



## PLANNING COMMISSION STAFF REPORT

DATE: OCTOBER 14, 2015

SUBJECT: FRANK M. HOMES INC, REQUESTING A MAJOR ARCHITECTURAL APPROVAL FOR A 2,913-SQUARE FOOT HOUSE ALONG A MAJOR THOROUGHFARE AT 2700 NORTH SUNRISE WAY, ZONE R-1-C (CASE 3.3849 MAJ) (GM)

FROM: DEPARTMENT OF PLANNING SERVICES

---

### SUMMARY

The Planning Commission to review a request to construct a 2,913-square foot house along North Sunrise Way, a major thoroughfare.

### RECOMMENDATION:

Approve as submitted with a change to Condition of Approval - ENG 7 requiring the installation of a five-(5') wide sidewalk along the lot frontage.

### ISSUES:

- North Sunrise Way is considered a major thoroughfare requiring architectural review.
- Staff recommends Condition of Approval ENG 7 not be deferred and sidewalk be constructed the entire length of the property adjacent to current curb.
- AAC reviewed the project and expressed concern with the following items:
  - Italian Cypress used with desert landscaping;
  - Lack of proportion/scale of frontage landscaping;
  - Grouping/clustering of plant material – should be “sweeping” – breakup groupings;
  - Design of wall and how it matches the character of the house.

### BACKGROUND:

<i>Related Relevant City Actions by Planning, Fire, Building, etc...</i>	
	None

<i>Most Recent Ownership</i>	
11/27/2002	Frank M. Homes Inc.

<b>Neighborhood Notification</b>	
	Not Required

<b>Field Check</b>	
March 2015	Staff visited site to observe existing conditions

<b>Notification</b>	
	Not Required

<b>Details of Application Request</b>	
<b>Site Area</b>	
Net Area	22,080-square feet



Subject Site: 2700 North Sunrise Way

**ANALYSIS:**

<b><i>Surrounding Property</i></b>	<b><i>Existing General Plan Designations</i></b>	<b><i>Existing Land Use</i></b>	<b><i>Existing Zoning Designations</i></b>
Subject Property	VLDR (Very Low Density Residential), 4 Units per acre	Single-Family Residential - Vacant	R-1-C Single-Family Residential
North	VLDR (Very Low Density Residential), 4 Units per acre	Single-Family Residential	R-1-C Single-Family Residential
South	VLDR (Very Low Density Residential), 4 Units per acre	Single-Family Residential - Vacant	R-1-C Single-Family Residential
East	VLDR (Very Low Density Residential), 4 Units per acre	Single-Family Residential	R-1-C Single-Family Residential
West	LDR (Low Density Residential)	Single-Family Residential – Enclave Development	R-1-C Single-Family Residential

**DEVELOPMENT STANDARDS:**

	<b>R-1-C</b>	<b>Proposed Project</b>
Lot Area	10,000 – sq. ft.	22,080–sq. ft. (conforms)
Lot Width	100 feet	138 feet (conforms)
Lot Depth	140 feet – Major Thoroughfare	160 feet (conforms)
Front Yard	50 feet	61 feet (conforms)
Side Yard	10 feet	14 feet (conforms)
Rear Yard	15 feet	27 feet (conforms)
Building Height (max.)	12 feet at setback line to max 18 at a 4:12 slope	15.10' feet from established pad height (conforms)
Bldg. Coverage	35% lot coverage	16.19% (conforms)
House / Garage	1,500 – sq ft	2,913 - sq. ft. (conforms)
Off-street parking	2 covered spaces	2 covered provided (conforms)
Landscaping	No specific requirements	Landscape plan provided (conforms)

**PROJECT DESCRIPTION:**

The applicant is seeking approval to construct a 4-bedroom 2,913-square foot house and garage on a vacant lot on a major thoroughfare. The proposed large lot is 22,080-square feet in size located on the east side of North Sunrise Way between East Racquet Club Drive and East Francis Drive. The lot is flat with a block wall to the north

and wooden fence on the east property line. The contemporary designed U-shaped house will have a front yard setback of 61 feet; a side yard setback of 14 feet; and a rear yard setback of 27 feet. The proposed house will be comprised of four bedrooms and pool in the front yard. Building materials to include a stucco finish "Dove Gray" color; vinyl windows gray frame color; stone veneer on the west facing bedrooms; and hanger rod canopy over doors and windows facing west. The main portion of the house will have an elevated shed roof with clerestory windows at a maximum height of 15.8' tall; and two smaller shed roofs over the bedrooms.

The landscape plan for the area visible from the street to include 2 olive and 2 lemon trees, deer grass, Texas Ranger, agave, ocotillo, and lantana clustered within ¾ inch rock beds surrounded by decomposed granite. The area surrounding the house within the perimeter walls will include similar plantings with citrus trees and small turf areas in the front yard. The proposed planting plan conforms to the Planning Department's landscape technical assistance guidelines with appropriate plant material based upon the Coachella Valley Water Districts publication "Lush and Efficient".

The front wall visible from the street will be constructed of 6" split face integrated tan color blocks at a height of 6' feet tall. Seven (7) columns along the front wall consisting of El Dorado stack stone in a dark brown color have been added per AAC recommendation. The wall will be setback seventeen (17') feet from the front property line. Section 93.02.00(E)(2)(a) of the Palm Springs Zoning Code (PSZC) permits walls or fences along a major thoroughfare at six feet in height no closer than 5' feet from the property line. The proposed wall meets the standards of the PSZC. A detail of the wall is shown on the landscape plan and a picture of the proposed block attached as an exhibit. The interior landscaping will consist of small lawn areas, eight lemon trees, and other desert landscaping.

Staff is recommending that Engineering Condition of Approval ENG 7 not be deferred and a new five (5) foot wide sidewalk be constructed adjacent to existing curb along the lot frontage. Dedication of ten (10) feet is required for the ultimate right-of-way width of North Sunrise Way; however there are no immediate plans to widen the street. The east side of the 2700 block of North Sunrise Way consists of 9 lots with 5 lots developed and 4 vacant. Only one developed lot currently has a partial sidewalk. A meandering sidewalk is present along the west side of the street along the frontage of The Enclave. Staff believes that the installation of the sidewalk on the east side of North Sunrise Way will provide greater pedestrian connections within the neighborhood. The applicant has been made aware of this request and will comply with the direction of the Planning Commission.

### Architectural Advisory Committee

The Architectural Advisory Committee (AAC) reviewed the project and voted 5-1-1 to recommend approval to the Planning Commission for the overall design of the house and areas within the lot walls. Revisions to the front wall and landscaped areas to be revised based upon comments of the AAC as listed below:

- Italian Cypress used with desert landscaping;
- Lack of proportion/scale of frontage landscaping;
- Grouping/clustering of plant material – should be “sweeping” – breakup groupings;
- Design of wall and how it matches the character of the house.

The applicant has revised the plan to include the elimination of Italian Cypress trees replaced with two (2) Olive trees and two (2) lemon trees; the grouping and proportions of the plants in the area between the wall and curb has been revised to provide increased scale and massing of plants in beds with gravel and rubble; the front wall has been redesigned to include seven (7), six foot tall stacked stone columns with cap to break-up the long wall and tie-in elements of the new house. Staff believes that the revised wall and landscape plan meets the direction provided by AAC.

### ARCHITECTURAL APPROVAL

Although there are no required findings for applications for architectural approval which do not require environmental assessments, the Zoning Ordinance Section 94.04.00(D)(1-9) provides guidelines for the architectural review of development projects to determine that the proposed development will provide a desirable environment for its occupants as well as being compatible with the character of adjacent and surrounding developments, and whether aesthetically it is of good composition, materials, textures and colors. Conformance is evaluated based on consideration of the following:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The construction of a 2,913-square foot house with two-car garage will develop a vacant parcel with street frontage along a major thoroughfare. The proposed structure is a custom home with building materials to include sand finish stucco painted Dove Grey color; vinyl windows with grey colored frames; stove veneer accents on the west facing ends of the house; doors to be a dark brown and appropriately sized window canopies. The site plan includes street dedication of ten (10) feet for the ultimate right-of-way width of North Sunrise Way. A five (5) foot wide sidewalk adjacent to the existing curb the length of the property will provide greater neighborhood pedestrian connections.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The surrounding neighborhood consists of similar large 20,000-square foot flat lots adjacent to the major thoroughfare. The proposed house will be of similar design as the adjacent home to the north. The homes to the east are part of an established neighborhood to be separated by a block wall and does not relate to the development of the Sunrise Way frontage homes. The setbacks for the new house conform to the requirements of the R-1-C zone. The development of the vacant parcel with a simple modern designed house is similar to others in the immediate neighborhood and is harmonious with the surrounding area.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The height of the proposed project begins at 12' feet to a maximum height of 15'.8" feet. The placement of the house in the middle of the large lot allows for heights proposed and is compatible with other houses found in the immediate area. The east side of the 2700 block of North Sunrise Way contains multiple homes of similar style and height. All setback requirements are consistent with the Zoning Code.

4. *Building design, materials and colors to be sympathetic with desert surroundings;*

AND

5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously,*

AND

6. *Consistency of composition and treatment,*

The contemporary designed U-shaped house will have a front yard setback of 61 feet; a side yard setback of 14 feet; and a rear yard setback of 27 feet. The proposed house will be comprised of four bedrooms with pool in the front yard. Building materials to include a stucco finish "Dove Gray" color; vinyl windows grey color framed; stone veneer on the west facing bedrooms; and hanger rod canopy over doors and windows facing west. The main portion of the house will have an elevated shed roof with clerestory windows at a maximum height of 15.8' tall; and two smaller shed roofs over the bedrooms.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The landscape plan for the area visible from the street to include 2 olive and 2 lemon trees, deer grass, Texas Ranger, agave, ocotillo, and lantana clustered within ¾ inch rock beds surrounded by decomposed granite (Palm Springs Gold). The area surrounding the house within the perimeter walls will include similar plantings with citrus trees and small turf areas in the front yard. All plantings to be water efficient and drought tolerant.

ENVIRONMENTAL DETERMINATION:

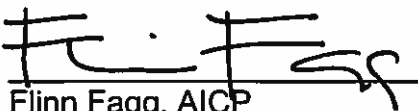
Pursuant to the California Environmental Quality Act (CEQA) Guidelines, the project is a Class III exemption and is categorically exempt per Section 15303(a) (New Single-Family Residence).

CONCLUSION:

The request for the construction of a new 2,913-square foot house is consistent and compatible with the guidelines set forth in the Zoning Ordinance. Staff recommends approval of the project with the revision to Conditions of Approval, Engineering condition ENG 7 requiring the installation of a five (5) wide sidewalk along the lot frontage.



Glenn Mlaker, AICP  
Assistant Planner



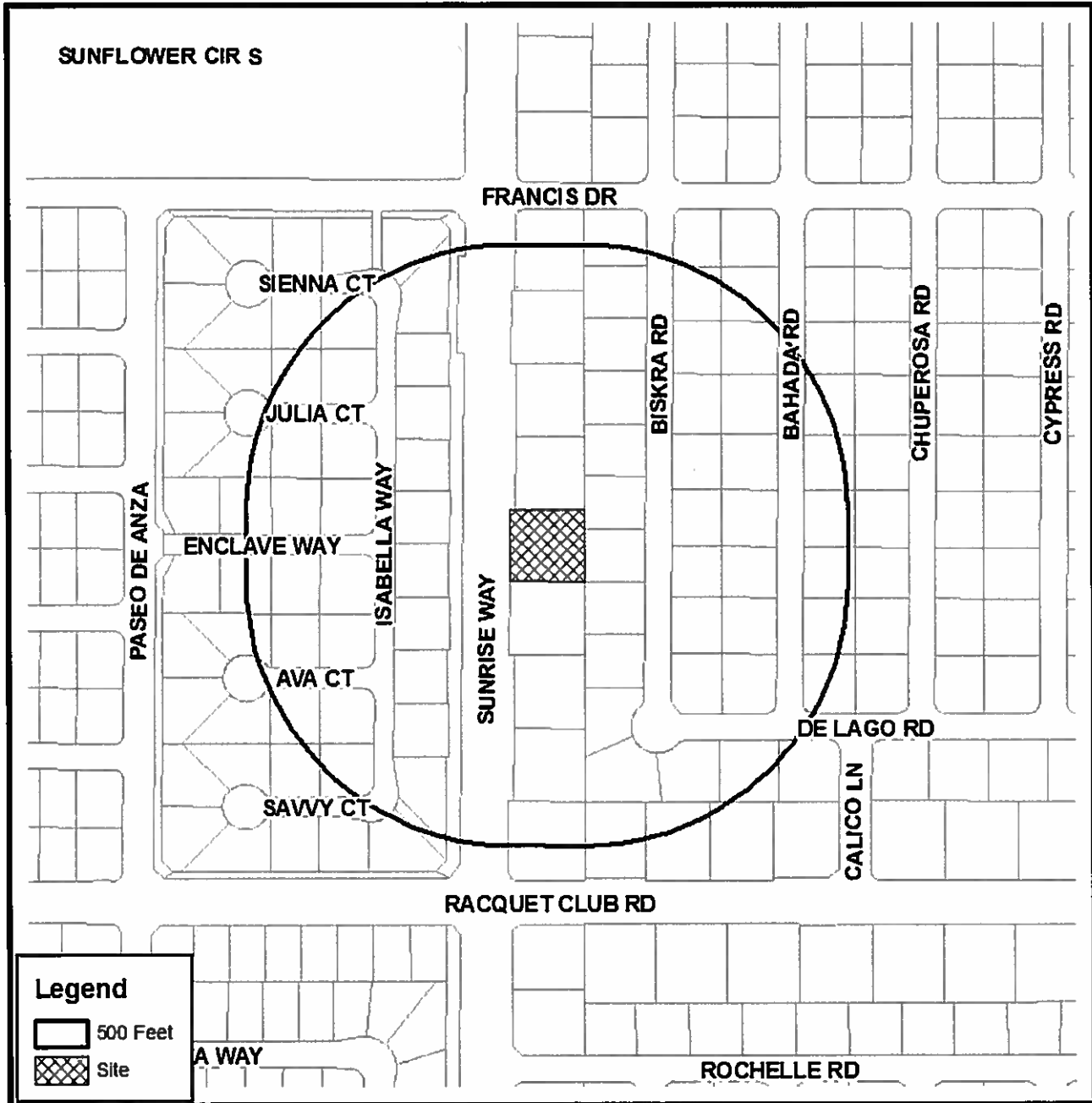
Flinn Fagg, AICP  
Director of Planning Services

Attachments:

1. Vicinity Map
2. Resolution/Conditions of Approval
3. Meeting minutes of 04/06/15 AAC.
4. Site Photographs
5. Material Board
6. Site Plan/Landscape Plan
7. Building Elevations
8. 3-D Perspectives



# Department of Planning Services Vicinity Map



**Legend**

- 500 Feet
- Site

## CITY OF PALM SPRINGS



## RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING CASE NO. 3.3849 MAJ FOR A MAJOR ARCHITECTURAL APPROVAL FOR A 2,913-SQUARE FOOT HOUSE ALONG A MAJOR THOROUGHFARE AT 2700 NORTH SUNRISE WAY, ZONE R-1-C, SECTION 1.

A. Frank M Homes Inc., ("Applicant") has filed an application with the City pursuant to Section 94.04.00(E)(1)(a), of the Zoning Ordinance for the construction of a 2,913-square foot house on a major thoroughfare located at 2700 North Sunrise Way, Zone R-1-C, Section 1.

B. On April 6, 2015, the Architectural Advisory Committee met and voted 5-1-1 to recommend approval to the Planning Commission for the overall design of the house and areas within the lot walls; and the front wall and landscaped areas to be revised based upon comments of the AAC as listed below:

- o Italian Cypress used with desert landscaping;
- o Lack of proportion/scale of frontage landscaping;
- o Grouping/clustering of plant material – should be "sweeping" – breakup groupings;
- o Design of wall and how it matches the character of the house.

C. On October 7, 2015 the applicant submitted revised plans addressing all comments as recommended by the AAC.

D. On October 14, 2015, a public meeting on the application for architectural approval was held by the Planning Commission in accordance with applicable law.

E. The Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including, but not limited to, the staff report, and all written and oral testimony presented.

F. Pursuant to the California Environmental Quality Act (CEQA Guidelines, the proposed project is Categorical Exempt under Section 15303(a) (New Single-family residence).

G. Pursuant to Section 94.04.00 of the Palm Springs Zoning Code, the Planning Commission finds:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The construction of a 2,913-square foot house with two-car garage will develop a vacant parcel with street frontage along a major thoroughfare. The proposed structure is a custom home with building materials to include sand finish stucco painted Dove Grey color; vinyl windows with grey colored frames; stove veneer accents on the west facing ends of the house; doors to be a dark brown and appropriately sized window canopies. The site plan includes street dedication of ten (10) feet for the ultimate right-of-way width of North Sunrise Way. A five (5) foot wide sidewalk adjacent to the existing curb the length of the property will provide greater neighborhood pedestrian connections.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The surrounding neighborhood consists of similar large 20,000-square foot flat lots adjacent to the major thoroughfare. The proposed house will be of similar design as the adjacent home to the north. The homes to the east are part of an established neighborhood to be separated by a block wall and does not relate to the development of the Sunrise Way frontage homes. The setbacks for the new house conform to the requirements of the R-1-C zone. The development of the vacant parcel with a simple modern designed house is similar to others in the immediate neighborhood and is harmonious with the surrounding area.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The height of the proposed project begins at 12' feet to a maximum height of 15'.8" feet. The placement of the house in the middle of the large lot allows for heights proposed and is compatible with other houses found in the immediate area. The east side of the 2700 block of North Sunrise Way contains multiple homes of similar style and height. All setback requirements are consistent with the Zoning Code.

4. *Building design, materials and colors to be sympathetic with desert surroundings;*  
AND
5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously,*  
AND
6. *Consistency of composition and treatment,*

The contemporary designed U-shaped house will have a front yard setback of 61 feet; a side yard setback of 14 feet; and a rear yard setback of 27 feet. The proposed house will be comprised of four bedrooms with pool in the front yard. Building materials to include a stucco finish "Dove Gray" color; vinyl windows grey color framed; stone veneer on the west facing bedrooms; and hanger rod canopy over doors and windows facing west. The main portion of the house will have an elevated shed roof with clerestory windows at a maximum height of 15.8' tall; and two smaller shed roofs over the bedrooms.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The landscape plan for the area visible from the street to include 2 olive and 2 lemon trees, deer grass, Texas Ranger, agave, ocotillo, and lantana clustered within ¾ inch rock beds surrounded by decomposed granite (Palm Springs Gold). The area surrounding the house within the perimeter walls will include similar plantings with citrus trees and small turf areas in the front yard. All plantings to be water efficient and drought tolerant. The proposed planting plan conforms to the Planning Departments landscape technical assistance guidelines with appropriate plant material based upon the Coachella Valley Water Districts publication "Lush and Efficient".

**THE PLANNING COMMISSION RESOLVES:**

Based upon the forgoing, the Planning Commission hereby approves Case No. 3.3849 MAJ, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 14<sup>th</sup> day of October, 2015.

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

---

Flinn Fagg, AICP  
Director of Planning Services

RESOLUTION NO.

**EXHIBIT A**

Case 3.3849 MAJ

Frank M. Homes Inc.

2700 N. Sunrise Way

October 14, 2015

**CONDITIONS OF APPROVAL**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

**ADMINISTRATIVE CONDITIONS**

- ADM 1. Project Description. This approval is for the project described per Case 3.3849 MAJ, except as modified by the conditions below.
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans on file in the Planning Division dated October 7, 2015, except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.3849 MAJ. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City

of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of this Major Architectural shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted pursuant to Section 94.04.01(H).
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.
- ADM 9. Cause No Disturbance. The owner shall monitor outdoor parking areas, walkways, and adjoining properties and shall take all necessary measures to ensure that customers do not loiter, create noise, litter, or cause any disturbances while on-site. The owner and operator shall ensure that at closing time, all customers leave the property promptly and that the property is clean and secure before the owner/operator leaves the premises. The Police Chief, based upon complaints and/or other cause, may require on-site security officers to ensure compliance with all City, State, and Federal laws and conditions of approval. Failure to comply with these conditions may result in revocation of this permit, temporary business closure or criminal prosecution.
- ADM 10. Grounds for Revocation. Non-compliance with any of the conditions of this approval or with City codes and ordinances, State laws; any valid citizen

complaints or policing and safety problems (not limited to excessive alcohol consumption, noise, disturbances, signs, etc) regarding the operation of the establishment; as determined by the Chief of Police or the Director of Building and Safety, may result in proceedings to revoke the Conditional Use Permit. In addition, violations of the City Codes and Ordinances will result in enforcement actions which may include citations, arrest, temporary business closure, or revocation of this permit in accordance with law.

## **PLANNING DEPARTMENT CONDITIONS**

- PLN 1. Roof color to be no lighter than off-white in color
- PLN 2. Approval is to be pursuant to plans date stamped October 7, 2015.
- PLN 3. A new five (5) foot wide side walk be installed adjacent to existing curb along the entire lot frontage.
- PLN 4. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 5. Notice to future buyers on views. All prospective buyers of 2700 N. Sunrise Way shall be put on notice that there are no written or implied rights to the preservation of scenic views from any lot.
- PLN 6. Smart Controller for landscape irrigation. The applicant is to use "smart controllers" available from the Desert Water Agency for water efficiency in the irrigation system.

## **FIRE DEPARTMENT CONDITIONS**

### **GENERAL CONDITIONS**

These Fire Department conditions may not provide all requirements. Detailed plans are still required for review.

FID 1 These conditions are subject to final plan check and review. Initial fire department conditions have been determined on the site plan dated October 7, 2015. Additional requirements may be required at that time based on revisions to site plans.

FID 2 Fire Department Conditions were based on the *2013 California Fire Code* as adopted by City of Palm Springs, Palm Springs Municipal Code and latest adopted NFPA Standards. Four (4) complete sets of plans for private fire service mains, fire alarm, or fire sprinkler systems must be submitted at time of the building plan submittal.

FID 3 Complete plans for private fire service mains or fire sprinkler systems should be submitted for approval well in advance of installation. Plan reviews can take up to 20 working days. Submit a minimum of four (4) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

**City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262**

**Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday**

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. Inspection fees are charged at the fully burdened hourly rate of the fire inspector. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall indicate all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supportive data (calculations and manufacturer's technical data sheets) shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 4 **Buildings and Facilities (CFC 503.1.1):** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire

apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

**Fire Personnel Access Requirements:** Provide fire personnel 4 ft. access gates and minimum 4 ft. clearance around entire house.

**FID 5 NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2010 Edition, as modified by local ordinance.

**FID 6 Residential Smoke and Carbon Monoxide Alarms Installation with Fire Sprinklers - R-3 & Household Fire Alarm System (CFC 907.2.11.2, CRC R314 & R315 and California Health & Safety Code 17926):** Provide and Install Residential Smoke and Carbon Monoxide Alarms. Alarms shall receive their primary power from the building wiring, and shall be equipped with a battery backup. In new construction, alterations, repairs and additions, smoke and carbon monoxide alarms shall be interconnected. The operation of any smoke alarm or the fire sprinkler flow switch will cause all smoke alarms within the dwelling to sound and activate the exterior horn/strobe. The operation of any carbon monoxide alarm will cause all carbon monoxide alarms within the dwelling to sound.

**FID 7 Key Box Required to be Installed (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be flush mount type and shall contain keys to gain necessary access as required by the fire code official.

Secured emergency access gates serving apartment, town home or condominium complex courtyards must provide a key box in addition to association or facility locks. The nominal height of Knox lock box installations shall be 5 feet above grade. Location and installation of Knox key boxes must be approved by the fire code official.

**Key Box Contents (CFC 506.1):** The Knox key box shall contain keys to all areas of ingress/egress, alarm rooms, fire sprinkler riser/equipment rooms, mechanical rooms, elevator rooms, elevator controls, plus a card containing the emergency contact people and phone numbers for the building/complex.



- FID 8 Audible Residential Water Flow Alarms - NFPA 13D Fire Sprinklers & Household Fire Alarm System (CFC 903.4.2):** An approved audible sprinkler flow alarm (Wheelock horn/strobe with WBB back box or equal) shall be provided on the exterior of the building in an approved location. It shall be powered by the household fire alarm system. The horn/strobe shall be outdoor rated.

## **ENGINEERING CONDITIONS**

The Engineering Division recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

### **STREETS**

- ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit.
- ENG 2. The Engineering Division recommends deferral of off-site improvement items (identified as "**Deferred**") at this time due to lack of full improvements in the immediate area. The owner shall execute a street improvement covenant agreeing to construct all required street improvements upon the request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner(s) prior to approval of the Grading Plan or issuance of grading or building permits. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.
- ENG 3. Submit street improvement plans prepared by a registered California civil engineer to the Engineering Division. The plan(s) shall be approved by the City Engineer prior to issuance of any building permits. "**Deferred**"

### **SUNRISE WAY**

- ENG 4. Dedicate an additional 10 feet to provide the ultimate half street right-of-way width of 50 feet along the entire frontage.
- ENG 5. Remove the existing 6 inch curb located 32 feet east of centerline and replace with an 8 inch curb and gutter located 38 feet east of centerline along the entire

frontage in accordance with City of Palm Springs Standard Drawing No. 200.  
**"Deferred"**

- ENG 6. Construct a driveway approach (future) in accordance with City of Palm Springs Standard Drawing No. 201. An on-site vehicular turnaround (hammerhead or similar configuration) shall be constructed, in accordance with Zoning Code 93.06.00 C (8). **"Deferred"**
- ENG 7. Construct a 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210. **"Deferred"**
- ENG 8. Construct a driveway approach in accordance with City of Palm Springs Standard Drawing No. 201. An on-site vehicular turnaround (hammerhead or similar configuration) shall be constructed, in accordance with Zoning Code 93.06.00 C (8).
- ENG 9. Construct pavement with a minimum pavement section of 5 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, from edge of proposed gutter to clean sawcut edge of pavement along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 110. (Additional pavement removal and replacement may be required upon review of existing pavement cross-sections, and to ensure grade breaks of the pavement cross-section do not occur within a travel lane.) If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval. **"Deferred"**
- ENG 10. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

#### SANITARY SEWER

- ENG 11. All sanitary facilities shall be connected to the public sewer system. New laterals shall not be connected at manholes.

#### GRADING

- ENG 12. Submit cut and fill quantities to City Engineer to determine if an Engineered Grading Plan is required. If required, the Grading Plan shall be prepared by a California registered Civil Engineer or qualified Architect and submitted to the Engineering Division for review and approval. If required, the Grading Plan shall be submitted to the Engineering Division for review and approval by the City Engineer prior to issuance of grading permit. If the earthwork quantity is less than 50 cubic yards, a formal grading plan is not required. To qualify for the exemption, a signed original written statement of design earthwork quantities from the owner

(or design professional, prepared on company letterhead) shall be provided to the Engineering Division. Exemption of a formal Grading Plan reviewed and approved by the City Engineer does not exempt the applicant from a site grading plan that may be required from the Building Department, or any other requirement that may be necessary to satisfy the California Building Code.

a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Division for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Division with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Division prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report.

ENG 13. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist. The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at [ACBCI-THPO@aguacaliente.net](mailto:ACBCI-THPO@aguacaliente.net) to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.

ENG 14. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.

- ENG 15. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 16. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 17. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.
- ENG 18. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of two thousand dollars (\$2,000.00) per disturbed acre at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 19. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Division with the first submittal of a grading plan.
- ENG 20. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. No certificate of occupancy will be issued until the required certification is provided to the City Engineer.
- ENG 21. The applicant shall provide pad elevation certifications for all building pads in conformance with the approved grading plan (if required), to the Engineering Division prior to construction of any building foundation.
- ENG 22. In cooperation with the Riverside County Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (RIFA Form CA-1) prior to approval of the Grading Plan. The

California Department of Food and Agriculture office is located at 73-710 Fred Waring Drive, Palm Desert (Phone: 760-776-8208).

## DRAINAGE

- ENG 23. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMP's).
- ENG 24. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$6511.00 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

## GENERAL

- ENG 25. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115. The developer shall be responsible for removing, grinding, paving and/or overlaying existing asphalt concrete pavement of off-site streets as required by and at the discretion of the City Engineer, including additional pavement repairs to pavement repairs made by utility companies for utilities installed for the benefit of the proposed development (i.e. Desert Water Agency, Southern California Edison, Southern California Gas Company, Time Warner, Verizon, etc.). Multiple excavations, trenches, and other street cuts within existing asphalt concrete pavement of off-site streets required by the proposed development may require complete grinding and asphalt concrete overlay of the affected off-site streets, at the discretion of the City Engineer. The pavement condition of the existing off-site streets shall be returned to a condition equal to or better than existed prior to construction of the proposed development.
- ENG 26. All proposed utility lines shall be installed underground.
- ENG 27. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 28. The record property owner shall enter into a covenant agreeing to underground all of the existing overhead utilities required by the Municipal Code in the future upon request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner and submitted to the City Engineer prior to issuance of a grading permit. A current title report or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect

at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.

- ENG 29. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 30. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Division prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 31. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 32. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.

#### TRAFFIC

- ENG 33. A minimum of 48 inches of clearance for handicap accessibility shall be provided on public sidewalks or pedestrian paths of travel within the development. Minimum clearance on public sidewalks (or pedestrian paths of travel) shall be provided by either an additional dedication of a sidewalk easement (if necessary) and widening of the sidewalk, or by the relocation of any obstructions (such as the proposed mailbox) within the public sidewalk along the Viminal Road frontage of the subject property.
- ENG 34. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and street lights associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.
- ENG 35. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

ENG 36. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

**BUILDING DEPARTMENT CONDITIONS**

BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

**END OF CONDITIONS**

Member Hirschbein said the spa element is awkward. He asked how much roof is exposed versus new volume - the westerly portion needs additional attention and detailing. He said the entry on the west side needs to be more significant architecturally and noted concern with privacy and lighting spillover from the exterior walkways on the north side.

Member Cassady concurs with comments about integration of spa and church. He appreciates the input of residents and how developer has worked with the neighborhood. He said additional parking is needed.

Member Song said more site sections are needed to understand how buildings integrate. She suggested Planning Commission should consider parking plan for the neighborhood.

Chair Fauber encouraged the use of recycling and gray water. He said the city should assist in solving parking concerns.

M/S/C (Secoy-Jensen/Fauber, 6-1 absent Fredricks) Approve with conditions:

- Parking and circulation issues;
- How spa meets with church - additional details are needed;
- Entries need to be better defined; especially architectural detail at Belardo entry;
- Detailed landscape/gray water plan prior to building permit;
- Concern with hedges obscuring historic building;
- Privacy/lighting spillover on north side;
- No equipment on rooftops.

**3. FRANK M. HOMES INC, REQUESTING A MAJOR ARCHITECTURAL APPROVAL FOR A 2,913-SQUARE FOOT HOUSE ALONG A MAJOR THOROUGHFARE AT 2700 NORTH SUNRISE WAY, ZONE R-1-C (CASE 3.3849 MAJ). (GM)**

Assistant Planner Mlaker presented the proposed project.

Member Purnel questioned if this will require DWA approval. He asked if the AAC should review the interior landscape or only the landscape outside of wall.

Member Secoy-Jensen asked if any responses from the neighbors were received.

FRANK MOAYEDI, applicant, provided additional details for the proposed project.

Member Hirschbein asked which wall will align with adjacent properties.



Member Secoy-Jensen asked what materials will be used for the vehicular and pedestrian gate. (Wrought iron and painted black.)

Member Purnel questioned the concept behind the landscape plan and asked about the landscape materials.

Member Song asked about the materials used for fascia, roof form, location of mechanical ducts (verified ducts will not be exposed), size of pilasters at wall openings and use of decorative cap. She expressed concern with the wall design on Sunrise.

Member Cassady said the canopy on the west windows should be deeper for shade.

Member Song said the vehicular and pedestrian gates need more detail. She expressed concern with the landscaping in front of the wall on Sunrise - the wall needs to be consistent.

Member Purnel expressed concern with the following items:

1. Italian Cypress used with the desert landscape;
2. Lack of proportion/scale of frontage landscaping;
3. Grouping/clustering of plant material - should be "sweeping" - break up groupings;
4. Design of wall and how it matches the character of the house.

Member Secoy-Jensen said she would like to see the wall/gates developed and the mechanical equipment on the ground.

Chair Hudson spoke in reference to safety issues and the sidewalk on the east side of Sunrise.

Member Song said she needs more details on the sidewalk.

M/S/C (Fauber/Hirschbein, 5-1-1 Song opposed, Fredricks absent) Approve house only and submit wall and landscaping (and vehicular setback) at a later date.

---

**4. FOUR SEASONS HOMEOWNER'S ASSOCIATION FOR ARCHITECTURAL APPROVAL OF ROUGHLY 37,000-SQUARE FEET OF LANDSCAPE IMPROVEMENTS ALONG SUNRISE WAY AND AT BOTH WESTERLY AND EASTERLY ENTRIES FROM SUNRISE WAY, 3800 FOUR SEASONS BOULEVARD, ZONE PD-267 (CASE 3.2962 MAA). (DN)**

Associate Planner Newell presented the proposed project.

Member Purnel asked if this was reviewed under the new landscape guidelines.

RECEIVED

OCT 07 2015

PLANNING SERVICES  
DEPARTMENT

City of Palm Springs Planning Department

10/7/2015

3200 Tahquitz Canyon Way

Palm Springs, Ca. 92262

Re: 2700 N. Sunrise Way, Palm Springs, 92262

Mr. Glenn Mlaker, Assistant Planner

Dear Mr. Mlaker;

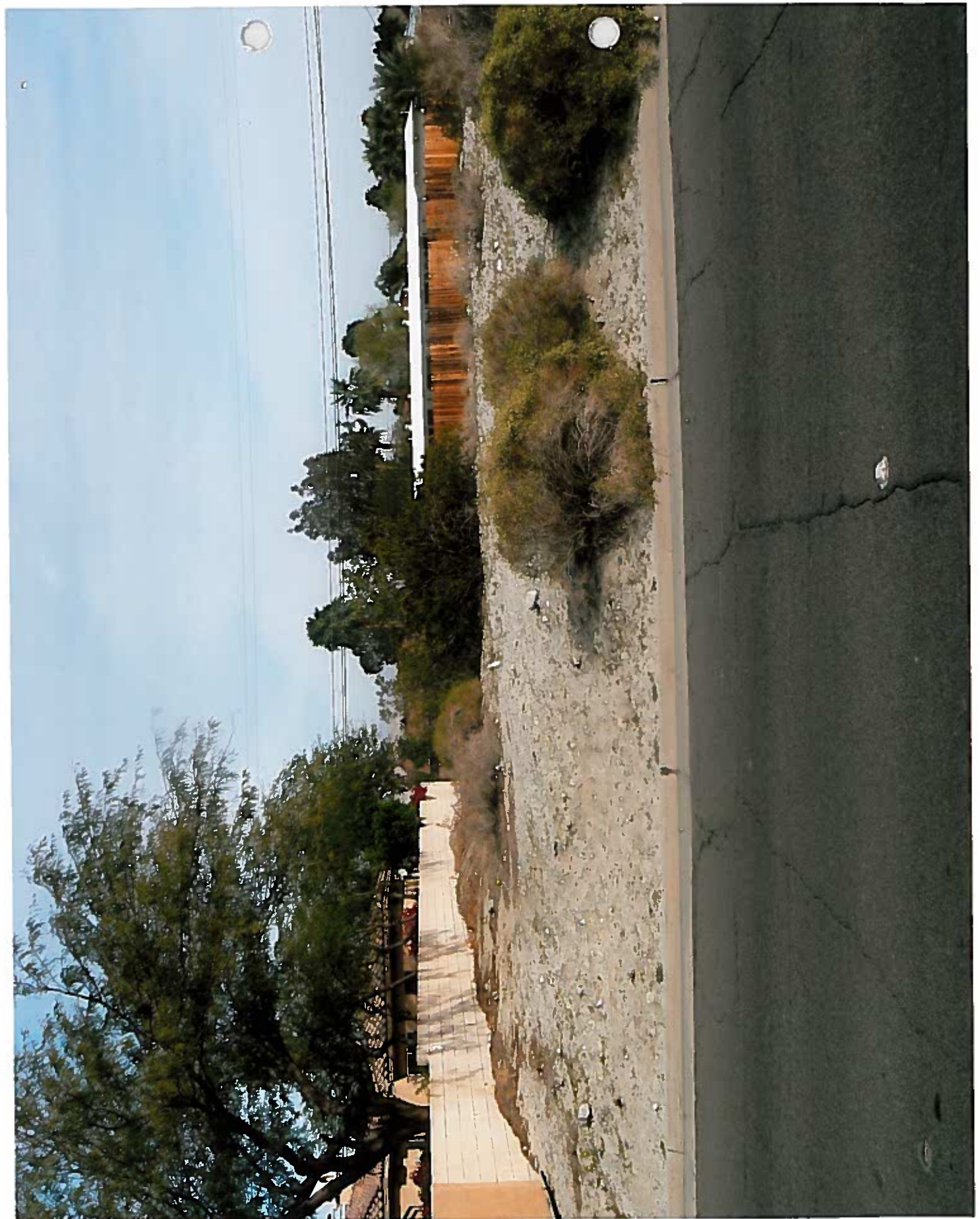
Following our conversation and correspondence, I would like to make the following comments addressing the ACC review board and Engineering Department's concerns regarding the above project:

1. Entry gate has been pushed back to 25' from the curb to provide adequate space.
2. Front block wall has been redesigned to include tan split face blocks, columns wrapped with Eldorado Stack Stone and matching column caps.
3. Cypress Trees have been removed and replaced with Olive Trees.
4. Plant clusters have been changed and enhanced with additional water tolerant plants.
5. Turf area has been reduces by over 60% to only two borders.

I hope the above changes satisfy your concerns. Please let me know if you have any questions.

Regards,

Frank Moayed



31/03/2015



3.3849

RECEIVED

MAR 17 2015

PLANNING SERVICES  
DEPARTMENT





**CONSTRUCTION LEGEND:**

- 1 4" Concrete slab around the pool.
- 2 6' High Garden Wall ,integrated tan 6" blocks, split face for the front.
- 3 4" Concrete Patio.
- 4 20' x 40' Pool / Spa.
- 5 Decomposed Granite (DG)
- 6 Planter Areas.
- 7 Lawn area.
- 8 3/4" Decorative Rocks.
- 9 Driveway Approach.
- 10 Existing Curb.
- 11 Existing garden Wall.
- 12 48" WI Gate with self closing Hinges.
- 13 15' WI Automatic Entry Gate.
- 14 Concrete Driveway
- 15 Concrete Walk Way.
- 16 Drain Ditch with rocks
- 17 El Dorado Stack Stone (Santa Fe )

**BUILDING DATA:**

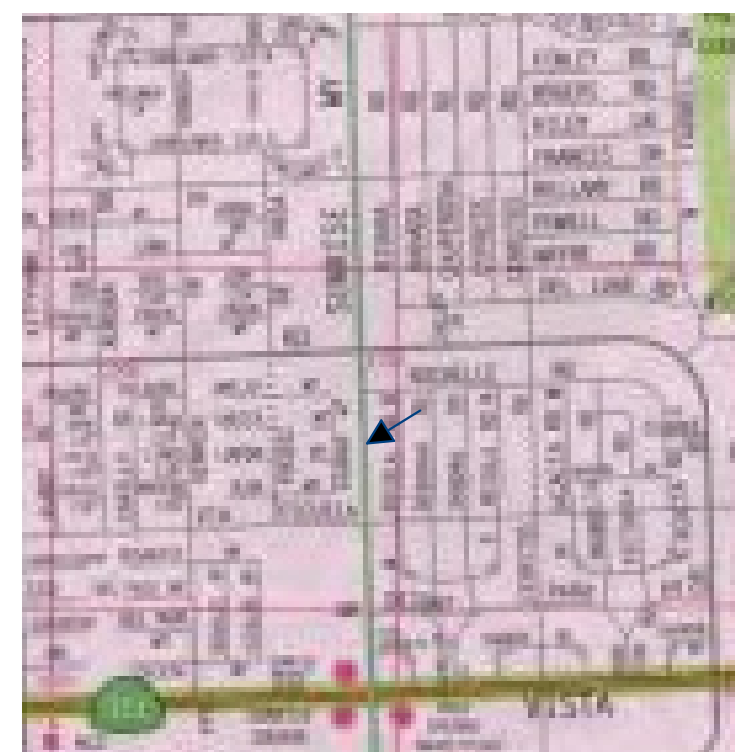
Property Address: 2700 N. Sunrise Way  
 Palm springs, Ca. 92262  
 Legal Description: Lot 5, APN# 501-222-023  
 Lot Size: 22,080 Square Feet  
 Livable Space: 2835 Square Feet  
 Garage Size: 740 Square Feet  
 Building Foot Print: 3,575 Square Feet  
 Building Coverage: 16.19%

**Note:**

Compliance with the documentation requirements of the 2013 Energy Efficiency Standards is necessary for this project. Registered, signed and dated copies of the appropriate CF1R, CF2R and CF3R forms shall be made available at necessary intervals for Building Inspector. Final completed form will be available for the building inspector.

NORTH

**Vicinity Map**



Page	Description
A1	Site & Landscape Plan
A2	Floor & Electrical Plan
A3	Building Sections
A4	Elevation Plan
A5	Roof Plan
A6	Mechanical Plan
A7	Grading Plan
A8	Perspective Views
A9	Resid. Green Bldg. Std.'s
A10	Low Rise RMMS
S1	Foundation Plan
S2	Framing Plan
SD1	General Notes
SD2	General Details
SD3	General Details
SD4	Details

**Note:**

This project complies with the 2013 California Residential Code, which adopts the 2012 IRC, 2012 UMC, 2012 UPC, and 2011 NEC Section R106.1  
Building, Walls, and site improvements are included under this application.  
 ( Pool will be on a separate permit )

**IRRIGATION NOTES:**

- Trees and shrubs shall be on separate valves and will feed the plants with drip irrigation system.
- Lawn area shall be on a separate valve with spray heads. No head shall have any over spray outside the lawn area.
- Irrigation system controllers shall comply with the CGC Section 4.304.2 as follows:
  - Controller shall be weather or soil moisture based that automatically adjust irrigation in response to changes in needs as weather conditions change.
  - Weather based controllers shall have separate wired or wireless rain sensor which connects or communicates with the controllers.
  - Soil moisture based controllers are not required to have rain sensors.
- A water budget shall be developed to conform to local landscape ordinance or the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWEL0), whichever is more stringent.

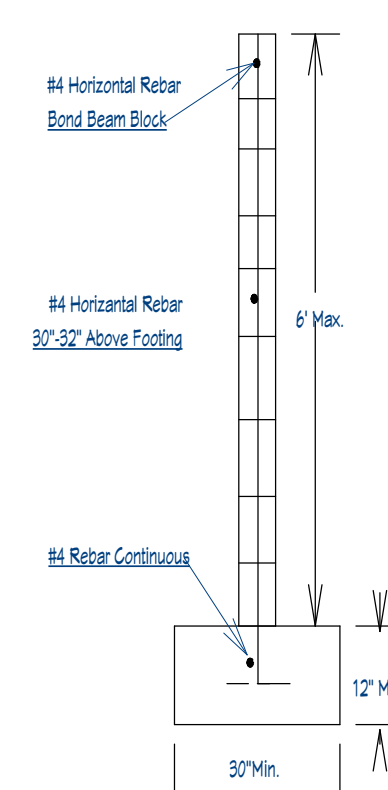
**PLANT LEGEND**

Plant ID Symbol	Plant Name	Quantity	Size (Gallon)	Square Footage of Planted Area	Water Use Estimate
	Olive Tree	4	15	6	Med., 0.7
	Occatillo	4	15	6	Mod, 0.5
	New Gold Lantana	71	5	5	Mod, 0.5
	Texas Ranger	32	5	2	mod, 0.5
	Agave Americana	7	5	4	Mod, 0.5
	Deer Grass	62	5	2	Low, 0.5
	Lemon Tree	6	15	5	med., 0.7

**EXTERIOR LIGHT LEGEND:**

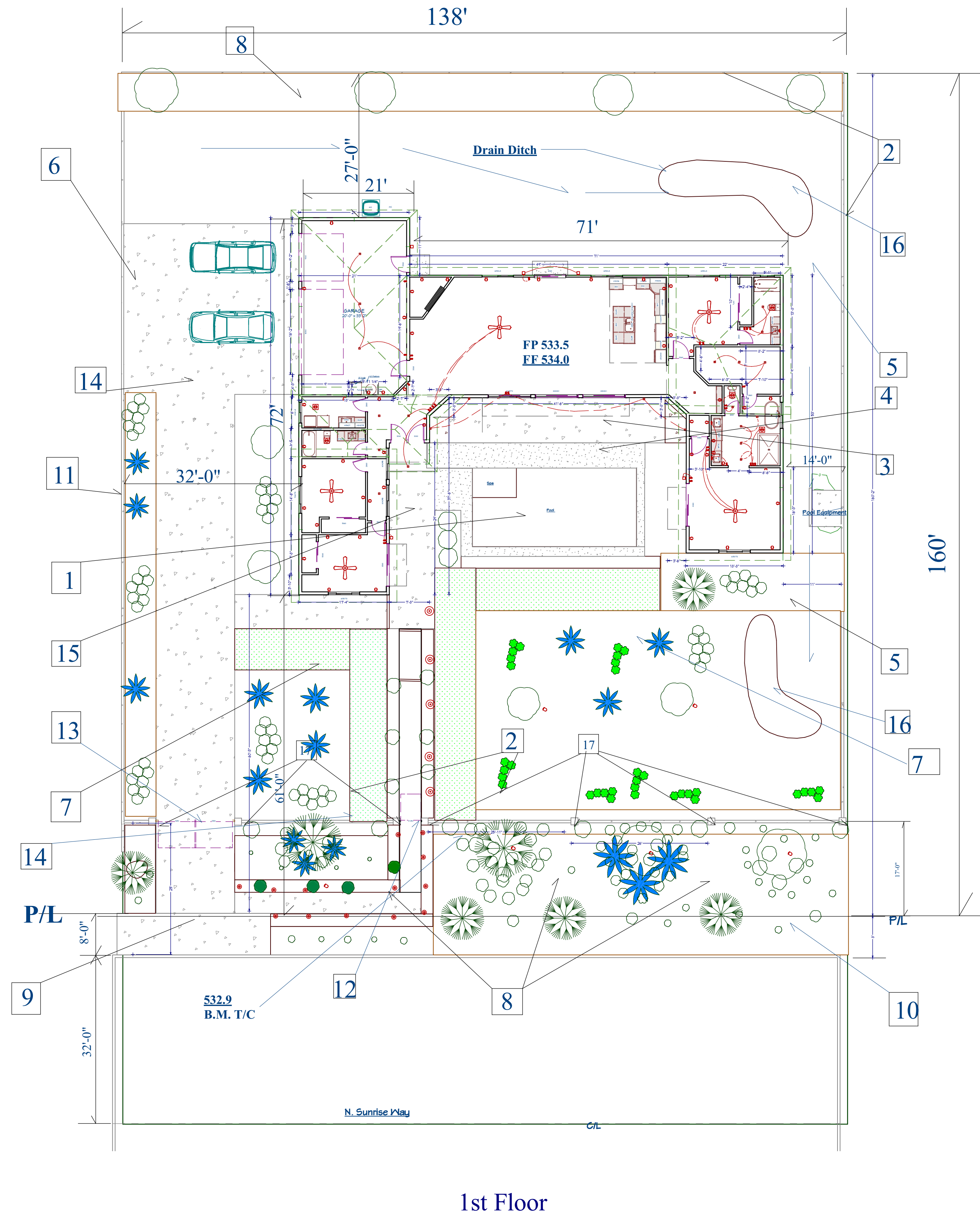
- Path Light
- Spot Light

**1st Floor**



- Materials: conc. 2000 psi, Mortar 1800 psi, Grout 2000psi, Blocks C-90N.
- Max Grade differential opposite sides: 6"
- Min. Lap rebar: 24", maintain 3" clearance from soil.
- Center reinforcing steel in the center of blocks.
- Blocks to be 6x8x16 tan with Min. #4 rebar @ 24" OC.
- Only cells with reinforcing steel are to be grouted.
- Inspection needed prior to footing and grout placement.

Block Wall City Standard Detail



**An automatic residential fire sprinkler sytem shall be installed in one-and two-family dwellings**

**Deferred Note:**

Submittal documents for deferred submittal items shall be submitted to the registered design professional in responsible charge, who shall review and forward them to the building official with a notation indicating that the deferred submittal documents have been reviewed and that they have been found to be in general conformance with the design of the building. The deferred submittal items shall NOT be installed until their design and submittal documents have been approved by the building official.

NUMBER	DATE	REVISION BY	DESCRIPTION

**Site and landscaping Plan**

Owner: Frank Moayedi  
 2700 North Sunrise Way, Palm Springs, Ca. 92262  
 Project: Single Family Residence  
 Occupancy: R-3  
 Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:  
 Frank Moayedi  
 P.O. Box 2747, Mission Viejo, Ca. 92690  
 (760) 774-6816

DATE:

10/7/2015

SCALE:

1/4"=1'-0"

SHEET:

**A-1**

## Electrical Load Calculations:

General lighting @ 3w/sq ft (3 x 2826)	8478	
Appliance Circuits (3 x 155)	4500	
1 Garbage Disposal		1500
1 Dishwasher Circuit		1500
4 Exhaust Fan circuits		1000
1 Garage door Opener		600
<b>Total</b>	<b>17,578</b>	
First 10KVA@100%	10,000	
17200 @40%	6,880	
1 ea. 5 Ton Air Conditioner	7,200	
Future	10,000	
<b>Total</b>	<b>34,458 Watts</b>	

34458 Watts divided by 240 volts = 143.5Amps

## Electrical Panel-- 200 Amp Service / Bus Rating: 225 AMP

## Electrical Notes:

- All outlets serving kitchen counters shall be GFI.
- Minimum of two appliance circuits, 20 Amps, for kitchen appliances.
- No more than two bathroom receptacles shall be served with one 20 Amp circuit.
- Small appliance branch and the laundry branch circuits shall supply only the receptacle outlets specified in section 220-b and 4c.
- ground wire shall be #4 copper connected to the upher rebar and the gas line.
- General lighting wire size shall be #14 copper. All appliance wire sizes shall be #12 copper. Air Cond. wire size shall be #8 copper.
- Service panel shall not be installed within the required shear wall panel.
- Receptacle outlets locations shall comply with NEC Art.
- All receptacles shall be Tamper resistant and shall comply with NEC Art 210-52C. In kitchen and dining areas of dwelling units a receptacle outlet shall be installed at each counter space wider than 12 inches. Receptacles shall be installed so that no point along the wall line is more than 24 inches measured horizontally from a receptacle outlet in that space. Countertop spaces separated by a range top, refrigerator or sink shall be considered as separate countertop spaces. Island shall receive two receptacles.
- All outlet branch circuits shall be Arc Fault Protected (NEC Art 210-12B )
- Ground Fault Circuit Interrupter (GFI) outlets shall be installed in garage, bathrooms outdoors and within 6' of kitchen sink and shall comply with NEC Art 210-8
- Bathroom circuits shall be either:
  - A 20 amp circuit dedicated to each bathroom or
  - At least one 20 amp. circuit supplying only bathroom receptacle outlets.
- Primary kitchen and bathrooms shall be Fluorescent.
- Receptacles outside and in damp areas shall be weather resistant.
- A 1" Dia. Elect. conduit shall be provided for installation of future solar PV energy system, terminating in the attic to a 2-gang elect. j-box. Three open spaces shall be provided at the bottom of the Buss to accommodate future solar PV.
- All fans installed shall have a noise rating of a maximum of 1 "Stone".

## Lighting Notes:

- All high efficiency lights must be controlled separately from low efficiency lighting.
- All high efficiency light fixtures shall have electronic ballasts.
- All can lights shall be labeled "IC" and "AT". Installation must be air tight with either caulking or sealed gaskets.
- All rooms other than bathrooms may have low efficiency lighting if controlled by a dimmer or a sensor. sensors which must be manual on an automatic or manual/automatic off.
- Flourescent lighting shall have "warm light" color.
- In the kitchen at least one-half of wattage rating shall be high efficiency:

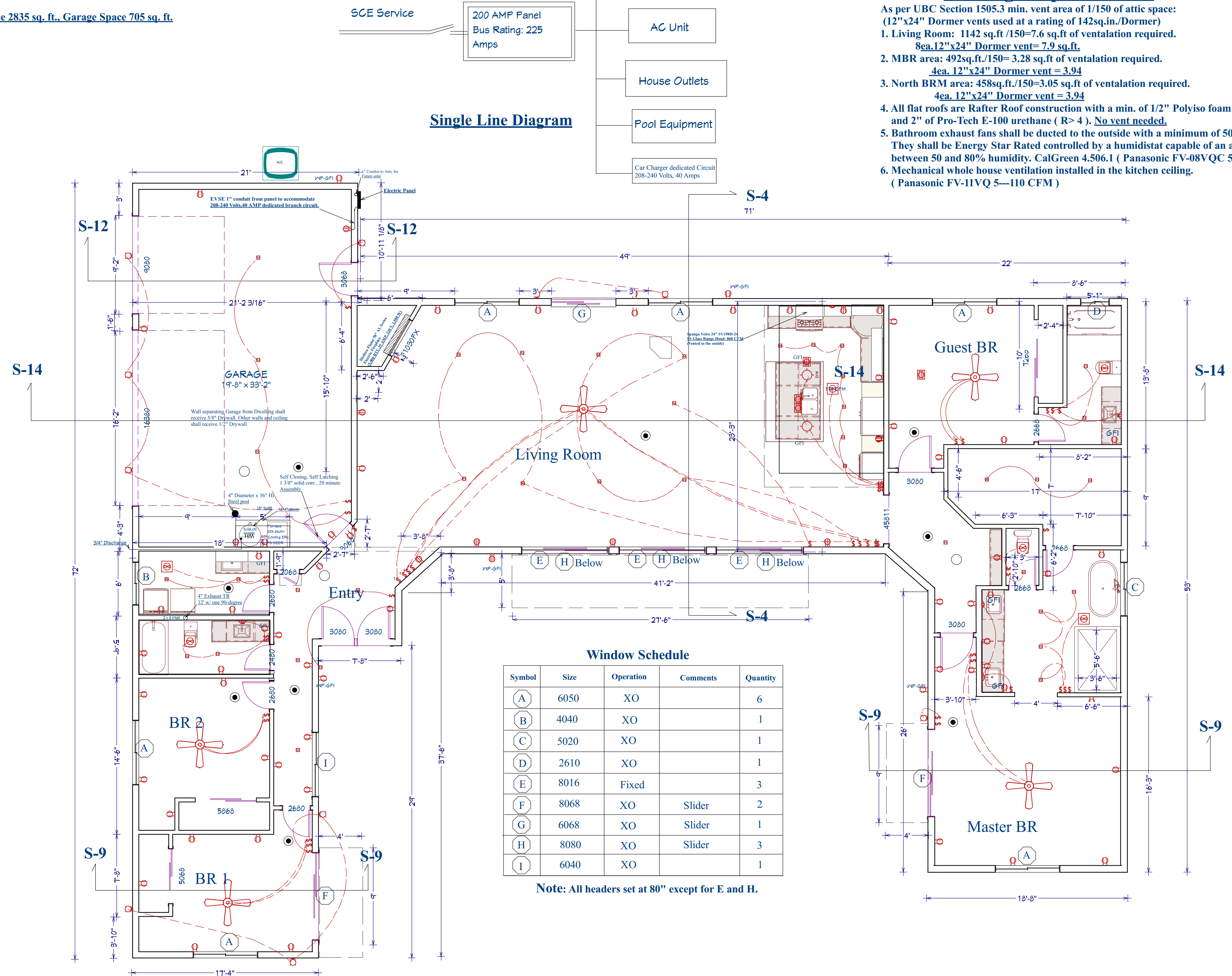
3 ea under cabinet Flourescent lights @ 13 W ea.	39 W
7 ea cieling Flourescent lights @ 13 W ea.	91
2 ea incnescent light over the sink @ 75 W ea.	150
<b>Total</b>	<b>280 Watts</b>

- In bathrooms, at least one fixture shall be high efficiency and all remaining fixtures shall be high efficiency or be controlled by a vacancy sensor.
- Outdoor lighting that are attached to a building are required to be high or be controlled by a combination of photo-control/motion.
- Lightin installed in garages, laundry rooms and utility rooms shall be high efficiency and be controlled by vacancy sensors.

## General Notes:

- House shall be identified with numbers 4" high and internally or externally illuminate with light sensors.
- Front landscaping to be installed prior to issuance of certificate of occupancy.
- Smoke detectors shall be arranged so that the operation of any detector or fire sprinkler alarm causes the alarm in all detectors within the dwelling to sound.
- Smoke detectors shall receive their primary power from the building wiring and shall be equipped with battery back up.

Livable Space 2835 sq. ft., Garage Space 705 sq. ft.



Window Schedule

Symbol	Size	Operation	Comments	Quantity
A	6050	XO		6
B	4040	XO		1
C	5020	XO		1
D	2610	XO		1
E	8016	Fixed		3
F	8068	XO	Slider	2
G	6068	XO	Slider	1
H	8080	XO	Slider	3
I	6040	XO		1

Note: All headers set at 80" except for E and H.

1st Floor

## Note:

This project complies with the 2001 edition of the California Building/ Plumbing/Mechanical Code and the 2004 edition of California Electrical Code, which adopts the 1997 UBC, 2000 UPC and the 2002 NEC.

Building, Walls, Pool and site improvements are included under this application.

## Venting Requirements:

As per UBC Section 1505.3 min. vent area of 1/150 of attic space: (12"x24" Dormer vents used at a rating of 142sq.in./Dormer)

- Living Room: 1142 sq.ft /150=7.6 sq.ft of ventilation required.  
8ea. 12"x24" Dormer vent= 7.9 sq.ft.
- MBR area: 492sq.ft./150= 3.28 sq.ft of ventilation required.  
4ea. 12"x24" Dormer vent = 3.94
- North BRM area: 458sq.ft./150=3.05 sq.ft of ventilation required.  
4ea. 12"x24" Dormer vent = 3.94
- All flat roofs are Rafter Roof construction with a min. of 1/2" Polyiso foam and 2" of Pro-Tech E-100 urethane ( R > 4 ). No vent needed.
- Bathroom exhaust fans shall be ducted to the outside with a minimum of 50 CFM. They shall be Energy Star Rated controlled by a humidistat capable of an adjustment between 50 and 80% humidity. CalGreen 4.506.1 ( Panasonic FV-08VQC 5--80 CFM ).
- Mechanical whole house ventilation installed in the kitchen ceiling. ( Panasonic FV-11VQ 5--110 CFM )

REVISION TABLE	
NUMBER	DATE

## Floor and Electrical Plan

Owner: Frank Moayedi  
2700 North Sunrise Way, Palm Springs, Ca. 92262  
Project: Single Family Residence  
Occupancy: R-3  
Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:  
Frank Moayedi  
P.O. Box 2747, Mission Viejo, Ca. 92690  
(760) 774-6816

DATE:

10/7/2015

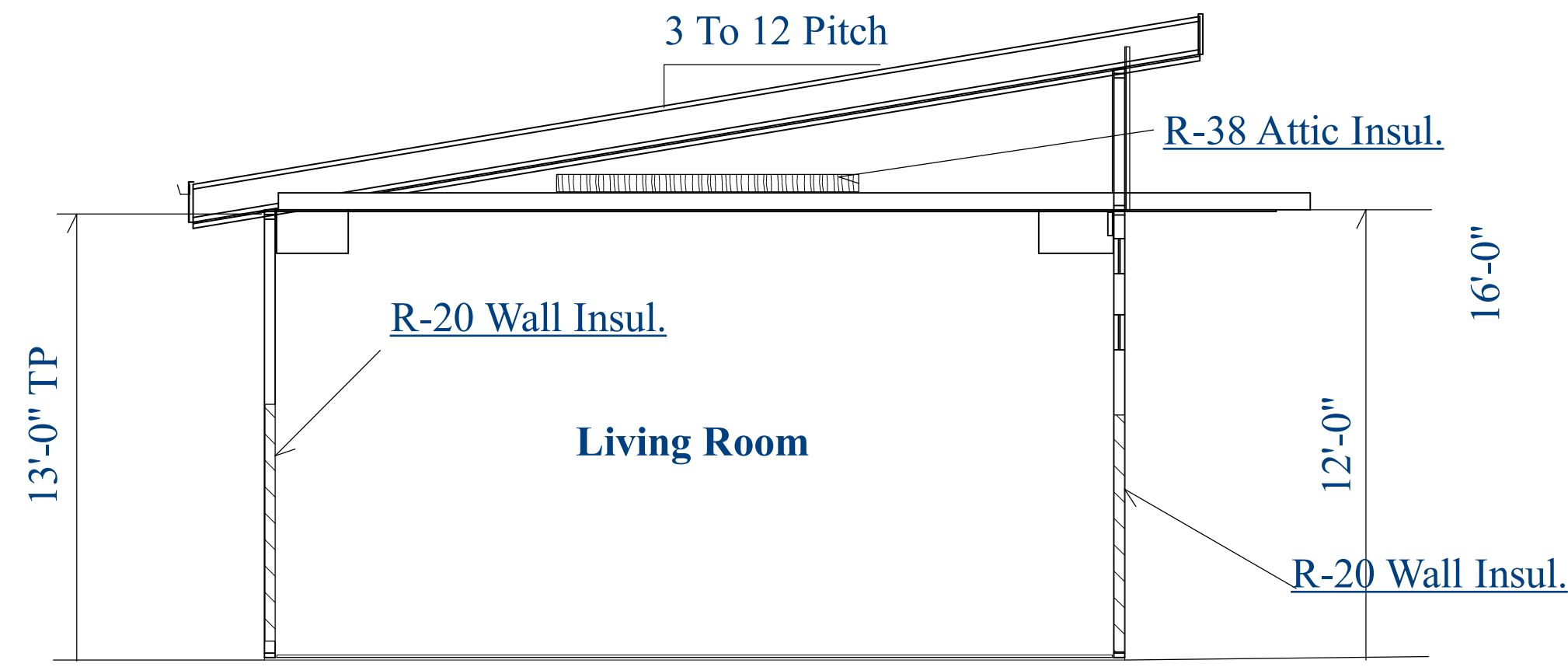
SCALE:

1/4"=1'-0"

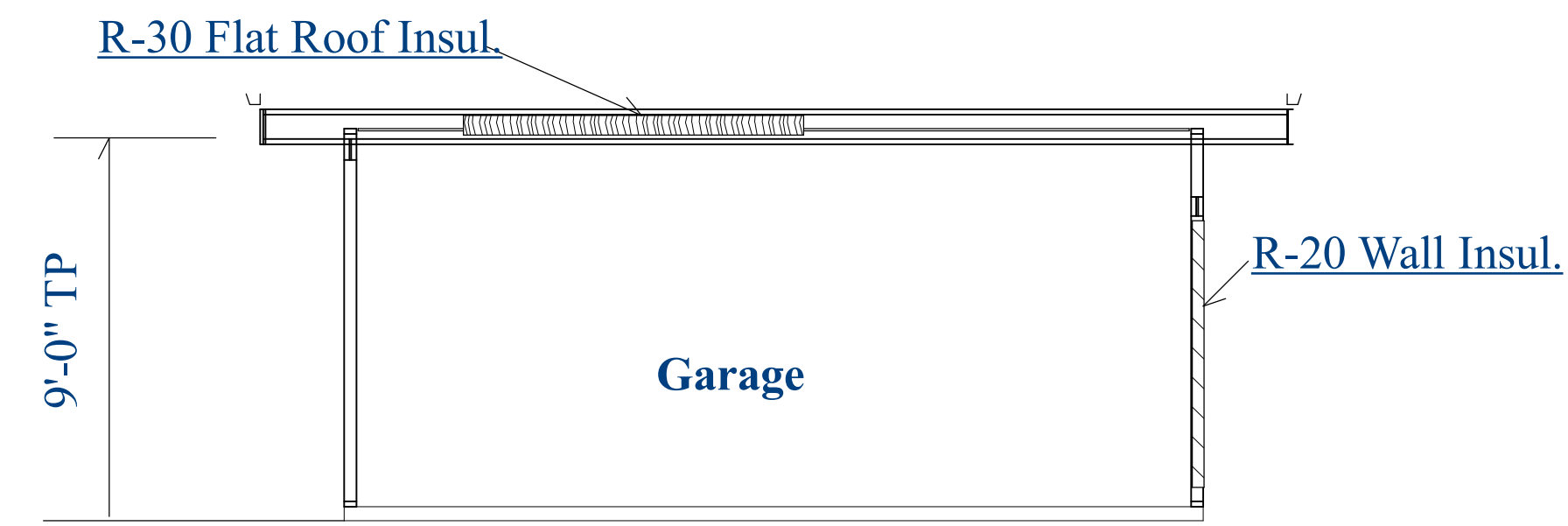
SHEET:

A-2

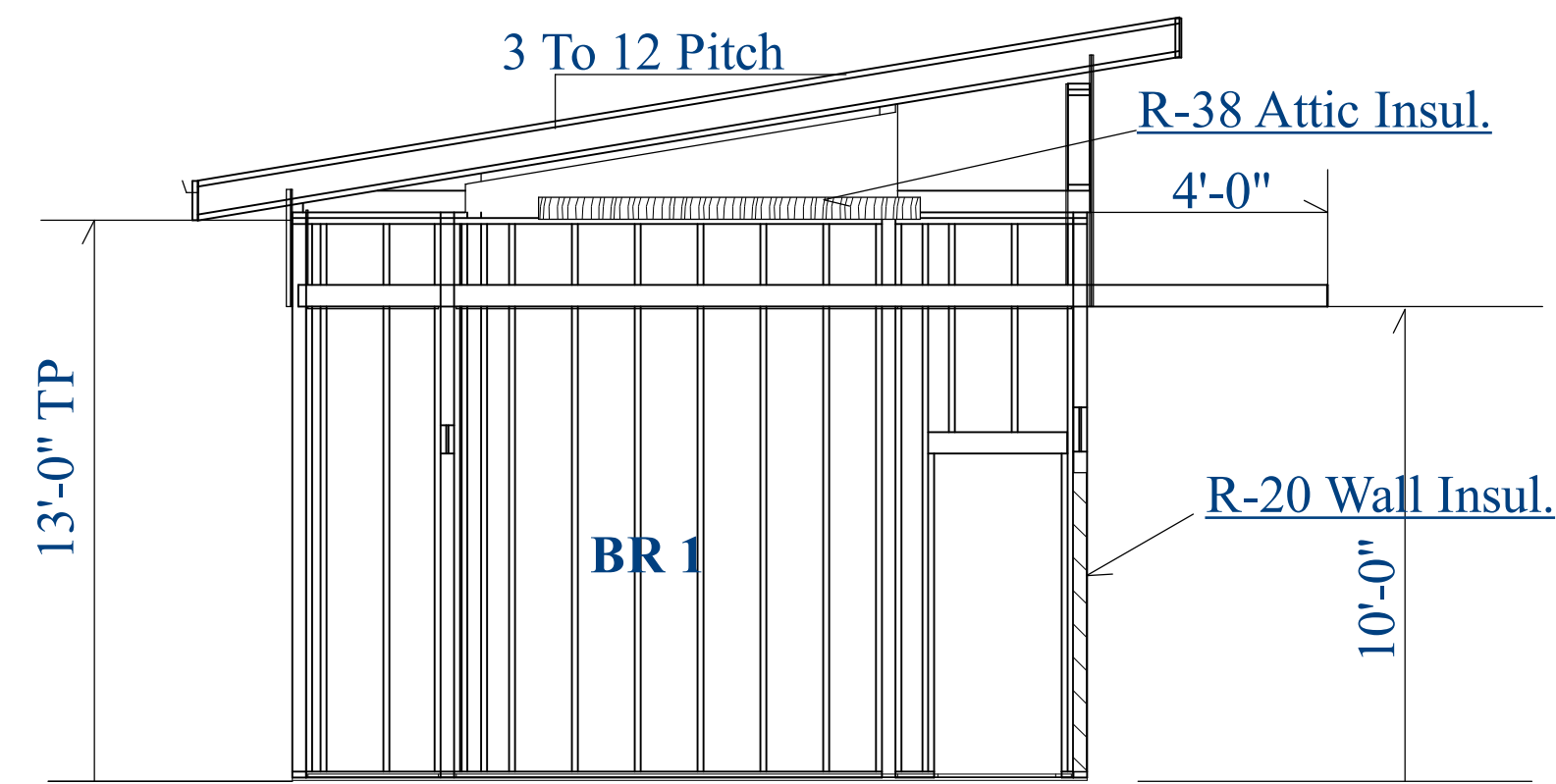




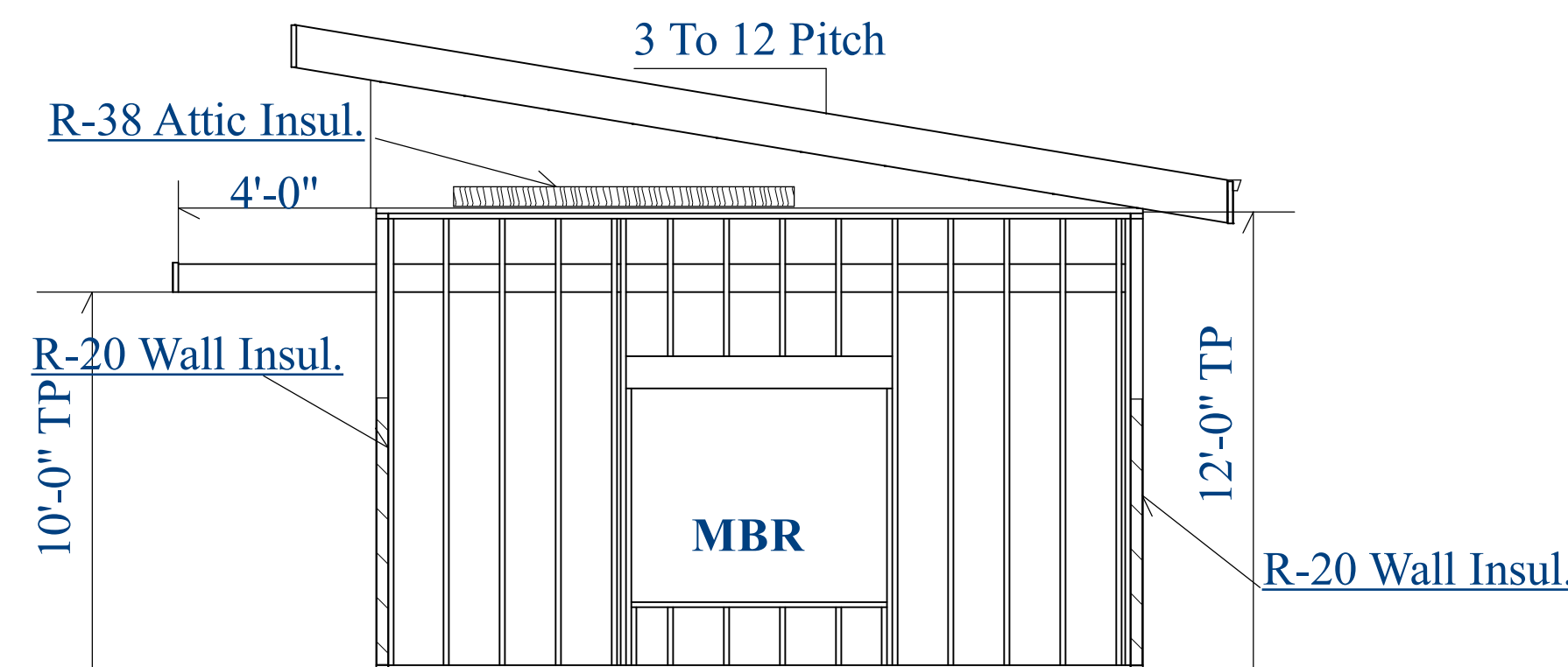
S-4



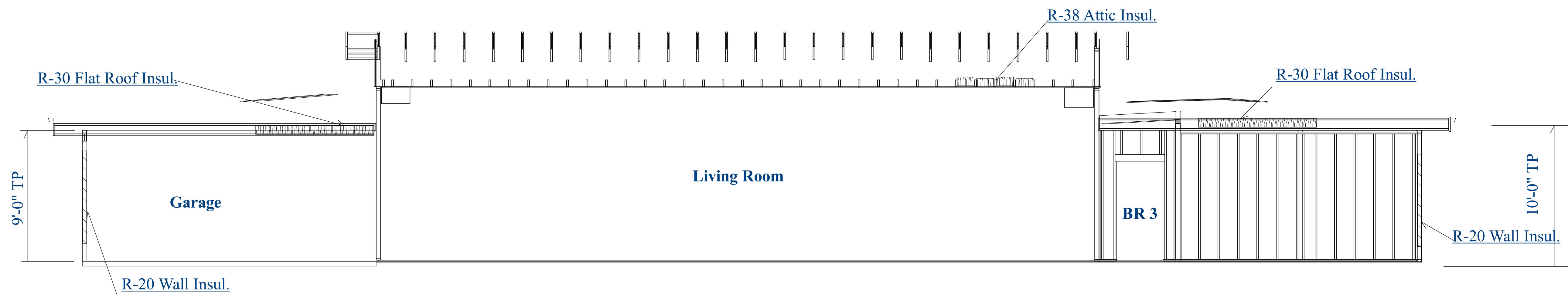
S-12



S-9



S-9



S-14

REVISION TABLE	
NUMBER	DATE

**Building Sections**

Owner: Frank Moayedi  
 2700 North Sunrise Way, Palm Springs, Ca. 92262  
 Project: Single Family Residence  
 Occupancy: R-3  
 Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:  
 Frank Moayedi  
 P.O. Box 2747, Mission Viejo, Ca. 92690  
 (760) 774-4816

DATE:

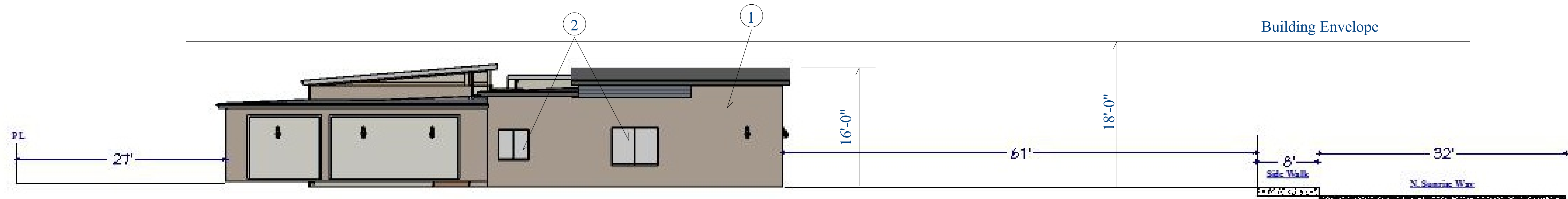
10/7/2015

SCALE:

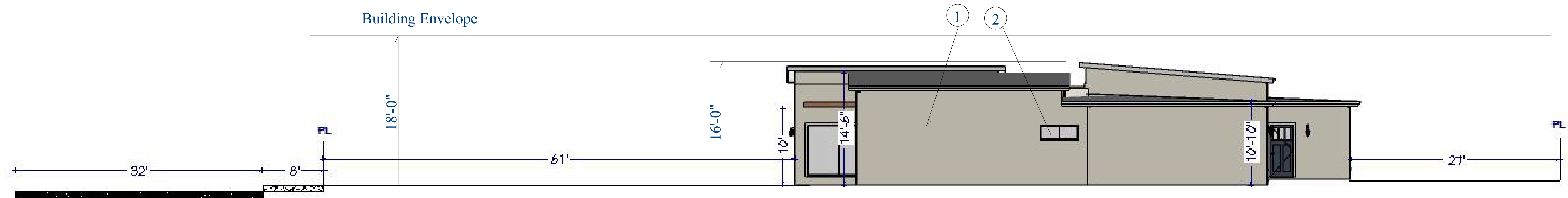
1/4"=1'-0"

SHEET:

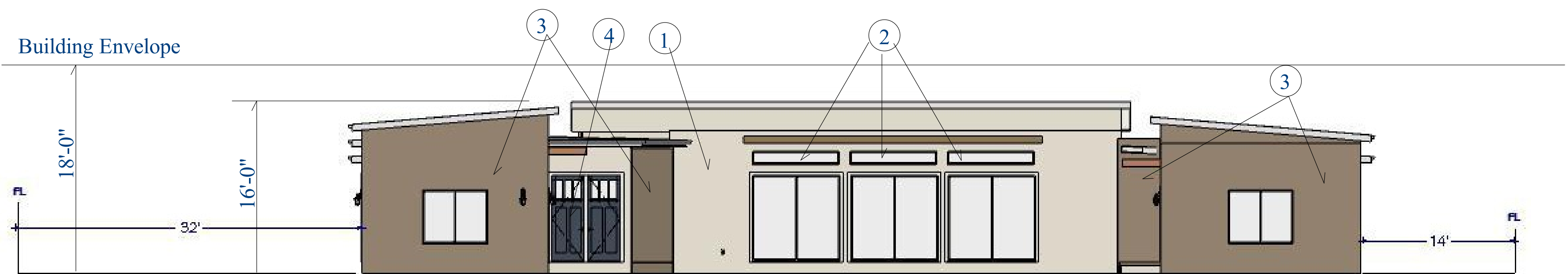
**A-3**



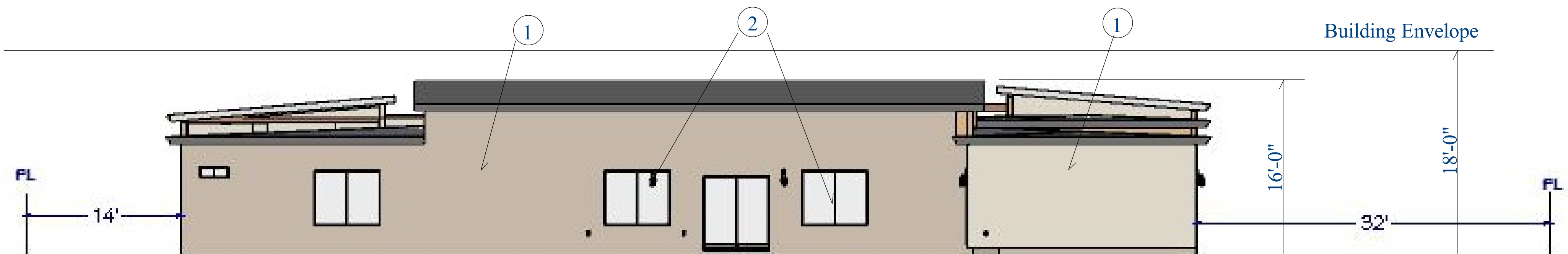
**North Elevation**



**South Elevation**



**West Elevation**



**East Elevation**

**Exterior Materials / Finishes:**

- 1 Sand finish stucco Lahabra Dove Grey (66) Base 200.
- 2 Vinyl windows, Dual glazed clear glass, Gray color. Install per Mfr. Specs.
- 3 Stone veneer- Eldorado stack stone (Santa Fe -- ICC# ESR1215 )
- 4 Front Door- 5'-0 x 8'-0" double 1 3/4" slab doors. Dark Brown.
- 5 Sliding vinyl doors with screen Gray in color.
- 6 Slab Garage door.
- 7 Pool equipment area, 3" min above finish grade.
- 8 Tile roof ( Eagle Brown Gray Range, CRRC: 0918-0028)
- 9 Garage to outside door. 1 3/4" slab door. Dark brown.
- 10 Stucco Canopy
- 11 Urethane spray over a Min. 1/2" Polyiso foam or equal. ( Pro-Tech E-100 Urethane UL790 Class B (C-15/32) 1/4" per foot required for drainage.

REVISION TABLE	
NUMBER	DATE

**Roof & Framing Plan**

Owner: Frank Moayedi  
 2700 North Sunrise Way, Palm Springs, Ca. 92262  
 Project: Single Family Residence  
 Occupancy: R-3  
 Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:  
 Frank Moayedi  
 P.O. Box 2747, Mission Viejo, Ca. 92690  
 (760) 774-6816

DATE:

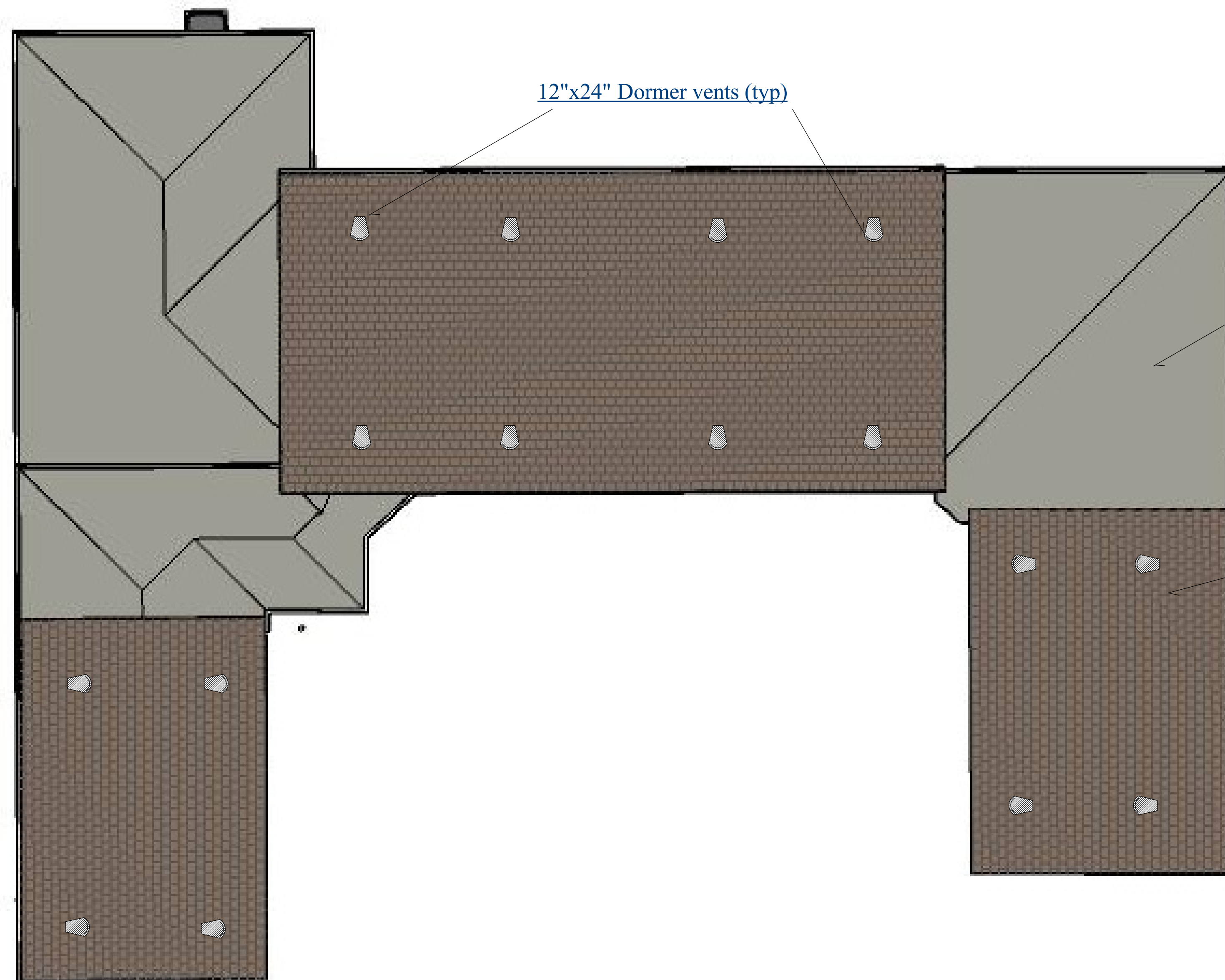
10/7/2015

SCALE:

1/4"=1'-0"

SHEET:

**A-4**



12"x24" Dormer vents (typ)

**Flat Roofs:**

Urethane spray over a Min. 1/2" Polyiso foam or equal.  
 ( Pro-Tech E-100 Urethane UL790 Class B (C-15/32)  
 1/4" per foot required for drainage (Tapered Roof System)

**Sloped Roofs:**

Tile roof ( Eagle Brown Gray Range, CRRC: 0918-0028)

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

**Roof Plan**

Owner: Frank Moayed  
 2700 North Sunrise Way, Palm Springs, Ca. 92262  
 Project: Single Family Residence  
 Occupancy: R-3  
 Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:  
 Frank Moayed  
 P.O. Box 2747, Mission Viejo, Ca. 92690  
 (760) 774-6816

DATE:

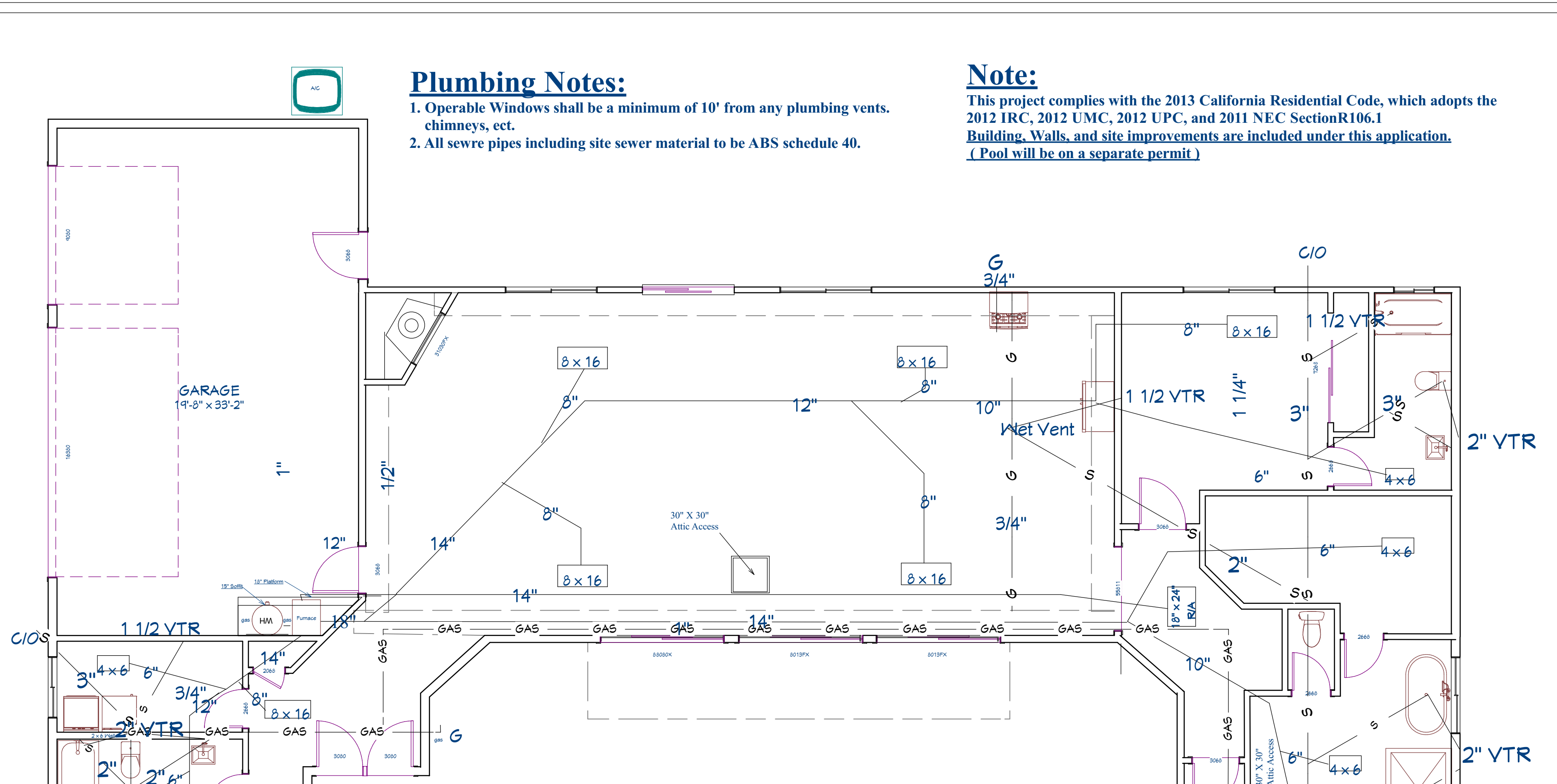
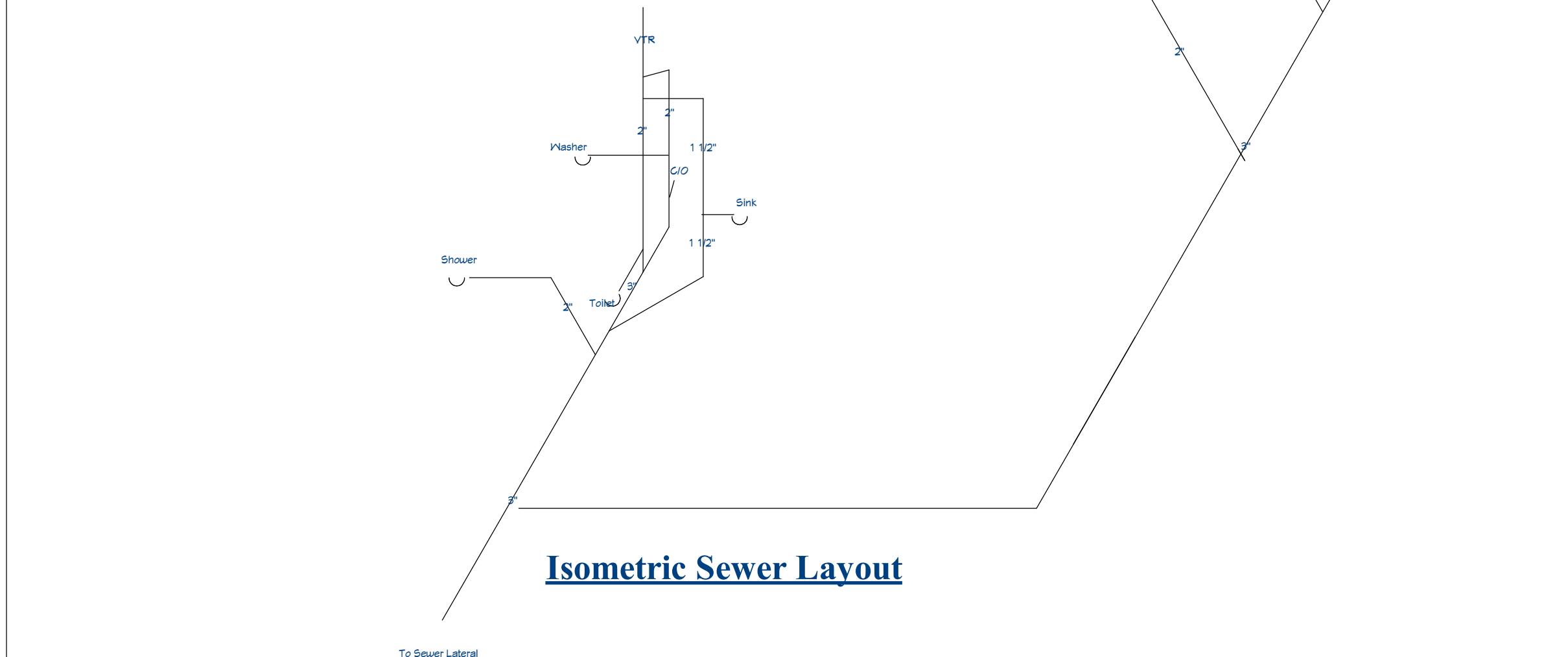
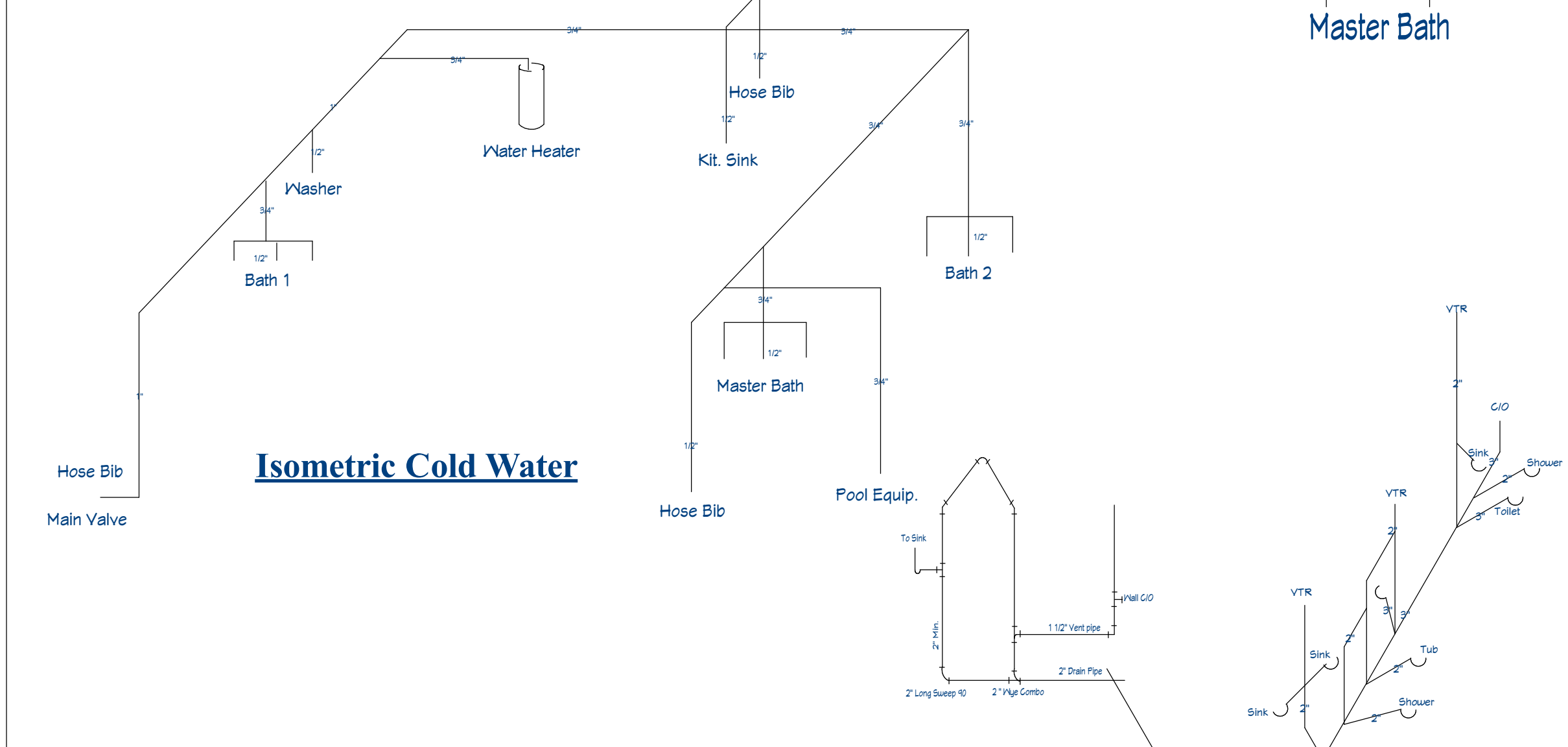
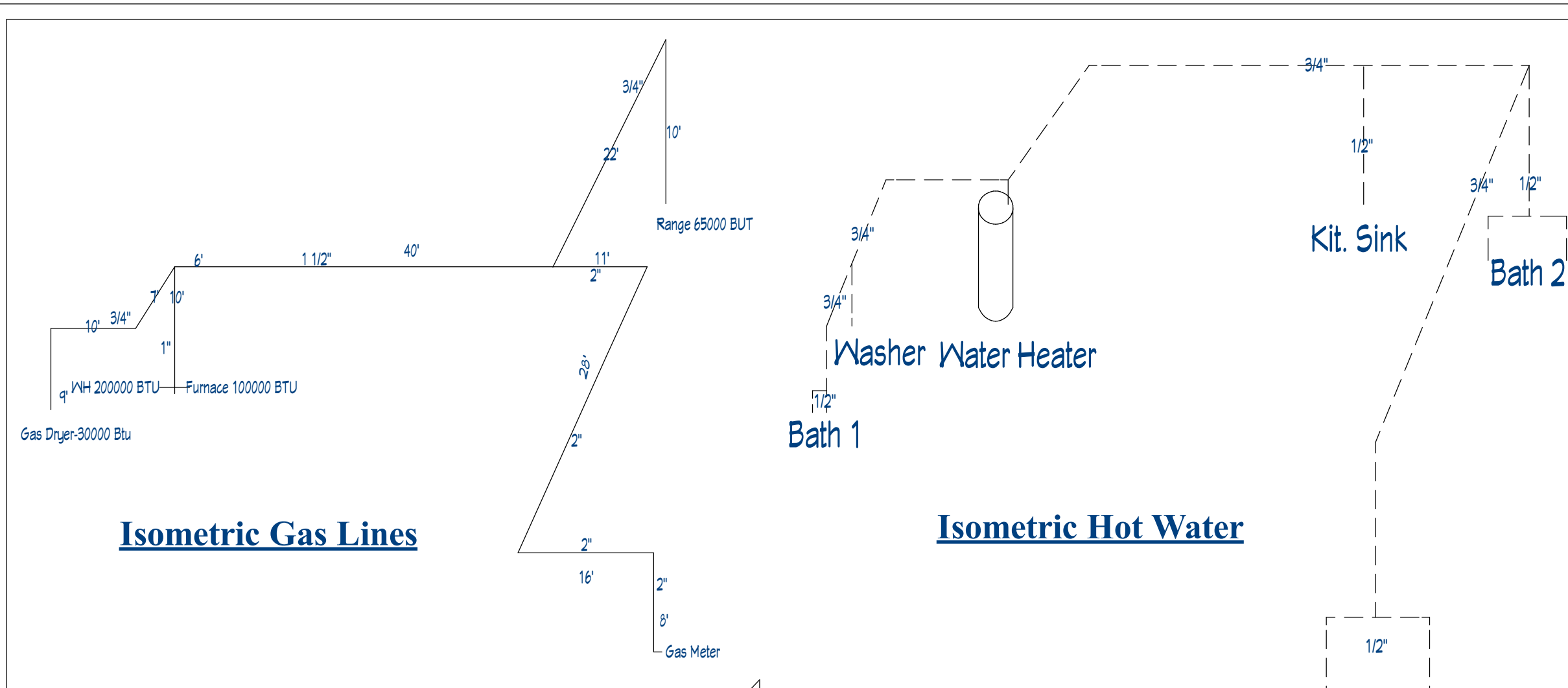
10/7/2015

SCALE:

1/4"=1'-0"

SHEET:

**A-5**

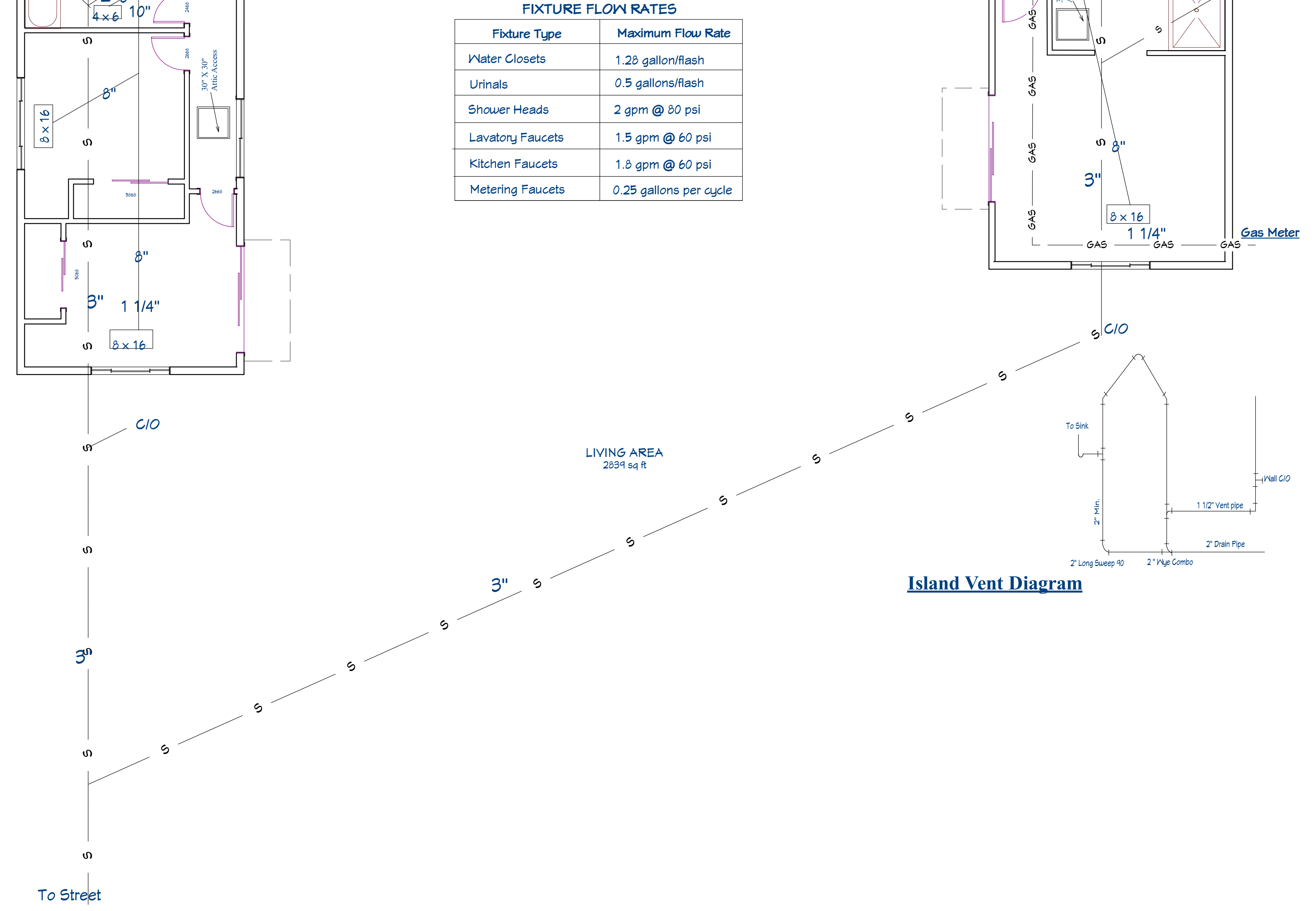


**Plumbing Notes:**  
 1. Operable Windows shall be a minimum of 10' from any plumbing vents, chimneys, ect.  
 2. All sewer pipes including site sewer material to be ABS schedule 40.

**Note:**  
 This project complies with the 2013 California Residential Code, which adopts the 2012 IRC, 2012 UMC, 2012 UPC, and 2011 NEC Section R106.1  
Building, Walls, and site improvements are included under this application.  
 (Pool will be on a separate permit)

**FIXTURE FLOW RATES**

Fixture Type	Maximum Flow Rate
Water Closets	1.28 gallon/flash
Urinals	0.5 gallons/flash
Shower Heads	2 gpm @ 80 psi
Lavatory Faucets	1.5 gpm @ 60 psi
Kitchen Faucets	1.8 gpm @ 60 psi
Metering Faucets	0.25 gallons per cycle



- Notes:**
- During construction, ends of duct openings are to be sealed and Mechanical Equipment is to be covered. CGC 4.504.1.
  - VOC's must comply with limitations listed in Section 4.504.3 and Tables 4.504.1, 4.504.2 and 4.504.5 for : Adhesives, Paints and Coatings, Carpet and Composition Wood Products. CGC 4.504.2.
  - Bathroom Fans shall be Energy Star rated, vented directly to the outside and controlled by humidistat. CGC 4.506.1.
  - All hot water piping sized 3/4" or larger are required to be insulated as follows:
    - 1" pipe size or less —1" thick insulation.
    - Larger pipe sizes require 1 1/2" insulation.
    - 1/2" size hot water pipe to the kitchen sink is required to be insulated.
    - Below grade hot water piping is required to be installed in a waterproof and non-crushable sleeve or casing that allows for replacement of both piping and insulation.
  - Gas water heater design requirement installed in a residential dwelling is as follows ES 150.0 (n):
    - Gas load for the water heater shall be a minimum of 200,000 btu/hr.
    - A condensate drain installed no higher than 2" above the base of the heater that also allows for gravith drainage.
    - The "B" vent installed in straight position (no bends) from room containing the water heater to the roof termination ( for future possible sleeving for high efficiency heater venting).
    - A 120 volt receptacle accessible to the heater installed within 3 feet.
  - When a shower is provided with multiple shower heads, the sum of flow to all the heads shall not exceed 2.0 gpm @80 psi, or the shower shall be designed so that only one is on at a time. CGC 4.303.1.3.2.

REVISION TABLE	
NUMBER	DATE

**Mechanical Plan**

Owner: Frank Moayedi  
 2700 North Sunrise Way, Palm Springs, Ca. 92262  
 Project: Single Family Residence  
 Occupancy: R-3  
 Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:  
 Frank Moayedi  
 P.O. Box 2747, Mission Viejo, Ca. 92690  
 (760) 774-6816

DATE:  
 10/7/2015

SCALE:  
 1/4"=1'-0"

SHEET:  
**A-6**

**Concrete Notes:**

- Concrete mix for the footings shall be 2000 psi minimum or the following: 1 part portland cement 2 1/2 parts sand 3 1/2 parts 3/4" minimum size gravel, not more than 7 gallons of water per pack of cement.
- Mortar mix shall be 1800 psi minimum or the following: 1 part potland cement, 3 1/2 parts sand, 1/2 part hydrated lime or lime putty. Plastic cement may be used with 3 parts sand to 1 part plastic cement.
- Reinforcing steel must be deformed and complies with ASTM specifications A615, Grade 40. When one continuous bar cannot be used, a lap or splice of 40-bar diameter is required. Reinforcing steel 15 inches for #3, 20 inches for #4 bar. Grout mix shall be 2000 psi minim.
- Inspections are required prior to placing concrete in footings and prior to grouting steel cells. The placing of all steel per city standard is the responsibility of the contractor.
- Concrete slabs will be provided with a capillary break. CGC 4.505.2.1. Moisture content of wood shall not exceed 19% before it is enclosed in construction. Moistur content needs to be certified by one of 3 metods specified in section 4.505.3. Building materials with visible signs of water damage should not be used in construction. Moisture content must be determined by the contractor by one of the methods listed in CGC 4.505.3.

**Notes:**

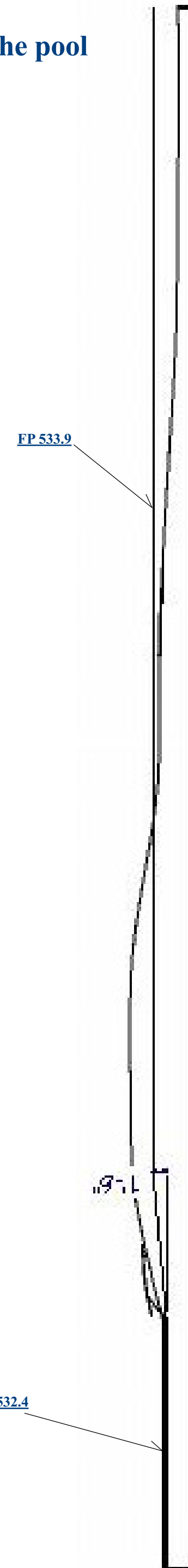
- Projects which disturb less than one acre of soil shall manage storm water drainage during construction by one of the following:
  - Retention basins
  - where storm water is conveyed to a public drainage system, water shall be filtered by use of a barrier system, wattle or other approved methods.
- Site grading or drainage system will manage all surface water flow to keep water from entering buildings ( swales, water collection, French drains, etc. ).
- A minimum of 50% of construction waste is to be recycled.
- Contractor shall submit a construction Waste Management Plan to the jurisdiction agency that regulates waste management, per CGC 4.408.2.
- Contractor, Architect, or Engineer responsible for the overall construction must provide the building department official Written Verification that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction. CGC 102.3.

**Note:**

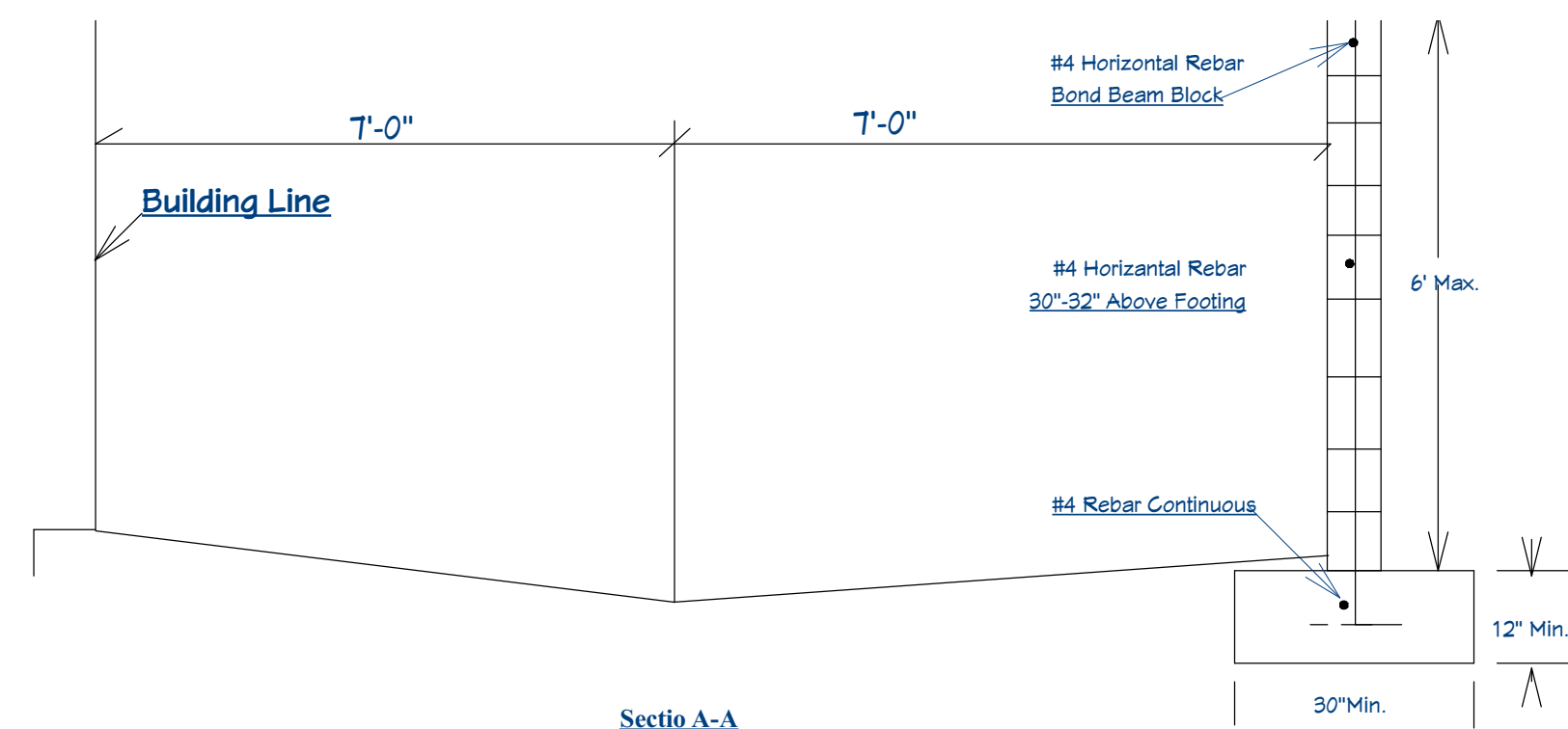
This project complies with the 2001 edition of the California Building/ Plumbing/Mechanical Code and the 2004 edition of California Electrical Code, which adopts the 1997 UBC, 2000 UPC and the 2002 NEC.  
Building, Walls, Pool and site improvements are included under this application.

**Grading Notes:**

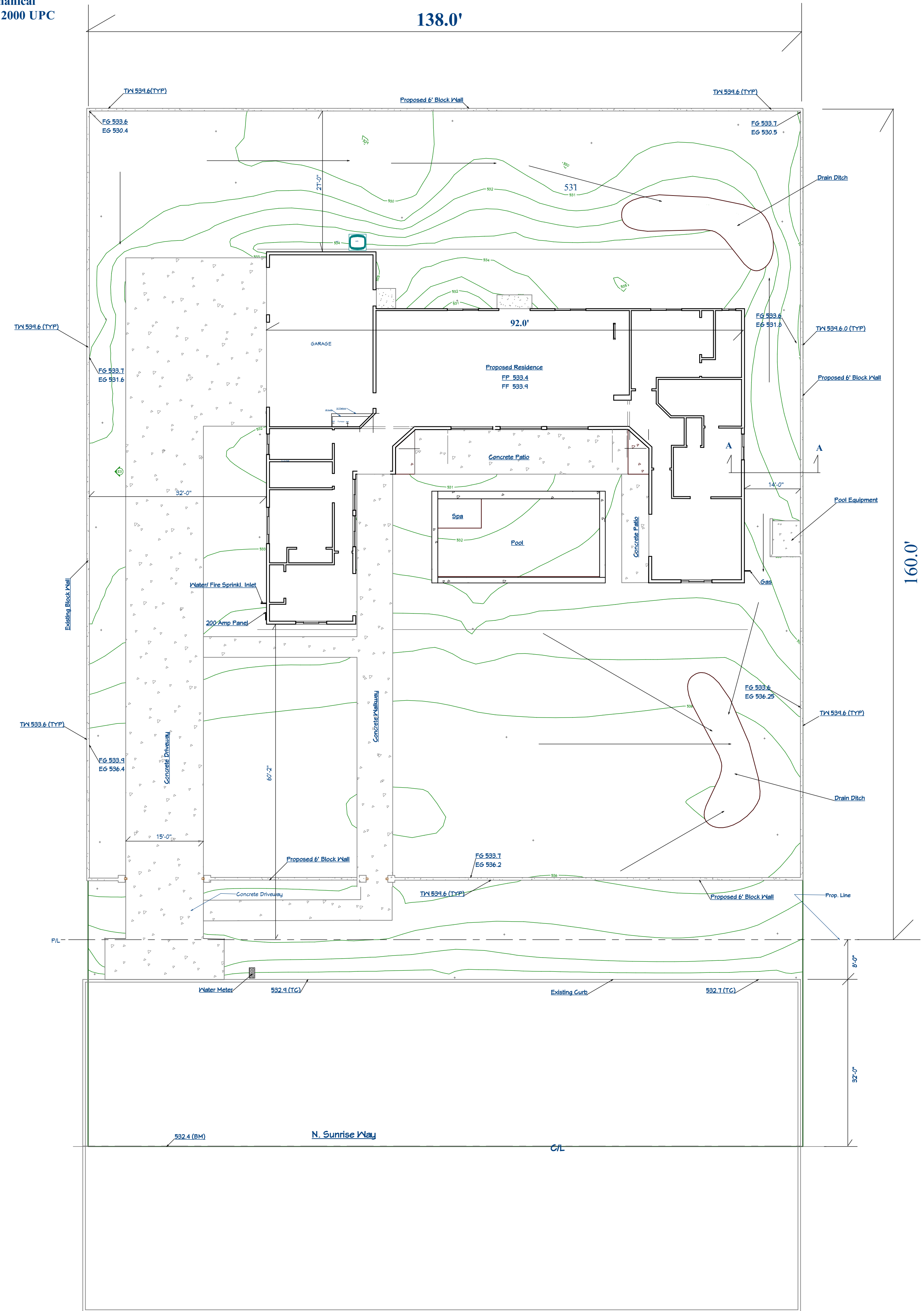
Cut-----50 CY + 18 CY from the pool  
 Fill-----68 CY



**Cross Section E-5**



**Section A-A**



**1st Floor**

REVISION TABLE	
NUMBER	DATE

**Grading Plan**

Owner: Frank Moayedi  
 2700 North Sunrise Way, Palm Springs, Ca. 92262  
 Project: Single Family Residence  
 Occupancy: R-3  
 Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:  
 Frank Moayedi  
 P.O. Box 2747, Mission Viejo, Ca. 92690  
 (760) 774-6816

DATE:

10/7/2015

SCALE:

1/4"=1'-0"

SHEET:

**A-7**



REVISION TABLE	
NUMBER	DATE

**Perspective Views**

Owner: Frank Moayeddi  
 2700 North Sunrise Way, Palm Springs, Ca. 92262  
 Project: Single Family Residence  
 Occupancy: R-3  
 Construction: Type V-N NSFR

DRAWINGS PROVIDED BY:  
 Frank Moayeddi  
 P.O. Box 2747, Mission Viejo, Ca. 92690  
 (760) 774-6816

DATE:

10/7/2015

SCALE:

1/4"=1'-0"

SHEET:

**A-8**