



HISTORIC SITE PRESERVATION BOARD STAFF REPORT

DATE: December 10, 2013

SUBJECT: A CERTIFICATE OF APPROVAL REQUEST BY JOHN MANLY TO RESTORE AND REHABILITATE WEXLER STEEL HOUSE #1 AND A CLASS 31 CATEGORICAL EXEMPTION PURSUANT TO CEQA, FOR A CLASS 1 HISTORIC SITE, LOCATED AT 290 SIMMS ROAD, ZONE R-1-C, (CASE 3.3695 MAA / HSPB 42).

FROM: Department of Planning Services

SUMMARY

The applicant recently purchased the subject historic property and is seeking to remove numerous additions and restore the property to its original configuration.

RECOMMENDATION:

Approve the certificate of approval request.

ISSUES:

Numerous detrimental additions and a poorly conceived infill of the courtyard and the carport are being removed to return the subject Wexler Steel House to its original configuration.

BACKGROUND:

The Wexler Steel House #1, at 290 Simms Road is one of seven prototypical partially prefabricated steel homes designed by renowned local architect Donald Wexler and Richard Harrison. The seven homes were constructed in 1962 using innovative light gauge steel technology and have become iconic structures reflective of the mid-century modern period in Palm Springs.

Steel House #1 is surrounded by single family and multi family residential development on the north, south and east, and a vacant lot to the west as can be seen in the aerial photo below.



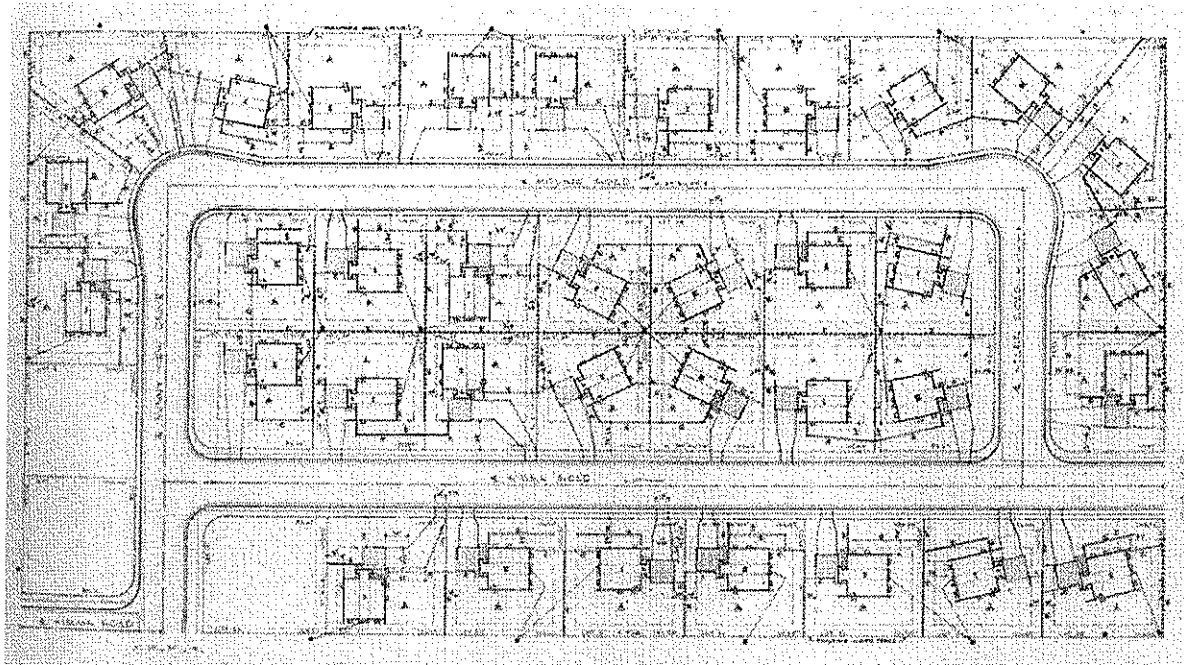
AERIAL PHOTO OF 290 SIMMS ROAD

The steel homes were constructed by the Alexander Development Company and the project was sponsored by the Calcor Steel Corporation. The project was envisioned as a subdivision of modest prototypical homes demonstrating the use of light gauge steel as a viable, affordable, and quickly-constructed alternative to conventional wood frame homes. At the time, Donald Wexler and his partner in architectural practice Richard Harrison had been working for several years with structural engineer Bernard Purlin in developing both residential and commercial structures using light gauge steel for both the structural and the enclosure systems of their buildings. The affordable nature of their designs made them popular for school construction during the "baby boom" years following World War II.

The original intent of the steel homes project in Palm Springs was for thirty-eight of the light gauge steel homes to be built in the subdivision. However a sharp rise in steel costs scuttled the project. After the seven prototypical homes were constructed, the developer cancelled the project and instead, non-descript ranch-style wood frame homes were built on the remaining vacant lots.



EARLY PHOTOS SHOWING CONSTRUCTION OF THE FOLDED PLATE ROOFED STEEL HOME.



ORIGINAL SUBDIVISION MAP SHOWING CONFIGURATION OF STEEL HOMES ON INDIVIDUAL LOTS.

Pursuant to Municipal Code Section 8.05.180, "No person may undertake any of the following within or upon a Class 1 historic site without a certificate of approval from the historic site preservation board:

- (1) Construction of a new structure;
- (2) The moving, demolition or alteration of an existing structure in any manner which affects the exterior appearance of the structure;
- (3) A change in land use which affects the exterior appearance of a structure or the interior arrangement of public buildings;
- (4) The erection, remodeling or replacing of a sign which affects the exterior appearance of a structure."

As noted in item 2, the subject project causes an alternation of the exterior appearance of the subject Class 1 and thus a Certificate of Approval from the HSPB is required.

<i>Related Relevant City Actions by Planning, Fire, Building, etc.</i>	
May 2, 2001	Class 1 designation of the seven Wexler-Harrison steel homes by City Council
January 2013	Code Enforcement Courtesy Notice for non-permitted structures at 290 Simms Road

<i>Neighborhood Meeting</i>	
None	Racquet Club Estates Neighborhood Organization

<i>Date of Purchase by Current Owner</i>	
April 2013	Purchase by John Manly

ANALYSIS:

Wexler Steel Home #1 at 290 Simms Road is one of only two that were constructed with a folded plate roof, making it particularly unique. The project is located at the northwest corner of Simms Road and Sunnyview Road in the Racquet Club Estates neighborhood. The applicant purchased Steel Home #1 in early 2013. He has commissioned architect Lance O'Donnell to oversee the restoration of the home and the original architect, Donald Wexler has also been part of the consultant team to assure that details of the restoration are executed as closely as possible to the original design.

Review of the proposal against the Historic Preservation Ordinance.

There are no specific findings required for Certificates of Approval, however, pursuant to Municipal Code Section 8.05.190, the Board shall consider the following in reviewing and acting upon a certificate of approval application:

- (1) The historic value and significance, or the architectural value and significance or both, of the structure and its relation to the historic value of the surrounding area;

The historic value and architectural significance of the Wexler Steel Houses is well documented. Wexler Steel House #1 is one of only seven such houses constructed in 1962. The proposed project removes permitted and unpermitted infill elements and additions that significantly impair the historic significance of the home.

- (2) The relationship of the exterior architectural features of any structure to the rest of the structure itself and to the surrounding area;

The removal of the non-original additions and infill elements will restore the site to near-original condition & significantly improve the historic integrity of Wexler Steel House #1.

- (3) The general compatibility of exterior design, arrangement, texture and material which is proposed by the applicant;

The scope of the rehabilitation project includes the following:

- Removal of permitted and unpermitted infill of the carport and courtyard.
- Removal of a fireplace and hearth,
- Removal of a wooden trellis,
- Removal of portions of exterior slabs that are deteriorated or non-contributing to the historic integrity of the structure,
- Removal of a non-permitted carport structure,
- Removal of steel gates, sheds, overgrown plant material, non-original light fixtures, through-wall air conditioners, etc.

- Removal of non-original wooden siding,
- Removal of portions of perimeter garden walls.
- Restoration of surfaces and elements of the original structure previously removed or damaged.
- Construction of new poured in place concrete garden walls and concrete flatwork.
- Repainting the home to its original color.
- Although review of the interior of privately-owned historic structures is not within the purview of the HSPB, the applicant is carrying out the restoration of the interior elements of the home also.

All work is being carried out consistent with the Secretary of the Interior's Standards for the Rehabilitation of Historic Structures.


- (4) Archaeological or ecological significance of the area.

The proposed project does not impact any known archaeological or ecological significance of the site.

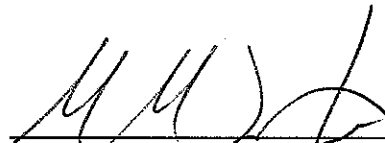
Staff believes the proposed modifications reflect a sensitive and careful rehabilitation and restoration of this historic structure and recommends that the HSPB grant a certificate of approval.

ENVIRONMENTAL ASSESSMENT

The proposed rehabilitation is deemed a Project under the guidelines of the California Environmental Quality Act (CEQA). CEQA allows for a Class 31 Categorical Exemption (*Historical Resource Restoration / Rehabilitation*) for projects involving maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer. Staff proposes a Class 31 Categorical Exemption for the project.



Ken Lyon, RA
Associate Planner



M. Margo Wheeler, AICP
Director of Planning Services

Attachments:

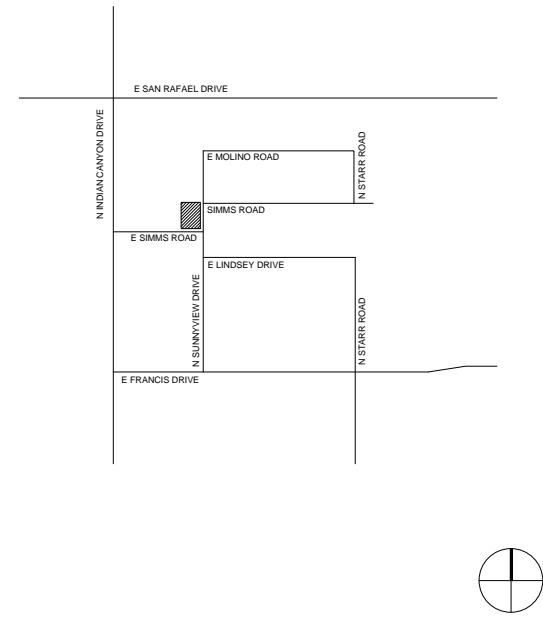
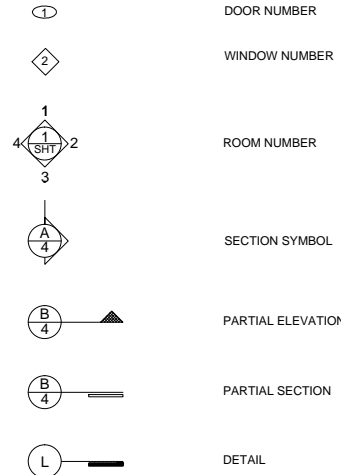
1. Vicinity Map.
2. Reduced Plans dated October 23, 2013.

THIS DOCUMENT SHALL NOT BE REPRODUCED NOR SHALL THE INFORMATION CONTAINED THEREIN BE USED BY OR DISCLOSED TO OTHERS EXCEPT AS EXPRESSLY AUTHORIZED BY O2 ARCHITECTURE.

ABBREVIATIONS

Table of abbreviations and their corresponding full names, organized in columns. Includes terms like AB (ANCHOR BOLT/AGGREGATE BASE), AC (ASPHALT CONCRETE/AIR CONDITIONING), and STRUC (STRUCTURAL).

DRAWING SYMBOLS:



VICINITY MAP NOT TO SCALE

675 SIMMS RD. PALM SPRINGS, CA 92262

WEXLER HARRISON STEEL DEVELOPMENT HOUSE I, PHASE I

O2 ARCHITECTURE 1088 N. PALM CANYON DR., STE. B PALM SPRINGS, CA 92262 TEL: 760.778.8165 FAX: 760.406.7946 EMAIL: office@o2arch.com

PROJECT TITLE: WEXLER HARRISON STEEL DEVELOPMENT HOUSE I, PHASE I 290 EAST SIMMS ROAD PALM SPRINGS, CA 92262

GENERAL NOTES

- 1. ALL CONTRACTORS SHALL HAVE A CURRENT VALID BUSINESS LICENSE PRIOR TO PERMIT ISSUANCE PER CITY CODE.
2. ALL CONTRACTORS MUST SUBMIT CERTIFICATE OF WORKER'S COMPENSATION INSURANCE COVERAGE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT PER CALIFORNIA LABOR CODE, SECTION 3800.
3. GENERAL CONTRACTOR SHALL COMPLETE AND SUBMIT A CONTRACTOR'S LIST FORM TO THE DEPARTMENT OF BUILDING AND SAFETY PRIOR TO REQUEST FOR FINAL INSPECTION PER LOCAL ORDINANCE.
4. APPROVED TEMPORARY FACILITIES (I.E. CHEMICAL TOILETS SHALL BE ON THE CONSTRUCTION SITE PRIOR TO REQUEST FOR FIRST INSPECTION) HEALTH AND SAFETY CODE, SECTION 5416.
5. CONTRACTOR SHALL PROVIDE A TRASH BIN TO INSURE PROPER CLEANUP OF ALL BUILDING MATERIALS.
6. STORAGE AND BUILDING MATERIALS OR DEBRIS SHALL BE CONFINED TO THE LOT FOR WHICH THE PERMIT IS ISSUED. ADJACENT PROPERTIES MAY NOT BE UTILIZED FOR THIS PURPOSE UNLESS WRITTEN PERMISSION OF THE OWNER IS ON FILE WITH THIS OFFICE.
7. THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED IN A CLEAR CONDITION AT ALL TIMES, AS INDICATED IN THE GOVERNING CODE.
8. THE WORK SHALL CONFORM TO THE LATEST EDITION OF ALL GOVERNING CODES AND ORDINANCES. IF DISCREPANCIES ARE FOUND THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
9. THE ELECTRICAL, MECHANICAL AND STRUCTURAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ARCHITECTURAL DRAWINGS, BEFORE THE INSTALLATION OF ELECTRICAL, MECHANICAL OR STRUCTURAL WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE ELECTRICAL, MECHANICAL, STRUCTURAL AND ARCHITECTURAL DRAWINGS THAT WOULD CREATE A CONFLICT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION. WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS/HER EXPENSE.
10. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.
11. DEFINITIONS:
A. "TYPICAL" MEANS IDENTICAL FOR ALL CONDITIONS UNLESS OTHERWISE NOTED.
B. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. DIFFERENCES ARE INFERRABLE FROM OTHER INFORMATION GIVEN. VERIFY DIMENSIONS AND ORIENTATIONS.
C. "PROVIDE" MEANS FURNISH AND INSTALL.
D. "FURNISH" MEANS TO FURNISH AND OTHERS WILL INSTALL.
E. DIMENSIONING RULES:
a. HORIZONTAL DIMENSIONS ARE SHOWN FROM INTERSECTION OF COLUMN GRID OR FACE OF FRAMING TO INTERSECTION OF COLUMN OR FACE OF FRAMING UNLESS OTHERWISE NOTED.
b. DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE PRECISELY MAINTAINED.
c. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT UNLESS OTHERWISE NOTED.
d. VERTICAL DIMENSIONS ARE FROM THE TOP OF THE FLOOR FINISH, UNLESS OTHERWISE NOTED.
e. DO NOT SCALE DRAWINGS. IF ANY ITEM OF WORK CANNOT BE LOCATED DO NOT PROCEED WITH THE WORK WITHOUT THE CONSENT OF THE ARCHITECT.
f. DIMENSIONS MARKED V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR AND/OR SUBCONTRACTOR WITH THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
12. CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND REPORT ANY ERROR, INCONSISTENCY, CONFLICT OR OMISSION TO THE ARCHITECT.
13. ERECT AND INSTALL ALL WORK TO BE LEVEL, PLUM, SQUARE, TRUE AND IN PROPER ALIGNMENT.
14. CONFIRM DURING THE PRICING PERIOD ON SITE DELIVERY OF ALL CONSTRUCTION MATERIAL SPECIFIED IN THE CONTRACT DOCUMENTS AND IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF POTENTIAL DELAYS TO THE COMPLETION DATE OF THE PROJECT.
15. DO NOT SUBSTITUTE, REVISE OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/OWNER.
16. SUBMIT A SPECIFIED CONSTRUCTION SCHEDULE AND A SCHEDULE OF REQUIRED SUBMITTALS WITHIN THE PACKAGE.
17. SUBMIT THE SCHEDULES, SHOP DRAWINGS, MOCKUPS, SAMPLES AND OTHER REQUIRED SUBMITTALS WITHIN TWO WEEKS AFTER THE NOTICE TO PROCEED. NOTIFY ARCHITECT IF ADDITIONAL TIME IS REQUIRED. ALLOW THE ARCHITECT SUFFICIENT TIME TO REVIEW AND COMMENT ON THE SUBMITTALS. WHERE SHOP DRAWINGS ARE REQUIRED, SUBMIT FOUR SETS OF BLUELINE DRAWINGS TO THE ARCHITECT FOR REVIEW AND COMMENT PRIOR TO THE COMMENCEMENT OF FABRICATION OR PLACING AN ORDER.

- 18. PREPARE AND SUBMIT THE FOLLOWING TO THE ARCHITECT FOR REVIEW AND COORDINATION PRIOR TO ORDER OF FABRICATION OF MATERIALS AND/OR INSTALLATION OF SYSTEMS. SEE SPECIFICATION FOR REQUIREMENTS.
19. CONTRACTORS ARE TO IMMEDIATELY NOTIFY THE ARCHITECT OF ANY CONFLICTING CONDITIONS PRIOR TO AND DURING CONSTRUCTION.
20. DO NOT SCALE DRAWINGS. CONTRACTORS ARE RESPONSIBLE FOR SITE REVIEW AND VERIFICATION OF ALL QUANTITIES OF MATERIALS REQUIRED TO COMPLETE THE INSTALLATION.
21. SEPARATE REVIEW, APPROVAL AND PERMITS ARE REQUIRED FOR GRADING, ACCESSORY BUILDINGS AND STRUCTURES, SIGNS, TRASH ENCLOSURES, BLOCK WALLS, RETAINING WALLS NOT SUPPORTING BUILDING, AND DEMOLITION WORK. CONTACT CITY FOR PROCEDURAL INFORMATION.

CITY OF PALM SPRINGS NOTES

- 1. CONSTRUCTION SIGNING, LIGHTING & BARRICADING SHALL BE PROVIDED AS REQUIRED BY CITY STANDARDS OR AS DIRECTED BY THE CITY ENGINEER. AS A MINIMUM, ALL CONSTRUCTION SIGNING, LIGHTING & BARRICADING SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIF., DEPARTMENT OF TRANSPORTATION, "MANUAL OF TRAFFIC CONTROLS FOR CONSTRUCTION & MAINTENANCE WORKZONES."
2. THE PROJECT IS SUBJECT TO THE CITY WATER EFFICIENT LANDSCAPE ORDINANCE. MUNICIPAL CODE CHAPTER 8.60
3. PRIOR TO ISSUANCE OF GRADING PERMIT, A FUGITIVE DUST & EROSION CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL. MUNICIPAL CODE CHAPTER 8.50
4. STREET ADDRESS NUMBERING SHALL NOT EXCEED 8" IN HEIGHT.
5. PREMISES IDENTIFICATION: APPROVED ADDRESSES SHALL BE PROVIDED FOR ALL NEW & EXISTING BUILDINGS IN LOCATIONS PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE SITE.
6. PREMISES IDENTIFICATION SHALL BE IN ACCORDANCE W/ THE 1998 CALIFORNIA FIRE CODE ARTICLE 9, SECTION 901.4.4 & 1998 CALIFORNIA BUILDING CODE, CHAPTER 5.
7. CONSTRUCTION SITE FENCING IS REQUIRED PER CITY ORDINANCE 1570.
8. FIRE DEPARTMENT ACCESS SHALL BE IN ACCORDANCE W/ THE 1998 CALIFORNIA FIRE CODE ARTICLE 9, SECTION 902.
9. ACCESS FOR FIRE FIGHTING EQUIPMENT SHALL BE PROVIDED TO THE IMMEDIATE JOB SITE AT THE START OF CONSTRUCTION & MAINTAINED THROUGH COMPLETION OF CONSTRUCTION.
10. N/A
11. SITE FIRE PROTECTION IS REQUIRED: PROVIDE GARDEN HOSES ON CONSTRUCTION SITE EQUIPPED W/ AN ADJUSTABLE SPRAY NOZZLE CAPABLE OF REACHING ALL COMBUSTIBLE CONSTRUCTION.
12. ALL BUILDING CONSTRUCTION & LANDSCAPING SHALL BE IN ACCORDANCE W/ THE 1987 URBAN WILDLAND INTERFACE CODE.
13. A PM 10 (DUST CONTROL) PLAN SHALL BE SUBMITTED TO & APPROVED BY THE BUILDING DIVISION PRIOR TO APPROVAL OF THE GRADING PLAN. THE GRADING PLAN SHALL ALSO BE APPROVED BY THE CITY ENGINEER PRIOR TO THE ISSUANCE OF ANY GRADING OR BUILDING PERMITS.
14. APPLICANTS FOR GRADING PERMITS INVOLVING A GRADING PLAN & IMPORTATION OR EXPORTATION OF SOIL WILL BE REQUIRED TO PRESENT A CLEARANCE DOCUMENT FROM A DEPT. OF FOOD & AGRICULTURE REPRESENTATIVE IN THE FORM OF AN APPROVED "NOTIFICATION OF INTENT TO MOVE SOIL FROM OR WITHIN QUARANTINED AREAS OF RIVERSIDE COUNTY (RIFA FORM CA-1) OR OBTAIN A VERBAL RELEASE FROM THAT OFFICE PRIOR TO THE ISSUANCE OF GRADING PERMIT (OFFICE #760.776.8208)
15. ANY UTILITY CUTS IN OFF-SITE PAVEMENT SHALL RECEIVE TRENCH REPLACEMENT PAVEMENT TO MATCH EXISTING PAVEMENT PLUS ONE ADDITIONAL INCH. SEE CITY STANDARD DRAWING No. 115. PAVEMENT SHALL BE RESTORED TO A SMOOTH RIDEABLE SURFACE.
16. THE DEVELOPER SHALL ACCEPT ALL FLOWS IMPINGING UPON HIS LAND AND CONDUCT THESE FLOWS TO APPROVED DRAINAGE STRUCTURES.
17. THE DEVELOPER SHALL TAKE EVERY PRECAUTION NEEDED TO "PROTECT-IN-PLACE" ANY EXISTING WHITEWATER MUTUAL WATER CO. WATER LINES THAT MAY TRAVERSE THE PROJECT.
18. NOTHING SHALL BE CONSTRUCTED OR PLANTED IN THE CORNER CUT-OFF AREA OF ANY DRIVEWAY WHICH DOES OR WILL EXCEED THE HEIGHT REQUIRED TO MAINTAIN AN APPROPRIATE SITE LINE PER CITY STANDARD DRAWING No. 203.
19. ALL PROPOSED TREES WITHIN THE PUBLIC RIGHT-OF-WAY AND WITHIN 10 FEET OF A PUBLIC SIDEWALK AND/OR CURB SHALL HAVE CITY APPROVED DEEP ROOT BARRIERS INSTALLED PER CITY ENGINEERING SPECIFICATIONS.
20. ALL PROPOSED UTILITY LINES ON OR ADJACENT TO THIS PROJECT SHALL BE UNDERGROUND.

SCHEDULE OF DRAWINGS

- A0.0 TITLE SHEET, VICINITY, LOCATION PLAN, BUILDING INFO., SCHEDULE OF DWGS., SYMBOLS & GENERAL NOTES
ARCHITECTURAL
A0.1 DEMOLITION SITE PLAN
A0.2 EXISTING PHOTOGRAPHS W/ DEMO NOTES1
A0.3 EXISTING PHOTOGRAPHS W/ DEMO NOTES2
A1.0 REMODELED SITE PLAN
A1.1 DEMO PLAN W/ REMODELED PLAN
A2.0 ELEVATIONS

GENERAL PROJECT INFORMATION:

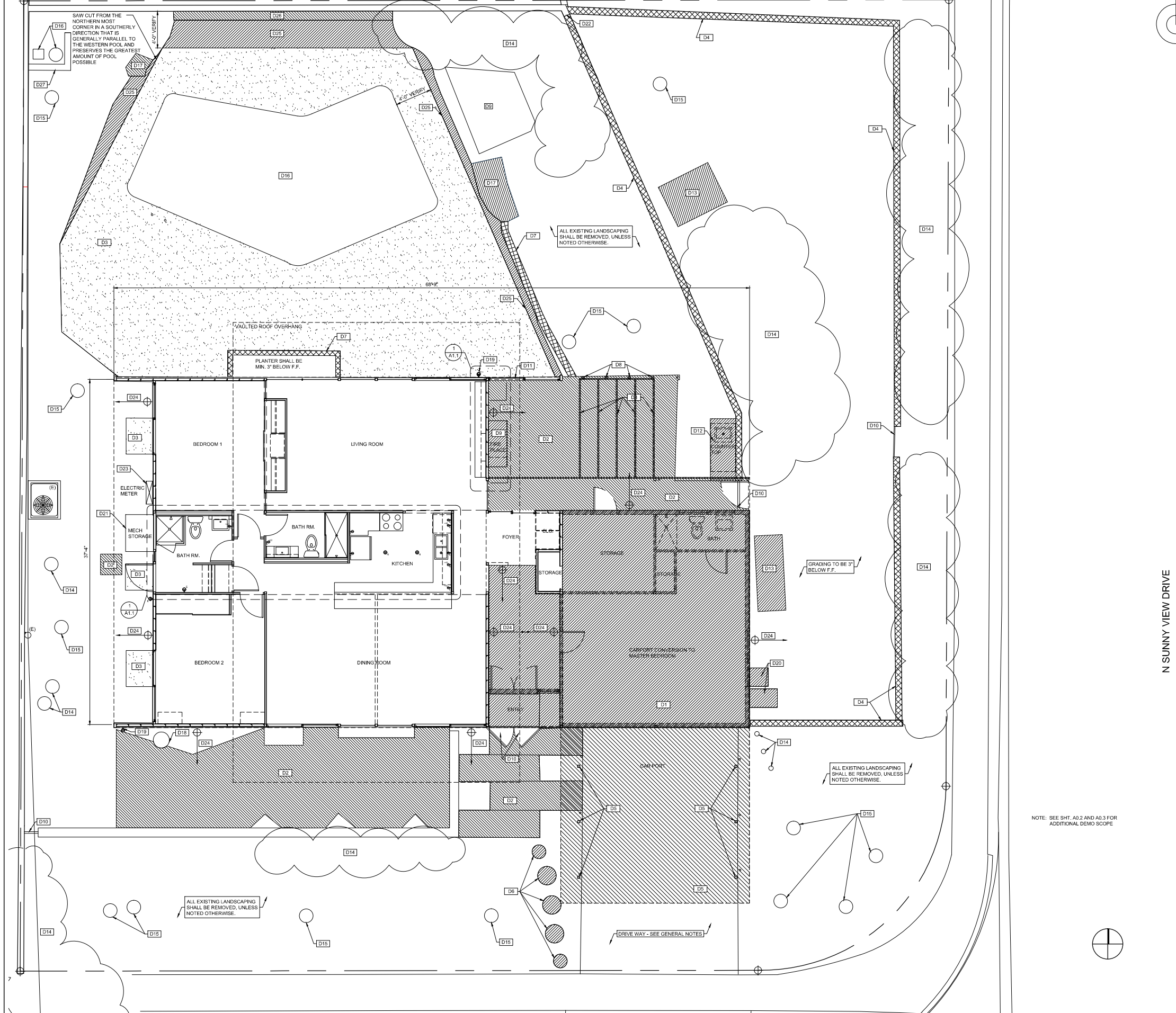
OWNER: MANLY RESIDENCE 290 E SIMMS ROAD PALM SPRINGS, CA 92262
ARCHITECT: O2 ARCHITECTURE 1088 NORTH PALM CANYON DRIVE, SUITE B PALM SPRINGS, CA 92262
SITE INFORMATION: LEGAL DESCRIPTION: LOT 1 TRACT NUMBER 2085, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, PER M.B. 041-050
ASSESSOR'S PARCEL NUMBER: 501.031.012
OCCUPANCY: SINGLE FAMILY RESIDENCE
ZONING: R-1-C
TYPE OF CONSTRUCTION: TYPE V-B, NA/NA
LOT SIZE: 10,400 S.F.
SPRINKLERS:
STORIES: ONE
APPLICABLE CODES: 2010 CALIFORNIA BUILDING CODE (BASED ON 2009 IBC) 2010 CALIFORNIA MECHANICAL CODE (BASED ON 2009 UMC) 2010 CALIFORNIA PLUMBING CODE (BASED ON 2009 UPC) 2010 CALIFORNIA ELECTRICAL CODE (BASED ON 2008 NEC) 2010 ENERGY CODE (2010 ENERGY STANDARDS) 2010 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE 2010 CALIFORNIA FIRE CODE 2010 CALIFORNIA RESIDENTIAL CODE (2009 IRC) 2009 ENERGY STANDARDS

SCOPE OF WORK: DEMOLITION OF EXISTING CARPORT CONVERSION AND EXTERIOR MARKED CMU WALLS - REMODEL OF FRONT YARD TO INCLUDE CARPORT, HARDSCAPE, LANDSCAPE - CONSTRUCTION OF NEW POURED IN PLACE CONCRETE WALLS IN FRONT AND SIDE YARD - INTERIOR REMODEL OF KITCHEN AND TWO BATHROOMS - NEW INTERIOR FINISHES THROUGHOUT

Table with columns for DATE, SCALE, and SHEET NO. (1 of 1)

SHEET DESCRIPTION COVER SHEET SCALE: AS NOTED DATE: 11.26.13 A0.0

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- GENERAL SITE DEMOLITION NOTES**
1. ADEQUATELY PROTECT ALL SURFACES ADJACENT TO DEMOLITION OPERATIONS
 2. SEE SHEET A1.1 DET 1 FOR ADDITIONAL INTERIOR DEMO SCOPE
 3. AFTER DEMO OF NON-ORIGINAL ELEMENTS, ARCHITECT AND CONTRACTOR TO ASSESS EXISTING CONCRETE SLAB OF THE GARPORT AND THE DRIVEWAY. TO MAKE RECOMMENDATIONS FOR REHABILITATION OR REMOVAL OF SLAB(S)
 4. EXISTING GRADING AROUND THE HOUSE SHALL BE REMOVED DOWN TO 3" BELOW FINISHED FLOOR AND PROVIDE DRAINAGE AWAY FROM THE HOUSE

- SITE DEMOLITION KEY NOTES**
- D01 PORTION OF EXISTING NON-ORIGINAL CARPORT CONVERSION SHALL BE DEMOLISHED (SEE DEMO FLOOR PLAN SHT. A1.1 DET 1)
 - D02 EXISTING CONCRETE SLAB SHALL BE DEMOLISHED
 - D03 EXISTING HARDSCAPE TO REMAIN (EXCEPT AS INDICATED)
 - D04 REMOVE EXISTING PORTION OF CMU WALL
 - D05 EXISTING NON-ORIGINAL CARPORT STRUCTURE SHALL BE REMOVED
 - D06 EXISTING STEP STONES SHALL BE STOCKPILED FOR INSTALLATION NORTH OF CARPORT. SEE SHT A1.0; NOTE X-3
 - D07 PLANTER WALL TO BE DEMOLISHED
 - D08 CAREFULLY REMOVE ALL ELEMENTS OF EXISTING WOODEN TRELLIS SYSTEM, ALONG WITH EXISTING WOODEN BEAMS AND COLUMNS UNDERNEATH
 - D09 EXISTING FIREPLACE AND CHIMNEY SHALL BE CAREFULLY DEMOLISHED
 - D10 EXISTING STEEL GATE(S) SHALL BE REMOVED
 - D11 EXISTING SLIDING GLASS DOOR SHALL BE CAREFULLY REMOVED
 - D12 EXISTING COUNTER TOP AND WALLS SHALL BE REMOVED
 - D13 EXISTING SHED(S) SHALL BE REMOVED
 - D14 PLANT MATERIAL SHALL BE REMOVED
 - D15 PALM TREE(S) TO REMAIN
 - D16 EXISTING POOL AND EQUIPMENT TO REMAIN
 - D17 EXISTING BOULDER SHALL BE STOCKPILED AND RELOCATED (TBD)
 - D18 GAS METER TO REMAIN IN PLACE
 - D19 LIGHT FIXTURE SHALL BE REMOVED CAREFULLY
 - D20 AS PART OF OVERALL NON-ORIGINAL CARPORT CONVERSION, EXISTING WALL MOUNTED A/C UNIT AND CONDENSING UNIT SHALL BE REMOVED
 - D21 DAMAGED MECHANICAL STORAGE PANELS TO BE REFURBISHED
 - D22 CLEANLY SAWCUT JOINT AT NEAREST VERTICAL JOINT (ABOUT 8" IN LENGTH FROM THE PROJECTION OF THE CMU WALL)
 - D23 EXISTING ELECTRIC METER SHALL BE RELOCATED (TBD)
 - D24 EXISTING GRADE AT SLAB EDGE SHALL BE MIN 3" BELOW F.F. AND SLOPE 1/4" PER FOOT TO RECONTOURED SITE DRAINAGE SWALES
 - D25 NEATLY SAWCUT CONCRETE PARALLEL TO RESPECTIVE EDGES AND DEMO CONCRETE
 - D26 CONCRETE POOL WALL TO BE DEMOLISHED CAREFULLY
 - D27 EXISTING CMU WALL TO REMAIN

1 DEMO SITE PLAN
SCALE: 1/4" = 1'-0"

2 SITE DEMOLITION NOTES

o2 ARCHITECTURE
1088 N. PALM CANYON DR., STE. B
PALM SPRINGS, CA 92262
TEL: 760.778.8165
FAX: 760.406.7946
EMAIL: office@o2arch.com

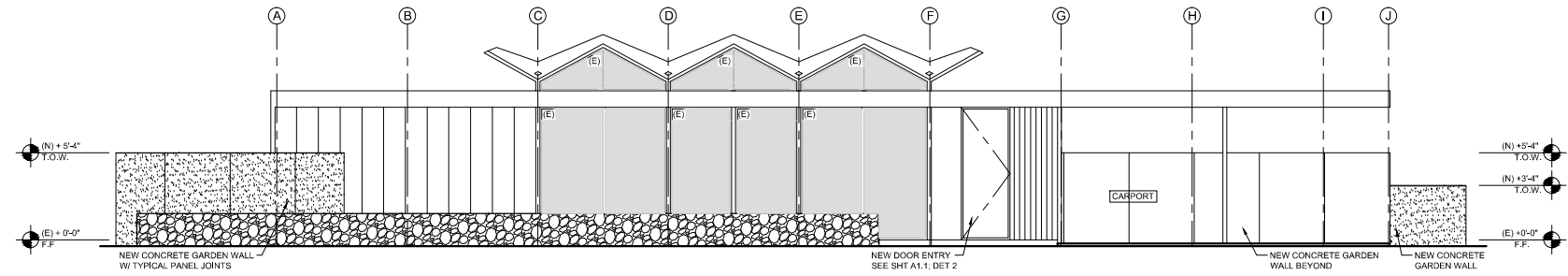
PROJECT TITLE:
WEXLER HARRISON STEEL DEVELOPMENT
HOUSE I, PHASE I
280 EAST SIMMS ROAD
PALM SPRINGS, CA 92262

NO.	DATE	DESCRIPTION	BY	CHKD.
1				
2				
3				
4				
5				
6				

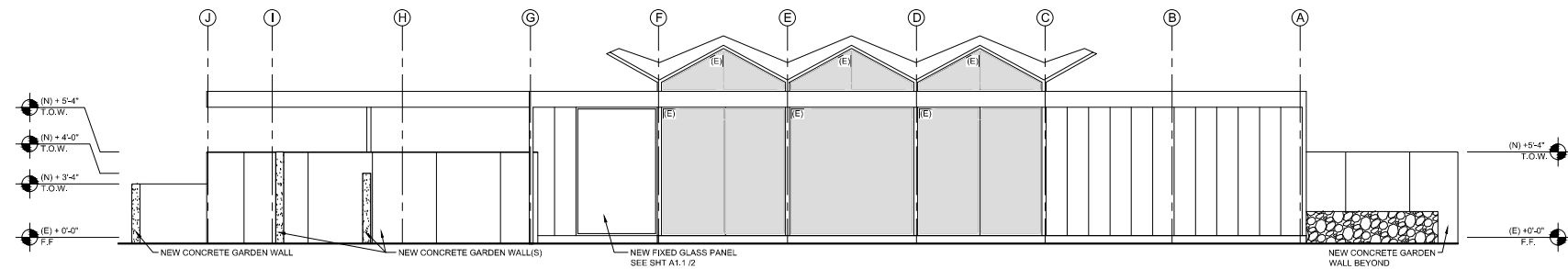
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DEMO SITE PLAN
SCALE: 1/4" = 1'-0"
DATE: 10.23.13

A0.1

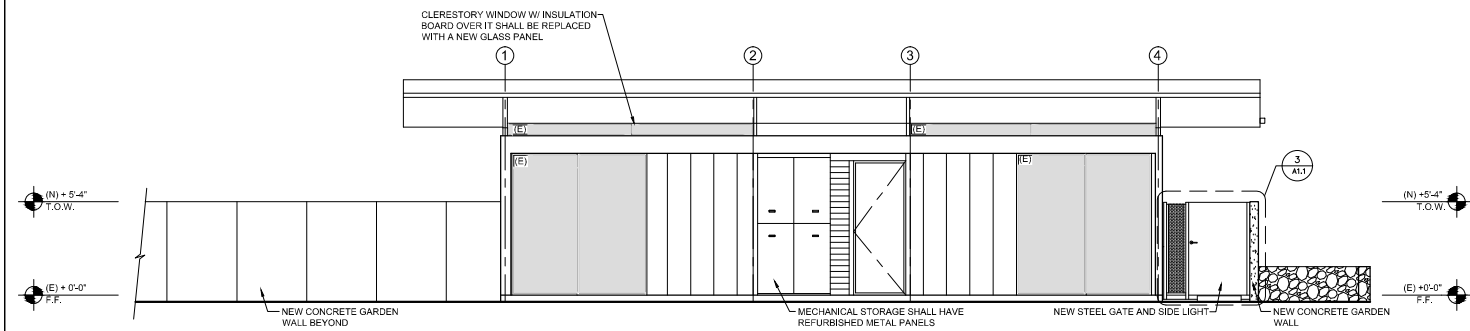
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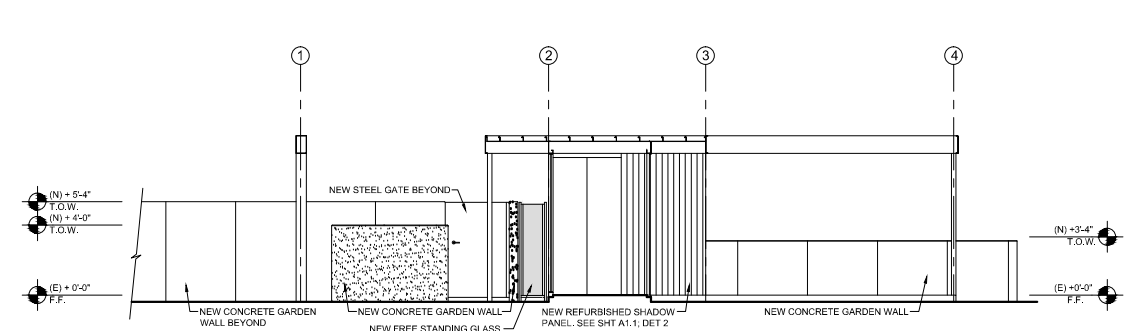
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



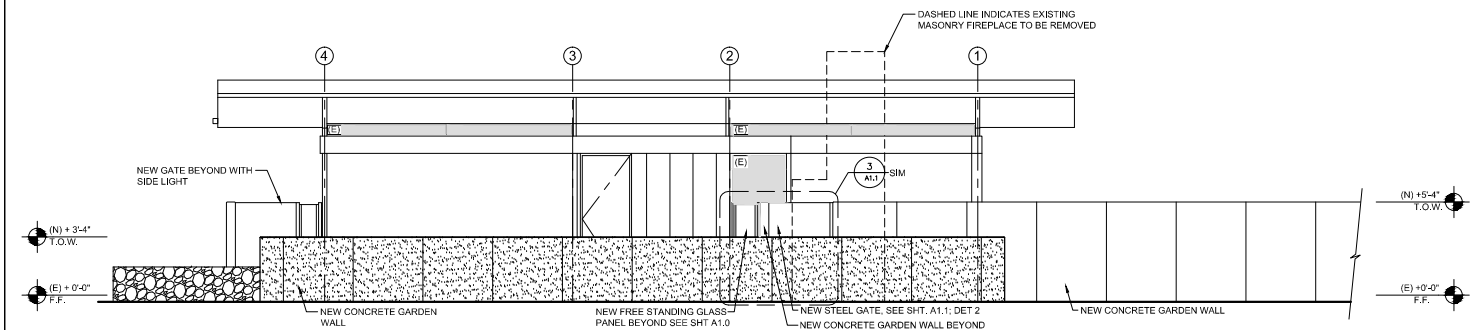
2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



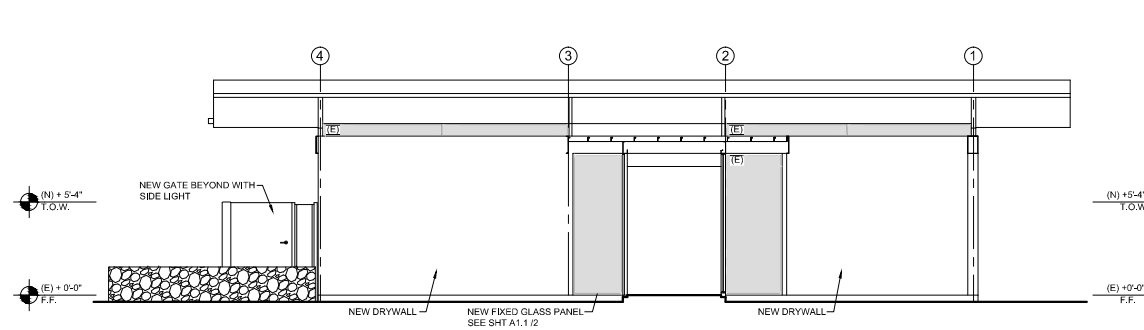
3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 A- SECTION THROUGH ENTRY
SCALE: 1/4" = 1'-0"



5 EAST ELEVATION
SCALE: 1/4" = 1'-0"



6 B- SECTION THROUGH ENTRY
SCALE: 1/4" = 1'-0"

O2 ARCHITECTURE
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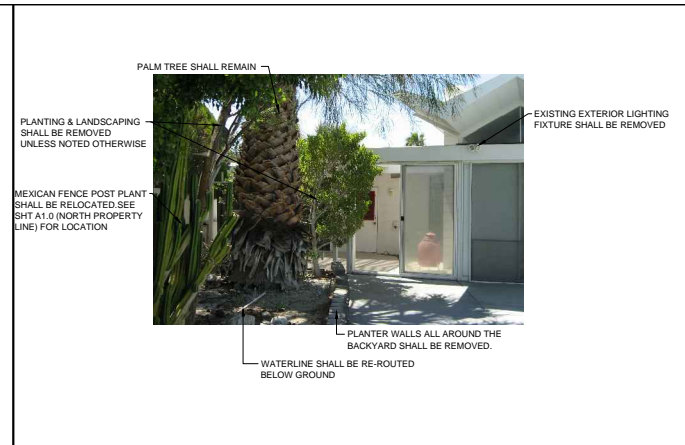
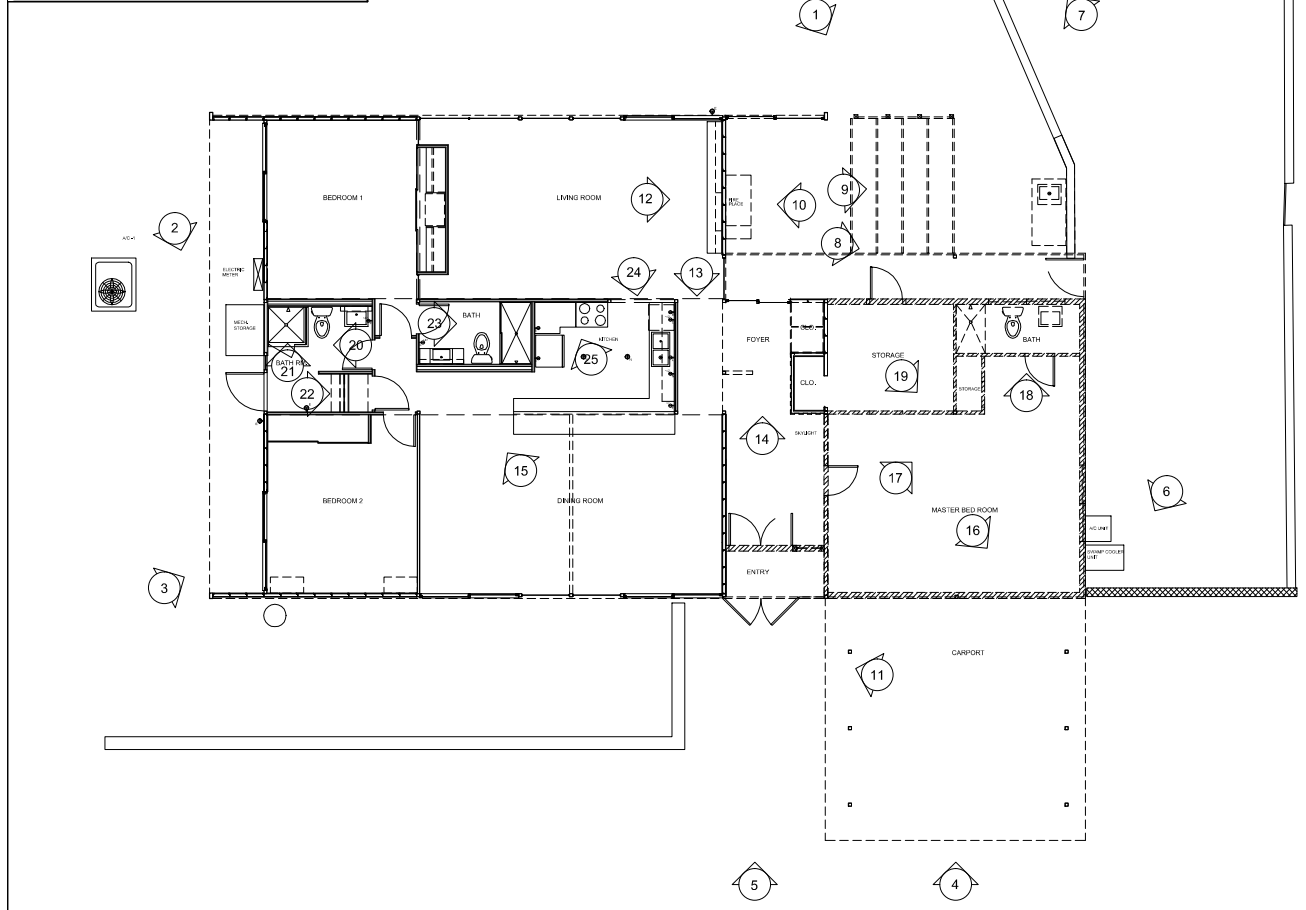
PROJECT TITLE:
WEXLER HARRISON STEEL DEVELOPMENT
HOUSE 1, PHASE I
290 EAST SIMMS ROAD
PALM SPRINGS, CA 92262

NO.	DATE	SCALE	DESCRIPTION
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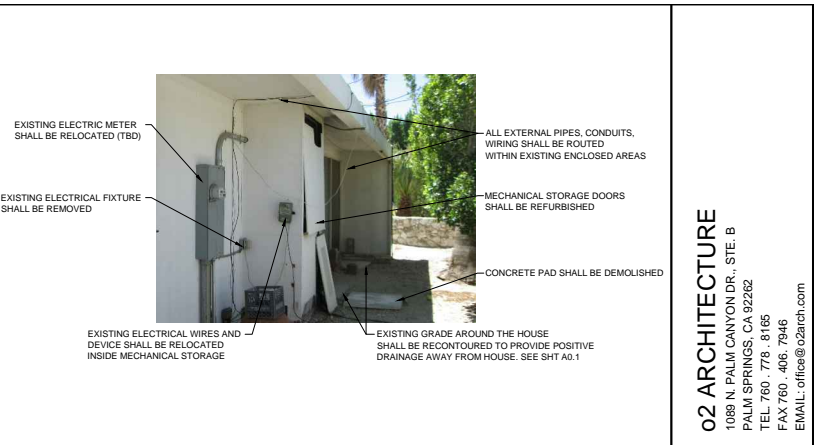
SHEET DESCRIPTION
REMODELED ELEVATIONS
SCALE: 1/4" = 1'-0"
DATE: 10.23.13

A2.0

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1 REAR VIEW EXTERIOR



2 WEST SIDE EXTERIOR- MECHANICAL

0 PHOTOGRAPHS LEGEND
N.T.S.



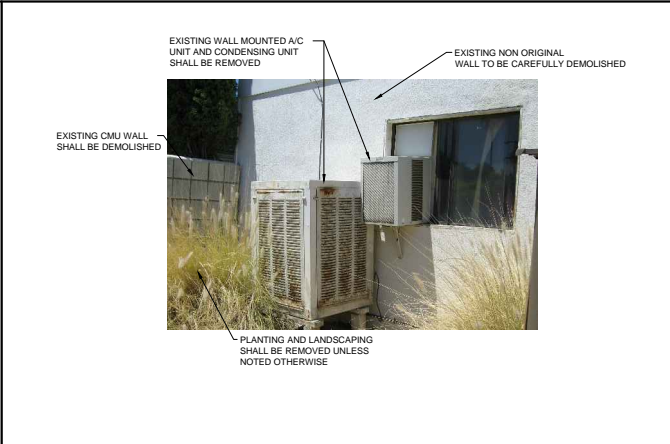
3 WEST VIEW EXTERIOR



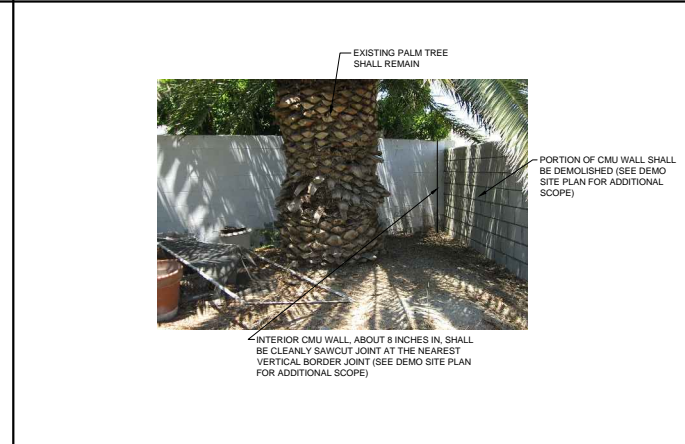
4 EXISTING CARPORT



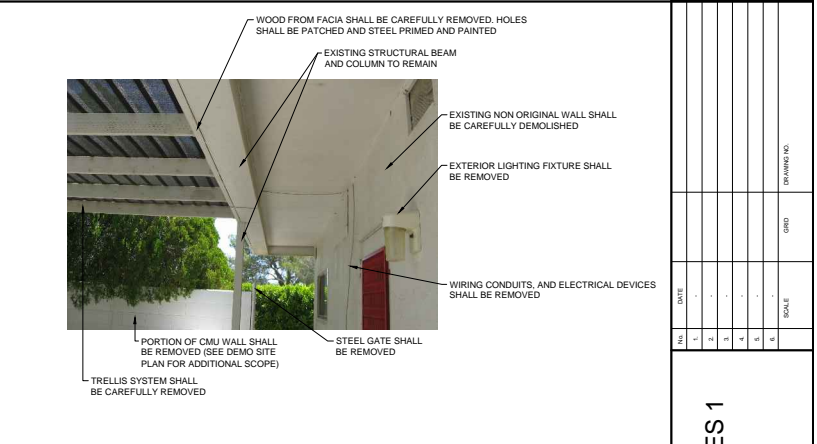
5 EXISTING ENTRY



6 EAST VIEW EXTERIOR



7 EXTERIOR ALONGSIDE NEIGHBORS' WALL



8 COLUMN- BEAM EXTERIOR



9 REAR EXTERIOR
SCALE: X" = 1'-0"



10 CHIMNEY EXTERIOR



11 EXISTING ENTRY 2



12 FIREPLACE INTERIOR

o2 ARCHITECTURE
1088 N. PALM CANYON DR., STE. B
PALM SPRINGS, CA 92262
TEL. 760.778.8165
FAX 760.406.7946
EMAIL: office@o2arch.com

PROJECT TITLE:
WEXLER HARRISON STEEL DEVELOPMENT
HOUSE I, PHASE I
290 E SIMMS ROAD
PALM SPRINGS, CA 92262

NO.	DATE	SCALE	DESCRIPTION
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SHEET DESCRIPTION
EXISTING PHOTOGRAPHS W/ DEMO NOTES 1
SCALE: AS NOTED
DATE: 10.25.13

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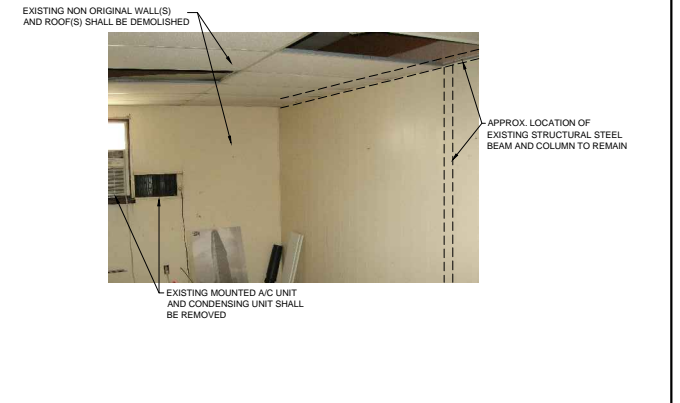
13 FOYER INTERIOR



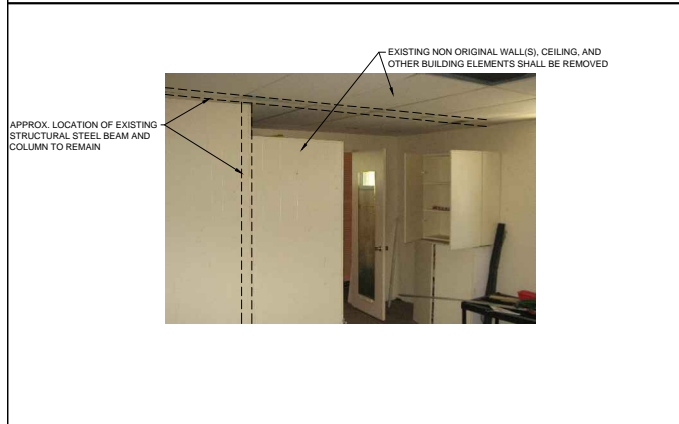
14 ENTRY FOYER



15 DINING ROOM INTERIOR



16 CARPORT CONVERSION INTERIOR



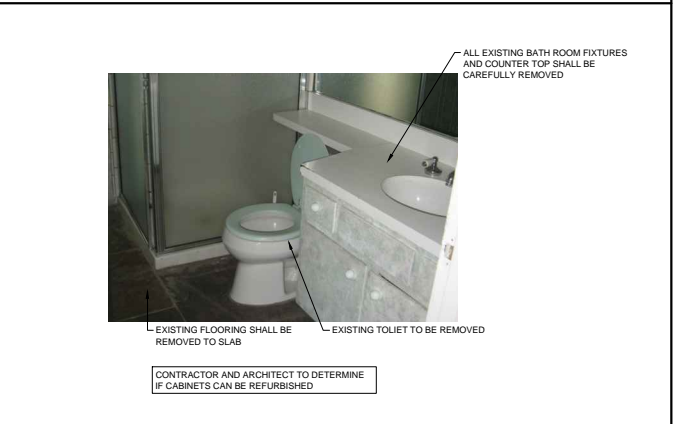
17 CARPORT CONVERSION INTERIOR 2



18 CARPORT CONVERSION BATHROOM INTERIOR



19 CARPORT CONVERSION AT STORAGE INTERIOR



20 BATHROOM 1 INTERIOR 1



21 BATHROOM 1 INTERIOR 2



22 BATHROOM 1 INTERIOR 3



23 BATHROOM 2 INTERIOR 1



24 INTERIOR KITCHEN



25 INTERIOR KITCHEN 2
SCALE: X" = 1'-0"



26 ROOF EXTERIOR 1



27 ROOF EXTERIOR 2



28 ROOF EXTERIOR 3

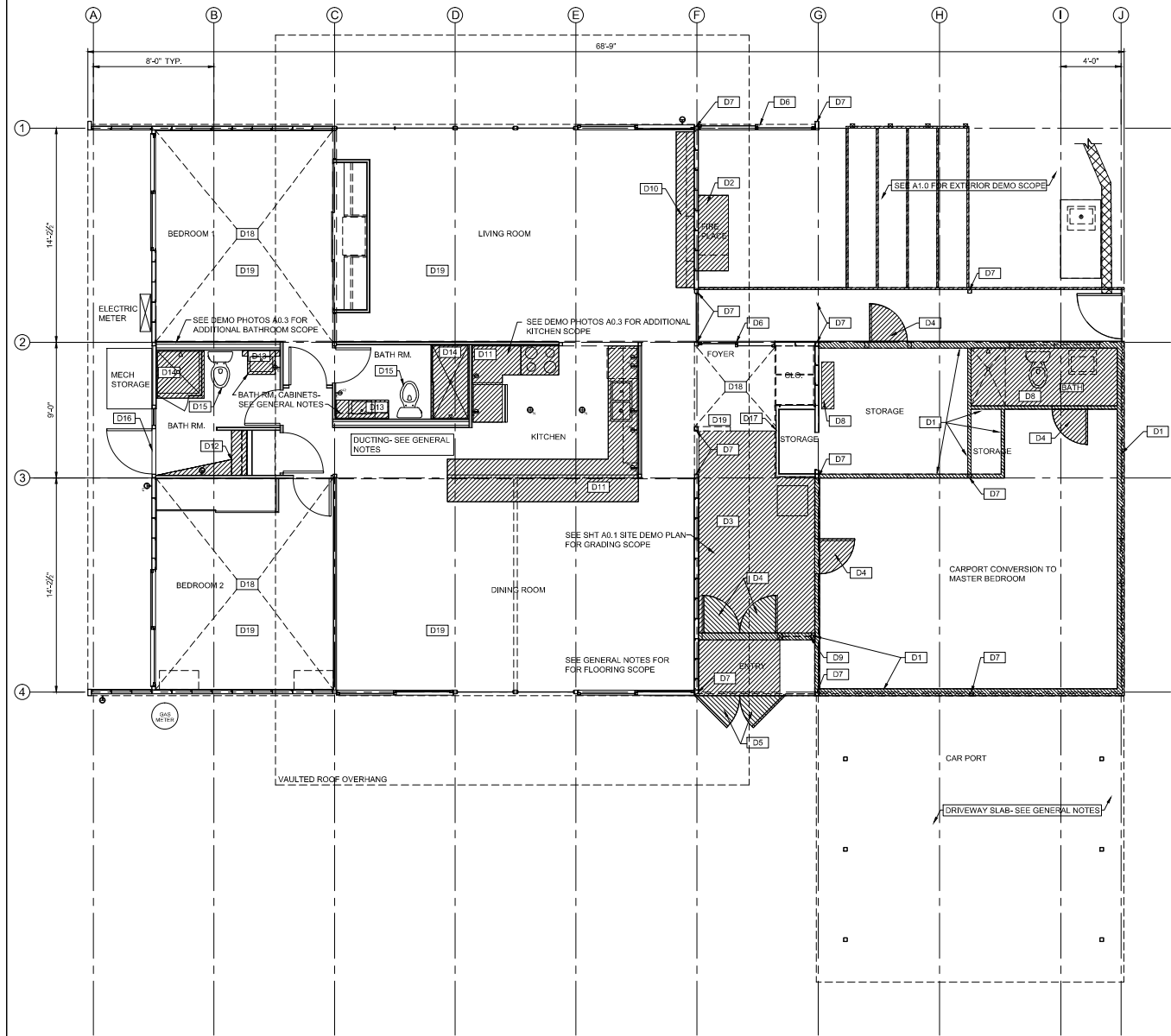
o2 ARCHITECTURE
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WEXLER HARRISON STEEL DEVELOPMENT
HOUSE I, PHASE I
290 E SIMMS ROAD
PALM SPRINGS, CA 92262

NO.	DATE	DESCRIPTION	SCALE	DATE
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SHEET DESCRIPTION
EXISTING PHOTOGRAPHS W/ DEMO NOTES 2
SCALE: AS NOTED
DATE: 10.25.13

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GENERAL DEMOLITION NOTES

1. ADEQUATELY PROTECT ALL SURFACES ADJACENT TO DEMOLITION OPERATIONS
2. ALL NEW AND EXISTING WORK THAT IS CUT INTO, ALTERED, DAMAGED, RELOCATED, OR REINSTALLED SHALL BE RESTORED TO ITS ORIGINAL CONDITION
3. PATCH, REPAIR, AND FINISH ALL SURFACES TO MATCH THEIR EXISTING ADJOINING SURFACES (U.N.O.)
4. ALL PRODUCTS OF DEMOLITION, RUBBISH, AND DEBRIS SHALL BE RECYCLED AND HAULED AWAY PROMPTLY AND LEGALLY ROUTED TO APPROVED RECYCLER BY THE CONTRACTOR. CONTRACTOR SHALL PAY ALL FEES
5. SEE SHT. A1.0 DEMO SITE PLAN FOR ADDITIONAL EXTERIOR SCOPE
6. ADJACENT RESIDENCES MUST NOT BE IMPACTED. WORK MUST ACCOMMODATE AND BE COORDINATED AS TO NOT DISRUPT RESIDENCES. PROVIDE BARRICADED, TEMPORARY ACCESS AS REQUIRED
7. CONTRACTOR AND ARCHITECT TO DETERMINE IF BATHROOM CABINETS CAN BE REFURBISHED
8. CONTRACTOR SHALL THOROUGHLY CLEAN AND ASSESS CONDITION OF EXISTING DUCT
9. ALL FLOORING TO BE STRIPPED TO THE SLAB (INCLUDING GARAGE)

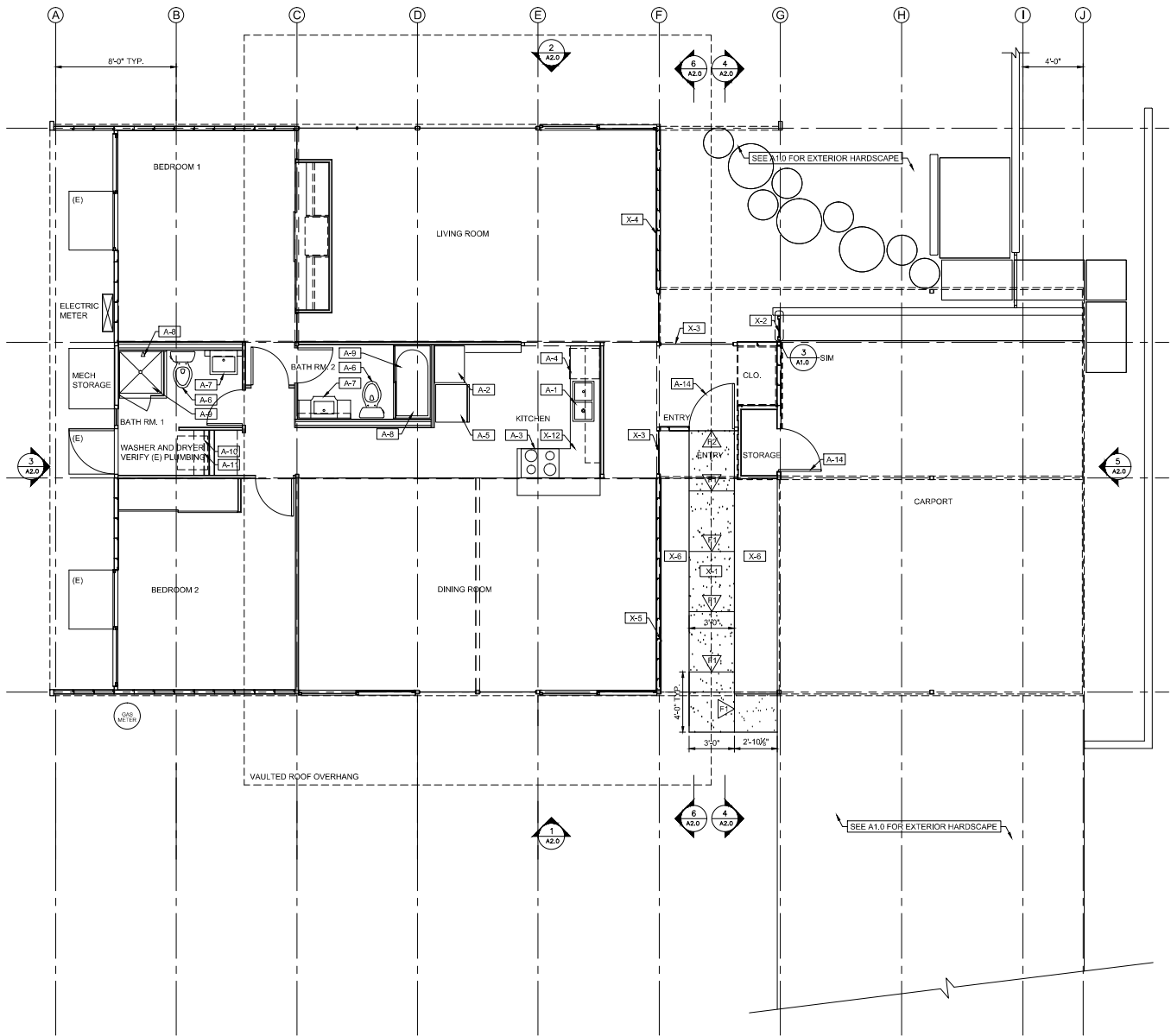
WALL LEGEND

- (E) METAL WALL PANELING W/ DRYWALL
- (E) INTERIOR WALL (METAL STUDS) W/ DRYWALL
- SHADOW PANEL W/ DRYWALL

DEMOLITION KEY NOTES

- D1 EXISTING NON ORIGINAL WALL SHALL BE CAREFULLY DEMOLISHED
- D2 FIRPLICE AND CHIMNEY SHALL BE CAREFULLY DEMOLISHED
- D3 EXISTING CONCRETE SLAB SHALL BE CAREFULLY REMOVED
- D4 EXISTING DOOR AND FRAME SHALL BE CAREFULLY REMOVED
- D5 EXISTING STEEL GATE SHALL BE CAREFULLY REMOVED
- D6 EXISTING GLASS DOOR SHALL BE CAREFULLY REMOVED
- D7 EXISTING ORIGINAL COLUMN(S) TO REMAIN
- D8 REMOVE AND CAP WASTE LINES TO NEAREST SEWER LATERAL
- D9 EXISTING FIXED GLASS PANEL SHALL BE CAREFULLY REMOVED
- D10 EXISTING HEARTH SHALL BE CAREFULLY REMOVED
- D11 EXISTING KITCHEN CABINETS, FIXTURES, APPLIANCES, COOK TOPS, SINK, REFRIGERATOR, COUNTER TOP(S) SHALL BE CAREFULLY REMOVED
- D12 EXISTING NON ORIGINAL BATHROOM CABINET(S), FIXTURES, AND MIRROR SHALL BE CAREFULLY REMOVED
- D13 EXISTING BATHROOM COUNTER TOP AND FIXTURES SHALL BE CAREFULLY REMOVED
- D14 EXISTING BATHROOM TILING AND SHOWER PAN SHALL BE CAREFULLY REMOVED
- D15 EXISTING BATHROOM TOILET SHALL BE CAREFULLY REMOVED
- D16 DOOR NEEDS TO BE SERVICED FOR FULL OPERATION
- D17 SHADOW PANEL(S) SHALL BE REFURBISHED AS REQUIRED. SEE SHT 0.3 PHOTO #14 FOR ADDITIONAL INFO
- D18 EXISTING ACOUSTICAL CEILING TILE TO BE REMOVED
- D19 DAMAGED WALLS TO BE REPLACED AS NEEDED

1 DEMOLITION FLOOR PLAN W/ DEMOLITION NOTES
SCALE: 1/4" = 1'-0"



GENERAL NOTES

1. ALL INTERIOR FLOORING SHALL RECEIVE LINOLEUM 12x12 ARMSTRONG

MATERIAL LEGEND

- X-1 NEW CONCRETE FLATWORK
- X-2 NEW NON STRUCTURAL CURTAIN WALL WITH METAL SUPPORTS
- X-3 NEW FIXED GLASS PANEL
- X-4 NEW METAL WALL PANELING W/ DRYWALL
- X-5 NEW DRY WALL
- X-6 2" DECOMPOSED GRANITE OVER HEAVY BLACK YISQUEEN AND MODIFIED GRADE
- X-7 NEW DOOR AND FRAME
- A-1 NEW KITCHEN SINK KOHLER - # K-5950-3
* FAUCET KOHLER - # K-7825-K
* HANDLES KOHLER - # K-16010-2
- A-2 REFRIGERATOR WHIRLPOOL - # E18FTEXS - WHITE
- A-3 COOKTOP FRIGIDAIRE - # FGC3054AS - WHITE
- A-4 DISHWASHER LG - # LDS4821WW
- A-5 OVEN SUMMIT - # WTM7212KW - WHITE
- A-6 NEW TOILET AMERICAN STANDARD - # 2073.014 FLOWISE
- A-7 LAVATORY SINK CRANE CHINA - # V91607103
* FAUCET KOHLER - # K-1601-2A
- A-8 SHOWER FIXTURES KOHLER - K-16068-2A
- A-9 4" X 4" FLOOR TILING
- A-10 WASHER MAYTAG - MHW2400TQ - WHITE
- A-11 DRYER MAYTAG - MED2400TQ - WHITE
- A-12 NEW KITCHEN CABINETS
- A-13 FRAMELESS MIRROR 1/4" THICK ATTACHED W/ ADHESIVE OVER PRIMED GYP. BD.
- SAW/CUT JOINT
- PAVERJOINT (1-1/2")

2 REMODELED FLOORPLAN W/ NOTES
SCALE: 1/4" = 1'-0"

o2 ARCHITECTURE
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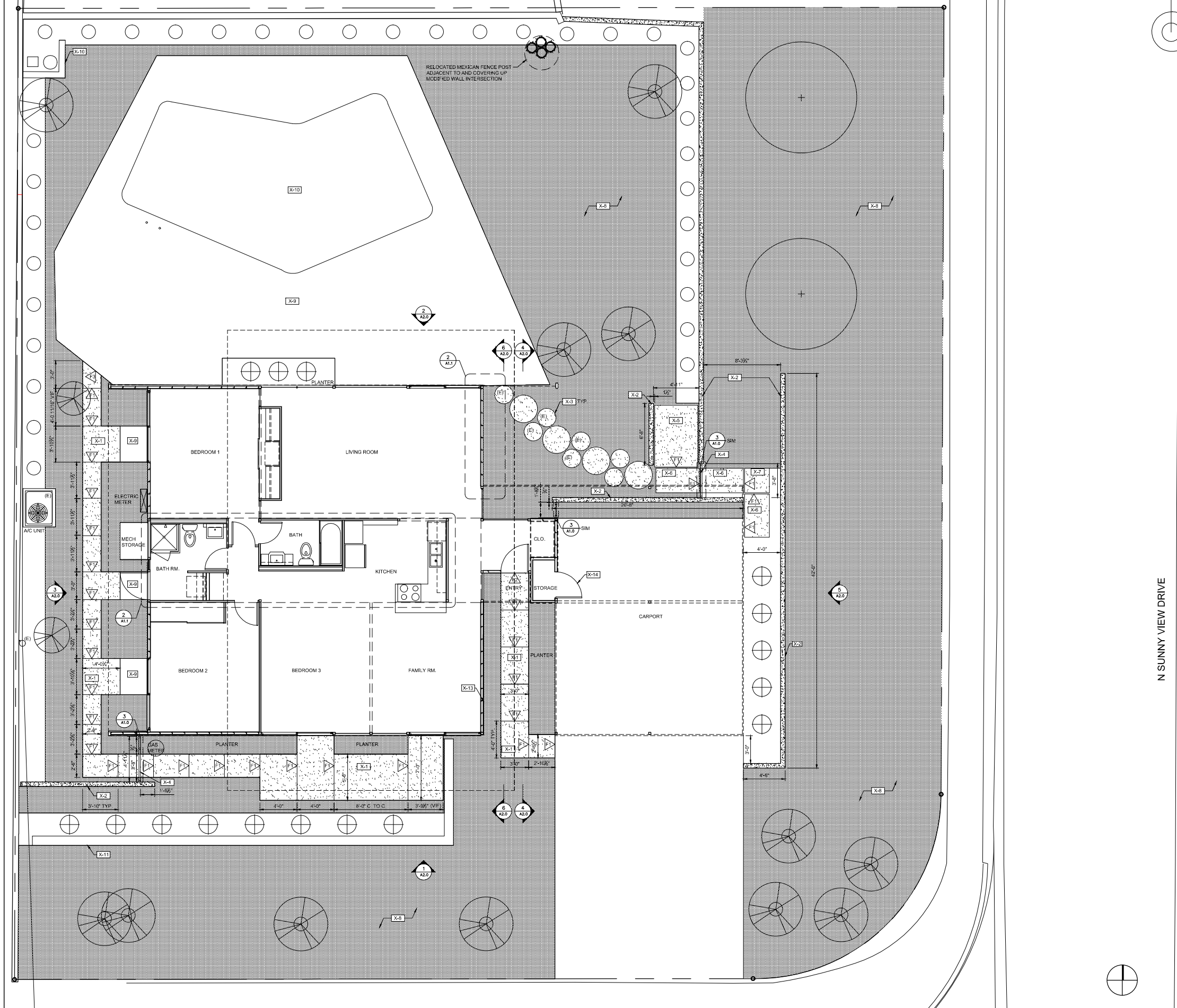
PROJECT TITLE:
WEXLER HARRISON STEEL DEVELOPMENT
HOUSE I, PHASE I
290 EAST SIMMS ROAD
PALM SPRINGS, CA 92262

NO.	DATE	DESCRIPTION	BY	CHECKED	SCALE	DRAWING NO.
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SHEET DESCRIPTION
REMODELED PLAN W/ DEMO PLAN
SCALE: 1/4" = 1'-0"
DATE: 10.23.13

A1.1

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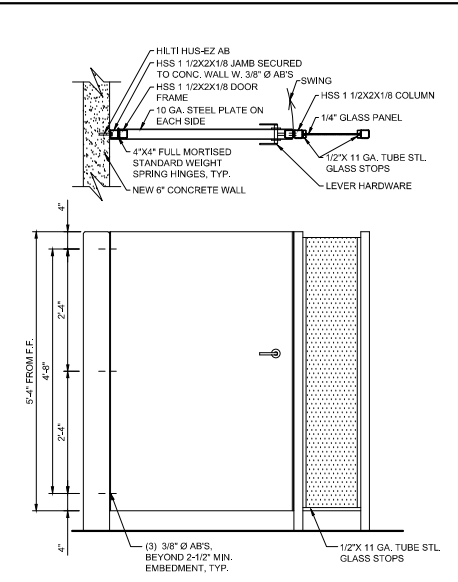


1 REMODELED SITE PLAN
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND

- X-1 NEW CONCRETE FLATWORK
- X-2 NEW POUR IN PLACE CONCRETE WALL (6" W/ 3/8" CHAMFER)
- X-3 NEW STEPPING STONES AND RELOCATED STEPPING STONES (W/ (E) (36" AND 24" DIAMETER))
- X-4 NEW STEEL GATES
- X-5 NEW CONCRETE PAD (4'-8" X 6'-8")
- X-6 NEW CONCRETE PAD(S) (4'-8" X 2'-8")
- X-7 NEW CONCRETE PAD (2'-8" X 2'-8")
- X-8 2" DIAMETER DECOMPOSED GRANITE OVER HEAVY BLACK VISQUEEN AND MODIFIED GRADE
- X-9 EXISTING HARDSCAPE
- X-10 EXISTING POOL AND EQUIPMENT
- X-11 EXISTING PATIO WALL
- X-12 NA
- X-13 NEW DRYWALL
- X-14 NEW DOOR AND FRAME
- A1 SAWCUT JOINT
- A2 PAVER JOINT (1-1/2")
- A3 EXPANSION JOINT

2 MATERIAL LEGEND
SCALE: 1/4" = 1'-0"



3 STEEL GATE DETAIL
SCALE: 3/4" = 1'-0"

PLANT LEGEND

SYMBOL	QUANTITY	NAME	PLANTING SIZE
+	(2)	MISQUITE	36"-BOX
⊕	(34)	AFRICAN SUMAC	5-GAL
○	(16)	DESERT SPOON	5-GAL

EXISTING PLANTS

⊗	(14)	PALM TREE	ALL ON SITE TO REMAIN
⊙	(1)	MEXICAN FENCEPOST CACTUS	TO BE RELOCATED AND TO REMAIN (SEE A1.1 FOR SCOPE)

NOTE: PLANT QUANTITIES CONTRACTOR TO VERIFY.

3 PLANT LEGEND
SCALE: 3/4" = 1'-0"

N SUNNY VIEW DRIVE

o2 ARCHITECTURE
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SHEET DESCRIPTION
REMODELED SITE PLAN
SCALE: 1/4" = 1'-0"
DATE: 10.23.13

A1.0
WEXLER HARRISON STEEL DEVELOPMENT