



## PLANNING COMMISSION STAFF REPORT

DATE: JUNE 25, 2014

SUBJECT: CHRISTOPHER MEYERS, OWNER, FOR A MAJOR ARCHITECTURAL APPLICATION FOR A REMODEL, 792-SQUARE FOOT; ADDITION AND AN ADMINISTRATIVE MINOR MODIFICATION FOR AN INCREASE IN BUILDING HEIGHT ON A HILLSIDE LOT LOCATED AT 2353 WEST CANTINA WAY, ZONE R-1-A SECTION 27. (GM)

FROM: M. Margo Wheeler, AICP, Director of Planning Services

### SUMMARY

The Planning Commission to review a request for a partial remodel and 792-square foot master bedroom addition and an Administrative Minor Modification requesting an increase in building height on a hillside lot.

### RECOMMENDATION:

Approve as submitted with two conditions per AAC recommendation.

### ISSUES:

- Siting of house is based upon requirements for front and side-front yard setbacks on a hillside lot.
- Hillside ordinance allows height of structure up to 18 feet not to exceed 30 feet with an Administrative Minor Modification. (AMM)
- Proposed maximum height of home to be 21'-4" above established curb elevation.
- AMM is requesting an increase in height of 3'-4".

### BACKGROUND:

*Related Relevant City Actions by Planning, Fire, Building, etc.*

1962	City issues building permit to construct house.
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### *Most Recent Ownership*

4/17/2012	Christopher Meyers
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### *Neighborhood Notification*

5/29/2014	Staff has sent email notification of hillside application to the Canyon Corridor Neighborhood and Mesa Neighborhood.
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***Field Check***

February 2014	Staff visited site to observe existing conditions
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***Notification***

5/29/2014	Notice sent to all adjacent and abutting property owners. Staff has received two letters of opposition. One neighbor attended the AAC meeting supporting the proposal.
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***Details of Application Request***

***Site Area***

Net Area	20,038 – square feet
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Subject Site: 2353 Cantina Way

**ANALYSIS:**

<b>Surrounding Property</b>	<b>Existing General Plan Designations</b>	<b>Existing Land Use</b>	<b>Existing Zoning Designations</b>
Subject Property	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-A Single-Family Residential
North	ER (Estate Residential), 2 Units per acre	Single-Family Residential - Vacant	R-1-A Single-Family Residential
South	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-A Single-Family Residential
East	ER (Estate Residential), 2 Units per acre	Single-Family Residential - Vacant	R-1-A Single-Family Residential
West	ER (Estate Residential), 2 Units per acre	Single-Family Residential - Vacant	R-1-A Single-Family Residential

**DEVELOPMENT STANDARDS:**

	<b>R-1-A-H</b>	<b>Proposed Project</b>
Lot Area	20,000 – sq. ft.	20,038 –sq. ft. (conforms)
Lot Width	120 feet	80 feet – lot of record
Lot Depth	120 feet	128 feet (conforms)
Front Yard	10 feet – Hillside Lot	13.0 feet (conforms)
Side Front Yard	10 feet – Hillside Lot	14 feet (conforms)
Rear Yard	15 feet	60 feet (conforms)
Building Height (max.)	12 feet at setback line to max 18 at a 4:12 slope	21.4 feet – hillside with AMM (conforms)
Bldg. Coverage	35% lot coverage	5.23% (conforms)
House / Garage	1,500 – sq ft	3,598 - sq. ft. (conforms)
Off-street parking	2 covered spaces	2 covered provided (conforms)
Landscaping	No specific requirements	Landscape plan provided (conforms)

**PROJECT DESCRIPTION:**

The applicant is seeking a house remodel of a bedroom and kitchen area and the enclosure of an existing two-car carport to a garage. In addition, a 792-square foot second-story master bedroom, bathroom and den are proposed above the newly enclosed garage. The second level will bridge from atop the garage to the west meeting the existing hillside. The proposed height of the addition will be 21'-4" above established pad elevation. Portions of the structure to include a clearstory window, roof and gable end will project above the allowed 18 feet maximum building height. An

Administrative Minor Modification (AMM) may grant greater height up to 30 feet. The applicant is seeking an AMM to increase the building height 3'-4". According to Section 94.06.01 of the PSZC this may be granted by the Planning Commission. The new building roof lines will be consistent with existing building materials to include smooth plaster walls, clear glass, Angelous block, and grey concrete driveway. A small "wing wall" will extend out along the driveway.

Proposed landscaping includes planting seven Barrel Cactus in a planter bed adjacent to the garage and one shade tree per AAC conditions. All other landscaping will remain.

#### Architectural Advisory Committee

The Architectural Advisory Committee (AAC) reviewed the project on June 9, 2014 and voted 6-0-1 to recommend approval to the Planning Commission with two conditions as follows:

1. Revise landscape plan to add large shade tree between driveway and street.
2. Minimal box size of 36" for new shade tree.

#### Administrative Minor Modification

The applicant is requesting an increase in building height pursuant to PSZC Section 94.06.01(A)(8) – *for areas with a grade of ten (10) percent or more, modification of building height to a maximum of thirty (30) feet upon approval of a site plan, and elevations.* The request to increase the allowable building height from eighteen (18) feet to a maximum height of 21'-4" feet is permissible with an AMM. The increase in building height of 3'-4" feet will allow for a more interesting and better integrated addition blending into the surrounding hillside landscape.

#### ARCHITECTURAL APPROVAL

Although there are no required findings for applications for architectural approval which do not require environmental assessments, the Zoning Ordinance Section 94.04.00(D)(1-9) provides guidelines for the architectural review of development projects to determine that the proposed development will provide a desirable environment for its occupants as well as being compatible with the character of adjacent and surrounding developments, and whether aesthetically it is of good composition, materials, textures and colors. Conformance is evaluated, based on consideration of the following:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The proposal includes the construction of a 792-square foot second-story master bedroom, bathroom and den including the enclosure of a garage. The proposed addition will be constructed of smooth plaster walls, clear glass, Angelous block with grey concrete driveway. The second-story addition will bridge from the top of the existing carport and be anchored into the hillside blending with the surrounding desertscape.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The surrounding properties at the end of Cantina Way are of similar Modern design. The proposed project will create an interesting visual contrast within the hillside cul-de-sac providing great variety through the use of a modern contemporary architectural style utilizing building materials that are complimentary to the hillside landscape and topography. The strategic placement of landscaping elements will act as a screen and provide privacy to adjacent properties.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The maximum height of the proposed project is 21'-4" feet tall to the top of the second-story roof line. Pursuant to Section 94.06.01(A)(8) of PSZC, "hillside properties have a maximum allowable height of 30 feet but require an approval of an Administrative Minor Modification to increase height". The proposed second-story roof at 21'-4" feet is compatible with the heights found in other hillside residences in the City. Other houses along Cantina Way within the Mesa neighborhood contain homes similar in style and height. All other setback requirements have been met.

4. *Building design, materials and colors to be sympathetic with desert surroundings;*

AND

5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously,*

AND

6. *Consistency of composition and treatment,*

The proposed building materials include smooth plaster walls, clear glass, Angelous block with grey concrete driveway. The new addition will match existing colors and materials on the existing house. The sympathetic placement of the second-story bedroom bridging from the main house to the hillside seamlessly blends into the desert surroundings.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The landscape plan proposes minimal use of plants so as to not detract from the architecture of the house. However a new large Mesquite shade tree is to be planted at the front of the house between the driveway and property line. This tree shall be no less than 36" box acting as a privacy screen for adjacent properties. The proposed water-efficient plants which are located in a manner that conforms to the topography of the site will be consistent with desert surroundings.

Findings of the Administrative Minor Modification

1. *The requested minor modification is consistent with the General Plan, applicable Specific Plan(s) and overall objectives of the zoning ordinance.*

There is no General Plan Policy that would be adversely affected by this modification nor are there any specific plans associated with this property. The Palm Springs Zoning Code (PSZC), Section 94.06.01(A)(5) and 94.06.01(A)(8) specifically allows for the requests.

2. *The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the minor modification.*

The request for an increase in building height from eighteen (18) feet to a maximum of 21'-4" feet will not impact surrounding properties with the addition of a landscape screening. The request to increase building height by 3'-4" feet will allow for a two-story bedroom addition with dramatic architecture bridging from the existing house to the hillside. The increase in height will allow for a better house design and can be considered a minor modification. Residences on hillside lots are allowed at maximum height of 30 feet and the proposed height of the project is similar to other properties along Cantina Way.

3. *The approval of the minor modification will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity.*

All building and renovations will be built to the Uniform Building Code, and Palm Springs Zoning Code as modified by this Administrative Minor Modification, and Fire Code.

4. *The approval of the minor modification is justified by environmental features, site conditions, location of existing improvements, or historic development patterns of the property or neighborhood.*

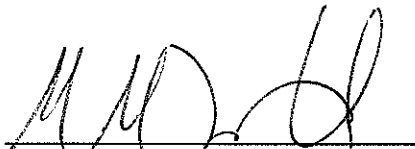
The modifications are warranted due to the location of the proposed single-family residence on a hillside lot. The proposed new construction will meet R-1-A zone established setbacks. Staff has determined the nature of the height increase request is in harmony with the current standards of the neighborhood, and is in keeping with historical development patterns of the surrounding area.

ENVIRONMENTAL DETERMINATION:

Pursuant to the California Environmental Quality Act (CEQA) Guidelines, the project is a Class III exemption and is categorically exempt per Section 15303(a) (New Single-Family Residence and Accessory Structure).



Glenn Mlaker, AICP  
Assistant Planner



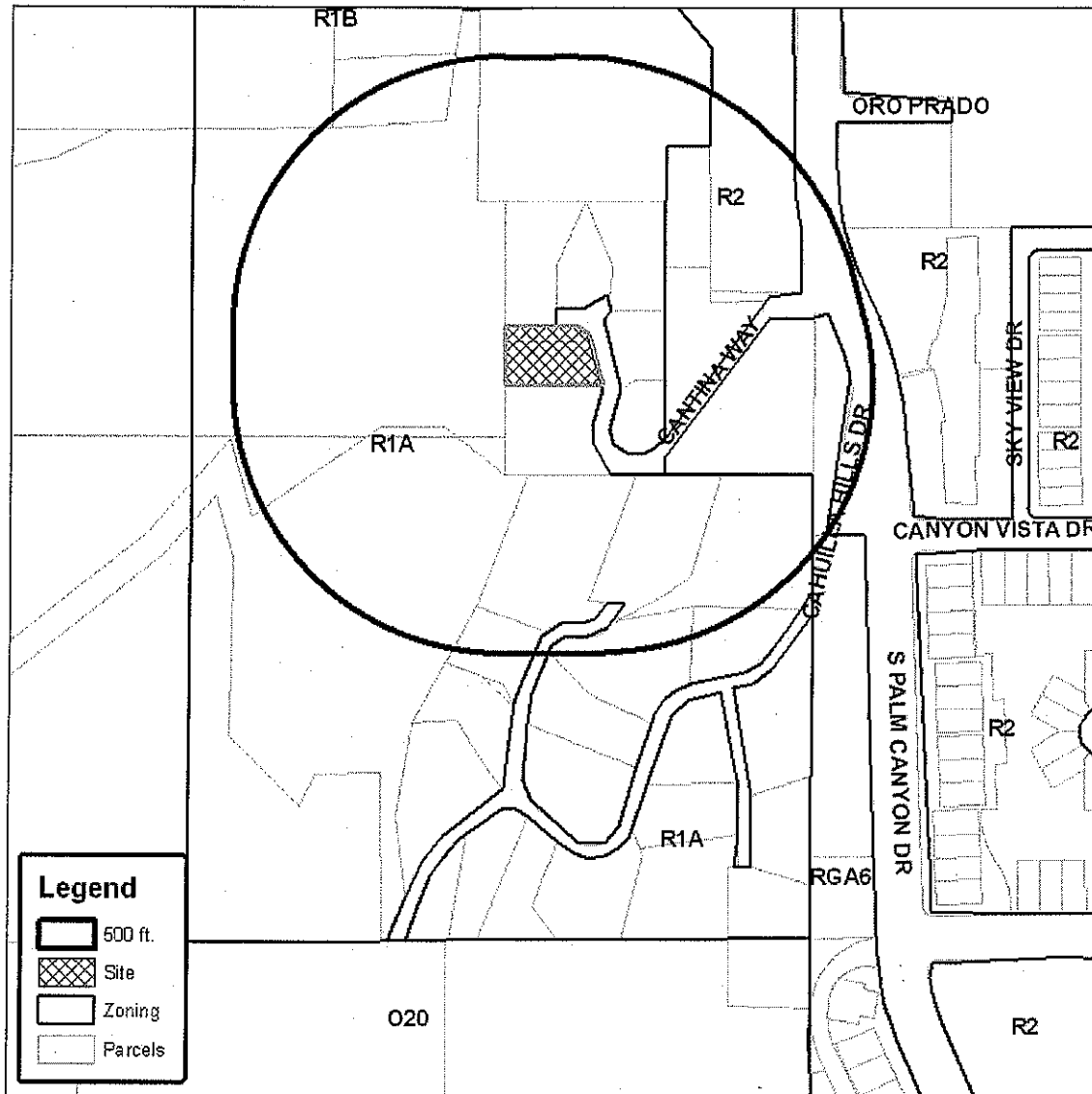
M. Margo Wheeler, FAICP  
Director of Planning Services

Attachments:

1. Vicinity Map
2. Justification Letter from Applicant
3. Resolution
4. Conditions of Approval
5. AAC minutes of June 9, 2014
6. Site Plan / Landscape Plan
7. Building Elevations
8. Site Cross-Sections
9. 3D Perspective Images
10. Letter from Nicholas French – 2300 W. Cantina Way
11. Letter from Molly Bondhus – former owner of 2300 W. Cantina Way



# Department of Planning Services Vicinity Map



## CITY OF PALM SPRINGS

**CASE NO:** 3.3307 MAA & 7.1417  
AMM

**APPLICANT:** Meyers Residence

**DESCRIPTION:** Request to enclose garage and add an upper level extending onto hillside and request for increase in building height and setback reduction at 2353 W. Cantina Way, Zone R-1-A, Section 27.





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www.o2arch.com

3.3307  
RECEIVED

FEB 13 2014

PLANNING SERVICES  
DEPARTMENT

### Major Architectural Application Justification Letter

#### Project Description:

The project consists of an existing one-story, single-family residence on an approximately half acre hillside lot in the Mesa neighborhood of Palm Springs. The existing home and pool are located on a pad consisting primarily of granite bedrock that is tightly bounded by the street on two sides (East and North) and comprises less than 50% of the lot area. The remaining portion of the lot is undeveloped open area which slopes upward steeply to the West.

The proposed scope of work includes selective remodeling of the master bathroom and kitchen areas as well as a 772 SF addition to include a pantry, laundry room & new enclosed two-car garage which replaces the existing carport. Also proposed is a 792 SF second story addition which will include a new master bedroom, bathroom and den. The added level will bridge from atop the garage toward the West until it meets the existing hillside and is situated such that the visual impact to the neighboring properties will be minimized. The existing residences located adjacent to the South and across the cul-de-sac to the North are each existing two-story structures. The proposed addition is in conformance with the intent of the city's hillside development ordinances in that the building will follow the natural terrain and that the impact on the existing open area will be very minimal.

Please find the enclosed drawing exhibits which illustrate the proposed project for consideration and feel free to contact me with any questions.

Sincerely,

Lance O'Donnell  
O2 Architecture

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING CASE NO. 7.1417 AMM AND 3.3307 MAJ FOR AN ADMINISTRATIVE MNOR MODIFICATION FOR AN INCREASE OF BUILDING HEIGHT TO 21'-4" FEET FOR THE CONSTRUCTION OF A NEW 792-SQUARE FOOT ADDITION ON A HILLSIDE HOUSE LOCATED AT 2353 WEST CANTINA WAY, ZONE R-1-A, SECTION 27.

WHEREAS, Christopher Meyers, ("Applicant") has filed an application with the City pursuant to Section 94.04.00 of the Zoning Ordinance for a partial remodel and 792-square foot addition on a hillside house located at 2353 West Cantina Way, Zone R-1-A, Section 27; and

WHEREAS, on June 9, 2014, the Architectural Advisory Committee met and voted to recommend approval of the project to the Planning Commission subject to the following conditions; and

1. Revise landscape plan to add large shade tree between driveway and street.
2. Minimal box size of 36" for new shade tree.

WHEREAS, on June 25, 2014, a public meeting on the application for architectural approval was held by the Planning Commission in accordance with applicable law; and

WHEREAS, the proposed project is considered a "project" pursuant to the terms of the California Environmental Quality Act ("CEQA"), and has been determined to be Categorically Exempt as a Class III exemption (single-family residence) pursuant to Section 15303(a) of the CEQA Guidelines; and

WHEREAS, the Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE PLANNING COMMISSION HEREBY FINDS AS FOLLOWS:

Section 1: Pursuant to the California Environmental Quality Act (CEQA Guidelines, the proposed project is Categorically Exempt under Section 15303(a) (New Single-family residence).

Section 2: Pursuant to Section 94.04.00 of the Palm Springs Zoning Code, the Planning Commission finds:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The proposal includes the construction of a 792-square foot second-story master bedroom, bathroom and den including the enclosure of a garage. The proposed addition will be constructed of smooth plaster walls, clear glass, Angelous block with grey concrete driveway. The second-story addition will bridge from the top of the existing carport and be anchored into the hillside blending with the surrounding desertscape.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The surrounding properties at the end of Cantina Way are of similar Modern design. The proposed project will create an interesting visual contrast within the hillside cul-de-sac providing great variety through the use of a modern contemporary architectural style utilizing building materials that are complimentary to the hillside landscape and topography. The strategic placement of landscaping elements will act as a screen and provide privacy to adjacent properties.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The maximum height of the proposed project is 21'-4" feet tall to the top of the second-story roof line. Pursuant to Section 94.06.01(A)(8) of PSZC, "hillside properties have a maximum allowable height of 30 feet but require an approval of an Administrative Minor Modification to increase height". The proposed second-story roof at 21'-4" feet is compatible with the heights found in other hillside residences in the City. Other houses along Cantina Way within the Mesa neighborhood contain homes similar in style and height. All other setback requirements have been met.

4. *Building design, materials and colors to be sympathetic with desert surroundings;*

AND

5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously,*  
AND
6. *Consistency of composition and treatment,*

The proposed building materials include smooth plaster walls, clear glass, Angelous block with grey concrete driveway. The new addition will match existing colors and materials on the existing house. The sympathetic placement of the second-story bedroom bridging from the main house to the hillside seamlessly blends into the desert surroundings.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The landscape plan proposes minimal use of plants so as to not detract from the architecture of the house. However a new large Mesquite shade tree is to be planted at the front of the house between the driveway and property line. This tree shall be no less than 36" box acting as a privacy screen for adjacent properties. The proposed water-efficient plants which are located in a manner that conforms to the topography of the site will be consistent with desert surroundings.

Section 3: Pursuant to Section 94.06.01(A)(5) and 94.06.01(A)(8) findings for an Administrative Minor Modification of the Palm Springs Zoning Code, the Planning Commission finds:

1. *The requested minor modification is consistent with the General Plan, applicable Specific Plan(s) and overall objectives of the zoning ordinance.*

There is no General Plan Policy that would be adversely affected by this modification nor are there any specific plans associated with this property. The Palm Springs Zoning Code (PSZC), Section 94.06.01(A)(5) and 94.06.01(A)(8) specifically allows for the requests.

2. *The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the minor modification.*

The request for an increase in building height from eighteen (18) feet to a maximum of 21'-4" feet will not impact surrounding properties with the addition of a landscape screening. The request to increase building height by 3'-4" feet will allow for a two-story bedroom addition with dramatic architecture bridging from the existing house to the hillside. The increase in height will allow for a better

house design and can be considered a minor modification. Residences on hillside lots are allowed at maximum height of 30 feet and the proposed height of the project is similar to other properties along Cantina Way.

3. *The approval of the minor modification will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity.*

All building and renovations will be built to the Uniform Building Code, and Palm Springs Zoning Code as modified by this Administrative Minor Modification, and Fire Code.

4. *The approval of the minor modification is justified by environmental features, site conditions, location of existing improvements, or historic development patterns of the property or neighborhood.*

The modifications are warranted due to the location of the proposed single-family residence on a hillside lot. The proposed new construction will meet R-1-A zone established setbacks. Staff has determined the nature of the height increase request is in harmony with the current standards of the neighborhood, and is in keeping with historical development patterns of the surrounding area.

NOW, THEREFORE, BE IT RESOLVED that, based upon the foregoing, the Planning Commission hereby approves Case No. 3.3307 – MAJ and 7.1417 AMM, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 25<sup>th</sup> day of June, 2014.

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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M. Margo Wheeler, FAICP  
Director of Planning Services

RESOLUTION NO.

**EXHIBIT A**

Case 3.3307 MAJ & 7.1417 AMM  
Meyers House

2353 West Cantina Way

June 25, 2014

**CONDITIONS OF APPROVAL**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

**ADMINISTRATIVE CONDITIONS**

- ADM 1. Project Description. This approval is for the project described per Case 3.3307 MAJ and 7.1417 AMM, except as modified by the conditions below.
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans on file in the Planning Division, except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.3307 MAJ. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter

and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of this Conditional Use Permit shall be valid for a period of two (2) years from the effective date of the approval. Once the use is implemented, the Conditional Use Permit does not have a time limit, provided the project has remained in compliance with all conditions of approval.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.
- ADM 9. Cause No Disturbance. The owner shall monitor outdoor parking areas, walkways, and adjoining properties and shall take all necessary measures to ensure that customers do not loiter, create noise, litter, or cause any disturbances while on-site. The owner and operator shall ensure that at closing time, all customers leave the property promptly and that the property is clean and secure before the owner/operator leaves the premises. The Police Chief, based upon complaints and/or other cause, may require on-site security officers to ensure compliance with all City, State, and Federal laws and conditions of approval. Failure to comply with these conditions may result in revocation of this permit, temporary business closure or criminal prosecution.

- ADM 10. Grounds for Revocation. Non-compliance with any of the conditions of this approval or with City codes and ordinances, State laws; any valid citizen complaints or policing and safety problems (not limited to excessive alcohol consumption, noise, disturbances, signs, etc) regarding the operation of the establishment; as determined by the Chief of Police or the Director of Building and Safety, may result in proceedings to revoke the Conditional Use Permit. In addition, violations of the City Codes and Ordinances will result in enforcement actions which may include citations, arrest, temporary business closure, or revocation of this permit in accordance with law.

#### **PLANNING DEPARTMENT CONDITIONS**

- PLN 1. Roof color to be no lighter than off-white in color.
- PLN 2. Findings and conditions of approval associated with Administrative Minor Modification (AMM) Case 7.1417 shall apply.
- PLN 3. Approval is to be pursuant to plans date stamped June 16, 2014.
- PLN 4. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 5. Notice to future buyers on views. All prospective buyers of 2353 W. Cantina Way shall be put on notice that there are no written or implied rights to the preservation of scenic views from any lot.

#### **BUILDING DEPARTMENT CONDITIONS**

- BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

**END OF CONDITIONS**



**ACCEPTANCE OF THE AGENDA:** The agenda was accepted, as presented.

**PUBLIC COMMENTS:** None

**CONSENT CALENDAR:**

The following routine matters may be acted upon by one motion. Individual items may be removed by the Board for separate discussion at this time or under Approval of the Agenda.

**1. APPROVAL OF MINUTES: MAY 27, 2014**

M/S/C (Song/Secoy-Jensen, 5-0-1 abstain Hirschbein, absent Cassady)?

**NEW BUSINESS:**

- 2. CHRISTOPHER MEYERS FOR A MAJOR ARCHITECTURAL APPLICATION FOR A PARTIAL REMODEL AND 792-SQUARE FOOT MASTER BEDROOM ADDITION; AND AN ADMINISTRATIVE MINOR MODIFICATION REQUESTING A SIDE-FRONT YARD SETBACK AND INCREASE IN BUILDING HEIGHT ON A HILLSIDE LOT LOCATED AT 2353 WEST CANTINA WAY, ZONE R-1-A (CASE NOS. 3.3307 MAA & 7.1417). (GM)**

LANCE O'DONNELL, APPLICANT, stated that the house to the north & south have a second story. When he looked at it they saw how to turn carport into garage and then pushed it back off of the edge of the garage and back onto the hillside. They did outreach to the neighbors. He submitted additional landscaping plan to give privacy to the downhill east property back yard patio.

VICE-CHAIR FAUBER had concern as to where the tree would be placed. The tree would go west of bougainvillea ledge.

CHRIS MEYERS, OWNER, stated that the house was recently sold. Frenches have discussed with him. Their concern was privacy and construction concerns. They bought this house as a second home and now wants it as a second residence.

ANNA DELUCA, NEIGHBOR TO THIS PROPERTY, felt that the improvements are positive.

VICE-CHAIR FAUBER asked what has recently changed.

ASSISTANT PLANNER MLAKER stated the slope analyses were done.

VICE-CHAIR FAUBER included that with the addition of the tree it's a well-conceived project.

BOARD MEMBER PURNEL, was also in favor, but wanted the size of the tree.

CHAIR SECOY-JENSEN said it is a sensitive addition with site cont?

M/S/C (Fauber/Secoy-Jensen, 6-0-1 absent Cassady) Approve with the following conditions:

1. Minimize 36" box
2. Additional landscape plan submitted 6-9-14

**3. THE CHARLES COMPANY REQUESTING MINOR AMENDMENT TO THE PREVIOUSLY APPROVED SIGN PROGRAM FOR A NEW MONUMENT SIGN AT THE SPRINGS SHOPPING CENTER LOCATED AT 5200 EAST RAMON ROAD (CASE 07-083 AMND). (GM)**

BOARD MEMBER HIRSCHBEIN had a question to assistant planner Mlaker regarding the A-D signs and there existence.

JONATHAN DOTY WITH CHARLES COMPANY, APPLICANTS, requested to have five guys visible on Ramon. They want a new sign for food court tenants which are less than 10,000 square feet.

BOARD MEMBER SONG, said she is supportive of businesses, but gave her opinion in regards to the sign being the same size as others.

CHAIR SECOY-JENSEN felt smaller signs for smaller tenant's works.

VICE-CHAIR FAUBER stated his support for extra signs but questioned them because there are already four signs out there. He said he would be more in favor of enlarging existing signs not adding more.

BOARD MEMBER HIRSCHBEIN felt as though this one additional sign will not over sign this enormous property. He was inclined to approve as submitted.

BOARD MEMBER FREDERICKS supported this sign.

BOARD MEMBER PURNEL said the proposed sign and its size is ok.

M/S/C (Secoy-Jensen/Hirschbein, 5-1-1, Fauber, absent Cassady) Approve with condition to relocate the tree blocking the sign.

## Glenn Mlaker

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**From:** Frenchintl@aol.com  
**Sent:** Monday, June 09, 2014 7:55 AM  
**To:** Glenn Mlaker; Margo Wheeler  
**Subject:** 2353 WEST CANTINA WAY - ASSESSOR'S PARCEL NO. 513 430 017

Dear Mr Mlaker and Ms Wheeler

### RE NEW ADDITIONS TO 2353 WEST CANTINA WAY

We are writing this email as the new owners of 2300 West Cantina Way, Palm Springs. We only just received your letter on the 4th June about the new additions to this property. We paid full asking price for our property with the premise that it had total PRIVACY and not OVERLOOKED.

It was never revealed that additionally a new sewer line has to be connected to the house which entails digging the entire road up and the noise level will be overwhelming.

I do not understand why this is only being treated as a MINOR application when the significant increase in square footage alone qualifies this project as MAJOR with also the new sewer line being added.

Is there a reason why this project is only being scrutinized as a MINOR application? Are the requirements of Section 93.13.00 for Hillside Developments being applied as well?

### THESE ARE OUR OBJECTIONS

1. Lack of PRIVACY (the new addition will overlook our property)
2. The new addition will not have a mid century feel to it and will be incongruous with the existing building
3. We were not given enough time to respond and were never informed about the new sewer line.
4. The months of building will make our home unrentable so there will be great loss of income and we will need to receive substantial compensation.
5. The noise level will be unacceptable due to the proximity of our property.
6. The dust and dirt created by the building and the new sewer line will necessitate for our home to be repainted on the outside and the pool to be cleaned daily.
7. The structure will be overpowering for such a small hillside development.

### IN SUMMATION

We always have good relationships with our neighbors but we are extremely concerned as to the effect this building will have on our property and to our PRIVACY and the objections listed above.

We await your comments.

Yours sincerely

Carole and Nicholas French  
2300 W Cantina Way  
Palm Springs

Cell 516 448 0672

26 Quarter Court  
Westhampton NY 11977

**Glenn Mlaker**

---

**From:** Molly Bondhus <mollybondhus@gmail.com>  
**Sent:** Monday, March 10, 2014 8:28 AM  
**To:** Margo Wheeler; Glenn Mlaker; Glenn Mlaker  
**Subject:** 2353 W Cantina Way

Good morning -

Due to work obligations, I will not be able to attend the AAC meeting this afternoon to voice my concerns about the proposed project at 2353 West Cantina Way in person. It would be greatly appreciated if you would include this letter in the Staff Report and distribute accordingly.

My questions and concerns include the following:

**1. MAJOR vs. MINOR APPLICATION**

The subject language of the staff report indicates that this project is only MINOR application. The significant increase in square footage alone qualifies this project as MAJOR per the language of the Planning Department's website, as does the hillside location. Is there a reason why this project is only being scrutinized as a MINOR application? Are the requirements of Section 93.13.00 for Hillside Developments being applied as well?

**2. NO NOTICE**

I received no notice of this project, and it could reasonably be argued that my residence at 2300 W Cantina Way is the most impacted by the proposed second-story addition. I found this application last Friday while researching a different project entirely online. The Staff Report states that notice was sent on February 20, 2014. Please include me in any future notifications regarding this property, either by email or by notice sent to my mailing address below.

**3. ANALYSIS OF DEVELOPMENT STANDARDS**

With regard to the lot area, Staff Memorandum lists a lot size of 20,038 square feet for the proposed project. However, because this is a hillside property subject to the constraints of Section 93.13.00, it is my understanding that ONLY that portion of the lot with a grade of less than 30% may be included in this figure.

The homeowner has not had the steep hillside property surveyed to determine what portion may be included, but all parties are in agreement that the bulk of the lot slopes very steeply to the West. To allow an R-1-A-H home of the proposed 3598 square feet, the portion of the lot with a grade of less than 30% can be no less than 10,280 square feet (the requisite 35%,) which is not likely and has not been shown.

**4. STAFF EVALUATION OF ARCHITECTURAL GUIDELINES**

My home was the first home built on West Cantina Way by the architect R. Denzil Lee in 1963, and he went on to build two additional iconic mid-century residences on the street, including the subject property. These three homes were great examples of site-specific architecture that maintained privacy at varied grades and blended harmoniously with the hillside location. All three homes were built as one-story residences tucked gracefully into the hillside.

The proposed second story addition does not have the same harmonious relationship to the hillside or the adjacent properties. Because of the extreme grade of West Cantina Way, the proposed height of 21'4" increases the mass of the new structure exponentially. It is not compatible with the character of the surrounding homes, particularly the original mid-century homes on this street.

The incompatibility with my home is clear with a site visit - the main architectural feature of my home is an unusual central circular cut-out that frames a view of the sky and hillside. During the original build on West Cantina Way, R. Denzil Lee took care to keep the height of the subject property outside of that framed view.

The proposed second-story addition to the subject property will render this architectural feature moot by filling it with the looming wall of the new construction. Even worse, it will completely eliminate all privacy in my small yard. I will no longer be able to enjoy my spa or my outdoor lounge area without looking directly up at my neighbors' new second master bedroom.

Yesterday evening, William Stiles & I met with Christopher Meyers, the applicant and homeowner of the subject property. We surveyed the implications of the second story addition from my private back yard as well as the rooftop of Mr. Meyer's carport (the site of the proposed addition.) We were all in agreement that the current proposal for the second story will eliminate the privacy in my yard. We extended an invitation to the architect Lance O'Donnell to visit our home and see the impact as well.

## 5. FINAL NOTES

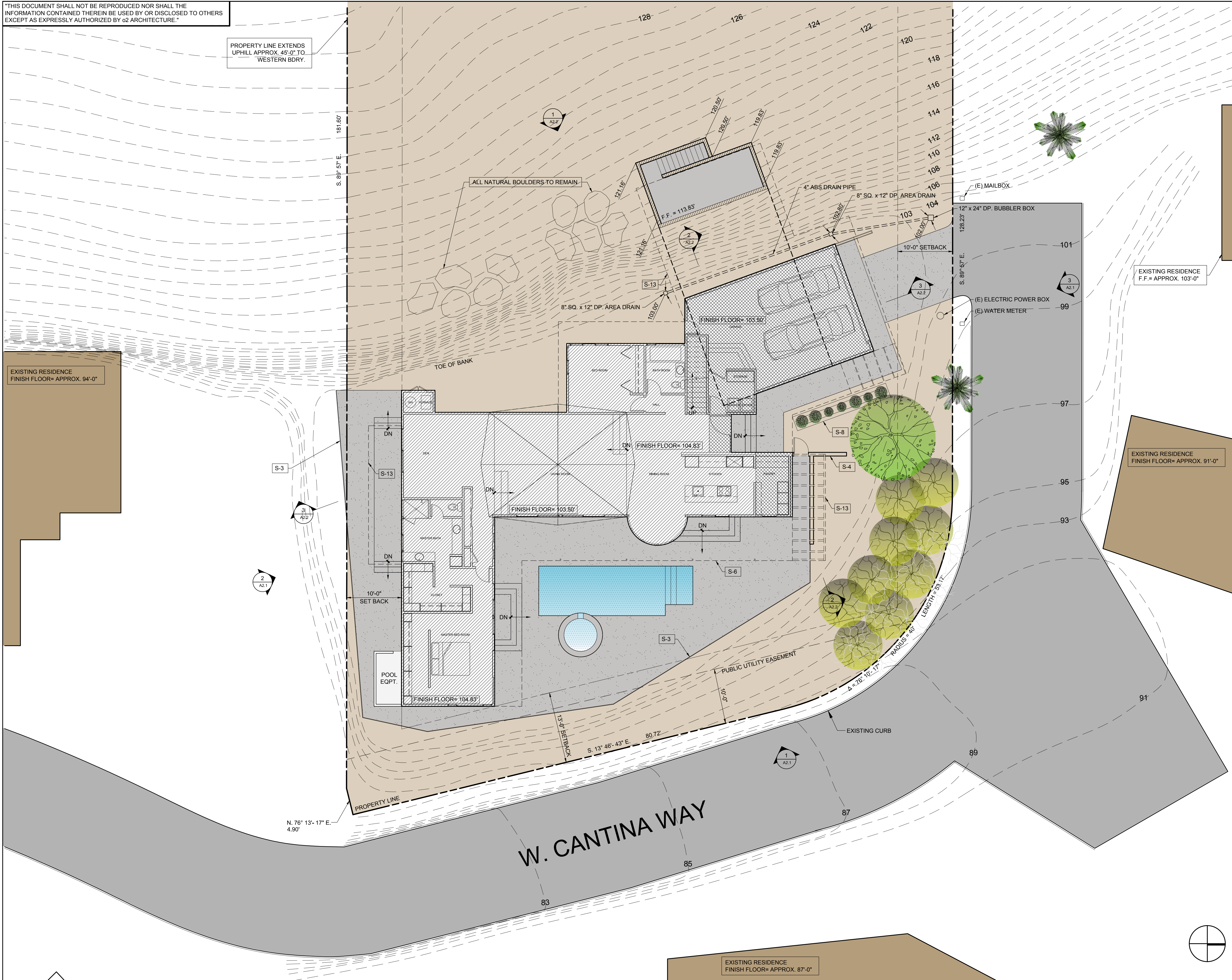
I fully support the applicant's plans for the first floor remodel and expansion. However, I strongly object to the second story addition that eliminates all of my outdoor privacy and disrupts the most significant architectural feature of my home. I firmly believe that a less intrusive and more elegant solution can be found to add the square footage that Mr. Meyer's desires. I urge you to recommend approval ONLY of the first-story portion of the application.

Best regards,

Molly Bondhus  
2300 W Cantina Way  
Palm Springs CA 92264  
[mollybondhus@gmail.com](mailto:mollybondhus@gmail.com)

Mailing address:  
PO Box 5727  
Palm Springs, CA 92263

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PROPERTY LINE EXTENDS UPHILL APPROX. 45'-0" TO WESTERN BDY.

EXISTING RESIDENCE FINISH FLOOR= APPROX. 94'-0"

EXISTING RESIDENCE FINISH FLOOR= APPROX. 91'-0"

EXISTING RESIDENCE FINISH FLOOR= APPROX. 87'-0"

**LEGEND**

[Symbol]	HARDSCAPE
[Symbol]	EXISTING POOL AND SPA
[Symbol]	EXISTING ENCLOSED AREA
[Symbol]	NEW ENCLOSED AREA
[Symbol]	(E) WALL
[Symbol]	(E) ROOF
[Symbol]	(E) 42" GUARD RAIL
[Symbol]	(E) SLUMP BLOCK WALL
[Symbol]	(E) GLASS DOOR/ WINDOWS
[Symbol]	(E) ROOF LINE
[Symbol]	(N) WALL
[Symbol]	(N) PLANTER
[Symbol]	(N) ROOF
[Symbol]	(N) GLASS DOOR/ WINDOWS
[Symbol]	(N) RETAINING WALL
[Symbol]	(N) 42" GUARD RAIL
[Symbol]	(N) ROOF LINE

**2 LEGEND**  
SCALE: NA

**PLANT LEGEND**

SYMBOL	QUANTITY	NAME	PLANTING SIZE
[Symbol]	(1)	MESQUITE	30" BOX
[Symbol]	(7)	BARREL CACTUS	5-GALLON

EXISTING PLANTS

[Symbol]	(1)	PALM TREE	ALL ON SITE TO REMAIN
[Symbol]	(8)	SHRUBS/HEDGE	ALL ON SITE TO REMAIN

NOTE: PLANT QUANTITIES CONTRACTOR TO VERIFY.

**3 PLANT LEGEND**  
SCALE: NA

**SITE DATA LEGEND**

LOT AREA:	18,850 SF.
EXISTING BUILDING:	2,034 SF.
PROPOSED NEW GROUND LEVEL:	772 SF.
PROPOSED NEW UPPER LEVEL:	792 SF.
TOTAL BUILDING AREA:	3,598 SF.

**4 SITE DATA**  
SCALE: NA

**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"

**O2 ARCHITECTURE**  
1089 N. PALM CANYON DR., STE. B  
PALM SPRINGS, CA 92262  
TEL. 760. 778. 8165  
FAX 760. 406. 7946  
EMAIL: office@o2arch.com

**MEYERS RESIDENCE**  
2353 W. CANTINA WAY  
PALM SPRINGS, CA

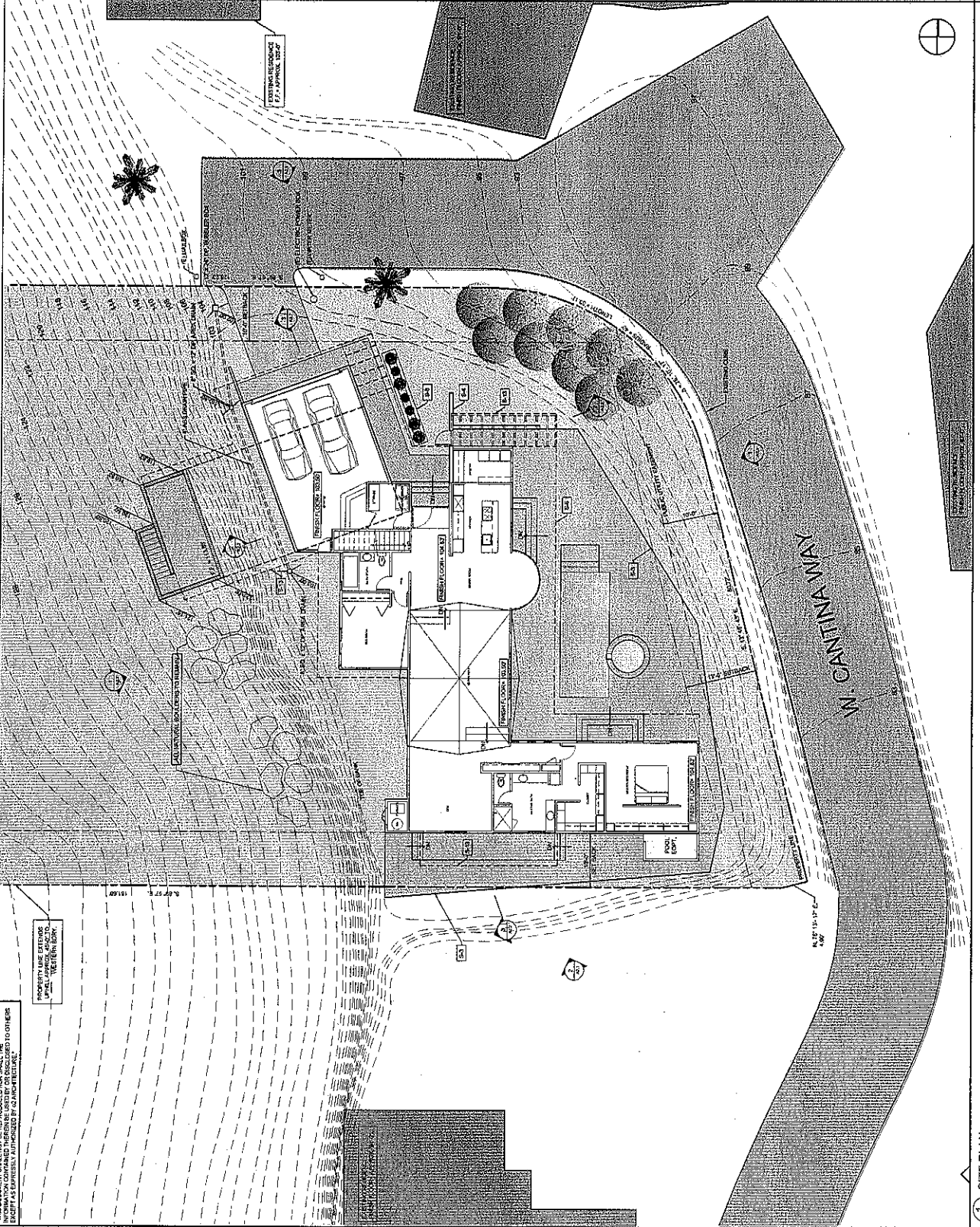
**SHEET DESCRIPTION**  
**SITE PLAN/ LANDSCAPE PLAN**  
INCLUDES GRADING / DRAINAGE / TOPOGRAPHIC / LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"  
DATE: 1.24.14

**A1.0**  
MEYERS RESIDENCE

NO.	DATE	SCALE	GRID	DRAWING NO.
1.				
2.				
3.				
4.				
5.				

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PROPERTY LINE DETERMINED BY SURVEY TO MATCH THE RECORD MAP.



**LEGEND**

(Symbol)	HARDSCAPE
(Symbol)	EXISTING POOL AND SPA
(Symbol)	EXISTING ENCLOSED AREA
(Symbol)	NEW ENCLOSED AREA
(Symbol)	(E) WALL
(Symbol)	(E) ROOF
(Symbol)	(E) 4\" GUARD RAIL
(Symbol)	(E) SLUMP BLOCK WALL
(Symbol)	(E) GLASS DOOR/ WINDOWS
(Symbol)	(E) ROOF LINE
(Symbol)	(N) WALL
(Symbol)	(N) PLANTER
(Symbol)	(N) ROOF
(Symbol)	(N) CLASS DOOR/ WINDOWS
(Symbol)	(N) RETAINING WALL
(Symbol)	(N) 4\" GUARD RAIL
(Symbol)	(N) ROOF LINE

**2**  
**LEGEND**  
SCALE: N/A

Symbol	Plant Name	Quantity	Notes
(Symbol)	AVICARIA	1	PLANTING
(Symbol)	AVICARIA	1	PLANTING
(Symbol)	AVICARIA	1	PLANTING
(Symbol)	AVICARIA	1	PLANTING
(Symbol)	AVICARIA	1	PLANTING
(Symbol)	AVICARIA	1	PLANTING
(Symbol)	AVICARIA	1	PLANTING
(Symbol)	AVICARIA	1	PLANTING
(Symbol)	AVICARIA	1	PLANTING
(Symbol)	AVICARIA	1	PLANTING
(Symbol)	AVICARIA	1	PLANTING

**3**  
**PLANT LEGEND**  
SCALE: N/A

Category	Value
LOT AREA	18,330 SF.
EXISTING BUILDING	2,084 SF.
PROPOSED NEW GROUND LEVEL	787 SF.
PROPOSED NEW UPPER LEVEL	811 SF.
TOTAL BUILDING AREA	3,895 SF.

**1**  
**SITE PLAN**  
SCALE: 1/8" = 1'-0"

**4**  
**SITE DATA**  
SCALE: N/A

**SITE PLAN/ LANDSCAPE PLAN**

MEYERS RESIDENCE  
PROJECT TITLE:  
2535 W. CANTYNA WAY  
PALM SPRINGS, CA  
DATE: 1/24/14  
SCALE: 1/8" = 1'-0"  
INCLUDES GRADING / DRAINAGE / TOPOGRAPHIC / LANDSCAPE PLAN

**Q2 ARCHITECTURE**  
2880 S. UNIVERSITY AVE., SUITE 100  
PALM SPRINGS, CA 92262  
TEL: 760.779.4100  
FAX: 760.408.3546  
WWW.Q2ARCHITECT.COM  
E-MAIL: Q2ARCH@Q2ARCH.COM



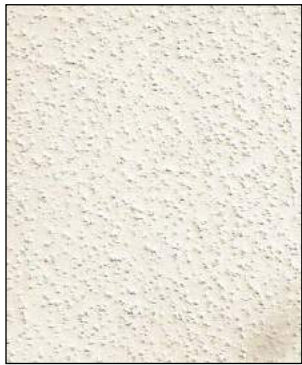
1











**1** 3-Coat Plaster, Smooth Finished  
Painted "P-6" El Dorado, by  
Merlex Stucco



**2** Looking Glass LRV 23  
(DEW 381)



**3** Clear Glass, Low E  
Glass.



**4** Angelous Block- 8x8x16  
Precision, Normal Weight  
Color: Cool Grey



**5** Natural Grey Concrete,  
Finish Acid Etch

project title:

**Meyers  
Residence**

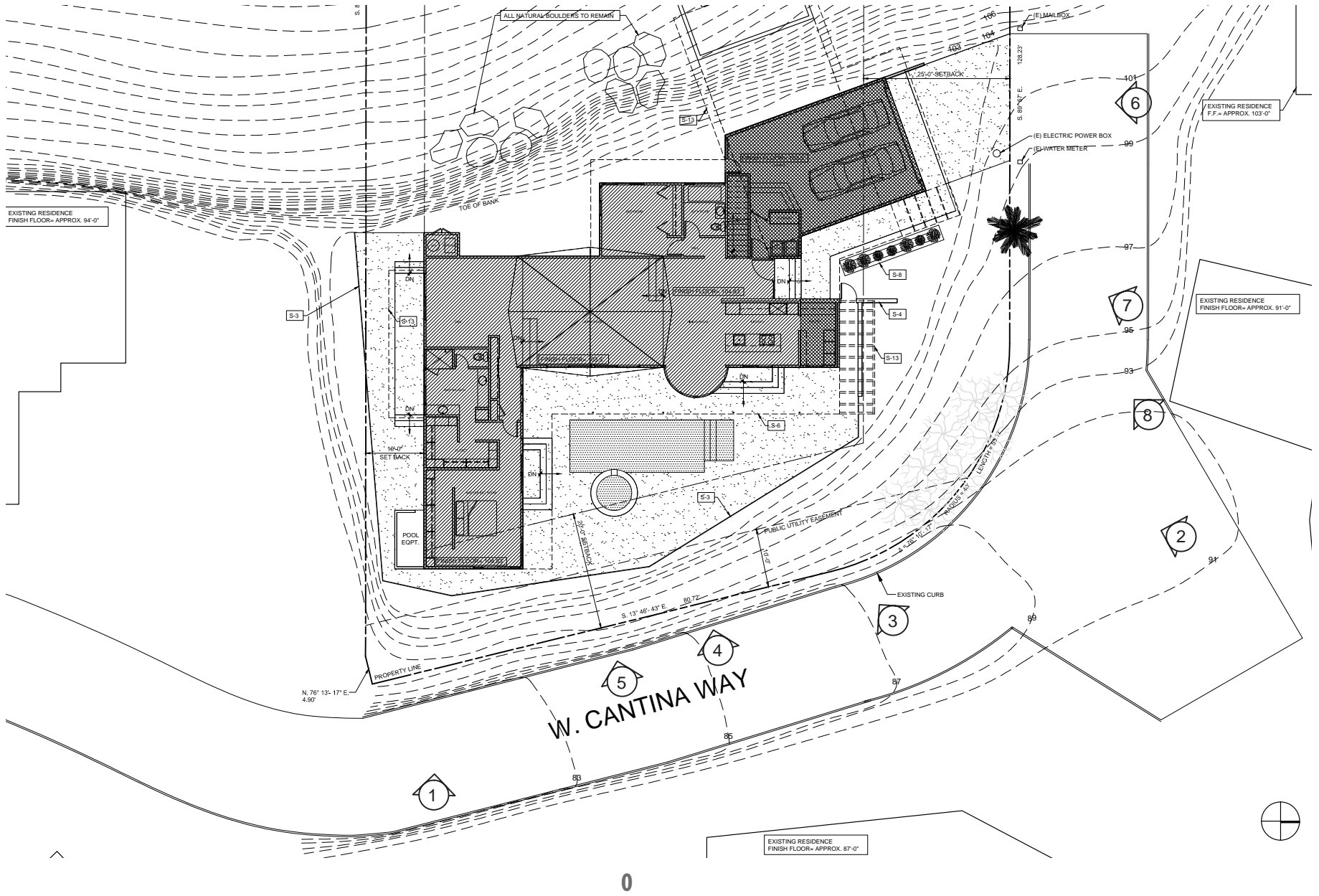
address:

**2353 W. Cantina Way  
Palm Springs, CA**

sheet description:

**Materials  
Board**

scale: N.T.S  
date: 01.27.2014



## SITE PHOTOGRAPHS LEGEND

Project title: **Meyers Residence**  
 Address: **2353 W. Cantina Way, Palm Springs, CA**



1











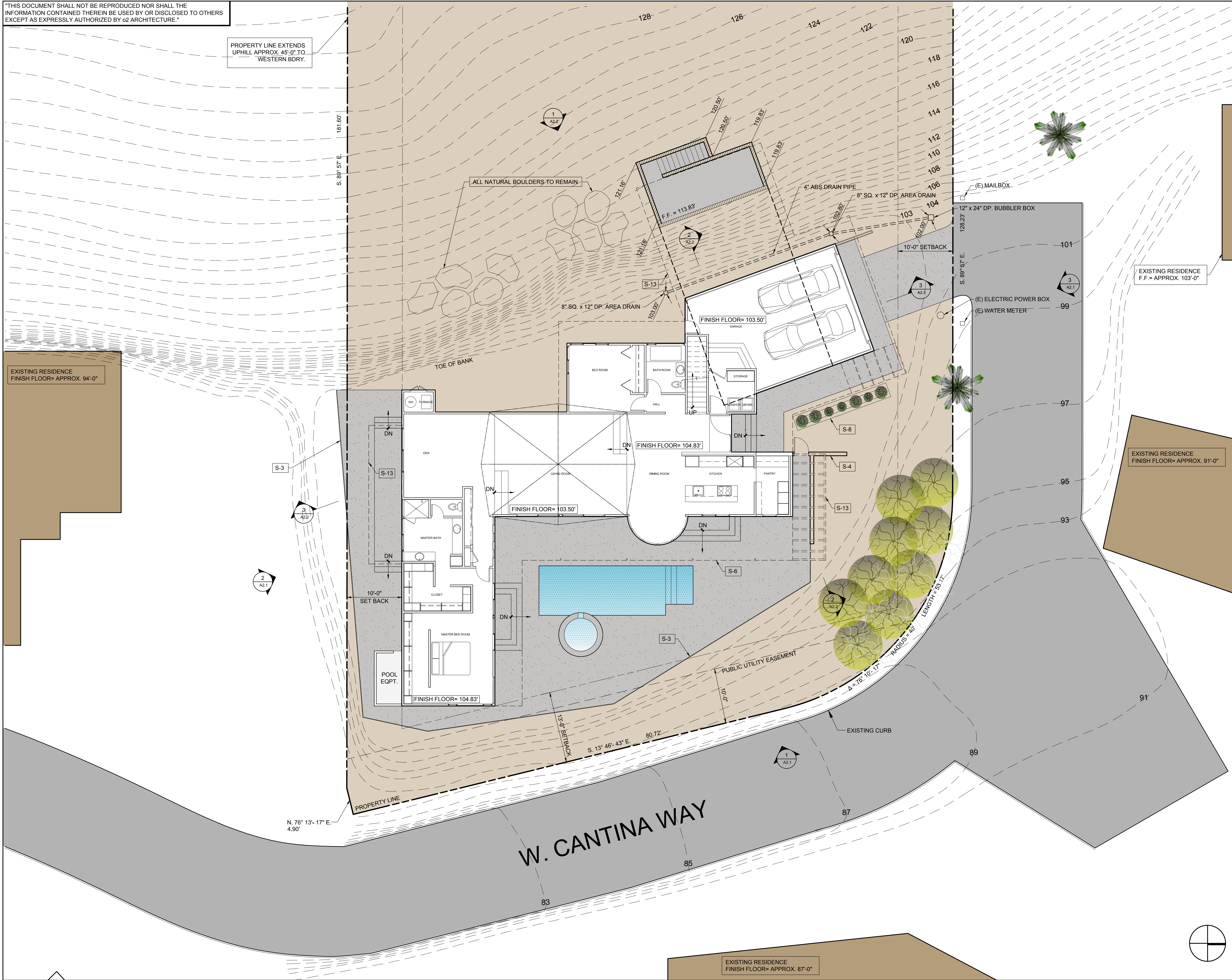
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PROPERTY LINE EXTENDS UPHILL APPROX. 45'-0" TO WESTERN BDY.

EXISTING RESIDENCE FINISH FLOOR= APPROX. 94'-0"

EXISTING RESIDENCE FINISH FLOOR= APPROX. 91'-0"

EXISTING RESIDENCE FINISH FLOOR= APPROX. 87'-0"

- LEGEND**
- HARDSCAPE
  - EXISTING POOL AND SPA
  - EXISTING ENCLOSED AREA
  - NEW ENCLOSED AREA
  - S-1 (E) WALL
  - S-2 (E) ROOF
  - S-3 (E) 42" GUARD RAIL
  - S-4 (E) SLUMP BLOCK WALL
  - S-5 (E) GLASS DOOR/ WINDOWS
  - S-6 (E) ROOF LINE
  - S-7 (N) WALL
  - S-8 (N) PLANTER
  - S-9 (N) ROOF
  - S-10 (N) GLASS DOOR/ WINDOWS
  - S-11 (N) RETAINING WALL
  - S-12 (N) 42" GUARD RAIL
  - S-13 (N) ROOF LINE

- 2 LEGEND**  
SCALE: NA

**PLANT LEGEND**  
SCALE: NA

SYMBOL	QUANTITY	NAME	PLANTING SIZE
	(7)	BARREL CACTUS	32" -BOX
<b>EXISTING PLANTS</b>			
	(1)	PALM TREE	ALL ON SITE TO REMAIN
	(8)	SHRUBS/HEDGE	ALL ON SITE TO REMAIN

NOTE: PLANT QUANTITIES CONTRACTOR TO VERIFY.

- 3 PLANT LEGEND**  
SCALE: NA

**SITE DATA LEGEND**

LOT AREA:	18,850 SF.
EXISTING BUILDING:	2,084 SF.
PROPOSED NEW GROUND LEVEL:	797 SF.
PROPOSED NEW UPPER LEVEL:	817 SF.
TOTAL BUILDING AREA:	3,698 SF.

- 4 SITE DATA**  
SCALE: NA

**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"

**O2 ARCHITECTURE**  
1089 N. PALM CANYON DR., STE. B  
PALM SPRINGS, CA 92262  
TEL. 760. 778. 8165  
FAX 760. 406. 7946  
EMAIL: office@o2arch.com

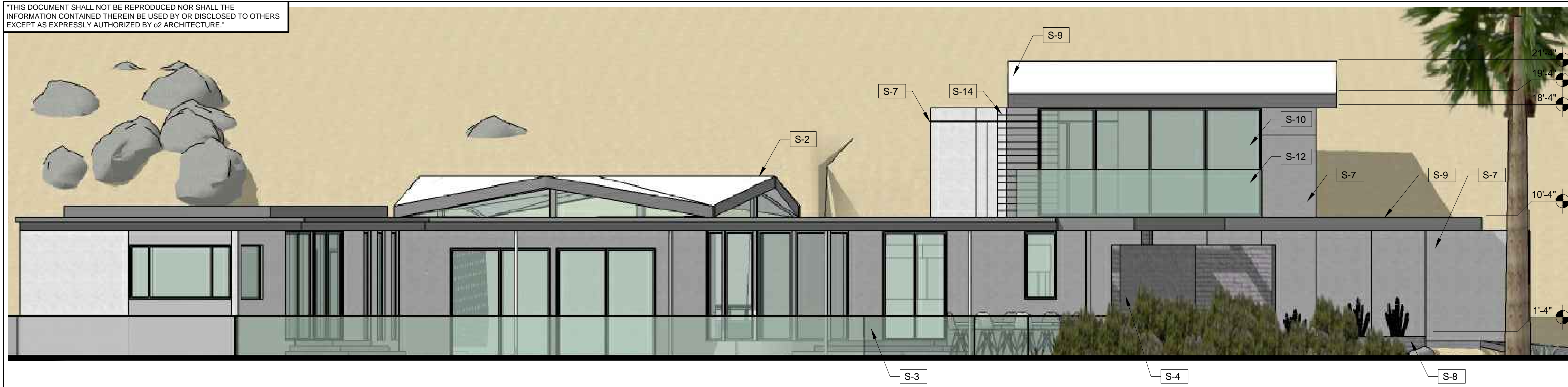
**MEYERS RESIDENCE**  
2353 W. CANTINA WAY  
PALM SPRINGS, CA

**SHEET DESCRIPTION**  
**SITE PLAN/ LANDSCAPE PLAN**  
INCLUDES GRADING / DRAINAGE / TOPOGRAPHIC / LANDSCAPE PLAN  
SCALE: 1/8" = 1'-0"  
DATE: 1.24.14

**A1.0**  
MEYERS RESIDENCE

NO.	DATE	SCALE	OR'D	DRAWING NO.
1				
2				
3				
4				
5				

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**1** EAST ELEVATION  
SCALE: 1/4" = 1'-0"



**2** SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



**3** NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

**LEGEND**

- S-1 (E) WALL
- S-2 (E) ROOF
- S-3 (E) 42" GUARD RAIL
- S-4 (E) SLUMP BLOCK WALL
- S-5 (E) GLASS DOOR/ WINDOWS
- S-6 (E) ROOF LINE
- S-7 (N) WALL
- S-8 (N) PLANTER
- S-9 (N) ROOF
- S-10 (N) GLASS DOOR/ WINDOWS
- S-11 (N) RETAINING WALL
- S-12 (N) 42" GUARD RAIL
- S-13 (N) ROOF LINE
- S-14 (N) PARKLEX, COPPER FINISH
- S-15 (N) HARDIE BOARD FIBER CEMENT

**4** LEGEND  
SCALE: NA

**o2 ARCHITECTURE**

1089 N. PALM CANYON DR., STE. B  
PALM SPRINGS, CA 92262  
TEL. 760. 778. 8165  
FAX 760. 406. 7946  
EMAIL: office@o2arch.com

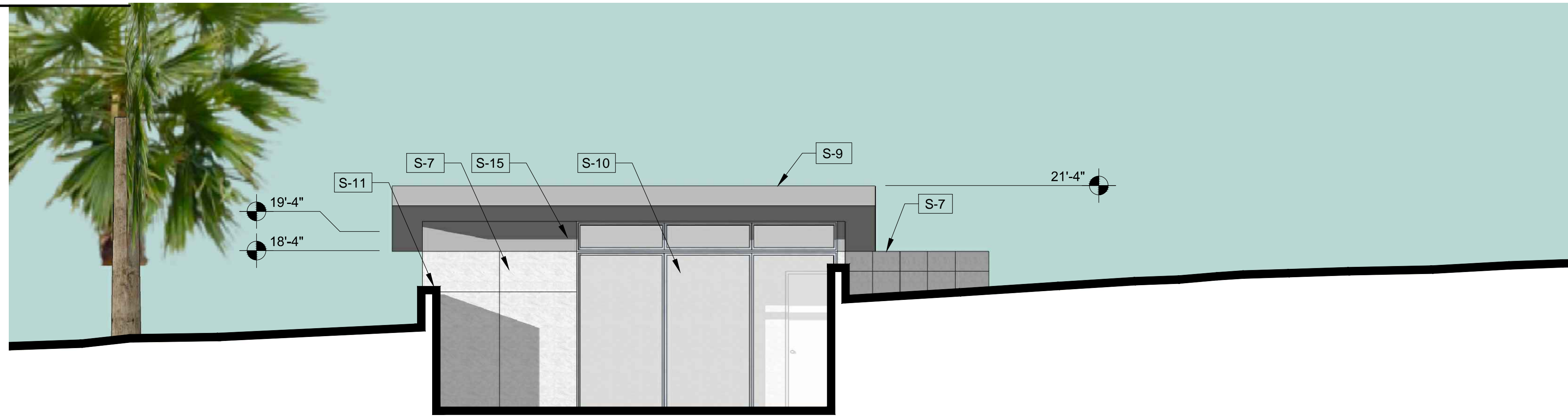
NO.	DATE	SCALE	ORIG.	DRAWING NO.

PROJECT TITLE:  
**MEYERS RESIDENCE**  
2353 W. CANTINA WAY  
PALM SPRINGS, CA

SHEET DESCRIPTION  
**EXTERIOR ELEVATIONS**  
SCALE: 1/4" = 1'-0"  
DATE: 01.24.14

**A2.1**  
MEYERS RESIDENCE

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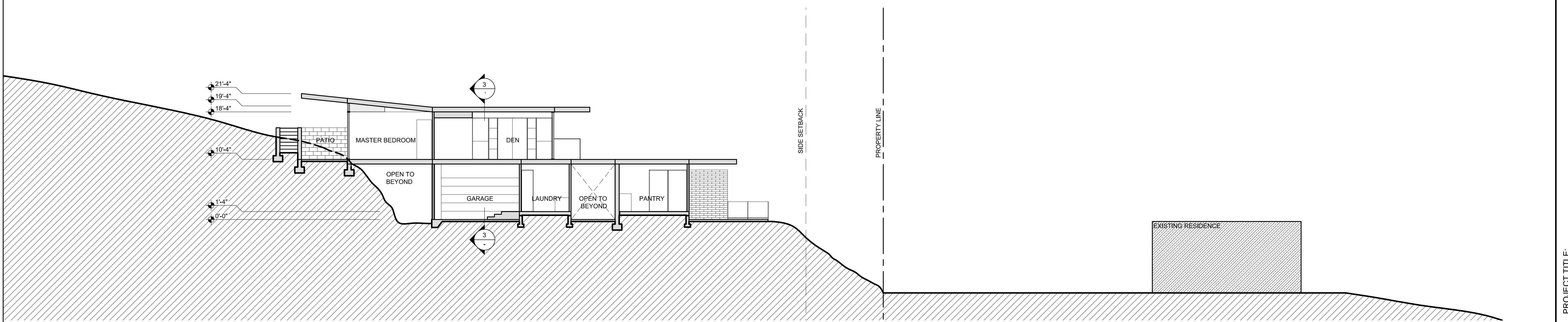
LEGEND

- S-1 (E) WALL
- S-2 (E) ROOF
- S-3 (E) 42" GUARD RAIL
- S-4 (E) SLUMP BLOCK WALL
- S-5 (E) GLASS DOOR/ WINDOWS
- S-6 (E) ROOF LINE
- S-7 (N) WALL
- S-8 (N) PLANTER
- S-9 (N) ROOF
- S-10 (N) GLASS DOOR/ WINDOWS
- S-11 (N) RETAINING WALL
- S-12 (N) 42" GUARD RAIL
- S-13 (N) ROOF LINE
- S-14 (N) PARKLEX; COPPER FINISH
- S-15 (N) HARDIE BOARD FIBER CEMENT

**1** WEST ELEVATION  
SCALE: 1/4" = 1'-0"

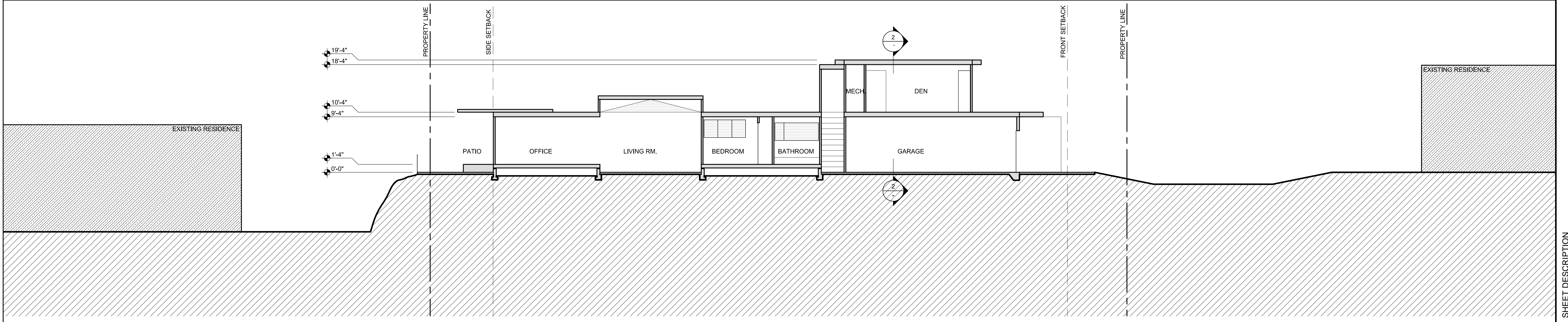
**4** LEGEND  
SCALE: NA

NO.	DATE	SCALE
1.	.	.
2.	.	.
3.	.	.
4.	.	.
5.	.	.



**2** SITE SECTION  
SCALE: 1/8" = 1'-0"

PROJECT TITLE:  
**MEYERS RESIDENCE**  
W. CANTINA WAY  
PALM SPRINGS, CA



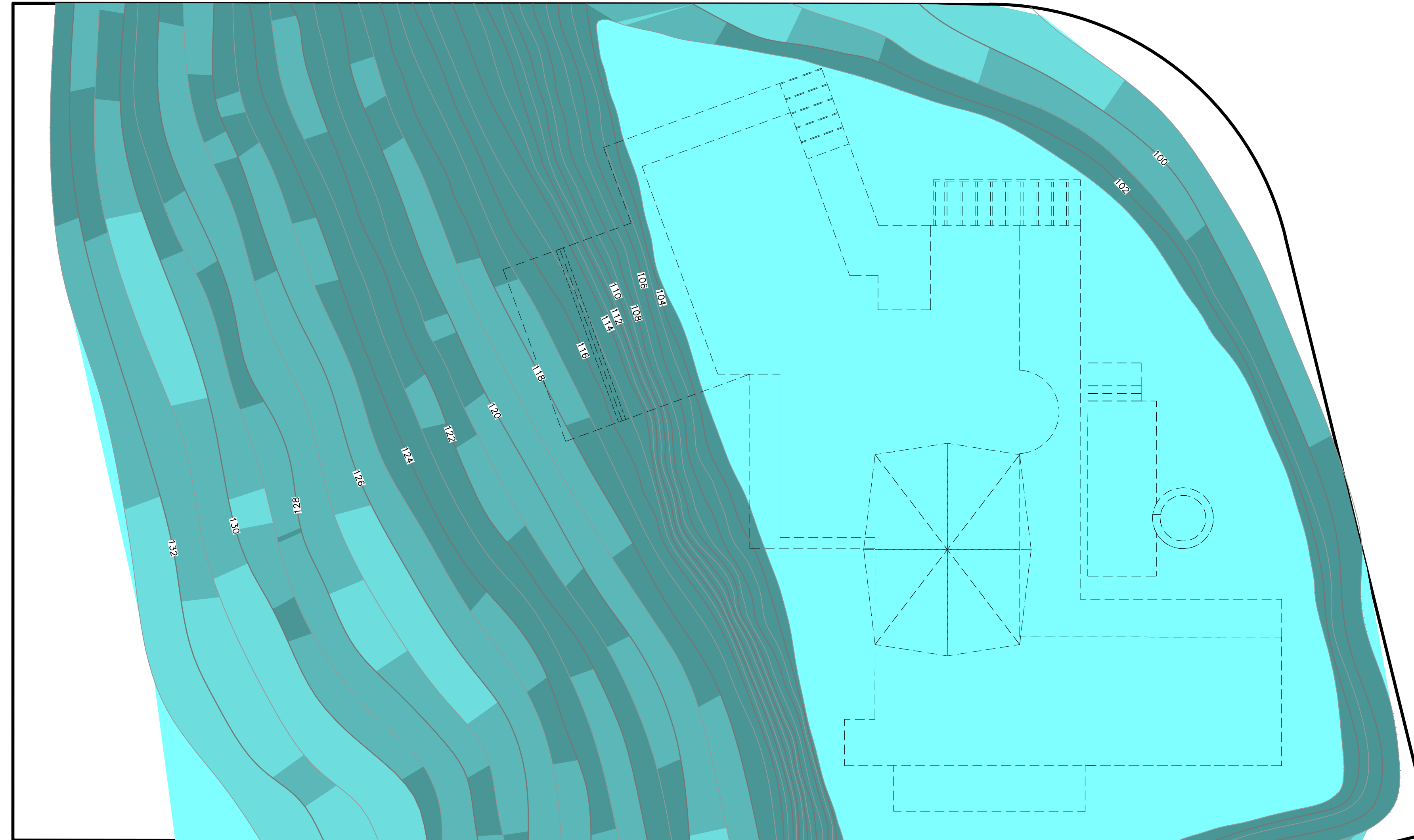
**3** SITE SECTION  
SCALE: 1/8" = 1'-0"





SHEET DESCRIPTION  
**EXTERIOR ELEVATIONS / SECTIONS**  
SCALE: AS NOTED  
01.24.14

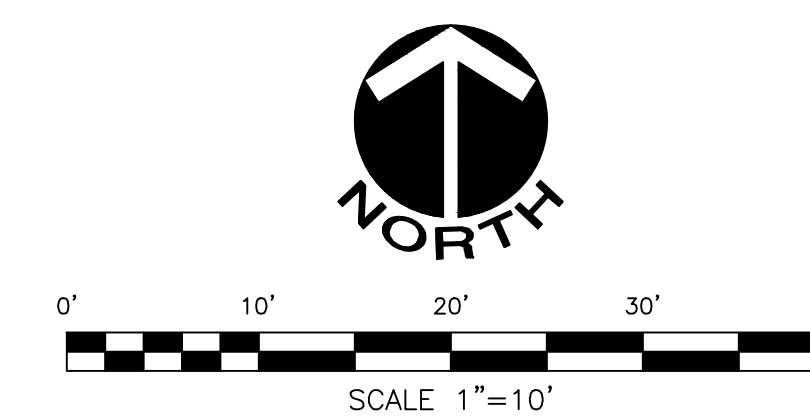
**A2.2**  
MEYERS RESIDENCE

**o2 ARCHITECTURE**  
1089 N. PALM CANYON DR., STE. B  
PALM SPRINGS, CA 92262  
TEL. 760. 778. 8165  
FAX 760. 406. 7946  
EMAIL: office@o2arch.com





SLOPES TABLE					
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	S.F.	ACRE
1	0.00%	10.00%		6,932	0.16
2	10.00%	20.00%		1,425	0.03
3	20.00%	30.00%		3,882	0.09
4	30.00%	VERTICAL		4,984	0.11



**MEYERS RESIDENCE**  
**SLOPE ANALYSIS**  
 EXHIBIT DATE: APRIL 18, 2014

 **MSA CONSULTING, INC.**  
 PLANNING ■ CIVIL ENGINEERING ■ LAND SURVEYING  
 34200 BOB HOPE DRIVE ■ RANCHO MIRAGE ■ CA 92270  
 TELEPHONE (760) 320-9811 ■ FAX (760) 323-7893



BALCONY VIEW - SOUTH SIDE WITH MISQUITE TREE



BALCONY VIEW - SOUTH SIDE



BALCONY VIEW - NORTH SIDE WITH MISQUITE TREE



BALCONY VIEW - NORTH SIDE