



## HISTORIC SITE PRESERVATION BOARD STAFF REPORT

DATE: December 10, 2013

SUBJECT: A CERTIFICATE OF APPROVAL REQUEST BY RAMLA USA / GYORO RESTAURANT TO ADD A ROOF TO AN OUTDOOR BAR AND A CLASS 31 CATEGORICAL EXEMPTION PURSUANT TO CEQA, AT THE OASIS COMMERCIAL BUILDING, A CLASS 1 HISTORIC SITE, AT 101-121 SOUTH PALM CANYON DRIVE, ZONE CBD, (CASE 3.1289 MAA / HSPB 55)

FROM: Department of Planning Services

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### SUMMARY

The previous proposals for a roof at the proposed outdoor bar were recommended for denial by the AAC and staff. This application includes a different design for a proposed roof over the outdoor bar in the courtyard at the Gyoro restaurant.

### RECOMMENDATION:

Approve the certificate of approval request.

### ISSUES:

- Two previous proposals for a roof at the outdoor bar were recommended for denial by the AAC, which argued that the bar roof element was not integrated sensitively with the existing architecture of the historic building, specifically the closeness to the second floor soffit and encroachment into the open courtyard.<sup>1</sup>
- The current roof design is proposed using lighter materials in a more sculptural design approach.

### BACKGROUND:

The Oasis Commercial Building was designed in 1953 by renowned local architect E. Stewart Williams in the late International style. The building, located in the heart of the Central Business District is located at the southwest corner of Tahquitz Canyon Way and South Palm Canyon Drive, both designated major thoroughfares in the City's General Plan.

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<sup>1</sup> The applicant has deleted the take-out window on the north elevation of the building and is no longer requesting to retain the existing misting system.

It is surrounded by commercial uses to the east, north and south and parking lots to the west.

Pursuant to Municipal Code Section 8.05.180, "No person may undertake any of the following within or upon a Class 1 historic site without a certificate of approval from the historic site preservation board:

- (1) Construction of a new structure;
- (2) The moving, demolition or alteration of an existing structure in any manner which affects the exterior appearance of the structure;
- (3) A change in land use which affects the exterior appearance of a structure or the interior arrangement of public buildings;
- (4) The erection, remodeling or replacing of a sign which affects the exterior appearance of a structure."

As noted in item 2, the subject project causes an alternation of the exterior appearance of the subject Class 1 and thus a Certificate of Approval from the HSPB is required.

<i>Related/Relevant City Actions by Planning, Fire, Building, etc.</i>	
January 22, 2007	MAA staff approval of modifications for outdoor dining for Okura Restaurant
August 20, 2007	MAA staff approval of further modifications for outdoor dining for Okura Restaurant
April 10, 2010	City Council Class 1 designation, identifying specific elements as historic defining features of the site including: the upper level, defined by the lower edge of the first level exterior soffit, the window cases on the south and west elevations, the staircase on the rear (west) elevation, and the columns supporting the second story fronting S. Palm Canyon Drive.
April 28, 2010	Planning Commission approval of sign program (SP 10-001) for the Oasis Building.
June 12, 2012	HSPB certificate of approval to renovate, repaint, and restore elements of the Oasis Commercial Building.
June 10, 2013	AAC request for restudy for Gyoro Restaurant TI
June 11, 2013	HSPB certificate of approval for Case HSPB 55 / 3.1289 MAA; Gyoro Restaurant
July 22, 2013	AAC recommendation for approval with conditions.
August 5, 2013	Staff approval of Land Use Permit LUP 13-027 for Gyoro Restaurant.
August 5, 2013	Staff approval of Case 3.1289 MAA with conditions.
October 21, 2013	AAC voted unanimously to recommend denial of the revised bar roof, the take-out window and the request to retain the existing misting system on the lower edge of the upper story soffit.

<i>Neighborhood Meeting</i>	
None	

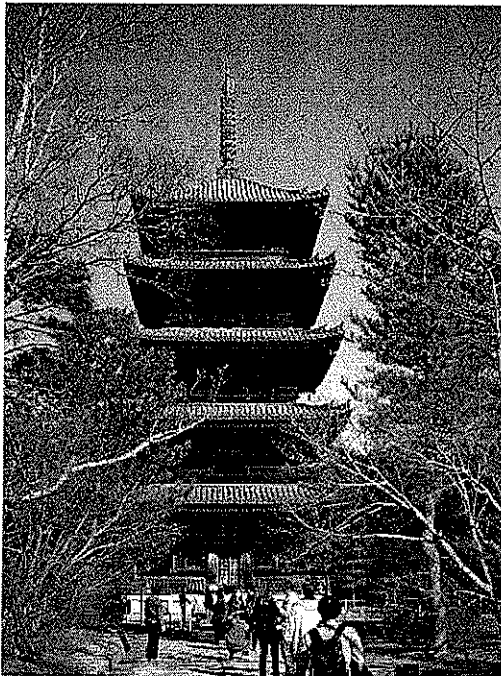
<i>Ownership Status</i>	
2004	Purchase by Brandenburg Oasis LLC

**ANALYSIS:**

**Bar Roof.** The present design is substantially different from the previous design in that it proposes a roof that is in complete contrast to the architecture of the Oasis Building.

The current design proposes a roof that is sculptural in its form, using thin translucent panels that are curved and illuminated at night, and a structural system that is thinner and lighter in its aesthetic.

In previous submittals, the bar roof was a heavy, rectilinear architectural element that was located close to the upper soffit and visually “competed” with the rectilinear geometry of the Oasis Building and the open feel of the courtyard. The current proposal takes an entirely different approach, creating a roof that appears more as a modern “piece of sculpture”, than an architectural roof surface. Mounted on thin columns with an upward sweep in its form at the corners, the translucent material expresses a modern, abstract version of traditional Japanese pagoda roof forms.



EXAMPLE OF JAPANESE PAGODA ROOF



EXAMPLE OF CURVED TRANSLUCENT ROOF



EXAMPLE OF CURVED TRANSLUCENT ROOF

The west edge of the proposed bar roof is beneath the existing soffit. The proposed roof is held low and flat, and significantly further away from the underside of the existing stucco soffit of the building than previous proposals. As the bar roof extends out into the courtyard, the surface lifts upward in a compound curve. This upward form gives the roof a light, airy appearance; somewhat like of a piece of paper lifted by the wind and reminiscent of the upturned roof form of a Japanese pagoda. At night, LED lighting

integrated into the structural posts and beams, will allow the translucent panels to glow, further adding to the sculptural quality of the design.

By expressing the bar roof as a sculptural element rather than a heavy architectural roof, staff believes it is more successful in its design. It appears as an artful "sculptural object" in the space rather than appearing like a "concession stand" pushed into the courtyard.

#### Review of the proposal against the Historic Preservation Ordinance.

There are no specific findings required for Certificates of Approval, however, pursuant to Municipal Code Section 8.05.190, the Board shall consider the following in reviewing and acting upon a certificate of approval application:

- (1) The historic value and significance, or the architectural value and significance or both, of the structure and its relation to the historic value of the surrounding area;

The Oasis Commercial Building reflects the mature style of a master architect from the mid-century modern period, E. Stewart Williams. The historic value of the building has been identified in City Council Resolution 22699 in which its Class 1 defining features are noted to be: (a) the upper story, defined by the lower edge of the first level exterior soffit, (b) the window cases on the south and west elevations, (c) the staircase on the rear (west) elevation, and (d) the columns supporting the second story fronting South Palm Canyon Drive.

The application proposes a bar roof that is sculptural and in contrast with the architecture of the existing historic building. It is proposed in a thin, translucent material with low profile structural elements. The bar roof at the west edge of the bar is a significant distance below the historic soffit of the existing building. As it extends into the courtyard, it lifts up in a compound curve. Its relation to the historic value of the existing building is respectful and appropriate.

- (2) The relationship of the exterior architectural features of any structure to the rest of the structure itself and to the surrounding area;

The exterior bar roof is proposed in thin, translucent panels with soft curving lines. This roof structure reads as a sculptural element while providing functional cover to the bar. By creating a bar roof in complete contrast with the existing historic building, the proposal creates a complementary relationship between the historic elements and the new roof.

- (3) The general compatibility of exterior design, arrangement, texture and material which is proposed by the applicant;

The material and design of the bar roof with thin translucent panels with compound curves and thin structural elements are compatible with the existing architecture of the Oasis Building. The roof appears as an artful "sculptural object" in the space rather than the previous proposals that appeared like a "concession stand" pushed into the courtyard.

- (4) Archaeological or ecological significance of the area.

The proposed project does not impact any known archaeological or ecological significance of the site.

Staff believes the proposed modifications meet the guidelines for granting a certificate of approval by the HSPB.

#### ENVIRONMENTAL ASSESSMENT

The proposed tenant improvement is deemed a Project under the guidelines of the California Environmental Quality Act (CEQA). Pursuant to Section 15064.5 "Determining the Significance of Impacts on Historical and Unique Archeological Resources", the Oasis Commercial Building is a "historic resource" under CEQA because it is listed in the local register of historic resources (Class 1, HSPB No. 55) for the historic defining characteristics that include: (1) the upper story, defined by the lower edge of the first level exterior soffit; (2) the window cases on the south and west elevations, (3) the exterior stair at the northwest corner of the building; (4) the columns supporting the second story fronting South Palm Canyon Drive.

According to CEQA, a project with an effect that may cause a "substantial adverse change" in the significance of a historical resource is a project that may have a "significant effect" on that resource. "Substantial adverse change" includes alteration of the immediate surroundings of the historic resource such that the significance of the resource would be materially impaired.

The proposed project affects the immediate surroundings by introducing a contrasting element (the bar roof) into the open courtyard of the building. Its thin profile allows it to be held a comfortable distance from the historic soffit element. CEQA allows for a Class 31 Categorical Exemption (*Historical Resource Restoration / Rehabilitation*) for projects involving maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer.

Consistent with the Secretary of the Interior Standards, the proposed bar roof does not attempt to replicate or mimic the characteristics of the existing building, but rather are complementary and in contrast with the existing building. The project does impact the

building, but not to the level of “a substantial adverse change” nor do they “materially impair” the significance of these historic resources or elements of the building. Staff therefore proposes a Class 31 Categorical Exemption for the project.

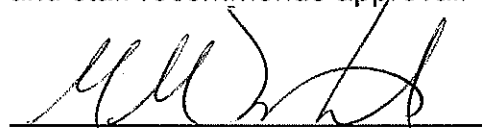
CONCLUSION:

The applicant has put considerable effort into understanding the importance of the historic significance of the Oasis Commercial Building and conceived of a roof for the outdoor bar that is sculptural in its appearance and respectful of the historic defining characteristics of the site. The current roof proposal is thin, light in its appearance, in contrast with the existing building. It is soft in its lines and the subtle, abstract reference to traditional Japanese pagoda roof structures is clever and appropriate for the proposed Japanese-cuisine restaurant. It appears that the proposed roof will have a very attractive quality when illuminated at night and staff recommends approval.



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Ken Lyon, RA  
Associate Planner



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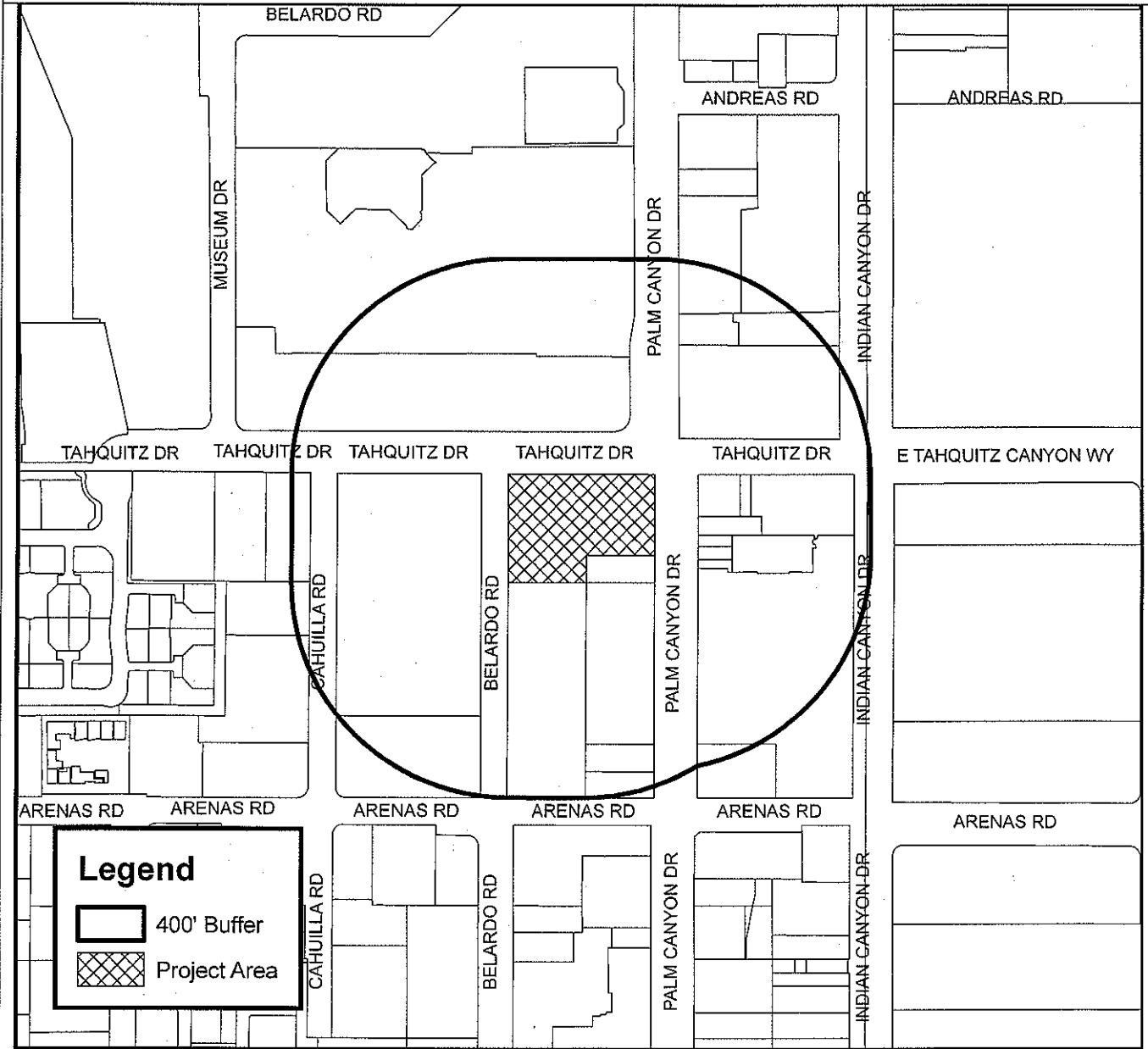
M. Margo Wheeler, AICP  
Director of Planning Services

Attachments:



1. Vicinity Map.
2. Reduced Plans dated November 13, 2013.



# Department of Planning Services Vicinity Map



**Legend**

-  400' Buffer
-  Project Area

## CITY OF PALM SPRINGS

**CASE NO:** 3.1289 MAA / HSPB #55  
"The Oasis Commercial Building"

**APPLICANT:** Ramla USA, Inc / Gyoro Restaurant

**DESCRIPTION:** Proposed roof at outdoor bar and other modifications for tenant improvement for Gyoro Restaurant located at "The Oasis Commercial Building" at 101-121 South Palm Canyon Drive, a Class 1 Historic Site.

# MINOR ARCHITECTURAL APPLICATION

**Gyoro Gyoro**  **IZAKAYA JAPONAISE**

**105 S. Palm Canyon Drive  
Palm Springs**

**-ARCHITECTURAL UPDATES**

**REVISION: NOVEMBER 13, 2013**

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DEPARTMENT

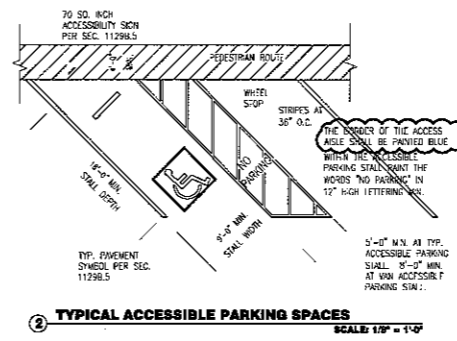


**FIRE NOTES:**

1. CONSTRUCTION & DEMOLITION: STRUCTURES IN THE COURSE OF CONSTRUCTION, ALTERATION OR DEMOLITION SHALL COMPLY WITH CHAPTER 14 OF THE 2010 CALIFORNIA FIRE CODE & NFPA 241.
2. GROUP A FIRE & SAFETY EVACUATION PLANS (CFC 404.2), AN APPROVED FIRE & SAFETY EVACUATION PLAN SHALL BE PREPARED & MAINTAINED FOR GROUP A OCCUPANCIES AND BUILDINGS.
3. LIST MAJOR FIRE HAZARDS ASSOCIATED WITH THE NORMAL USE AND OCCUPANCY OF THE PREMISES, INCLUDING MAINTENANCE & HOUSE KEEPING PROCEDURES.
4. IDENTIFY & ASSIGN PERSONNEL RESPONSIBLE FOR MAINTENANCE OF SYSTEMS & EQUIPMENT INSTALLED TO PREVENT OR CONTROL FIRES.
5. IDENTIFY & ASSIGN PERSONNEL RESPONSIBLE FOR MAINTENANCE HOUSEKEEPING AND CONTROLLING FUEL HAZARD SOURCES.
6. MAINTENANCE (CFC 404.4) FIRE SAFETY AND EVACUATION PLANS SHALL BE REVIEWED OR UPDATING ANNUALLY OR AS NECESSITATED BY CHANGES IN STAFF ASSIGNMENTS, OCCUPANCY OR PHYSICAL ARRANGEMENT OF THE BUILDING.
7. AVAILABILITY (CFC 404.5) FIRE SAFETY & EVACUATION PLANS SHALL BE AVAILABLE IN THE WORKPLACE FOR REFERENCE AND REVIEW BY EMPLOYEES AND SHALL BE FURNISHED TO THE FIRE CODE OFFICIAL FOR REVIEW UPON REQUEST.

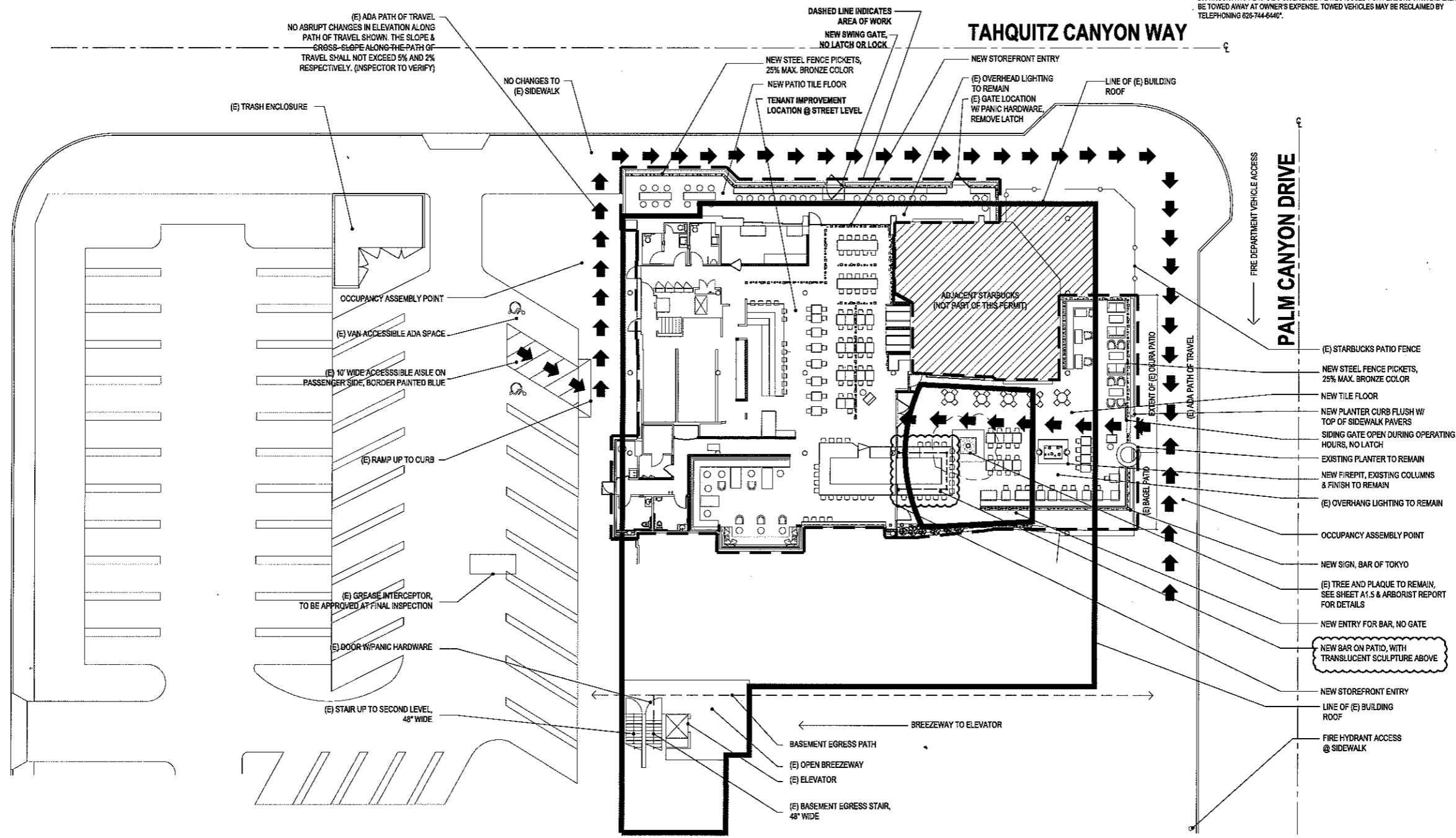
8. GENERAL (CFC 405.1) EMERGENCY EVACUATION DRILLS COMPLYING WITH THE PROVISIONS OF THIS SECTION SHALL BE CONDUCTED AT LEAST ANNUALLY IN THE OCCUPANCIES LISTED IN SECTION 404.2 OR WHEN REQUIRED BY THE FIRE CODE OFFICIAL. DRILLS SHALL BE DESIGNED IN COOPERATION WITH THE LOCAL AUTHORITIES.
9. FREQUENCY (CFC 405.2) REQUIRED EMERGENCY EVACUATION DRILLS SHALL BE HELD AT THE INTERVALS SPECIFIED IN TABLE 405.2 OR MORE FREQUENTLY WHERE NECESSARY TO FAMILIARIZE ALL OCCUPANTS WITH DRILL PROCEDURES.
10. LEADERSHIP (CFC 405.3) RESPONSIBILITY FOR THE PLANNING & CONDUCT OF DRILLS SHALL BE ASSIGNED TO COMPETENT PERSONS DESIGNATED TO EXERCISE LEADERSHIP.
11. TIME (CFC 405.4) DRILLS SHALL BE HELD AT UNEXPECTED TIMES & UNDER VARYING CONDITIONS TO SIMULATE THE UNUSUAL THAT OCCUR IN CASE OF FIRE.
12. GENERAL (CFC 406.1) EMPLOYEES IN THE OCCUPANTS LISTED IN SECTION 404.2 SHALL BE TRAINED IN FIRE EMERGENCY PROCEDURES DESCRIBED IN THEIR FIRE EVACUATION & FIRE SAFETY PLANS. TRAINING SHALL BE BASED ON THESE PLANS & AS DESCRIBED IN SECTION 404.3.
13. FREQUENCY (CFC 406.2) EMPLOYEES SHALL RECEIVE TRAINING IN THE CONTENTS OF FIRE SAFETY & EVACUATION PLANS & THEIR DUTIES AS PART OF NEW EMPLOYEE ORIENTATION & AT LEAST ANNUALLY THEREAFTER. RECORDS SHALL BE KEPT & MADE AVAILABLE TO THE FIRE CODE OFFICIAL UPON REQUEST.

14. EMPLOYEE TRAINING PROGRAM (CFC 406.3) EMPLOYEES SHALL BE TRAINED IN FIRE PREVENTION, EVACUATION, & FIRE SAFETY IN ACCORDANCE WITH SECTIONS 406.3.1 - 406.3.4.
15. GROUP A SEATING PLAN (CFC 408.2.1) THE FIRE SAFETY & PREVENTION PLANS FOR ASSEMBLY OCCUPANCIES SHALL INCLUDE THE INFORMATION REQUIRED BY SECTION 404.3 & DETAILED SEATING PLAN OCCUPANT LOAD & OCCUPANT LOAD LIMIT. DEVIATION FROM THE APPROVED PLANS SHALL BE ALLOWED PROVIDED THE OCCUPANT LOAD LIMIT FOR THE OCCUPANCY IS NOT EXCEEDED & THE AISLES AND EXIT ACCESSWAYS REMAIN UNOBSTRUCTED.



**SITE PLAN NOTES:**

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,168) (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000.) SEPARATE BUILDING PERMIT IS REQUIRED.
3. PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
4. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
5. A SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL NOT BE LESS THAN 17 INCHES BY 22 INCHES IN SIZE WITH LETTERING NOT LESS THAN ONE INCH IN HEIGHT, WITH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING:  
 \*UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED BY TELEPHONING 626-744-6400.



**1 SITE PLAN**  
 ADA PATH OF TRAVEL  
 HATCHED AREA NOT PART OF THIS PERMIT  
 SCALE: 3/32" = 1'-0"

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**REGISTERED ARCHITECT**  
 GREGORY K. WILLIAMS  
 C-22965  
 STATE OF CALIFORNIA

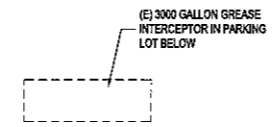
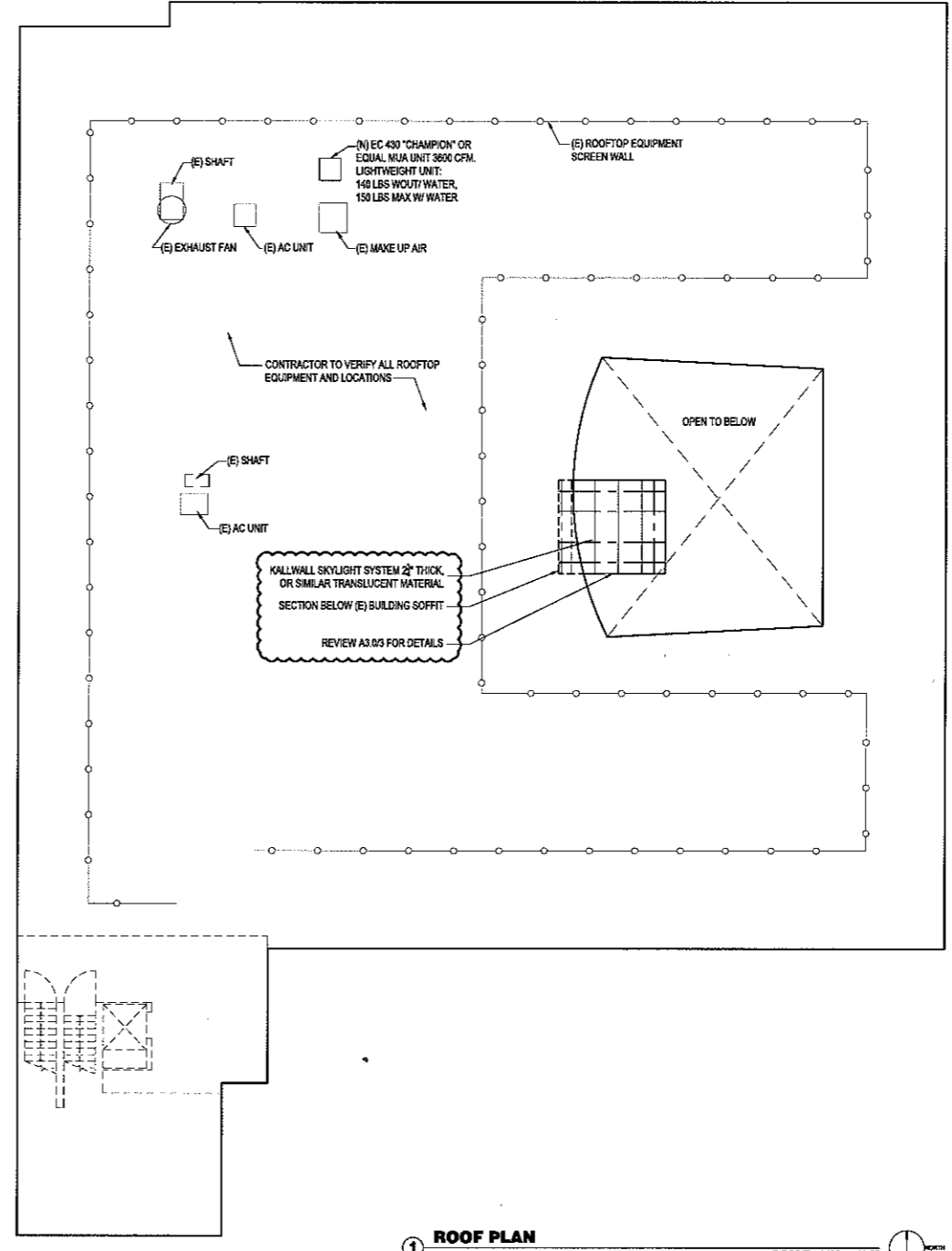
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9	10-11-13	PLANNING SUBMITTAL

3/32" = 1'-0"  
 SCALE  
 1301  
 PROJECT NO.

**GYORO GYORO**  
 105 S. PALM CANYON DRIVE  
 PALM SPRINGS, CA 92292

**A1.0**





1 ROOF PLAN SCALE: 1/8" = 1'-0" NORTH

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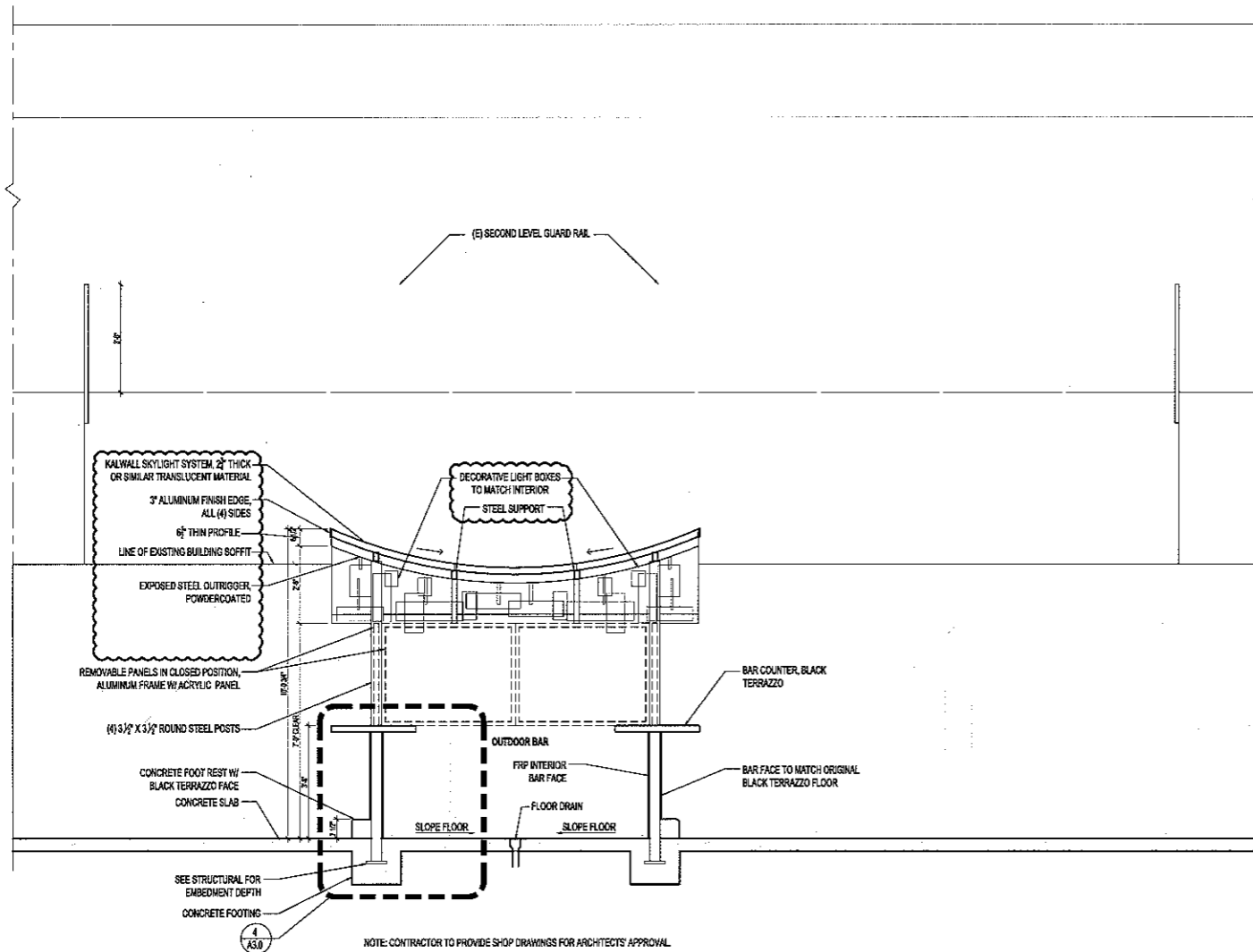


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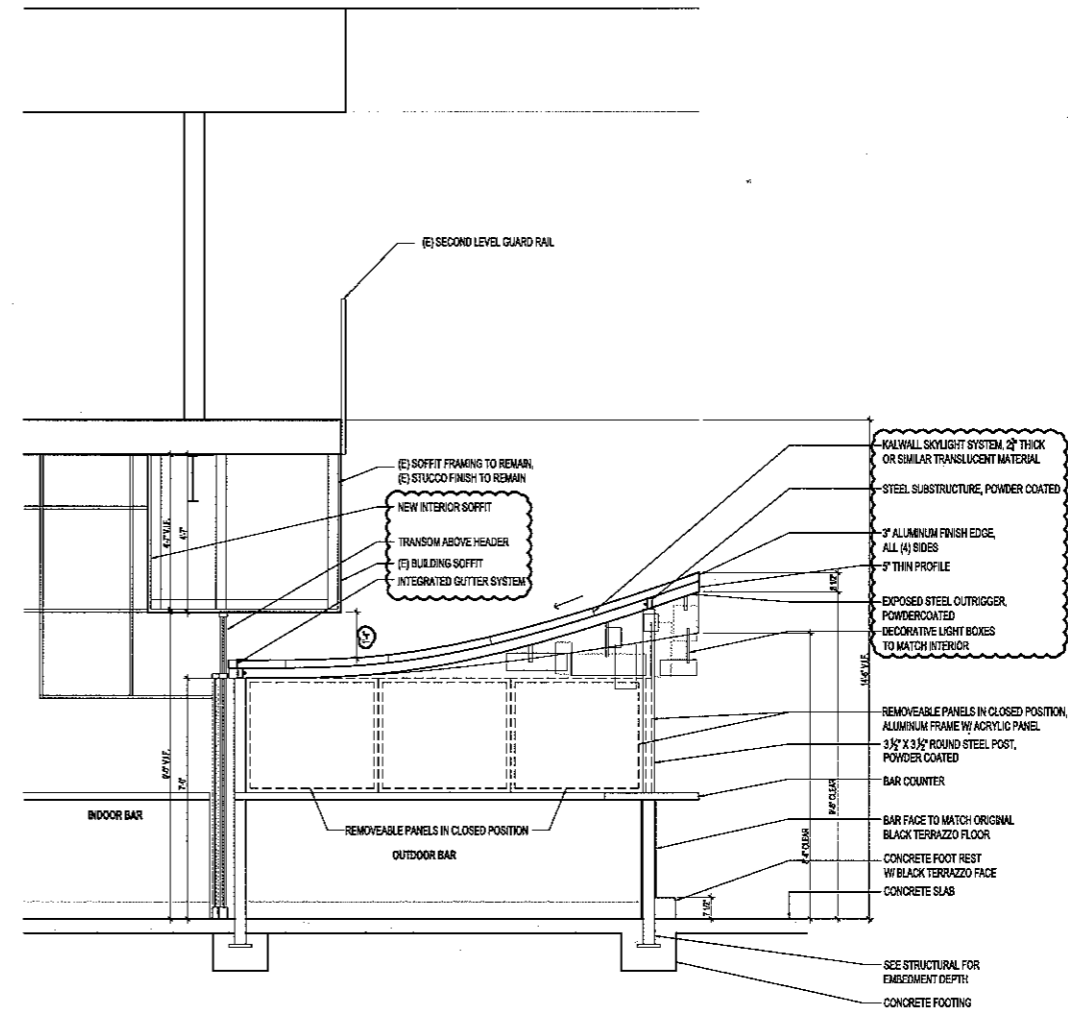
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 SCALE  
 1301  
 PROJECT NO.

**ROOF PLAN**  
**GYORO GYORO**  
 105 S. PALM CANYON DRIVE  
 PALM SPRINGS, CA 92292

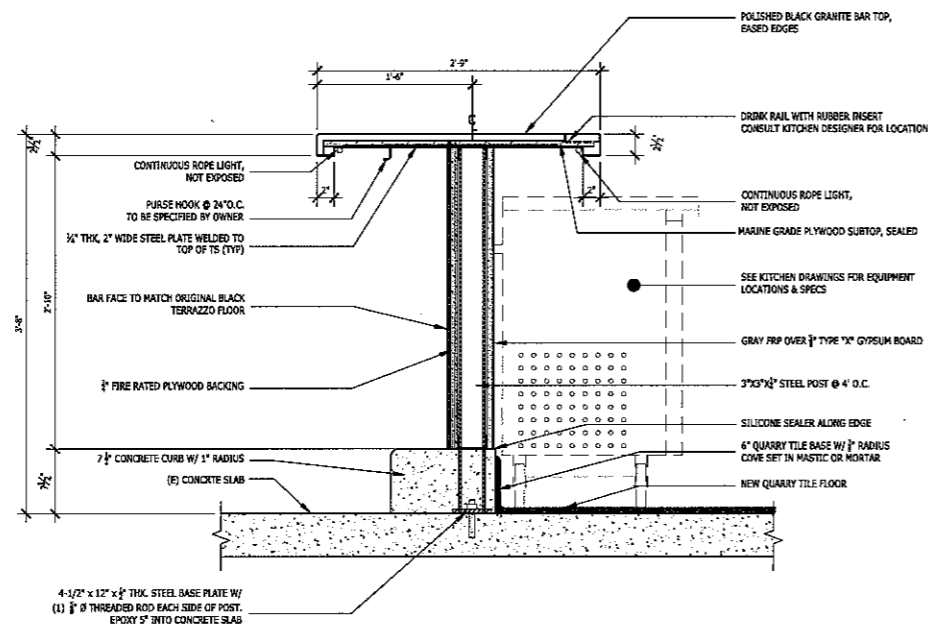
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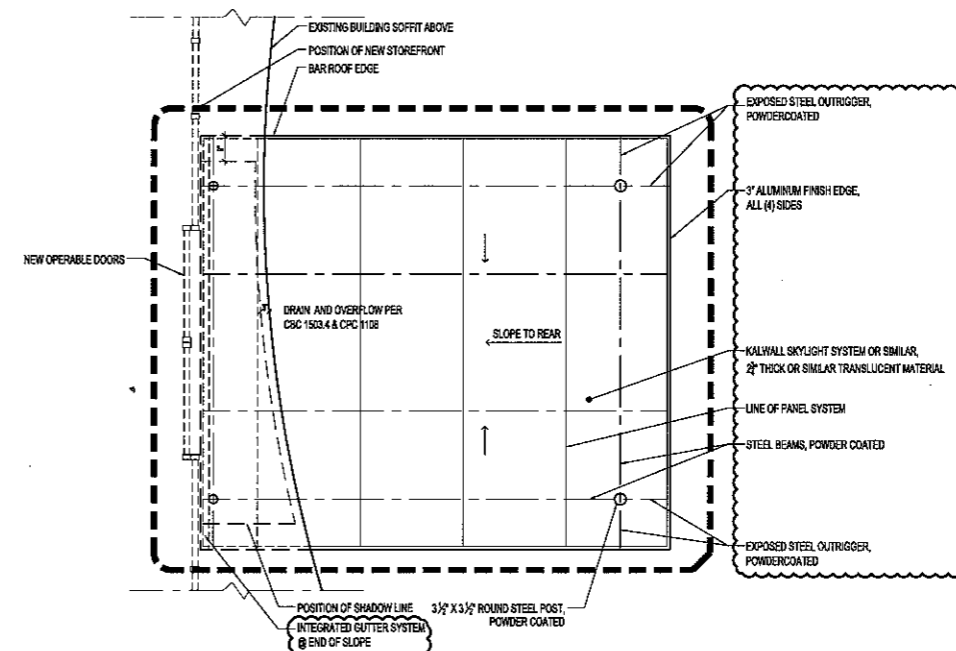
2 OUTDOOR BAR SECTION SCALE: 1/2" = 1'-0"



1 OUTDOOR BAR SECTION SCALE: 1/2" = 1'-0"



4 BAR SECTION SCALE: 1/2" = 1'-0"



3 OUTDOOR BAR ROOF PLAN SCALE: 1/2" = 1'-0"

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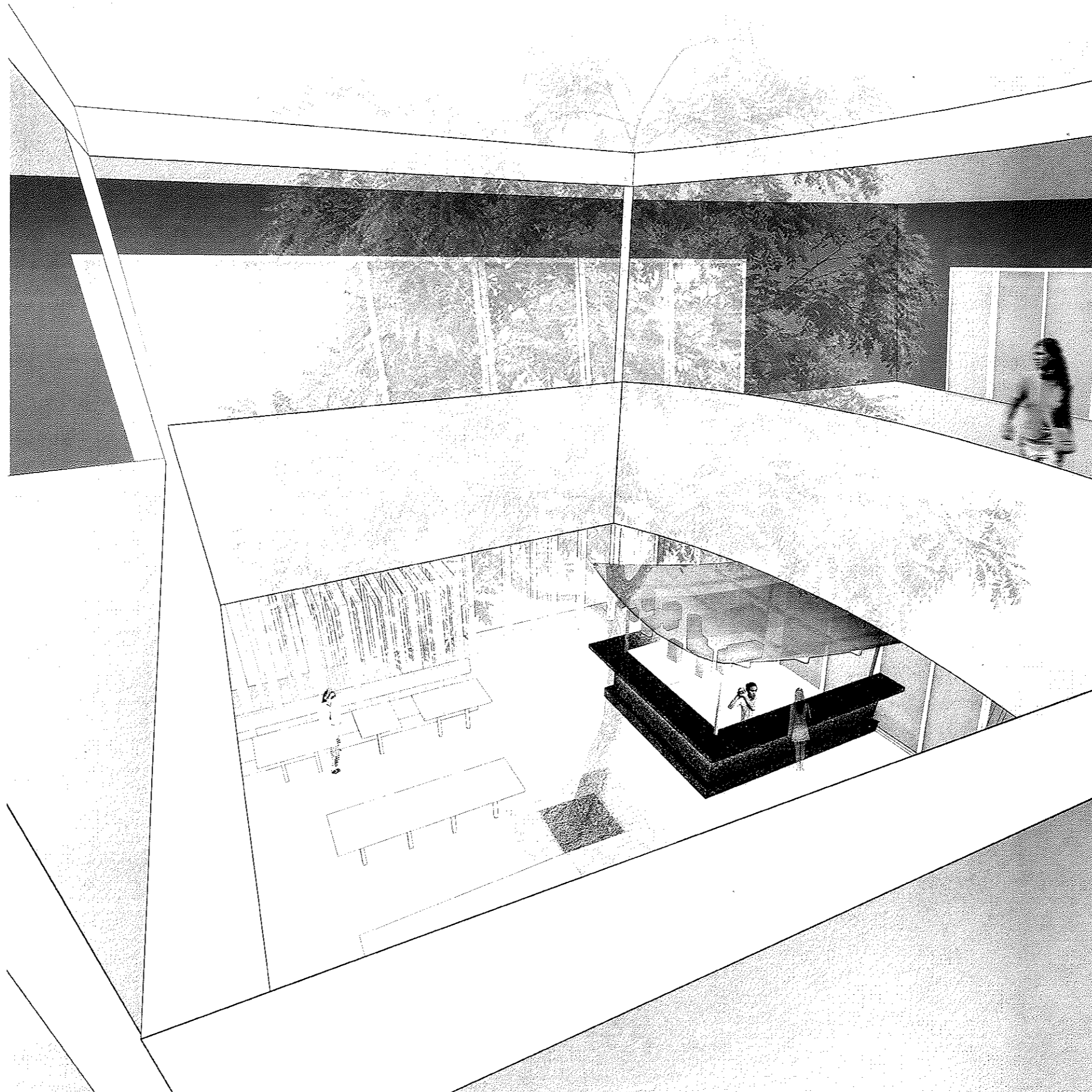


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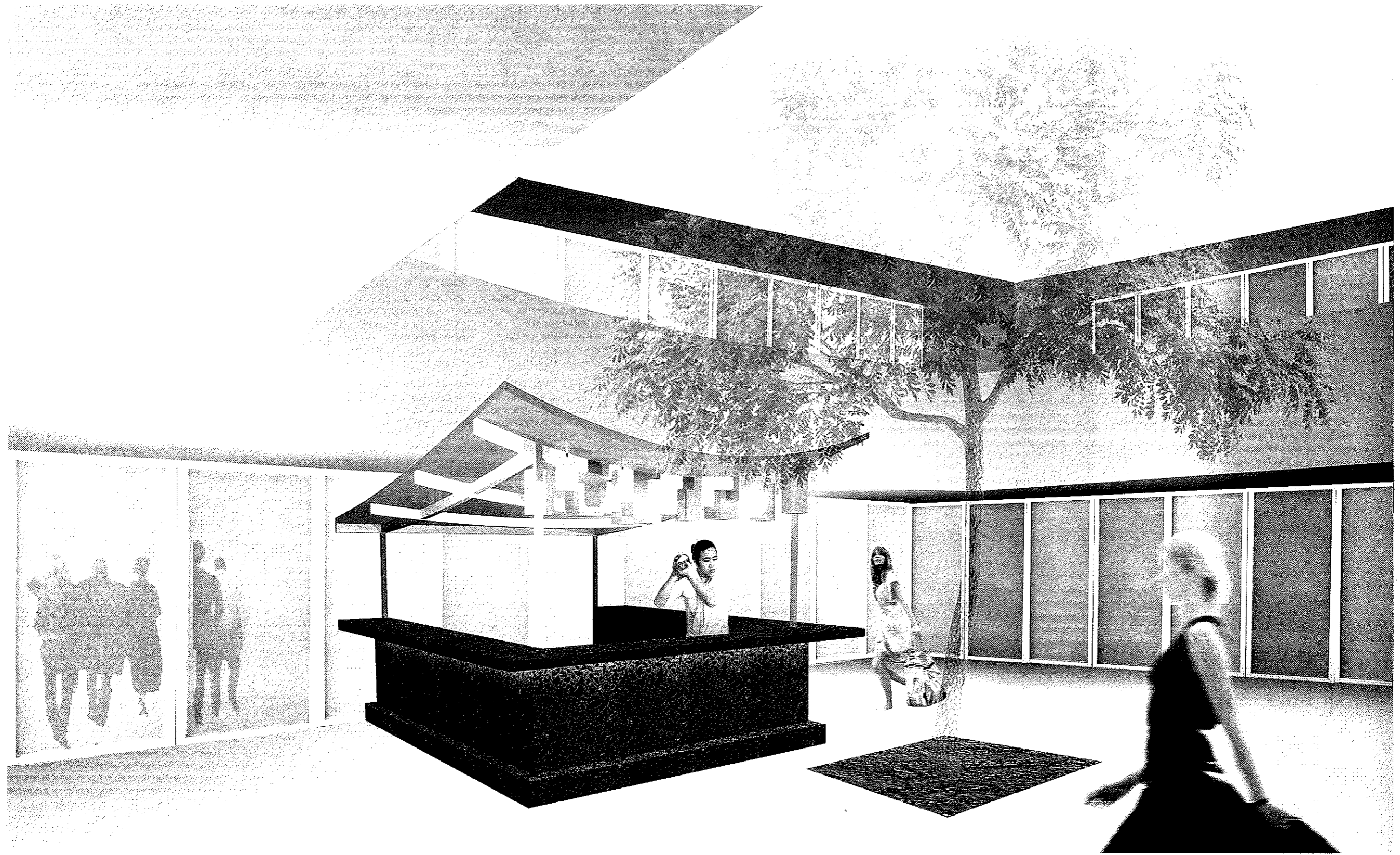
**SECTIONS**  
**OUTDOOR BAR**  
 GYORO GYORO  
 105 S. PALM CANYON DRIVE  
 PALM SPRINGS, CA 92292

**A3.0**



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**ER1.6** UPDATED  
View from Second Level



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**ER1.7**