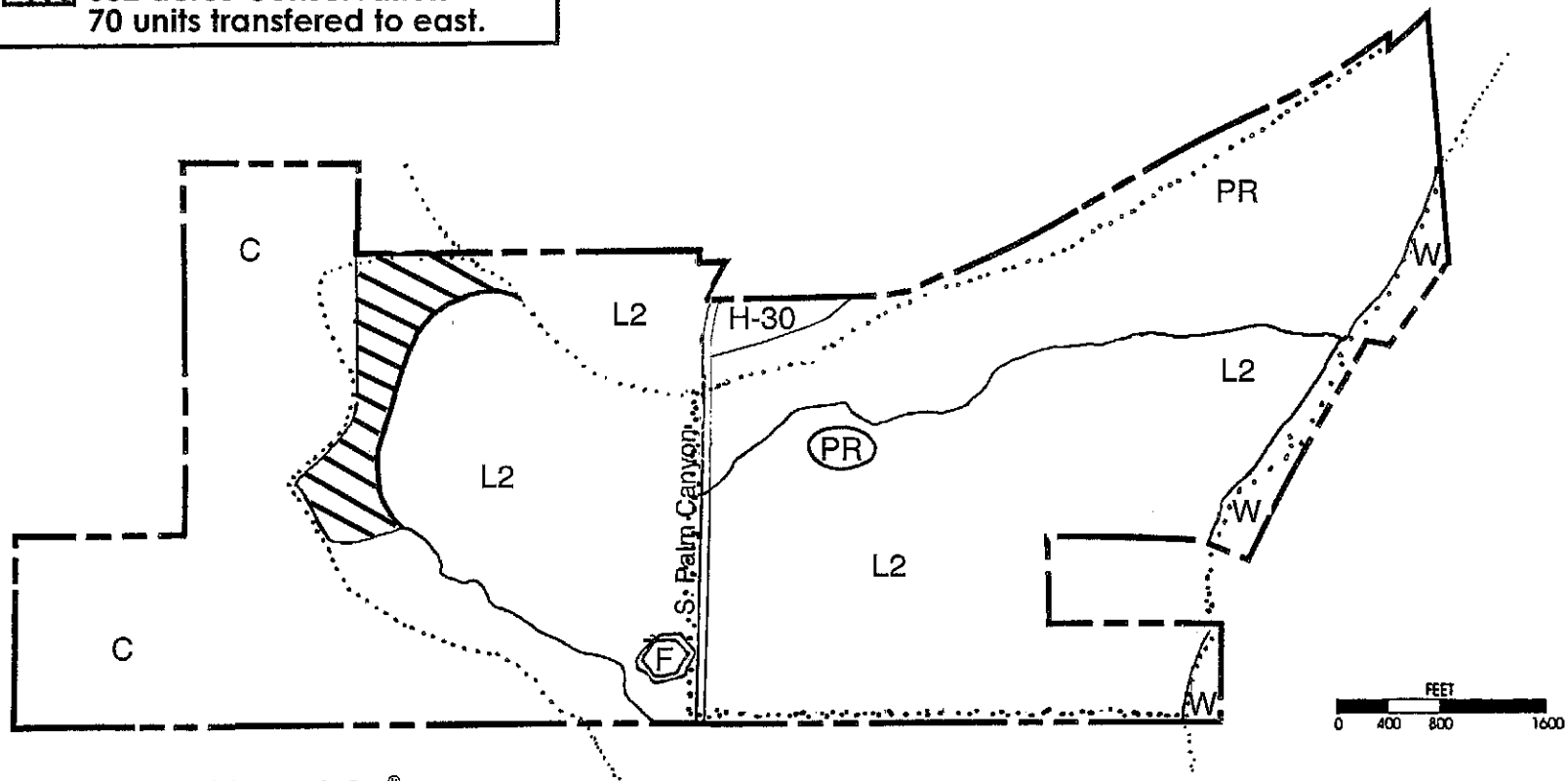
LEGEND

-  Project Boundary
-  Low Residential (2DU/AC)
-  Medium Residential (15DU/AC)
-  High Residential (30DU/AC)
-  Conservation (1DU/20AC)
-  Parks and Recreation
-  Fire Station
-  Trails
-  Watercourse



Source: SMITH PERONI & FOX

LEGEND	
	Project Boundary
	Low Residential (2DU/AC)
	High Residential (30DU/AC)
	Conservation (1DU/20AC)
	Parks and Recreation
	Fire Station
	Trails
	Watercourse
	35± acres Conservation 70 units transferred to east.



Source: Terra Nova Planning & Research, Inc.®

C. Zoning

A Zoning Map amendment is not included in this Specific Plan Amendment application, since the development of the entire project area is to be implemented through the City of Palm Springs Planned Development District protocols, consistent with this Canyon South Specific Plan and as described below. In the event that a property owner does not wish to develop pursuant to the Specific Plan, however, they may proceed with development consistent with the underlying zoning for the property.

The following processes will apply to development within the Specific Plan boundary.

- PDD: Planned Development District – The PDD is a land use permit pursuant to Section 94.03.00 of the Zoning Ordinance, including engineering, planning, architecture, and landscape architectural design concepts, and precise boundaries proposed for various development areas within the Specific Plan.

“The Planned Development District is designed to provide various types of land use which can be combined in compatible relationship with each other as part of a totally planned development...”

- Architectural Review – This process, pursuant to Section 94.04.00 of the Zoning Ordinance, defines specific aspects of design which shall be examined to determine whether the proposed development will be compatible with the character of the area, aesthetics of the composition, materials, textures, and colors. Specifically, the clubhouse reconstruction will be processed under Major Architectural Review.

III. LAND USE

Introduction

This Specific Plan establishes the land use designations, development standards and guidelines for all development types within the Specific Plan boundary. Densities have been reduced overall from previous approvals, The type of land uses allowed are described further below. The maximum densities in each of the planning areas are shown in Table III-1, below, and in Exhibit III-1. Also illustrated in the Table are the densities previously approved for the Specific Plan.

**Table III-1
Master Land Use Plan**

Planning Area	Land Use	Acres	No. of Units	No. of Units Previously Approved
1	Conservation	207	0	16*
2	Residential	127	326**	629
3	Residential	20	93	93
4	Open Space (Golf Course)	145	--	
5	Hotel	13	450	
6	Residential	178	391	559
7	Conservation	31	0	
Totals		721	1,260	1,297

*Subject to Stipulated Judgment.
**Includes units subject to density transfer due to Conservation designation on 35 acres of a 115 acre holding.

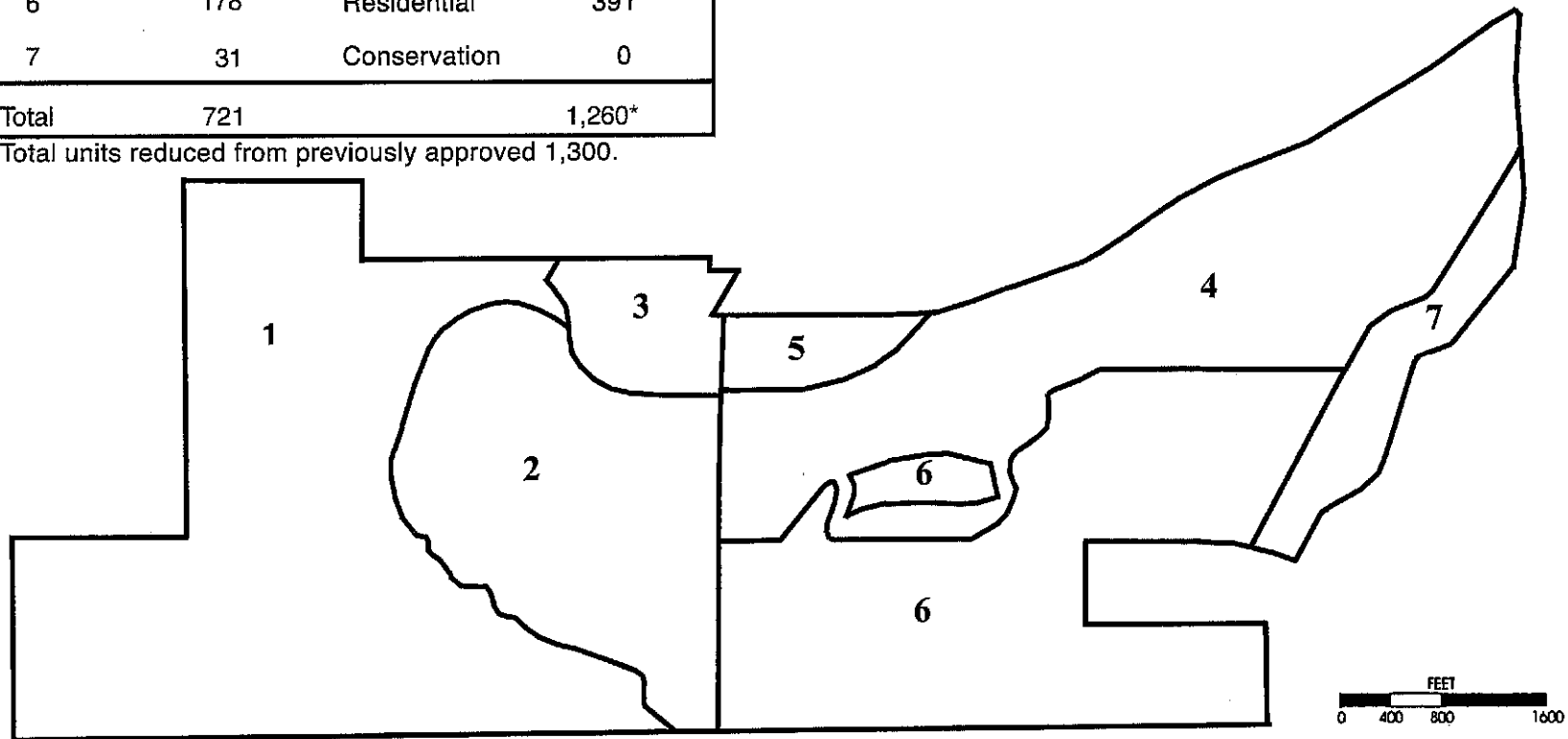
A. Golf Course

1. History

The golf course was originally constructed during the mid-sixties, and is currently undergoing redesign and reconstruction. Modernization and physical improvement to bring the course up to current standards are the primary goals of the golf course reconstruction project. Designs include waterfalls and lakes, the use of boulders, vegetation and mounds to conceal the existing concrete dyke, and other landscaping techniques that enhance the golf course design. The layout of the golf course itself will not significantly change, although fairways will be redirected and redesigned. Landscaping of the proposed golf course will include desert native and drought tolerant plantings. Existing trees on the golf course have been inventoried and will be preserved or relocated whenever possible.

PLANNING AREA	ACRES	LAND USE	# UNITS
1	207	Conservation	0
2	127	Residential	326
3	20	Residential	93
4	145	Golf Course & Clubhouse	0
5	13	Hotel	450
6	178	Residential	391
7	31	Conservation	0
Total	721		1,260*

* Total units reduced from previously approved 1,300.



Source: Terra Nova Planning & Research, Inc.®

The redesign and reconstruction will encompass 145± acres of land. The boundary of the golf course redesign will be within the existing golf course boundary, and will not exceed the developable boundary established in the Stipulated Judgment, or in subsequent agreements between the applicants and the Sierra Club..

2. Clubhouse

The clubhouse is planned for reconstruction on the existing site, within the standards of the City's architectural review process. The clubhouse design will include a registration area, retail, administration areas, food and beverage services, a receiving area, and public restrooms. The clubhouse will encompass up to 25,000 square feet, with a maximum building height of 35 feet (measured from the top of curb on Murray Canyon Drive).

The goal of the Indian Canyon Clubhouse design is to create a unique golf facility for families drawn to Palm Springs by the unique beauty of the desert and the majesty of the Indian Canyons. It is intended also to support the adjacent Indian Canyon Resort Hotel. The conceptual designs emphasize the tribal canyons by view orientation, landscape, and use of native materials. Exhibits in Section IV illustrate the conceptual perspective and associated elevations.

3. Ancillary Facilities

The maintenance building was constructed in the mid-sixties in conjunction with the original golf course. The construction materials consist of painted masonry block and shingle roofing. The relationship of the clubhouse to the maintenance building is shown in Exhibit IV-2, Golf Clubhouse - Site Plan. The maintenance building may be remodeled or replaced in the future under this Specific Plan, using the Major Architectural Review process, pursuant to Section 94.04.00 of the Palm Springs Zoning Ordinance.

B. Hotel Site

1. History

A resort hotel was constructed on a portion of the proposed hotel site in the late 1960's and operated through the early 1980's. The hotel was then vacant until it was demolished 1999. The development of a new hotel will provide a modern destination resort and spa in the City of Palm Springs, in order to compete with similar developments in east Valley communities. Construction of this facility is planned to start in late 2003 and be completed in 2005.

2. Relocation of the Dike

The South Palm Springs dike will be relocated from its present location southerly approximately 180 feet, and realigned with the existing dike west of South Palm Canyon Drive. The dike will meet existing flood control standards for construction. Review and approval of the dike design will be the responsibility of the Riverside County Flood Control and Water Conservation District (RCFCD).

Moving of the dike will increase the hotel site from its current 8.4 acres to 13.3 acres. The top of the dike will be approximately 8 feet above the grade immediately to the south of the dike. North of the dike, the grade will be more of a gradual slope to the existing grade at Murray Canyon. This will involve a reduction in grade of approximately 5 feet from the top of the dike to Murray Canyon over a distance of approximately 180 feet. This action will be reviewed by RCFCDD for compliance with all applicable requirements and regulations.

3. Proposed Design

The 13.3-acre hotel site of the Specific Plan allows up to a 450 room resort hotel. The maximum density allowable for hotel development on the site under this Specific Plan is 35 units per acre. Under the City's current General Plan, a density of up to 43 units per acre could be constructed on the site.

The hotel will include up to 45,000 square feet of business meeting / banquet areas, 15,000 square feet for a health spa and wellness center, and 20,000 square feet of retail and restaurant space. There will also be a series of interconnected outdoor swimming pools and spas located adjacent to the hotel and cabana units. The cabana units will be included in the total room count of 450 units.

Hotel support facilities will include a service lobby with front desk, food and beverage services, gift shop, administrative offices, restrooms, housekeeping, and valet and room service. In addition, the conceptual site plan accommodates 440 spaces in a parking structure, 246 surface parking spaces, and 4 subterranean parking spaces within the hotel footprint, exceeding the Zoning Ordinance parking standards. Exhibits IV-8 through IV-14 illustrate the hotel's proposed elevations, site plan, and typical floor plans.

The hotel will be sited with a panoramic view of the golf course against the backdrop of pristine mountain ranges to the south and southwest. To capitalize on the resort's dramatic canyon setting and views, the hotel guest rooms and suites will be located in a five-story core building with cabanas situated as one and two-story structures partially surrounding a large open courtyard at the west end of the site. The proposed design will help reduce the mass and scale of the main facility, while creating a unique and visually attractive centerpiece to the overall resort facility. The cabanas are proposed to be multi-unit attached structures, incorporating swimming pools and spas interspersed among the building elements. A maximum of 40 cabanas are proposed within the hotel site plan. These units will derive their design character from an indigenous theme. The entire resort hotel complex including cabanas, parking and planned amenities will occupy approximately 13.3 acres.

C. Residential Component

1. History

The remaining residential properties within the Specific Plan had previously been anticipated to be developed by a single developer. Subsequent to the original approvals, the property has reverted to multiple owners, each of whom is desirous of being able to develop on their own

schedule. Another factor that has changed significantly is the golf course, which was originally envisioned as being redeveloped to include additional properties for golf while creating areas for residential uses with golf frontage into the scheme.

2. Current Proposal

The objective of the general residential component of the project is to allow development consistent with the current city standards under the Zoning Ordinance, but to also allow a creative departure from the normal standards where it can be shown that an improvement in the overall quality of development will occur. The areas most suitable for residential development are identified on Exhibit III-1, Master Land Use Plan. The intensity of development in these areas is defined in terms of acreage, density, and potential unit yields as shown in Table III-1. Inasmuch as the Canyon area is considered one of the more desirable residential areas of the City, it is anticipated that larger, more expensive homes will be planned for the remaining undeveloped sites. The development standards proposed by the Specific Plan allow for slightly more building height (22 feet vs. 18 feet allowed by right of zone), as well as more flexibility in setbacks. In order to take advantage of these standards, projects must receive approval of a Planned Development District as well as the otherwise required entitlement application(s).

The 115 acre “Gans” property, located on the western boundary of the Specific Plan area, within Planning Area 2, includes a requirement for dedication of 35 acres to Conservation on its western end. Under this Specific Plan, the 70 units which would have been permitted on these 35 acres, may be transferred to the remaining 80 acres, subject to Planned Development Permit review. The 35 acres shall be dedicated to Conservation, and conveyed to the City for such purpose, prior to the recordation of any map on this property. The boundary of the 35 acres is shown on Exhibit II-2, Proposed Land Use Designations.

Zones that exist in the residential portions of the project are: W-R-1-A; R-1-A; and R-1-B. The permitted uses for these properties follow Palm Springs Zoning Code Section 92.01.01 under the “R-1” single-family residential zone, as well as additional restrictions under 92.20.00 the “W” prefix for the watercourse zone.

Other areas without existing entitlements are to be developed consistent with the current city development standards under Zoning Ordinance 9.60.

D. Conservation, Open Space and Recreation

1. Conservation and Open Space

Lands designated for conservation within the Specific Plan boundary total 238 acres, 38 acres more than in the previous Specific Plan. The additional acres are located in the northwestern portion of the Specific Plan, immediately southwest of the Canyon Heights project. These lands, previously designated for residential development, are included as Conservation lands in this amendment.

The project area lies within reservation of the Agua Caliente Band of Cahuilla Indians. The Tribe recently approved its own Final Draft Tribal Habitat Conservation Plan (HCP) that covers all land within the reservation. The project as proposed is consistent with the HCP. A key tenet of the HCP is the acquisition of important open space within and around the reservation. The final agreement on the HCP is pending with the U.S. Fish and Wildlife Service, but the Tribe has been actively identifying and acquiring property deemed important habitat by their plan, as well as the pending Coachella Valley Multi-Species Habitat Conservation Plan (CVMSHCP).

In addition to the Tribal HCP, the City of Palm Springs has also been active in acquiring open space in and around Palm Springs, most of which has been steep slope hillside areas on the west side of the City. In conjunction with the previous project activity in the Canyon area, one property owner dedicated 100 acres (from a 255 acre property) in Section 34 specifically to comply with the conditions established by the Stipulated Judgment between the Sierra Club and the project proponents, including the City of Palm Springs and the Palm Springs Redevelopment Agency. The City also has acquired title to another 120 acres in Section 34 as well as a conservation easement over the hillside area on the southeast side of the Palm Canyon Wash as a result of a dedication required in conjunction with Tract 18048 near the Bogert Trail bridge.

Southerly of the project area, the Tribe has been actively acquiring open space in conjunction with the Tribal Heritage Park. Some of the lands acquired were potentially developable and will now be secured as permanent open space in the Palm Canyon area. The City has also been active in securing lands for open space, as have private parties. In the San Jacinto Mountains, which border the planning area to the west, there are a total of 9,496 acres in conservation. This includes 2,123 acres of BLM land, 411 acres controlled by Friends of the Desert Mountains, 1,290 acres controlled by Tribal allottees, 540 acres controlled by the Tribe, 2,216 owned by the City of Palm Springs, 648 acres owned by the Desert Water Agency, 200 acres of Coachella Valley Mountains Conservancy lands, and 2,000 acres in either the National Forest or owned by other parties. In the San Jacinto Mountains, therefore, there are 9,496 acres of conservation lands within the City limits.

In the Santa Rosa Mountains within the City of Palm Springs' corporate boundary, the Tribe has 1,456 acres in conservation, the City 160, Los Compadres 40, the Friends of the Desert Mountains 278, the Coachella Valley Mountains Conservancy 320, other parties 1,042, and the Bureau of Land Management 12,581. This represents a total of 15,877 acres in conservation within the City's corporate limits in the Santa Rosa Mountains.

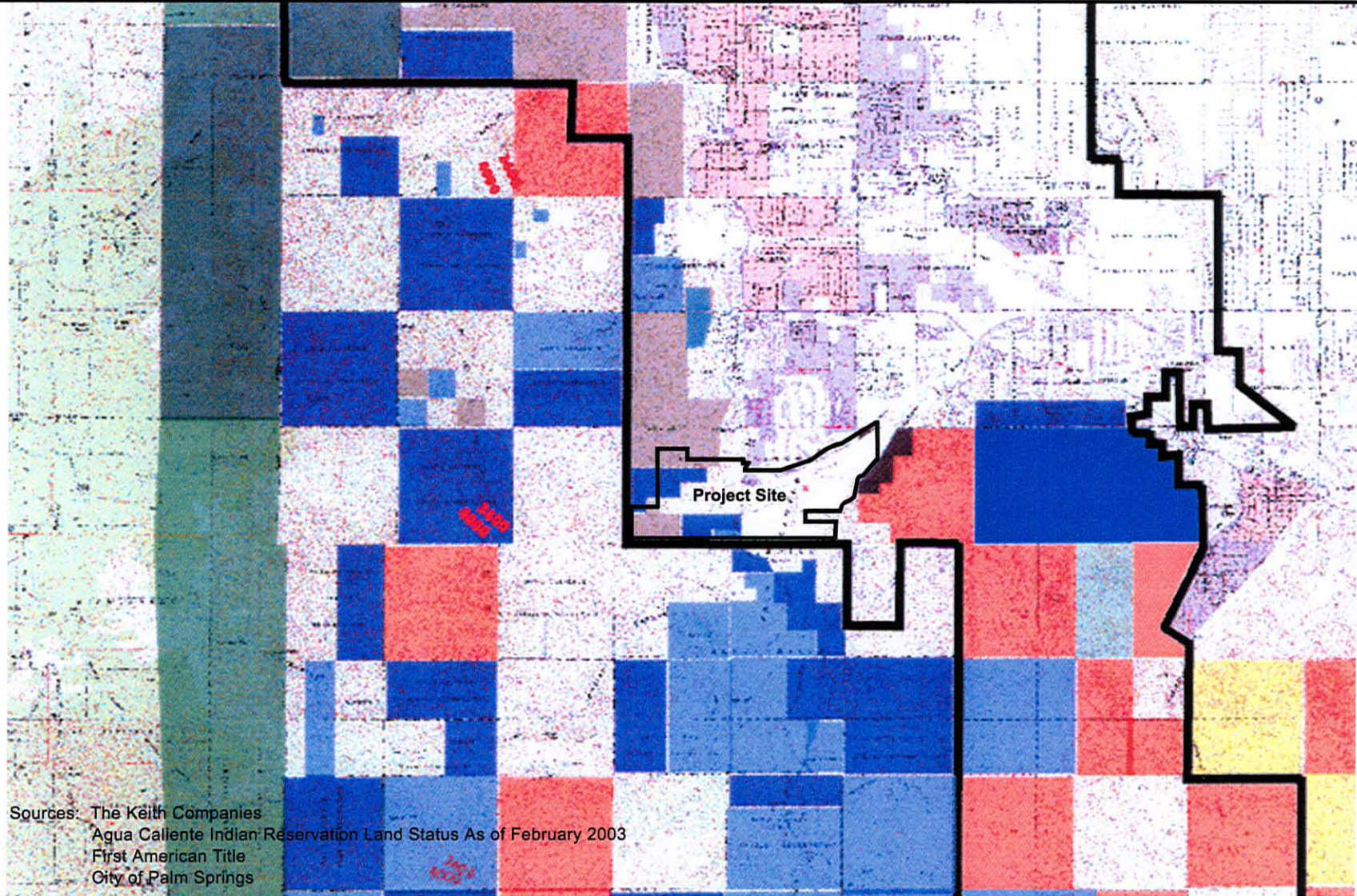
Total mountain lands in conservation within the City's boundary, both in the Santa Rosa and San Jacinto mountains, comes to 25,373 acres. Exhibit III-2 details conservation lands immediately surrounding the Specific Plan boundary.

2. Recreation

Recreation within the Specific Plan boundary consists of the Canyon South Golf Course, which is being remodeled in conjunction with this Specific Plan Amendment. The golf course, which will continue to be open to the public, provides 145 acres of active recreation for Plan residents and surrounding residents.

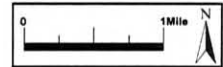
The golf course portion of the project will use tertiary treated water from the Desert Water Agency plant located at Gene Autry Trail south of Mesquite Avenue, when the Agency extends the service to the area. Use of treated water, a City of Palm Springs General Plan objective for golf course and other large acreage landscaping, would conserve the area's water supply drawn primarily from the underground aquifer. Currently the distribution system for that water resource has been extended to the Palm Canyon Wash and a further extension of approximately two miles in the wash would be necessary to bring the water to the Canyon Golf Course. The use of tertiary water would conserve between 750,000 and 1,000,000 gallons per day of the area's groundwater supply.

The City is currently evaluating a park land dedication and in lieu fee ordinance, as provided by the Subdivision Map Act. Currently, the City has approximately 3 acres of park land per 1,000 residents. The General Plan recommends that there be a maximum of 5 acres of park land per 1,000 residents. All residential projects within the Specific Plan boundary will be required to pay an in lieu fee to assist in implementing the General Plan Parks and Recreation Element.



Sources: The Keith Companies
 Agua Caliente Indian Reservation Land Status As of February 2003
 First American Title
 City of Palm Springs

- | | | |
|----------------------|-----------------------|------------------------------------|
| BLM | Tribal Allottee | Desert Riders Trail Fund |
| City of Palm Springs | Other Lands | Open Space Easement (Galway Trust) |
| State Park | Blixeth | Smoke Tree Ranch |
| National Forest | Project Site | |
| Tribal Trust | Privately Owned Lands | |



IV. DEVELOPMENT STANDARDS AND GUIDELINES

This Specific Plan shall allow all uses identified as Permitted as a principal use, Permitted as a accessory to the principal use, Permitted as a principal or accessory use if a Conditional Use Permit is approved, Permitted if a minor use permit is approved, and Permitted as a temporary use as identified in, and subject to the provisions of the Palm Springs Zoning Ordinance, except as specifically described below. The applicable zoning districts include: Single Family Residential (R-1-A and R-1-B), Single Family Residential with a Watercourse prefix (W-R-1-A and W-R-1-B), Limited Multiple Residential (R-4), Urban Reserve (U-R), Other 0-20 (0-20), and Watercourse (W). In general, this Specific Plan is consistent with the provisions outlined in the City's Zoning Ordinance, unless a different standard is identified below. In instances where the Specific Plan does not address a particular regulation, the applicable portion of the City of Palm Springs Zoning Ordinance shall govern.

The Design Guidelines for the Specific Plan have been developed as a method of achieving a high quality, cohesive design character for the development of Canyon South in Palm Springs. They provide specific design criteria for the development of the project, as well as encouraging creativity, imagination and a high level of harmony and consistency within the surrounding community. Adherence to the Design Guidelines will create a desirable asset to the community and enhance the project's overall value.

These guidelines will govern the design quality of the project for application in the following ways:

- To provide the City of Palm Springs with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed;
- To provide guidance to developers, builders, engineers, architects, landscape architects and other professionals in order to maintain the desired design quality;
- To provide guidance to City staff, the Planning Commission and the City Council in the review of construction plans for the Specific Plan area.

There are five distinct planning categories in the Canyon South Specific Plan area with regard to development standards and guidelines. These are: the golf course and clubhouse, the hotel, the residential component, and the conservation and open space areas.

The golf course renovation of 2003 includes incorporation of features such as waterfalls and lakes, the use of boulders, vegetation, and other landscaping techniques that enhance the golf course design. The clubhouse is also planned for renovation. The current building will be

demolished, and a new structure erected, generally within the current building footprint. The maintenance building and associated service yard will also be renovated or reconstructed in the future. Both these functions will be accomplished through Major Architectural Review applications through the City of Palm Springs.

The hotel will be developed as destination resort and spa, providing the City of Palm Springs with a facility to compete with the larger established resorts in the Coachella Valley.

The residential component of Canyon South is, in general, consistent with the provisions outlined in the City's Residential Zone. There are a variety of low-density housing types and neighborhoods in the planning area.

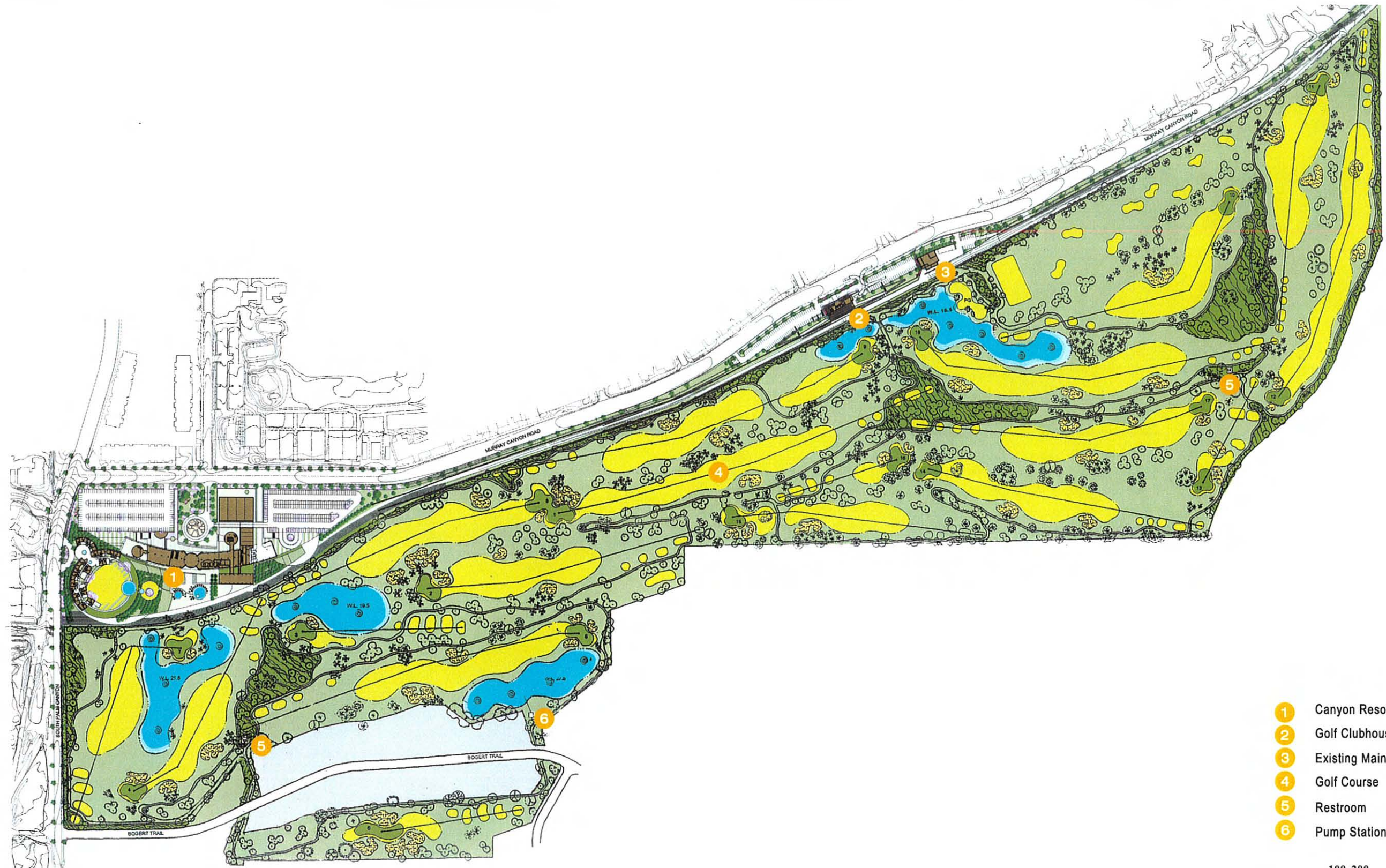
And lastly, the areas designated as Conservation and Open Space are planned to adhere to the City development standards as they currently apply.

A. Golf Course and Clubhouse

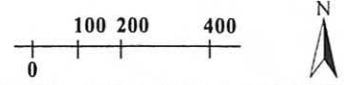
1. Permitted and Conditionally Permitted Uses

The golf course is located in a Watercourse (W) zone. In accordance with the Palm Springs Zoning Ordinance, this designation is for instances where properties are used as waterways, drainage channels, debris basins, and other flood protection facilities. In this case, there is a flood control dike located at the northern boundary of the golf course. The uses that are permitted in the W zone include: growing of plants and trees for the purpose of propagating and cultivating only, provided no commercial or business activities shall be carried on upon the site. There shall be no structures or buildings permitted nor shall there be any storage or stock piling of any kind. All applicable development standards of Section 9317.00 of the Palm Springs Zoning Ordinance shall apply to any improvements or changes in land contours and elevations. Conditional uses include: plant nurseries, farming, public riding stables, quarries, sand pits and gravel pits, energy uses, and golf courses and driving ranges. Under the provisions of this Specific Plan, the golf course shall be considered a permitted use, and substantial changes in the golf course design shall be processed as Planned Development District (Section 94.03.00) (see Exhibit IV-1, Golf Course Master Site Plan).

The clubhouse is located in a Single-Family Residential (R-1-C) zone in order to provide protection and enhancement of the natural and urban settings consistent with the goals of the General Plan. The permitted uses for this zone under Section 9201.1 include: permanent single-family dwellings, accessory buildings, home occupations, day care, keeping of horses, and manufactured housing. The following uses may be permitted subject to approval of a Conditional Use Permit, as provided in Section 9402.00: accessory apartments, agriculture, guest houses, child care centers, public parks, public schools, large scale residential developments, and recreational facilities such as country clubs, golf courses, and riding clubs with incidental limited commercial uses which are commonly associated and directly related to the recreational facility. Under the provisions of this Specific Plan, the clubhouse and maintenance building shall be considered a permitted use, and substantial changes in their design shall be processed as Major Architectural Approvals (Section 94.04.00) (Exhibit IV-2, Clubhouse Site Plan).



- 1 Canyon Resort
- 2 Golf Clubhouse
- 3 Existing Maintenance Building
- 4 Golf Course
- 5 Restroom
- 6 Pump Station

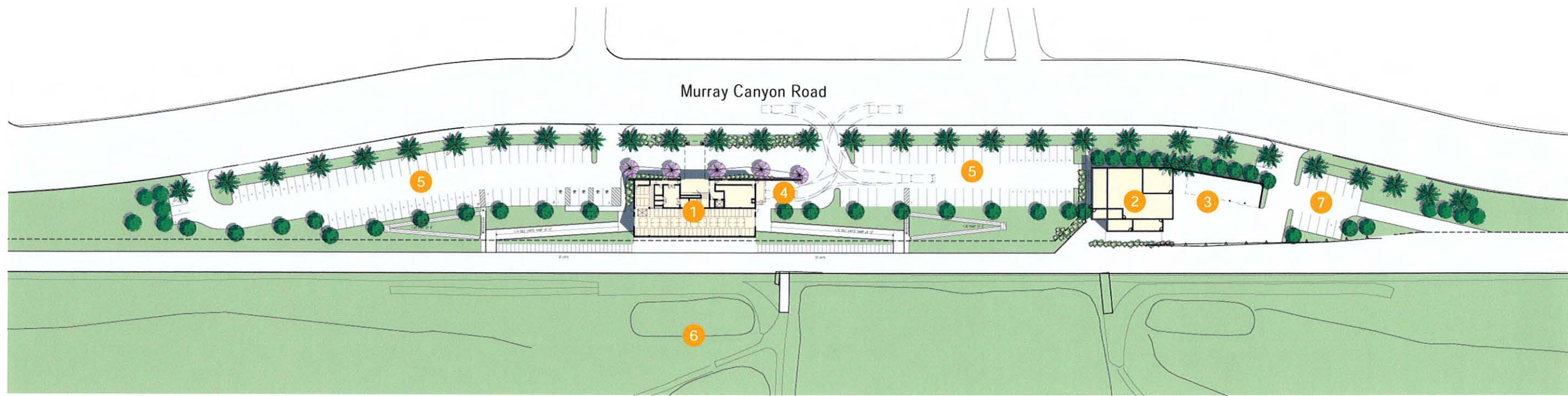


Source: Gensler Architects

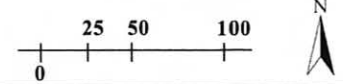
Agua Caliente Development Authority
 Golf Course - Master Site Plan
 City of Palm Springs



Exhibit
 IV-1



- 1 Golf Clubhouse
- 2 Existing Maintenance Building
- 3 Service Yard
- 4 Loading Dock
- 5 Parking
- 6 Golf Course
- 7 Employee Parking



Source: Gensler Architects

2. Golf Course and Clubhouse Development Standards

Exhibits IV-2 through IV-9 are provided to illustrate the potential design of the new clubhouse on the site. These Exhibits depict two conceptual design alternatives which meet the goals of the project proponent for this building. The ultimate design of the clubhouse will be one story in height from the top of the dike, will be approved through a Major Architectural Review process, and will reflect the standards discussed below.

- Allow for the golf course as a permitted use.
- Allow the construction of a 200 square foot golf course restroom.
- Allow for the construction of a 1,200 square foot golf course pump station.
- Allow for clubhouse as a permitted use, with up to 25,000 square feet of total building area.
- Changes to the clubhouse will require an Architectural Review.
- Allow for ancillary facilities as a permitted use.
- Changes to ancillary facilities will require an Architectural Review.
- Allow the following development standards:

**Table IV-1
Clubhouse Site Development Standards**

Clubhouse Development Standard	Specific Plan	City Standard
Minimum setback to ancillary buildings on Murray Canyon	55 feet	25 feet
Minimum landscape (to parking) on Murray Canyon	4 feet	10 feet
Minimum setback, porte cochere	0 feet	0 feet
Minimum setback to dike	15 feet*	20 feet
Lot Coverage	6%	35%
Building Height	32 feet**	18 feet
*Does not include 20 foot width of top of dike.		
**Measured from the top of curb on Murray Canyon Drive.		

Parking Standards

This Specific Plan allows up to 25,000 square feet of clubhouse space. At this time, the clubhouse has been designed to encompass approximately 18,000 square feet. Expansion may be possible in the future. Parking requirements for the currently proposed, 18,000± square foot clubhouse are depicted in the following Table. The parking requirements would vary should the size of the structure and uses within it change.

**Table IV-2
Clubhouse Parking**

Zoning Ordinance Requirements

Area	Code Section ¹	Calculation	Spaces
Golf course	12	18 holes @ 6/hole	108
Snack Bar/Lounge	16c	800 sf / 60	14
Office		350 sf / 200	2
Retail	31	600 sf / 300	3
Driving Range	12	1 space per tee	2
Total Required			129

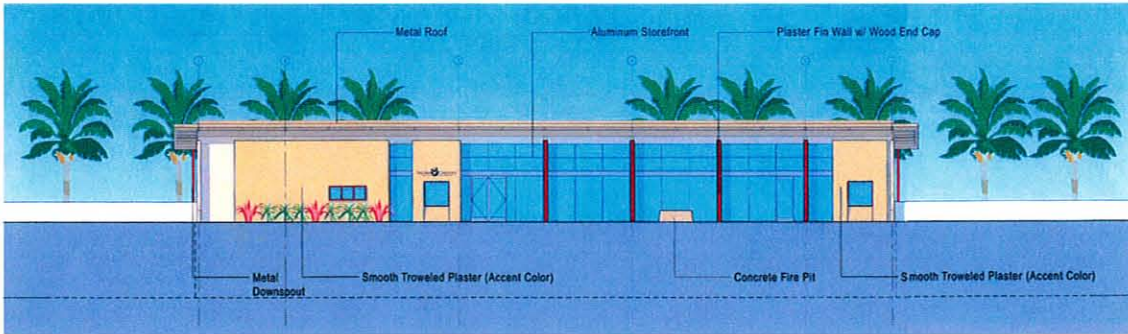
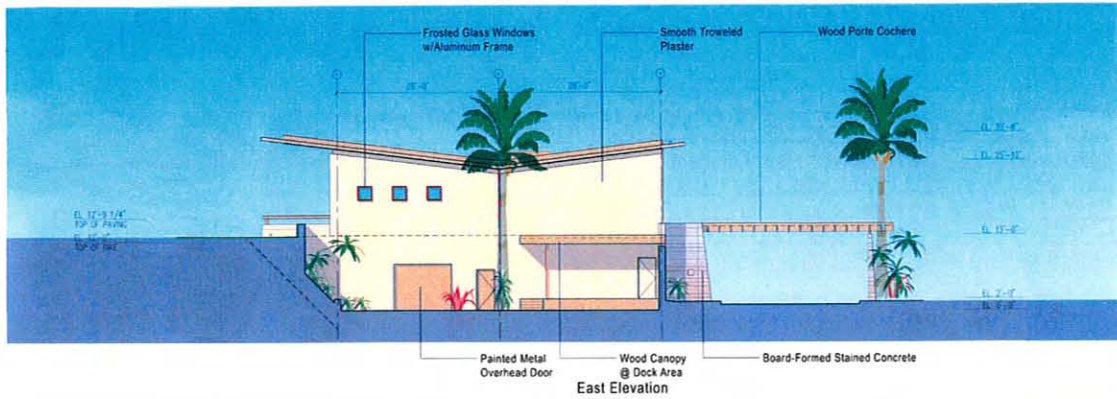
Clubhouse Parking Provided²:

Total Provided **128**

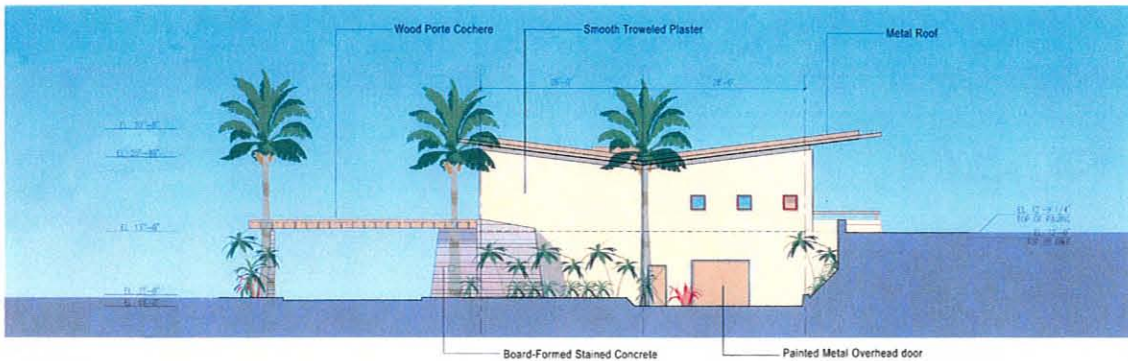
Parking requirements for the maintenance buildings located immediately east of the clubhouse will meet the requirements of the Zoning Ordinance, and will be in addition to those shown above. Finally, the parking available at the Canyon Country Club is utilized by those members who also utilize the Canyon South driving range, and the guests of the future hotel will be shuttled to the clubhouse or will walk, further reducing parking pressures on the site.

¹ City of Palm Springs Zoning Ordinance Section 9306.00 D, page 176.

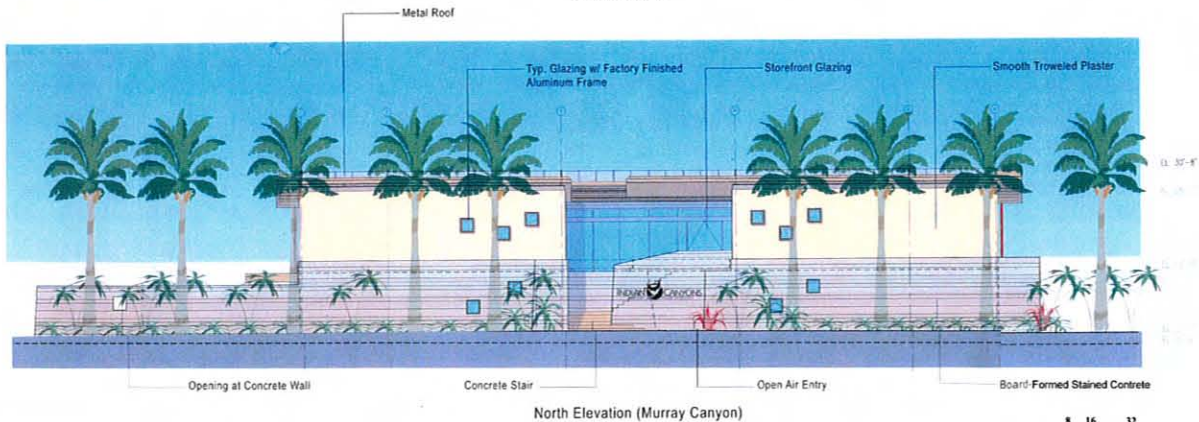
² No allowance has been made for the number of players from the hotel - the actual count would be less. Additional parking is available along Murray Canyon Drive.



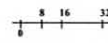
South Elevation (Golf Course)

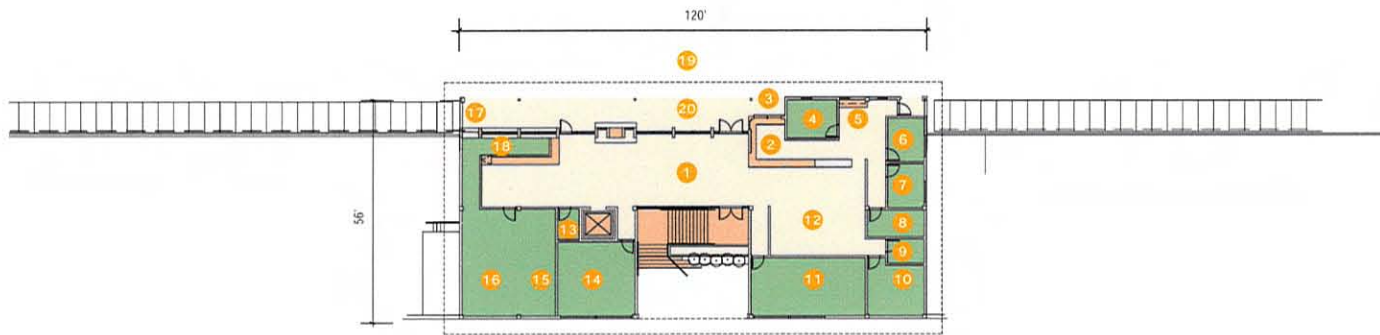


West Elevation



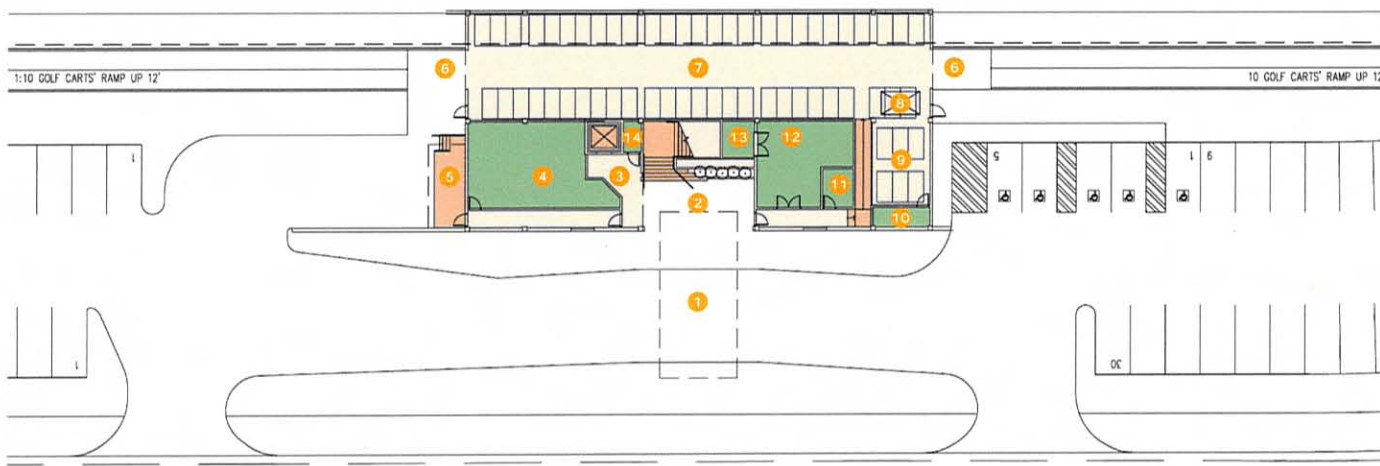
North Elevation (Murray Canyon)





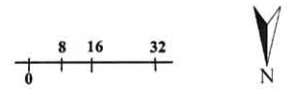
Dike Level Plan

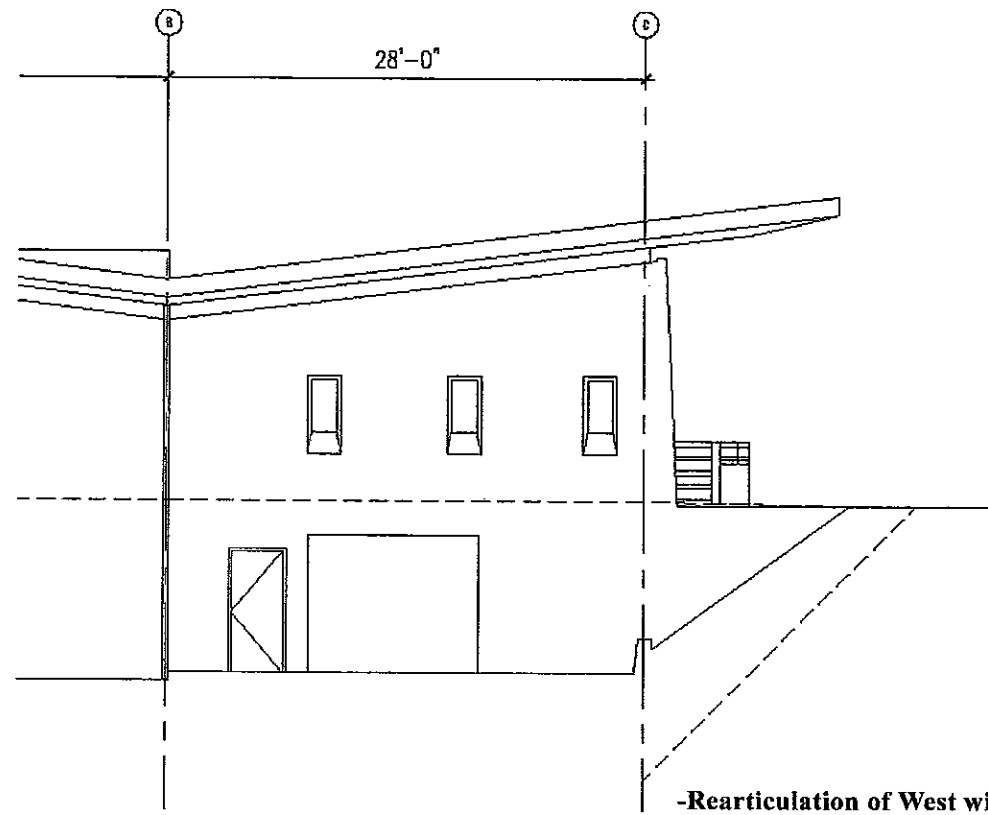
- 1 Lobby + Beverage Lounge
- 2 Reception, Starter + Retail Cash Wrap
- 3 Exterior Starter Window
- 4 Head Pro
- 5 Fax/ Copy Area
- 6 Office
- 7 Office
- 8 File + Storage
- 9 Attendant Supply Closet
- 10 Merchandise Storage
- 11 Women's Restroom + Lockers
- 12 Retail Shop
- 13 Janitor's Closet
- 14 Men's Restroom + Lockers
- 15 Kitchen Storage
- 16 Kitchen
- 17 Exterior Snack Bar Window
- 18 Bar
- 19 Dike
- 20 Covered Patio



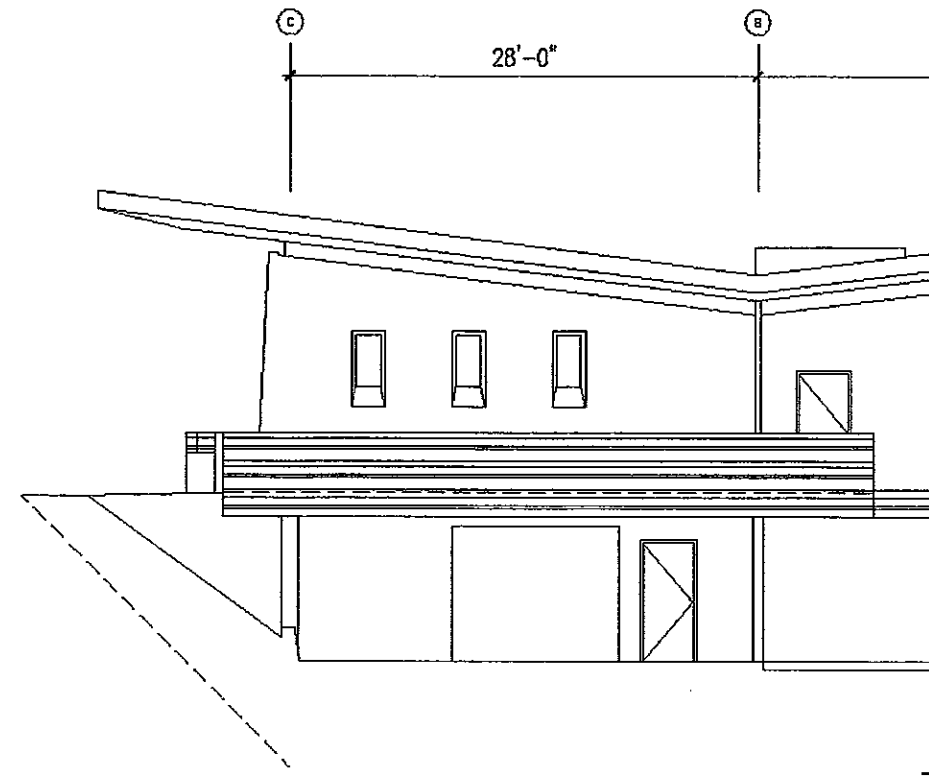
Ground Level Plan

- 1 Porte Cochere
- 2 Entry Lobby + Main Stair
- 3 Elevator Lobby
- 4 Mechanical Room
- 5 Covered Loading Platform
- 6 Ramp Up
- 7 Cart Storage
- 8 Cart Wash Area + Floor Drain
- 9 Cart Service Bay
- 10 Parts Storage
- 11 Staff restroom w/ Shower
- 12 Golf Bag Storage + Elec. Closet
- 13 Elevator Machine Room
- 14 Janitor Closet

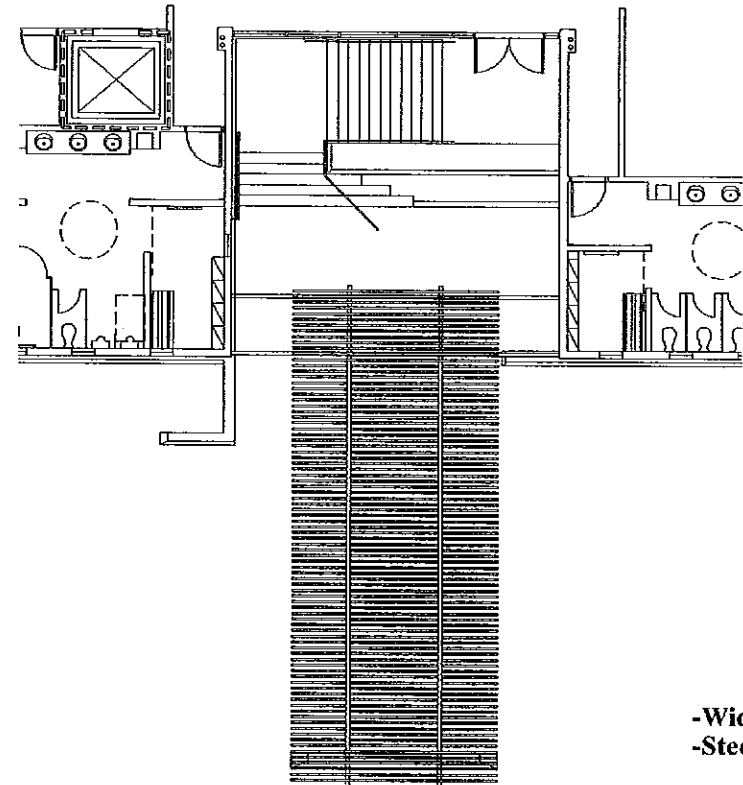




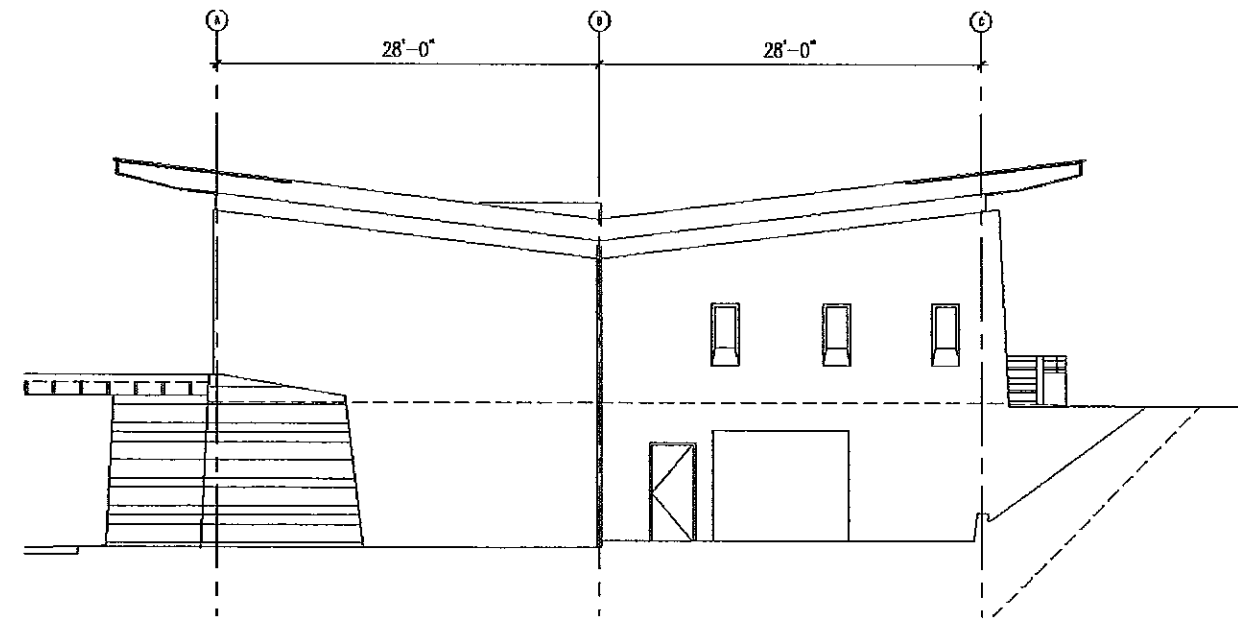
-Reararticulation of West windows



-Reararticulation of East windows



-Widening of Porte Cochere
-Steel fabricated trellis



-Roof profile

Source: Gensler Architects

3. Golf Course Clubhouse Architectural Guidelines

The clubhouse will serve considerable numbers of people and will be relaxing in character. These features should provide maximum expression in material detail and surface textures. A similar degree of material richness, texture and quality should be reflected in all other accent areas. A computer-generated view of the clubhouse is provided in Exhibit IV-8. As illustrated in Exhibit IV-6, Clubhouse Rendering, the guidelines include the following architectural details:

Attributes:

- The building form and structure are a gesture that responds to the site and climate.
- The roof canopy is a clear modulated structure that provides sun control
- The materials are local, appropriate and reinforce the canyons and the connection to the Agua Caliente Indian culture.
- Ancillary buildings near the Clubhouse express their use and are graced with abundant landscaping

Style:

- The style is a reflection of the spirit of the site, the program, the materials, and the climate.
- The clubhouse is a contemporary building, but there is both reverence and reference to the unique past of both Palm Springs architecture and the Agua Caliente culture. The style of the building and interiors acknowledges and integrates these primary influences.

Permitted Materials:

- Cast in place concrete
- Steel trellises
- Cast in place board formed walls w/ applied stain
- Painted Aluminum Window / Slider Frames
- Low E high performance glazed window
- Glazing for sun control / privacy
- Stone paving
- Stained concrete paving at walkways
- Smooth troweled plaster finish
- Metal, tile or composition roof
- Stucco
- Non-reflective surfaces
- Stone veneer
- Split face rock

Colors:

- Earth tone stains
- Metal with champagne metallic finish
- Clear glass w/ fritted pattern
- Earth color stains for concrete flooring
- Earth tone exterior plaster finish



TERRA NOVA®

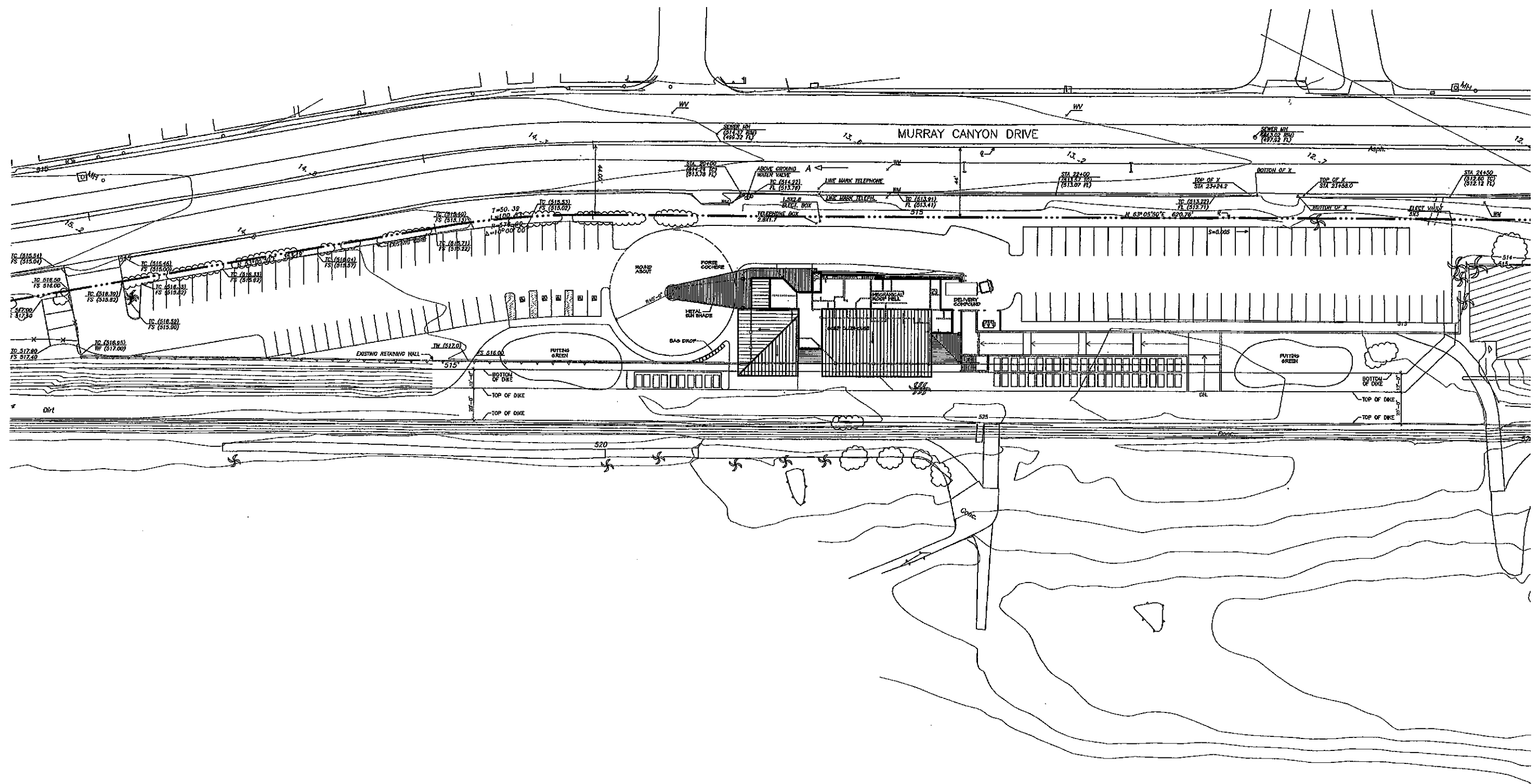
Planning & Research, Inc.

**Agua Caliente Development Authority
Clubhouse - Rendering
City of Palm Springs**



Exhibit

IV-6



Source: Pearson Architects, Inc.

SITE PLAN
SCALE: 1"=30'-0"

NORTH

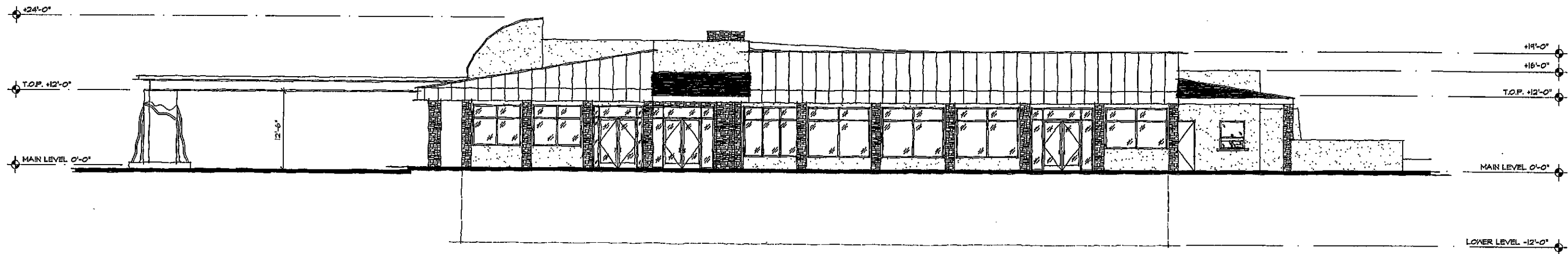
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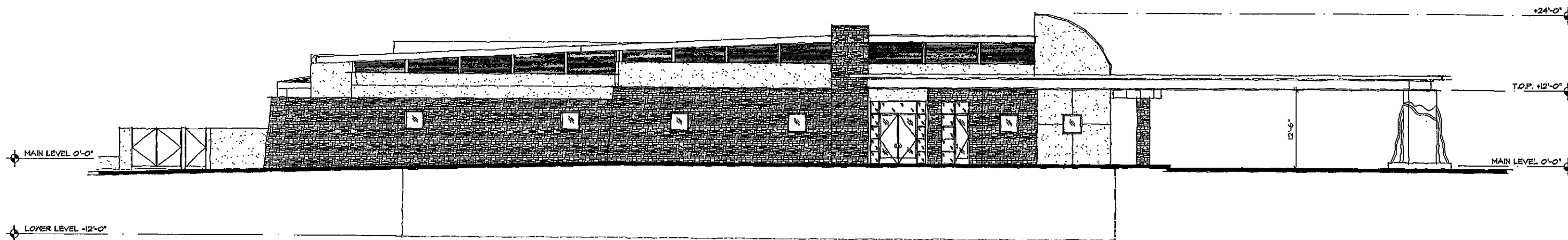
**Agua Caliente Development Authority
Clubhouse Potential Alternative Site Plan
City of Palm Springs**



Exhibit
IV-7

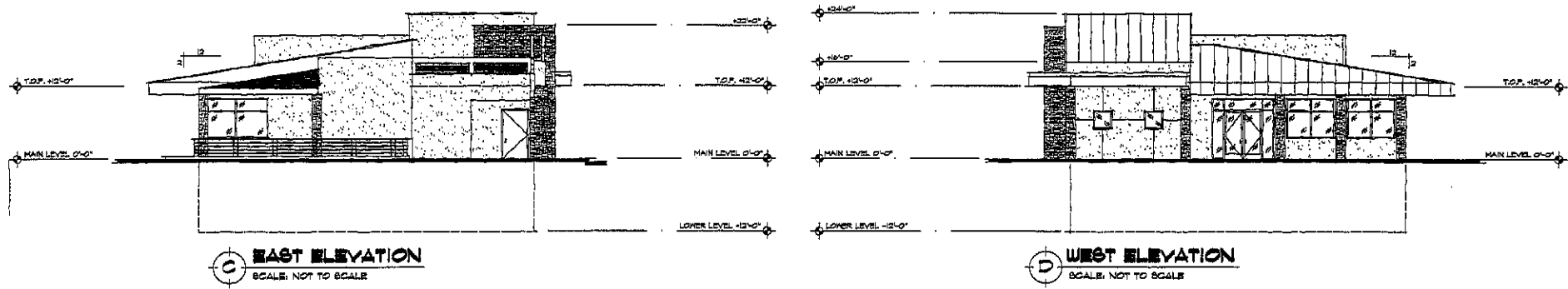


SOUTH ELEVATION
SCALE: NOT TO SCALE



NORTH ELEVATION
SCALE: NOT TO SCALE

Source: Pearson Architects, Inc.



Source: Pearson Architects, Inc.



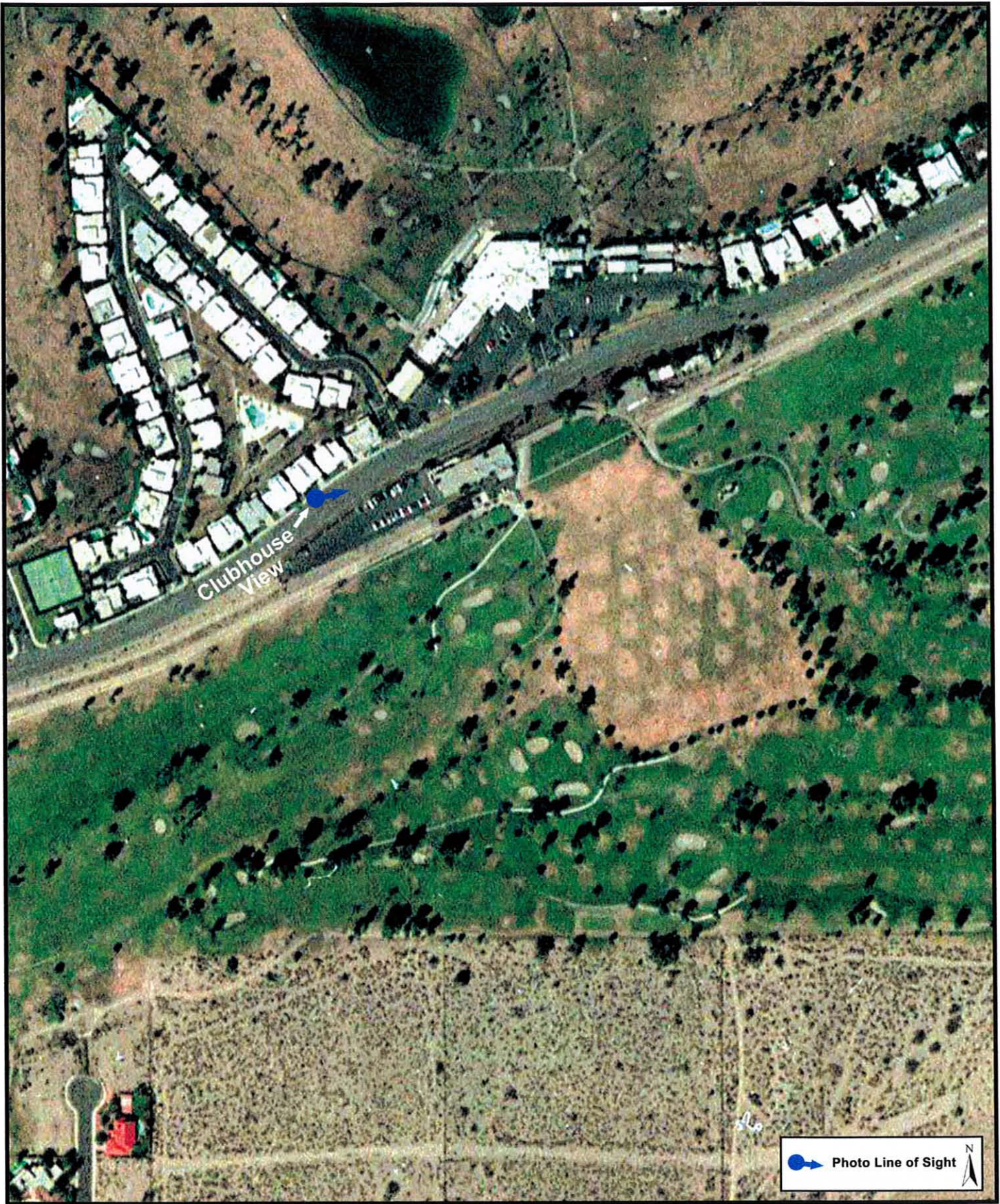
TERRA NOVA[®]
 Planning & Research, Inc.

Agua Caliente Development Authority
 Clubhouse Potential Alternative East & West Elevations
 City of Palm Springs



Exhibit

IV-9



TERRA NOVA[®]
Planning & Research, Inc.

Agua Caliente Development Authority
Clubhouse Simulation - Photo Location
City of Palm Springs



Exhibit

IV-10



EXISTING



PROPOSED

Source: Font Design Visualization, Inc.



TERRA NOVA[®]
 Planning & Research, Inc.

Auga Caliente Development Authority
Clubhouse - Visualization View 1
City of Palm Springs



Exhibit

IV-11

Textures:

- Cast in place concrete structure with slight sandblast finish
- Highly textured board form concrete for accent walls and base elements.
- Textured and patterned stained concrete walkways
- Smooth trowel finish where stucco occurs

Walkways:

- Textured and patterned stained concrete walkways
- Cleft local stone in public areas
- Textured step stones
- Walkways bordered in places with cast in place stained board form concrete

Prohibited Materials:

- Chain link (except when used during construction)
- Reflective surfaces

B. Indian Canyons Resort Hotel Site

1. Permitted and Conditionally Permitted Uses

The hotel site is in the Large-Scale Hotel and Multiple-Family Residential Zoning district (R-4). The Specific Plan shall allow all uses identified identified in and subject to the provisions of the R-4 zoning described in the City of Palm Springs Zoning Ordinance, Section 92.05.00, except as specifically stated below.

The development regulations contained in the Palm Springs Zoning Ordinance will be followed in order to develop the site as a resort destination hotel. The hotel is illustrated in Exhibits IV-9, Site Plan, IV-10, Typical Entry Level Plan, IV-11, Typical Ground Level Plan, and IV-12, Typical Top Level Plan. The standards contained in the R-4 zoning described in the City of Palm Springs Zoning Ordinance, Section 9205.00 shall apply with the exceptions shown below:

- Allow for all ancillary uses, including restaurants and lounges, associated with the hotel as a permitted use.
- Allow the construction of up to 450 rooms, including villas or cabanas.
- Development of the hotel site will require Planned Development Permit review.

2. Resort Hotel Development Standards

The Table below illustrates the development standards to be implemented on the Indian Canyon Resort Hotel site.

**Table IV-3
Hotel Development Standards**

Standard	Specific Plan	Zoning Ordinance
Density	35 rooms/ac.	86 rooms/ac.
Minimum setback on Murray Canyon	55 feet	30 feet
Minimum setback on South Palm Canyon	35 feet	30 feet
Minimum setback to dike	15 feet	20 feet
Distance between buildings on hotel site	0 feet*	15 feet
Lot Dimensions:		
Lot depth – variable along dike	580 to 75 feet	155 feet
Lot width – along Murray Canyon	1,400 feet	130 feet
Lot size	13.3	2 acres
Building Height	90 feet	100 feet**
*Provisions of the Uniform Building Code in place at time of building permits shall apply.		
**1 foot of horizontal distance from short dimension of lot and 1.5 foot horizontal distance from long dimension for each vertical foot of building, permitted on Indian Lands in the H30 designation.		

Parking Standards

The parking requirements for the hotel and associated uses are based on the Palm Springs Zoning Ordinance. There will be a total of 690 spaces provided in the current design, of which 246 will be surface, 217 will be surfaces level garage (covered), 223 second level garage, and 4 below the hotel.

In addition, the following parking requirements would apply whether or not the total numbers of hotel rooms and or area square footages requiring parking fluctuate.

These minimum requirements are based on the following table:

**Table IV-4
Hotel Parking³**

Area	Code Section ⁴	Calculation	Spaces
Large Banquet (13,000 SF) ⁵	16e	$13,000 \text{ sf} - (30 \times 368) = (1960 / 30) =$	65
Sundry / Retail (2,400 SF)	31	$2400 \text{ sf} / 300^* =$	8
Guestrooms	16a/b	$50 + .75 (318) =$	289
3-meal Restaurant	16c	$(275 \text{ seats} / 5) \times 1.2 =$	66
Special Restaurant	16c	$(175 \text{ seats} / 5) \times 1.2 =$	42
Bar	16c	$(75 \text{ seats} / 5) \times 1.2 =$	18
Spa	13	$12,980 / 400^* =$	32
Total Required			520

Hotel Parking Provided:

Parking Area	Spaces
Below Hotel	4
Surface	246
Surface Level Garage	217
2nd Level Garage	223
Total Provided	690

Hotel Parking Assumptions:

- 1) The hotel parking is based on 368 rooms and the program information provided in the MHA program of 10/18/02.
 - 2) All employee parking is included in the total, using the 20% multiplier as called out in 16C of the Palm Springs off-street parking ordinance.
 - 3) Maximize surface parking and assume parallel parking on the strip between the golf clubhouse and the hotel.
- *Parking ratio calculated for individual land use. During the Major Architectural Review for the hotel site, parking will be calculated to the specific design. It is expected that this parking calculation will be less than that shown above.

³ Parking space requirements will rise or fall proportionately to changes in the total number of hotel rooms, and or area square footages requiring parking in this table.

⁴ City of Palm Springs Zoning Ordinance Section 9306.00 D, page 176.

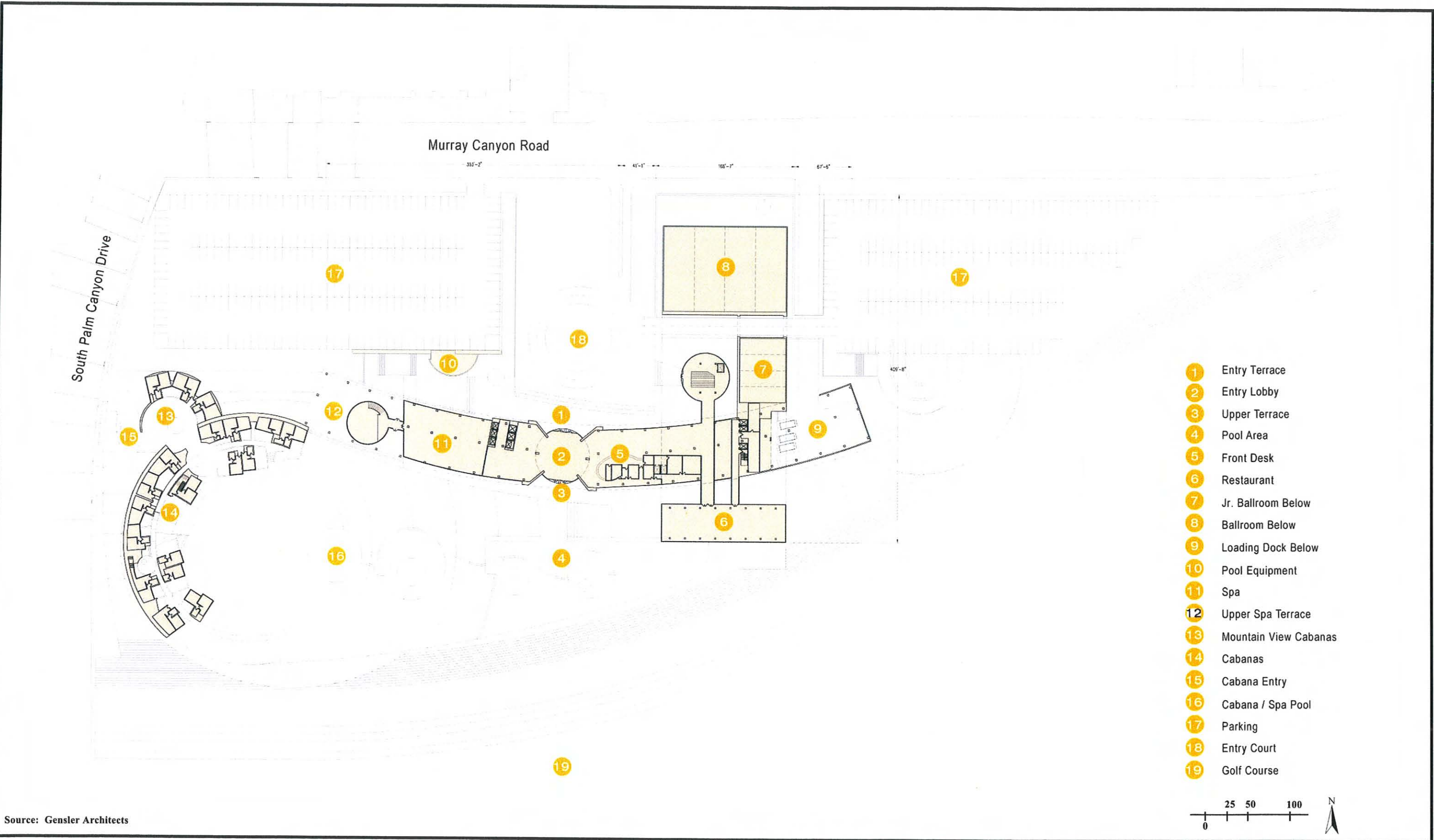
⁵ The only parking required for meeting rooms is for the single largest meeting space. The junior banquet and smaller breakout rooms require no additional parking.



Source: Gensler Architects

- 1 Main Entrance
- 2 Pool Area
- 3 Cabanas
- 4 Outdoor Dining Area
- 5 Golf Course

0 25 50 100 N



Source: Gensler Architects

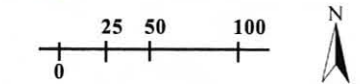
Murray Canyon Road

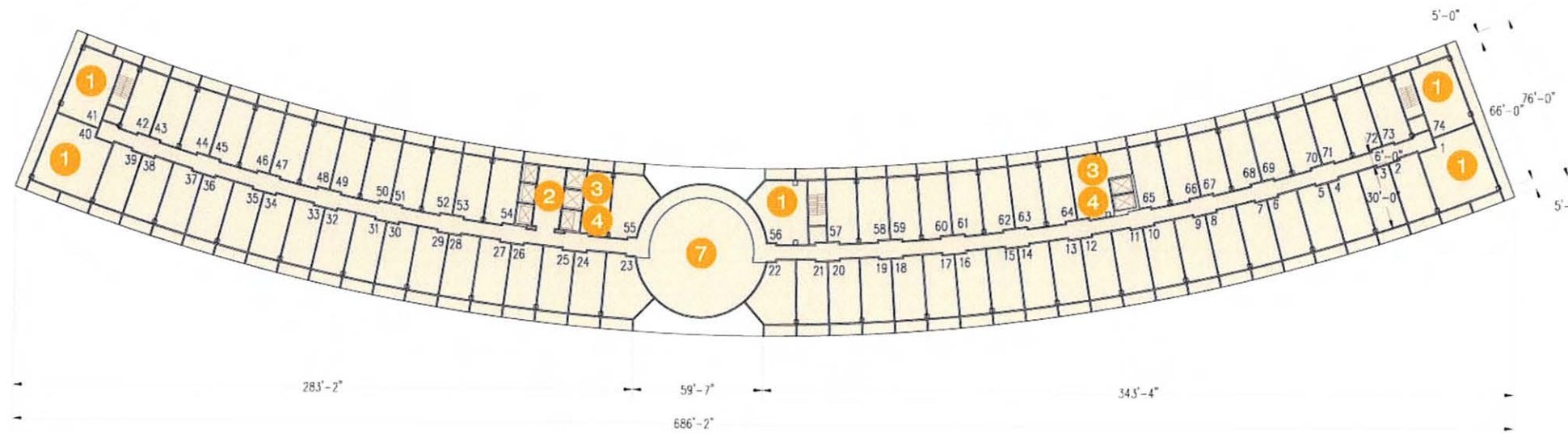
South Palm Canyon Drive



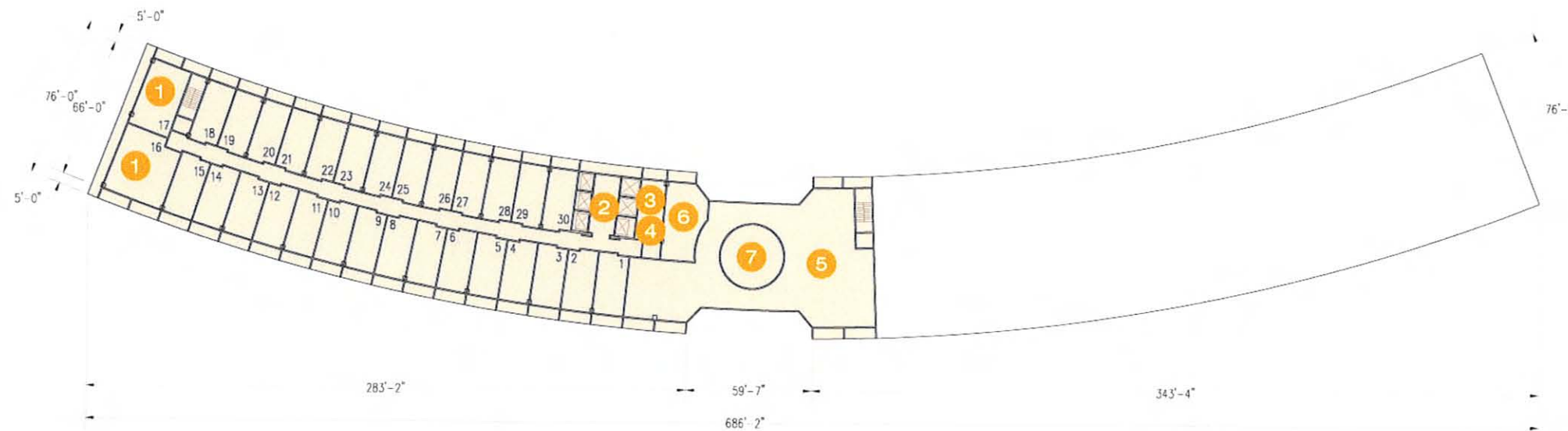
- 1 Cabanas
- 2 Cabana Park
- 3 Cabana / Spa Pool
- 4 Spa
- 5 Employee Entrance
- 6 Engineering Shop
- 7 Laundry / Housekeeping
- 8 Mechanical
- 9 Food & Beverage Storage
- 10 Banquet Storage
- 11 Kitchen
- 12 Loading Dock
- 13 Breakout Rooms
- 14 Conference Rooms
- 15 Ballroom Pre-function
- 16 Ballroom
- 17 Pantry
- 18 Jr. Ballroom Pre-function
- 19 Jr. Ballroom
- 20 Parking
- 21 Golf Course

Source: Gensler Architects



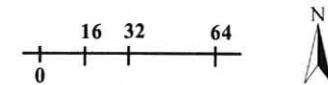


Typical Level Plan



Top Level Plan

- 1 Suite
- 2 Elevator Lobby
- 3 Housekeeping
- 4 Mech./Elec. Room
- 5 Restaurant
- 6 Kitchen
- 7 Lobby Below



Source: Gensler Architects

3. Architectural Guidelines

Architectural Attributes:

- The building form and structure are designed in response to the site and climate
- The Hotel building is a clear modulated structure that provides sun control
- The materials are local, appropriate and reinforce the Canyons
- Ancillary buildings attached to the hotel mass express their use
- The cabanas form a separate community based on ancient southwest precedents

Architectural Style:

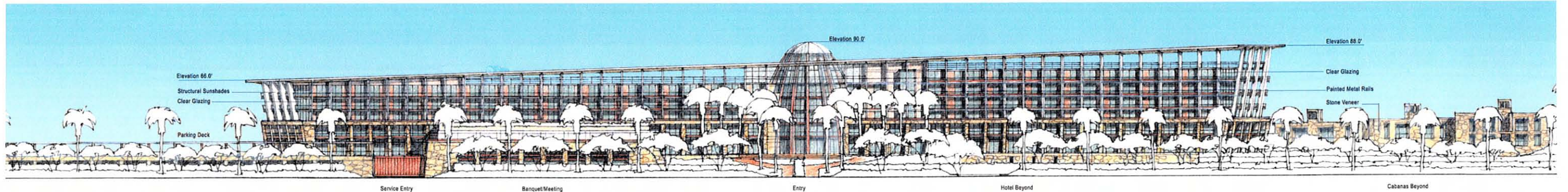
- The style is contemporary, capturing the spirit of the site and the climate (as illustrated in Exhibit IV-13 Hotel North and South Elevations, and IV-14 East and West Elevations, and as depicted in the Visual Simulations, Exhibits IV-15 through IV-17.)

Permitted Materials:

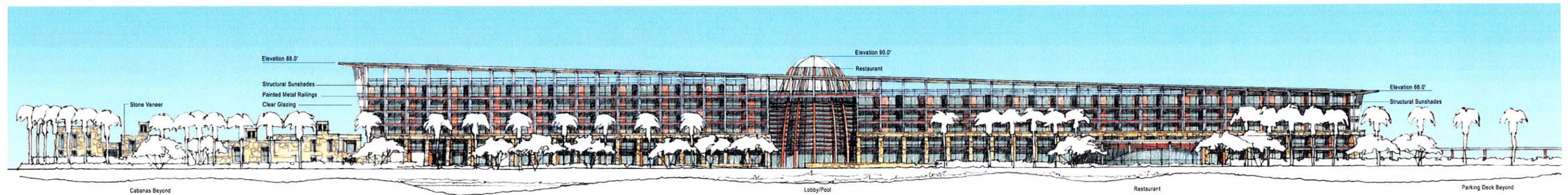
- Cast in place concrete
- Wood and trellises
- Cast in place board formed walls w/ applied stain
- Painted Aluminum Window / Slider Frames
- Low E high performance glazed window
- Glazing for sun control / privacy
- Stone paving
- Stained concrete paving at walkways
- Smooth troweled plaster finish
- Metal, tile or composition roof
- Stucco
- Non-reflective surfaces
- Stone veneer
- Split face rock

Colors:

- Earth tone stains
- Metal with champagne metallic finish
- Clear glass w/ fritted pattern
- Earth color stains for concrete flooring
- Earth tone exterior plaster finish

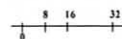


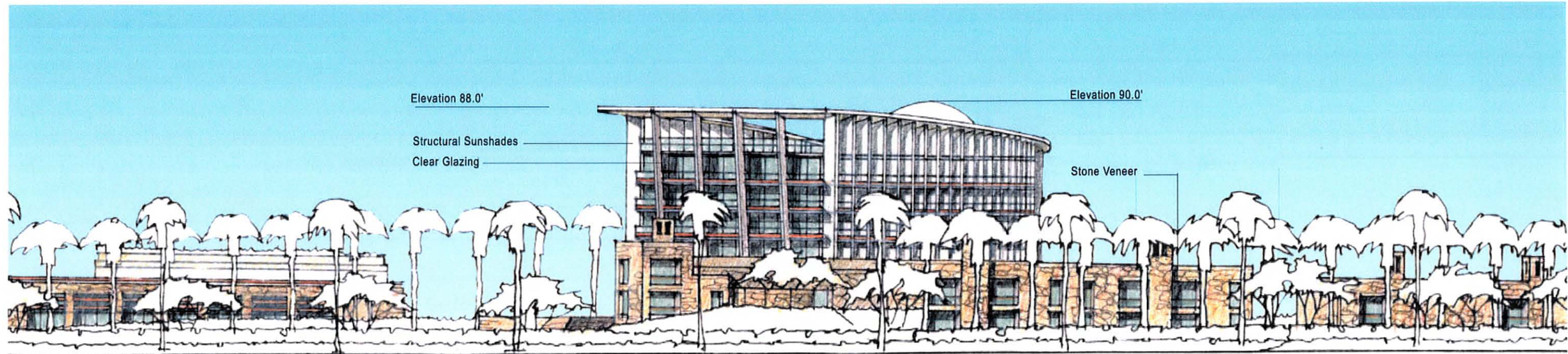
North Elevation (Murray Canyon)



South Elevation (Golf Course)

Source: Gensler Architects



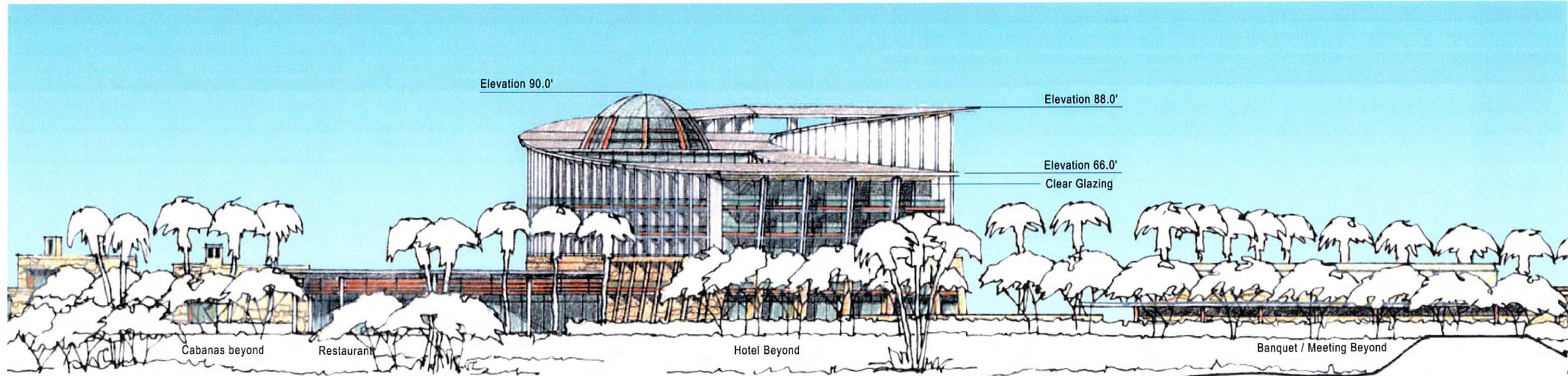


Banquet/Meeting

Hotel Beyond

Cabanas

West Elevation (South Palm Canyon)



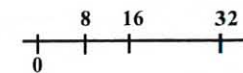
Cabanas beyond

Restaurant

Hotel Beyond

Banquet / Meeting Beyond

East Elevation



Source: Gensler Architects

Textures:

- Cast in place concrete structure with slight sandblast finish
- Highly textured board form concrete for accent walls and base elements.
- Textured and patterned stained concrete walkways
- Smooth trowel finish where stucco occurs

Walkways:

- Textured and patterned stained concrete walkways
- Cleft local stone in public areas
- Textured step stones
- Walkways bordered in places with cast in place stained board form concrete

Prohibited Materials:

- Chain link (except during construction)
- Reflective surfaces
- Non-native materials





EXISTING



PROPOSED

Source: Font Design Visualization, Inc.



TERRA NOVA[®]
Planning & Research, Inc.

Agua Caliente Development Authority
Hotel - Visual Simulation View 1
City of Palm Springs



Exhibit

IV-19

C. Residential Development

1. Permitted and Conditionally Permitted Uses

This Specific Plan shall allow all uses identified in and subject to the provisions of the W-R-1-A, R-1-A and R-1-B Zoning Districts described in Section 92.01.01 and 92.20.03 of the Palm Springs Zoning Ordinance, except as specifically described below. In general, this planning area is consistent with the provisions outlined in the City's Single-family Residential Zones.

2. Residential Development Standards

Two (2) single-family residential zones, R-1-A and R-1-B, exist in this area to provide a variety of low-density housing types and neighborhoods. Development standards have been designed by the City of Palm Springs to provide protection and enhancement of the natural and urban setting consistent with the goals of the general plan [Ord. 1294 (part), 1988]. In addition, those properties designated with a "W" prefix, in the Watercourse Zone, will adhere to additional development standards set forth in Section 92.20.03 of the Palm Springs Zoning Ordinance.

Under Planned Development District procedures, residential projects may alter the development standards as follows:

- Building heights may be increased to 22 feet (30 feet for hillside sites).
- Front yard setbacks may be decreased to 10 feet for habitable spaces (20 feet to garage door) provided that building designs are submitted and approved as provided in the Planned Development District.
- Building Coverage shall be a maximum of 35%.
- Garages and guest houses may be detached.

A density transfer is also included for the 115 acre "Gans" property, located on the western end of the Specific Plan, in Planning Area 2. The western 35 acres of this property shall be dedicated to conservation prior to recordation of any map on this property. As a result of this dedication, the 70 units which would have been allowable on this acreage may be transferred to the 80 remaining acres, subject to the provisions of the Planned Development District. Therefore, the maximum number of units, 230, will occur on 80 acres, due to the density transfer.

3. Architectural Guidelines

The objectives of architectural guidelines for the Canyon residential uses are: to encourage diversity of design; both project to project and within individual developments; to encourage superior design; and to encourage a design association/relationship between the resort hotel and the single-family residential architecture.

Architectural Attributes:

- The building form and structure are designed in response to the site and climate
- The building envelope provides sun control wherever possible

- The materials are local, appropriate and reinforce the Canyons
- The site plan takes advantage of nearby views and responds to both private recreation needs and the adjacent street life.

Architectural Style:

- The styles reflect a range of desert contemporary and Mediterranean influences, capturing the spirit of the site and fitting the extreme climate.

Architectural Materials:

- Hand-troweled, smooth stucco
- Stone and marble veneers
- Cast in place concrete board formed walls w/ applied stain
- Painted aluminum window frames
- Low E, high performance double glazing
- Recessed glazing for sun control / privacy
- Random stone paving
- Stained concrete paving at walkways

Architectural Colors:

- Saturated earth tones, including more vibrant southwest influenced colors
- Metal with aging “patina” finishes (copper, bronze, Core 10)
- Earth color stains for concrete

Architectural Textures:

- Stone and marble panels.
- Masonry walls with articulated joints
- Textured and patterned stained concrete walkways
- Smooth trowel finished stucco where it occurs

Roofing Materials:

- Tile roofs shall use a single-barrel design with mudded joints
- Metal roofs shall exhibit an aging patina appearance

Garden and Perimeter Walls:

- Garden and perimeter walls shall reflect the materials of the main residence or provide an accent counterpoint (e.g. smooth stucco residence with field stone wall)



EXISTING



PROPOSED

Source: Font Design Visualization, Inc.



TERRA NOVA[®]
Planning & Research, Inc.

Agua Caliente Development Authority
Hotel - Visual Simulation View 3
City of Palm Springs



Exhibit

IV-20

D. Conservation and Open Space

1. Permitted and Conditionally Permitted Uses

This Specific Plan shall allow all uses identified in and subject to the provisions of the O, O-20, and W Zoning District(s) described in Section 92.05.00 of the Palm Springs Zoning Ordinance.

2. Development Standards

The portions of the project area that are zoned for open space uses (O, and O-20) are intended to provide for areas of scenic beauty, areas reserved for parks, recreation, open space and governmental public uses, or in areas where a hazard to the public may exist. Those areas within the project area identified for open space uses shall comply with the development standards set forth within Section 92,20

3. Architectural Guidelines

The architectural guidelines shall follow the single-family residential areas.

E. Landscape Guidelines

The Landscape Plan concept was developed, and will be developed, to correspond to specific uses on the site. The primary principles of the plan include the areas immediately adjacent to each development as well as an emphasis on transitional plantings to allow for changes to the natural landscape, and renaturalization of the project fringe. All landscaping areas west of South Palm Canyon Drive in contact with abutting natural terrain are proposed to be non-invasive and transitional. The Palm Canyon Wash, except for the west bank, will be left undisturbed except as necessary to construct flood control facilities. Where flood control facilities must be constructed, the Wash area disturbed during construction shall be restored to its natural state. The levee extension northerly of the Bogert Trail bridge shall use an ungrouted rip-rap construction consistent with the Settlement Agreement.

As required by the Palm Springs Zoning Ordinance, all landscaped areas shall be provided with an irrigation system.

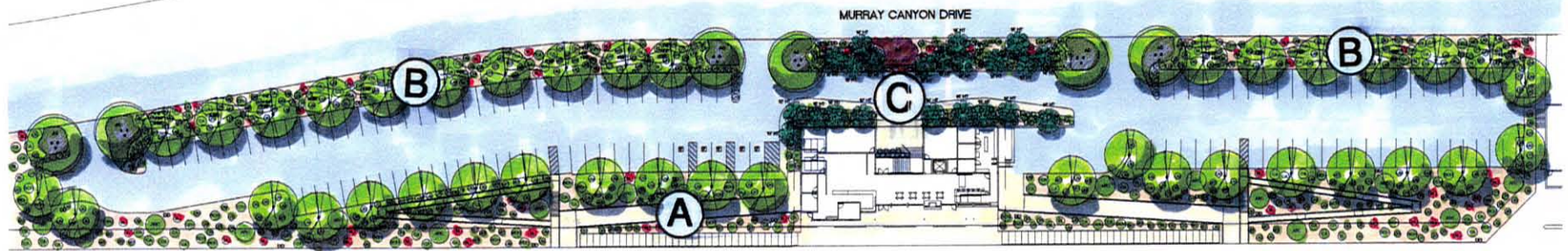
1. Golf Course and Clubhouse

The golf course west of the Clubhouse (front 9-holes) will have a simplified planting palette using non-invasive exotic plant species, and desert theme and natural desert plantings between fairways, residences and the transition zone. The golf club zone east of the Clubhouse (back 9-holes) and the Clubhouse itself will have plant materials associated with the desert environment. It will have a simplified palette using non-invasive exotic plant species, desert theme and natural desert planting between fairways, residences and the transition zone.

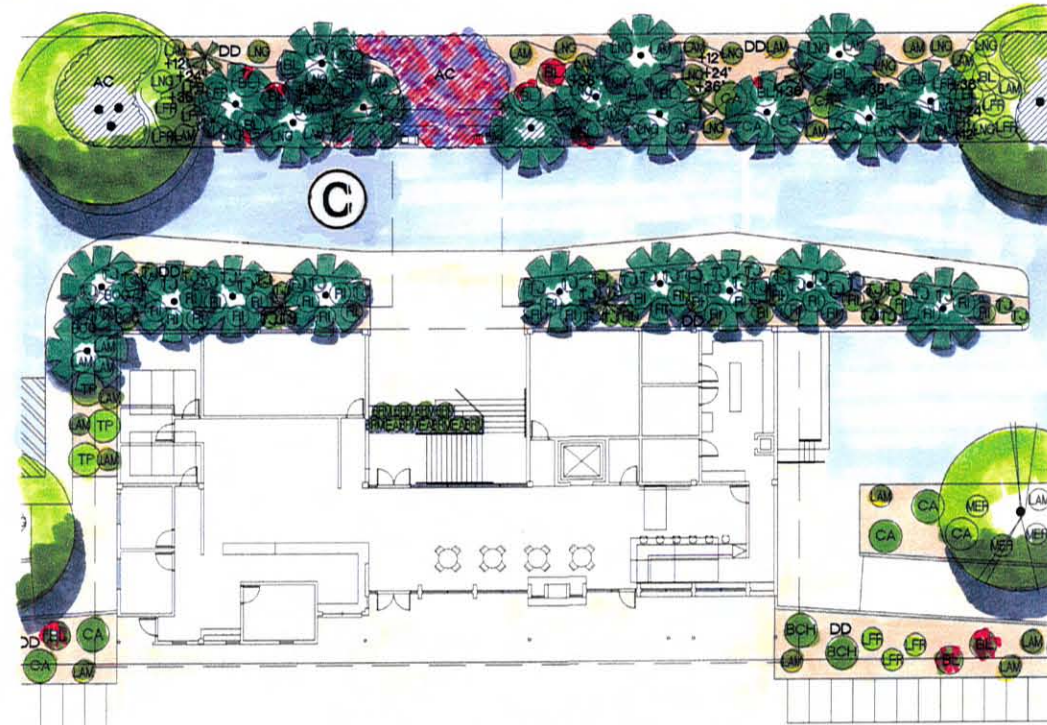
Dense foliage, boulder massing, shrubs with color and palm groves will be incorporated around the Clubhouse and fairway lake features. Planting areas will be divided into: Street Plantings, Slope Planting, and Project Boundary Planting. The buffer/screening areas will be treated with landscaping and rolling berms to create screening along Murray Canyon Drive. The project theme, along South Palm Canyon Drive, will be characterized by planting of median isles and roadway edges with rolling berms, boulder massing, palm trees and selected materials.

As illustrated in Exhibit IV-18 Clubhouse Landscape, the entry area to the clubhouse will utilize groves of Mexican Fan Palms, highlighted by plantings of Bougainvillea, Texas Ranger, Gassia and Lantana with low mounding to frame the building Porte' Cochere and entry drop off. The parking areas and the Murray Canyon Drive street frontage will utilize two to three foot high meandering mounds planted with a variety of trees, including Desert Museum Palo Verdes, with Cassia, Bougainvillea, Lantana species, Texas Rangers and accents of Regal Mist Deer Grass in order to blend with the adjacent golf course planting. A wall or berming will be incorporated into the landscaped parkway, to screen vehicles from the street. The planting areas that interface with the golf course will include small massings of Acacia Redolens, Baccharis Thompsoni, Bougainvillea and Cassia with accents of Regal Mist Deer Grass to provide added blending with the adjacent golf course plantings.

The plant palettes for the Golf Course and Clubhouse can be found in Appendix A, Tables A-1 and A-2, respectively.



OVERALL PLAN



BUILDING ENLARGEMENT

2. Hotel

The hotel and cabanas will be treated with a temperate plant palette consisting of dense foliage and colors to establish a retreat setting. The entry areas will be landscaped to establish location identification through the use of palm trees and integrated water features. The main entry to the hotel site will include California Fan Palm groves to frame the drop off/entry area. This area will be highlighted by masses of boulders and a water feature incorporating large stone slabs with petroglyphs and accented by native aquatic plantings. The areas in and around the pools will minimize the use of turf to allow for “usable” areas which would be accented by California Fan Palms, Lantana species, Bougainvillea, Texas Ranger, and specimen cacti accents to take advantage of the unique micro climates which exist around the pool areas and to capture golf course and mountain views.

The hotel frontage landscaping along South Palm Canyon Drive will incorporate the existing palm plantings and will be accented by massings of African Sumac, Palo Verde, and Yellow Oleanders. In order to buffer the cabanas from South Palm Canyon Drive, plantings of Texas Rangers, Cassias, Bougainvillea, Acacia Redolens and Lantanas will be used to soften the slope from the top of the dike to the existing grade on Murray Canyon Road. The plantings along Murray Canyon Drive, along parkways and in the parking areas will utilize two to three foot high meandering mounds planted with Desert Museum Palo Verdes with Cassia, Bougainvillea, Lantana species, Texas Rangers and accents of Regal Mist Deer Grass to mimic the adjacent golf course planting. The hotel landscape plan is shown in Exhibit IV-19, and the typical entry treatment is shown in Exhibit IV-20.

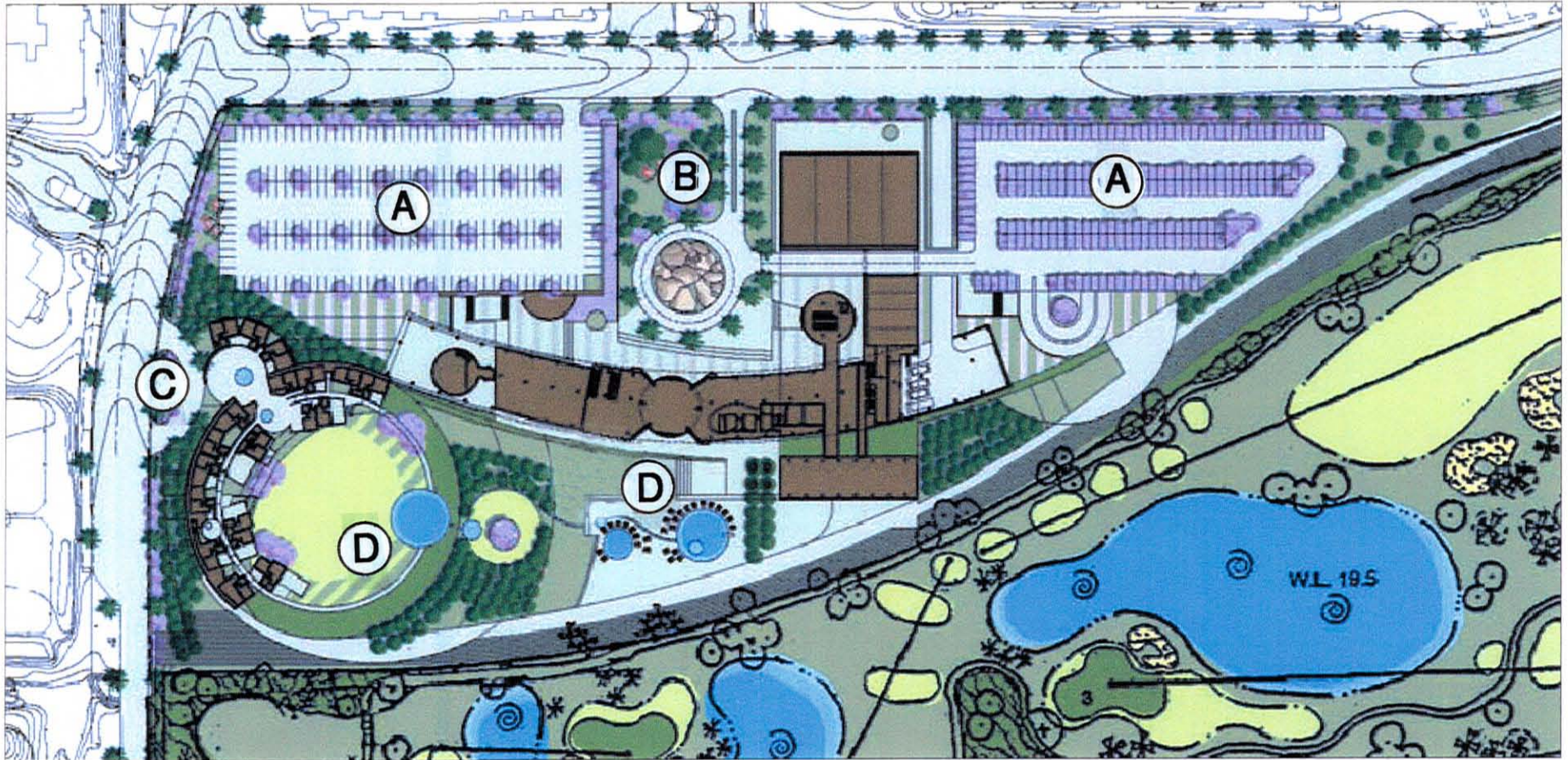
Enhanced Corner Treatment at South Palm Canyon and Murray Canyon

The vast majority of guests coming to the future hotel will travel southerly on South Palm Canyon Drive to access the site. As such, the southeast corner of South Palm Canyon and Murray Canyon drives will be the “entry statement” for the hotel. In order to highlight this location, the final designs for project landscaping shall include enhanced plantings, a water feature, boulders or other similar focal point, and mounding or terracing to emphasize the location, and monument signage. The plant palette for this area will include the same types of materials as for the hotel as a whole, to maintain a cohesive design, but will include specimen trees and focal points which will enhance the design.

The plant palette for the hotel is provided in Appendix A, Table A-3.

Prohibited Species:

Non-native, highly invasive species such as Fountain Grass (*Pennisetum Setaceum*), and Tamarisk (*Tamaricaceae*) are prohibited. The Planning Department shall maintain a list of those species identified as problems and owners, landscape architects, architects and others of any updates to the list.



A. Murray Canyon Drive Parkway/Parking Areas

2' - 3' high meandering mounds planted with Desert Museum Palo Verdes with Cassia, Bougainvillea, Lantana species, Texas Rangers and accents of Regal Mist Deer Grass mimics the adjacent golf course planting. 4 foot high screen walls will be required for all street frontages.

B. Main Entry

California Fan Palm groves frame the drop off/entry area which is highlighted by masses of boulders and a water feature incorporating large stone slabs with petroglyphs and accented by native aquatic plantings.

C. Palm Canyon Drive Parkway

Existing palm plantings are accented by massing of African Sumac, Palo Verde, and Yellow Oleander to buffer the adjacent cabanas with planting of Texas Rangers, Cassias, Bougainvillea, Acacia Redolens and Lantanas to soften the slope.

D. Pool Areas

The use of turf is minimized to allow for "usable areas which are accented by California Fan Palms, Lantana species, Bougainvillea, Texas Ranger, and specimen cacti accents to take advantage of the unique which exist around the pool areas and capture golf course and mountain views.



TERRA NOVA[®]
Planning & Research, Inc.

Agua Caliente Development Authority
Hotel - Landscape Plan
City of Palm Springs



Exhibit

IV-22



TERRA NOVA[®]
 Planning & Research, Inc.

Agua Caliente Development Authority
 Typical Hotel Entrance - Enlargement
 City of Palm Springs



Exhibit

IV-23

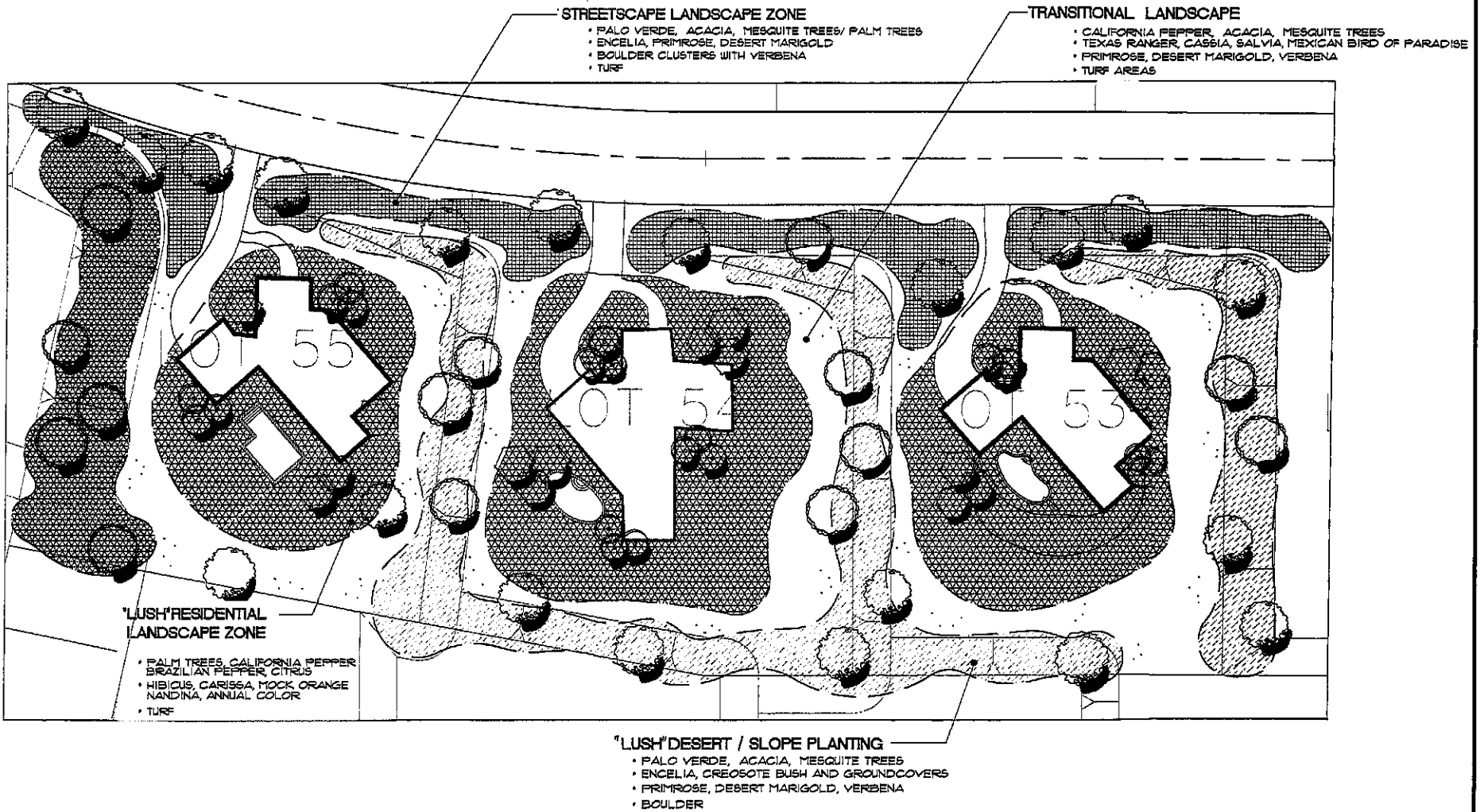
3. Residential

- Entryways – Landscape design should recognize the important role of landscaping in orienting visitors and the community to the environment. Areas, which serve as a focus of vehicular traffic, such as project entries, should be accented by the use of colorful shrubs and groundcovers for enhanced visual interest. Project entries should utilize vertical accents such as palm trees to provide a sense of arrival to the facility. Contrasting the golf course and park-like core with the natural open space and the surrounding mountains.
- Streetscapes – Streetscapes should incorporate informal masses of trees and shrubs. Streetscapes fronting the project should maintain a plant palette and design concept which is compatible with surrounding finished street frontages.
- Parking Areas – The design of parking areas should include provisions for canopy trees to provide shade for parked vehicles. Parking areas should be screened from adjacent roadways by the use of low walls or berms.
- Groundcovers should be used to enhance the appearance of the project and protect soil from erosion. Acceptable groundcover includes gravels, rocks or living plant materials. Tree bark and shredded wood products, which are lightweight and subject to wind and water erosion, are prohibited.
- Water efficient landscape materials, including native plants, with drip irrigation should be used wherever possible as a means of conserving scarce water resources and minimizing maintenance costs.
- Landscaping should be designed to screen above ground utility equipment, service areas and trash containers. Homogenous, visually subtle plant materials should be selected for use in these areas in order not to focus attention on the objectionable items.
- In general, where the guidelines outlined above are not described, the landscape requirements under the Palm Springs Zoning Ordinance will dictate.

The plant palette for residential development is provided in Appendix A, Table A-4.

Prohibited Species:

Non-native, highly invasive species such as Fountain Grass (*Pennisetum Setaceum*), and Tamarisk (*Tamaricaceae*) are prohibited. The Planning Department shall maintain a list of those species identified as problems and owners, landscape architects, architects and others of any updates to the list. Residential landscape is illustrated in Exhibits IV-21 through IV-24.



Source: T.K.D. ASSOCIATES, INC.



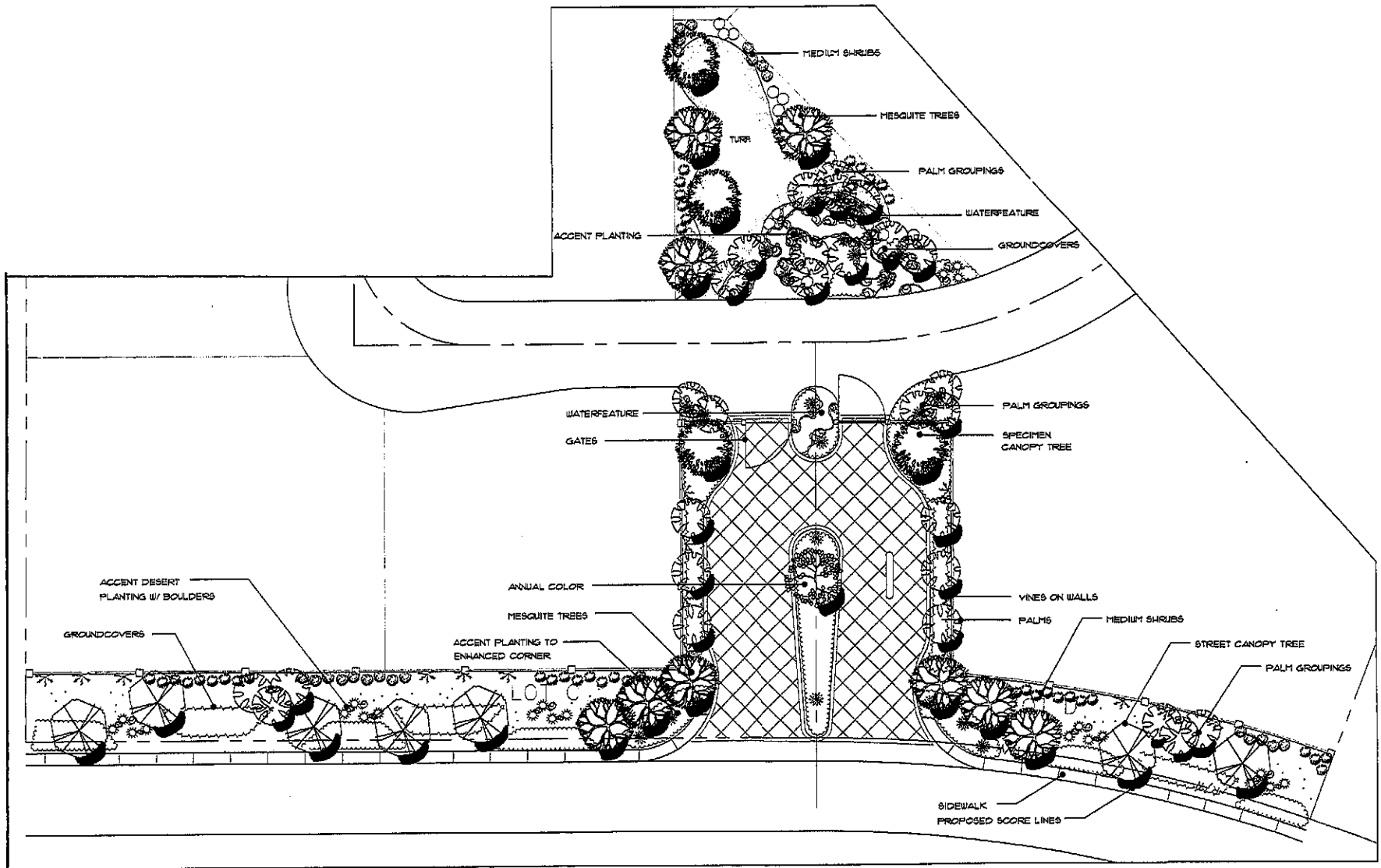
TERRA NOVA[®]
 Planning & Research, Inc.

Agua Caliente Development Authority
 Typical Residential Lot Landscaping
 City of Palm Springs



Exhibit

IV-24



Source: T.K.D. ASSOCIATES, INC.



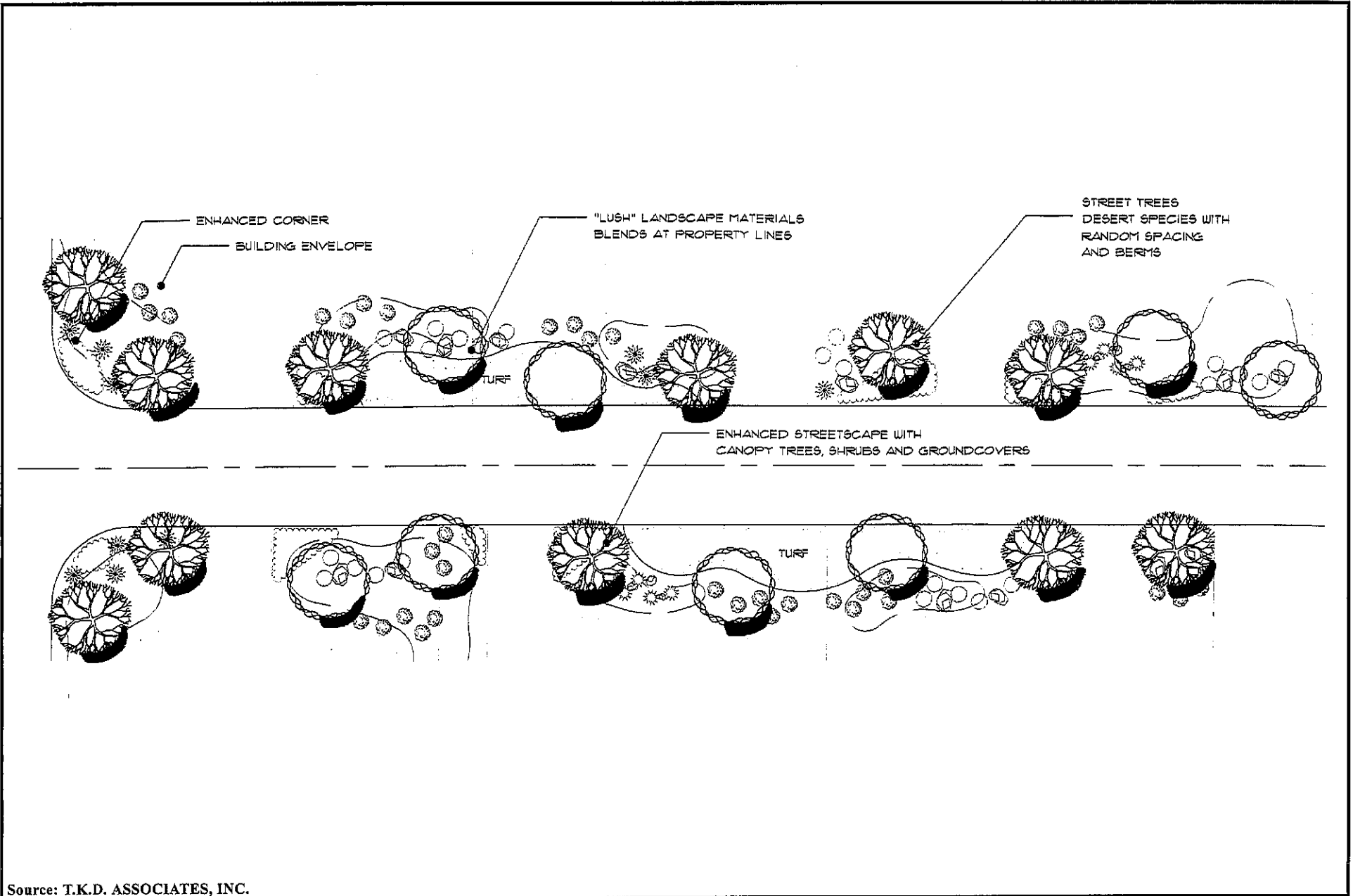
TERRA NOVA[®]
 Planning & Research, Inc.

Agua Caliente Development Authority
 Typical Project Entry, Residential
 City of Palm Springs



Exhibit

IV-25



Source: T.K.D. ASSOCIATES, INC.



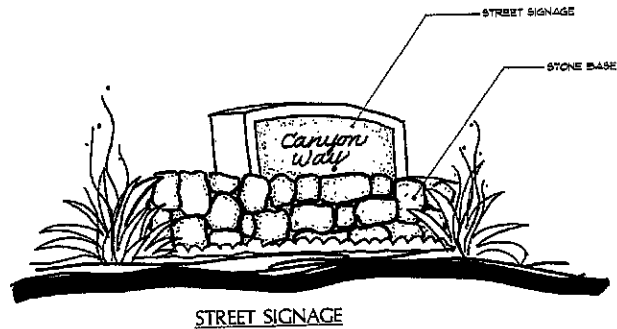
TERRA NOVA[®]
Planning & Research, Inc.

Agua Caliente Development Authority
Typical Streetscape, Residential
City of Palm Springs

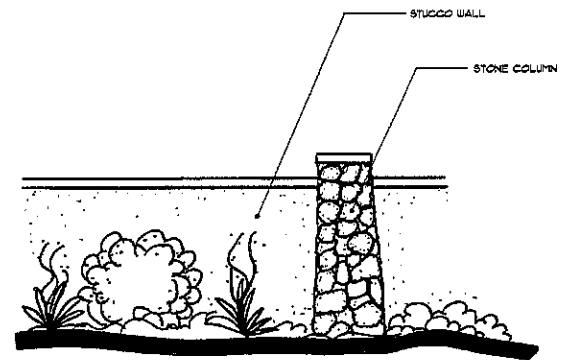


Exhibit

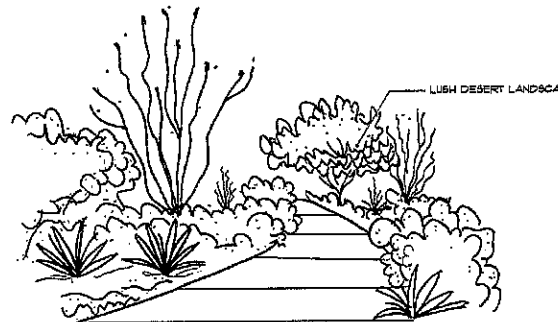
IV-26



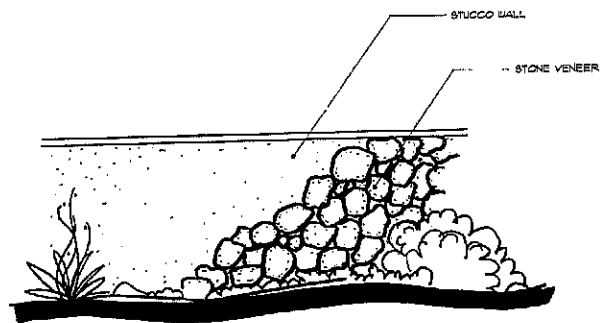
STREET SIGNAGE



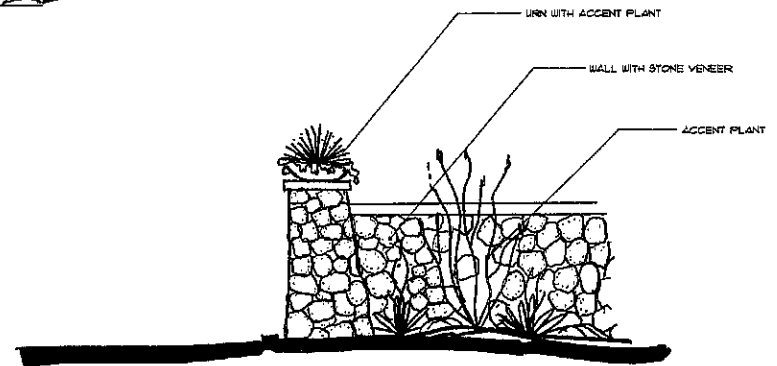
STUCCO WALL WITH STONE COLUMN



WALKWAY CONCEPT



STUCCO WALL TO STONE WALL TRANSITION



ENTRY COLUMN AND WALL

Source: T.K.D. ASSOCIATES, INC.



TERRA NOVA[®]
Planning & Research, Inc.

Agua Caliente Development Authority
Exterior Details, Residential
City of Palm Springs



Exhibit

IV-27

4. Conservation and Open Space

Conservation

Any and all development within the areas designated Conservation in the Specific Plan boundary shall be governed by the terms of the Stipulated Judgement. Based on that Agreement, the maximum number of units permissible within the Conservation designation is 15, located in Planning Area 2.

Open Space

Development of the Open Space designated lands shall be limited to golf courses. The development standards for golf course use, and their ancillary facilities, including clubhouse, maintenance building and operational facilities, are contained in the Palm Springs Zoning Ordinance. New ancillary facilities, including clubhouse, maintenance facilities and operational facilities, shall be permitted with approval of a Major Architectural Review permit.

V. INFRASTRUCTURE

A. Public Services / Utilities

Services for wastewater collection and treatment, water supply and distribution, natural gas, cable television, telephone and electricity will be coordinated between the developers and the appropriate service provider prior to project development.

1. Sewer

Existing sewer mains include a network of 12-inch mains within South Palm Canyon Drive and Bogert Trail rights of way. Existing 8-inch mains are located within Murray Canyon Drive and Sierra Madre rights of way. There is also an existing 12-inch main which traverses north - south through the eastern portion of the golf-course area. The project proponents shall provide and fund on and off-site wastewater disposal facilities and improvements required to serve individual projects within the Specific Plan boundary, in a staged fashion prior to issuance of building permits for each relevant phase of development.

2. Water

The Desert Water Agency (DWA) supplies potable and irrigation water to the project site and general area through a series of 16-inch and 30-inch water lines within South Palm Canyon Drive; 12-inch and 36-inch lines within Murray Canyon Drive; a 3-inch line within Sierra Madre; a 6-inch line within Santiago; a 12-inch line along the south side of Bogert Trail; and a 16-inch line within Acanto. There is also an existing booster station at the northeast corner of Acanto Drive and South Palm Canyon Drive.

DWA operates a water treatment plant that treats tertiary treated effluent (recycled water) for irrigation needs, located at Gene Autry Tail and Mesquite. The DWA currently plans to install pipelines to supply tertiary treated water to the golf course within the Specific Plan boundary. Funds have been allocated for construction of the project, which is expected to be completed by mid-2004.

The project proponents shall provide and fund on and off-site domestic water facilities and improvements required to serve individual projects within the Specific Plan boundary, in a staged fashion prior to issuance of building permits for each relevant phase of development. Should the City establish a funding mechanism for flood control improvements within the Specific Plan boundary, individual project developers will participate on a “fair share” basis.

3. Fire Station

A fire station site is proposed within or adjacent to the Specific Plan area. No site has been selected for such a fire station, nor has funding been secured. Some properties in the southern half of the Specific Plan boundary, and properties south of the Specific Plan and under the jurisdiction of the Ague Caliente Band of Cahuilla Indians, fall outside the five minute response time area for fire and emergency medical services. All development within the Specific Plan boundary and outside the 5 minute response time for the City's Fire Station #4, shall be conditioned to participate in funding its fair share of the future fire station site. Until such time as a fire station is built, all development outside the five minute response time for the existing City Fire Station will be required to install fire sprinkler systems.

4. Natural Gas

Southern California Gas Company (SCG) currently provides natural gas service to the project site via four-inch mains located within the existing rights of way of South Palm Canyon Drive and Murray Canyon Drive; three-inch mains in Bogert Trail and Acanto; and two-inch lines within Sierra Madre and Santiago Way. Gas services will be extended on-site to the resort hotel. SCG has stated that natural gas service to the project site can be provided via the existing infrastructure without any significant upgrades to the systems or substantial alterations to its service.

5. Electric

Electrical service is currently provided to the project site by Southern California Edison (SCE) via an overhead and underground electrical system within the right of way of South Palm Canyon Drive between Murray Canyon Drive and Acanto Way. There is also an existing electrical overhead and underground feeder system along Acanto, and an underground system within the right of way of Bogert Trail between South Palm Canyon Drive and the Palm Canyon Wash bridge. Electrical service will be extended underground throughout the project area, providing service to all proposed structures. All electrical distribution lines within the Specific Plan boundary will be required to be located underground along street rights-of-ways or within easements granted to SCE as required by City policy.

6. Telephone

Telephone service is provided to the site by Verizon and is available to the property from an existing manhole access conduit system and cabling located within Murray Canyon Drive, Bogert Trail, Acanto, and from existing lines along South Palm Canyon Drive. Telephone cable will be extended throughout the project area, providing service to all proposed on-site structures. Verizon anticipates service for this project to be routine.

7. Cable Television

Cable Television service is provided to the site by Time Warner Cable and is available to the Specific Plan area from an underground conduit and various cable stub-outs throughout the area.

Installation of cable television wiring would be coordinated with the extension of electrical service. Time Warner considers service for this project to be routine.

8. Parks

There are approximately 130 acres of public parks within the City. The closest park to the planning area is Demuth Park. In addition, within the Specific Plan area, the Canyon South golf course, as a public course, provides recreational opportunities to local residents and tourists alike.

The City is currently evaluating a park land dedication and in lieu fee ordinance, as provided by the Subdivision Map Act. Currently, the City has approximately 3 acres of park land per 1,000 residents. The General Plan recommends that there be a maximum of 5 acres of park land per 1,000 residents. All residential projects within the Specific Plan boundary will be required to pay an in lieu fee to assist in implementing the General Plan Parks and Recreation Element.

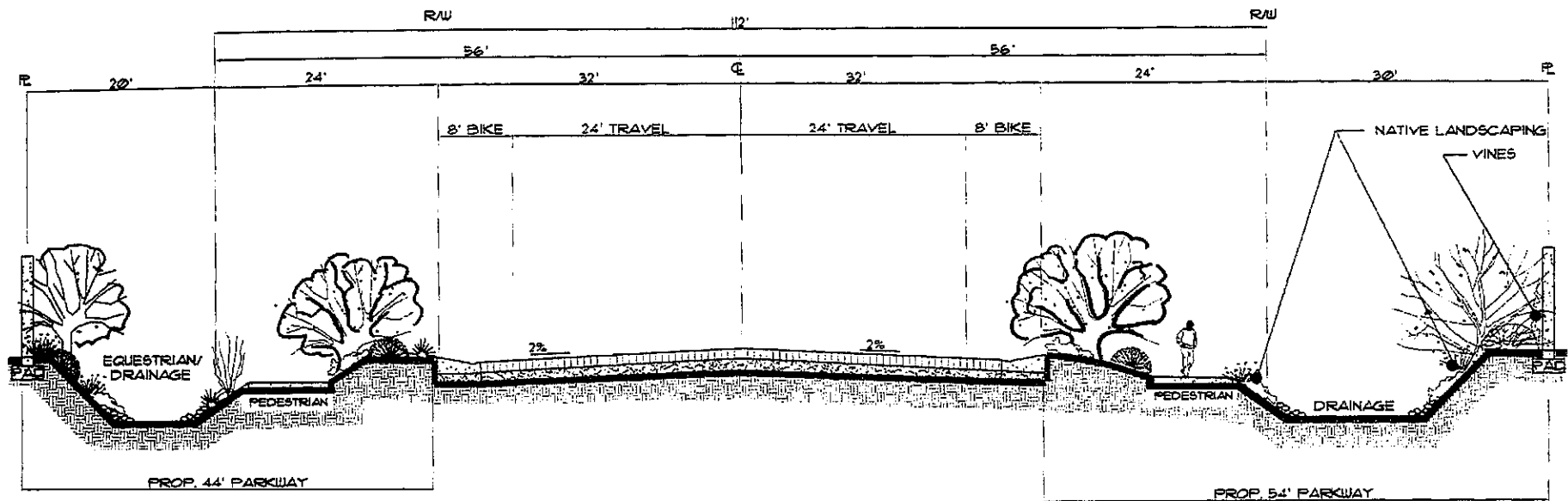
B. Circulation

1. Roads

Regional access to the Specific Plan area is currently available from Interstate 10 and State Route 111. Local access is available from South and East Palm Canyon Drive. Palm Canyon Drive (North and East) is master planned as a major thoroughfare. (west of Sunrise Way) and as a State Highway with a 202-foot right of way east of Gene Autry Trail. A major thoroughfare requires a 100 foot right of way with 76 feet of pavement. South Palm Canyon Drive, Camino Real (between East Palm Canyon Drive and La Verne Way), Farrell Drive, Barona Road (north of Murray Canyon Drive), La Verne Way, and Murray Canyon Drive are all master planned as secondary thoroughfares. Secondary thoroughfares provide 64 feet of pavement, and 88-foot rights of way. Primary access to the project area is taken from the north and includes South Palm Canyon Drive, La Verne Avenue, and Toledo Avenue. These streets have fully improved travel lanes. Master Plan Circulation within the Specific Plan area includes South Palm Canyon Drive (Secondary Thoroughfare), Murray Canyon Drive (Secondary Thoroughfare), and Bogert Trail (Collector). Acanto Road exists on the south side of the Specific Plan east of South Palm Canyon Drive and is planned to be a local road that will be ultimately cul-de-saced.

Subsequent to the approvals of the Canyon Park Spa and Resort Specific Plan, some significant changes have occurred to the area lying just south of the Specific Plan Project area. The Agua Caliente Band has acquired several hundred acres of developable land that is now planned to remain as open space in perpetuity. This change has resulted in a significant reduction in potential traffic in the project area as well as the area south of the City. Additionally, the Tribe has recently installed a permanent roadway as an extension of South Palm Canyon Drive. The Tribe reviewed the potential traffic needs of the area south of Acanto (currently in Riverside County but being managed for planning and building purposes by the Tribe). The Tribe determined that the traffic could be handled by a 32 foot wide roadway (in an 80 foot right of way).

In keeping with the size and design of the roadway south of Acanto, the City Council recently approved a reduced pavement section for South Palm Canyon Drive between Bogert Trail and Acanto Way. Another adjustment has been approved for Acanto Way east of South Palm Canyon Drive. Due to the fact that right of way has never been dedicated to construct the south half of the road, a special section has been approved that finishes the roadway within the existing 40 foot half street. This means that no additional right of way will be needed from the south side and full street improvements are possible.



Source: T.K.D. ASSOCIATES, INC.



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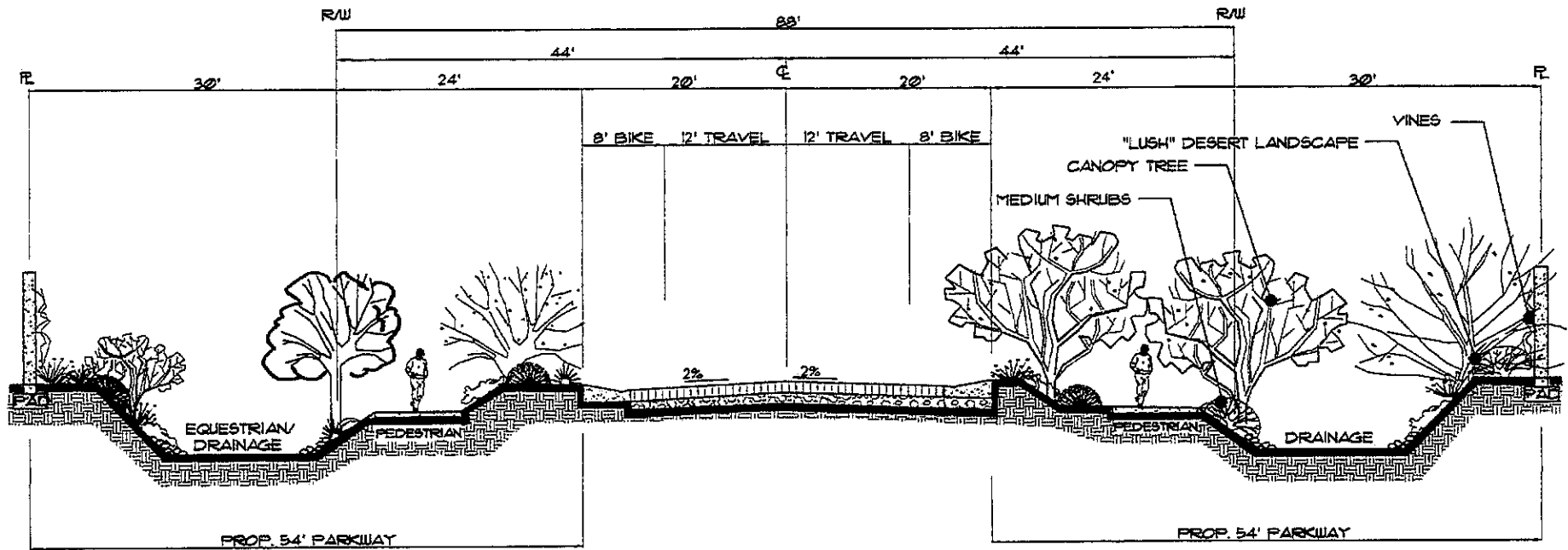
Planning & Research, Inc.

Agua Caliente Development Authority
 Street Cross Section - S. Palm Canyon
 City of Palm Springs



Exhibit

V-1



Source: T.K.D. ASSOCIATES, INC.



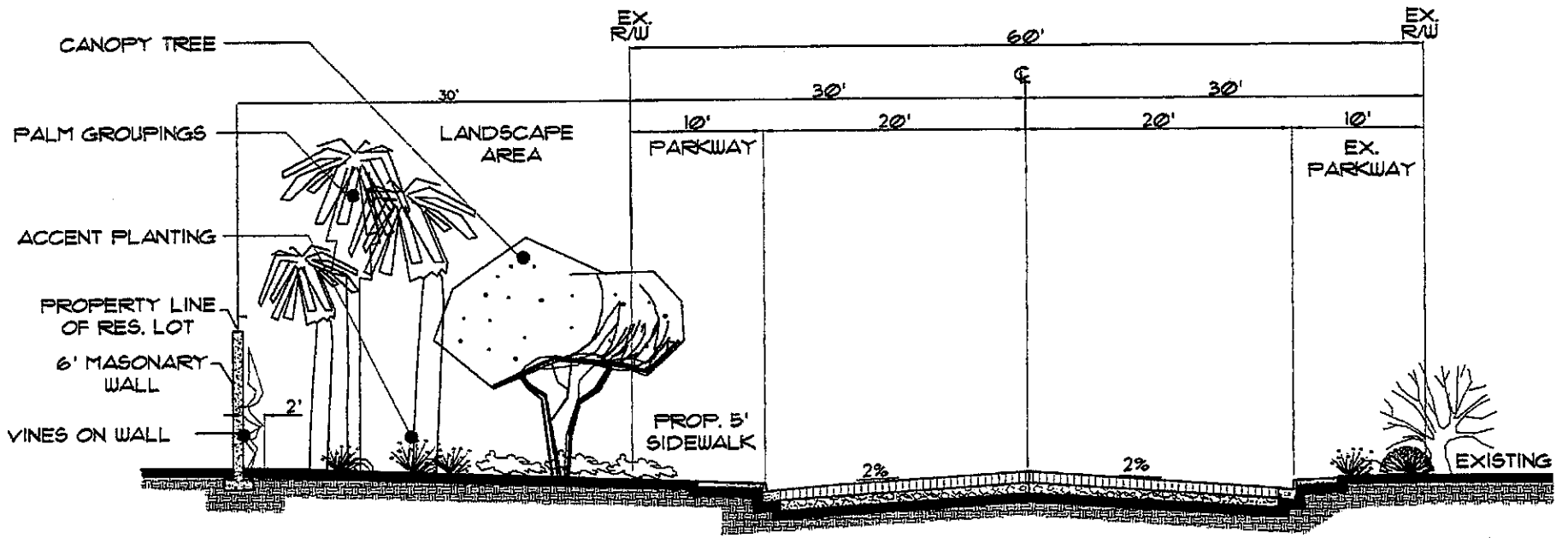
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 Planning & Research, Inc.

**Agua Caliente Development Authority
 Street Cross Section - S. Palm Canyon
 Bogert Trail to Acanto Drive
 City of Palm Springs**



Exhibit

V-2



Source: T.K.D. ASSOCIATES, INC.



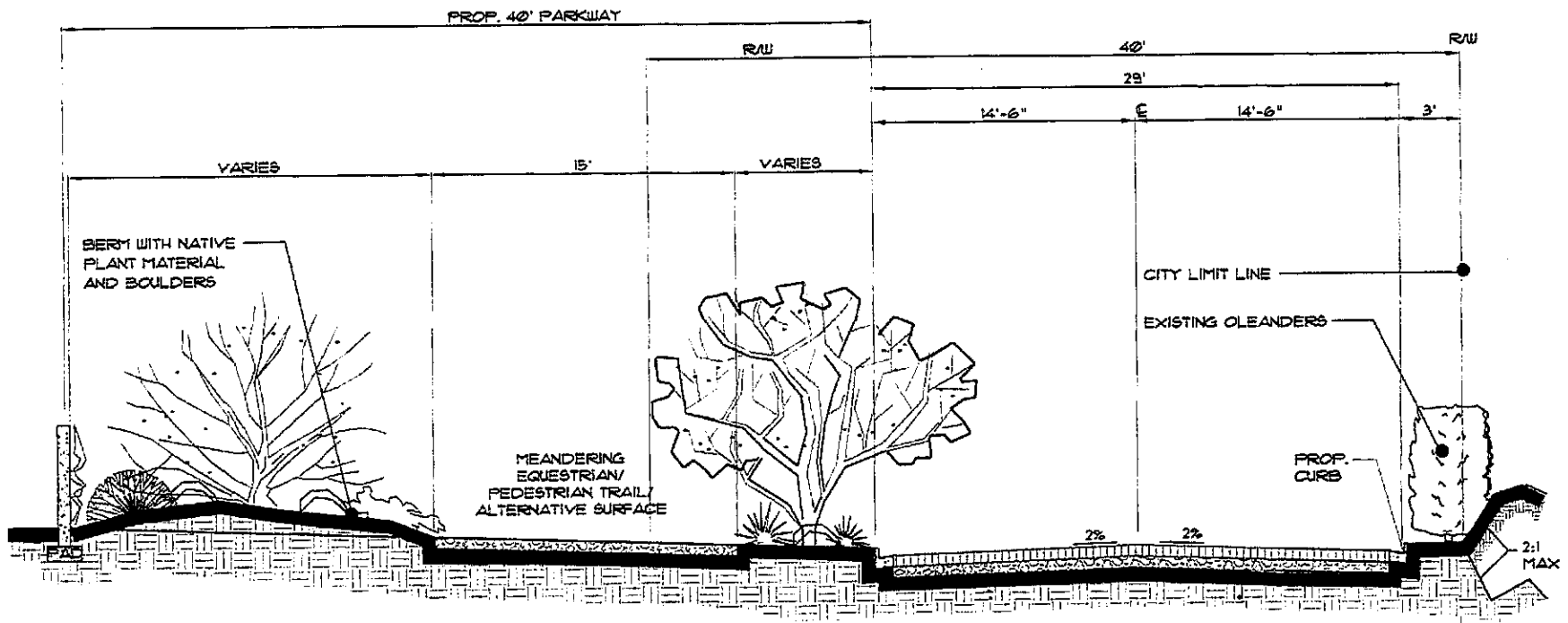
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Agua Caliente Development Authority
 Street Cross Section - Bogert Trail
 City of Palm Springs



Exhibit

V-3



Source: T.K.D. ASSOCIATES, INC.



TERRA NOVA[®]
 Planning & Research, Inc.

Agua Caliente Development Authority
 Street Cross Sections - Acanto Drive
 City of Palm Springs



Exhibit

V-4

a. Off-site Circulation Improvements

The components of the existing primary roadway circulation system of Murray Canyon Drive, South Palm Canyon Drive, and Bogert Trail will substantially remain in their current locations. South Palm Canyon Drive within the Specific Plan boundaries will become a four-lane through street with a median island between Bogert Trail and Murray Canyon Drive. South Palm Canyon Drive and Bogert Trail are planned for re-construction in order to raise them above flood hazards. Bridges or other all weather access features will be constructed near the intersection of the two streets.

The proposed Specific Plan #1A contains a provision to amend the Circulation Plan to reinstate Bogert Trail as a collector or local street in a 60 foot right-of-way (40' curb to curb) which will provide access to Andreas Hills, Parc Andreas, and Point Andreas. This will require changes to be made to the location of internal streets in the Specific Plan #1. Acanto Way will become a local road with a 40 foot right of way (29 feet curb to curb), transition into a private road, and will be a cul-de-sac.

b. On-site Circulation Improvements

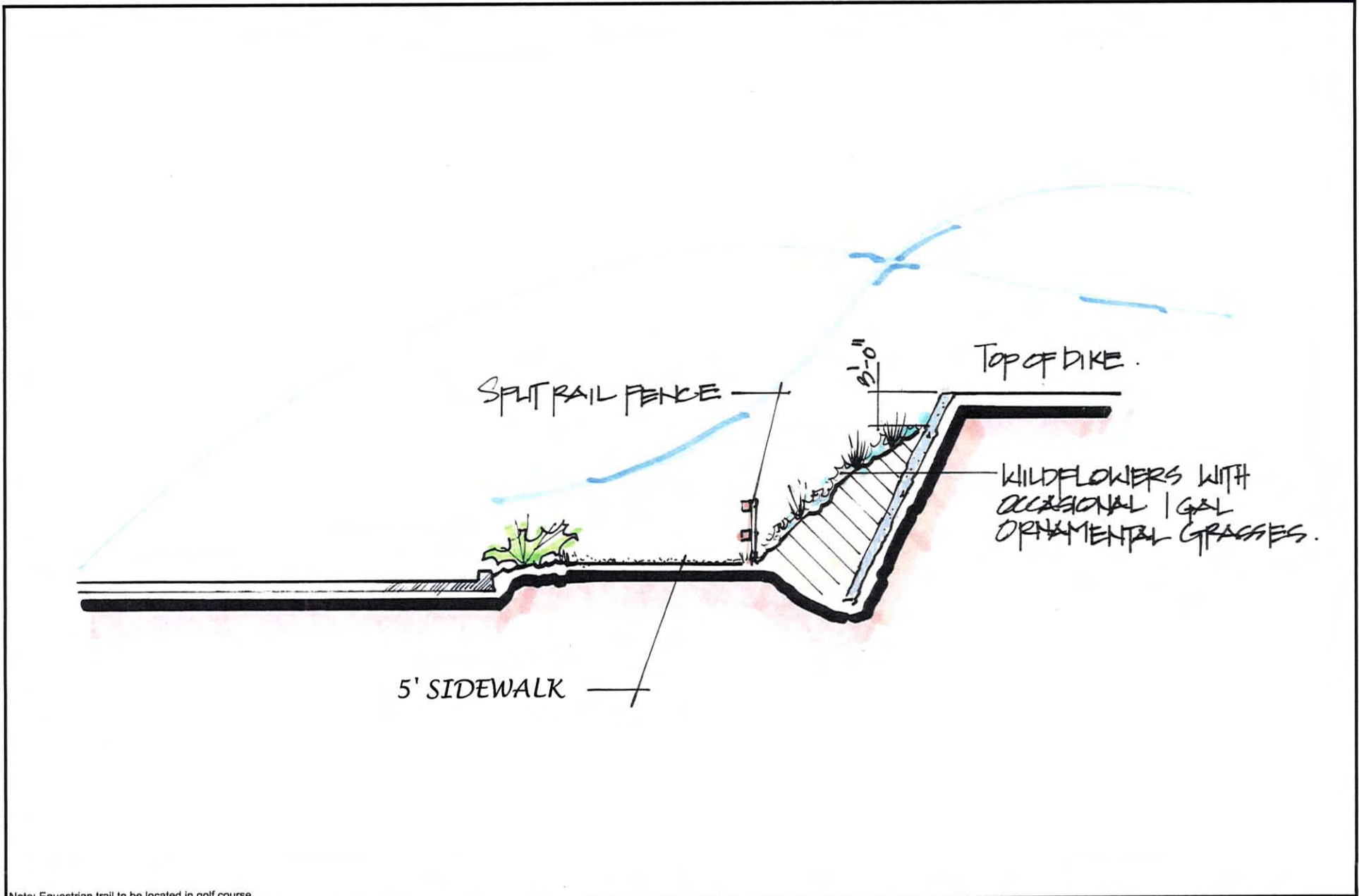
Whereas previous versions of this Specific Plan envisioned a master development approach with interconnected, private roads, the current approach favors a more traditional project by project connection to the main public street system. The roadways have been studied to determine their adequacy and individual project reviews will determine the optimum design and location of access points.

2. Trails

The General Plan proposes a complete system of riding and hiking trails that will permit the exploration of Palm Springs, the Indian Canyons Heritage Park, and its surroundings. The trails should follow natural watercourses and usable mountainous areas, and utility corridors. In areas of gentle topography, bicycle paths might be developed in conjunction with these trails. Trail stops, with water, shade, picnic tables, and comfort stations are proposed at six to ten mile intervals. Where possible, these stops are combined with parks or golf courses. The system should be flexible enough to permit integration into a County or State trail system.

The Canyon South Specific Plan will follow the objectives and policies as applicable throughout the project area. Please see Exhibit II-2, Proposed Land Use Designations, for the general location of trails within the Plan area.

The General Plan Trail shown for Murray Canyon Drive will be located through the Canyon South Golf Course, with a 5 foot sidewalk occurring on the street, to be constructed at the time of hotel construction. General Plan trails located in the western and southern portions of the Specific Plan area have and will be sited during the review process and approvals for individual residential tracts.



Note: Equestrian trail to be located in golf course.

C. Flood Control

1. Flood Control Facilities

The project site is affected by surface runoff from Palm, Andreas, Dry and Arenas (north and south) Canyons to the south and west. The project site is also affected by local runoff originating on the Andreas alluvial fan. The 100-year peak flows exceed the capacities of the natural drainage channels for Andreas and Palm Canyons. The site is subject to flooding resulting from sheet flow between Acanto Way and Bogert Trail, and at the foot of the Arenas alluvial fan, both from the south. Flooding of the site can also be expected from the Palm Canyon Wash.








Flood control facilities are to provide adequate drainage throughout the Specific Plan area which is compatible with the existing surrounding development, as well as integrate natural drainage courses into the design where feasible.

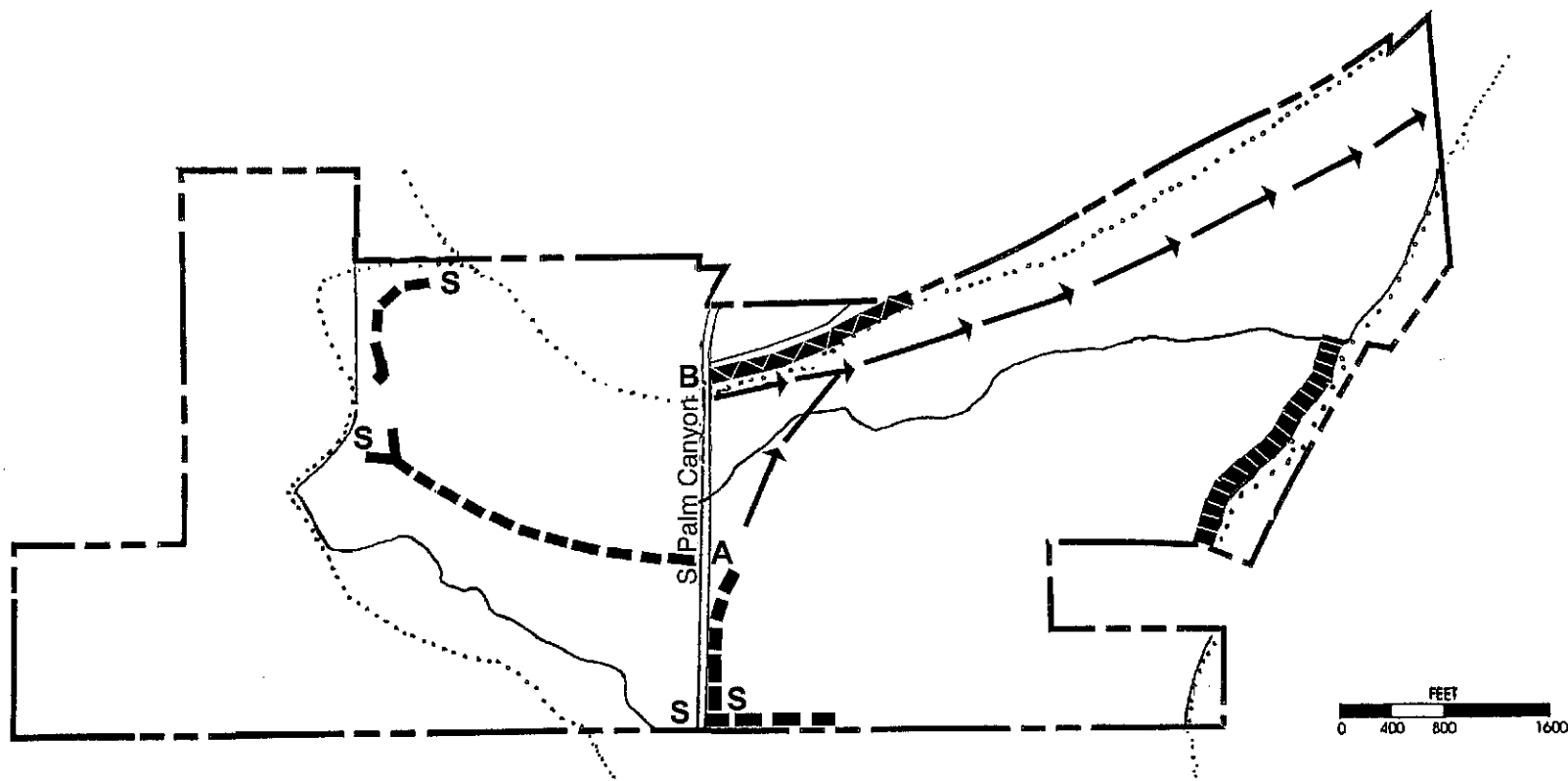
A major change in the flood control facilities previously considered for this area is proposed, since the hotel site has been moved from the west side of South Palm Canyon Drive to the original Canyon Hotel location. In response to this change, the drainage concept has reverted to a more traditional channel design for the west side of South Palm Canyon Drive. Two channels (one existing but to be upgraded) will collect the runoff from the alluvial fan and direct it to areas of the golf course in a manner to maintain both South Palm Canyon Drive and Bogert Trail as all-weather crossings. The golf course will continue to carry flows to the east, and into the Palm Canyon Wash.

The drainage plan for the area known as Dry Canyon remains relatively unchanged: a sedimentation basin is planned to be constructed south of Acanto, and a landscaped, boulder lined channel on the east side of the road will provide a conduit for storm flows to the point of discharge into the golf course north of Bogert Trail. Drainage facilities sufficient to handle each phase of development will be constructed during the appropriate phase. The exact extent of these will be determined during final engineering design and will be reviewed by the City via standard plan check protocols to ensure that drainage is adequately addressed.

Flood flows approaching the site from the southwest (Andreas and Dry Canyons) will be carried northerly in a drainage conveyance located east and parallel to South Palm Canyon Drive. These flows will join Arenas Canyon flows and continue easterly via golf fairway swales, which will be contoured to contain the 100-year flood and act as sediment control facilities. Arenas Canyon drainage facilities have been substantially reduced in size over the original design in Specific Plan #1.

The west bank of Palm Canyon Wash will be improved using a rock lined embankment. The east bank will be left undisturbed per the Sierra Club Stipulated Judgment. Within the golf course areas along the Palm Canyon Wash, a two tiered flood control design will be used whereby tees and greens will be located above the 25-year return period to avoid inundation in all but major storm events.

LEGEND	
	Containment Channel
	Relocated Levee
	Rocklined Levee
	Sedimentation Basin
	All Weather Crossing
	Surface Flow Through Golf Course
	Bridge Reconstruction

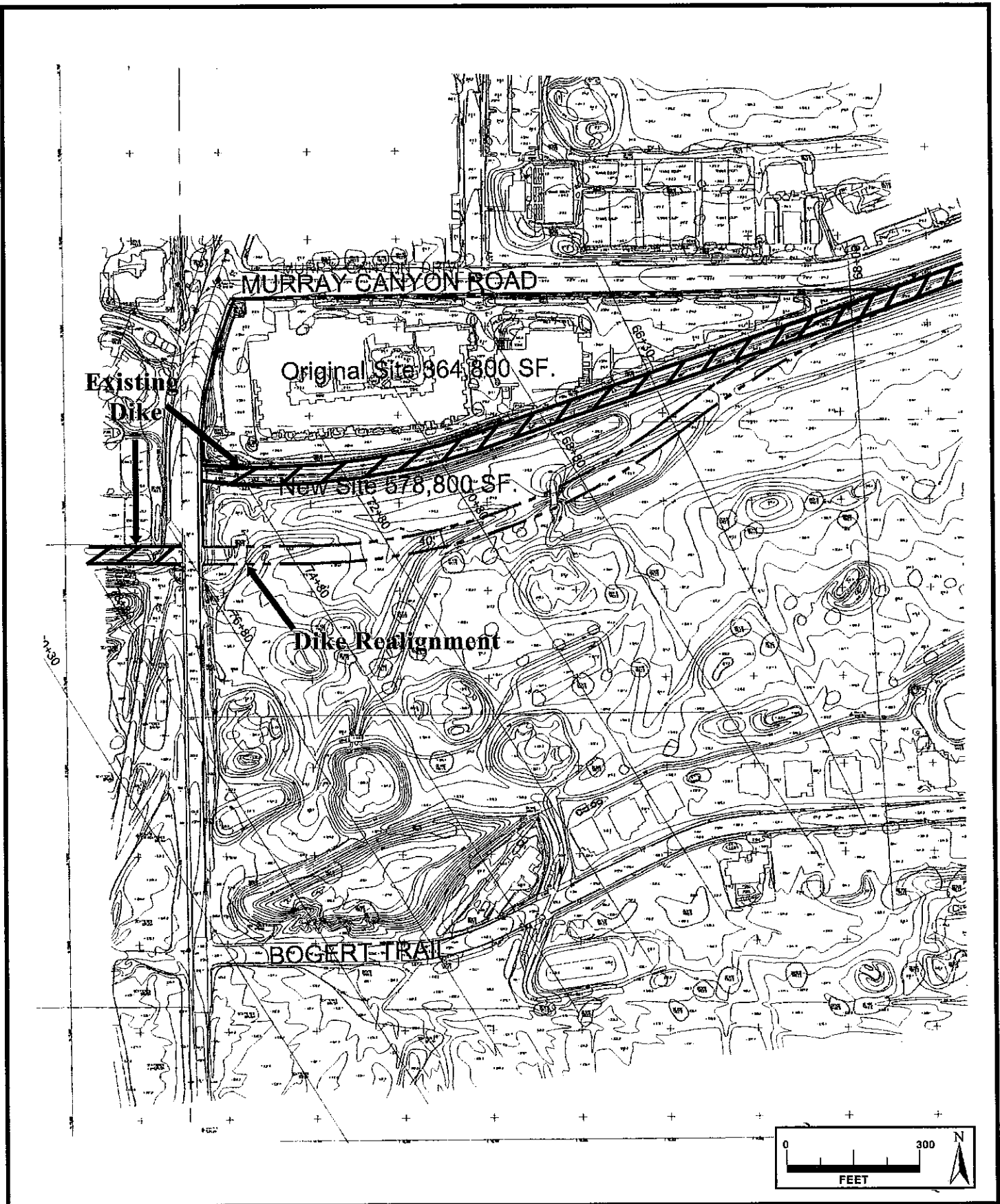


Source: Mainiero, Smith & Associates

2. Relocation of the Dike

South Palm Springs dike will be relocated from its present location southerly approximately 180 feet, and realigned with the existing dike west of South Palm Canyon Road (see Exhibit V-7, Dike Realignment). The dike will meet existing flood control standards for construction. Review and approval of the dike design will be the responsibility of the Riverside County Flood Control District (RCFCD).

Moving of the dike will increase the hotel site from its current 8.4 acres to 13.3 acres. The top of the dike will be approximately 8 feet above the grade immediately to the south of the dike. North of the dike, the grade will be more of a gradual slope to the existing grade at Murray Canyon, involving a reduction of approximately 5 feet from the top of the dike to Murray Canyon over a distance of approximately 180 feet. This action will be reviewed and approved by RCFCD for compliance with all applicable requirements and regulations.



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Agua Caliente Development Authority
Dike Realignment
City of Palm Springs



Exhibit

V-7

Appendix A
Landscape Palettes

**Appendix A
Landscape Palettes**

**Table A-1
Canyon South Golf Course
Plant Palette**

BOTANICAL NAME	COMMON NAME	SIZE
TREES - DESERT SCAPES		
ACACIA ANEURA	MULGA TREE	15 GALLON - 24" BOX
ACACIA SMALLII	SWEET ACACIA	15 GALLON - 24" BOX
CERCIDIUM FLORIDUM	BLUE PALO VERDE	15 GALLON - 24" BOX
LYSILOMA THORNBERI	FEATHER BUSH	15 GALLON - 24" BOX
THORNLESS PROSOPIS CHILENSIS	CHILEAN MESQUITE	15 GALLON - 24" BOX
TREES - IN TURF (In Golf Course play areas)		
ACACIA SALIGNA	BLUE-LEAF WATTLE	15 GALLON - 24" BOX
ACACIA SMALLII	SWEET ACACIA	15 GALLON - 24" BOX
CERATONIA SILIQUA	CAROB TREE	15 GALLON - 24" BOX & EXISTING ON SITE
CHITALPA TASKENTENSUS 'PINK DAWN'	CHITALPA	15 GALLON - 24" BOX
EUCALYPTUS MICROTHECA	COOLIBAH TREE	15 GALLON - 24" BOX
OLEA EUROPAEA	EUROPEAN OLIVE	FIELD GROWN & SALVAGE FROM SITE
THORNLESS PROSOPIS CHILENSIS	CHILEAN MESQUITE	15 GALLON - 24" BOX
PINUS ELДАРICA	MONDELL PINE	15 GALLON - 24" BOX
SCHINUS MOLLE	CALIFORNIA PEPPER	15 GALLON - 24" BOX & EXISTING ON SITE
PALMS		
CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM	15 GALLON - 36" BOX
PHOENIX DACTYLIFERA	DATE PALM	SALVAGE FROM EXISTING COURSE
WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	SALVAGE FROM EXISTING COURSE
WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	SALVAGE FROM EXISTING COURSE

**Table A-1
Canyon South Golf Course
Plant Palette, Continued**

SHRUBS - "DESERT SCAPES"		
ARISTIDA PURPUREA	PURPLE THREE AWN	SEED
AMBROSIA DELTOIDEA	BURRO BRUSH, BUR SAGE	1 GALLON
BOUGAINVILLEA SPECTABILIS	BOUGAINVILLEA	1 GALLON
BAILEYA MULTIRADIATA	DESERT MARIGOLD	SEED
BUDDLEIA MARRUBIFOLIA	BUTTERFLY BUSH	1 GALLON
CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER	1 GALLON
CAESALPINIA GILLIESII	MEXICAN BIRD OF PARADISE	1 GALLON
CASSIA ARTEMISIOIDES	FEATHERY CASSIA	1 GALLON
CASSIA NEMOPHILA	BUSHY SENNA	1 GALLON
DALEA SPINOSA	SMOKE TREE	SEED
ENCELIA FARINOSA	BRITTLE BUSH	SEED/ 1 GALLON
ERICAMERIA LARICIFOLIA	TURPENTINE BUSH	1 GALLON
LARREA TRIDENTATA	CREOSOTE BUSH	5 GALLONS
LEUCOPHYLLUM P. 'SIERRA BOUQUET'	TEXAS RANGER	1 GALLON - 5 GALLON
LEUCOPHYLLUM C. 'THUNDERCLOUD'	TEXAS RANGER	1 GALLON - 5 GALLON
SALVIA LEUCANTHA	MEXICAN SAGE	1 GALLON
SANTOLINA VIRENS	GREEN SANTOLINA	1 GALLON
SIMMONDSIA CHINENSIS	JOJOBA	1 GALLON
SPHAERALCEA AMBIGUA	DESERT MALLOW	SEED
VERBENA PERUVIANA	VERBENA	FLATS / OR SEED
VIGUERA DELTOIDEA	GOLDEN EYE	1 GALLON
SCHISMUS BARBATUS	SIX WEEKS GRASS	SEED

SHRUBS - RIPARIAN PLANTING (By Golf Course Water Features & perimeter Resort Buffer)		
ACACIA R. 'DESERT CARPET'	TRAILING ACACIA	1 GALLON
ANNUAL COLOR	SEASONAL FLOWERS	FLATS
BACCHARIS P. 'THOMPSON'	BACCHARIS	1 GALLON
BOUGAINVILLEA 'LA JOLLA'	BOUGAINVILLEA	1 GALLON - 5 GALLONS
CAESALPINIA GILLIESII	MEXICAN BIRD OF PARADISE	1 GALLON
CANNA CANNACEAE	CANNA LILY	1 GALLON
CASSIA NEMOPHILA	BUSHY SENNA	1 GALLON
DALEA FRUTESCENS 'SIERRA NEGRA'	BLACK DALEA	1 GALLON
DALEA SPINOSA	SMOKE TREE	1 GALLON
LEUCOPHYLLUM Z. 'CIMARRON'	TEXAS RANGER	1 GALLON
MUHLENBERGIA L. 'AUTUMN GLOW'	YELLOW DEVILS SHOESTRING	1 GALLON
MUHLENBERGIA L. 'REGAL MIST'	RED DEVILS SHOESTRING	1 GALLON
PYRACANTHA 'SANTA CRUZ'	SANTA CRUZ PROSTRATA	1 GALLON
RUELLIA PENINSULARIS	RUELLIA	1 GALLON
SALVIA G. 'SIERRA LINDA'	SAGE	1 GALLON
TAGETES LUCIDA	LICORICE MARIGOLD	1 GALLON
WEDELIA TRILOBATA	WEDELIA	1 GALLON
XYLOSMA CONGESTUM 'COMPACTA'	DWARF XYLOSMA	5 GALLON

**Table A-1
Canyon South Golf Course
Plant Palette, Continued**

CACTI		
AGAVE VICTORIAE-REGINAE	QUEEN VICTORIA AGAVE	1 GALLON - 5 GALLONS
DASYLIRION WHEELERI	DESERT SPOON	1 GALLON
FOUQUIERIA SPLENDENS	OCOTILLO	6' - 10' TALL 8 CSNES MIN.
HESPERALOE PARVIFLORA	RED YUCCA	1 GALLON
OPUNTIA BASILARIS	BEAVERTAIL CACTUS	2' TALL / 6 PADS
OPUNTIA BIGELOVII	JUMPING CHOLLA	2' - 4' TALL
OPUNTIA SP. 'SANTA RITA'	PURPLE OPUNTIA	2' TALL / 6 PADS
YUCCA ELATA	SOAPTREE YUCCA	5 GALLONS
NATIVE PLANTS FROM SEED- PALM CANYON WASH AREA		
ABRONIA VILLOSA	SAND VERBENA	SEED
BAILYEA MULTIRADIATA	DESERT MARIGOLD	SEED
CAMPANULA PRENANTHOIDES	CALIFORNIA BLUEBELLS	SEED
DALEA SPINOSA	SMOKE TREE	SEED
SCHISMUS BARBATUS	SIX WEEKS GRASS	SEED
SPHAERALCEA SP.	GLOBE MALLOW	SEED
TREES - RIPARIAN SCAPES (By new man made waterfeatures)		
ACACIA STENOPHYLLA	SHOESTRING ACACIA	15 GALLON - 24" BOX
CHILOPSIS LINEARIS	DESERT WILLOW	15 GALLON - 24" BOX
LYSILOMA THORNBURI	FEATHER BUSH	15 GALLON - 24" BOX
POPULUS FREMONTII	ARIZONA COTTONWOOD	15 GALLON - 24" BOX
THORNLESS PROSOPIS CHILENSIS	CHILBAN MESQUITE	15 GALLON - 24" BOX
ULMUS PARVIFOLIA	CHINESE ELM	15 GALLON - 24" BOX

**Table A-2
Clubhouse Plant Palette**

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>QTY</u>	<u>SIZE</u>
TREES:			
CERCIDIUM HYBRID " DESERT MUSEUM"	DESERT MUSEUM PALO VERDE	38	24" BOX
OLEA EUROPAEA	EUROPEAN OLIVE	6	FIELD GROWN
PALMS:			
SHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM	18	24" -36" BOX
WASHINGTON FILIFERA	CALIFORNIA FAN PALM	22	10' - 16'
SHRUBS:			
BOUGAINVILLEA 'LAJOLLA'	BOUGAINVILLEA	99	5 GAL.
BOUGAINVILLEA 'OOH LA LA'	BOUGAINVILLEA	3	5 GAL.
BROMELIA BALANSAE	HEART OF FLAME	8	1 GAL.
CASSIA ARTEMISIOIDES	FEATHERY CASSIA	80	5 GAL.
CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	10	5 GAL.
EPIPREMNUM AUREUM	POTHOS	3	1 GAL.
LEUCOPHYLLUM LANQMANIAE 'RIO BRAVO'	'RIO BRAVO' TM	136	5 GAL.
MUHLENBERGIA CAPILLARIS 'REGAL MIST'	'REGAL MIST' TM	103	1 GAL.
RAPHIOLEPIS L 'SPRINGTIME'	INDIAN HAWTHORN	31	5 GAL.
THEVETIA PERUVIANA	YELLOW OLEANDER	3	15 GAL.
COVER:			
ACACIA R. 'DESERT CARPET'	TRAILING ACACIA	15	1 GAL.
BACCHARIS P. 'THOMPSON'	BACCHARIS	35	1 GAL.
LANTANA MONTEVIDENSIS	PURPLE PROS, LANTANA	108	1 GAL.
LANTANA 'NEW GOLD'	SPREADING YELLOW LANTANA	106	1 GAL.
TRACHELOSPERMUM JASMINIODES	STAR JASMINE	46	1 GAL.
ANNUAL COLOR:			
	SEASONAL FLOWERS		PONY PACKS

**Table A-3
Hotel Plant Palette**

BOTANICAL NAME	COMMON NAME	# / ACRE
TREES		
ACACIA SALIGNA	BLUE-LEAF WATTLE	24 - 36" Box
ACACIA SALICINA	WILLOW ACACIA	24 - 36" Box
ACACIA SMALLII	SWEET ACACIA	24 - 36" Box
CERCIDIUM HYBRID 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24 - 36" Box
CITRUS	CITRUS	24 - 36" Box
OLEA EUROPAEA 'WILSONII'	WILSON OLIVE	24 - 36" Box
OLNEYA TESOTA	IRONWOOD	24 - 36" Box
THORNLESS PROSOPIS CHILENSIS	CHILEAN MESQUITE	24 - 36" Box
THORNLESS PROSOPIS G. 'TORREYANA'	HONEY MESQUITE	24 - 36" Box
PITHECELLOBIUM FLEXICAULE	TEXAS EBONY	24 - 36" Box
QUERCUS VIRGINIANA 'HERITAGE'	HERITAGE LIVE OAK	24 - 36" Box
RHUS LANCEA	AFRICAN SUMAC	24 - 36" Box
PALMS		
BEAUCARNEA RECURVATA	BOTTLE PALM	15G - 24" BOX
CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM	24" - 36" BOX
CYCAS REVOLUTA	SAGO PALM	24 - 36" BOX
WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	12-20' HTS SKINNED

**Table A-3
Hotel Plant Palette**

SHRUBS		
AGAPANTHUS AFRICANUS	LILY-OF-THE-NILE	5 GALLON
AGAVE AGUSTIFOLIA	AGAVE	5 GALLON
ALOE STRIATA	CORAL ALOE	5 GALLON
BOUGAINVILLEA 'LA JOLLA'	BOUGAINVILLEA	5 GALLON
BOUGAINVILLEA 'OOH LA LA'	BOUGAINVILLEA	5 GALLON
BOUGAINVILLEA 'RASPBERRY ICE'	BOUGAINVILLEA	5 GALLON
CASSIA ARTEMISIOIDES	FEATHERY CASSIA	5 GALLON
CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER	5 GALLON
CHRYSACTINIA MEXICANA	DIMIANITA	5 GALLON
CORDIA PARVIFOLIA	LITTLE LEAF CORDIA	5 GALLON
CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	5 GALLON
DASYLIRION WHEELERI	DESERT SPOON	5 GALLON
ENCELIA FARINOSA	BRITTLE BUSH	5 GALLON
LANTANA SP.	LANTANA	5 GALLON
LEUCOPHYLLUM F.	TEXAS RANGER	5 GALLON
MUHLENBERGIA L. 'AUTUMN GLOW'	YELLOW DEVIL'S SHOESTRING	5 GALLON
MUHLENBERGIA L. 'REGAL MIST'	RED DEVIL'S SHOESTRING	5 GALLON
PENSTEMON PARRYI	PARRY'S PENSTEMON	5 GALLON
PENSTEMON SUPERBUS	SUPERB PENSTEMON	5 GALLON
SALVIA GREGGII	SAGE	5 GALLON
TECOMA STANS	YELLOW BELLS	5 GALLON
THEVETIA PERUVIANA	YELLOW OLEANDER	5 GALLON
XYLOSMA CONGESTUM 'COMPACTA'	DWARF XYLOSMA	5 GALLON
YUCCA GLORIOSA	SPANISH DAGGER	5 GALLON
YUCCA THOMPSONII	NCN	5 GALLON
VINES		
BOUGAINVILLEA 'BARBARA KARST'	BOUGAINVILLEA	15 GALLON
CITRUS	CITRUS	15 GALLON
GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	15 GALLON
ROSA 'BANKSIAE'	LADY BANKS ROSE	15 GALLON
TRACHELOSPERMUM JASMINIOIDES	STAR JASMINE	15 GALLON
GROUND COVER		
ANNUAL COLOR	SEASONAL FLOWERS	Flats 8" OC
ACACIA R. 'DESERT CARPET'	TRAILING ACACIA	1 GALLON
BACCHARIS P. 'THOMPSON'	BACCHARIS	1 GALLON
DALEA CAPITATA 'SIERRA GOLD'	SIERRA GOLD DALEA	1 GALLON
LANTANA MONTEVIDENSIS	PURPLE PROS. LANTANA	1 GALLON
LANTANA 'NEW GOLD'	SPREADING YELLOW LANTANA	1 GALLON
OENOTHERA BERLANDIERI	MEXICAN PRIMROSE	1 GALLON
DESERT DUST	2" DEPTH COVER AREA COMPLETELY	
BOULDERS: WASHED GREY GRANITE W/ PERMEON STAINS		
SOD		

**Table A-4
Residential Plant Palette**

BOTANICAL NAME	COMMON NAME	SIZE
TREES - DESERT SCAPES		
ACACIA ANEURA	MULGA TREE	15 GALLON - 24" BOX
ACACIA SMALLII	SWEET ACACIA	15 GALLON - 24" BOX
CERCIDIUM FLORIDUM	BLUE PALO VERDE	15 GALLON - 24" BOX
LYSILOMA THORNBERI	FEATHER BUSH	15 GALLON - 24" BOX
THORNLESS PROSOPIS CHILENSIS	CHILEAN MESQUITE	15 GALLON - 24" BOX
TREES - RIPARIAN SCAPES		
ACACIA STENOPHYLLA	SHOESTRING ACACIA	15 GALLON - 24" BOX
CHILOPSIS LINEARIS	DESERT WILLOW	15 GALLON - 24" BOX
LYSILOMA THORNBERI	FEATHER BUSH	15 GALLON - 24" BOX
POPULUS FREMONTII	ARIZONA COTTONWOOD	15 GALLON - 24" BOX
THORNLESS PROSOPIS CHILENSIS	CHILEAN MESQUITE	15 GALLON - 24" BOX
ULMUS PARVIFOLIA	CHINESE ELM	15 GALLON - 24" BOX
TREES - IN TURF		
ACACIA SALIGNA	BLUE-LEAF WATTLE	15 GALLON - 24" BOX
ACACIA SMALLII	SWEET ACACIA	15 GALLON - 24" BOX
CERATONIA SILIQUA	CAROB TREE	15 GALLON - 24" BOX
CHITALPA TASKENTENSUS 'PINK DAWN'	CHITALPA	15 GALLON - 24" BOX
EUCALYPTUS MICROTHECA	COOLIBAH TREE	15 GALLON - 24" BOX
OLEA EUROPAEA	EUROPEAN OLIVE	FIELD GROWN
THORNLESS PROSOPIS CHILENSIS	CHILEAN MESQUITE	15 GALLON - 24" BOX
PINUS ELДАРICA	MONDELL PINE	15 GALLON - 24" BOX
SCHINUS MOLLE	CALIFORNIA PEPPER	15 GALLON - 24" BOX
PALMS		
CHAMAEROPS HUMILIS	MEDITERRANEAN FAN PALM	15 GALLON - 36" BOX
PHOENIX DACTYLIFERA	DATE PALM	15' MIN. BARE TRUNK
WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	15' MIN. BARE TRUNK
WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	6' MINIMUM BARE TRUNK
SHRUBS - "DESERT SCAPES"		
ARISTIDA PURPUREA	PURPLE THREE AWN	SEED
AMBROSIA DELTOIDEA	BURRO BRUSH, BUR SAGE	1 GALLON
BOUGAINVILLEA SPECTABILIS	BOUGAINVILLEA	1 GALLON
BAILEYA MULTIRADIATA	DESERT MARIGOLD	SEED
BUDDLEIA MARRUBIFOLIA	BUTTERFLY BUSH	1 GALLON
CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER	1 GALLON
CAESALPINIA GILLIESII	MEXICAN BIRD OF PARADISE	1 GALLON
CASSIA ARTEMISIOIDES	FEATHERY CASSIA	1 GALLON
CASSIA NEMOPHILA	BUSHY SENNA	1 GALLON
DALEA SPINOSA	SMOKE TREE	SEED

**Table A-4
Residential Plant Palette**

ENCELIA FARINOSA	BRITTLE BUSH	SEED/ 1 GALLON
ERICAMERIA LARICIFOLIA	TURPENTINE BUSH	1 GALLON
LARREA TRIDENTATA	CREOSOTE BUSH	5 GALLONS
LEUCOPHYLLUM P. 'SIERRA BOUQUET'	TEXAS RANGER	1 GALLON - 5 GALLON
LEUCOPHYLLUM C. 'THUNDERCLOUD'	TEXAS RANGER	1 GALLON - 5 GALLON
SALVIA LEUCANTHA	MEXICAN SAGE	1 GALLON
SANTOLINA VIRENS	GREEN SANTOLINA	1 GALLON
SIMMONDSIA CHINENSIS	JOJOBA	1 GALLON
SPHAERALCEA AMBIGUA	DESERT MALLOW	SEED
VERBENA PERUVIANA	VERBENA	FLATS / OR SEED
VIGUIERA DELTOIDEA	GOLDEN EYE	1 GALLON
SCHISMUS BARBATUS	SIX WEEKS GRASS	SEED
SHRUBS - RIPARIAN PLANTING		
ACACIA R. 'DESERT CARPET'	TRAILING ACACIA	1 GALLON
ANNUAL COLOR	SEASONAL FLOWERS	FLATS
BACCHARIS P. 'THOMPSON'	BACCHARIS	1 GALLON
BOUGAINVILLEA 'LA JOLLA'	BOUGAINVILLEA	1 GALLON - 5 GALLONS
CAESALPINIA GILLIESII	MEXICAN BIRD OF PARADISE	1 GALLON
CANNA CANNACEAE	CANNA LILY	1 GALLON
CASSIA NEMOPHILA	BUSHY SENNA	1 GALLON
DALEA FRUTESCENS 'SIERRA NEGRA'	BLACK DALEA	1 GALLON
DALEA SPINOSA	SMOKE TREE	1 GALLON
LEUCOPHYLLUM Z. 'CIMARRON'	TEXAS RANGER	1 GALLON
MUHLENBERGIA L. 'AUTUMN GLOW'	YELLOW DEVILS SHOESTRING	1 GALLON
MUHLENBERGIA L. 'REGAL MIST'	RED DEVILS SHOESTRING	1 GALLON
PYRACANTHA 'SANTA CRUZ'	SANTA CRUZ PROSTRATA	1 GALLON
RUELLIA PENINSULARIS	RUELLIA	1 GALLON
SALVIA G. 'SIERRA LINDA'	SAGE	1 GALLON
TAGETES LUCIDA	LICORICE MARIGOLD	1 GALLON
WEDELIA TRILOBATA	WEDELIA	1 GALLON
XYLOSMA CONGESTUM 'COMPACTA'	DWARF XYLOSMA	5 GALLON
CACTI		
AGAVE VICTORIAE-REGINAE	QUEEN VICTORIA AGAVE	1 GALLON - 5 GALLONS
DASYLIRION WHEELERI	DESERT SPOON	1 GALLON
FOUQUIERIA SPLENDENS	OCOTILLO	6' - 10' TALL 8 CSNES MIN.
HESPERALOE PARVIFLORA	RED YUCCA	1 GALLON
OPUNTIA BASILARIS	BEAVERTAIL CACTUS	2' TALL / 6 PADS
OPUNTIA BIGELOVII	JUMPING CHOLLA	2' - 4' TALL
OPUNTIA SP. 'SANTA RITA'	PURPLE OPUNTIA	2' TALL / 6 PADS
YUCCA ELATA	SOAP TREE YUCCA	5 GALLONS

Table A-4
Residential Plant Palette

NATIVE PLANTS FROM SEED- PALM CANYON WASH AREA		
ABRONIA VILLOSA	SAND VERBENA	SEED
BAILYEA MULTIRADIATA	DESERT MARIGOLD	SEED
CAMPANULA PRENANTHOIDES	CALIFORNIA BLUEBELLS	SEED
DALEA SPINOSA	SMOKE TREE	SEED
SCHISMUS BARBATUS	SIX WEEKS GRASS	SEED
SPHAERALCEA SP.	GLOBE MALLOW	SEED

Appendix B
Conditions of Approval

5.0576-
SP1A Date 6/25/03 Initial Jm
APPROVED BY CITY COUNCIL
5.0576-
SP1A Date 7/16/03 Initial Jm
Resolution # _____ Ordinance # _____
APPROVAL SUBJECT TO ALL REQUIRED
CONSIGNING BY SEALE BOOKS

EXHIBIT A

Case No. 5.0576 SP-1A

Canyon South Specific Plan

South of Murray Canyon Drive, north of Acanto Drive
west of the Palm Canyon Wash, east of the San Jacinto Mountains

July 16, 2003

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning and Zoning, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

1. The proposed development of the premises shall conform to all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, or any other City Codes, ordinances and resolutions which supplement the zoning district regulations except as specifically modified herein.
- 1a. The Agua Caliente Development Authority and Palm Canyon, LLC shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 5.0576 - SP-1A. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgement or failure to appeal, shall not cause a waiver of the indemnification rights herein.
2. That the property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.

3. The mitigation measures of the environmental assessment and mitigation monitoring program as approved as conditions of approval, dated June 25, 2003, shall apply. Mitigation measures are as follows:
- a. A traffic signal shall be installed when warranted at the intersection of South Palm Canyon Drive and Murray Canyon Drive. Project Fair Share Contribution: 66.35%.
 - b. A traffic signal shall be installed when warranted at the intersection of South Palm canyon Drive and La Verne Way. Project Fair Share Contribution: 67.89%.
 - c. South Palm Canyon Drive, north of Murray Canyon Drive, shall be improved to provide four through lanes. Project Fair Share Contribution: 67.89%.
 - d. The design of the final layout of individual site access driveways or roadways shall be subject to review and approval by the City Engineer prior to issuance of building permits on any site.
 - e. Appropriate right of way shall be dedicated with each individual project approval to ensure the ultimate improvement of planned roadways within the Specific Plan boundary.
 - f. All public streets within the Specific Plan boundary shall be designed to City of Palm Springs standards.
 - g. General Plan bikeways and horse trails shall be incorporated within each applicable project design within the Specific Plan boundary.
 - h. Individual project driveways or roadways on Murray Canyon Drive or South Palm Canyon Drive shall be stop sign controlled.
 - i. A golf cart circulation system, in conformance with State law and City of Palm Springs standards, shall be provided within the Specific Plan boundary.
 - j. The hotel operator shall operate an airport shuttle.
 - k. Applications for development shall be coordinated with Sunline Transit.
 - l. All development proposals shall demonstrate conformance with City on-site parking standards.
 - m. All development proposals shall contribute TUMF fees in the amount mandated at the time building permits are issued.
 - n. The hotel development shall conform to the City's Transportation Demand Management (TDM) Ordinance, if it meets the requirements of that ordinance.
 - o. The existing per unit traffic mitigation fee for this project shall be revised by a traffic engineer, subject to the approval of the City Engineer, in order to implement

mitigation measures 1 through 3, to reflect the fair share contribution shown in each mitigation measure.

- p. Based upon the field surveys, available geologic literature and professional engineering analyses, it has been determined that, from a geotechnical perspective, the proposed Canyon South Specific Plan project is feasible on the subject property. The geotechnical investigations prepared on-site and in the immediate vicinity indicate that specific actions to mitigate geotechnical limitation of the soils, drainage, slope instabilities and groundshaking will be required.

No geotechnical constraints have been identified, which cannot be mitigated by proper planning, design, engineering and construction. The recommendations provided below are preliminary and site-specific investigations and mitigation of geotechnical constraints must be based upon design-level geotechnical investigations and analysis. Mitigation of identified geotechnical conditions is not expected to result in economic impacts to the project that are atypical for the site or vicinity.

The following mitigation measures include jurisdictional standards to assure adequate mitigation of geotechnical constraints and their reduction to insignificant levels. They do not represent new mitigation measures from those previously certified, except where local or state-mandated standards (such as Uniform Building Code requirements) have become more stringent.

Wind Erosion

1. A wind erosion control plan shall be submitted to and approved by the City Engineer before grading permits are issued for any development proposal within the project area.
2. Maintaining moist surface soils, application of soil binders, planting stabilizing vegetation, and erecting temporary and permanent wind breaks, such as sand fences and walls, shall be required to help mitigate wind erosion. Soils shall be pre-watered prior to grading and the project proponent shall maintain site watering activities during grading operations and over the course of construction.

Fault Movement and Groundshaking

1. An on-site geotechnical analysis shall be prepared for each development proposal, and shall include a deterministic and probabilistic ground motion analysis that establishes peak horizontal ground acceleration potentials at the site. The results of this analysis shall be applied in the seismic design of structures and other critical facilities.
2. All structural design shall be in accordance with on-site soils and ground motion analyses, the most recent edition of the Uniform Building Code, including California amendments, and the seismic design parameters of the Structural Engineer's Association of California.
3. Additional geotechnical study and analysis shall be conducted on the proposed hotel site located at the southeast corner of South Palm Canyon

Drive and the Murray Canyon Drive. Said additional study shall be conducted in accordance with the Final EIR geotechnical study and prevailing geotechnical engineering standards.

4. The geotechnical study prepared for the Final EIR did not include subsurface investigation or laboratory testing of soils, with the exception of bulk sampling. Therefore, additional site specific geotechnical investigations will be necessary in order to make final recommendations regarding site preparation, grading, foundation design, etc., to assure an adequate level of mitigation of the limitations of on-site soils and the effects of differential settlements resulting from identified groundshaking potential. All geotechnical analysis shall be completed prior to the approval of building permits for individual development proposals.
5. Engineered slopes shall be designed to resist seismically induced failure. Slope design should be based on pseudo-static stability analyses using soil engineering parameters established in additional detailed geotechnical investigations, including subsurface investigation and laboratory testing. Testing parameters shall conform to anticipated groundshaking potential at the site.

Other Geotechnical Mitigation Measures

1. During site grading operations all existing vegetation and debris shall be removed from areas that are to receive compacted fill. Man-made objects shall be overexcavated and exported from the site. Any trees to be removed shall have a minimum of 95% of the root systems extracted. Removal of unsuitable materials may require excavation to depths ranging from 2 to 4 feet or more below existing site grade.
2. All fill soil, whether natural on site or imported, shall be approved by the project soils engineer prior to placement as compacted fill. All fill soil shall be free from vegetation, organic material, and cobbles and boulders greater than 6 inches maximum diameter, and other debris. Approved fill soil shall be placed in horizontal lifts of appropriate thickness as prescribed by the soils engineer and watered or aerated as necessary to obtain near-optimum moisture content.
3. Fill materials shall be completely and uniformly compacted to not less than 90% of the laboratory maximum density as determined by ASTM test method D-1557-78. The project soils engineer shall observe the placement of fill and shall take sufficient tests to verify moisture content, and uniformity and degree of compaction obtained. In-place soil density should be determined by the sand-cone method, in accordance with ASTM Test Method D-1556-64 (74), or equivalent test method acceptable to the City Building Department.
4. Finish cut slopes shall not be inclined steeper than 2:1 (horizontal to vertical). Attempts to excavate near vertical temporary cuts for retaining walls or utility installations in excess of 5 feet may in some areas result in gross failure of the cut and possible damage to equipment and injury to workers. All cut slopes must be inspected during grading to provide additional recommendations for safe construction.
5. Foundation systems utilizing continuous and spread footings are recommended for the support of one- and two-story structures. Foundations

for higher structures must be evaluated based on design of each structure and on-site soil conditions. The hotel building may require deep foundations to provide adequate load carrying capacity.

6. An adequate sub-drain system shall be constructed behind and at the base of all retaining walls to allow adequate drainage and to prevent build-up of excessive hydrostatic pressures.
 7. Positive site drainage shall be established during finish grading, and shall include a minimum positive gradient of 2% away from structures for a minimum distance of three (3) feet, and a minimum gradient of 1% to the street or other approved drainage course.
 8. All roof and canopy drainage shall be conducted to the street, off the site or to on-site retention facilities in an approved non-erosive manner. Drainage of development sites shall be accomplished in an approved manner to prevent erosion or instability. Water from off-site sources shall not be allowed to discharge onto development sites, or should be conducted across the area in a non-erosive manner.
 9. Utility trench excavations in slope areas or within the zone of influence of structures shall be properly backfilled in accordance with the following recommendations or as directed by the project geological engineer:
 - a) Pipes shall be bedded with a minimum of 6 inches of pea gravel or approved granular soil. Similar material shall be used to provide a cover of least 1 foot over the pipe. This backfill shall then be uniformly compacted by mechanical means or jetted to a firm and unyielding condition.
 - b) Remaining backfill may be fine-grained soil. It shall be placed in lifts not exceeding 6 inches in thickness or as determined appropriate, watered or aerated to near optimum moisture content, and mechanically compacted to a minimum of 90% of the laboratory maximum density.
 - c) Pipes in trenches within 5 feet of the top of slopes or on the face of slopes shall be bedded and backfilled with pea gravel or approved granular soils as described above. The remainder of the trench backfill shall comprise typical on-site fill soil mechanically compacted as described in the previous paragraph.
- q. Alternative 3B impacts are clearly set forth in the Final EIR. It sets forth provisions for a variety of implementation measures, which have been determined adequate to reduce potential adverse impacts to levels that are less than significant. These include least disruptive design approaches, contouring and re-naturalizing of disturbed surfaces with rock and vegetation, and careful consideration of viewsheds affected by flood control improvements.

Subsequent study and design provided in the April 2001 Master Drainage Plan and October 2001 Addendum further analysed 3-, 6- and 24-hour storms for the subject drainages and included a consensus bulking factor to account for sediment transport. Facilities proposed to mitigate the threat from 100-year storm flows and to provide for storage/detention and conveyance of tributary and on-site runoff are described in detail in Section IV.2 of the Master Drainage Plan (see Appendices in this document). The following summarizes the facilities necessary to mitigate hydrology impacts.

1. Acanto Drive Storm Drain: Construct an underground storm drain in Acanto Drive to collect the tributary 100-year flows from the Andreas Canyon alluvial cone. The subject storm drain shall provide inlets to pick up flows and will also provide stub outs for later connections.
2. Arenas North Channel: Maintain the Arenas North Channel along the northerly limit of the Ganz Parcel and construct a larger box culvert at the channel's easterly terminus at South Palm Canyon Drive and into the Canyon South Golf Course.
Construct a sedimentation/desilting basin at the west end of the channel, approximately 1,900 feet west of South palm Canyon Drive, in conformance with the Master Drainage Plan. Detailed engineering plans shall be approved by the Riverside County Flood Control District and the City Engineer prior to construction.
3. Arenas South Channel: This channel flows easterly across the steep (~7%) alluvial cone at the mouth of Andreas Canyon, thereby enhancing flow transport of sediment. Flows will be trained into a rock-lined channel within a minimum 110-foot right-of-way and designed to resist high velocities and erosive forces. Improvements also include the raising of the South Palm Canyon Drive roadbed and the construction of a bridge over the Arenas South Channel, which will convey stormwater and sediment into the Canyon South golf course at an outlet to be located at the northeast corner of South Palm Canyon Drive and Bogert Trail. Detailed engineering plans shall be approved by the Riverside County Flood Control District and the City Engineer prior to construction.
4. Dry Canyon Desilting Basin & Channel: The April 2001 Master Drainage Plan outlined three alternative plans to address Dry Canyon Wash flows and associated sediment loads. Each involves the construction of a desilting basin at the northwest corner of Acanto and South Palm Canyon Drive, and has a relationship to both the Acanto Drive and Arenas Lateral facilities. Each alternative will require raising the Acanto Drive roadbed at its intersection with South Palm Canyon Drive by two to three feet to accommodate underground culverts associated with these alternatives. Each alternative has been determined adequate to provide protection from 100-year storm peak flows and are briefly described below.
Alternative No. 1: This alternative combines the flows from the Acanto Drive Storm Drain and the Dry Canyon Desilting Basin and conveys these to the Dry Canyon Channel via an underground box culvert. The Dry Canyon Channel would be located on the east side of South Palm Canyon Drive and would require additional right-of-way from the Stich (TM No. 30050) Parcel.
Alternative No. 2: Similar to Alternative No. 1, No. 2 would place the Dry Canyon Channel on the west side of South palm Canyon Drive and would intercept tributary from south of the Arenas South Channel. Combined flows will be discharged into an underground box culvert and discharged into the existing basin located at the northeast corner of South Palm Canyon Drive and Bogert Trail.
Alternative No. 3: This alternative also conveys desilted flows from the dry Canyon basin along the west side of South Palm Canyon Drive, picking up upstream tributary flows but not combining flows with those from the Acanta Drive Channel, which would be conveyed north in an earthen channel or

underground pipe (see Exhibits 7B & 7C in the 2001 Master Drainage Plan in the appendices).

5. Dry Canyon Channel Alternative (Preferred): As discussed above and in the October 2001 Addendum to the project Master Drainage Plan, this alternative was developed and analysed to defer or preclude the need to construct the Dry Canyon Desilting Basin heretofore planned for construction at the northwest corner of South Palm Canyon Drive and Acanto Drive. This is proposed as the preferred alternative to manage the Dry Canyon drainage. In this alternative, all storm flows and sediment from Dry Canyon, which reaches the intersection of South Palm Canyon Drive and Acanto Drive, will be fully transported in a trapezoid channel and under Bogert Trail in a box culvert to discharge in the existing basin at the northeast corner of South Palm Canyon Drive and Bogert Trail. This alternative will allow the development of the Palm Canyon LLC (TM No. 30050 and 30046, formerly referred to as the Stich and Needleman parcels, respectively) without the construction of the Dry Canyon Desilting Basin outlined in the original April 2001 Master Drainage Plan.
 6. Arenas Lateral: This proposed facility will consist of a trapezoid earth channel to be located along the west side of South palm Canyon Drive and extending approximately 700 feet south from the proposed Arenas South Channel. The purpose of this channel is to intercept westerly flows south of the Arenas South Channel and covey these flows into this channel. This facility would only be needed and built in conjunction with Dry Canyon Channel Alternative 1.
 7. Ancillary Flood Protection: The April 2001 Master Drainage Plan and October 2001 Addendum set forth a variety of ancillary measures that must be taken to assure that all flood control facilities will function as designed. These ancillary improvements are set forth in detail in the referenced drainage plans, and include extensive bank erosion protection, development of training levees, phased construction and expansion of new and existing sediment basins, and the appropriate provision of all-weather access to developments within the planning area.
- r. Prior to the issuance of grading permits and during the life of the project the applicant shall prepare and update as necessary, a Lake Management Plan to ensure that the lakes prepared do not create a nuisance related to odors and insect vectors. The content of this plan shall equal or exceed those described under the heading Lake Management Plan, the impacts section above and these plans shall be implemented.
 - s. Any pesticide application shall be administered by a trained pest control operator under the direct supervision of a Qualified Pesticide Applicator License (QAL) or Qualified Pesticide Applicator Certificate (QAC).
 - t. Only slow release or controlled release fertilizers should be used. The nutrient value of the reclaimed water shall be part of the decision process.

- u. Best management practices, (BMP's), which shall be utilized to help mitigate potential ground water contamination from pesticides and fertilizers include the following:

For pesticide products on common and other general landscaping and turf areas:

1. Applications shall be spot treatments and not broadcast application.
2. Pre-emergent products which are nearly insoluble such as Ronstar and Surflan shall be used for ground cover and shrub beds.
3. Dachtal, a herbicide, shall not be used at the project because of its mobility in sandy soils and potential for leaching to underlying aquifers.
4. Insecticide application to turf areas shall primarily consist of Dursban, which is not readily transportable. At least two days shall be allowed after application of insecticides, before irrigating the affected area.
5. After treatment with 2, 4-D; 2, 4-DP; and dicamba for control of broadleaf weeds, the area shall not be irrigated for a period of 48 hours.
6. Only light, frequent irrigations shall follow Daconil, a fungicide, applicant to greens and tees in order to prevent leaching of this product below the root zone.
7. Applications of pest management products shall be recommended by a licensed Pest Control Advisor (PCA), and applied by or under the direct supervision of a Qualified Applicator, (QAL).

For fertilizer products, the BMP's that shall be employed at the site are as follows:

1. The use of slow-release nitrogen sources such as Milorganite and ureaformaldehyde, shall be a priority, while the fast-release sources shall be avoided as much as practical.
 2. Rates greater than 0.25 pounds of actual nitrogen per 1,000 square feet (10.9 lbs./A), using fast release sources of nitrogen shall be avoided.
 3. The nutrient value of reclaimed water shall be calculated before fertilizer application rates are computed.
 4. Soil tests shall be conducted three times per year on greens and tees and once or twice per year on other turf areas to determine nitrogen requirements.
- v. The applicant shall comply with all requirements for NPDES and Regional Water Quality Control permitting, including stormwater quality controls.
 - w. There shall be an emphasis on plant species native to the immediate region in the sensitive 100 yard wide area adjacent to natural hillsides. On a limited basis within residential yards, non-desert, non-invasive exotic plants may be utilized as ornamental landscaping. Two invasive species, tamarisk and fountain grass, shall be prohibited in the Specific Plan area. The proposed plan and landscaping palette for this area shall be subject to the review of the Director of the Department of Planning and Zoning or the Planning Commission and a qualified biologist who is acceptable to the City.
 - x. Pre-construction tortoise surveys shall be required for any project north of Bogert Trail and west of Goldenrod Lane. The surveys shall occur no more than 36 hours

prior to the initiation of any ground disturbing activity in the area. Should desert tortoise be identified, the project proponent shall secure permits from the California Department of Fish and Game and/or the U. S. Fish and Wildlife Service, as required.

- y. No wells associated with this project may be constructed at an elevation greater than the Henderson Palms oasis. No water diversion may be placed anywhere above the Henderson palms oasis within the canyon that the oasis is located in, or within one hundred yards of the palm oasis. No formal foot or horse trails shall be allowed within 100 yards of the palm oasis and signs shall indicate that no access to this area by people is allowed.
- z. All outdoor lighting constructed on the project site shall be directed at the ground to prevent unnatural lighting from interfering with the activity of nocturnal animals that live in the surrounding natural areas.
- aa. The project shall do nothing to facilitate human entry into Arenas Canyon. This canyon still provides an important watering site for the Peninsular Bighorn Sheep. Trails, entry points or signs that encourage human entry into this canyon will further stress this species.
- bb. The lakes proposed as a part of the golf course shall where possible be allowed to support aquatic vegetation to provide food and shelter for wildlife. Mosquito fish shall be introduced into and maintain in the proposed lakes to control mosquitoes and to provide food for wildlife.
- cc. The project proponent(s) for any project requiring alteration of a stream or water of the United States shall secure 404 and 1603 permits from the U.S. Army Corps of Engineers and the California Department of Fish and Game, respectively, and 401 water quality certification from the Regional Water Quality Control Board, if required by law.
- dd. Project proponents within the Specific Plan boundary shall be required to construct a fence in the future, if it can be demonstrated to the City Council that direct impacts to bighorn sheep are caused by any component of the projects proposed within the Specific Plan boundary. Ten verified sheep sightings in a given 12 month period will cause the initiation of a site specific utilization study. The fence design, if required, shall be submitted to the City and any other responsible agency for review and approval prior to construction. The fence will be constructed within 12 months of notification by the City.
- ee. Monte Soreno Parcel
 - 1. All construction activity will be confined to the project site with the exception of the temporary and permanent disturbance along the western side of the wash (see Exhibit 2 of "Biological Constraints Letter Report for the Monte Sereno Development Project," by Thomas J. McGill, Ph.D., Michael Brandman Associates, December 2002).
 - 2. The limits of the temporary disturbance zone will be cordoned off to preclude vehicular access easterly into the remaining wash area.

3. Construction activity shall stop before dusk each day to avoid attracting dispersing Casey's June Beetle males during the flight season (April 1 through May 31).
4. Access to the construction site will come from Bogert Trail and will remain outside the wash.
5. Controlling dust by spraying water will be permissible outside the flight season and only within the designated construction zone.
6. The project proponent shall secure 2.46 acres of comparable desert wash habitat off-site as mitigation for permanent impacts. The 1.6 acres to be temporarily impacted shall be re-naturalized.
7. A six foot wall or fence, meeting City standards, shall be constructed along the eastern property line of the project site.
8. The payment of a \$600 per acre fee to the City, for the purchase of open space/conservation lands, as previously included in the Mitigated Negative Declaration.
9. The payment of \$85,000 total to the City or other conservation entity, for the purposes of purchasing CJB habitat off-site of the Monte Soreno project.

ff. Properties West of South Palm Canyon Drive

1. Project proponent(s) for any development proposal south of Canyon Heights shall tag, remove, hold in storage and then replant within the development all large healthy cactus disturbed by the proposed development, particularly on the proposed earthen dam, basin (areas from from flooding) and other transition areas. Large healthy cactus are: Calico Cactus – anything over 8" is considered large; Barrel Cactus – anything over 8"; mammillaria Cactus – anything over two inches; Beavertail Cactus – anything over 8"; Jumping Cholla – anything over 18"; Golden Cholla – anything over 16"; Pencil Cholla – anything over 14". Removal activities shall be supervised by a qualified horticulturalist approved by the City.
2. If rock blasting is necessary, it shall be done between July 1 and December 31 to avoid causing complications for bighorn sheep and to ensure they continue to use water from the canyon.
3. Residential development west of South Palm Canyon Drive shall be separated from hillsides with a six foot block wall to prevent stray pets from entering bighorn habitat and stressing sheep.
4. Project proponent(s) for projects located west of South Palm Canyon Drive shall prepare CC&R's which prohibit domestic dogs and cats in all residential areas to prevent cats from roaming into natural areas adjacent the development and preying upon small native animal species and to preventing barking dogs from stressing bighorn sheep.
5. In conjunction with any approval on lands in Planning Area 2 subject to density transfer, the 20 acre site previously identified, at the western boundary of the Plan area, and the 35 acre parcel from which density shall be transferred, shall be deeded to the City as permanent, irrevocable open space.

- gg. A native American Monitor shall be present during all ground disturbing activities within the Plan boundary. Should any buried deposits be encountered, the Monitor shall have the authority to halt destructive construction and notify a qualified

archaeologist to investigate, and if necessary prepare a mitigation plan for submission to the State Historic Preservation Officer and the Agua Caliente Cultural Resource Coordinator for approval.

- hh. Should cultural resources be encountered during site construction in any portion of the site, work shall immediately cease and a qualified archaeologist shall be contacted to evaluate the significance of the materials. Any significant findings shall be documented and presented to the State Historic Preservation Office (SHPO), BIA, the Tribe and the City, and resolved to their satisfaction.
- ii. The intact terraces shall be preserved as an example of a significant and unique historical feature.
- jj. Where possible, the aboriginal trail system shall be incorporated into the project design. Final determination of how aboriginal trails are to be preserved or recognized will be developed in cooperation with the Agua Caliente Band of Cahuilla Indians Tribal Council.
- kk. SCAQMD Rule 403 shall be adhered to, insuring the clean up on the construction-related dirt on approach routes to the site (sic).
- ll. Adequate watering techniques shall be employed to partially mitigate the impact of construction-generated dust particulates. Portions of the project site that are undergoing earth moving operations shall be watered such that a crust will be formed on the ground surface and then watered again at the end of the day. (AQMP Control Measure F-4 Control of Fugitive Emissions from Construction of Roads and Buildings [PM]).
- mm. The wheels and lower portions of transport trucks will be sprayed with water before they leave the construction area. (AQMP Control Measure F-4 [PM]).
- nn. Any vegetative ground cover to be utilized on-site shall be planted as soon as possible to reduce the amount of open space subject to wind erosion. Irrigation systems needed to water these plants shall be installed as soon as possible to maintain the ground cover and minimize blowsand.
- oo. Grading operations shall not be conducted when winds exceed 25 mph. (AQMP Control Measure F-4).
- pp. Any construction equipment using diesel drive internal combustion engines shall use a diesel fuel with a maximum of 0.05% sulfur and a four degree retard.
- qq. Any earth transported off-site shall be covered before the transport trucks leave the project construction area.
- rr. Grading and development permits shall be reviewed and conditioned to require the provision of all reasonably available methods and technologies to assure the minimal emissions of pollutants from the development. The Department of Planning and Zoning and Building Departments shall review grading plan applications to ensure compliance with the mitigation measures set forth in the EIR and as otherwise conditioned by the City.

- ss. The City shall coordinate with project developers to encourage the phasing and staging of development to assure the lowest construction-related pollutant emission levels practical. As part of the City's Grading Permit process, the applicant shall concurrently submit a dust control plan consistent with the City's Air Quality Management Plan. Mitigation measures to be implemented through this plan include but are not limited to the use of water trucks and temporary irrigation systems, post-grading soil stabilization, phased roadway paving, as well as other measures which will effectively limit fugitive dust emissions resulting from construction or other site disturbance.
- tt. The City and project developers shall encourage effective design and implementation of transportation management programs for commercial employees, which may include coordinated carpooling, off-peak shift times, employee flex time and other components.
- uu. Project developers shall consult and coordinate with the Sunline Transit Agency regarding the most optimal and safest location and design of on-site bus stops and turnouts.
- vv. The developer shall implement Coachella Valley Best Available Control Measures (CV BACM). The CV BACM will expand the SIP-approved BACM listed in Chapter 6 of the SCAQMD Rule 403 Implementation Handbook, to include the measures required by CV BCM-1 (including work practice requirements). The CV BACM is being modeled on the Best Management Practices for Dust Control Handbook (e.g. required control actions based on specific activities, site conditions, etc.), but modified based on local Coachella Valley conditions.
- ww. Dust control plans shall be required prior to issuance of grading permits for each project proposed within the Specific Plan boundary. The plan shall include all required elements described in the adopted Coachella Valley Dust Control Handbook.
- xx. The site-specific dust mitigation plan to be prepared for project grading and other construction activities shall be forwarded by the City to SCAQMD after local approval. SCAQMD staff will compile this information for compliance purposes but will not require a separate approval.
- yy. Prior to commencement of grubbing, grading or any other site disturbing construction activities, each project developer shall notify the City and SCAQMD at least 24-hours prior to initiating earth-movement activities.
- zz. Each project developer shall notify the City and the SCAQMD within 10 days of project completion.
- aaa. Construction site signage shall be required for each project within the Specific Plan boundary. Signage information that should be provided should at a minimum include the project name, permittee name, phone number of person(s) responsible for dust control, local jurisdiction phone number, SCAQMD phone number, dust control permit (plan) number, and project acreage. Construction signage shall conform with requirements set forth by the City and/or SCAQMD.

- bbb. A dust control monitor (responsible person) shall be required during operations that involve actively disturbed soils on 50 acres or more. Monitor(s) must be hired by the property owner or developer, have dust control as primary responsibility, and have the authority to initiate or implement project dust control measures.
- ccc. Earth-moving operations at the site shall require pre-grading watering and the on-going application of water via irrigation systems and/or water truck to assure appropriate soil moisture and preclude significant dust generation
- ddd. Short-term stabilization (maintaining soils in a damp condition, surface crust, or chemical stabilizer diluted to not less than 1/20 of the concentration required to maintain a stabilized surface for a period of six months) shall be required for after-hours and weekends.
- eee. Long-term stabilization techniques shall be required within 10 days for areas where construction activities are not scheduled for 30 days.
- fff. To minimize construction equipment emissions, the developer and contractors shall implement the following:
- wash off trucks leaving the site
 - require trucks to maintain two-feet of freeboard
 - properly tune and maintain construction equipment
 - use low sulfur fuel for construction equipment
- ggg. To reduce construction-related traffic congestion, the developer and contractors shall implement the following:
- encourage rideshare incentives for construction personnel
 - configure construction parking to minimize traffic interference
 - minimize obstruction of through-traffic lanes
 - provide a flag person to ensure safety at construction sites, as necessary
 - schedule operations affecting roadways for off-peak hours, as practical
- hhh. To minimize indirect-source emissions, the developer may also:
- implement energy conservation measures beyond state and local requirements
 - install low-polluting and high-efficiency appliances
 - install solar water heaters, to the greatest extent feasible
 - install energy-efficient street, landscape and parking lot lighting
 - include energy costs and design efficiency into capital expenditure analyses
 - landscape with native and other appropriate drought-resistant species to reduce water consumption and to provide passive solar benefits
- iii. To minimize building energy requirements, the developer shall implement the following:

- assure the thermal integrity of buildings and, as appropriate, reduce the thermal load with automated time clock or occupant sensors
- use efficient window glazing, wall insulation and ventilation methods
- use most efficient heating and other appliances, such as water heaters cooking equipment, refrigerators, furnaces and boiler units
- incorporate appropriate passive solar design and solar heaters
- use devices that minimize the combustion of fossil fuels
- capture waste heat and re-employ this heat, to the greatest extent feasible

jjj. To reduce PM₁₀ emissions, the developer may implement the following:

- chemically treat soil at construction sites where activity will cease for at least four consecutive days
- pave construction access roads as they are developed; extend paving at least 120 feet
- from roadway into construction site and clean roadways at the end of each working day
- restore vegetative ground cover as soon as construction activities have been completed
- trucks that haul dirt, sand or soil shall be covered or shall maintain at least 24 inches of freeboard, or both
- construction sites shall be watered to reduce fugitive dust
- chemically treat unpaved roads that carry 20 vehicle trips per day or more
- chemically stabilize soil surfaces within 100 feet of roadways or establish sand fences within 50 feet of roadways
- plant tree windbreaks utilizing non-invasive species on the windward perimeter of construction projects, where feasible
- all construction grading operations and earth moving operations shall cease when winds exceed 30 miles per hour

kkk. All construction activity shall be restricted to weekdays, during the daytime hours of 7:00 a.m. to 8:00 p.m., as specified by the Palm Sprigs Noise Ordinance, to reduce noise impacts during more sensitive periods. The Construction Site Regulations also identify specific limits on hours of operation for construction equipment as not between 5:00 PM to 8:00 PM with the restriction that if the noise produced is of such intensity of quality that it disturbs the peace and quiet of an other person of normal sensitivity, excluding federal holidays. Only emergency work shall be allowed to occur outside these hours.

lll. All construction equipment shall be provided with functional and well-maintained mufflers to limit noise emissions.

mmm. Grading and construction activity in the western and eastern portion of the project area shall be carried out in accordance with the requirements of the U.S. Fish and Wildlife Service and the California Department of Fish and Game.

nnn. The design, selection and placement of mechanical equipment for residences and other buildings within the planning area shall include consideration of the potential noise impact on nearby structures, both within the development and in the surrounding community. Both roof-mounted and pad-mounted equipment shall be

screened by effective noise barriers such as parapet walls, block walls or similar, effective acoustical barriers with a minimal mass of 3.5 pounds per square foot of surface area.

- ooo. Appropriate sound attenuation measures, such as silencers and/or barriers, shall be provided where necessary on outdoor equipment, including but not limited to cooling towers, air cooled condensers, refrigeration compressors/condenser units, and air intake and discharge openings for building ventilation systems.
- ppp. Appropriate sound barriers shall be provided surrounding any and all public facilities capable of generating disturbing levels of noise, including water pumping stations.
- qqq. Events at the hotel which include music on the grounds shall be conducted in accordance with the City's noise ordinance.
- rrr. Loud speakers used on the grounds of the hotel site shall comply with the City Noise Ordinance.
- sss. The pool area and outdoor terraces on the south side of the hotel building shall be sited at least three (3) feet below the top of dike elevation, in order to attenuate noise impacts. Should a design be proposed which does not provide for a lower pool and terrace area, the project proponent shall be required to demonstrate equivalent or greater noise attenuation for the proposed design.
- ttt. Acceptable truck/construction equipment routes shall be designated to limit impacts to adjacent properties.
- uuu. Site planning, building orientation and building specifications shall be carefully considered to provide shielding of outdoor living spaces from potentially significant stationary or mobile noise sources.
- Vvv. Effective acoustical materials shall be incorporated into building walls and windows, boundary walls, pool equipment and A/C equipment walls and other acoustical barriers to adequately reduce outdoor noise impacts on the noise environment.
- www. The developer may utilize natural noise barriers such as existing terrain, manufactured berms, boulders and dense vegetation to mitigate potential noise impacts.
- xxx. The use of proper building setbacks shall be required in accordance with the City of Palm Springs Zoning Ordinance.
- yyy. Project design shall include and meet State Code requirements for unit-to-unit airborne sound isolation, both laterally and vertically, and for vertical impact sound isolation in any multi-family residential construction.
- zzz. Proposed residential lots adjacent to South Palm Canyon Drive should be evaluated by a qualified noise consultant at more detailed levels of planning to ensure that adequate noise attenuation strategies are incorporated to meet the Palm Springs

noise standard of 65 CNEL in outside living areas and 45 dBA in interior living areas, prior to issuance of building permits.

- aaaa. Building designs, architecture and materials used in the development shall conform with the project Design and Signage Guidelines, as reviewed and amended by the City.
- bbbb. Landscaping plans and materials applied to development area boundaries shall serve to create a harmonious transition and living complement to the built environment. Native and appropriate non-invasive non-natives shall, to the greatest extent practical, be applied in a manner that emulates the natural vegetation pattern. Boulders and walls should also be considered to lend rhythm and massing and to help smooth the landscaped edge.
- cccc. The natural vegetation of the site shall be preserved in open space areas. Necessary grading or other disturbance in naturally vegetated areas shall be revegetated with native plant species.
- dddd. Boundary walls, visual screens and fences shall be constructed so as to blend with surrounding areas. Construction materials may include stone and stucco, wrought iron and steel fencing, and other appropriate materials which quickly acquire a patina or are painted, stained or coated to blend and harmonize with the surrounding environment.
- eeee. The existing concrete embankment linings of the Palm Canyon Channel adjacent to the project site shall be stained to match native soil by project proponents developing adjacent property, if permission can be obtained from RCFC&WCD.
- ffff. Channels to be constructed as part of the flood control improvements within the Specific Plan boundary shall be unlined or lined with rip-rap wherever possible, subject to the approval of the RCFC&WCD.
- gggg. All flood control improvements within the boundary of the Specific Plan shall include landscaping plans which minimize the potential impacts associated with the construction of these facilities to local viewsheds.
- hhhh. All outdoor lighting shall be in compliance with the City lighting ordinance. Other lighting recommendations include: -
 - 1. Outdoor lighting shall be limited to the minimum height, number and intensity of fixtures needed to provide security and identification, taking every reasonable effort to preserve the community's night skies.
 - 2. Lighting fixtures shall be of appropriate scale, style and character of the architecture. No lighting which incorporates flashing, pulsing or is otherwise animated shall be permitted.
 - 3. Elevated lighting, including but not limited to parking lot lighting, shall be full-cutoff fixtures. Drop or sag lens fixtures shall not be permitted.
- iiii. Site grading and finished pad elevations shall substantially conform to those submitted by the applicant as part of this development review and analysis. Every

effort should be made to keep pad elevations to the minimum necessary to meet design goals, while being responsive to the need to minimize building profiles.

- jjj. All development plans, including grading and site plans, detailed building elevations and landscape plans shall be submitted to the City for review and approval prior to the issuance of building permits.
- kkkk. Each development shall provide adequately and appropriately screened outdoor storage/loading and other service areas, protected and enhanced outdoor seating areas, as necessary, and appropriate levels of lighting, limited signage; and the thoughtful use of landscaping that preserves and enhances visual resources.
- lll. All project signage shall be in compliance with the City sign ordinance or in the approved Design and Signage Guidelines. Signage shall be limited to the minimum size, scale and number needed to provide functional identification and exposure necessary to convey messages, while minimizing impacts on traffic safety, streetscape, scenic viewsheds and the aesthetic character of the development.
- mmmm. Domestic Water
 - 1. Project applicants shall provide all on-site water system improvements required to meet water supply need for the proposed project as it occurs.
 - 2. All appliances such as showerheads, lavatory faucets and sink faucets shall comply with efficiency standards set for in 24 of the California Administration Code.
 - 3. All facilities shall provide low flush toilets and urinals as required in California State Health and Safety Code Section 17921.3.
 - 4. All pipes used for steam and steam-condensate return and for recirculating hot water piping in attics, garages, crawl spaces or unheated spaces other than between floors or in interior walls shall be insulated in compliance with Title 24 of the California Administrative Code. Water heating systems shall also be insulated.
 - 5. Irrigation shall be properly designed, installed, operated and maintained to prevent the waste of water. Drip irrigation and other water application techniques which conserve water such as soil moisture sensors and automatic irrigation systems shall be incorporated into the project landscape plans.
 - 6. Landscaping shall emphasize drought-tolerant vegetation. Plants of similar water use shall be grouped to reduce over-irrigation of low-water-using plants. Those areas not designed in xeriscape shall be gauged to receive irrigation using minimal requirements. Residential occupants shall be informed as to the benefits of low-water-using landscaping and sources of additional assistance.
 - 7. Tertiary treated wastewater shall be used as irrigation for common area landscaping, the golf course and those man-made lakes and ponds not intended for human water recreation, if made available to the site by DWA.
 - 8. The use of reclaimed water shall meet all requirements set forth in the California Administrative Code, Title 22, and the Guidelines of the State of California Department of Health Services.

9. Copies of reclaimed water and potable water piping shall be kept in the office of the City Engineer.

nnnn. Wastewater Services

1. Project applicants shall provide all on-site wastewater system improvements required to meet wastewater supply need for the proposed project as it occurs.
2. Individual project applicants shall pay sewer connection fees required to provide sewage collection and disposal to the project site. In addition, individual project applicants shall pay a sewer connection fee of \$146.19 per residential unit for construction cost of a 15" sewer main at Granada Avenue and La Verne Way.
3. Individual project applicants shall establish a mechanism for on-site maintenance of sewer lines. As appropriate, covenants, conditions and restrictions (CC&Rs) shall identify responsibilities, a maintenance district shall be established or a maintenance contract shall be signed with a private firm.

oooo. Solid Waste

1. All projects within the Specific Plan boundary shall comply with the provisions of AB 939, as implemented by Palm Springs Disposal Services.
2. Individual project proponents shall incorporate collection/storage facilities for recyclables in all hotel, spa and sports facility designs and shall require residential builders to install a cabinet for recyclables in each residential dwelling unit.
3. Recycled products shall be used in the construction of all structures within the Specific Plan boundary to the extent possible.
4. Green waste shall be recycled through a waste disposal hauler to the extent possible.
5. Individual project applicants for residential projects shall require builders to provide a storage bin in the yard of each single family residence for green waste.
6. Any storage of hazardous materials within the Specific Plan boundary shall conform to all State, regional and local regulations for such materials.
7. New residents shall be provided information on household hazardous wastes, and programs available for their safe disposal.
8. Removal of hazardous materials from the project site shall be conducted by a registered waste hauler in accordance with all applicable rules and regulations.
9. All hazardous materials used in association with the resort hotel and spa shall be stored in a specific location and clearly marked as to contents.

pppp. Electricity

1. Individual project applicants shall be responsible for paying all fees associated with project-related connections and any required relocation of existing facilities.

2. The project shall comply with at least the minimum requirements of Title 24, and to the extent feasible, shall seek to exceed such requirements and use state-of-the-art energy-conscious design practices that achieve energy efficiency and use of on-site energy sources.
3. Individual project applicants shall submit an Energy Conservation Plan to the City, to include the following elements:
 - a) Measures to meet Title 24 requirements;
 - b) Additional measures, including but not limited to, building placement and orientation, architectural features, open spaces, landscaping, mechanical, and operation measures; and
 - c) Estimates (percent) of energy reduction to be realized.
4. Ensure that buildings are well-sealed to prevent outside air from infiltrating and increasing interior space conditioning loads. Design building entrances with vestibules to restrict infiltration of unconditioned air and exfiltration of conditioned air.
5. Finish exterior walls with light-colored materials with high emissivity characteristics to reduce cooling loads. Finish interior walls with light-colored materials to reflect more light and thus increase lighting efficiency.
6. Design window systems or use other means to reduce thermal gain and loss and thus cooling loads during warm weather and heating loads during cool weather.
7. Use skylights where possible to provide light to interior spaces.
8. Install high-efficiency lamps for all street and parking lot lighting to reduce electricity consumption.
9. Install fluorescent and high-intensity-discharge (HID) lamps, which give the highest light output per watt of electricity consumed, wherever possible (non-residential areas only).
10. Control mechanical systems in the buildings with time clocks to prevent accidental or inappropriate conditioning or lighting of unoccupied space. Computer control the HVAC systems for maximum efficiency (non-residential areas only).
11. Recycle lighting system heat for space during cool weather. Exhaust lighting system heat from the buildings via ceiling plenums to reduce cooling loads in warm weather (non-residential areas only).
12. Install low- and medium-static pressure terminal units and ductwork to reduce energy consumption by air distribution systems (non-residential areas only).
13. Cascade ventilation air from high-priority areas to low-priority areas before being exhausted, thereby decreasing the volume of ventilation air required.
14. Individual project proponents shall construct facilities which generate alternative energy at the discretion of the City.

qqqq. Natural Gas

1. The proposed project shall comply with the energy conservation requirements as set forth in Title 24 of the California Administrative Code. In addition, Gas Company representatives should be contacted during the final design phase of any project to discuss the implementation of these programs.

rrrr. Police Protection

1. As part of the development review process for any project within the Specific Plan area, the Palm Springs Police Department shall participate and make recommendations to ensure that the design of the proposed development will mitigate any impacts on law enforcement arising from project design.

ssss. Fire Protection Services

1. Project applicants shall continue to work with the City Manager's office, the Fire Department and the Agua Caliente Band of Cahuilla Indians in evaluating the feasibility of a fire station or emergency medical dispatch facility in or near the Specific Plan area. The cost of such a facility shall be distributed evenly among all projects not currently within the 5 minute response time for Fire Station #4.
2. Automatic fire sprinkler systems shall be installed in all structures outside the 5 minute response time for Fire Station #4.
3. Implement a brush clearance program on the project site to lessen the fire hazard potential.
4. All development on the west side of South Palm Canyon Drive shall submit to the City Fire Department, for review and approval, a safety buffer zone plan between natural open space and planned development. The buffer zone shall be at least 100 feet in width, except where topography does not allow a buffer this wide, in which case the fuel modification zone shall be between 50 and 100 feet in width prior to the issuance of occupancy permits for any building in that development.
5. All water mains, fire hydrants, and automatic fire sprinklers shall be designed and constructed in accordance with City Fire Department regulations.
6. All streets shall be designed and constructed in accordance with City Fire Department regulations.

tttt. Education

1. All project developers shall pay school mitigation fees in place at the time of issuance of building permits.

uuuu. Parks

1. Natural mountainous areas are designated as Conservation on the Specific Plan. No development is proposed. Public hiking and equestrian trails shall be dedicated for public access and active recreational uses, in conformance with the City of Palm Springs General Plan and the Recovery Plan for Peninsular Bighorn Sheep.
2. Residential projects within the Specific Plan boundary shall participate in the City's park land dedication and in lieu fee program, when implemented. The contribution shall be equal to a minimum of 3 acres of park land per 1,000 residents, to a maximum of 5 acres per 1,000 residents. The actual fee shall be based on the estimated cost to acquire and develop park sites and shall be established by City Council Resolution or Ordinance.

- 4a. The Agua Caliente Development Authority shall prepare a design for the widening of the western bank of the Palm Canyon Wash to a minimum width of 285 feet, in accordance with the ultimate width of clear channel required under the Stipulated Judgement, and submit same to the City Engineer for review and approval. The plans shall include the relocation of the currently occurring sanitary sewer line.
- 4b. The ACDA shall make the required improvements to the Palm Canyon Wash, in accordance with the approved plans, and complete said improvements prior to completion of the golf course remodel. The completion of the improvements shall not be tied to any improvements which may be required of the adjacent Monte Soreno property.
3. It is hereby found that the portion of the property described as the area westerly of South Palm Canyon Drive within the designated critical habitat area (herein the "Study Area") shall remain undeveloped until additional environmental analysis can be performed, as to potential impacts to Peninsular Bighorn Sheep (PBS). Although extensive environmental review has been performed for the project, the Study Area is especially sensitive and additional review is warranted. This additional environmental review, which shall be performed before any development is approved within the Study Area, shall address, at minimum, the proposed development's potential impact on the PBS Recovery Plan and potential impacts on designated critical habitat for PBS.
4. In conjunction with any required planning application for the 80 acre property previously identified as the "Gans" parcel, documented compliance with the Tribal Habitat Conservation Plan shall be provided.
5. The project proponent for the Monte Soreno project shall secure 2.46 acres of comparable desert wash habitat off-site as mitigation for permanent impacts. The 1.6 acres to be temporarily impacted shall be re-naturalized.
6. Should the City establish a funding mechanism for flood control improvements within the Specific Plan boundary, individual project developers will participate on a "fair-share" basis.