



Planning Commission Staff Report

DATE: June 11, 2014

SUBJECT: ROBERT W. MINER FOR A CONDITIONAL USE PERMIT AND ARCHITECTURAL REVIEW OF A PROPOSED 150,560-SQUARE FOOT WAREHOUSE DISTRIBUTION CENTER LOCATED ON APPROXIMATELY 22.61 ACRES OF VACANT LAND AT 411 WEST GARNET AVENUE, ZONE M-1-P (CASE 5.1307 CUP / 3.3688 MAJ).

FROM: Department of Planning Services

SUMMARY

The Planning Commission will review a major architectural application for the proposed construction a 150,560-square foot service/manufacturing building with associated landscaping and parking on a currently vacant site of approximately 22 acres in size. In addition, under consideration by the Planning Commission is a Conditional Use Permit to operate the property as a transportation terminal for a package distribution facility operated by Federal Express. The site is located southwest of the eastbound I-10 off-ramp at Garnet Avenue.

RECOMMENDATION:

Open the public hearing and receive public testimony; adopt the Mitigated Negative Declaration (MND) pursuant to Section 15072 of the California Environmental Quality Act (CEQA); approve the project, subject to conditions.

ISSUES:

None

BACKGROUND:

Planning Areas		
Specific Plan	None	
Design Plan	None	
Airport Overlay	None	
Indian Land	None	

Prior Actions

3/10/2014	The AAC recommended conditional approval: <ul style="list-style-type: none"> • Beta fence not chain link, no black color but rather complement perimeter • All trees to be 24" box • Consider sustainability methods including photovoltaic • Color of each exterior door to match the color of its adjacent wall
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Notification

Jan. 30, 2014	Public hearing notice sent to all property owners and registered occupants within 500 feet of the site. The notice was also published in the local paper.
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Most Recent Change of Ownership

1986	Robert Miner purchased the property.
2014	KW Properties, LLC is in escrow to purchase the project site.

Neighborhood Meeting

None	Not required, nor is the property located near a neighborhood.
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Field Check

Feb. 2014	Staff visited the site to observe existing conditions.
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Site Area

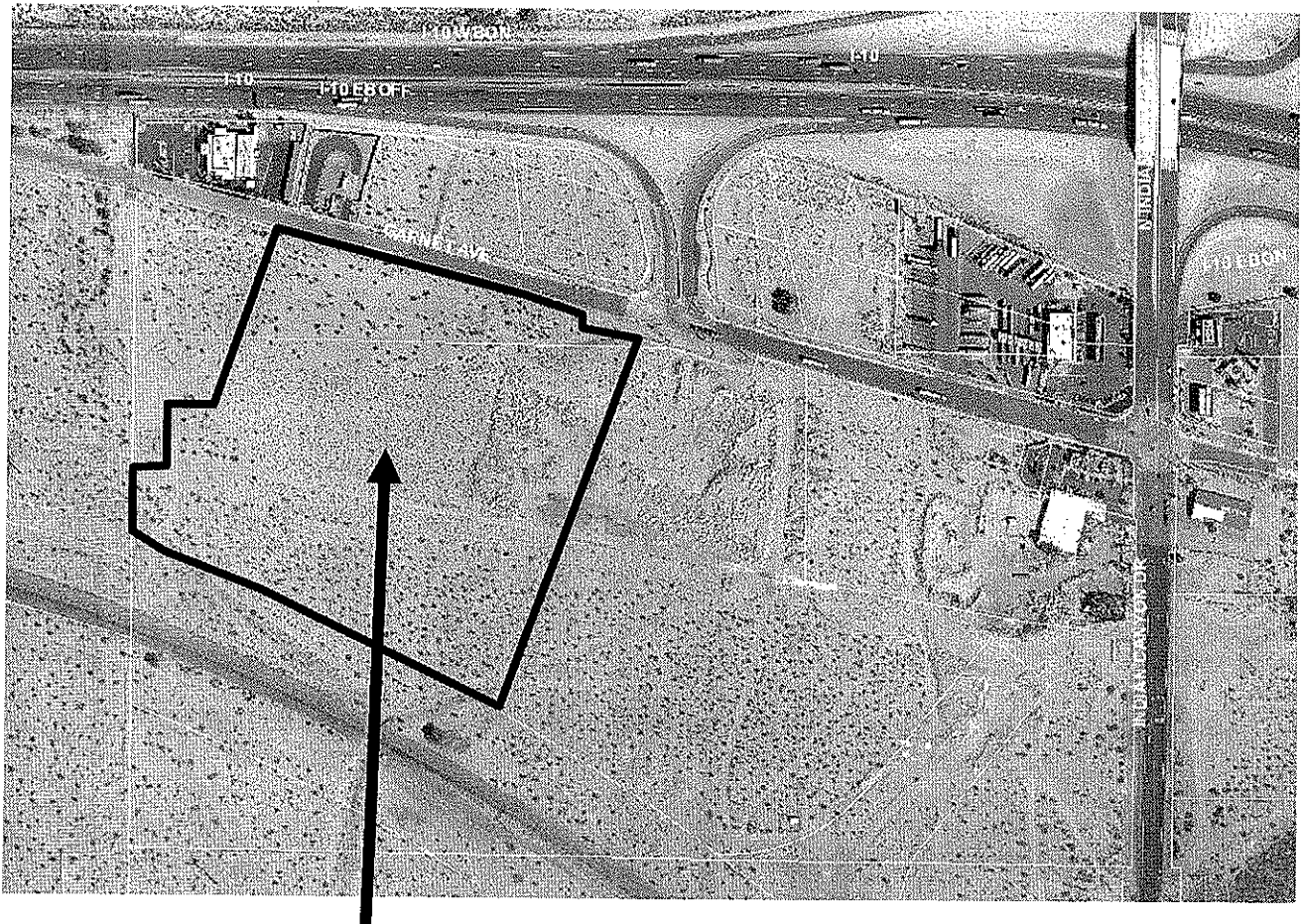
Net Area	Project Site Approximately 22.61-acres
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Sign Posting of Pending Project

Feb. 3, 2014	Two signs were posted on the site facing Garnet Avenue, pursuant to the requirements of Section 94.09.00(F) of the Zoning Code.
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General Plan, Zoning and Land Uses of Site & Surrounding Areas

	Existing General Plan Designations	Existing Zoning Designation	Existing Land Use
Site	RBC (Regional Business Center)	M-1-P (Planned Research and Development Park)	Vacant and Fueling Station (Liquefied Nitrogen Gas)
North	RBC	M-1-P	Vacant
South	(Railroad)	W (Watercourse)	Vacant
East	RBC	M-1-P	Vacant
West	RBC	E-I (Energy Industrial)	Vacant



APPROXIMATE SITE LOCATION

ANALYSIS:

General Plan

Land Use Designation	F.A.R.	Request	Compliance
RBC (Regional Business Center)	0.50 FAR	0.15 FAR	Yes

Zoning

Permitted Uses: Truck and general freight terminals are permitted within the M-1-P Zone when approved under a Conditional Use Permit, pursuant to Section 92.16.01(D)(12) of Palm Spring Zoning Code.

Development Standards:

Lot Standards	M-1-P Requirements	Proposed Project	Conform
Min. Area	20,000 square feet	984,891 square feet	Yes
Min. Width	150 feet	~975 feet	Yes
Min. Depth	100 feet	~975 feet	Yes

Building Height	30 feet max.	30 feet	Yes
Yard Setbacks			
Front	25 feet. Not less than 25% of such yard shall be landscaped.	40+ feet is landscaping. 101 feet to building	Yes
Side	Same as height (38.5 feet)	68 feet from west property line 330 feet from east property line	Yes
Rear	Same as height (38.5 feet)	547 feet	Yes
Lot Coverage	60% maximum	15%	Yes
Loading Spaces	3 Required	36 Provided at Rear	Yes
Trash Enclosure	Required	To be provided	Yes
Off-street Parking	Warehousing: 1 space per 800 sq. ft. of gross floor area, plus 1 per company truck or vehicle. 189 required (company vehicles stored within building)	312 spaces provided	Yes

REQUIRED FINDINGS:

Architectural Review. Staff evaluated the proposal against the architectural review guidelines, pursuant to Section 94.04.00 of the Zoning Code, and prepared the following response:

Item	Guideline	Conforms?	Staff Evaluation
1	Does the proposed development provide a desirable environment for its occupants?	Conforms	The proposed building will provide a desirable place for its occupants and the types of permitted uses in the area
2	Is the proposed development compatible with the character of adjacent and surrounding developments?	Conforms	The proposed development is for a warehousing / distribution center use; the large building will be similar to other existing smaller structures on the north side of the freeway.
3	Is the proposed development of good composition, materials, textures, and colors?	Conforms	The metal building will be a simple symmetrical design with neutral gray colors.
4	Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas	Conforms	The proposed site layout will allow for ease of pedestrian and vehicular circulation. Proposed vehicular access and driveway widths are consistent with City Standards.

5	Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood/community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted	Conforms	The proposed building will be consistent with other manufacturing buildings in appearance.
6	Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment	Conforms	The proposed building will provide a desirable place for its occupants and the types of permitted uses in the area
7	Building design, materials and colors to be sympathetic with desert surroundings	Conforms	The proposed development is for a warehousing / distribution center use; the large building will be similar to other existing smaller structures on the north side of the freeway.
8	Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously	Conforms	The metal building will be a simple symmetrical design with neutral gray colors.
9	Consistency of composition and treatment	Conforms	The proposed site layout will allow for ease of pedestrian and vehicular circulation. Proposed vehicular access and driveway widths are consistent with City Standards.
10	Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials	Conforms	Planting includes a mix of desert appropriate plants and trees, which will be adequately irrigated. There are no landmark trees on site.
11	Signs and graphics, as understood in architectural design including materials and colors;	N/A	Signs will be submitted under a separate application.

Conditional Use Permit. The Planning Commission must make certain findings in order to approve this Conditional Use Permit pursuant to Section 94.02.00 of the Palm Springs Zoning Code; those findings are analyzed by staff below:

- 1) *That the use applied for at the location set forth in the application is properly one for which a conditional use permit is authorized by this Zoning Code.*

The subject property is zoned M-1-P (Planned Research and Development Park). Pursuant to Section 92.16.01(D)(12) of the Zoning Code, truck and general freight terminals are permitted when approved by Conditional Use Permit in the M-1-P zone.

- 2) *That the use is necessary or desirable for the development of the community, is in harmony with the various elements of objectives of the general plan, and is not detrimental to existing uses or to future uses specifically permitted in the zone in which the proposed use is to be located.*

The site will be used as a package transit terminal adjacent to Interstate-10 and will add to the City's job base, which is necessary and desirable for the development of the community.

As noted on page 2-9 of Land Use Element, *"the RBC will provide job opportunities for the residents of Palm Springs and the whole of the Coachella Valley. Commercial, office, and industrial uses that can be supported by their proximity to the freeway are encouraged in this area. Uses in this area are intended to provide large-scale development opportunities that serve an area larger than the City proper."* Thus, the use is in harmony with the elements and objectives of the General Plan.

An environmental assessment was prepared for the project and it was determined that the use will not be detrimental to existing uses or to future uses permitted in the zone.

- 3) *That the site for the intended use is adequate in size and shape to accommodate such use, including yards, setbacks, walls or fences, landscaping, and other features required in order to adjust such use to those existing or permitted future uses of land in the neighborhood.*

The roughly 22-acre site is generally square in shape and includes adequate space for the 150,560-square foot building, on-site circulation, off-street parking, landscaping and on-site storm water retention. Portions of the site will remain undisturbed. Therefore, the site is adequate in size and shape to accommodate the proposed use.

- 4) *That the site for the proposed use relates to streets and highways properly designed and improved to carry the type and quantity of traffic to be generated by the proposed use.*

The property is located on Garnet Avenue adjacent to the eastbound I-10 entry and exit. Garnet Avenue is identified by the General Plan Circulation Element as a Secondary Thoroughfare. Traffic counts for the proposed use have been reviewed and it was determined that the adjacent roadways are adequately designed to accommodate the proposed facility.

5) *That the conditions to be imposed and shown on the approved site plan are deemed necessary to protect the public health, safety and general welfare and may include minor modification of the zone's property development standards.*

All proposed conditions of approval are necessary to ensure compliance with the Zoning Ordinance requirements and to ensure the public health, safety and welfare. No minor modifications to development standards are included.

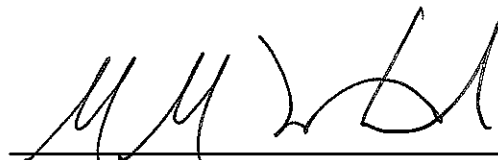
ENVIRONMENTAL DETERMINATION:

The Planning Department has reviewed this project under the provisions of the California Environmental Quality Act (CEQA). An environmental Initial Study (I.S.) was prepared and a Mitigated Negative Declaration was determined, noting that the project had the potential for significant impacts (including Biological and Cultural). These impacts would not be significant in this case because project modifications or mitigation measures incorporated into the Initial Study reduce impacts to less than significant levels.

A Notice of Intent to adopt the Mitigated Negative Declaration (MND) was noticed and published on May 22, 2014. The twenty-day comment period will conclude on June 10, 2014. No comments have been received as of the writing of this staff report. Should any be submitted, a response will be provided to the Planning Commission at the meeting.



David A. Newell
Associate Planner



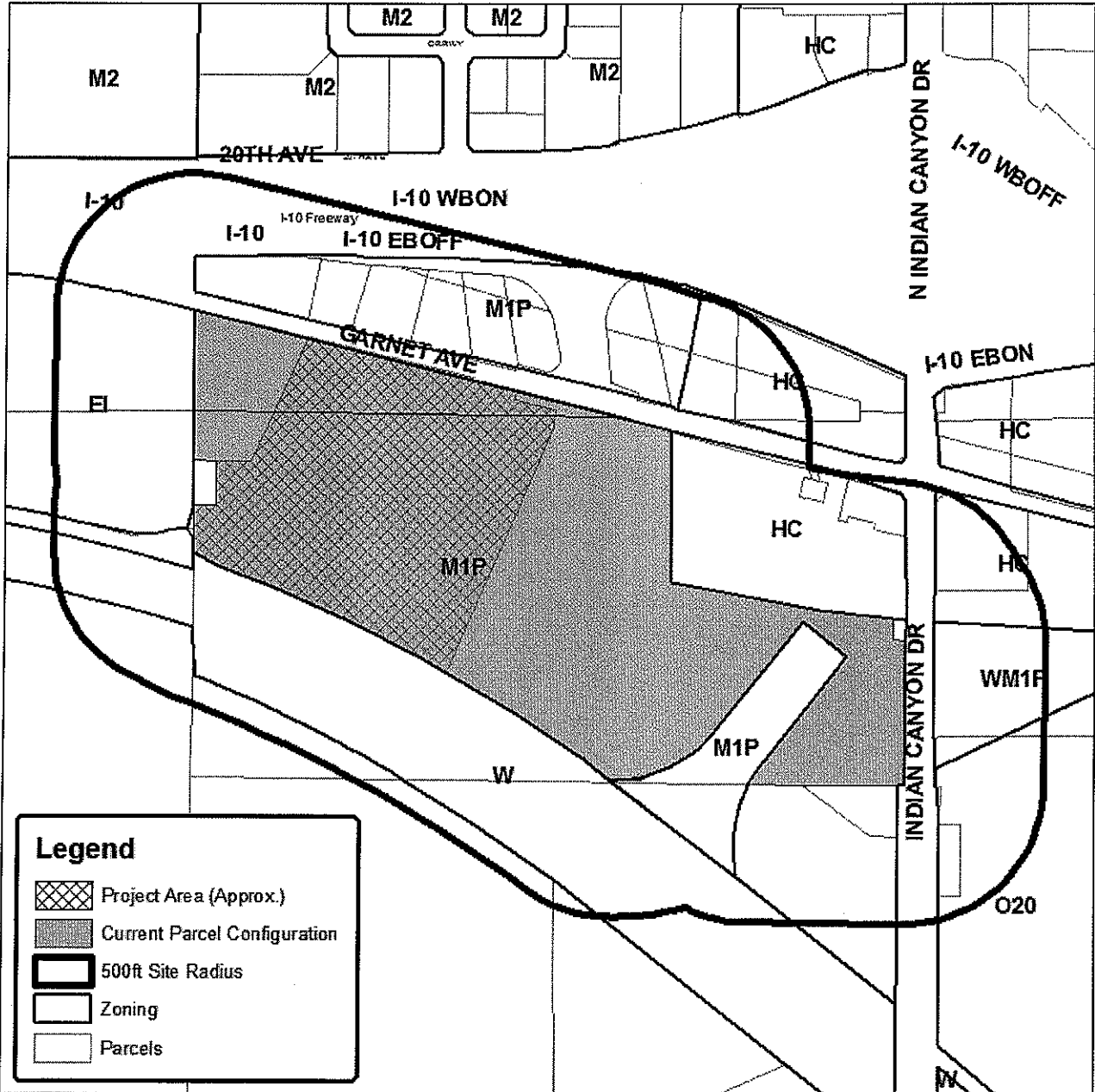
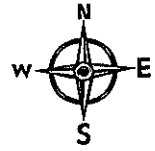
M. Margo Wheeler, AICP
Director of Planning Services

Attachments:

1. Vicinity Map
2. Draft Resolution with Conditions of Approval
3. 3/10/2014 AAC Minutes (excerpt)
4. Applicant Justification Letter
5. Engineering & Architectural Plans
6. Initial Study / Mitigated Negative Declaration



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS

CASE: 5.1307 CUP /
3.3688 MAJ

APPLICANT: Robert W Miner

DESCRIPTION: A request to construct a 150,560-square foot service/manufacturing building with associated landscaping and parking on a currently vacant property of approximately 22.61-acres in size, located at 411 West Garnet Avenue, Zone M-1-P, Section 15 & 22..

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, ADOPTING A MITIGATED NEGATIVE DECLARATION, APPROVING CASE 5.1307 CUP TO ALLOW THE CONSTRUCTION AND USE OF A TRANSPORTATION TERMINAL FACILITY LOCATED ON APPROXIMATELY 22-ACRES OF VACANT LAND AT 411 WEST GARNET AVENUE, ZONE M-1-P.

WHEREAS, Robert W. Miner (the "Applicant") filed an application with the City pursuant to Section 94.04.00 of the Palm Springs Zoning Code (PSZC) for Major Architectural review to construct a 150,560-square foot service manufacturing building, off-street parking and landscaping on a roughly 22-acre vacant site located southwest of the eastbound I-10 off-ramp at Garnet Avenue, Zone M-1-P, Section 15, Township 3, Range 4; and

WHEREAS, the Applicant filed an application pursuant to Section 94.02.00 of the PSZC for a Conditional Use Permit to operate the subject site as a "transportation terminal" for a package distribution facility within the M-1-P zone; and

WHEREAS, notice of public hearing of the Planning Commission of the City of Palm Springs to consider the application for Conditional Use Permit, Case No. 5.1307 was given in accordance with applicable law; and

WHEREAS, on June 11, 2014, a public hearing on the amendment application for Conditional Use Permit 5.1307 CUP and review of the Mitigated Negative Declaration was held by the Planning Commission in accordance with applicable law; and

WHEREAS, the Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including but not limited to the staff report, all written and oral testimony presented.

THE PLANNING COMMISSION HEREBY FINDS AS FOLLOWS:

Section 1: Pursuant to the California Environmental Quality Act (CEQA), the Planning Commission finds as follows:

Pursuant to CEQA, the Planning Commission finds that the current environmental assessment for Case 5.1307 CUP and 3.3688 MAJ adequately addresses the general environmental setting of the proposed Project, its significant environmental impacts, and the mitigation measures related to each significant environmental effect for the proposed project. The Planning Commission further finds that with the incorporation of the proposed mitigation measures, potentially significant environmental impacts resulting from this project will be reduced to a level of insignificance and therefore adopts the Mitigated Negative Declaration for the project.

Section 2: Pursuant to Section 94.04.00 of the PSZC, the Planning Commission has evaluated the projects conformance to the architectural review guidelines and bases architectural review on the following characteristics:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The proposed site layout will allow for ease of pedestrian and vehicular circulation. Proposed vehicular access and driveway widths are consistent with City Standards.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The proposed building will be consistent with other manufacturing buildings in appearance.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The proposed building will provide a desirable place for its occupants and the types of permitted uses in the area.

4. *Building design, materials and colors to be sympathetic with desert surroundings;*

The proposed development is for a warehousing / distribution center use; the large building will be similar to other existing smaller structures on the north side of the freeway.

5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously;*

The metal building will be a simple symmetrical design with neutral gray colors.

6. *Consistency of composition and treatment,*

The proposed site layout will allow for ease of pedestrian and vehicular circulation. Proposed vehicular access and driveway widths are consistent with City Standards.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

Planting includes a mix of desert appropriate plants and trees, which will be adequately irrigated. There are no landmark trees on site.

Section 3: Pursuant to Section 94.02.00 of the PSZC, the Planning Commission finds that:

- 1) *That the use applied for at the location set forth in the application is properly one for which a conditional use permit is authorized by this Zoning Code.*

The subject property is zoned M-1-P (Planned Research and Development Park). Pursuant to Section 92.16.01(D)(12) of the Zoning Code, truck and general freight terminals are permitted when approved by Conditional Use Permit in the M-1-P zone.

- 2) *That the use is necessary or desirable for the development of the community, is in harmony with the various elements of objectives of the general plan, and is not detrimental to existing uses or to future uses specifically permitted in the zone in which the proposed use is to be located.*

The site will be used as a package transit terminal adjacent to Interstate-10 and will add to the City's job base, which is necessary and desirable for the development of the community.

As noted on page 2-9 of Land Use Element, *"the RBC will provide job opportunities for the residents of Palm Springs and the whole of the Coachella Valley. Commercial, office, and industrial uses that can be supported by their proximity to the freeway are encouraged in this area. Uses in this area are intended to provide large-scale development opportunities that serve an area larger than the City proper."* Thus, the use is in harmony with the elements and objectives of the General Plan.

An environmental assessment was prepared for the project and it was determined that the use will not be detrimental to existing uses or to future uses permitted in the zone.

- 3) *That the site for the intended use is adequate in size and shape to accommodate such use, including yards, setbacks, walls or fences, landscaping, and other features required in order to adjust such use to those existing or permitted future uses of land in the neighborhood.*

The roughly 22-acre site is generally square in shape and includes adequate space for the 150,560-square foot building, on-site circulation, off-street parking, landscaping and on-site storm water retention. Portions of the site will remain undisturbed. Therefore, the site is adequate in size and shape to accommodate the proposed use.

- 4) *That the site for the proposed use relates to streets and highways properly designed and improved to carry the type and quantity of traffic to be generated by the proposed use.*

The property is located on Garnet Avenue adjacent to the eastbound I-10 entry and exit. Garnet Avenue is identified by the General Plan Circulation Element as a Secondary Thoroughfare. Traffic counts for the proposed use have been reviewed and it was determined that the adjacent roadways are adequately designed to accommodate the proposed facility.

- 5) *That the conditions to be imposed and shown on the approved site plan are deemed necessary to protect the public health, safety and general welfare and may include minor modification of the zone's property development standards.*

All proposed conditions of approval are necessary to ensure compliance with the Zoning Ordinance requirements and to ensure the public health, safety and welfare. No minor modifications to development standards are included.

NOW, THEREFORE, BE IT RESOLVED that, based upon the foregoing, the Planning Commission hereby approves Major Architectural application, Case 3.3688 MAJ, and Conditional Use Permit, Case 5.1307, for the construction of an approximately 150,560-square foot service / manufacturing building operated at as transportation terminal for the package distribution, subject to those conditions set forth in the attached Exhibit A, which are to be satisfied unless otherwise specified.

ADOPTED this 11th day of June, 2014.

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

M. Margo Wheeler, FAICP
Director of Planning Services

RESOLUTION NO.

EXHIBIT A

3.3688 MAJ / Case 5.1307 CUP

Robert W. Miner
411 West Garnet Avenue

June 11, 2014

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case 5.1307 CUP; except as modified with the conditions below.
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped February 6, 24, March 3 or 6, 2014, including site plan, grading plans, landscape plans and architectural elevations on file in the Planning Division except as modified by the approved conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case Nos. 3.3688 MAJ and 5.1307 CUP. The City of

Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.
- ADM 9. Public Art Fees. This project shall be subject to Chapters 2.24 and 3.37 of the Municipal Code regarding public art. The project shall either provide public art or payment of an in lieu fee. In the case of the in-lieu fee, the fee shall be based upon the total building permit valuation as calculated pursuant to the valuation table in the Uniform Building Code, the fee being 1/2% for commercial projects or 1/4% for residential projects with first \$100,000 of total building permit valuation for individual single-family units exempt. Should the public art be located on the project site, said location shall be reviewed and approved by the Director of Planning and Zoning and the Public Arts Commission, and the property owner shall enter into a recorded agreement to maintain the art work and protect the public rights of access and viewing.

- ADM 10. Comply with City Noise Ordinance. This use shall comply with the provisions of Section 11.74 Noise Ordinance of the Palm Springs Municipal Code. Violations may result in revocation of this Conditional Use Permit.

ENVIRONMENTAL ASSESSMENT CONDITIONS

- ENV 1. California Fish & Game Fees Required. The project is required to pay a fish and game impact fee as defined in Section 711.4 of the California Fish and Game Code. This CFG impact fee plus an administrative fee for filing the action with the County Recorder shall be submitted by the applicant to the City in the form of a money order or a cashier's check payable to the Riverside County Clerk prior to the final City action on the project (either Planning Commission or City Council determination). This fee shall be submitted by the City to the County Clerk with the Notice of Determination. Action on this application shall not be final until such fee is paid. The project may be eligible for exemption or refund of this fee by the California Department of Fish & Game. Applicants may apply for a refund by the CFG at www.dfg.ca.gov for more information.
- ENV 2. Mitigation Measure B1: The applicant shall not disturb, grade or otherwise, any area designated as "Fluvial Sand Transport Only Area" by the Coachella Valley Multiple Species Habitat Plan. Located in the southwest corner of the project site, this area shall be retained in its natural state. The precise grading plan shall reflect this requirement.
- ENV 3. Mitigation Measure B2: Prior to issuance of building permits, pursuant to the City of Palm Springs local implementation procedures of the Coachella Valley Multiple Species habitat Conservation Plan, the project proponent shall pay mitigation fees to the Building and Safety Department to offset potential impacts to special status species and habitat.
- ENV 4. Mitigation Measure C1: If potential archaeological materials are uncovered during grading or other earth moving activities, the contractor shall be required to halt work in the immediate area of the find and to retain a professional archaeologist to examine the materials to determine whether it is a *unique archaeological resource* as defined in Section 21083.2(g) of the State CEQA Statutes. If this determination is positive, the resource shall be left in place, if determined feasible by the project archaeologist. Otherwise, the scientifically consequential information shall be fully recovered by the archaeologist. Work may continue outside of the area of the find; however, no further work shall occur in the immediate location of the find until all information recovery has been completed and a report concerning the resource(s) is filed with the City's Planning Services Department and Engineering Department.

PLANNING DEPARTMENT CONDITIONS

- PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.
- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances
- PLN 3. Sign Applications Required. No signs are approved by this action. Separate approval and permits shall be required for all signs in accordance with Zoning Ordinance Section 93.20.00.
- PLN 4. Flat Roof Requirements. Roof materials on flat roofs (less than 2:12) must conform to California Title 24 thermal standards for "Cool Roofs". Such roofs must have a minimum initial thermal emittance of 0.75 or a minimum SRI of 64 and a three-year aged solar reflectance of 0.55 or greater. Only matte (non-specular) roofing is allowed in colors such as gray, beige or tan.
- PLN 5. Conditions Imposed from AAC Review. The applicant shall incorporate the following comments from the review of the project by the City's Architectural Advisory Committee:
- a. Beta fence not chain link, no black color but rather complement perimeter
 - b. All trees to be 24" box
 - c. Consider sustainability methods including photovoltaic
 - d. Color of each exterior door to match the color of its adjacent wall
- PLN 6. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 7. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.

- PLN 8. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 9. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 10. No off-site Parking. Vehicles associated with the operation of the proposed development including company vehicles or employees vehicles shall not be permitted to park off the proposed building site unless a parking management plan has been approved.
- PLN 11. Bicycle Parking. The project shall be required to provide secure bicycle parking facilities on site for use by residents and commercial/retail patrons and owners. Location and design shall be approved by the Director of Planning.
- PLN 12. Transportation Demand Management. Pursuant to Municipal Code Chapter 8.40, a Transportation Demand Management plan shall be submitted for review and approval by the Planning Department, prior to certificate of occupancy.

POLICE DEPARTMENT CONDITIONS

- POL 1. Developer shall comply with Section II of Chapter 8.04 "Building Security Codes" of the Palm Springs Municipal Code.

BUILDING DEPARTMENT CONDITIONS

- BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

FIRE DEPARTMENT CONDITIONS

GENERAL CONDITIONS These Fire Department conditions may not provide all requirements. Detailed plans shall be required for review.

- FID 1 These conditions are subject to final plan check and review. Initial fire department conditions have been determined on the site plan dated **January 13, 2014**. Additional requirements may be required at that time based on revisions to site plans.
- FID 2 Fire Department Conditions are based on the 2013 California Fire Code. Three complete sets of plans for private fire service mains, fire alarm, or fire sprinkler systems must be submitted at time of the building plan submittal.

FID 3 PLANS AND PERMITS

Complete plans for private fire service mains or fire sprinkler systems should be submitted for approval well in advance of installation. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

**City of Palm Springs
Building and Safety Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262**

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. The minimum fee is \$ 208.00. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall indicate all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supportive data (calculations and manufacturer's technical data sheets) shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 4 Access During Construction (CFC 503): Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13'6". Fire Department access roads shall have an all weather driving surface and support a minimum weight of 73,000 lbs.

FID 5 Fire Apparatus Access Gates (8.04.260 PSMC): Entrance gates shall have a clear width of at least 15 feet and be equipped with a frangible chain and padlock.

- FID 6 **Fire Department Access:** Fire Department Access Roads shall be provided and maintained in accordance with (Sections 503 CFC)
- **Minimum Access Road Dimensions:**
 1. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, a greater width for private streets may be required by the City engineer to address traffic engineering, parking, and other issues. The Palm Springs Fire Department requirements for two-way private streets, is a **minimum width of 24 feet** is required for this project, unless otherwise allowed by the City engineer. No parking shall be allowed in either side of the roadway.
 2. Roads must be 30 feet wide when parking is not allowed on only one side of the roadway.
 3. Roads must be 40 feet wide when parking is not restricted.
- FID 7 **Premises Identification (505.1):** New and existing buildings shall have *approved* address numbers, building numbers or *approved* building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches high for R-3 occupancies and 6" - 12" for all other occupancies depending on distance from street with a minimum stroke width of 0.5 inch. Where access is by means of a private road and the building cannot be viewed from the *public way*, a monument, pole or other sign or means shall be used to identify the structure.
- FID 8 **NFPA 13 Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13, current edition, as modified by local ordinance. The contractor should submit fire sprinkler plans as soon as possible. No portion of the fire sprinkler system may be installed prior to plan approval.
- FID 9 **Key Box Required to be Installed (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be flush mount type and shall contain keys to gain necessary access as required by the fire code official.
- FID 10 **Key Box Contents (CFC 506.1):** The Knox key box shall contain keys to all areas of ingress/egress, alarm rooms, fire sprinkler riser/equipment rooms, mechanical rooms, elevator rooms, elevator controls, plus a card

containing the emergency contact people and phone numbers for the building/complex.

- FID 11 **Aerial Fire Access Roads (CFC Appendix D105.1):** Buildings or portions of buildings or facilities exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway.
- FID 12 **Aerial Fire Access Road Width (CFC Appendix D105.2):** Fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of any building or portion of building more than 30 feet in height.
- FID 13 **Aerial Access Proximity to Building (CFC Appendix D105.3):** At least one of the required access routes for buildings or facility exceeding 30 feet in height above the lowest level of fire department vehicle access shall be located within a minimum of 15 feet and a maximum of 30 feet from the building and shall be positioned parallel to one entire side of the building.
- FID 14 **Fire Hydrant Flow (CFC 507.3):** Fire flow requirements for buildings or portions of buildings and facilities are shall be determined by Appendix B.
- FID 15 **Fire Hydrant Flow and Number of Fire Hydrants (CFC 507.5):** Fire hydrants shall be provided in accordance with CFC Appendix B, Fire Flow Requirements for Buildings, for the protection of buildings, or portions of buildings, hereafter constructed.
- FID 16 **Fire Hydrant Systems (CFC 507.5):** Fire hydrant systems shall comply with Sections 507.5.1 through 507.5.6 and Appendix C.
- FID 17 **Operational Fire Hydrant(s) (CFC 507.1, 507.5.1 & 1412.1):** Operational fire hydrant(s) shall be installed within 250 feet of all combustible construction. They shall be installed and made serviceable prior to and during construction. No landscape planting, walls, or fencing is permitted within 3 feet of fire hydrants, except ground cover plantings.
- FID 18 **Water Plan (CFC 501.3 & 901.2):** A water plan for on-site and off-site is required and shall include underground private fire main for fire sprinkler riser(s), public fire hydrant(s), public water mains, Double Check Detector Assembly, Fire Department Connection and associated valves.
- FID 19 **Private Fire Service Main Calculations (CFC Appendix K - Palm Springs Fire Department Development Guidelines 3.27):** When the private fire service main serves both fire sprinkler system(s) and private

fire hydrant(s), the hydraulic calculation shall include the fire hydrant flow rate with associated private fire hydrant(s) and fire sprinkler flow rate for a minimum design of 20 PSI residual pressure for the fire hydrant(s).

- FID 20 **Water Systems and Hydrants (CFC 507.1, 507.2, 507.4, 901.5 & 1412.1):** Underground private fire service mains and fire hydrants shall be installed, completed, tested and in service prior to the time when combustible materials are delivered to the construction site. (903 CFC) Installation, testing, and inspection will meet the requirements of NFPA 24, 2010 Edition. Prior to final approval of the installation, contractor shall submit a completed Contractors Material & Test Certificate for Underground Piping to the Fire Department. (NFPA 24: 10.10, 2010 Edition).
- FID 21 **Identification (CFC 509.1):** Fire protection equipment shall be identified in an approved manner. Rooms containing controls for air-conditioning systems, sprinkler risers and valves, or other fire detection, suppression or control elements shall be identified for the use of the fire department. Approved signs required to identify fire protection equipment and equipment location, shall be constructed of durable materials, permanently installed and readily visible.
- FID 22 **Fire Sprinkler Supervision and Alarms System (CFC 903.4/4.1):** All valves controlling the water supply for automatic sprinkler systems, pumps, tanks, water levels and temperatures, critical air pressures and water-flow switches on all fire sprinkler systems shall be electrically supervised by a listed Fire Alarm Control Unit (FACU). The listed FACU alarm, supervisory and trouble signals shall be distinctly different and shall be monitored at a UL listed central station service. The fire sprinkler supervision and alarms system shall comply with the requirements of NFPA 72, 2010 Edition. All control valves shall be locked in the open position.
- FID 23 **Audible Water Flow Alarms (CFC 903.4.2 & Appendix K: 4.3):** An approved audible sprinkler flow alarm (Wheelock horn/strobe with WBB back box or equal) shall be provided on the exterior of the building in an approved location. The horn/strobe shall be outdoor rated. A second horn/strobe shall be installed in the interior of the building in a normally occupied location. In multiple suite buildings, additional interior horn/strobes shall be installed in all suites with 50 or more occupant load. Power shall be provided from a fire alarm control unit. Where a building fire alarm system is installed, actuation of the automatic sprinkler system shall actuate the building fire alarm system.
- FID 24 **Fire Department Connections (CFC 912.2.1 & 912.3):** Fire Department connections shall be visible and accessible, have two 2.5 inch NST female

inlets, and have an approved check valve located as close to the FDC as possible. All FDC's shall have KNOX locking protective caps. Contact the fire prevention secretary at 760-323-8186 for a KNOX application form.

FID 25 Fire Extinguisher Requirements (CFC 906): Provide one 4A:80B:C portable fire extinguisher for every 75 feet of floor or grade travel distance for vehicle parking areas. Provide one 2A:10B:C portable fire extinguisher for every 75 feet of floor or grade travel distance for low hazard areas. Show proposed extinguisher locations on the plans. Extinguishers shall be mounted in a visible, accessible location 3 to 5 feet above floor level. Preferred location is in the path of exit travel or near an exit door.

FID 26 High Piled Storage: If materials to be stored are anticipated to exceed 12 feet in height, additional requirements will be required. Contact the fire department plans examiner for more detailed requirements.

FID 27 Smoke & Heat Vents (CFC 910.2) - Where required. Smoke and heat vents or mechanical smoke exhaust systems shall be installed in the roofs of buildings or portions thereof occupied for the uses set forth in Sections 910.2.1 and 910.2.2.

Exception: In occupied portions of a building where the upper surface of the story is not a roof assembly, mechanical smoke exhaust in accordance with Section 910.4 shall be an acceptable alternative.

910.2.1 Group F-1 or S-1. Buildings and portions thereof used as a Group F-1 or S-1 occupancy having more than 50,000 square feet (4645 m²) of undivided area.

ENGINEERING DEPARTMENT CONDITIONS

The Engineering Division recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

STREETS

ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit.

ENG 2. Submit street improvement plans prepared by a registered California civil engineer to the Engineering Division. The plan(s) shall be approved by the City Engineer prior to issuance of any building permits.

GARNET AVENUE

ENG 3. Dedicate additional right-of-way to provide the ultimate half street right-of-way minimum width of 44 feet along the entire frontage.

ENG 4. Construct a 6 inch curb and gutter, 32 feet south of centerline along the entire frontage and transition to match existing Caltrans curb and gutter located south of existing off ramp, in accordance with City of Palm Springs Standard Drawing No. 200.

ENG 5. Driveway approach located on Garnet Avenue shall not be located within the Caltrans right-of-way easement for the on/off ramp on Garnet Avenue. Construct a 30 feet wide driveway approach in accordance with City of Palm Springs Standard Drawing No. 205.

ENG 6. Construct a 8 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210.

ENG 7. Construct a Type C curb ramp meeting current California State Accessibility standards on each side of the driveway approach in accordance with City of Palm Springs Standard Drawing No. 214. The applicant shall ensure that an appropriate path of travel, meeting ADA guidelines, is provided across the driveway, and shall adjust the location of the access ramps, if necessary, to meet ADA guidelines, subject to the approval of the City Engineer. If necessary, additional pedestrian and sidewalk easements shall be provided on-site to construct a path of travel meeting ADA guidelines.

ENG 8. Construct pavement with a minimum pavement section of 3 inches asphalt concrete pavement over 6 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, from edge of proposed gutter to clean sawcut edge of pavement along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 110 and 300. Additional pavement removal and replacement may be required upon review of existing pavement cross-sections, and to ensure grade breaks of the pavement cross-section do not occur within a travel lane. If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.

ON-SITE

- ENG 9. The minimum pavement section for all on-site pavement shall be 2-1/2 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal. If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.
- ENG 10. The on-site parking lot shall be constructed with curbs, gutters, and cross-gutters, as necessary to accept and convey surface drainage to the on-site drainage system, in accordance with applicable City standards.

SANITARY SEWER

- ENG 11. The City recommends that the applicant contact the Riverside County Health Department for requirements related to the construction of private septic systems for non-residential uses. Private septic systems may now require additional environmental requirements and/or permits from Riverside County and the Regional Water Quality Control Board. Construct a private sanitary sewer system in accordance with City of Palm Springs Ordinance No. 1084. Development shall be connected to an approved Sanitary Septic System or Package Plant and is subject to review and approval by the Regional Water Quality Control Board.

GRADING

- ENG 12. Submit a Precise Grading and Paving Plan prepared by a California registered Civil engineer to the Engineering Division for review and approval. The Precise Grading and Paving Plan shall be approved by the City Engineer prior to issuance of grading permit.
- a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Division for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Division with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control

Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Division prior to approval of the Grading plan.

- b. The first submittal of the Precise Grading and Paving Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the project-specific Final Water Quality Management Plan.
- ENG 13. Prior to approval of a Grading Plan or issuance of any permit, the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist. The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at (760) 699-6800, to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.
- ENG 14. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed as necessary. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 15. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 16. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 17. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of two thousand dollars (\$2,000.00) per disturbed acre at the time of issuance of grading permit, for

mitigation measures for erosion/blowsand relating to this property and development.

- ENG 18. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Division with the first submittal of a grading plan.
- ENG 19. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. No certificate of occupancy will be issued until the required certification is provided to the City Engineer.
- ENG 20. The applicant shall provide pad (or finish floor) elevation certifications for all building (or structure) pads in conformance with the approved grading plan (if required), to the Engineering Division prior to construction of any building (or structure) foundation.
- ENG 21. A Notice of Intent (NOI) to comply with the California General Construction Stormwater Permit (Water Quality Order 2009-0009-DWQ as modified September 2, 2009) is required for the proposed development via the California Regional Water Quality Control Board online SMARTS system. A copy of the executed letter issuing a Waste Discharge Identification (WDID) number shall be provided to the City Engineer prior to issuance of a grading or building permit.
- ENG 22. This project requires preparation and implementation of a stormwater pollution prevention plan (SWPPP). As of September 4, 2012, all SWPPPs shall include a post-construction management plan (including Best Management Practices) in accordance with the current Construction General Permit. Where applicable, the approved final project-specific Water Quality Management Plan shall be incorporated by reference or attached to the SWPPP as the Post-Construction Management Plan. A copy of the up-to-date SWPPP shall be kept at the project site and be available for review upon request.
- ENG 23. In cooperation with the Riverside County Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of

Orange, Riverside, and Los Angeles Counties” (RIFA Form CA-1) prior to approval of the Grading Plan. The California Department of Food and Agriculture office is located at 73-710 Fred Waring Drive, Palm Desert (Phone: 760-776-8208).

WATER QUALITY MANAGEMENT PLAN

- ENG 24. This project shall be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating contaminated stormwater and non-stormwater runoff, shall be required by regulations imposed by the RWQCB. It shall be the applicant's responsibility to design and install appropriate BMP's, in accordance with the NPDES Permit, that effectively intercept and pre-treat contaminated stormwater and non-stormwater runoff from the project site, prior to release to the City's municipal separate storm sewer system ("MS4"), to the satisfaction of the City Engineer and the RWQCB. Such measures shall be designed and installed on-site; and provisions for perpetual maintenance of the measures shall be provided to the satisfaction of the City Engineer, including provisions in Covenants, Conditions, and Restrictions (CC&R's) required for the development (if any).
- ENG 25. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a grading or building permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to the adjacent property or public streets is prohibited. Construction of operational BMP's shall be incorporated into the Precise Grading and Paving Plan.
- ENG 26. Prior to issuance of any grading or building permits, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement the approved Final Project-Specific WQMP. Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include: requiring the implementation of the Final Project-Specific WQMP in Home Owners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&Rs); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to issuance of any grading or building permits.

- ENG 27. Prior to issuance of certificate of occupancy or final City approvals (OR of “final” approval by City), the applicant shall:
- a. Demonstrate that all structural BMPs have been constructed and installed in conformance with approved plans and specifications;
 - b. Demonstrate that applicant is prepared to implement all non-structural BMPs included in the approved Final Project-Specific WQMP, conditions of approval, or grading/building permit conditions; and
 - c. Demonstrate that an adequate number of copies of the approved Final Project-Specific WQMP are available for the future owners (where applicable).

DRAINAGE

- ENG 28. Direct release of on-site nuisance water or stormwater runoff shall not be permitted to Garnet Avenue. Provisions for the interception of nuisance water from entering adjacent public streets from the project site shall be provided through the use of a minor storm drain system that collects and conveys nuisance water to landscape or parkway areas, and in only a stormwater runoff condition, pass runoff directly to the streets through parkway or under sidewalk drains.
- ENG 29. This project shall be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating contaminated stormwater and non-stormwater runoff, shall be required by regulations imposed by the RWQCB. It shall be the applicant's responsibility to design and install appropriate BMP's, in accordance with the NPDES Permit, that effectively intercept and pre-treat contaminated stormwater and non-stormwater runoff from the project site, prior to release to the City's municipal separate storm sewer system (“MS4”), to the satisfaction of the City Engineer and the RWQCB. Such measures shall be designed and installed on-site; and provisions for perpetual maintenance of the measures shall be provided to the satisfaction of the City Engineer, including provisions in Covenants, Conditions, and Restrictions (CC&R's) required for the development.
- ENG 30. All on-site storm drain systems shall be privately maintained.

GENERAL

- ENG 31. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115. The developer shall be responsible for removing, grinding, paving and/or overlaying existing asphalt concrete pavement of off-site streets as required by and at the discretion of the City Engineer, including additional pavement repairs to pavement repairs made by utility companies for utilities installed for the benefit of the proposed development (i.e. Desert Water Agency, Southern California Edison, Southern California Gas Company, Time Warner, Verizon, etc.). Multiple excavations, trenches, and other street cuts within existing asphalt concrete pavement of off-site streets required by the proposed development may require complete grinding and asphalt concrete overlay of the affected off-site streets, at the discretion of the City Engineer. The pavement condition of the existing off-site streets shall be returned to a condition equal to or better than existed prior to construction of the proposed development.
- ENG 32. All proposed utility lines shall be installed underground.
- ENG 33. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 34. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 35. The original improvement plans prepared for the proposed development and approved by the City Engineer shall be documented with record drawing "as-built" information and returned to the Engineering Division prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 36. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.

- ENG 37. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.
- ENG 38. The applicant shall contact Mission Springs Water District at (760) 329-6448 to determine the requirements for extending water service to the project site. The applicant may be responsible for the design and construction of off-site water line improvements OR payment of applicable fair-share costs of off-site water line improvements constructed by others.
- ENG 39. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

TRAFFIC

- ENG 40. A minimum of 48 inches of clearance for handicap accessibility shall be provided on public sidewalks or pedestrian paths of travel within the development. Minimum clearance on public sidewalks (or pedestrian paths of travel) shall be provided by either an additional dedication of a sidewalk easement (if necessary) and widening of the sidewalk, or by the relocation of any obstructions within the public sidewalk along the Garnet Avenue frontage of the subject property.
- ENG 41. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices for Streets and Highways, dated January 13, 2012, or subsequent editions in force at the time of construction.
- ENG 42. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

END OF CONDITIONS

- ~~4. CHRISTOPHER MEYERS, OWNER, FOR A MINOR ARCHITECTURAL APPLICATION FOR A PARTIAL REMODEL AND 792-SQUARE FOOT MASTER BEDROOM ADDITION; AND AN ADMINISTRATIVE MINOR MODIFICATION REQUESTING AN INCREASE IN BUILDING HEIGHT ON A HILLSIDE LOT LOCATED AT 2353 WEST CANTINA WAY, ZONE R-1-A (CASE NOS. 3.3307 MAA & 7.1417). (GM)~~

~~M/S/C (Secoy, Jensen/Fredricks, 7-0) Table at the request of the applicant.~~

5. ROBERT W MINER FOR ARCHITECTURAL REVIEW OF A PROPOSED 150,560-SQUARE FOOT FED EX DISTRIBUTION CENTER LOCATED ON APPROXIMATELY 22.31 ACRES OF VACANT LAND AT 411 WEST GARNET AVENUE, ZONE M-1-P (CASE 5.1307 CUP / 3.3688 MAJ). (DN)

ASSISTANT PLANNER MLAKER presented an overview of the project.

COMMITTEE MEMBER asked if landscaping extends to the curb.

ASSISTANT PLANNER MLAKER said it goes to the property line.

KEVIN KIERNAN, APPLICANT, said he was available to answer questions. He said the chain link is shown behind the landscaping but he would do beta fence with sharp top.

COMMITTEE MEMBER FREDRICKS asked if he could go over trees and size.

ANDREA PETERSON, LANDSCAPE ARCHITECT, said that all will be 15 gal. trees and 5 gal. groundcover. She's been working here for years and worked with contractors on how to stake. A lot of trees will be shielded by the building.

COMMITTEE MEMBER FREDRICKS asked if covered parking was considered.

KEVIN KIERNAN, APPLICANT, responded saying that trees were preferred as better looking and more effective.

COMMITTEE MEMBER HIRSCHBEIN asked which colors are accurate, in the rendering or samples.

KEVIN KIERNAN, APPLICANT, said that the sample is accurate, rendering is not.

COMMITTEE MEMBER SONG had questions regarding heat gain with dark colors.

KEVIN EVERNHAM, ARCHITECT indicated all is insulated.

COMMITTEE MEMBER HIRSCHBEIN asked if there's any chance they would try solar roofing.

COMMITTEE MEMBER FREDRICKS spoke about concerns with the shade being able to be accomplished. He prefers covered parking with solar; 15 gal. trees are too small.

COMMITTEE MEMBER PURNEL agrees with Fredricks that trees may not live in, reflected heat and wind; and are too small. One gallon plants are too small also. Desert landscaping shown is good but is not the best. He suggested minimizing diversification of plants. No plantings shown on the south.

COMMITTEE MEMBER HIRSCHBEIN commented that the building is fine; better colors. He had a question regarding the beta fencing and prefers covered parking with solar panels.

COMMITTEE MEMBER SONG said she is in favor of tubal beta fencing and does not want black as too hot.

CHAIR SECOY-JENSEN said she is excited about the building and supports the beta fence and no black doors. She suggested cactus or bougainvillea along fencing. She hopes that canopies and solar panels are explored.

COMMITTEE MEMBER FREDRICKS said that shade trees do not work within parking lot and prefers perimeter trees in larger size - 24" box.

COMMITTEE MEMBER HIRSCHBEIN proposed an amendment and requested to consider sustainability methods including photovoltaic.

COMMITTEE MEMBER SONG said no black door; rather it matches walls.

Amendments accepted.

M/S/C (Fauber/Fredricks, 7-0) To approve, subject to conditions:

- Beta fence not chain link, no black color but rather complement perimeter
- All trees 24" box
- Consider sustainability methods including photovoltaic
- Color of each exterior door to match the color of its adjacent wall

A recess was taken at 4:50 pm. The meeting resumed at 4:50 pm.

6. BEAZER HOMES FOR ARCHITECTURAL REVIEW OF FINAL DEVELOPMENT PLANS FOR 72 SINGLE FAMILY HOMES WITHIN

JUSTIFICATION LETTER • FEDEX GROUND

Parcel 669-060-020 in S-22, T-3S, R4E & Parcel 666-330-089 in S-15,T-3S, R-4E

As a premiere provider of small package delivery services, FedEx Ground Package System, Inc. (FedEx Ground) scouted the Coachella Valley for strategically viable sites and selected the newly developing I-10 / Indian Avenue gateway interchange to locate their sorting and delivery facility serving the greater Palm Springs area. The facility is an inward oriented one with the majority of its business related activities occurring inside the confines of the ~150,000 square foot building where delivery vehicles are loaded and unloaded from a proprietary material handling system.

Located in a Planned Research & Development Park Zone with convenient access to the Interstate as well as downtown Palm Springs, the facility complements the existing fuel and food related uses at the heart of the interchange. It's immediate proximity to the Interstate on and off ramps limits the travel needs of the 17' daily semi-trucks. An employee parking lot generously shaded with trees is located on the east side of the building once again in close proximity to the on and off ramps as well as the nearby services available on Indian Avenue and in downtown Palm Springs. The non-public administrative office area is also located in the northeast quadrant of the building offering convenient entry for employees and the occasional public visitor.

Careful study has gone into the siting of the building with the majority of the truck dock doors positioned on the south side of the structure facing extensive utility corridors, railroad tracks and windmill farms. The Garnet and Interstate fronting side of the building is reserved primarily for emergency employee egress and five delivery van sized drive-in doors that remain mostly closed for aesthetic and security purposes. Clad in a palette of pleasing colors with rhythmic rooflines, the understated building is meant to serve as a background to the generous landscape area reserved along its sweeping Garnet Avenue frontage. Smooth metal architectural wall panels allow the complimenting colors and projecting wall masses to breakdown the scale of the building and provide relief in a climate where shadow lines are crisp and clean and seldom muted.

In keeping with the spirit of CALGreen, the facility makes generous use of technologies and materials that conserve natural resources and limit the production of green house gases. Large HVLS (high volume low speed) overhead fans are used in the distribution area to move air and provide a cooling affect. The structural components, roofing and wall panels are comprised primarily of steel, a material that approaches 90% in recycled content. The use of trees to shade the employee parking areas not only provides shade but also cleanses the air of carbon dioxide and enriches it with oxygen.

Your support and approval of the Conditional Use Permit and Major Architectural applications is respectfully requested.

M.DesignFusion. LLC
6020 E Monte Cristo Avenue
Scottsdale, AZ 85254
(480) 948-7293

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


JAN 13 2014

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DEPARTMENT**

SITE PLAN NOTES

- 1 PROPERTY LINE, SEE CIVIL DRAWINGS (- - - - -)
- 2 CHAINLINK FENCE, SEE CIVIL DRAWINGS (— X —)
- 3 ACCESSIBLE PATH OF TRAVEL 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE, SEE CIVIL DRAWINGS. (- - - - -)
- 4 CONCRETE CURB.
- 5 ACCESSIBLE PARKING STALL, PER CITY STANDARD, TYP.
- 6 4" WIDE PAINT STALL STRIPING, PER CITY STANDARD, TYP.
- 7 LANDSCAPED AREA WITH DG GROUNDCOVER, SEE LANDSCAPE DRAWINGS.
- 8 ACCESSIBLE CURB RAMP AND CROSSWALK.
- 9 ENTRY GATE, PROVIDE KNOX BOX.
- 10 CONCRETE WHEEL STOP.
- 11 ACCESSIBLE PARKING SIGN, MOUNTED ON FENCE.
- 12 TURNSTILE GATE.
- 13 ASPHALT PAVEMENT, SEE CIVIL DRAWINGS.
- 14 CONCRETE PAVEMENT, SEE CIVIL DRAWINGS.
- 15 VAN ACCESSIBLE STALL WITH SIGNAGE.
- 16 TRAILER PARKING STALLS.
- 17 VAN STAGING STALLS.
- 18 CONCRETE SIDEWALK.
- 19 RETENTION AREA, SEE CIVIL DRAWINGS.

SITE LEGEND

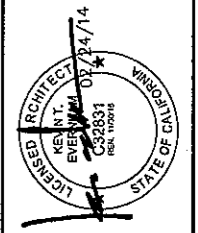
-  POLE MOUNTED LIGHT FIXTURE, SEE PHOTOMETRIC PLAN
-  WALL MOUNTED LIGHT FIXTURE, SEE PHOTOMETRIC PLAN
-  26'-0" WIDE FIRE LANE (HATCHED)

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FEDEx GROUND
411 W GARNET AVENUE
PALM SPRINGS, CALIFORNIA



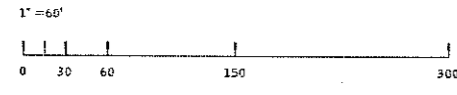
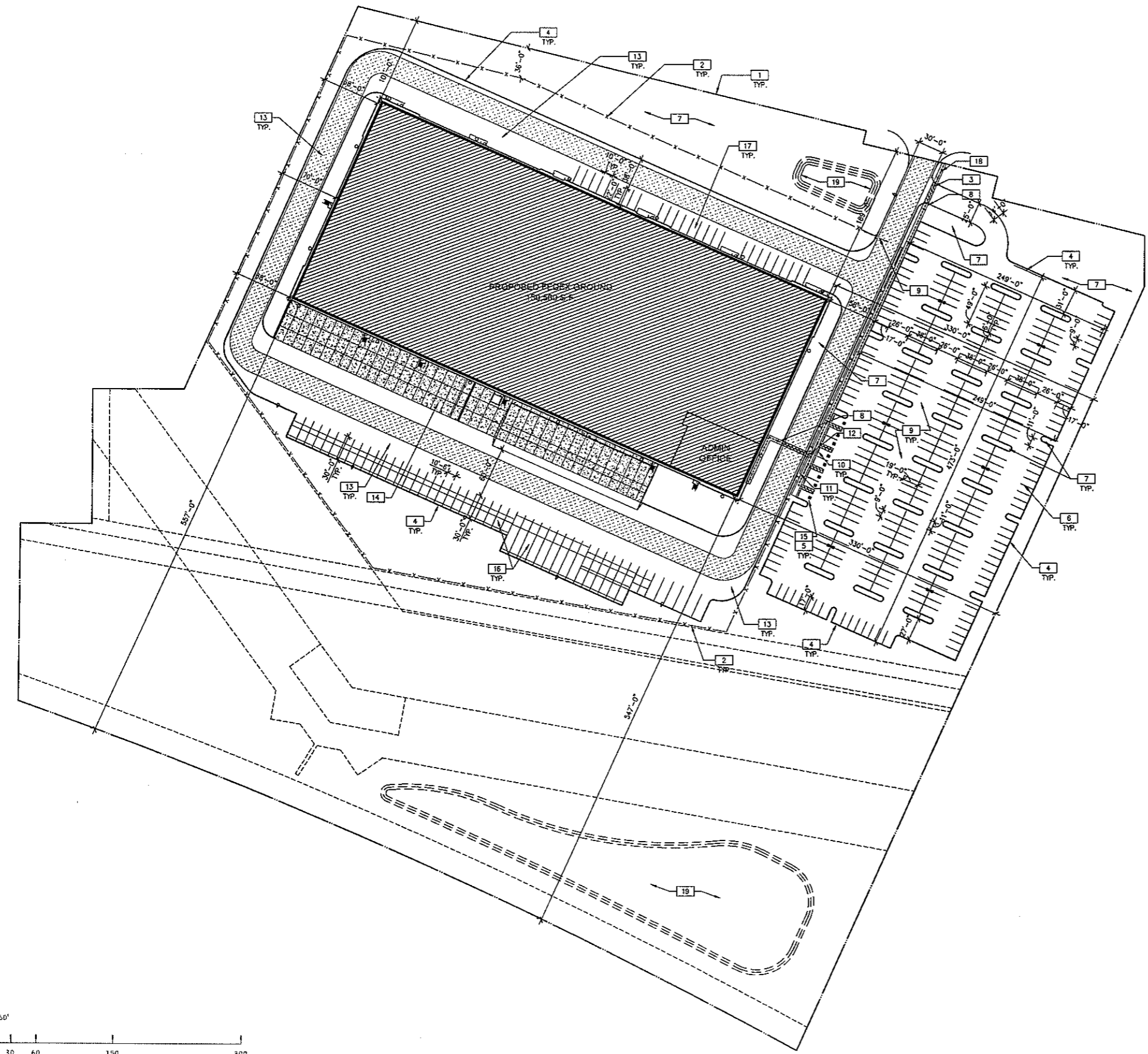
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SITE PLAN	
DATE	REMARKS
07/13/14	FIRST CITY SUBMITTAL
02/24/14	SECOND CITY SUBMITTAL

PA / PM:	K.EVERNHAM
DRAWN BY:	T.M.
JOB NO.:	PHX13-0070-00

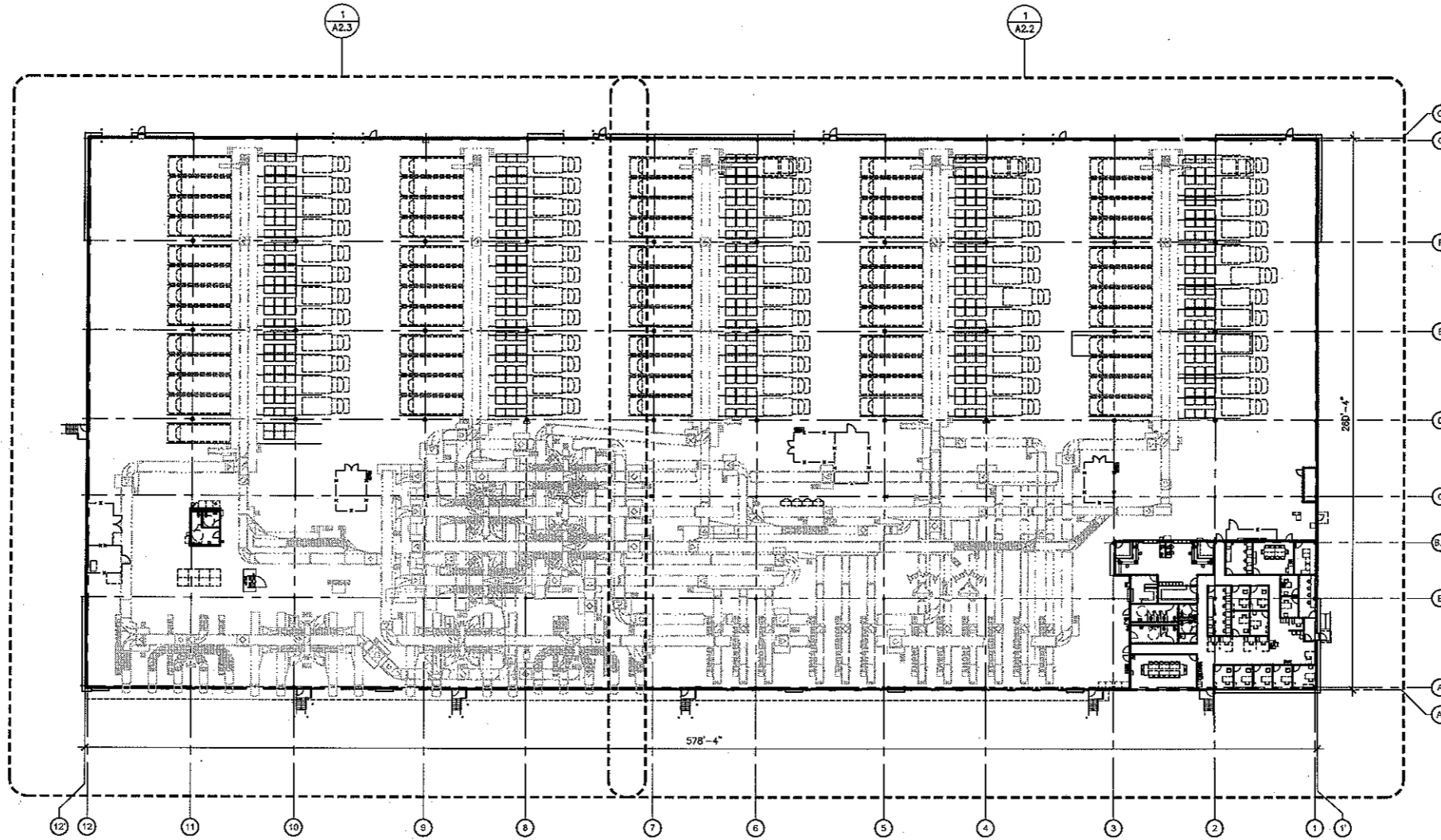
SHEET
A1.1



SITE PLAN
SCALE: 1"=60'-0"



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OVERALL FLOOR PLAN

SCALE: 1/32"=1'-0"



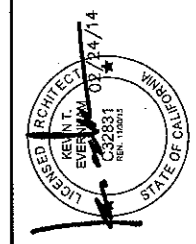
OVERALL FLOOR PLAN

DATE	REMARKS
01/13/14	FIRST CITY SUBMITTAL
02/24/14	SECOND CITY SUBMITTAL

PA / PM:	K. EVERNHAM
DRAWN BY:	T.M.
JOB NO.:	PHX13-0070-00

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FEDEX GROUND
411 W GARNET AVENUE
PALM SPRINGS, CALIFORNIA



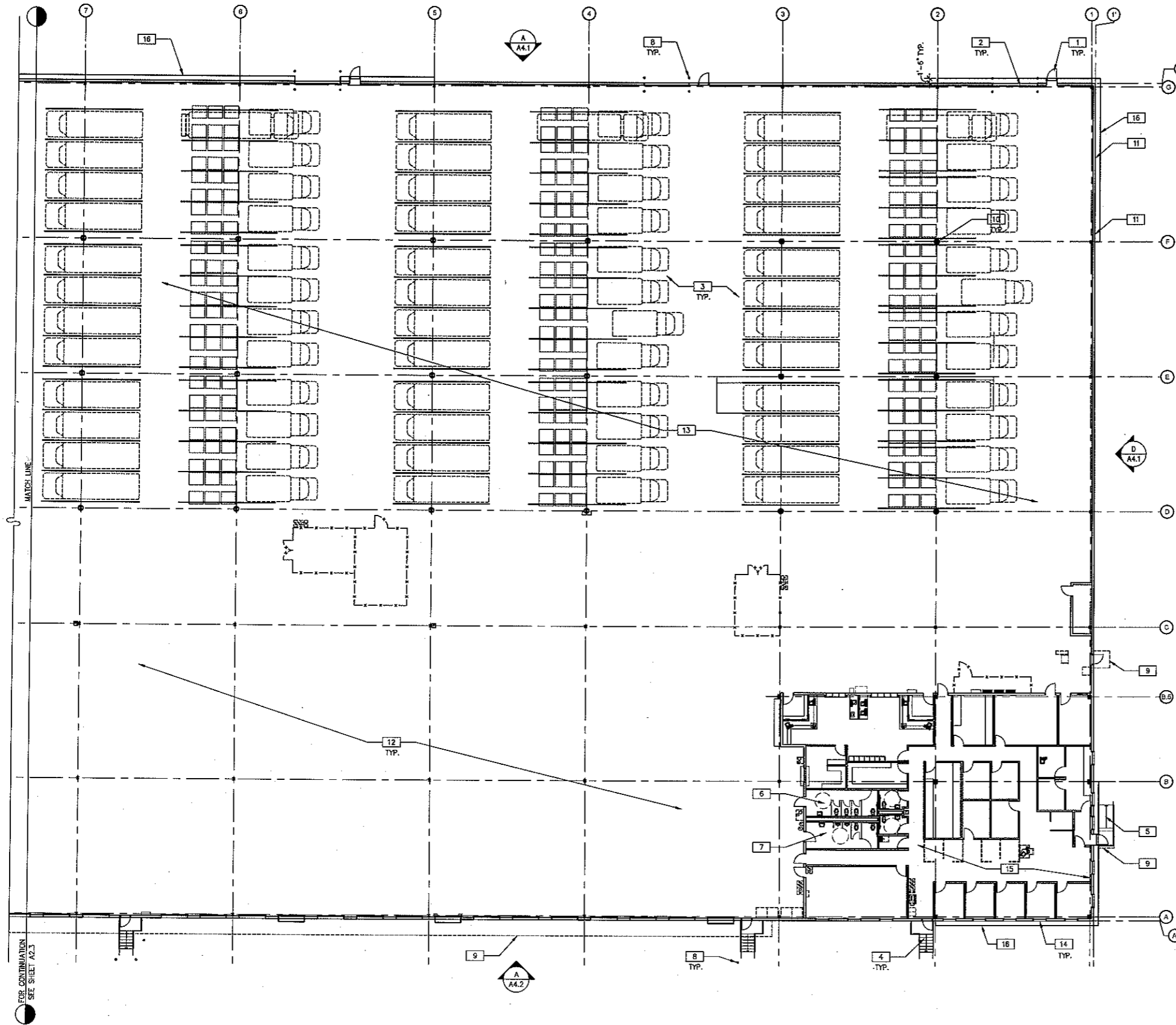
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FLOOR PLAN NOTES

- 1 HOLLOW METAL DOOR.
- 2 STEEL ROLL-UP DOOR.
- 3 CONCRETE SLAB ON GRADE.
- 4 CONCRETE STAIR PROVIDE METAL HANDRAIL AND GUARDRAIL.
- 5 ACCESSIBLE CONCRETE RAMP. PROVIDE HANDRAIL AND GUARDRAIL.
- 6 ACCESSIBLE WOMEN'S RESTROOM.
- 7 ACCESSIBLE MEN'S RESTROOM.
- 8 CONCRETE FILLED STEEL PIPE BOLLARD.
- 9 LINE OF CANOPY ABOVE.
- 10 STRUCTURAL COLUMN.
- 11 METAL WALL PANEL CLADDING OVER STEEL GIRTS.
- 12 SORTING EQUIPMENT AREA.
- 13 VEHICULAR LOADING AREA.
- 14 ALUMINUM STOREFRONT WINDOW SYSTEM.
- 15 OFFICE AREA.
- 16 METAL PANEL WALL.



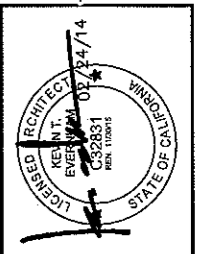
ENLARGED FLOOR PLAN

SCALE: 1/16"=1'-0"



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ENLARGED FLOOR PLAN	
DATE	REMARKS
01/13/14	FIRST CITY SUBMITTAL
02/24/14	SECOND CITY SUBMITTAL

PA / PM: K.EVERNHAM
DRAWN BY: OOD
JOB NO.: PHX13-0070-00

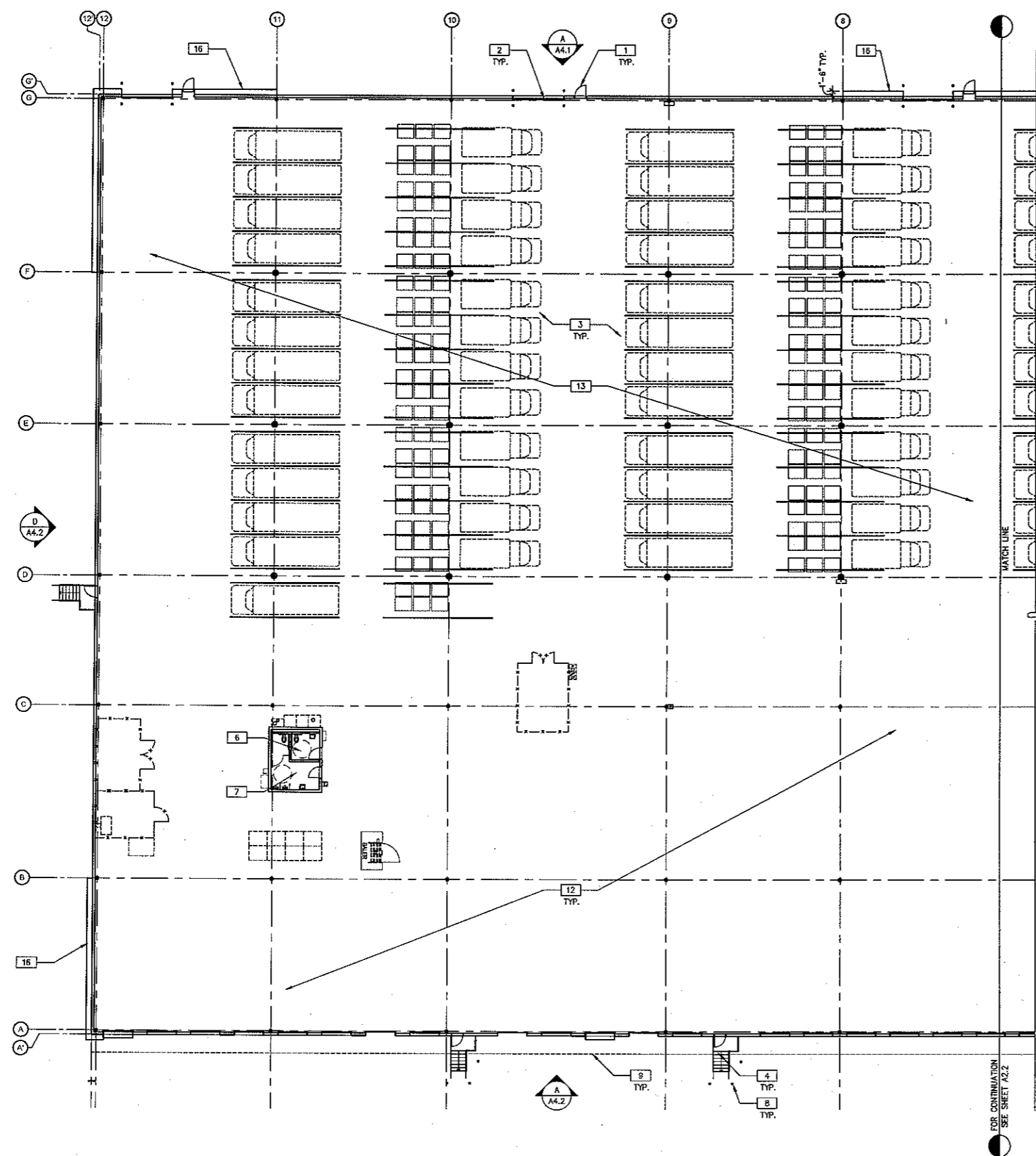
SHEET
A2.2

FOR CONTINUATION
SEE SHEET A2.3

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FLOOR PLAN NOTES

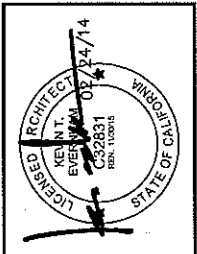
- 1 HOLLOW METAL DOOR.
- 2 STEEL ROLL-UP DOOR.
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- 4 CONCRETE STAIR PROVIDE METAL HANDRAIL AND GUARDRAIL.
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- 6 ACCESSIBLE WOMEN'S RESTROOM.
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- 15 OFFICE AREA.
- 16 METAL PANEL WALL.



ENLARGED FLOOR PLAN
SCALE: 1/16"=1'-0" 1

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ENLARGED FLOOR PLAN	
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02/24/14	SECOND CITY SUBMITTAL

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DRAWN BY: OOO
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SHEET
A2.3

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ROOF PLAN NOTES

- 1 METAL ROOFING SYSTEM.
- 2 ROOF RIDGE.
- 3 PROVIDE GUTTER AND DOWNSPOUTS, TYP.
- 4 PROVIDE BUILDING MANUFACTURERS STANDARD CANOPY WITH GUTTER & DOWNSPOUTS AS REQUIRED BY DESIGN, MAINTAIN 12"-0" CLEAR ABOVE FINISHED FLOOR. KEEP DOWNSPOUTS AS CLOSE TO UNDERSIDE OF CANOPY AS POSSIBLE. TYP. ALL CANOPIES.
- 8 ROOF TOP UNIT, SEE MECHANICAL DRAWINGS.

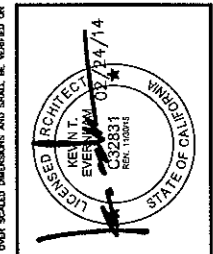


OVERALL ROOF PLAN
SCALE: 1/32"=1'-0"



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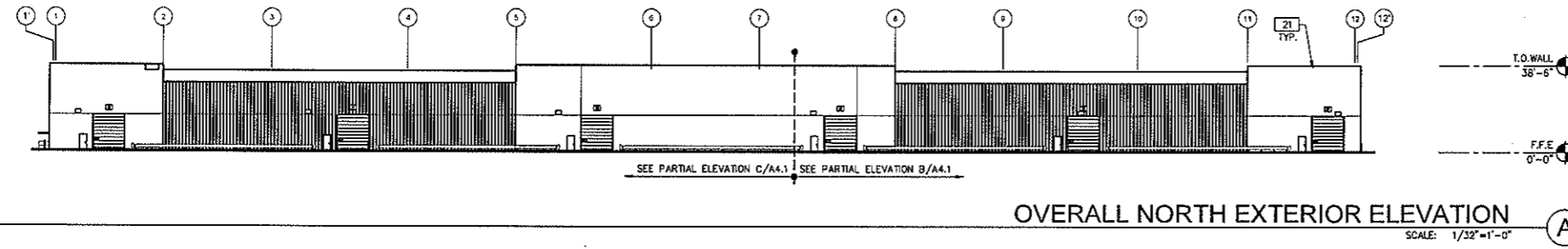
FEDEX GROUND
411 W GARNET AVENUE
PALM SPRINGS, CALIFORNIA

OVERALL ROOF PLAN	
DATE	REMARKS
07/24/14	FIRST CITY SUBMITTAL
07/24/14	SECOND CITY SUBMITTAL

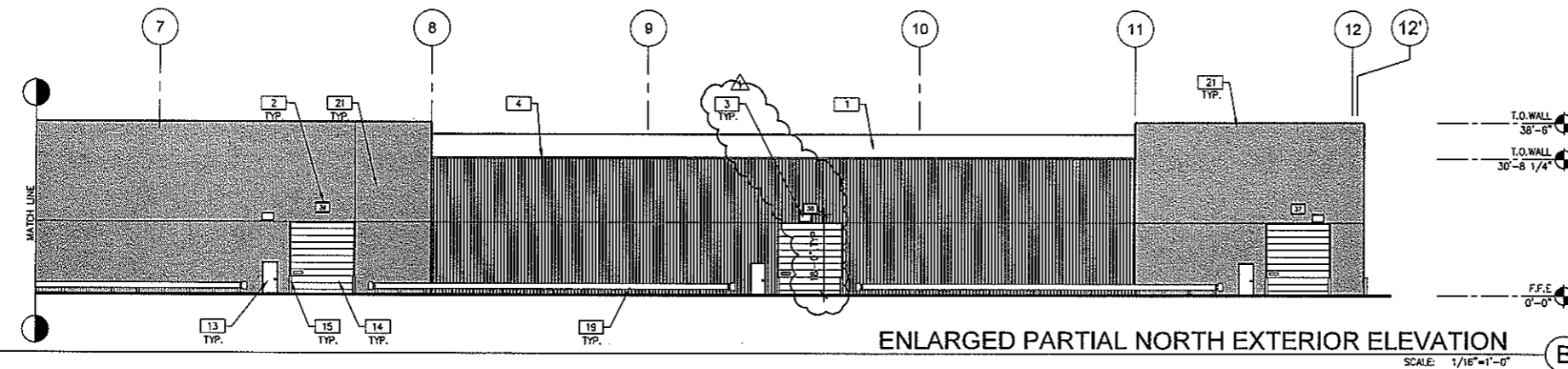
PA / PM:	K.EVERNHAM
DRAWN BY:	T.M.
JOB NO.:	PHX13-0070-00

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A3.1

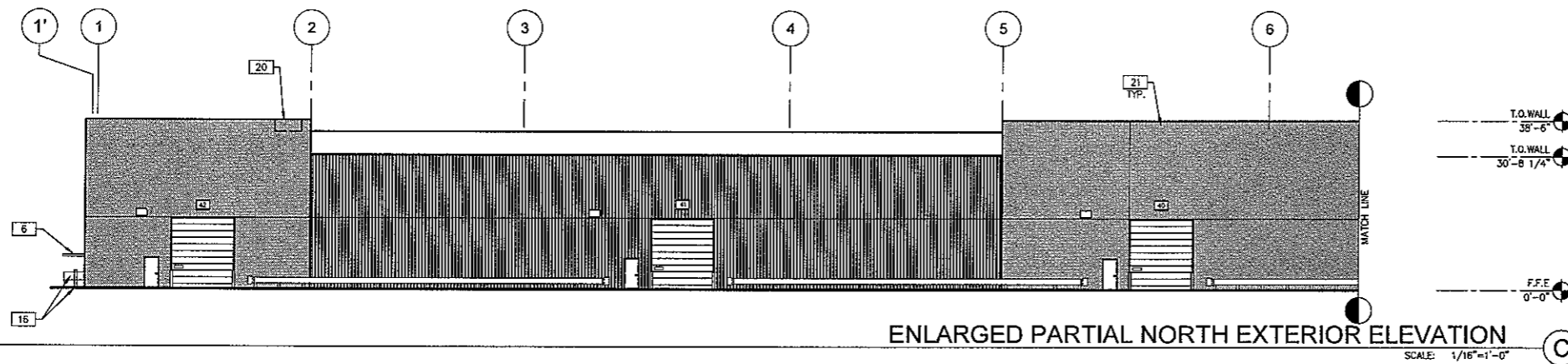
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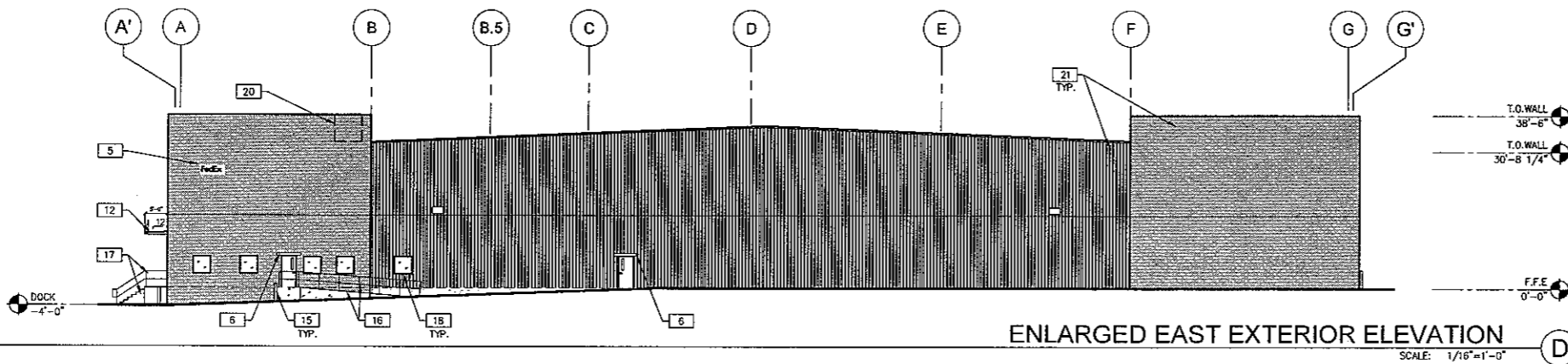
OVERALL NORTH EXTERIOR ELEVATION (A)
SCALE: 1/32"=1'-0"



ENLARGED PARTIAL NORTH EXTERIOR ELEVATION (B)
SCALE: 1/16"=1'-0"



ENLARGED PARTIAL NORTH EXTERIOR ELEVATION (C)
SCALE: 1/16"=1'-0"



ENLARGED EAST EXTERIOR ELEVATION (D)
SCALE: 1/16"=1'-0"

ELEVATION NOTES

- 1 METAL ROOFING SYSTEM
- 2 DOOR SIGN
- 3 WALL MOUNTED LIGHT FIXTURE, SEE PHOTOMETRIC PLAN
- 4 PROVIDE GUTTER AND DOWNSPOUTS, TYP.
- 5 PROVIDE STANDARD BUILDING MOUNTED SIGN, SMALL, 30"x71" CANINET TYPE, NON-ILLUMINATED.
- 6 PROVIDE CANOPY AT OFFICE AND MAIN DISTRIBUTION CENTER ENTRANCES.
- 7 SUBSURFACE RAINWATER DRAINS AT OFFICE PERIMETER.
- 8 PROVIDE GUTTER & DOWNSPOUTS AT MAIN BUILDING. DISCHARGE OF DOWNSPOUTS FROM MAIN BUILDING ONTO CANOPIES IS PROHIBITED. PROVIDE CONTINUOUS DOWNSPOUT CONSTRUCTION AS REQUIRED TO PASS-THRU ANY CANOPIES BELOW.
- 9 UNLOAD DOOR SEAL AT DOORS 1-15.
- 10 DOOR SEAL.
- 11 DOCK SHELTER AT DOORS 22-25, & 27-30
- 12 PROVIDE BUILDING MANUFACTURERS STANDARD CANOPY WITH GUTTER & DOWNSPOUTS AS REQUIRED BY DESIGN, MAINTAIN 12'-0" CLEAR ABOVE FINISHED FLOOR. KEEP DOWNSPOUTS AS CLOSE TO UNDERSIDE OF CANOPY AS POSSIBLE. TYP. ALL CANOPIES.
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- 17 CONCRETE STAIR PROVIDE METAL HANDRAIL AND GUARDRAIL
- 18 ALUMINUM STOREFRONT WINDOW SYSTEM
- 19 HIGHWAY GUARDRAIL
- 20 ROOF TOP UNIT, SEE MECHANICAL DRAWINGS.
- 21 METAL WALL PANEL

LEGEND

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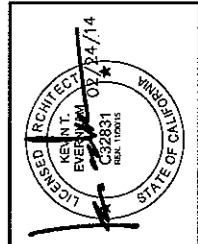
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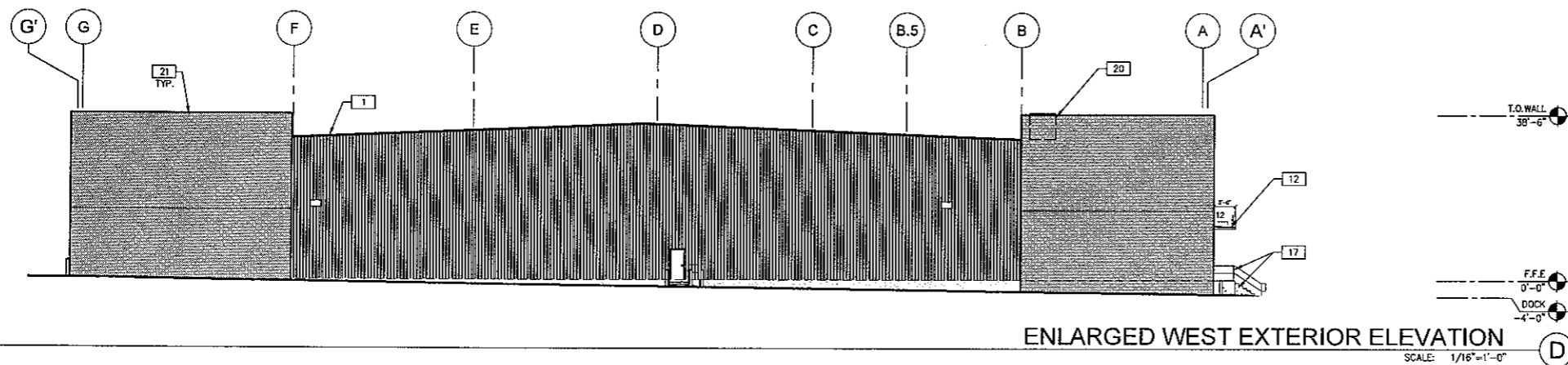
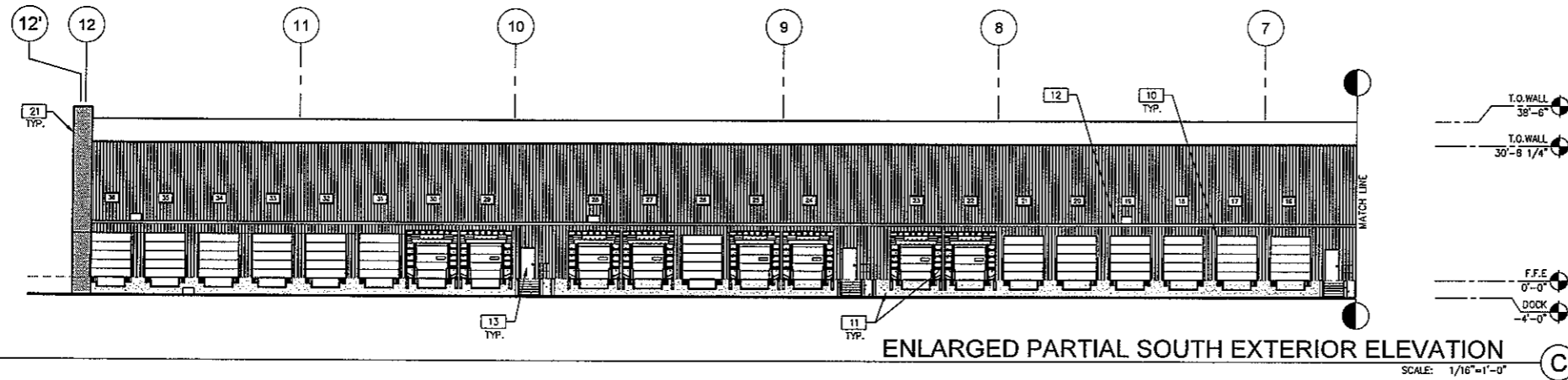
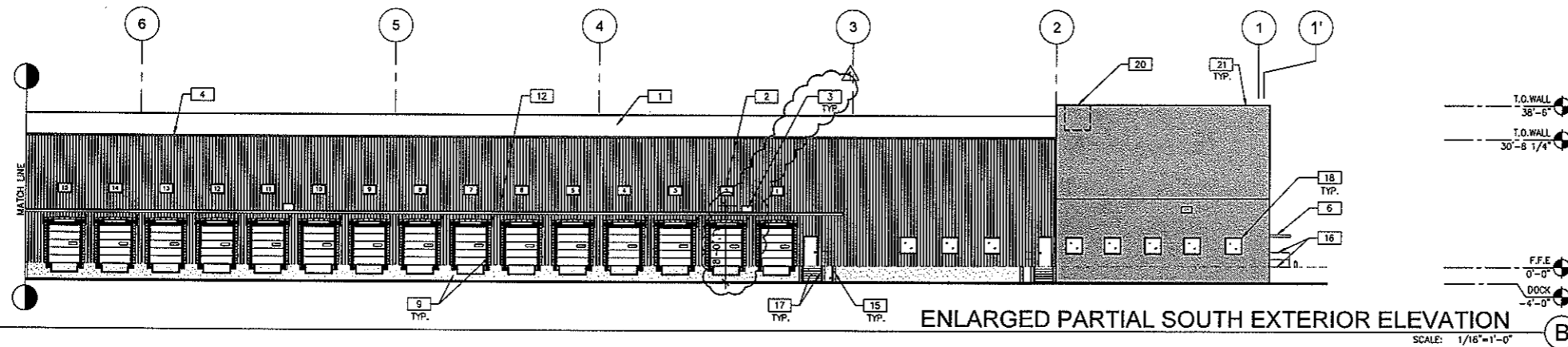
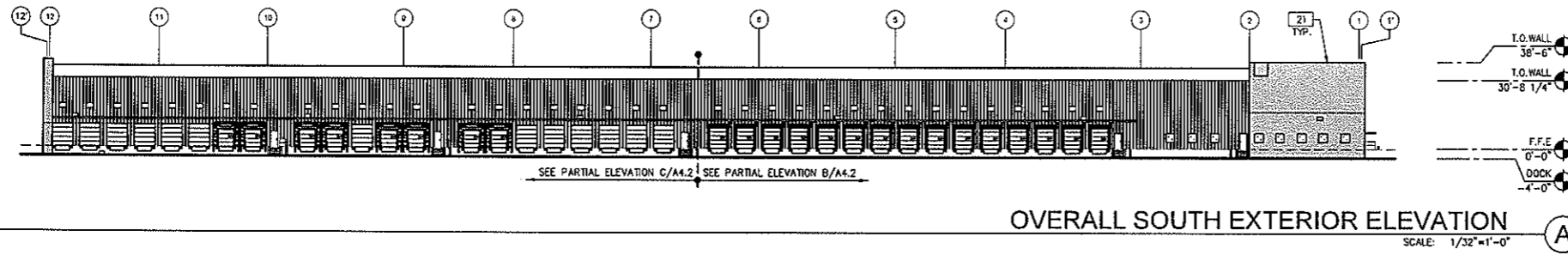
FEDEX GROUND
411 W GARNET AVENUE
PALM SPRINGS, CALIFORNIA

EXTERIOR ELEVATIONS	
DATE	REVISIONS
07/17/14	FIRST CITY SUBMITTAL
02/25/14	SECOND CITY SUBMITTAL

PA / PM:	KEVERNHAM
DRAWN BY:	OOD
JOB NO.:	PHX13-0070-00

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ELEVATION NOTES

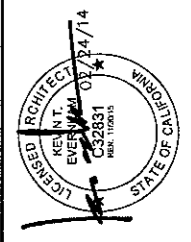
- 1 METAL ROOFING SYSTEM
- 2 DOOR SEAL
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- 18 ALUMINUM STOREFRONT WINDOW SYSTEM
- 19 HIGHWAY GUARDRAIL
- 20 ROOF TOP UNIT, SEE MECHANICAL DRAWINGS.
- 21 METAL WALL PANEL

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EXTERIOR ELEVATIONS	
DATE	REVISIONS
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02/24/14	SECOND CITY SUBMITTAL

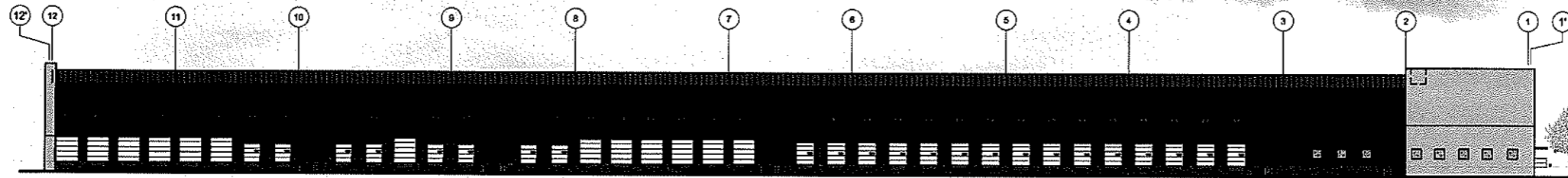
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JOB NO.: PHX13-0070-00

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A4.2

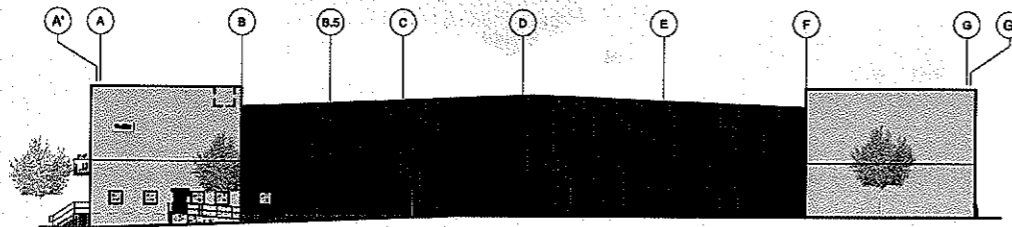
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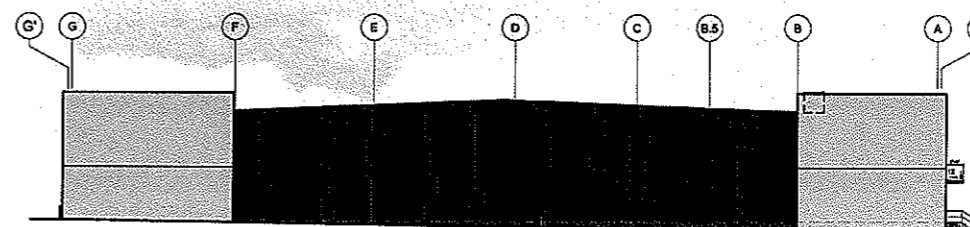
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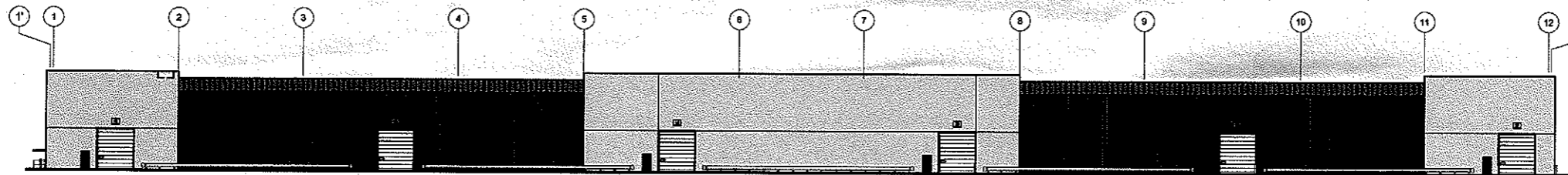
North Elevation
South



West Elevation
East



East Elevation
West

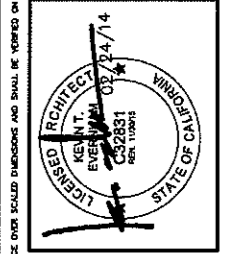


South Elevation
North

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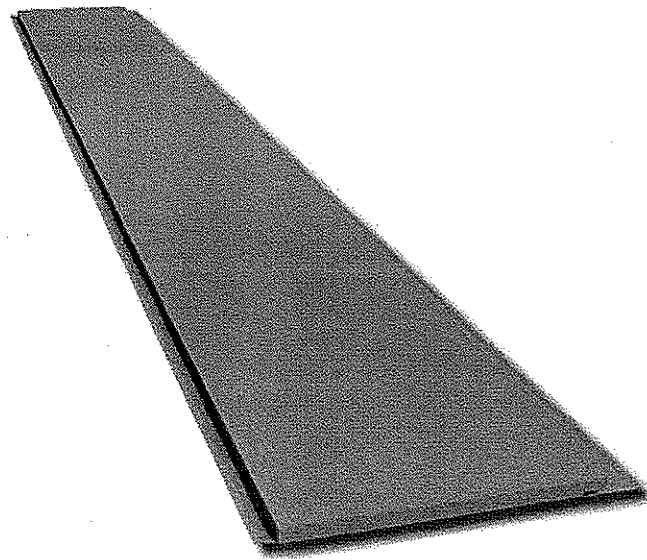
FEDEX GROUND
411 W GARNET AVENUE
PALM SPRINGS, CALIFORNIA

Rendered Elevations	
DATE	REMARKS
07/13/14	FIRST CITY SUBMITTAL
07/24/14	SECOND CITY SUBMITTAL

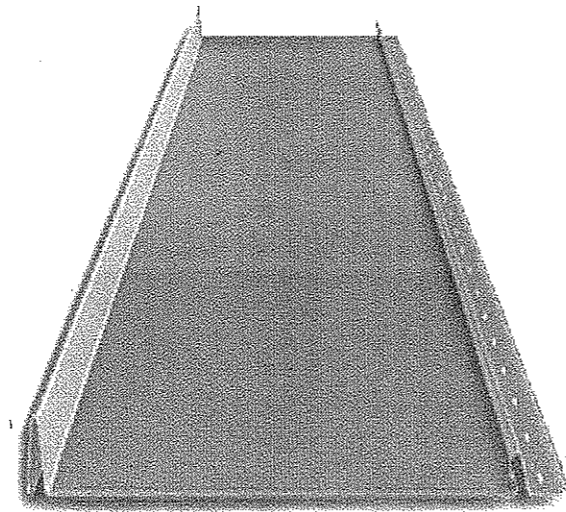
PA / PM:	K.EVERNHAM
DRAWN BY:	
JOB NO.:	PHK13-0070-00

SHEET
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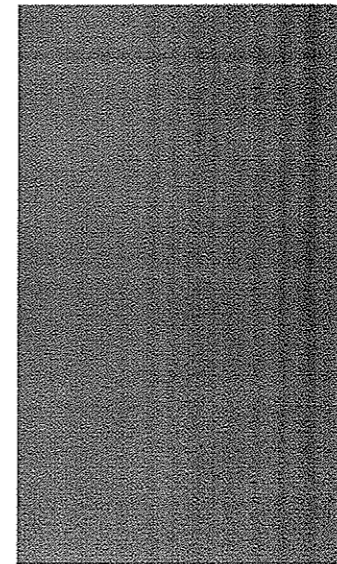
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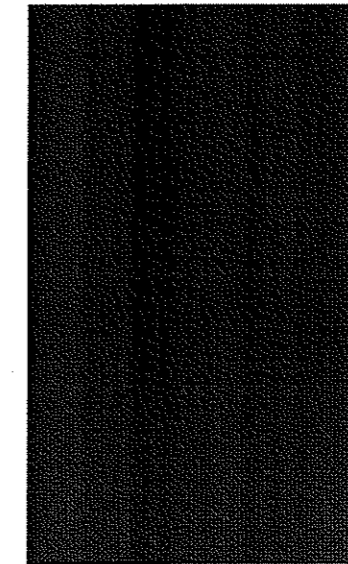
1 Metal Wall Panel System
Gauntlet Gray
Sherwin Williams



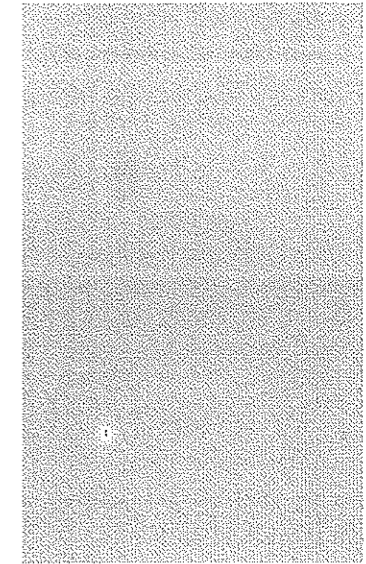
2 Galvalume Roofing System
Manufacturer's Standard Gray



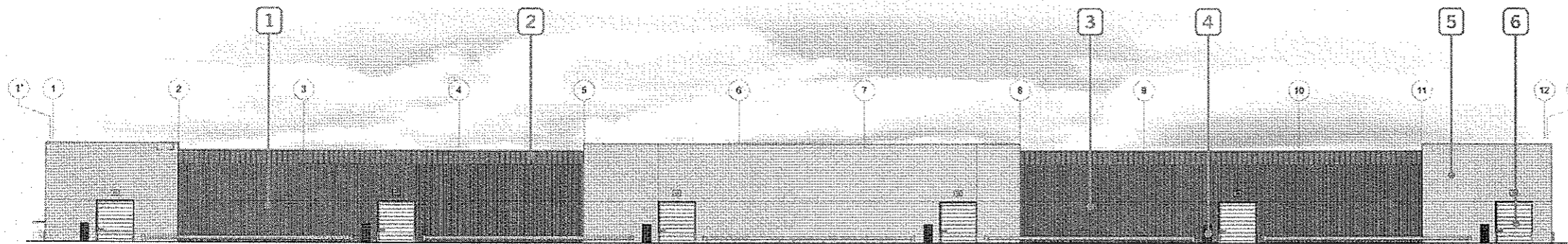
3 Gauntlet Gray
Sherwin Williams
SW 7019



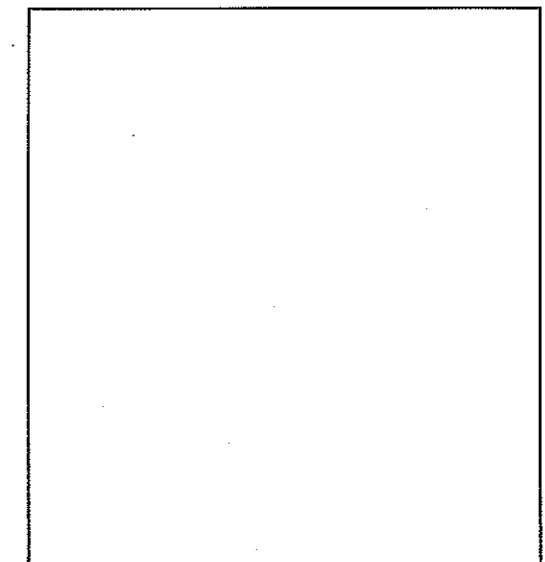
4 Iron Ore
Sherwin Williams
SW 7069



5 Gray Screen
Sherwin Williams
SW 7071
(Metal Panel)

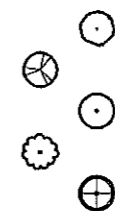


South Elevation



6 Door Manufacturer's
Standard White

LANDSCAPE MATERIAL SCHEDULE



TREES ITEM	SIZE	QTY.
<i>Eucalyptus papuana</i> Ghost Gum	15 gal.	15
<i>Pinus eldarica</i> Afghan Pine	15 gal.	45
<i>Parinsonia hybrid</i> 'Desert Museum' Desert Museum Palo Verde	15 gal.	50
<i>Pithecolobium flexicula</i> Texas Ebony	15 gal.	10
<i>Prosopis hybrid</i> Phoenix Phoenix Mesquite	15 gal.	30

SHRUBS & ACCENTS ITEM	SIZE	QTY.
<i>Bougainvillea</i> 'Torch Glow' Torch Glow Bougainvillea	5 gal.	40
<i>Cassia</i> <i>pulcherrima</i> Red Bird of Paradise	5 gal.	70
<i>Callitriche californica</i> Baja Fairy Duster	5 gal.	30
<i>Eranthis maculata</i> 'Valentine' Valentine Bush	5 gal.	50
<i>Justicia californica</i> Chuparosa	5 gal.	30
<i>Larrea tridentata</i> Creosote	1 gal.	40
<i>Leucophyllum zygophyllum</i> Blue Ranger	5 gal.	50
<i>Leucophyllum</i> L. 'Rio Bravo' Texas Ranger	5 gal.	50
<i>Ruellia perisularis</i> Desert Ruellia	5 gal.	30
<i>Senna artemisioides</i> Feathery Senna	5 gal.	40
<i>Dasylicon wheeleri</i> Desert Spoon	5 gal.	60
<i>Hesperaloe funifera</i> Giant Hesperaloe	5 gal.	40
<i>Hesperaloe parviflora</i> Red Hesperaloe	5 gal.	100

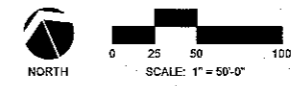
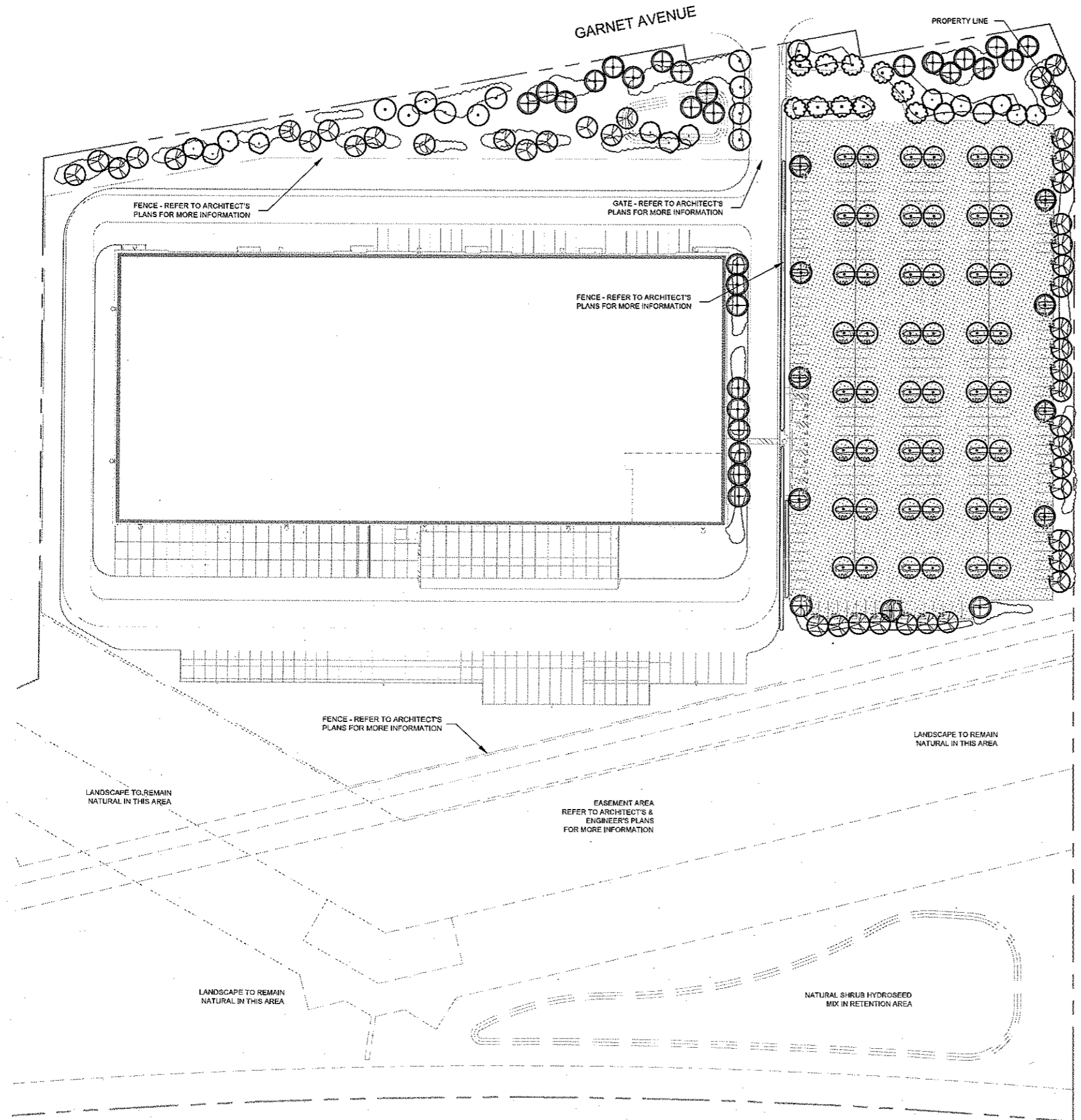
GROUNDCOVERS ITEM	SIZE	QTY.
<i>Acacia redolens</i> Prostrate Acacia	1 gal.	100
<i>Convolvulus oneorum</i> Bush Morning Glory	2 gal.	40
<i>Dalea imulifera</i> 'Sierra Negra' Sierra Negra Dalea	1 gal.	40
<i>Ruellia brittaniana</i> 'Katie' Katie Ruellia	1 gal.	30

MISCELLANEOUS ITEM	SIZE	QTY.
Decomposed Granite	3/4" Minus	176,664 S.F.

PARKING LOT SHADE CALCULATIONS

TREE	100%	75%	25%
MEDIUM TO LARGE TREES (AFGHAN PINE, DESERT MUSEUM, TEXAS EBONY, PHOENIX MESQUITE)	96 @ 707 S.F. = 67,872 S.F.	20 @ 530 S.F. = 10,600 S.F.	49 @ 177 S.F. = 8,496 S.F.
MEDIUM TO SMALL TREES (EUCALYPTUS PAPUANA)	0 @ 491 S.F. = 0 S.F.	0 @ 246 S.F. = 0 S.F.	0 @ 123 S.F. = 0 S.F.
SUB-TOTAL SHADED AREA:	67,872 S.F.	10,600 S.F.	8,496 S.F.

TOTAL PARKING AREA: 111,000
 SHADING REQUIRED: 55,000 S.F. (50.0%)
 SHADING PROVIDED: 86,968 S.F. (78.3%)



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PRELIMINARY LANDSCAPE PLANS
FEDEX PALM SPRINGS
 WARE MALCOMB
 PALM SPRINGS, CALIFORNIA

DATE	02/20/2014
DRAWN	KLB
DESIGNED	KLB
CHECKED	TJD
PROJECT #	14130581000



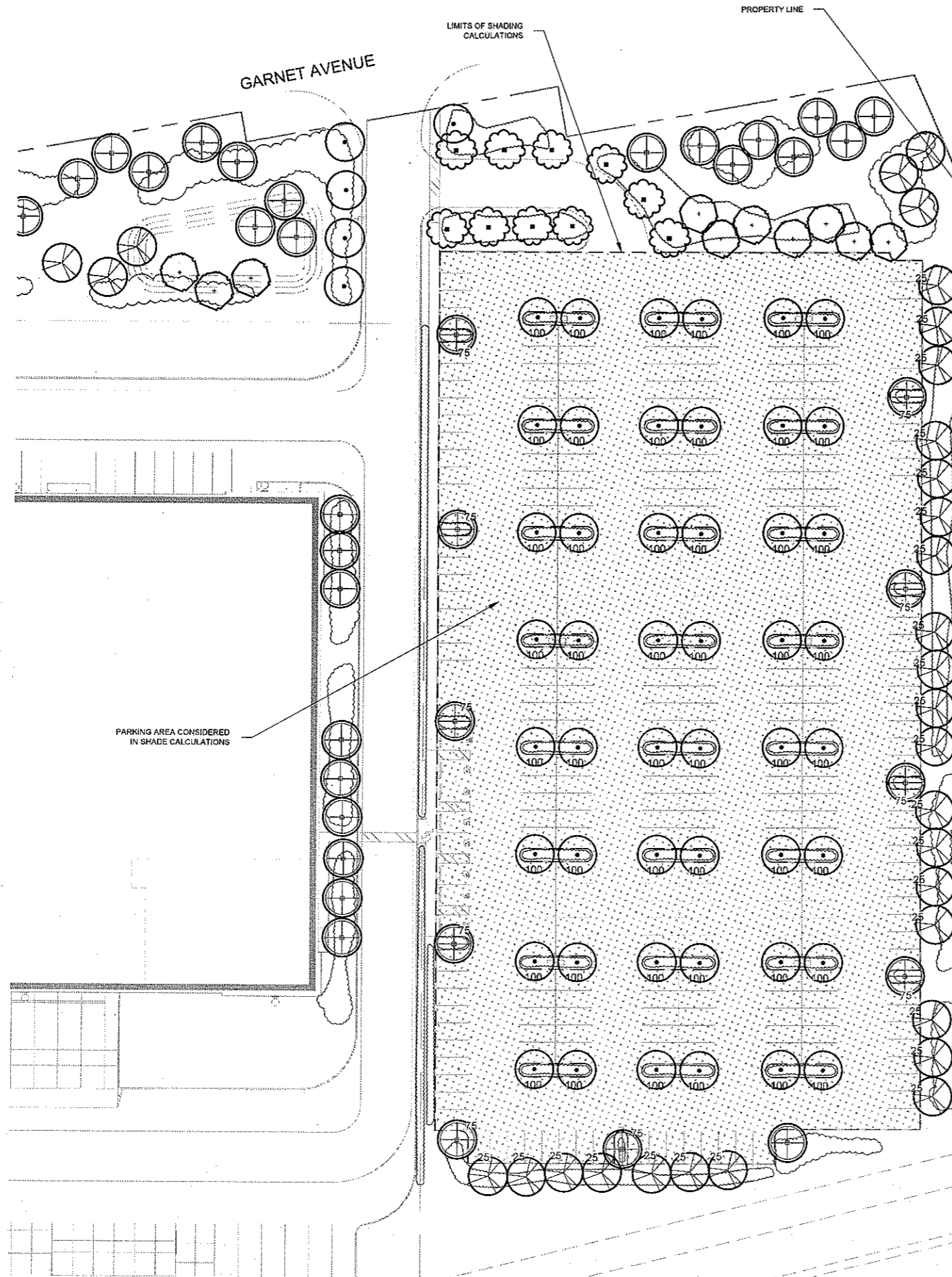
DATE | 02/20/2014
 DRAWN | KLB
 DESIGNED | KLB
 CHECKED | TJD
 PROJECT # | 14130581000

SHEET TITLE
 LANDSCAPE & SHADE PLAN
 SHEET NUMBER
L1.01
 .01 OF 03 SHEETS

W:\130581000\landscapel\DD0581-DD-L1.dwg 2/18/2014 kalis.kalimford (kibramky)

1ST SUBMITTAL

PARKING LOT SHADE EXHIBIT



PARKING LOT SHADE CALCULATIONS

TREE	100%	75%	25%
MEDIUM TO LARGE TREES (AFGHAN PINE, DESERT MUSEUM, TEXAS EBONY, PHOENIX MESQUITE)	06 @ 707 S.F. = 67,872 S.F.	20 @ 530 S.F. = 10,600 S.F.	48 @ 177 S.F. = 8,496 S.F.
MEDIUM TO SMALL TREES (EUCALYPTUS PAPAUNA)	0 @ 401 S.F. = 0 S.F.	0 @ 245 S.F. = 0 S.F.	0 @ 123 S.F. = 0 S.F.
SUB-TOTAL SHADED AREA:	67,872 S.F.	10,600 S.F.	8,496 S.F.

TOTAL PARKING AREA: 111,000
 SHADING REQUIRED: 55,000 S.F. (50.0%)
 SHADING PROVIDED: 86,968 S.F. (78.3%)

LANDSCAPE MATERIAL SCHEDULE

TREES ITEM	SIZE	QTY.
<i>Eucalyptus papuana</i> Ghost Gum	15 gal.	15
<i>Pinus alberta</i> Afghan Pine	15 gal.	45
<i>Parkinsonia hybrid</i> 'Desert Museum' Desert Museum Palo Verde	15 gal.	59
<i>Pithecolobium flexicarpale</i> Texas Ebony	15 gal.	10
<i>Prosopis hybrid</i> Phoenix Phoenix Mesquite	15 gal.	39
SHRUBS & ACCENTS ITEM	SIZE	QTY.
<i>Bougainvillea</i> 'Torch Glow' Torch Glow Bougainvillea	5 gal.	40
<i>Cassia</i> 'Fairy Duster' Baja Fairy Duster	5 gal.	70
<i>Eremophila maculata</i> 'Valentine' Valentine Bush	5 gal.	30
<i>Justicia californica</i> Chuparosa	5 gal.	50
<i>Larrea tridentata</i> Creosote	1 gal.	30
<i>Leucophyllum zygophyllum</i> Blue Ranger	5 gal.	40
<i>Leucophyllum f. 'Rio Bravo'</i> Texas Ranger	5 gal.	50
<i>Ruellia peninsularis</i> Desert Ruetlia	5 gal.	30
<i>Senna artemisioides</i> Feathery Senna	5 gal.	40
<i>Dasyliion wheeleri</i> Desert Spoon	5 gal.	60
<i>Hesperaloe funifera</i> Giant Hesperaloe	5 gal.	40
<i>Hesperaloe parviflora</i> Red Hesperaloe	5 gal.	100
GROUNDCOVERS ITEM	SIZE	QTY.
<i>Acacia redolens</i> Prostrate Acacia	1 gal.	100
<i>Convolvulus cneorum</i> Bush Morning Glory	2 gal.	40
<i>Dalea frutescens</i> 'Sierra Negra' Sierra Negra Dalea	1 gal.	40
<i>Ruellia brittaniana</i> 'Katie' Katie Ruetlia	1 gal.	30
MISCELLANEOUS ITEM	SIZE	QTY.
Decomposed Granite	3/4" Minus	176,864 S.F.



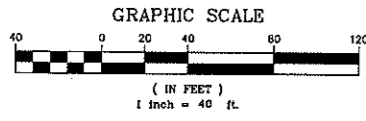
DIVISION 1 FIRST CITY SUBMITTAL
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PRELIMINARY LANDSCAPE PLANS
FEDEX PALM SPRINGS
 WARE MALCOMB
 PALM SPRINGS, CALIFORNIA

LICENSED LANDSCAPE ARCHITECT
 Tim J. Dougherty
 No. 2003-15
 Renewal Date 07-26-2018
 STATE OF CALIFORNIA

DATE: 02/20/2014
 DRAWN: KLB
 DESIGNED: KLB
 CHECKED: TJD
 PROJECT #: 4130581000
 SHEET TITLE: PARKING LOT SHADE EXHIBIT
 SHEET NUMBER: L1.03
 03 OF 03 SHEETS

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REVISION		APPR.	DATE

BENCHMARK NO. M.S.A. CP #500
 ELEV. 716.51
 LOCATION: FD. 1" LP. W/PLASTIC PLUG STAMPED
 "M.S.A. CP", LOCATED 80'± N. OF N. CURB OF
 GARNET AVENUE & 150'± E. OF I-10 RAMP.

DESIGNED BY: CJG
 DRAWN BY: CJG
 CHECKED BY: DKR

MCVE
 CONSULTING ENGINEERS
 77-933 Las Mananitas Road, Suite
 101, Palm Desert, CA 92211
 Tel: (760) 366-4700
 Fax: (760) 366-4204
 www.mcve.com
 email: mcve@mcve.com

PREPARED UNDER THE DIRECT SUPERVISION OF
 DAVID K. RICE
 EXP. DATE: 06/30/15
 35728
 R.C.E. NO.

CITY CHECK
 DATE

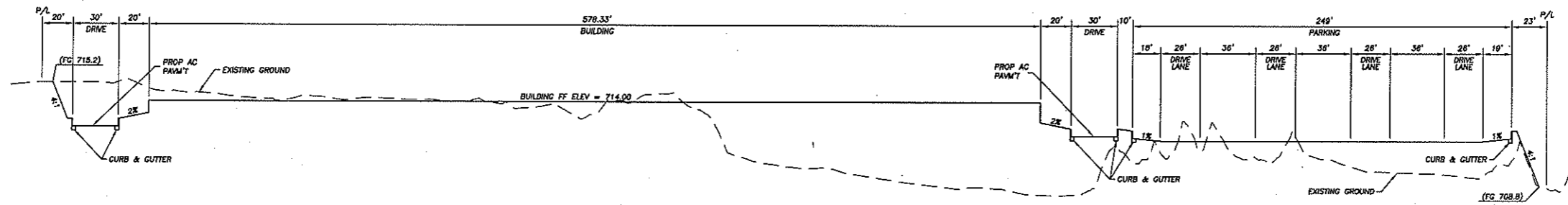
REVIEWED BY
 JOHN M. BRUDIN
 EXP. DATE: 03/31/14
 41836
 R.C.E. NO.

APPROVED BY
 DAVID J. BARAKAN
 EXP. DATE: 03/31/15
 28931
 R.C.E. NO.

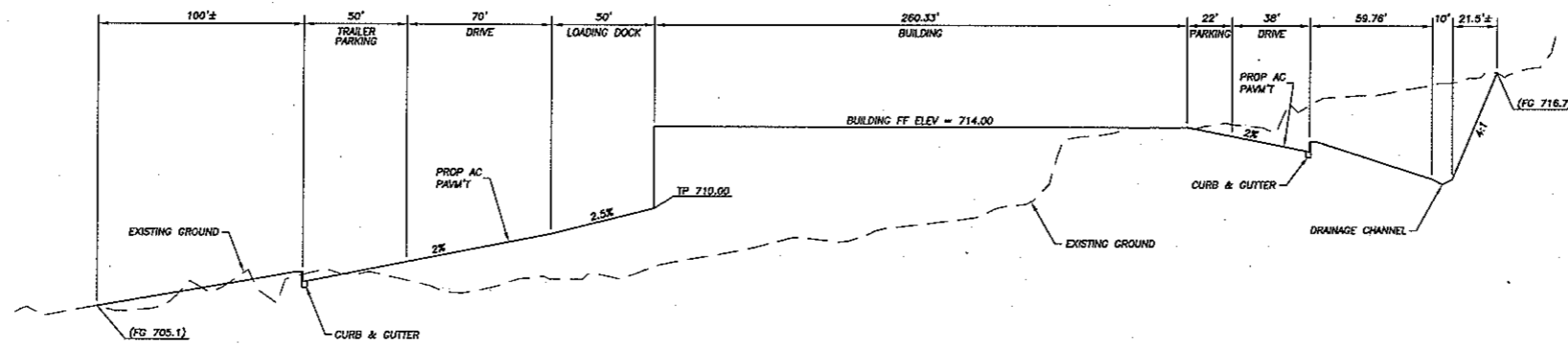
CITY OF PALM SPRINGS, CALIFORNIA
 KIERNAN WEST
PRELIMINARY GRADING PLAN
 FOR A.P.N. 666-330-089 & 666-060-020
 IN THE S1/2 SE1/4 OF SEC. 15 & IN THE NW1/4 NE1/4 OF SEC. 22, T.35, R.4E, S.B.M.

FILE NO.
 SHEET 2
 OF
 4 SHEETS

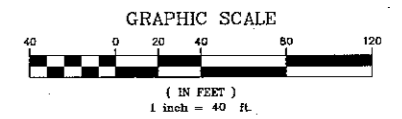
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SECTION "A-A"
SCALE: (H)1"=40' (V)1"=4'



SECTION "B-B"
SCALE: (H)1"=40' (V)1"=4'



NO.	REVISION	APPR.	DATE

BENCHMARK NO. M.S.A. CP #500
ELEV. 716.51
LOCATION: FD. 1" I.P. W/PLASTIC PLUG STAMPED
"M.S.A. CP" LOCATED 80'± N. OF N. CURB OF
GARNET AVENUE & 150'± E. OF I-10 RAMPS.

DESIGNED BY: C.J.G.
DRAWN BY: C.J.G.
CHECKED BY: DKR



PREPARED UNDER THE DIRECT SUPERVISION OF
CITY CHECK
REVIEWED BY
APPROVED BY

DAVID K. RICE EXP. DATE: 06/30/15 JOHN M. BRUDIN EXP. DATE: 03/31/14
35728 41836 DATE DATE
R.C.E. NO. R.C.E. NO.

DAVID J. BARAKAT EXP. DATE: 03/31/15
2831
DATE R.C.E. NO.

CITY OF PALM SPRINGS, CALIFORNIA
KIERNAN WEST
PRELIMINARY GRADING PLAN
POR, A.P.N. 666-330-089 & 668-980-020
IN THE S1/2 SE1/4 OF SEC. 15 & IN THE NW1/4 NE1/4 OF SEC. 22, T.38S., R.4E., S.B.M.

FILE NO. SHEET 4
DRAWING NO. OF
4 SHEETS

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