



## City Council Staff Report

DATE: July 15, 2015

CONSENT CALENDAR

SUBJECT: APPROVAL OF PLANS, SPECIFICATIONS AND ESTIMATE AND AUTHORIZATION TO BID FOR THE FIRE STATION NO. 2 HVAC CHILLER REPLACEMENT, CITY PROJECT NO. 14-17

FROM: David H. Ready, City Manager

BY: Public Works & Engineering Department

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### SUMMARY

A Measure J Capital Project to replace the existing heating, ventilating, and air conditioning (HVAC) chiller at Fire Station 2 (El Cielo), requiring City Council approval of plans, specifications and estimates for staff to proceed with the public bidding process.

### RECOMMENDATION:

1. Approve the plans, specifications and estimate and authorize staff to advertise and solicit bids for the Fire Station No. 2 HVAC Chiller Replacement, City Project No. 14-17.

### STAFF ANALYSIS:

The construction of this Project will replace the existing HVAC chiller at Fire Station No. 2. The construction will consist of the demolition and construction of chiller footing/pad, replacement of existing chiller and related components, roof-mounted exhaust fan, ductwork, hydronic piping with insulation and components, refrigerant leak detection system, replacement of existing conduit and conductors, and miscellaneous plywood/stucco patch work related to the chiller replacement for the roof and ceiling of the building. A location map is provided below. A vicinity map illustrating a 500-ft radius from the parcel is included in **Attachment 1**.

ITEM NO. 2R

### Location Map



Pursuant to Section 94.04.00(E), of the Palm Springs Zoning Code, the Fire Station No. 2 Chiller Replacement did not require a Minor Architectural approval by the Planning Services Department. The construction drawings prepared by Urrutia Architects have been reviewed and approved by the City's Building Department, and are ready to formally solicit construction bids for the Project; a copy of the construction drawings is included in **Attachment 2**.

With the City Council's approval, staff will advertise the project in *The Desert Sun*, submit the Notice Inviting Bids to plan rooms, and provide the bid documents available free of charge to prospective bidders. A copy of the construction drawings and contract specifications for the Project are on file with the Public Works & Engineer Department. The specifications identify the following schedule for the bid process:

Notice Inviting Bids to be posted:	July 16, 2015
<b>Deadline for receipt of bids:</b>	<b>3:30 PM, August 20, 2015</b>
Contract awarded by City Council:	September 16, 2015

### ENVIRONMENTAL IMPACT:

Section 21084 of the California Public Resources Code requires Guidelines for Implementation of the California Environmental Quality Act ("CEQA"). The Guidelines are required to include a list of classes of projects which have been determined not to have a significant effect on the environment and which are exempt from the provisions of CEQA. In response to that mandate, the Secretary for Resources identified classes of projects that do not have a significant effect on the environment, and are declared to be categorically exempt from the requirement for the preparation of environmental documents. In accordance with Section 15302 "Replacement or Reconstruction," Class 2 projects consist of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have a substantially the same purpose and capacity as the structure replaced; therefore, the Fire Station No. 2 Chiller Replacement is considered categorically exempt

from CEQA, and a Notice of Exemption has been prepared and will be filed with the Riverside County Clerk. A copy of the Notice of Exemption is included as **Attachment 3**.

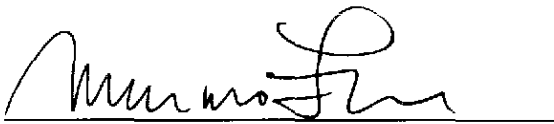
**FISCAL IMPACT:**

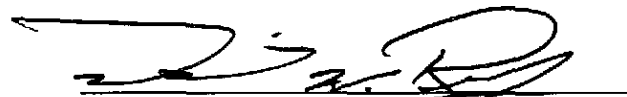
A total of \$60,000 is budgeted for this project through the Measure J Fund (Fund 260). This initial budget was anticipated as the cost to replace the chiller equipment itself; however, as the original building was constructed in 1975, in order to replace the existing chiller, a substantial amount of additional work associated with the electrical and mechanical systems is required to comply with current Building Codes. This additional work is estimated at \$100,000 and was unknown by the Fire Department at the time this project was proposed as part of the Measure J Program.

The final construction estimate for the Project is \$161,350 as shown in **Attachment 4**. The revised budget is identified in Table 1 below, and highlights an additional estimated appropriation of \$124,177 will be required to fully fund the Project. However, once the actual bid price is received, staff will request the Measure J Commission to review the program and make a recommendation to City Council on additional funding or delaying project.

**Table 1**

<b>Table of Project Costs</b>	<b>Amount</b>
FY13/14 Measure J Fund	\$60,000
Design Services	(\$19,500)
Project Administration (through 6/30/15)	(\$327)
Project Administration (Estimated)	(\$500)
Construction Inspection (Estimated)	(\$2,500)
Construction Cost (Estimated)	(\$161,350)
<b>Budget Deficit</b>	<b>(\$124,177)</b>

  
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Marcus L. Fuller, MPA, P.E., P.L.S.  
Assistant City Manager/City Engineer

  
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David H. Ready, Esq., Ph.D.  
City Manager

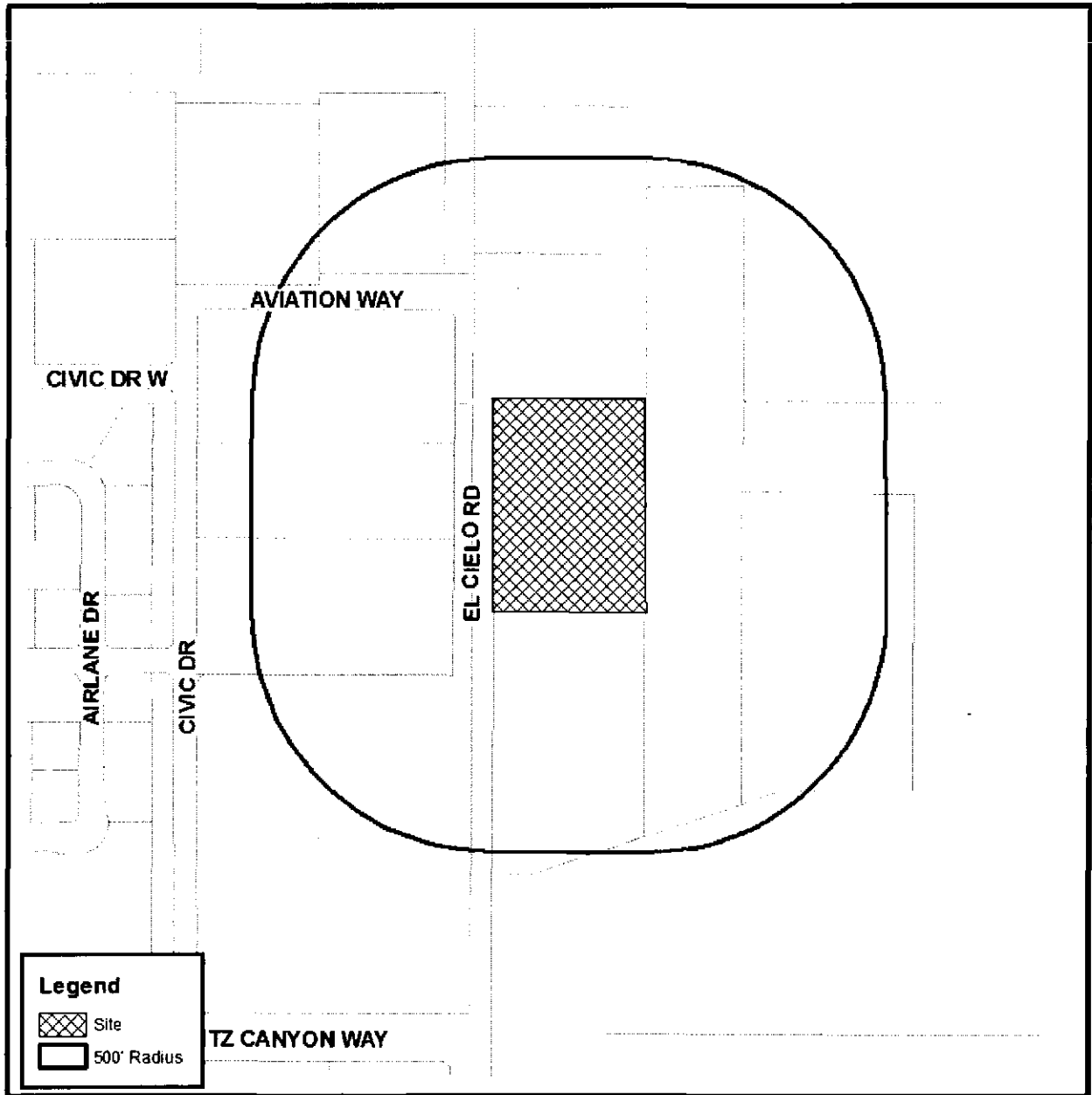
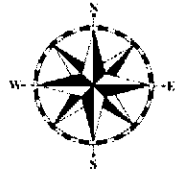
**Attachments:**

1. Vicinity Map
2. Construction Plans
3. Notice of Exemption
4. Construction Estimate

## Attachment 1



# Department of Public Works and Engineering Vicinity Map



CITY OF PALM SPRINGS

## Attachment 2

# FIRE DEPARTMENT STATION No. 2 HVAC CHILLER REPLACEMENT

FOR THE

## CITY OF PALM SPRINGS

### 300 N. EL CIELO DRIVE - PALM SPRINGS, CALIFORNIA

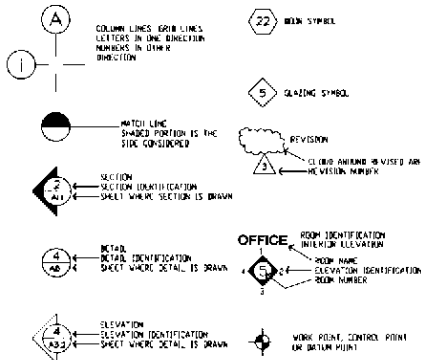
#### INDEX TO DRAWINGS

T 1	TITLE SHEET - INDEX TO DRAWINGS
A 1	OVERALL SITE PLAN
A 2	PARTIAL DEMOLITION & REMODEL FLOOR PLANS
A 2.2	STRUCTURAL FOOTING DETAILS
M 01	GENERAL NOTES, LEGEND AND DRAWINGS LIST
M 02	DEMOLITION AND REMODEL FLOOR PLANS
M 03	DETAILS
M 04	CHILLED WATER PIPING DIAGRAM
E 01	GENERAL NOTES, LEGEND AND DRAWINGS LIST
E 02	SITE PLAN
E 03	DEMOLITION AND REMODEL PLAN AND SINGLE LINE DIAGRAM

#### GENERAL NOTES

- THE CONTRACTOR SHALL KEEP ON THE PROJECT AT ALL TIMES DURING ALL CONSTRUCTION OPERATIONS A COMPETENT SUPERVISOR WHO WILL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBCONTRACTORS AND QUALITY CONTROL OF THE PROJECT. SEE SPECIFICATIONS.
- ALL PORTIONS OF THE WORK SHALL BE GUARANTEED AND WARRANTY IN PERFORMANCE AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF SUBstantial COMPLETION OR LONGER GUARANTEE IS SPECIFICALLY CALLED FOR IN THE SPECIFICATIONS.
- SCAFFOLDING SHALL BE THE RESPONSIBILITY OF EACH TRADE REQUIRING SAME. SCAFFOLDING SHALL BE AS APPROVED BY THE STATE OF CALIFORNIA SAFETY OFFICER AND CALIFORNIA.
- ALL QUESTIONS RAISED BY THE GENERAL CONTRACTOR AND/OR SUBCONTRACTOR DURING THE CONSTRUCTION PERIOD SHALL BE IN WRITING IN THE PROJECT FOR INFORMATION ONLY. FORM FOR SPECIFICATIONS AND SENT TO THE ARCHITECT.
- OWNER SHALL PAY FOR ALL THROUGH THE POWER CONSUMPTION DURING CONSTRUCTION PERIOD TO YETTER.
- LOCAL CONTRACTOR SHALL PROVIDE HIS OWN EXTERIOR CONCRETE.
- EXISTING PAVED OR PAVED AREAS THAT ARE USED BY CONTRACTOR SHALL BE REPAIRED BY CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SOLETS FACILITIES FOR USE OF ALL PERSONS EXISTING FACILITIES SHALL NOT BE USED BY CONTRACTOR DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY FACILITIES TO MAINTAIN ALL EXISTING UTILITIES AND ALL UTILITIES SHALL BE MAINTAINED IN CLEAR, SANITARY CONDITION AND PROVIDE ADEQUATE SUPPLIES OF TOILET PAPER.
- THE CONTRACTOR SHALL PROVIDE ALL ITEMS REQUIRED IN CONNECTION WITH OSHA SAFETY PROGRAM.
- PROTECT ALL SPECIFICALLY IDENTIFIED HISTORIC AND STORAGE AREAS SHALL BE PROTECTED WITH THE PROPERTY OF THE PROPERTY.
- CONSTRUCTION PERSONNEL MAY ONLY PARK WITHIN THE ADJACENT PARKING AREAS.
- ANY PERSONNEL PARKING ON OTHER PROPERTY, DO SO AT THEIR OWN RISK AND SHALL BE AWARDED THEIR VEHICLES MAY BE TOWED AND/OR TOWED AT THEIR OWN EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF CONSTRUCTION AREA AND ANY STORAGE AREAS.
- THE CONTRACTOR SHALL PROVIDE CONSTRUCTION CLEANUP REPORT.
- THE CONTRACTOR SHALL PROVIDE SAMPLES OF ALL PAINT COLORS TO BE REVIEWED AND APPROVED BY ARCHITECT BEFORE APPLICATION.

#### SYMBOL LEGEND



#### PROJECT DATA

- APPLICABLE CODES:**
- 203 CALIFORNIA ADMINISTRATIVE CODE (CAC)
  - PART 1, TITLE 24 CALIFORNIA CODE OF REGULATIONS (CCR)
  - 203 CALIFORNIA BUILDING CODE (CBC)
  - PART 2, TITLE 24 CCR
  - BASED ON THE 2012 INTERNATIONAL BUILDING CODE (IBC)
  - 203 CALIFORNIA ELECTRICAL CODE (CEC)
  - PART 3, TITLE 24 CCR
  - BASED ON THE 2011 NATIONAL ELECTRICAL CODE (NEC)
  - 203 CALIFORNIA MECHANICAL CODE (CMC)
  - PART 4, TITLE 24 CCR
  - BASED ON THE 2012 UNIFORM MECHANICAL CODE (UMC)
  - 203 CALIFORNIA FIRE CODE (CFC)
  - PART 5, TITLE 24 CCR
  - BASED ON THE 2012 UNIFORM FIRE CODE (UFC)
  - 203 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)
  - PART 2, TITLE 24 CCR
  - 203 NFPA 72

#### EXISTING CONSTRUCTION

- TYPE V-B BEARING BUILDING 14304 SF

#### CONSTRUCTION TYPE:

- EXISTING BUILDING ELEMENTS (PER TABLE 602)

EXTERIOR BEARING WALLS	CMR
EXTERIOR NON-BEARING WALLS	CMR
STRUCTURAL FRAME	CMR
PARTITIONS-PERMANENT	CMR
FLOORS AND FLOOR-CEILINGS	CMR
ROOFS AND ROOF-CEILINGS	CMR
EXTERIOR DOOR & WINDOWS	CMR

#### OCCUPANCY:

- R-2

#### DEFERRED APPROVALS:

- NONE

#### AREAS:

- EXISTING CHILLER REMODEL 140 SF

#### EXISTING BUILDING HEIGHT / STORES:

- 11'-0" (HIGHEST ROOF)
- ONE STORY

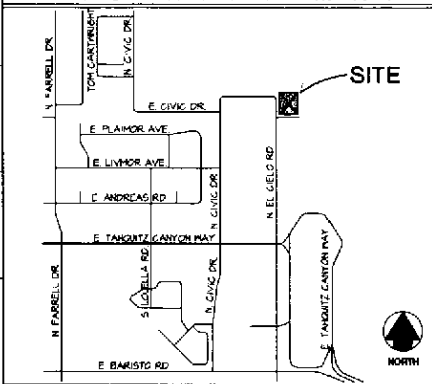
#### DESCRIPTION OF WORK:

- REMOVE EXISTING CHILLER EQUIPMENT AND HOUSE KEEPING PAD. ADD NEW FOOTING, CHILLER AND EXHAUST FAN.

#### CALIFORNIA GREEN CODE NOTES

- GENERAL CONTRACTOR MUST RECYCLE METAL SOLVANTS FOR REUSE A MINIMUM OF 50% OF THE NON-HAZARDOUS CONSTRUCTION WASTE UTILIZING ONE OF THE METHODS LISTED BELOW.
  - IF A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE OR A REUSE STRATEGY, SEND TO THE ARCHITECT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT:
    - IDENTIFIES THE CONSTRUCTION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY APPROPRIATE RECYCLING FACILITIES ON THE PROJECT OR SALVAGE FOR REUSE OR SALE.
    - DETERMINES IF CONSTRUCTION WASTE MATERIALS WILL BE SORTED ON SITE (NEARLY SEPARATED OR BULKY MIXED TRUCK STREAM).
    - IDENTIFIES DIVERSION FACILITIES WHERE CONSTRUCTION WASTE MATERIALS COLLECTED WILL BE TAKEN OR STORED, AND THAT THE WEIGHT OF CONSTRUCTION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.
    - IF A WASTE MANAGEMENT COMPANY THAT CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERFORMANCE OF CONSTRUCTION WASTE MATERIALS DIVERTED FROM THE LANDFILL CORRESPONDS WITH THIS SECTION.
    - NOTE: THE GENERAL CONTRACTOR SHALL MAINTAIN THE DETERMINATION IF THE CONSTRUCTION WASTE MATERIAL WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY.
    - MEET A LOCAL CONSTRUCTION WASTE MANAGEMENT REQUIREMENT.
- GENERAL CONTRACTOR SHALL DEVELOP A PRE-TEN PLAN OF PROCEDURES FOR TESTING AND ADJUSTING SYSTEMS TO BE INCLUDED FOR TESTING AND ADJUSTING SHALL INCLUDE AS APPLICABLE TO THE PROJECT:
  - HVAC SYSTEMS AND CONTROLS.
  - PERFORM TESTING AND ADJUSTING PROCEDURES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE STANDARDS ON EACH SYSTEM.
    - IN ADDITION TO HVAC TESTING AND ADJUSTING, BEFORE A NEW SPACE CONDITIONING SYSTEM SERVING A BUILDING IS OPERATED FOR NORMAL USE, BALANCE THE SYSTEM IN ACCORDANCE WITH THE PROCEDURES DEFINED BY THE ASSOCIATED AIR BALANCE COUNCIL NATIONAL STANDARDS OR AS APPROVED BY THE BUREAU OF ENERGY EFFICIENCY.
    - AFTER COMPLETION OF TESTING, INSPECTION AND BALANCING, CONTRACTOR SHALL PROVIDE A FINAL REPORT TO ARCHITECT OF TESTING AND ADJUSTING. THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.
  - CONTRACTOR SHALL PROVIDE TO ARCHITECT DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COMES OF GUARANTEE/WARRANTIES FOR EACH SYSTEM. OSH INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN 29 CFR 1910.16 AND OTHER RELATED REGULATIONS.
  - OSH INSTRUCTIONS SHALL INCLUDE A COPY OF ALL INSPECTION VERIFICATIONS AND REPORTS REQUIRED BY THE EMPLOYING AGENCY.
- THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION ADDITIONS OR AREAS OF ALLOCATION WITHIN THE REQUIRED THERMAL RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, CONTRACTOR SHALL SUPPLY AND INSTALL RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY RATING OF 95% (MERV 11) OR AN AVERAGE EFFICIENCY OF 90% RANGE OR HIGHER 95% MERV. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE COMPLETION OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL, AT THE TIME OF ROOF INSTALLATION AND DRAINAGE STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL ROOF AND OTHER RELATED AREAS DEFINED ON COMPONENT DRAWINGS SHALL BE COVERED WITH TARP, PLASTIC, SHEET METAL, OR OTHER METHODS ACCEPTABLE TO THE SPECIFICATIONS TO REDUCE THE AMOUNT OF DIRT, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.
- GENERAL CONTRACTOR SHALL INSURE ADHESIVE SEALANTS AND SEALING USED ON THE PROJECT MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS:
  - ADHESIVES, ADHESIVE BONDING PRIMER AND SEALANTS SHALL COMPLY WITH LOCAL OR NATIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT EXISTING RULES WHERE APPLICABLE, OR EXCEED RULE 406 VOC LIMITS AS SHOWN IN TABLE 604.1 AND 504.4.2 OF 2012 CALIFORNIA GREEN BUILDING CODE. DATA PRODUCTS ALSO SHALL COMPLY WITH THE RULES FOR PROHIBITION ON THE USE OF CERTAIN TOXIC COMPONENTS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, CORRECTING WITH SECTION 60407. PROHIBITED SUBSTANCES INCLUDE:
    - ADHESIVES, ADHESIVES AND SEALANTS SHALL MEET THE LIMITS OF ADHESIVES AND SEALANTS OR SEALING COMPOUNDS SHALL COMPLY WITH EXISTING VOC STANDARDS AND OTHER REQUIREMENTS INCLUDING PROHIBITION ON THE USE OF CERTAIN TOXIC COMPONENTS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, CORRECTING WITH SECTION 60407.
- PRIOR TO FINAL APPROVAL OF THE BUILDING, THE LICENSED CONTRACTOR, IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION, MUST COMPLETE AND SIGN THE CALIFORNIA GREEN BUILDING STANDARD CERTIFICATION FORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND SUBMIT TO THE BUILDING DEPARTMENT OFFICIAL, PRIOR TO BUILDING FINAL APPROVAL, TO BE FILED WITH THE APPROVED PLANS.

#### VICINITY MAP



#### C O N S U L T A N T S

MECHANICAL ENGINEER	ELECTRICAL ENGINEER	STRUCTURAL ENGINEER	OWNERSHIP OF INSTRUMENTS OF SERVICE
<p>TTG</p> <p>401 VIA PIEDMONT SUITE 400</p> <p>ONTARIO, CA 91764</p> <p>(909) 942-5546</p>	<p>TTG</p> <p>401 VIA PIEDMONT SUITE 400</p> <p>ONTARIO, CA 91764</p> <p>(909) 942-5543</p>	<p>W-T STRUCTURAL ENGINEERING LLC</p> <p>21 S. PALM CANYON DRIVE, SUITE 201</p> <p>PALM SPRINGS, CA 92262</p> <p>(760) 288-3058</p>	<p>ALL REPORTS, PLANS, SPECIFICATIONS, COMPUTER FILES, FIELD DATA, TESTS AND OTHER DOCUMENTS AND INSTRUMENTS INCLUDING ALL DOCUMENTS ON ELECTRICALS, MECHANICAL, PREPARED BY JURETTA ARCHITECTS, ARE INSTRUMENTS OF SERVICE AND SHALL BE THE PROPERTY OF JURETTA ARCHITECTS. UNLESS OTHERWISE SPECIFIED, ALL INSTRUMENTS OF SERVICE SHALL BE THE PROPERTY OF JURETTA ARCHITECTS. UNLESS OTHERWISE SPECIFIED, INCLUDING THE COPYRIGHT THEREOF.</p>

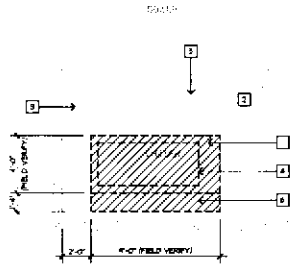
FIRE DEPARTMENT STATION No. 2  
HVAC CHILLER REPLACEMENT  
300 N. EL CIELO DRIVE  
PALM SPRINGS, CA 92262

TITLE SHEET - INDEX TO DRAWINGS

DATE	MAY 26 2015	SCALE	1/4" = 1'-0"
REVISIONS			
			T1.1

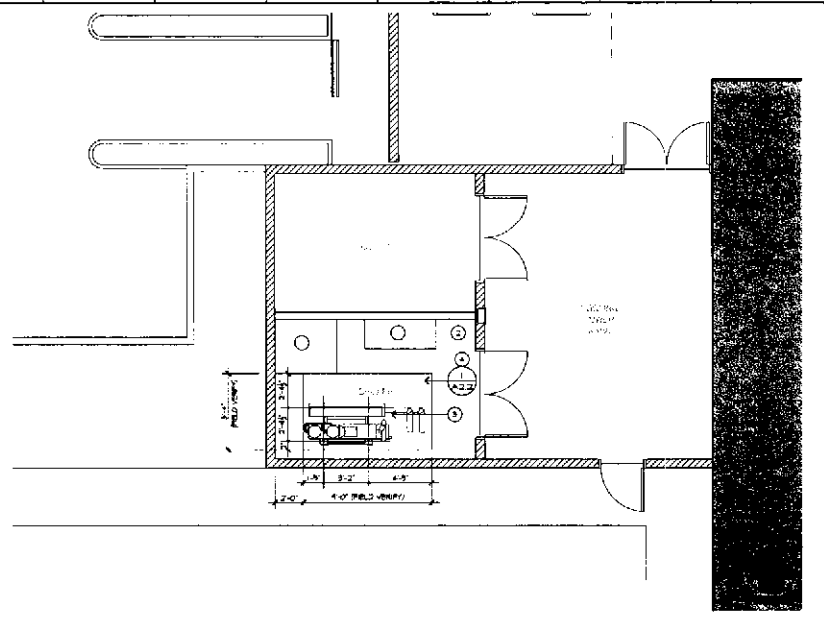






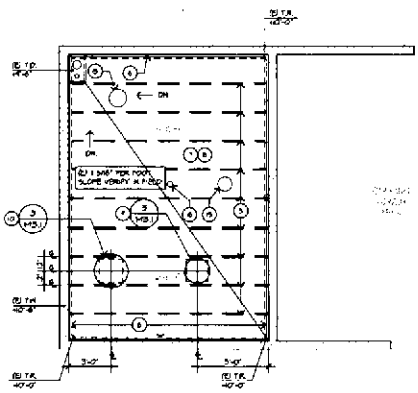
PARTIAL DEMOLITION FLOOR PLAN

1/4"=1'-0" 1



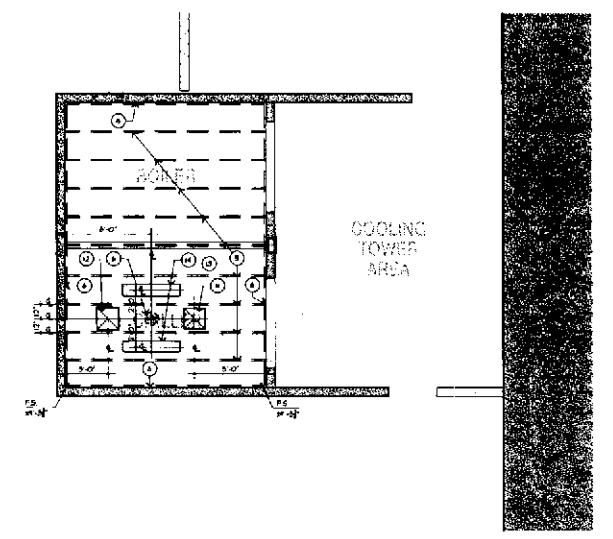
PARTIAL REMODEL FLOOR PLAN

1/4"=1'-0" 2



REMODEL ROOF PLAN

1/4"=1'-0" 3



REMODEL REFLECTED CEILING PLAN

1/4"=1'-0" 4

**DEMOLITION KEYNOTES**

- 1 SAW-CUT AND REMOVE EXISTING CHILLER CONCRETE PAD
- 2 EXISTING CONCRETE SLAB SHALL REMAIN. PROTECT DURING CONSTRUCTION
- 3 EXISTING CONCRETE HORIZONTALING PAD FOR PUMP SHALL REMAIN. PROTECT DURING CONSTRUCTION
- 4 REMOVE AND DISCARD EXISTING CHILLER UNIT. SEE 14021
- 5 REMOVE EXISTING LIGHT FIXTURE. SEE 14021
- 6 SAW-CUT AND REMOVE EXISTING CONCRETE SLAB FOR NON-FOOTING

**REMODEL KEYNOTES**

- 1 EXISTING CONCRETE HORIZONTALING PAD FOR PUMP SHALL REMAIN. PROTECT DURING CONSTRUCTION
- 2 EXISTING CONCRETE SLAB SHALL REMAIN. PROTECT DURING CONSTRUCTION
- 3 NEW CHILLER ANCHORED TO HORIZONTALING PAD/FOOTING. SEE 24021
- 4 NEW CONCRETE HORIZONTALING PAD AND FOOTING
- 5 EXISTING 2" x 6" ROOF RAFTERS AT 24" O.C. SHALL REMAIN. PROTECT DURING CONSTRUCTION
- 6 EXISTING 4" x 6" LEDGERS BOLTED TO EXISTING HANGROY WALLS SHALL REMAIN. PROTECT DURING CONSTRUCTION
- 7 EXISTING ROOF SHEATHING IS 1/2" THICK AND SHALL REMAIN
- 8 EXISTING BELT-UP ROOFING MEMBRANE SHALL REMAIN. PATCH REPAIRS WITH EQUAL ROOFING MEMBRANE. WEIR PENETRATIONS ARE MADE TO INSTALL NEW ROOF BOARD FINISH AS WELL AS ELECTRICAL CONDUITS TO POWER PANS. SEE 24021 AND 24023
- 9 NEW ROOF MOUNTED EXHAUST FAN - EF-2. SEE 24021 AND 24023
- 10 NEW ROOF MOUNTED EXHAUST FAN - EF-1. SEE 24021 AND 24023
- 11 NEW ROOF OPENING WITH 1" x 1" SHEET METAL DUCT OPENING UP THROUGH ROOF. SEE 24021
- 12 NEW ROOF OPENING WITH 1/2" x 1/2" SHEET METAL DUCT OPENING UP THROUGH ROOF. SEE 24021
- 13 EXISTING PLASTER CEILING WITH KEENE CEMENT FINISH SHALL REMAIN. PATCH REPAIRS NEW DUCT OPENINGS TO MATCH EXISTING PLASTER FINISH AND PAINT COLOR
- 14 NEW LIGHT FIXTURES MOUNTED TO CEILING SURFACE. SEE 24021
- 15 EXISTING PLENUM SHALL REMAIN
- 16 EXISTING VENT PIPE SHALL REMAIN

FIRE DEPARTMENT STATION NO. 2  
 HVAC CHILLER REPLACEMENT  
 300 N. EL CIELO DRIVE  
 PALM SPRINGS, CA 92262  
**PARTIAL DEMOLITION & REMODEL  
 SITE PLANS**

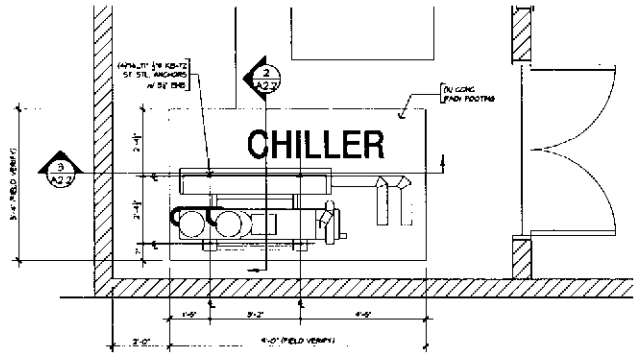


DRAWN BY: FRANCISCO J. GERRA, P.E., C. 7402  
 DATE: MAY 26, 2015  
 PROJECT NO.: 1442.00

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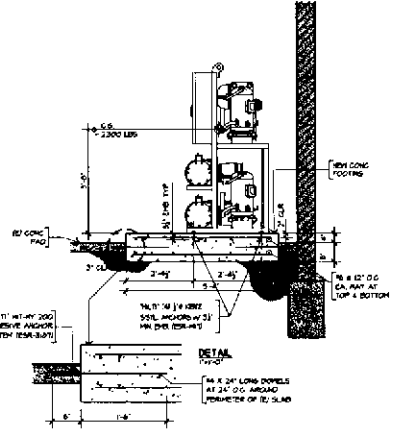
**A2.1**

14000001-STRUCTURE-MACHINE PROJECTS/0117 OF PALM SPRINGS/STA. SERVICES/HAZ. INSURAN. APPROVALS/140220 A2.2.DWG. 2 CHILLER REPLACEMENT/140220 A2.2.DWG. 5/28/2015 12:28 PM



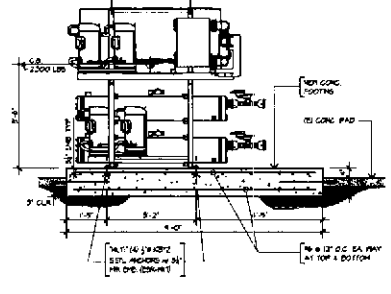
EQUIPMENT PLAN

1/2"=1'-0" 1



EQUIPMENT ELEVATIONS / SECTIONS

1/2"=1'-0" 2



EQUIPMENT ELEVATIONS / SECTIONS

1/2"=1'-0" 3

KEYNOTES

PROJECT: FIRE DEPARTMENT STATION No. 2  
 HVAC CHILLER REPLACEMENT  
 300 N. EL CIELO DRIVE  
 PALM SPRINGS, CA 92262

STRUCTURAL FOOTING DETAIL



FRANK J. URBINA, P.E. (14420)  
 DATE: MAY 26, 2015

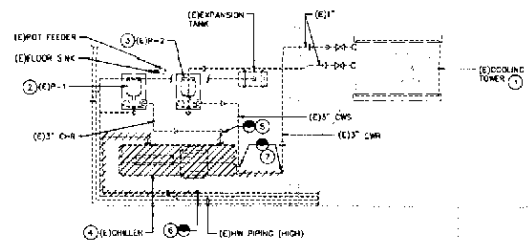
PROJECT NUMBER: 1442.00  
 DRAWING NUMBER:

NO.	REVISIONS

A2.2



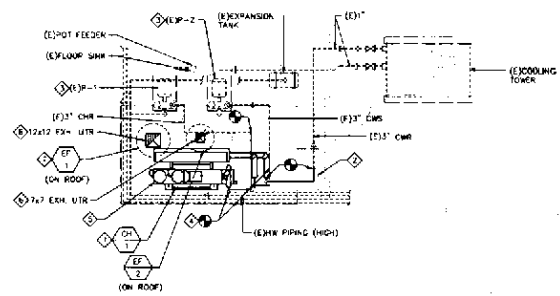
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**DEMOLITION PLAN**



1/4"=1'-0" 1



**REMODEL PLAN**



1/4"=1'-0" 2

**DEMO NOTES**

- 1) EXISTING COOLING TOWER TO REMAIN
- 2) EXISTING CHILLED WATER PUMP TO REMAIN
- 3) EXISTING CONDENSING WATER PUMP TO REMAIN
- 4) DEMOLISH EXISTING CHILLER EXISTING CHILLER HOUSEKEEPING PAD TO REMOVED. SEE ARCHITECTURAL PLANS FOR MORE DETAIL. CONTRACTOR TO REMOVE AND DISPOSE SYSTEM REFRIGERANT PER LATEST CODES.
- 5) DEMOLISH EXISTING 3" CHR PIPING UP TO POR
- 6) DEMOLISH EXISTING 3" CHR PIPING UP TO POR
- 7) DEMOLISH EXISTING 3" CHW AND LWS PIPING UP TO POR.

**KEY NOTES**

- ◇ PROVIDE NEW CHILLER WITH RELATED PIPING UP TO POR. SEE ARCHITECTURAL PLANS FOR NEW HOUSEKEEPING PAD AND FOOTINGS PAD TO BE 32"x48"x4" MIN.
- ◇ SERVICE CLEARANCE FOR NEW CHILLER.
- ◇ RELOCATE PUMP AND/OR RELATED PIPING AS REQUIRED TO MAINTAIN CHILLER SERVICE CLEARANCE.
- ◇ PIPES AT POINT OF CONNECTION ARE TO BE REMOVED. TYPICAL LOCATION OF POINTS OF CONNECTION ARE APPROXIMATE. CONFIRM AT SITE WHERE PIPES ARE TO BE REMOVED IN ORDER TO PERFORM WORK. NEW PIPE TO MATCH EXISTING IN PIPE SIZE AND MATERIAL.
- ◇ PROVIDE REFRIGERANT PURGE PIPE UP THROUGH ROOF PER MANUFACTURER'S RECOMMENDATIONS. SEAL ALL ROOF PENETRATIONS WEATHER TIGHT.
- ◇ DUCT TO PENETRATE INTO SPACE MINIMUM 6"
- ◇ EXHAUST FAN TO BE CONTROLLED THROUGH CHILLER REFRIGERANT LEAK DETECTOR MODE. BY CONTRACTOR TO COORDINATE WITH OWNER FOR LOCATION OF CONTROL BOX AND AUDIBLE AND VISUAL ALARM PROVIDED AND INSTALL ALL NECESSARY COMPONENTS FOR AN OPERATIONAL SYSTEM PER MANUFACTURER'S RECOMMENDATIONS.

**TTG**  
 4110 Riverside Blvd. Suite 200  
 Orange, California 92668  
 Phone: 949.277.0915 Fax: 949.277.1810  
 800.448.6228 Project No: 15-0001-01

PROJECT NO. 15-0001-01  
 FIRE DEPARTMENT STATION No. 2  
 HVAC CHILLER REPLACEMENT  
 300 N. E. C. DRIVE  
 PALM SPRINGS, CA 92262

**DEMOLITION AND REMODEL FLOOR PLANS**



ISSUED 2 SHEETS 1 OF 1

DATE: MAY 26, 2015 PROJECT NO: 1442-00

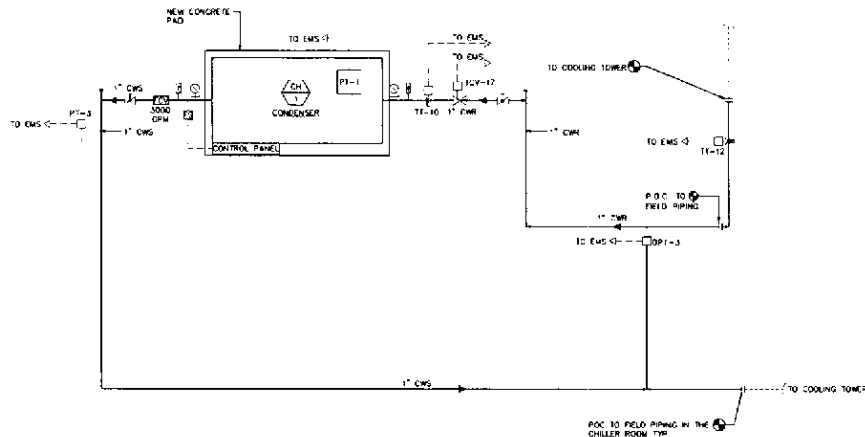
REVISIONS



PROJECT NO: 1442-00

**M2.1**

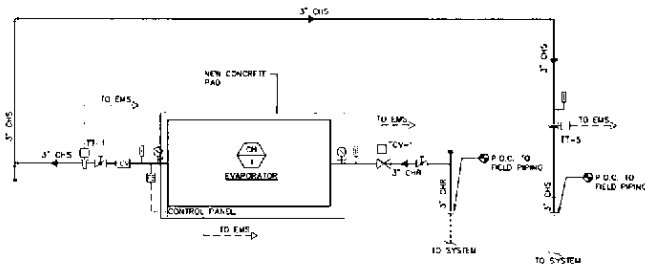




NOTE:  
COORDINATE WITH OWNERS VENDOR  
FOR CONNECTIONS TO EMS

**CONDENSER WATER PIPING AND INSTRUMENTATION DIAGRAM**

ATA 1



NOTE:  
COORDINATE WITH OWNERS VENDOR  
FOR CONNECTIONS TO EMS

**CHILLED WATER PIPING AND INSTRUMENTATION DIAGRAM**

ATA 2

**TTG**  
 THERMAL TECHNOLOGIES GROUP  
 21110 BAYVIEW BLVD. #100  
 CHINA, CALIFORNIA 91706  
 PHONE 951-477-0010 FAX 951-477-0011  
 WWW.TTG-USA.COM

**CHILLED WATER PIPING DIAGRAM**

PROJECT: FIRE DEPARTMENT STATION NO. 2  
 HVAC CHILLER REPLACEMENT  
 300 N. EL CERRILLO DRIVE  
 PALM SPRINGS, CA 92262

**ARCHITECT**  
 J. J. ARCHITECTS  
 11111 AVENUE 48  
 PALM SPRINGS, CA 92262  
 (951) 321-0411  
 www.jja.com

DATE: MAY 26, 2015

REVISIONS

SCALE: AS SHOWN

**M4.1**

N:\PROJECTS\2015\20150524-23\20150524-23\20150524-23.dwg 1:1 May 27, 2015 2:09pm

GENERAL NOTES

- 1. ALL ELECTRICAL MATERIALS AND EQUIPMENT INDICATED ON THE CONTRACT DOCUMENTS SHALL BE NEW AND SHALL BE USED BY UNDERWRITERS' LABORATORIES (UL) AND BEAR LABELING OR LISTED AND CERTIFIED BY A NATIONALLY RECOGNIZED TESTING AUTHORITY... 2. THE CONTRACTOR SHALL VISIT THE SITE INCLUDING ALL AREAS INDICATED ON THE CONTRACT DOCUMENTS... 3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COMPLETE SET OF CONTRACT DOCUMENTS AND ADDRESS THE ATTENTION OF THE ARCHITECT... 4. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, CHARGES, AND INCIDENTAL COSTS NECESSARY FOR EXECUTION AND COMPLETION OF ALL WORK... 5. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES... 6. THE CONTRACTOR SHALL PROVIDE AND KEEP UP-TO-DATE A COMPLETE RECORD SET OF DRAWINGS... 7. IN SOME INSTANCES, IT MAY BE NECESSARY TO DEEPEN WORK IN CERTAIN AREAS AND LOCATIONS... 8. ALL INTERRUPTIONS OF ELECTRICAL, SIGNAL AND COMMUNICATION SYSTEMS SHALL BE KEPT TO A MINIMUM... 9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE TEMPORARY POWER FACILITIES AND CONNECTIONS FOR ALL FEEDERS... 10. SHOP DRAWINGS SHALL BE SUBMITTED WITH TEN DAYS AFTER AWARD OF THE CONTRACT... 11. AFTER ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS HAVE BEEN FULLY COMPLETED, REPRESENTATIVES OF THE OWNER WILL INSPECT THE WORK... 12. THE CONTRACTOR SHALL FURNISH A ONE YEAR WRITTEN GUARANTEE OF MATERIALS AND WORKMANSHIP... 13. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH OTHER TRADES... 14. COORDINATE WITH OTHER TRADES AS TO THE EXACT LOCATION OF THEIR RESPECTIVE EQUIPMENT... 15. EXISTING WELLSHOP AND LOCATION OF CONDUIT PENETRATION AND OPENINGS IN CONCRETE WALLS OR FLOORS OR STRUCTURAL STEEL MEMBERS SHALL BE AS DICTATED BY THE STRUCTURAL ENGINEER... 16. THE CONTRACTOR SHALL LOCATE ELECTRICAL EQUIPMENT AND DEVICES IN ACCESSIBLE CEILING SPACE OR PROVIDE AN ACCESS PANEL FOR INACCESSIBLE CEILING SPACE... 17. CONDUIT SHALL NOT BE INSTALLED IN ANY FLOOR SLAB CONDUIT SHALL BE INSTALLED CONCEALED IN THE CEILING SPACE... 18. THE CONTRACTOR SHALL LOCATE ELECTRICAL EQUIPMENT AND DEVICES IN ACCESSIBLE CEILING SPACE OR PROVIDE AN ACCESS PANEL FOR INACCESSIBLE CEILING SPACE... 19. WHENEVER A DISCREPANCY ARISES FROM THE CONTRACT DOCUMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIAL AND SERVICES TO THE STRICTER CONDITION OR HIGHER QUALITY OR QUANTITY

- 20. ALL RECESSED POWER, LIGHTING, AND SIGNAL EQUIPMENT MOUNTED IN FIRE RATED CEILING OR WALLS SHALL BE ENCLOSED WITH AN APPROVED UL LISTED ENCLOSURE... 21. STRAIGHT FEEDER, BRANCH CIRCUIT, AND CONDUIT RUNS SHALL BE PROVIDED WITH SUFFICIENT PULL BOXES... 22. MAXIMUM NUMBER OF CONDUCTORS IN OUTLET OR JUNCTION BOXES SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE... 23. THE EXACT LOCATION OF ALL ELECTRICAL DEVICES AND EQUIPMENT SHALL BE COORDINATED WITH THE ARCHITECTURAL ELEVATION DETAILS... 24. DRAWINGS ARE DIAGNOSTIC ONLY... 25. THE EQUIPMENT GROUNDING CONDUIT SHOWN ON CONDUIT RUNS SHALL RUN CONTINUOUS FROM PANEL TO LAST OUTLET... 26. ALL CONDUITS SHALL BE COPPER #12 AWG MINIMUM SIZE... 27. REFERENCE ARCHITECTURE AND STRUCTURAL CONTRACT DOCUMENT DRAWINGS FOR HOUSEKEEPING PANS AND EQUIPMENT FOOTINGS... 28. RECEPTACLES SHALL BE SPECIFICATION GRADE... 29. SWITCHES SHALL BE 20 AMP, 120/277 VOLT RATED... 30. DEVICE PLATES SHALL BE NYLON FOR THE NUMBER OF GAGES AND TYPE OF DEVICES... 31. RIGID GALVANIZED STEEL CONDUIT SHALL BE FULL WEIGHT THREADED... 32. RIGID GALVANIZED STEEL CONDUIT FITTINGS SHALL BE THREADED AND THOROUGHLY GALVANIZED... 33. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO REMOVAL OF EXISTING ELECTRICAL EQUIPMENT AND TURN OVER NEWLY INSTALLED EQUIPMENT

LEGEND

Table with columns: SYMBOL, DESCRIPTION. Symbols include circles with numbers, squares with numbers, and various line styles representing different electrical components and materials.

DEMOLITION NOTES

- 1. IN GENERAL, THE DEMOLITION PLAN SHOWS ALL EXISTING EQUIPMENT TO BE REMOVED... 2. IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO DISCONNECT AND REMOVE ALL EXISTING LIGHTING FIXTURES, RECEPTACLES, FIRE ALARMS, PAGING, INTERCOM SYSTEMS AND DATA DEVICES... 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS OF HOLEDRIMS AND ACADIST CORNER NUMBERS... 4. EXISTING CONDUIT REEDES UP THROUGH FLOOR SHALL BE CUT OFF AND FLOORED... 5. WHERE EXISTING WALLS HAVE BEEN REMOVED, AND THERE ARE EXISTING CONDUIT PASSES WHICH HAVE BEEN CUT-OFF AND GAPPED... 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONTINUITY SHALL CONSIST OF REROUTING CONDUIT, WIRING, ETC., AS REQUIRED... 7. ALL ELECTRICAL FIXTURES, OUTLETS, DEVICES, ETC. THAT ARE REMOVED SHALL BE REMOVED COMPLETELY INCLUDING CONDUIT AND WIRING... 8. EXISTING CIRCUITS WHICH ARE REMOVED AND NOT REUSED SHALL BE IDENTIFIED ON THE PANEL SCHEDULE AS 'SPARE'... 9. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO REMOVAL OF EXISTING ELECTRICAL EQUIPMENT AND TURN OVER NEWLY INSTALLED EQUIPMENT

DRAWING LIST

Table with columns: SYMBOL, DESCRIPTION. Lists drawing sheets including: T01 GENERAL NOTES, LEGEND AND DRAWING LIST; T02 SITE PLAN; T03 DEMOLITION AND RENOVATION PLAN AND SINGLE LINE DIAGRAM.

DEMOLITION NOTES CONT.

- 10. IN SOME INSTANCES, IT MAY BE NECESSARY FOR THE FOOTING CONTRACTOR TO TEMPORARILY RELOCATE EXISTING ELECTRICAL EQUIPMENT... 11. DURING EACH PHASE OF DEMOLITION ALL CIRCUITS FROM EXISTING PANELS WHICH FEED AREAS OUTSIDE THE BOUNDARIES OF THAT PHASE SHALL BE MAINTAINED... 12. ALL ABANDONED OUTLETS INCLUDING LIGHTS, RECEPTACLES, TELEPHONES, ETC. SHALL BE COVERED AND PATCHED TO MATCH THE FINISH OF SURROUNDING WALL OR CEILING... 13. ALL LIGHTING FIXTURES REMOVED TO ACCOMPLISH DEMOLITION WORK SHALL BE REINSTALLED SIMILAR TO NEW WORK... 14. ALL LIGHTING FIXTURES, DEVICES, ETC. THAT ARE TO REMAIN SHALL BE PROTECTED DURING THE PROJECT

APPLICABLE CODES

- 2013 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1
2013 CALIFORNIA BUILDING CODE (CBC)
CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2
2013 CALIFORNIA ELECTRICAL CODE (CEC)
CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3
2013 CALIFORNIA MECHANICAL CODE (CMC)
CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4
2013 CALIFORNIA PLUMBING CODE (CPC)
CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5
2013 CALIFORNIA FIRE CODE (FC)
CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
2013 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
2013 CALIFORNIA FIRE CODE (FC)
CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
2013 CALIFORNIA EXISTING BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 10
2013 CALIFORNIA REFERENCED STANDARDS CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12
AMERICANS WITH DISABILITIES ACT (ADA)
1990 STATE FIRE MARSHAL REGULATIONS AND AMENDMENTS TO DATE
CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, CALIFORNIA STATE ACCESSIBILITY STANDARDS
CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19

Project information including: FIRE DEPARTMENT STATION NO. 2, HVAC CHILLER REPLACEMENT, 300 N. GILBERT DRIVE, PALM SPRINGS, CA 92262. Includes logos for ITTC, Arcata Architects, and various professional seals. Date: MAY 26 2015. Revision: E0.1.







## Attachment 3



## Attachment 4

OPINION OF PROBABLE COST

PROJECT:	City of Palm Springs - Fire Station #2 Chiller Replacement
TO:	Patrick Sweeney and Gianfranco Laurie
DATE:	1-Jul-15
UA PROJECT NO:	1442

ITEM NUMBER	DESCRIPTION	QUANTITY	UNIT COST	COST	TOTAL
Demo	Concrete Chiller Footing/Pad				\$ 3,000.00
	Ceiling above Chiller				\$ 1,245.00
	Roof openings for exhaust fans				\$ 1,100.00
	<i>Subtotal</i>				<b>\$ 5,345.00</b>
Temporary	Portable Toilets				\$ 800.00
	<i>Subtotal</i>				<b>\$ 800.00</b>
Concrete	Footings - HVAC Pads				\$ 3,789.00
	Soil Treatment under slab				\$ 255.00
	<i>Subtotal</i>				<b>\$ 4,044.00</b>
Masonry					
	<i>Subtotal</i>				\$ -
Metal					
	<i>Subtotal</i>				\$ -
Framing	Miscellaneous plywood patching for openings in roof				\$ 800.00
	<i>Subtotal</i>				<b>\$ 800.00</b>
Drywall					
	<i>Subtotal</i>				\$ -
Stucco	Patch stucco ceiling and openings in roof/ceiling for new exhaust fans				\$ 1,500.00
	<i>Subtotal</i>				<b>\$ 1,500.00</b>
Roofing	Patch existing roofing				\$ 1,200.00
	new sheetmetal flashing				\$ 1,000.00
	<i>Subtotal</i>				<b>\$ 2,200.00</b>
Paint	Ceiling				\$ 785.00
	<i>Subtotal</i>				<b>\$ 785.00</b>
Miscellaneous					
	<i>Subtotal</i>				\$ -
Arch/structural	<i>Subtotal</i>				<b>\$ 15,474.00</b>
Electrical	<i>(See attached breakdown)</i>				<b>\$ 15,957.00</b>
Mechanical	<i>(See attached breakdown)</i>				<b>\$ 88,010.00</b>
Plumbing	<i>Included in Mechanical</i>				<b>\$ -</b>
	<i>Subtotal</i>				<b>\$ 119,441.00</b>
Gen. Cond.		6%			\$ 18,590.00
Bonds/ins.		2%			\$ 6,569.00
Cont. Fee		5%			\$ 16,750.00
					<b>\$ 161,350.00</b>





