



PLANNING COMMISSION STAFF REPORT

DATE: October 23, 2013

SUBJECT: AEK CAPITAL MANAGEMENT LLC, FOR A MINOR ARCHITECTURAL APPLICATION TO RENOVATE AN EXISTING HOTEL, INCLUDING LEGAL NON-CONFORMING STRUCTURES IN SETBACK AREAS, LOCATED AT 2135 NORTH PALM CANYON DRIVE, ZONED C-1 (CASE 3.0676 MAA). (DN)

FROM: Department of Planning Services

SUMMARY

The property owner has submitted a request for architectural review to remodel an existing 15-unit hotel, including new patio covers, landscape, hardscape, block wall, trash enclosure, windows, doors, roof parapet, repaint, reroof and repair of parking area. Originally constructed in the mid-1950s, the building is located near property lines in required setback areas and is considered legal, non-conforming. Pursuant to Section 94.05.03(B) of the Zoning Code, alterations to structures in setback areas require approval by the Planning Commission.

The applicant is proposing patio covers at northwesterly, northeasterly and southeasterly corners of the site in required setback areas. However, the structures will not exacerbate the existing nonconforming setback conditions. A comparison of the project and current zoning requirements can be found on page 3 of the attached Architectural Advisory Committee Staff Memo.

There are no findings specified for approving alterations to buildings in required setbacks. Staff notes that the alterations will improve the property and create a desirable environment for occupants.

RECOMMENDATION:

Approve alterations as submitted.

David A. Newell
Associate Planner

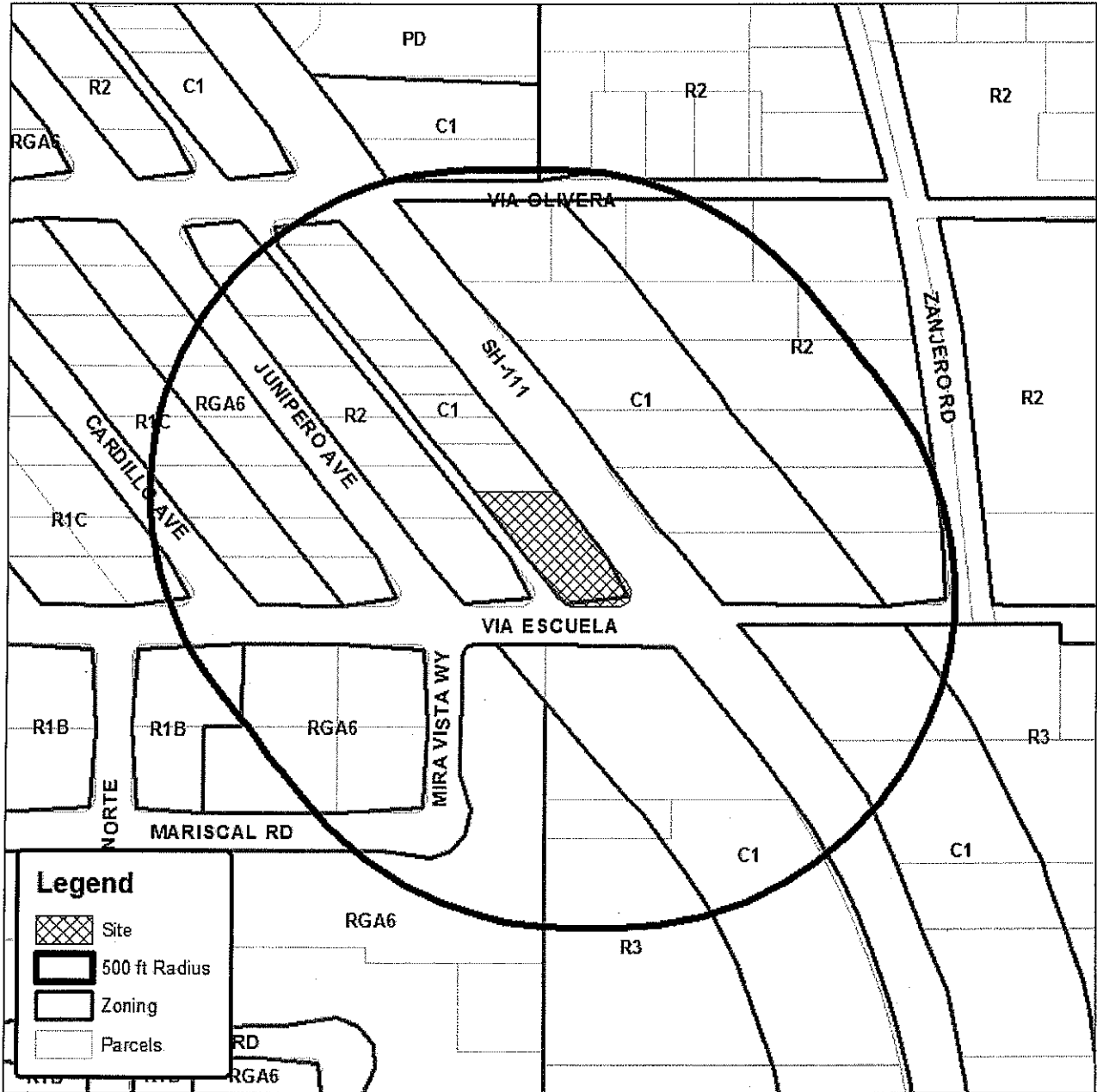
M. Margo Wheeler, AICP
Director of Planning Services

Attachments:

1. Vicinity Map with 500ft Site Radius
2. 10/21/2013 AAC Staff Memorandum (including attachments)



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS

CASE NO: 3.0676 MAA

APPLICANT: AEK Capital Management LLC

DESCRIPTION:

A renovation of an existing 15-unit hotel located at 2135 North Palm Canyon Drive, Zone C-1, Section 3.



ARCHITECTURAL ADVISORY COMMITTEE STAFF MEMORANDUM

DATE: October 21, 2013

SUBJECT: AEK CAPITAL MANAGEMENT LLC, FOR A MINOR ARCHITECTURAL APPLICATION FOR COMPLETE RENOVATION OF EXISTING HOTEL LOCATED AT 2135 NORTH PALM CANYON DRIVE, ZONED C-1 (CASE NO. 3.0676 MAA). (DN)

FROM: Department of Planning Services

SUMMARY:

At its August 12, 2013 meeting, the Architectural Advisory Committee (AAC) reviewed a request to remodel the existing 15-unit hotel, including new patio covers, landscape, hardscape, block wall, trash enclosure, windows, doors, roof parapet, repaint and reroof. After determining there was insufficient information, the AAC tabled the item and requested further plan details and design enhancements (see attached meeting minutes).

The applicant has revised the plans and provided additional details. The proposed block wall along Palm Canyon Drive is now proposed five feet back from the property line and will be five feet tall. Landscaping enhancements are proposed throughout the site, including additional shade trees in the parking areas and plantings between the street and block wall. Additional details on the entry canopies and exterior lighting have been provided.

RECOMMENDATION:

Recommend approval to the Planning Commission, subject to the following:

1. Repair and improve parking area in a manner satisfactory to the Planning Director.

ISSUES:

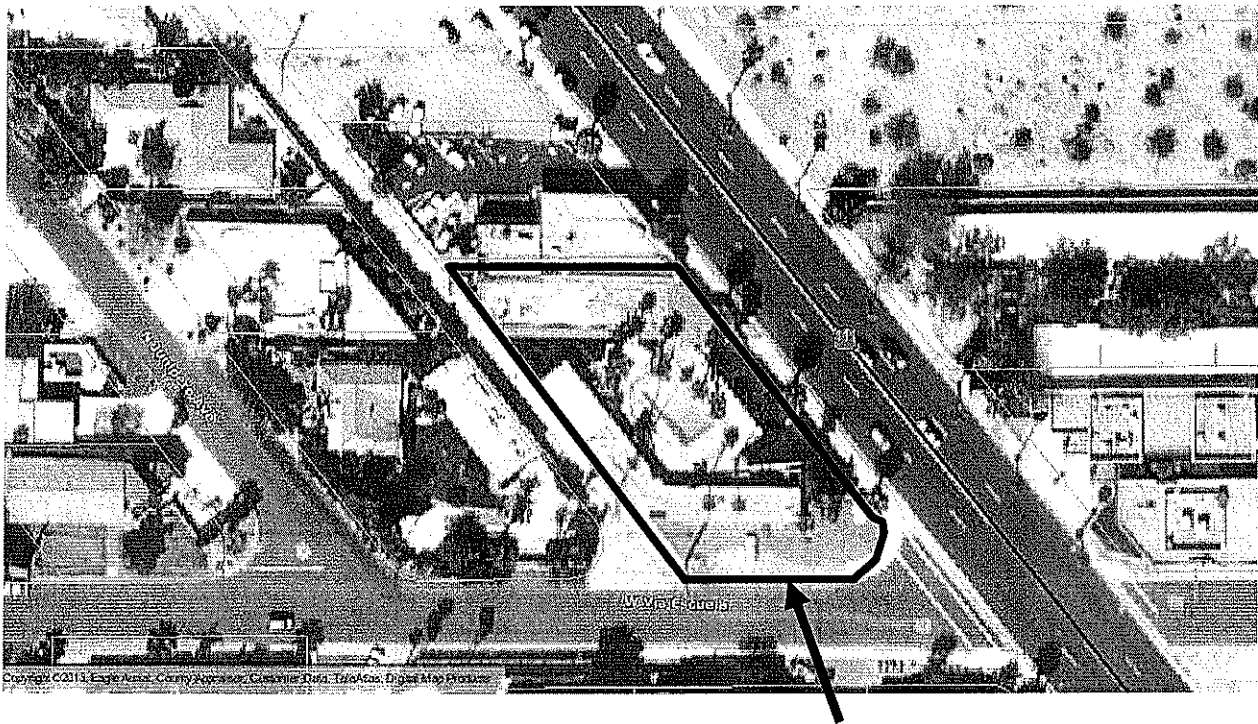
- Proposed patio covers at northwesterly, northeasterly and southeasterly corners of the site in required setback areas. Structures will not exacerbate the existing nonconforming setback conditions, but proposal does require approval from the Planning Commission, pursuant to Section 94.05.03(B) "Nonconforming Structures and Buildings" of the Zoning Code.

BACKGROUND:

<i>Planning Areas</i>		
Specific Plan	No	
Design Plan	No	
Airport Overlay	No	
Indian Land	No	
Resort Combining	Yes	Subject to Section 92.25.00 of Zoning Code

<i>Related Relevant City Actions by Planning, Fire, Building, etc.</i>	
8/12/2013	The AAC voted to table the project, pending the submittal of further project details and plans.

PROJECT DESCRIPTION:



SUBJECT PROPERTY

ANALYSIS:

General Plan			
Land Use Designation	F.A.R. / Density	Request	Compliance
Mixed Use / Multi-Use	15 dwelling units (or 30, if approved by PD) per acre OR 0.50 FAR for nonresidential uses	Existing (15 unit hotel)	No change in use or density

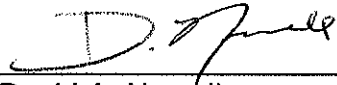
Zoning – Uses & Lot Standards			
	Existing: G-1 Zone	Proposed	Compliance
Uses permitted	Hotels, subject to R-3 standard	Same	Yes
Density	1 dwelling per 1,000 sq. ft. of lot area	Existing (15 unit hotel)	Yes
Lot Standards			
Min. Area	20,000 square feet	Existing (21,871 square feet)	Yes
Min. Width	100 feet	Existing (128 feet)	Yes
Min. Depth	150 feet	Existing (220 feet)	Yes

Zoning – Building Development Standards			
	Existing: G-1 → R-3 Zone	Proposed	Compliance
Building Height	30 feet over 50% of ground floor	14 feet to top of parapet	Yes
Yard Setbacks			
Front	25 feet from Via Escuela	Existing / no change (26 ft.)	Yes
Interior Side	10 feet, except structures over 10 feet in height to be setback equal to building height.	- Existing (0 ft. setback) - Proposed patio cover at northwest corner has post at 1 ft. setback	Legal, non-conforming. Requires PC approval
Street Side	30 feet from N. Palm Canyon Dr.	- Existing (0 ft. setback) - Proposed patio covers at northeasterly and southeasterly corners have posts in setback areas	Legal, non-conforming. Requires PC approval
Rear	10 feet, except structures over 10 feet in height to be setback equal to building height.	Existing / no change (6 ft.)	Legal, non-conforming
Pool / spas	5 feet	Existing / no change (30 ft.+)	Yes
Distance Between Buildings	15 feet, except: 30 feet when opposite of courtyard	No change	Yes
Lot Coverage	None	No change	Yes
Usable Landscape	45% landscape open space minimum	No change	Yes
Off-street Parking	15 parking spaces, including 1 handicap space (1 parking space per hotel room)	13 parking spaces proposed, including 1 handicap space	Legal, non-conforming
Trash Enclosure	Required	Proposed	Yes

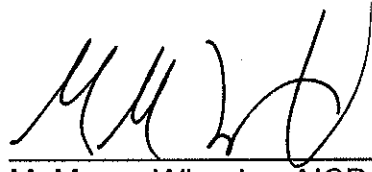
D. Planning Commission Architectural Advisory Committee Review Guidelines.

The planning commission architectural advisory committee shall examine the material submitted with the architectural approval application and specific aspects of design shall be examined to determine whether the proposed development will provide desirable environment for its occupants as well as being compatible with the character of adjacent and surrounding developments, and whether aesthetically it is of good composition, materials, textures and colors. Conformance will be evaluated, based on consideration of the following:

Item	Guideline:	Conforms?	Staff Evaluation:
1	Does the proposed development provide a desirable environment for its occupants?	Yes	The existing hotel development will be renovated and updated with new materials and enhanced landscape.
2	Is the proposed development compatible with the character of adjacent and surrounding developments?	Yes	Existing adjacent developments includes single story commercial and residential structures.
3	Is the proposed development of good composition, materials, textures, and colors?	Yes	Simple design proposed with stucco finishes. New overhangs to be corrugated metal
4	Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas	Yes	No change to building locations; pedestrian areas clearly defined in parking areas; proposed wall along Palm Canyon Drive will be setback and softened with landscape.
5	Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood/community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted	N/a	No change to site layout proposed
6	Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment	Yes	Existing structures are located within setback areas; new rooftop screening will be installed to screen proposed mechanical units.
7	Building design, materials and colors to be sympathetic with desert surroundings	Yes	Building to be stucco with off-white color
8	Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously	Yes	Consistent simple design; proposed patio covers provide visual interest to courtyard area as well as privacy for each unit.
9	Consistency of composition and treatment	Yes	See number 8 above.
10	Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials	Yes	Turf will remain in two portions of courtyard area; desert plants proposed throughout; existing palms to be retained on-site; new shade trees are proposed in parking area.



David A. Newell
Associate Planner



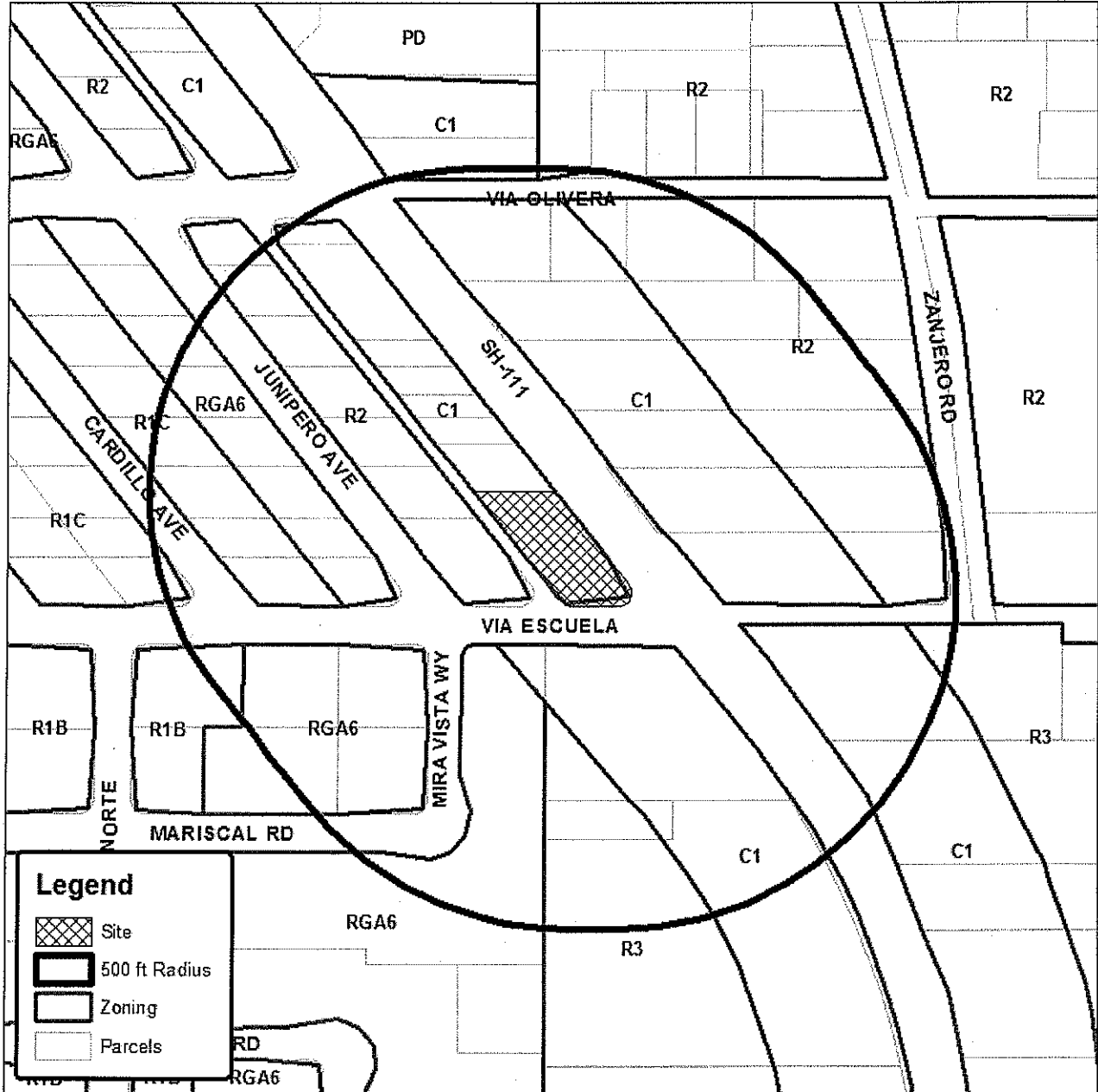
M. Margo Wheeler, AICP
Director of Planning Services

Attachments:

1. Vicinity map
2. 8/12/2013 AAC Minutes (excerpt)
3. Existing site photographs
4. Reduced Plans



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS

CASE NO: 3.0676 MAA
APPLICANT: AEK Capital Management LLC

DESCRIPTION:
A renovation of an existing 15-unit hotel located at 2135 North Palm Canyon Drive, Zone C-1, Section 3.

Committee Member Fredricks confirmed that an entire elevation was to be painted not just patches.

The applicant said that the slot windows also will be boarded.

Committee Member Song found black to be too dark for the paint.

M/S/C (Fredricks/Song, 4-0-3 absent Cassady, Hirschbein, Secoy-Jensen) Approve with staff conditions amending #1 change black to dark blue/gray and #2 add "finish level".

8. MINOR ARCHITECTURAL APPLICATION BY ENDURE INV. TO ADD LANDSCAPE AND REPLACE PLANTERS WITH COLORED CONCRETE BETWEEN CORNER BUILDINGS AND PARKING AREA AT THE SPRINGS SHOPPING CENTER (CEQA CLASS 4 EXEMPTION), 5200 EAST RAMON ROAD, ZONED M-1-P (CASE NO. 3.3670 MAA). (DN)

Associate Planner Newell reported project and showed where staff is requiring additional trees.

JONATHAN DOTY, representative, agreed. He said he would match color of new paving to existing. Tenants would provide chairs, tables and umbrellas.

Committee Member Fredricks indicated additional Palo Verde a better choice than sumac.

Committee Member Purnel agreed and had concerns about paving.

M/S/C (Fredricks/Fauber, 4-0-3 absent Cassady, Hirschbein, Secoy-Jensen) Approve with staff conditions and;

- Palo Verdes not Sumacs
- Palm Trees to match species and size of existing
- Paving to match existing
- Continuously maintain palms

9. MINOR ARCHITECTURAL APPLICATION BY AEK CAPITAL MANAGEMENT LLC FOR COMPLETE RENOVATION OF EXISTING HOTEL LOCATED AT 2135 NORTH PALM CANYON DRIVE, ZONED C-1 (CASE NO. 3.0676 MAA). (DN)

RANEE SCHAAF SMA AND TOM ADAMS, representatives, described project and answered questions from Committee Members indicating circles are glass, clear and frosted; hedges will be inside walls; olive trees remain; parking area will be repaved; need 7' wall for noise attenuation and privacy; need space next to wall for events.

Committee Member Fredricks concurs wall needs to be moved back, needs details on canopy, entrance and doors; all landscape sizes too small - min. 5 gal. shrubs, 36" olives, screen trees 15 gal.

Committee Member Purnel post and gate details and clarification of finishes.

Committee Member Song needs color elevation and roof plan; wall adjacent to sidewalk too aggressive.

A Committee Member wants lighting plan, canopy, equipment screening and wall moved back.

M/S/C (Fauber/Fredricks, 4-0-3 absent Cassady, Hirschbein, Secoy-Jensen) Table for additional plans to be submitted.

10. ARCHITECTURAL ADVISORY COMMITTEE RULES OF PROCEDURE

This item was continued to August 26, 2013.

COMMITTEE MEMBER COMMENTS:

None.

STAFF MEMBER COMMENTS:

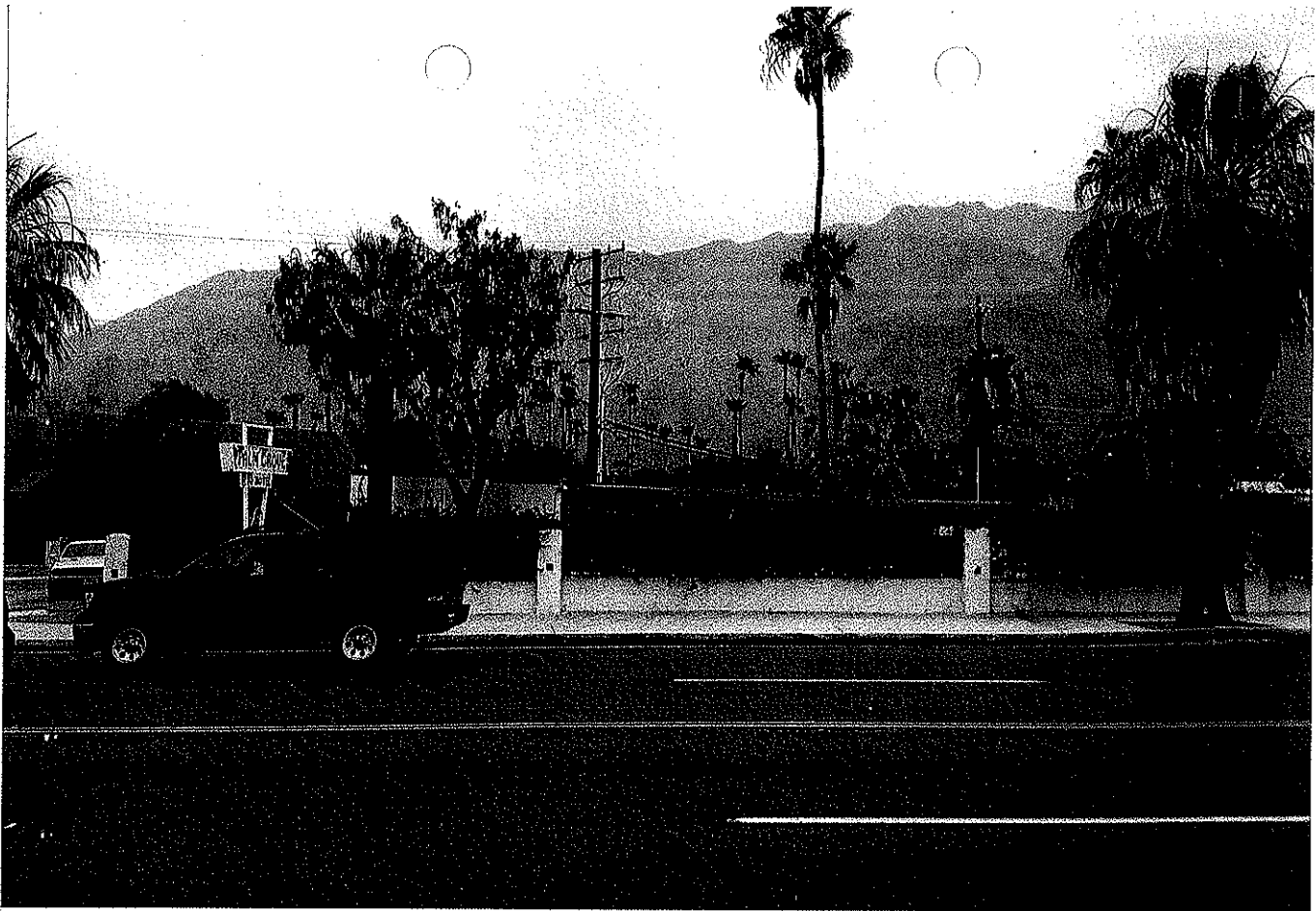
None.

ADJOURNMENT:

The Architectural Advisory Committee adjourned at 5:40 pm to Monday, August 26, 2013, at 3:00 pm, Council Chamber, City Hall, 3200 East Tahquitz Canyon Way, Palm Springs.


M. Margo Wheeler, AICP
Director of Planning Services



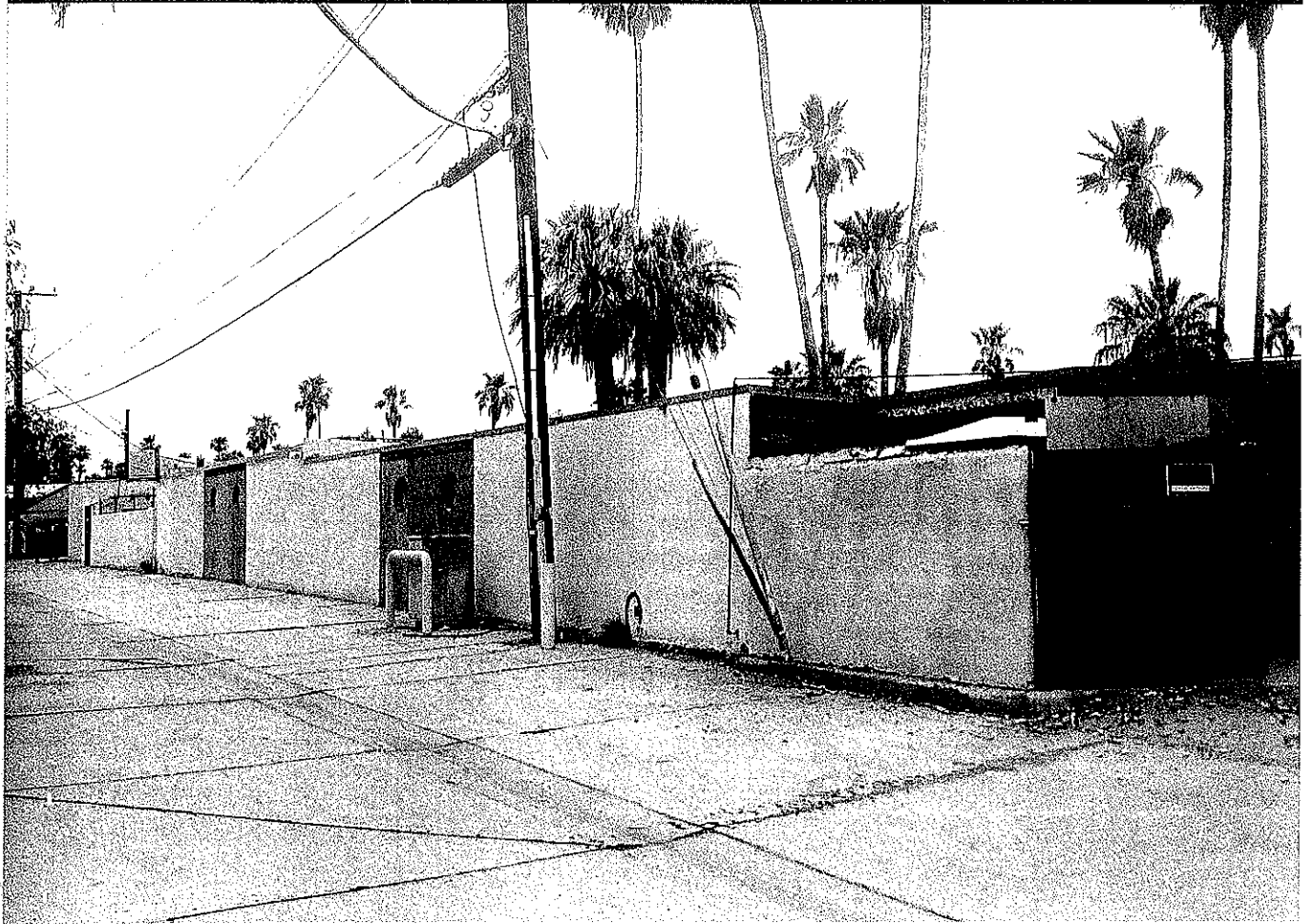


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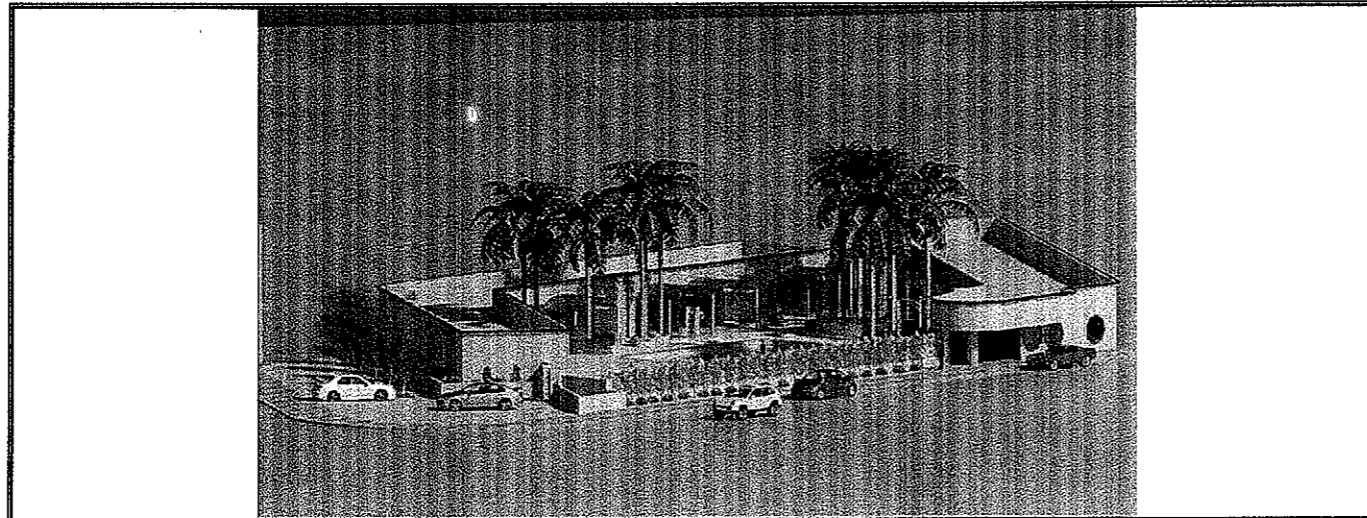
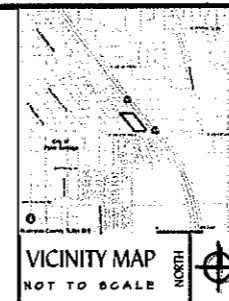
FLANNING & KURTZ
INCORPORATED





EXTERIOR REMODEL: THE PALM SPRINGS HOTEL

2135 NORTH PALM CANYON
PALM SPRINGS, CA. 92262



GENERAL INFORMATION

OWNER: A.E.C. Capital Management, LLC
2225 North Palm Canyon Dr.
Palm Springs, CA. 92262

LEGAL DESCRIPTION: LOT 1 H&M 041002
PALM SPRINGS VILLAGE
APN: 504-242-001-2

PROJECT ADDRESS: 2225 North Palm Canyon Dr.
Palm Springs, CA. 92262

ZONE: C-1

OCCUPANCY: R-1 (TRANSIENT HOTEL)

AREAS/TABULATIONS:

TOTAL SITE:	20,700.0 SQ. FT.
BUILDING "A":	5,021.0 SQ. FT.
BUILDING "B":	1,916.0 SQ. FT.
BUILDING "C":	1,201.0 SQ. FT.
TOTAL FOOTPRINT:	5,158.0 SQ. FT.

SHEET INDEX

- CS COVER SHEET
- A.1 SITE PLAN
- A.2 ELEVATIONS
- A.3 ROOF PLAN
- D.1 DETAILS
- L.1 PLANTING PLAN



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FAX: 760.325.1112

EXTERIOR REMODEL
PALM SPRINGS HOTEL
2135 NORTH PALM CANYON DR., PALM SPRINGS, CA 92262

GENERAL NOTES

1. The contractor shall be responsible for obtaining and maintaining all necessary permits and licenses for this project.
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REFERENCE CODES
ALL CONSTRUCTION SHALL COMPLY WITH:

- 2000 PALM SPRINGS MUNICIPAL CODE
- 2000 CALIFORNIA RESIDENTIAL CODE -- Based on 2000 IRC
- 2000 CALIFORNIA MECHANICAL CODE -- Based on 2000 IMC
- 2000 CALIFORNIA PLUMBING CODE -- Based on 2000 UPC
- 2000 CALIFORNIA ELECTRICAL CODE -- Based on 2000 NEC
- 2000 CALIFORNIA BATTERY CODE
- 2000 CALIFORNIA SPECIAL INSULATION CODE (CALIFORNIA)
- 2000 CALIFORNIA FIRE CODE (CFC)

GENERAL SPECIFICATIONS:

If any SPECIAL COVENANTS or OTHERS appear in the drawings, specifications or other contract documents, the CONTRACTOR shall read with the drawings to verify if such items of special covenants and other restrictions apply to the work. THE CONTRACTOR SHALL BE HELD RESPONSIBLE for the result of any errors, omissions or violations and for cost of resolving the same.

Underground Service Alert
Call: TOLL FREE
1-800-227-2600
YOU KNOWING BARS BEFORE YOU DIG

TYPE OF CONSTRUCTION: V-B
OCCUPANCY GROUP: R-1 (TRANSIENT HOTEL)

ENTRANCES & EXITS

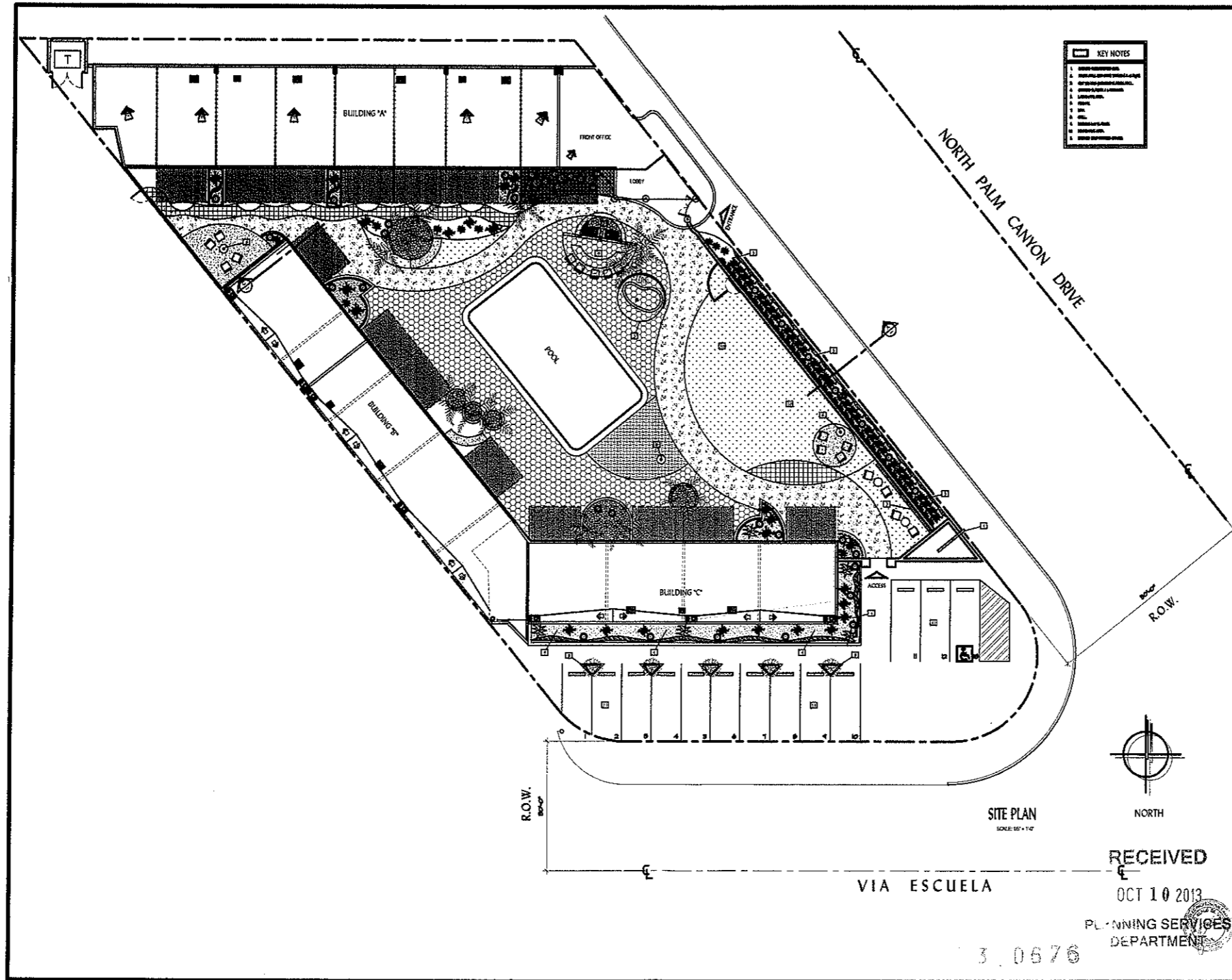
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SCOPE OF WORK

REPLACE EXTERIOR SANITARY EXISTING PARAPET WALL TO 4 FEET ON ALL BUILDINGS TO EXISTING PARAPET LEVEL EXCEPT HALL, WHICH IS 5 FEET FROM THE PL. AND SET THE EXISTING 80 INCHES FROM THE PL. FROM PLASTER AREA OF FIRST FLOOR. EXISTING LAUNDRY ROOM, OFFICE, BATH, AND PUBLIC AREA TO BE RECONSTRUCTED AND REVERTED TO THE PUBLIC RE-COMMUNICATE LOBBY.

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OCT 10 2013
PLANNING SERVICES
DEPARTMENT
3.0676

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SILFER & ASSOCIATES
ARCHITECTS & PLANNERS
FERNANDO SILVA
REGISTERED ARCHITECT
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DE GUZMAN ENGINEERING
REGISTERED ENGINEER
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FAX: 760-325-1112

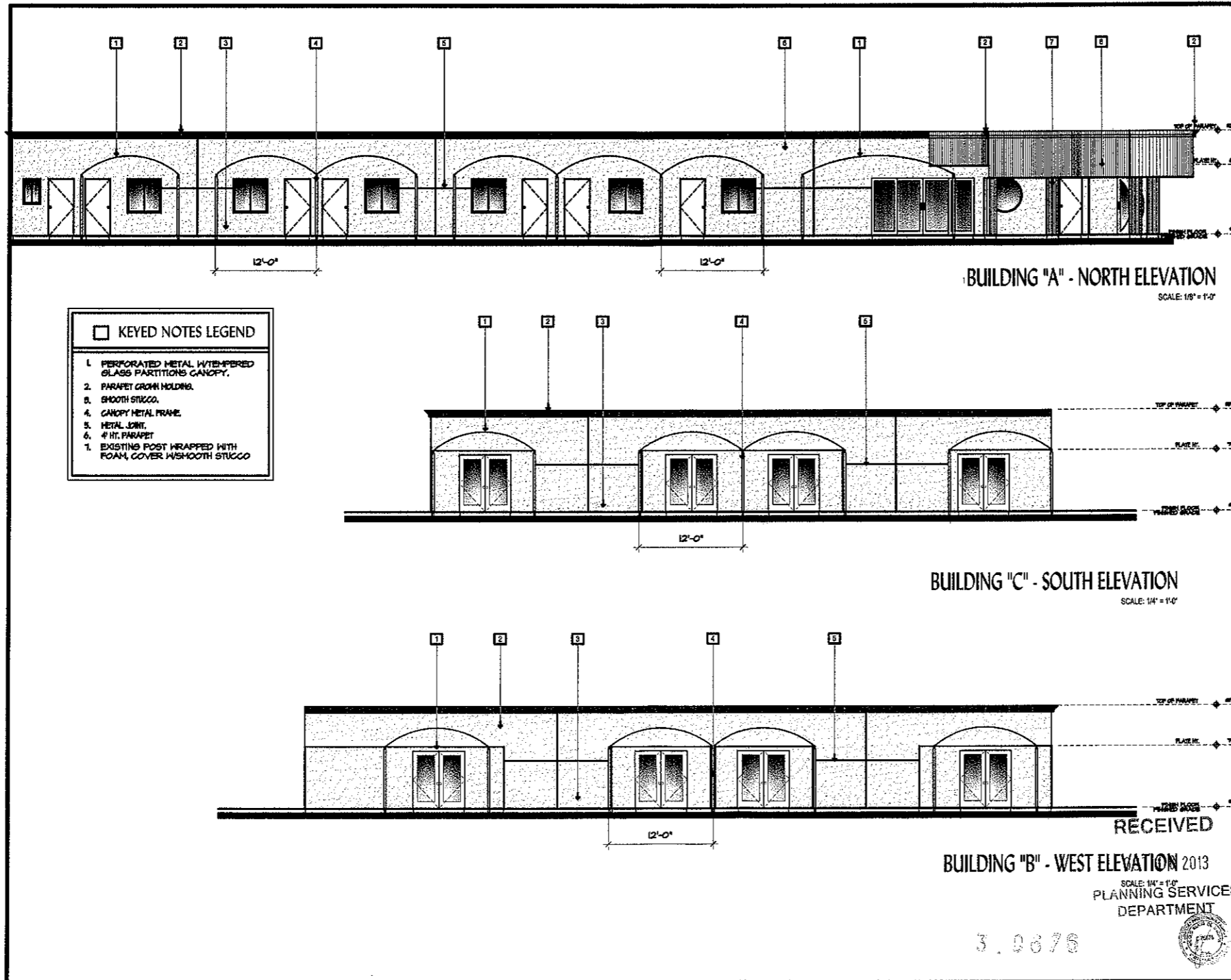
EXTERIOR REMODEL
PALM SPRINGS HOTEL
2105 NORTH PALM CANYON DRIVE, PALM SPRINGS, CA 92262

REVISIONS BY	DATE

SHEET TITLE:
SITE PLAN

DATE	BY	DESCRIPTION

DATE:
AI



- KEYED NOTES LEGEND**
- 1. PERFORATED METAL W/TEMPERED GLASS PARTITIONS CANOPY.
 - 2. PARAPET GROWN HOLDING.
 - 3. SMOOTH STUCCO.
 - 4. CANOPY METAL FRAME.
 - 5. METAL LINIT.
 - 6. 4" HT. PARAPET.
 - 7. EXISTING POST WRAPPED WITH FOAM COVER W/SMOOTH STUCCO.



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DE GUZMAN ENGINEERING
 PROFESSIONAL ENGINEER
 AND ARCHITECT
 JOAQUIN DE GUZMAN, P.E., C.A.S.
 PALS 234873 - 001318792

EXTERIOR RENOVATION
PALM SPRINGS HOTEL
 2135 NORTH PALM AVENUE, PALM SPRINGS, CA 92262

NO.	REVISIONS BY	DATE

SHEET TITLE:
 ELEVATIONS

DATE: 03/15/13
 DRAWN BY: JSA
 CHECKED BY: JSA
 DATE: 03/15/13
 SHEET NO: 2013-05

A2

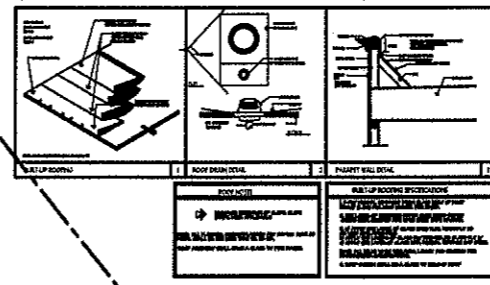
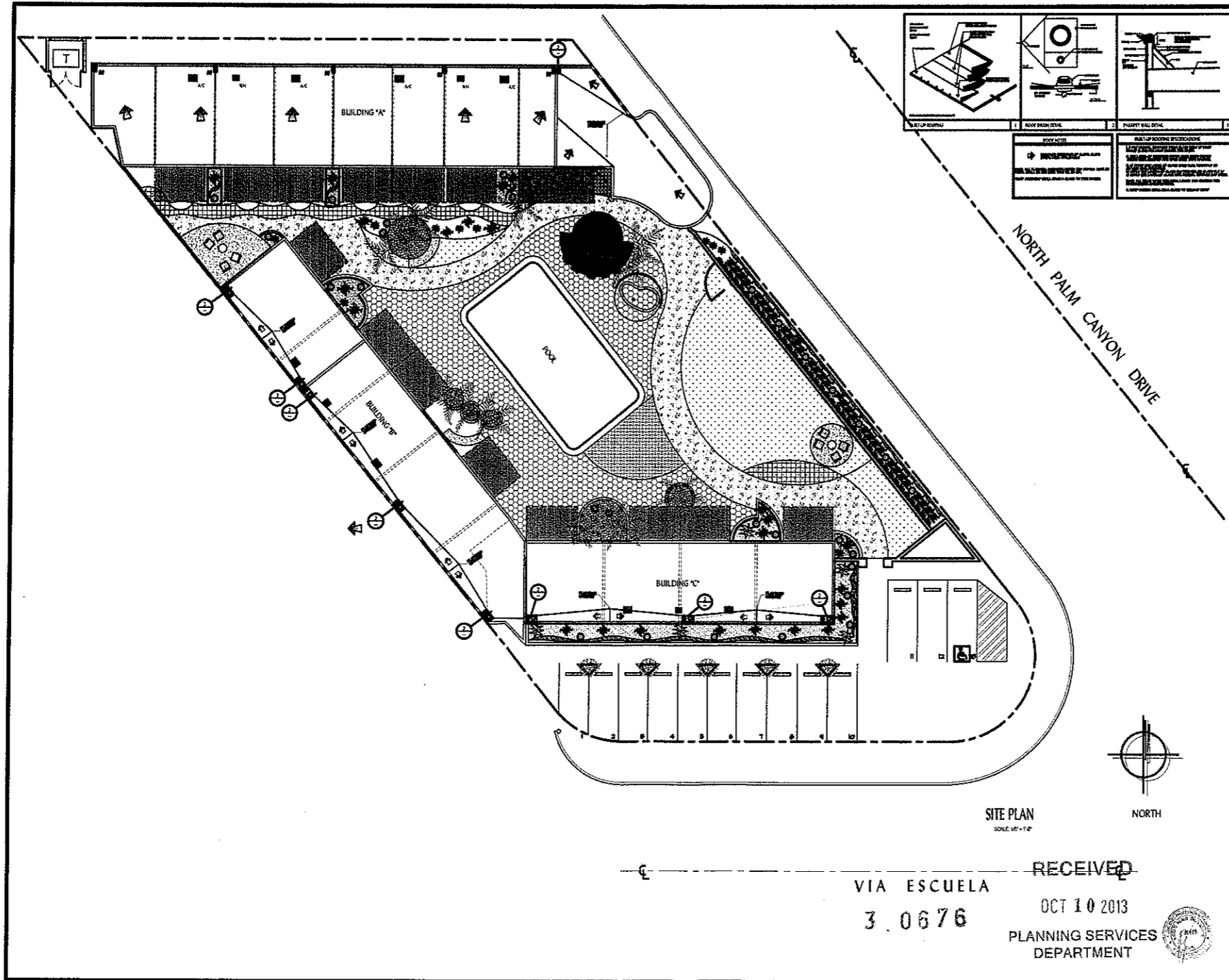
RECEIVED

BUILDING "B" - WEST ELEVATION 2013

SCALE: 1/4" = 1'-0"
 PLANNING SERVICES DEPARTMENT

3.0676





SILVER & ASSOCIATES
ARCHITECTS
FERRANDO SILVA
ARCHITECT
2105 NORTH PALM CANYON DRIVE, SUITE 100
PALM SPRINGS, CA 92262
PH: 951-244-1100

DE GUZMAN ENGINEERING
REGISTERED CIVIL ENGINEER
GAUS DE GUZMAN P.E. CIVIL
PH: 951-244-1100

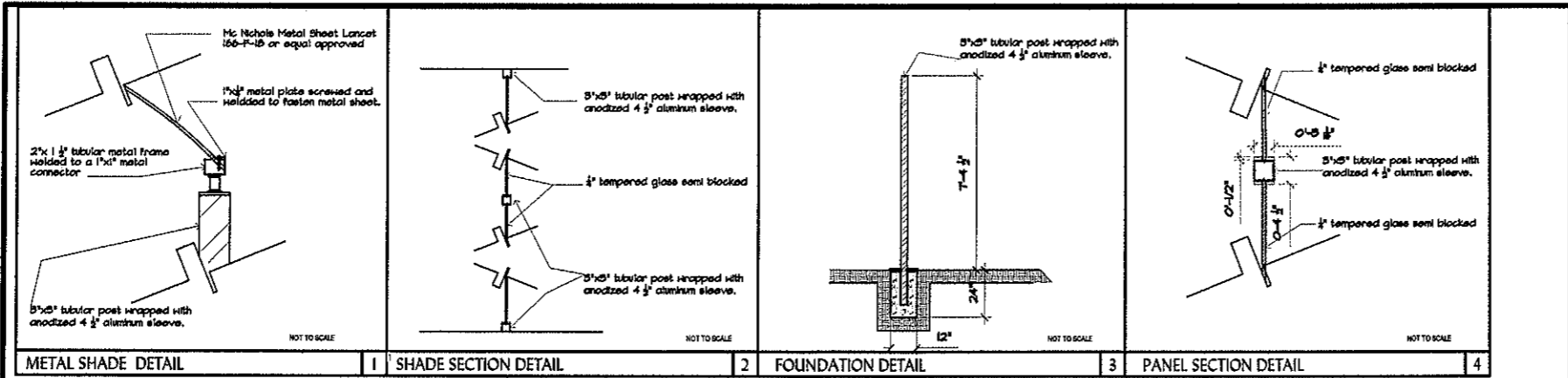
**EXTERIOR RENOVATION
PALM SPRINGS HOTEL**
2105 NORTH PALM CANYON DRIVE, PALM SPRINGS, CA 92262

NO.	REVISIONS BY	DATE

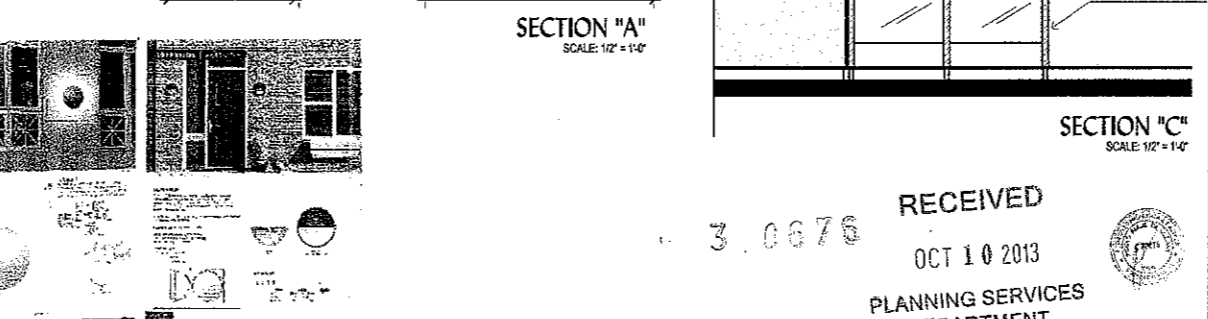
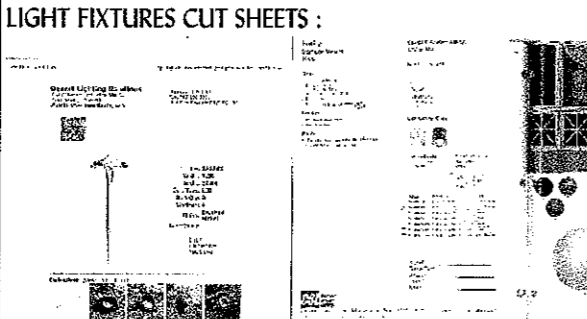
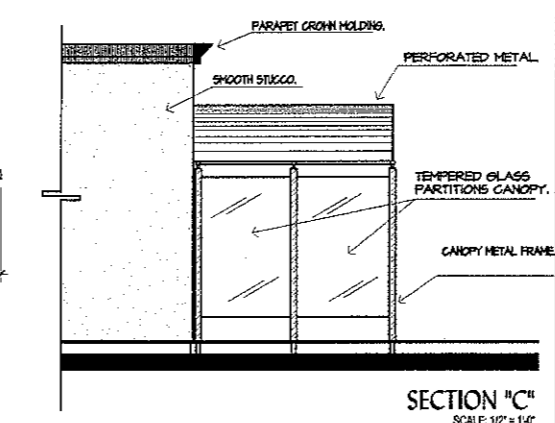
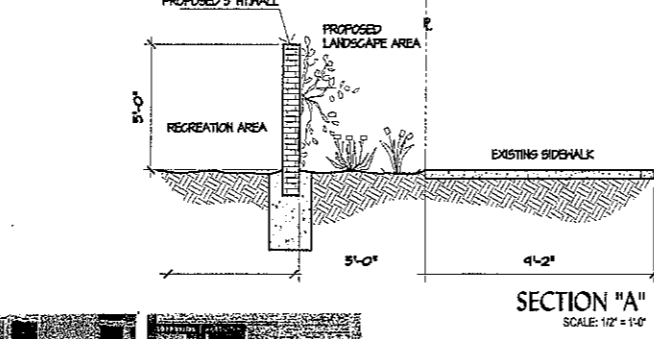
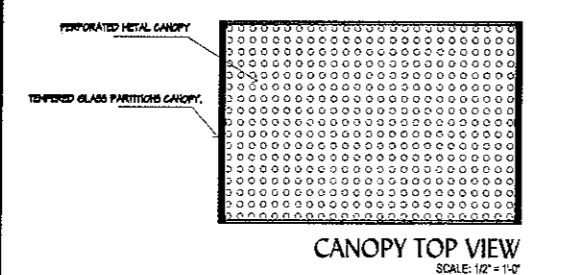
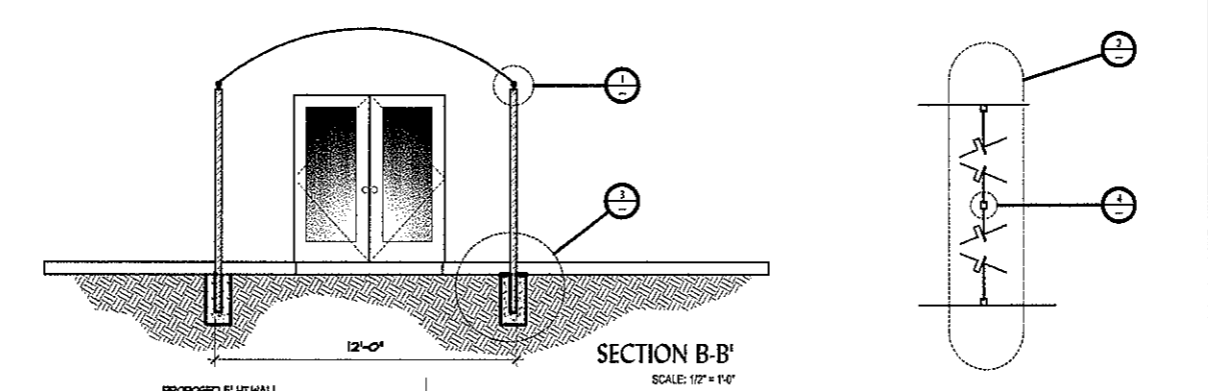
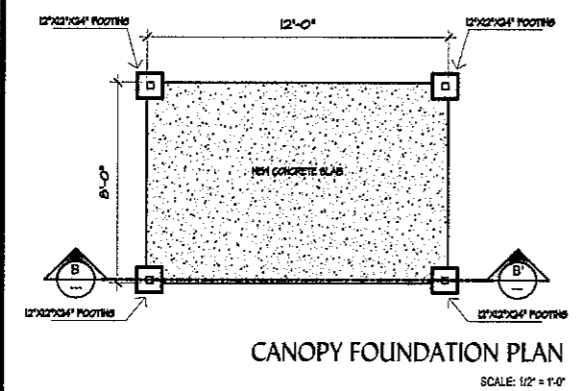
SHEET TITLE:
ROOF PLAN

DATE	
BY	
CHECKED	
DATE	

SHEET NO.
A3



METAL SHADE DETAIL | 1 | SHADE SECTION DETAIL | 2 | FOUNDATION DETAIL | 3 | PANEL SECTION DETAIL | 4



SILFER & ASSOCIATES
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 FERNANDO SILVA
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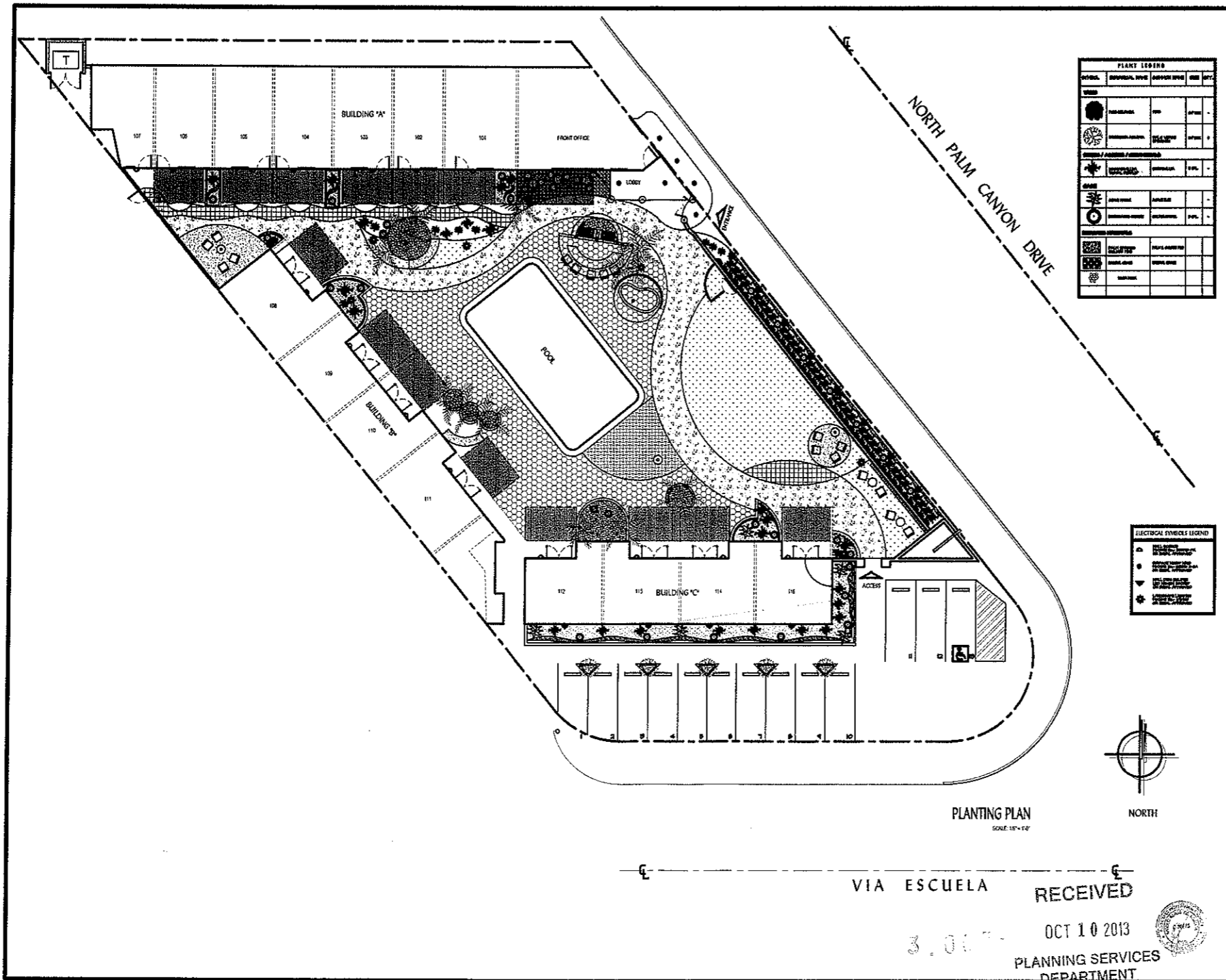
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 PROFESSIONAL ENGINEER
 GABRIEL DE GUZMAN P.E. CIVIL
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EXTERIOR REMODEL
PALM SPRINGS HOTEL
 2115 NORTH FAHNSDORF DRIVE, PALM SPRINGS, CA 92262

NO.	REVISIONS BY	DATE

SHEET TITLE: DETAILS

D-1

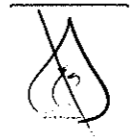


PLANT LEGEND

SYMBOL	SYMBOL NAME	COMMON NAME	SIZE	NOTES
(Symbol)	AGAVE	AGAVE	4\"/>	

ELECTRICAL SYMBOLS LEGEND

(Symbol)	OUTLET
(Symbol)	SWITCH
(Symbol)	TRANSFORMER
(Symbol)	CONDUIT
(Symbol)	WIRE
(Symbol)	TERMINAL



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EXTERIOR RENOVATION
PALM SPRINGS HOTEL
 2183 NORTH PALM CANYON DRIVE, PALM SPRINGS, CA 92262

REVISIONS BY

NO.	DESCRIPTION	DATE

SHEET TITLE
 PLANTING PLAN

DATE

DATE	
DESIGNED BY	
DATE	
CHECKED BY	
DATE	
APPROVED BY	
DATE	

PAGE
 1

VIA ESCUELA

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 OCT 10 2013
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