



HISTORIC SITE PRESERVATION BOARD STAFF REPORT

DATE: December 8, 2015 NEW BUSINESS

SUBJECT: CERTIFICATE OF APPROVAL REQUEST BY THE ROYAL HAWAIIAN HOMEOWNERS ASSOCIATION FOR HEALTH-DEPARTMENT-REQUIRED ALTERATIONS TO THE COMMUNITY POOLS, AT THE ROYAL HAWAIIAN CONDOMINIUMS, LOCATED AT 1750 SOUTH PALM CANYON DRIVE, ZONE R-2; HISTORIC DISTRICT #HD-2; CASE 3.0182 MAA, (KL)

FROM: Department of Planning Services

SUMMARY

The Royal Hawaiian Estates Homeowners Association (RHE HOA) has been cited by the California Environmental Health Department for code deficiencies in the community pools within the complex. The current project addresses the citation with relocation and reconstruction of two original raised planters further away from the edge of the pools.

Alterations to contributing sites within a historic district are subject to Class 1 regulations including a certificate of approval for exterior alterations. In this case, although the pool & terraces were not identified as contributing elements to the district at the time of designation, given their visual prominence within the district, the Board has been requested to provide input on the proposed modification.

RECOMMENDATION:

Approve the certificate of approval as requested.

BACKGROUND AND SETTING:

Royal Hawaiian Estates Condominiums were designed by noted architect Donald Wexler (FAIA) and constructed in the early 1960's. The "Polynesian / Tiki" motif and details of RHE reflect America's fascination with Polynesian culture in the late 50's and 60's. The pools and adjacent terraces do not have any particular "tiki" detailing, however the terraces were constructed in alternating red and white pigmented concrete in a fan-like pattern.

<i>Related Relevant City Actions by HSPB, Planning, Fire, Building, etc...</i>	
February 3, 2010	City Council designated RHE as Class 1 historic site #74 Historic District #2 (HD-2)
December 2010	HSPB granted certificate of approval for restoration of Tiki-inspired details throughout the historic district. (Tiki apexes & trim on the fascia of the gables throughout the complex).

DESCRIPTION AND ANALYSIS

Alterations to Class 1 historic sites and contributing sites in a historic district require review and approval by the HSPB pursuant to Municipal Code Section 8.05.185. In the RHE Historic District, the pools and adjacent terraces were not identified as “contributing” elements to the District by the City Council at the time of the designation, however because of their prominence within the RHE district, the applicant is seeking HSPB input on the pool / planter reconfiguration.

The applicant proposes minor alterations to the two community swimming pools to relocate and reconstruct an existing raised planter further away from the pools.



AERIAL VIEW OF ROYAL HAWAIIAN ESTATES HISTORIC DISTRICT

The images below are rotated to provide a clearer aerial view of the two pool areas.



WEST POOL, EXISTING RAISED PLANTER & PAVEMENT PATTERN

EAST POOL, EXISTING RAISED PLANTER & PAVEMENT PATTERN

The design of the relocated raised planter incorporates an outer wall of the existing planter in its design. The ground area from which the existing planter is removed is proposed to be paved with pigmented concrete to identify the outline of the original planter and distinguish its footprint from the surrounding concrete pool deck.

FINDINGS:

Although there are not findings necessary for granting a certificate of approval, pursuant to Municipal Code section 8.05.190, the Board shall consider the following factors in evaluating the application:

- (1) *The historic value and significance, or the architectural value and significance or both, of the structure and its relation to the historic value of the surrounding area;*

The existing pools and planters were designed and constructed as an integral component of the common area elements of the RHE condominium complex, although they were not identified as contributing elements to the historic district. The architectural screen block walls in the various courtyards adjacent to the pools were identified as contributing but are not impacted by the proposed project. The proposed reconstructed planter respects the geometry of the existing raised planter while responding to the code citation. The existing planters create a visual and physical separation between two terrace areas around the pools, creating an area for active play near the pool and an area slightly away from the pool for quieter lounging. The new planters achieve the same spatial separation.

- (2) *The relationship of the exterior architectural features of any structure to the rest of the structure itself and to the surrounding area;*

The reconstructed planters do not abut any of the contributing buildings in the historic district. They relate well to the existing materials and finishes found elsewhere in the common areas of the condominium complex and are harmonious in their appearance with the modern architectural theme of the district.

- (3) *The general compatibility of exterior design, arrangement, texture and material which is proposed by the applicant;*

The new planters are proposed to be constructed in a simple 8 inch by 8 inch scored concrete block, matching the material of the original planter. The relocated planters relate well to the surrounding pool terrace and to other scored concrete block walls in the complex. Plant materials of the same or similar species to that which are in the existing planters are proposed for the new planters

- (4) *Archaeological or ecological significance of the area.*

No known archaeological or ecological significance is associated with the project site.

CONCLUSION

The proposed planter relocation addresses the citation by the Health Department. It modifies the area around the two community pools from what was originally designed, however the proposed alteration does not materially alter or adversely impact any of the contributing structures within the historic district. The materials are harmonious with existing materials in the vicinity of the pool and the design is well-integrated with the existing pool terraces.

ENVIRONMENTAL ASSESSMENT

In accordance with Section 15331 (alterations to Historic Resources in accordance with the Secretary of the Interior Standards for the Treatment of Historic Structures) of the California Environmental Quality Act (CEQA), the proposed designation is categorically exempt from environmental.

NOTIFICATION

No notification is required for HSPB review of certificates of approval, however the agenda for today's meeting has been provided to the City's Office of Neighborhood Involvement and distributed to designated neighborhood organizations pursuant to PSZC 94.04.00.



Ken Lyon, RA,
Associate Planner



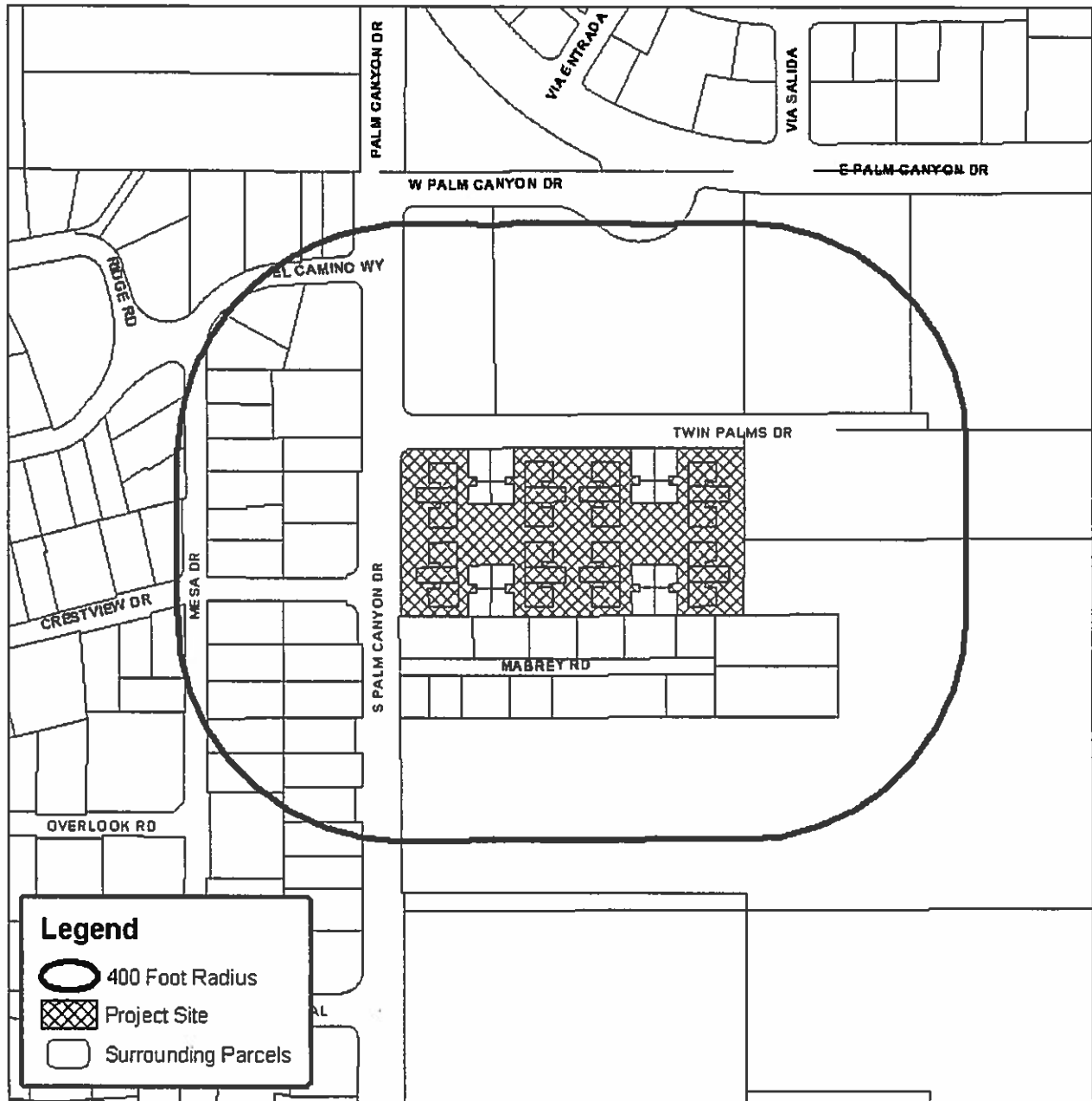
Flinn Fagg, AICP
Director of Planning Services

Attachments:




- Vicinity Map
- Application materials
- Designating City Council Resolution for HD-2



Department of Planning Services Vicinity Map



Legend

-  400 Foot Radius
-  Project Site
-  Surrounding Parcels

CITY OF PALM SPRINGS

CASE NO: HSPB 73

APPLICANT: Royal Hawaiian Estates

DESCRIPTION: Application for a Class 1 Historic Site Designation at 1772 South Palm Canyon Drive, Zone R-3, Section 26, APN 511-070-001 thru 141

RESOLUTION NO. 22657

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PALM SPRINGS, CALIFORNIA, DESIGNATING THE ROYAL HAWAIIAN ESTATES CONDOMINIUM LOCATED AT 1774 S. PALM CANYON DRIVE AS A HISTORIC DISTRICT.

WHEREAS, Chapter 8.05 of the Palm Springs Municipal Code allows for the establishment of historic districts; and

WHEREAS, on August 25, 2009, the representative of the Royal Hawaiian Estates Condominium Homeowners Association, Bill Lewallen, filed an application requesting a historic district be established for the condominium development; and

WHEREAS, notice of a public hearing of the Historic Site Preservation Board of the City of Palm Springs to consider designation of the subject property as a Class 1 historic site was issued in accordance with applicable law; and

WHEREAS, on November 10, 2009, Board voted 5 to 2 (Grattan and Strahl opposed) to recommend that the City Council establish a historic district for the condominium development; and

WHEREAS, on February 3, 2010, the City Council conducted a public hearing, following notification in the manner prescribed by law, at which hearing the Council received a staff report, associated exhibits and historical research, and written and oral testimony; and

WHEREAS, the City Council has reviewed and considered all of the evidence in connection with the proposed district, including but not limited to the staff report, application and historical research, and all written and oral testimony presented.

THE CITY COUNCIL OF THE CITY OF PALM SPRINGS DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. That the proposed historic district is Categorically Exempt from environmental review, in accordance with Section 15331 (Historical Resources Restoration/Rehabilitation) of the California Environmental Quality Act (CEQA), as the proposed historic district meets the conditions outlined for preservation of a historic resource.

SECTION 2. That the proposed Royal Hawaiian Estates Condominium Historic District conforms to the definition of a historic district, as contained in Section 8.05.020.b of the Palm Springs Municipal Code, because the proposed district meets the following findings of Section 8.05.020.a:

1. The properties reflect and exemplify a particular period of the national, state or local history, because the Royal Hawaiian Estates' unique architectural detailing is an excellent example of its type, period, and method of construction. The complex completed in two phases in 1961 and 1962, as designed by architects Wexler and Harrison reflects one of the Desert Modern styles, as applied to multi-family development in Palm Springs in the early 1960's. The architects' successful and unique interpretation of Polynesian architectural forms in an International Style, along with their use of bold color and geometric shapes and forms adds to the importance of these buildings. Defining historic characteristics of the buildings include:
 - a. Exaggerated gables over the ends of the buildings.
 - b. Projecting slanted ridge beams.
 - c. Elaborately detailed wooden Tiki-Style elements.
 - d. Triangular clerestory windows and vaulted ceilings.
 - e. Large stylized "Outrigger", "Flying Sevens".
 - f. Orange painted cement plaster triangle as part of "outriggers".
 - g. Wood diagonal siding.
 - h. Natural rock building walls.
 - i. Concrete block screen at pool painted orange.
 - j. Tiki-Style statues and stone carvings.
2. The properties embody the distinctive characteristics of a type, period or method of construction, because the Royal Hawaiian Estates condominium complex was built over a two year period and remains largely intact: All twelve buildings and the surrounding site retain the look of their original design and construction. The Desert Polynesia time period which took root in the early sixties was one of several modern design themes that advanced the idea of indoor/ outdoor living possibilities in Palm Springs. The Desert Polynesian style was short-lived, but resulted in the unique architectural elements of the Royal Hawaiian Estates.
3. The properties present the work of a master builder, designer, artist, or architect whose individual genius influenced his age; or that possesses high artistic value, because the Royal Hawaiian Estates present the work of one of Palm Springs' (and the Coachella Valley's) most prolific and accomplished architectural team of Donald Wexler and Rick Harrison. Wexler and Harrison's skills as architects in the early 1960's are clearly reflected in the condominium development which is a good example of contemporary Polynesian-influenced design concepts. The complex is one of the few remaining Tiki-Style buildings in Palm Springs and is of importance as an example of this architectural style as designed by a master architect and builder.


SECTION 4. That the Royal Hawaiian Estates Condominium, including twelve multi-unit residential buildings and all associated landscaping and grounds are hereby established as the Royal Hawaiian Estates Historic District, subject to the following conditions:

1. The property owner shall permit the City to place at 1774 S. Palm Canyon Drive a historic marker of the City's choosing. The marker shall be placed in a location visible from the public right-of-way. The owner shall maintain the marker in the location installed and pay for the replacement cost if the plaque is lost, stolen, or otherwise removed from the property.
2. That the City Clerk shall submit the Council Resolution to the County recorder for recordation within 90 days of the effective date of this resolution.
3. Any alterations or modifications to the exterior approved prior to the designation of this site by the City Council shall be deemed acceptable.

SECTION 5. That all structures and site landscaping of the Royal Hawaiian Estates Condominiums site are hereby designated "contributing structures" of the Royal Hawaiian Estates Historic District, and are therefore subject to the following conditions.


4. All future modifications to all contributing structures and site features, including but not limited to building, landscaping, lighting, walls, and fences shall require Architectural Approval pursuant to Section 94.04.00 of the Palm Springs Zoning Ordinance and HSPB review pursuant Municipal Code Ordinance 8.05.180.
5. No permit shall be issued for the alteration of the landscaping or building exterior, including any and all of the defining elements and characteristics without prior approval by the Historic Site Preservation Board.

ADOPTED THIS 3RD DAY OF FEBRUARY, 2010.



David H. Ready, City Manager

ATTEST:




James Thompson, City Clerk

CERTIFICATION

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF PALM SPRINGS)

I, JAMES THOMPSON, City Clerk of the City of Palm Springs, hereby certify that Resolution No. 22657 is a full, true and correct copy, and was duly adopted at a regular meeting of the City Council of the City of Palm Springs on the 3rd day of February, 2010, by the following vote:

AYES: Councilmember Foat, Councilmember Weigel, Mayor Pro Tem Hucheson, and Mayor Pougnet.
NOES: Councilmember Mills.
ABSENT: None.
ABSTAIN: None.


James Thompson, City Clerk
City of Palm Springs, California 02/02/2010

Date: 11.16.2015
Minor Architectural Application
Justification Letter

Re: Royal Hawaiian HOA
1750 S. Palm Canyon Drive
Palm Springs, CA 92264

Project Description:

The project consists a selective remodel of the existing west and east pool areas, due to Environmental Health Department (EHD) requirements to repair an unsanitary and unsafe condition where the pool shell and coplanar planter are failing.

Our goal is to keep the original intention of the Wexler Harrisons design, in its historic context, while meeting current EHD requirements. The pool size and location will remain untouched. The failing, pool adjacent, raised concrete block planter will be relocated such that the existing planter outline will be moved back from the pool edge. In doing so, the original planter footprint is celebrated with special paving and the relocated raised form provides the required deck space between pool and any obstruction. What's more, since the backside of the existing planter is kept in its current location it becomes the front of the new planter.

We are submitting this application to process the remodel of both pool areas.

Please find the enclosed drawing exhibits which illustrate the proposed project for consideration and review. Please feel free to contact me with any questions.

Sincerely,



Lance O'Donnell, AIA
_o2 Architecture

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3.0182

Palm Springs Department of Planning Services
Palm Springs, CA

Barry Bryant
Royal Hawaiian Estates Homeowners Association
249 East Twin Palms Drive
Palm Springs, CA 92264

barry_bryant@icloud.com

Thursday, November 12, 2015

Dear City Planners:

Please be advised that the Board of Directors for the Royal Hawaiian Estates Homeowners Association has authorized me to engage Desert Resort Management, o2 Architecture, Paul Ortega, Landscape Consulting and the City of Palm Springs Planning Services to work on our pool and planter project.

Your truly,

A handwritten signature in black ink, appearing to read "Barry Bryant", followed by a horizontal line.

Barry Bryant

Vice President
Royal Hawaiian Estates Homeowners Association

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NORTH



Not to Scale

Existing Site Photos Key Map



1

Royal Hawaiian
2818 Twin Palms Dr Palm Springs, CA 9:264

SITE PHOTOGRAPHS

02



2

Royal Hawaiian
2818 Twin Palms Dr Palm Springs, CA 9:264

SITE PHOTOGRAPHS

02



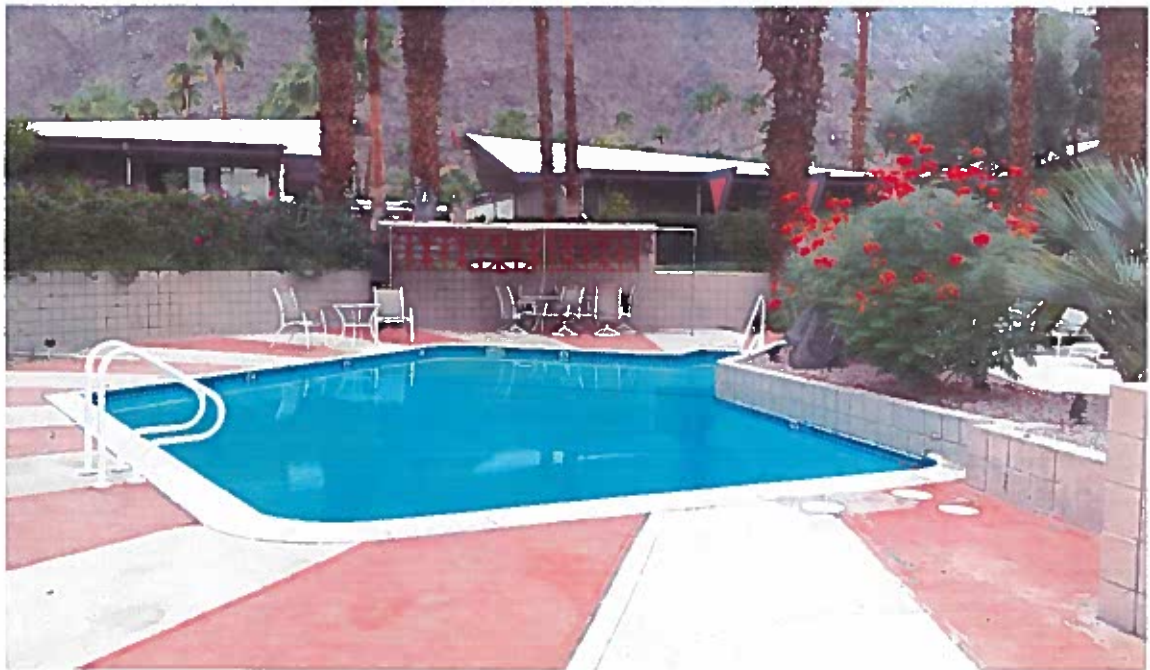
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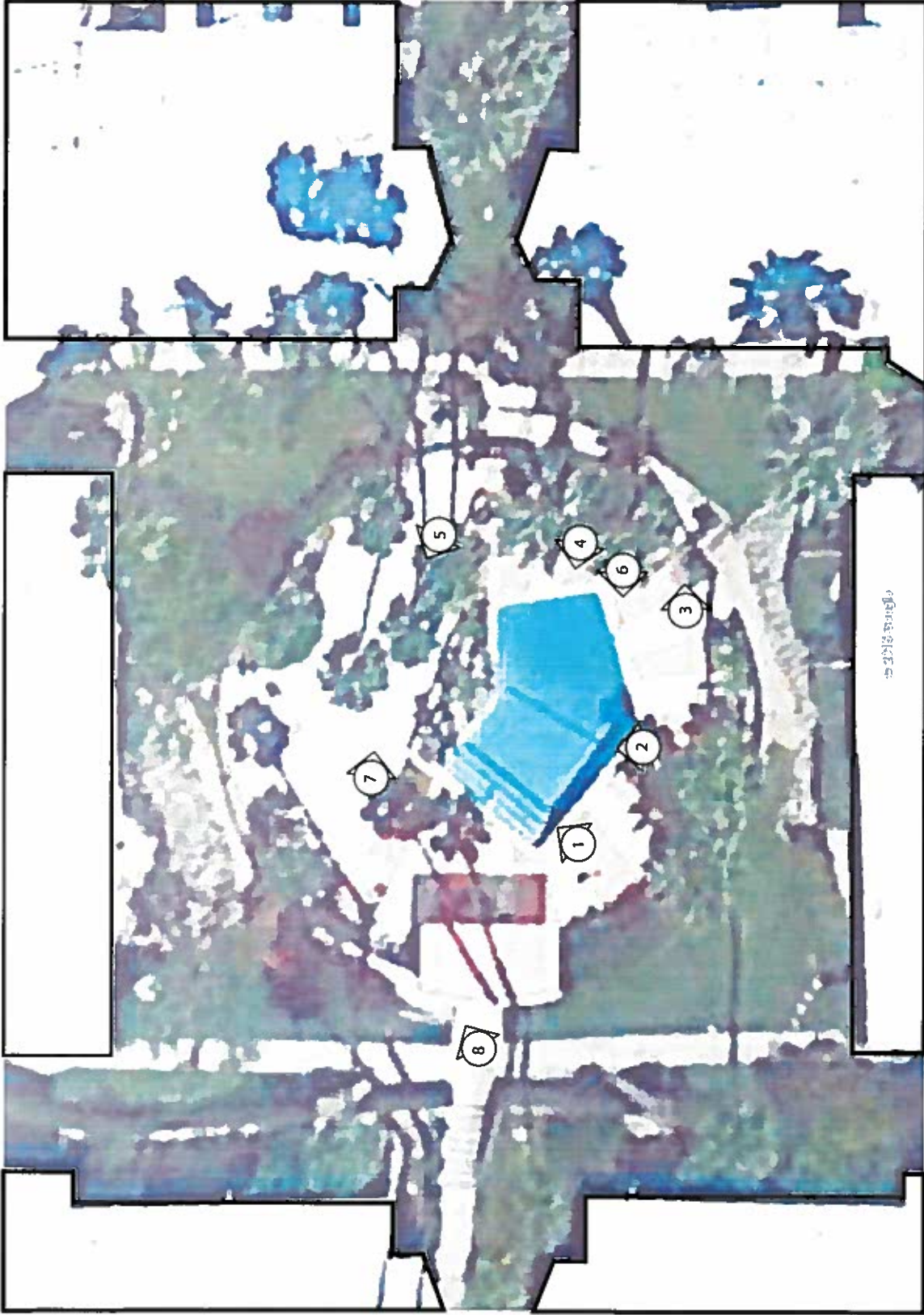
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Not to Scale

Existing Site Photos Key Map

Royal Hawaiian (West Pool)
283 E Twin Palms Dr, Palm Springs, CA 92264



0303015



1

Royal Hawaiian
2816 Twin Palms Dr. Palm Springs, CA 92264

SITE PHOTOGRAPHS

02



2

Royal Hawaiian
2816 Twin Palms Dr. Palm Springs, CA 92264

SITE PHOTOGRAPHS

02



3

Royal Hawaiian
281 E Twin Palms Dr, Palm Springs, CA 9.264

SITE PHOTOGRAPHS

02



4

Royal Hawaiian
281 E Twin Palms Dr, Palm Springs, CA 9.264

SITE PHOTOGRAPHS

02



5

Royal Hawaiian
2811 Euen Palms Dr Palm Springs, CA 92264

SITE PHOTOGRAPHS

02



6

Royal Hawaiian
2811 Euen Palms Dr Palm Springs, CA 92264

SITE PHOTOGRAPHS

02



7

Royal Hawaiian
3011 West Palm Dr Palm Springs, CA 92264

SITE PHOTOGRAPHS

02



8

Royal Hawaiian
3011 West Palm Dr Palm Springs, CA 92264

SITE PHOTOGRAPHS

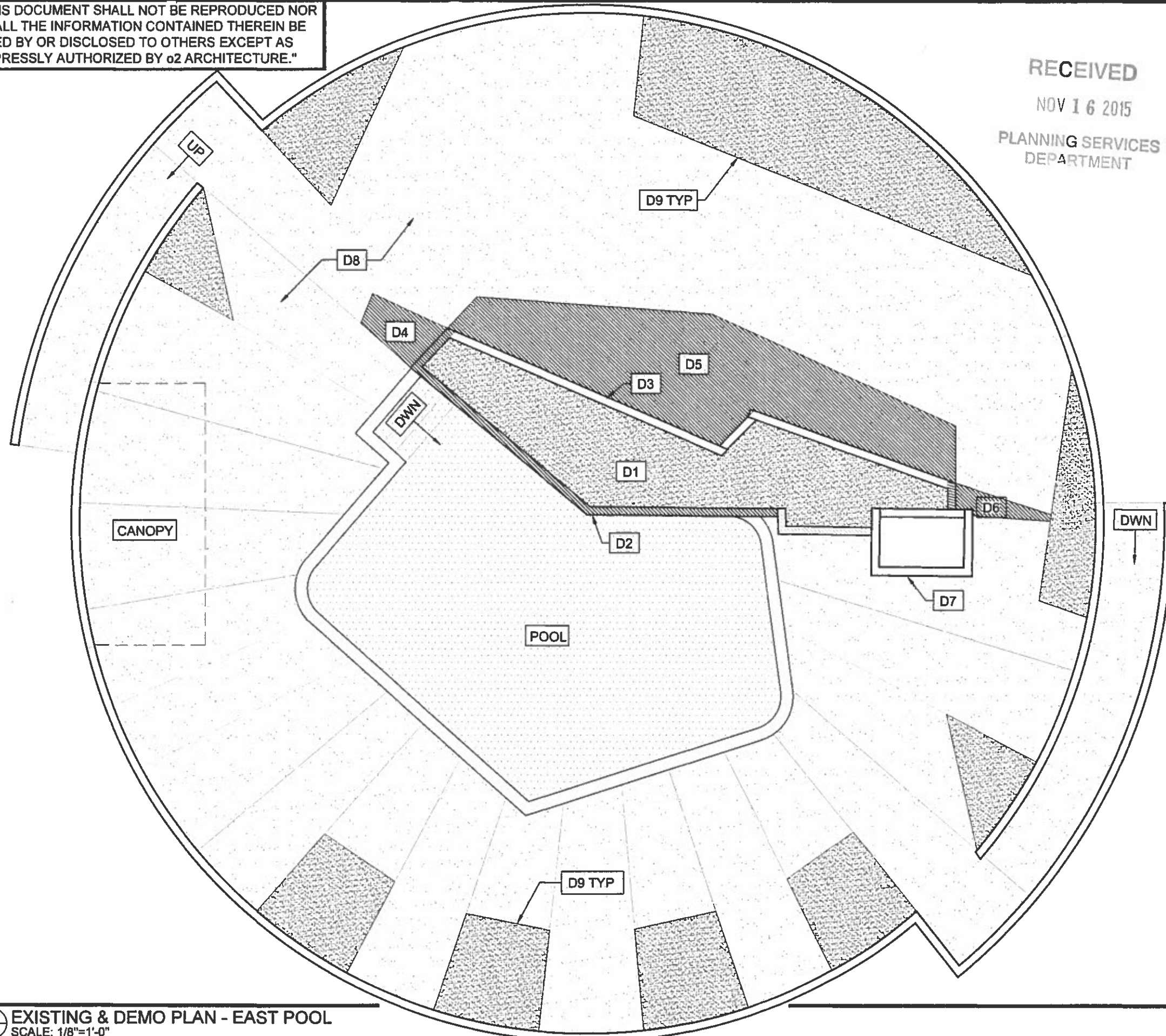
02

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SITE DEMOLITION KEY NOTES

- D1** EXISTING CMU PLANTER TO BE DEMOLISHED AND REPLACED BY NEW CONCRETE SLAB, COLORED: TBD
- D2** EXISTING CMU PLANTER WALL TO BE DEMOLISHED
- D3** EXISTING CMU PLANTER WALL TO BE REPLACED W/ NEW BLOCK TO MATCH EXISTING IN EXISTING LOCATION
- D4** EXISTING PLANTER TO BE REPLACED BY NEW CONCRETE SLAB COLORED: TBD
- D5** EXISTING CONCRETE TO BE DEMOLISHED AND TO BE REPLACED BY NEW PLANTER USING ANGELUS 8x8x16 SINGLE SCORE CMU BLOCKS; BURNISHED 'HARVEST'
- D6** EXISTING CONCRETE SLAB TO BE DEMOLISHED AND REPLACED BY NEW CONCRETE SLAB, COLORED: TBD
- D7** EXISTING CMU WALL TO REMAIN
- D8** EXISTING HARDSCAPE TO REMAIN
- D9** EXISTING PLANTERS TO REMAIN

LEGEND

- EXISTING LANDSCAPE
- EXISTING HARDSCAPE
- DEMOLITION
- POOL



o2 ARCHITECTURE
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 FAX 760 . 406 . 7946
 EMAIL: office@o2arch.com

PROJECT TITLE:
ROYAL HAWAIIAN
 1750 S PALM CANYON DR
 PALM SPRINGS, CA, 92264

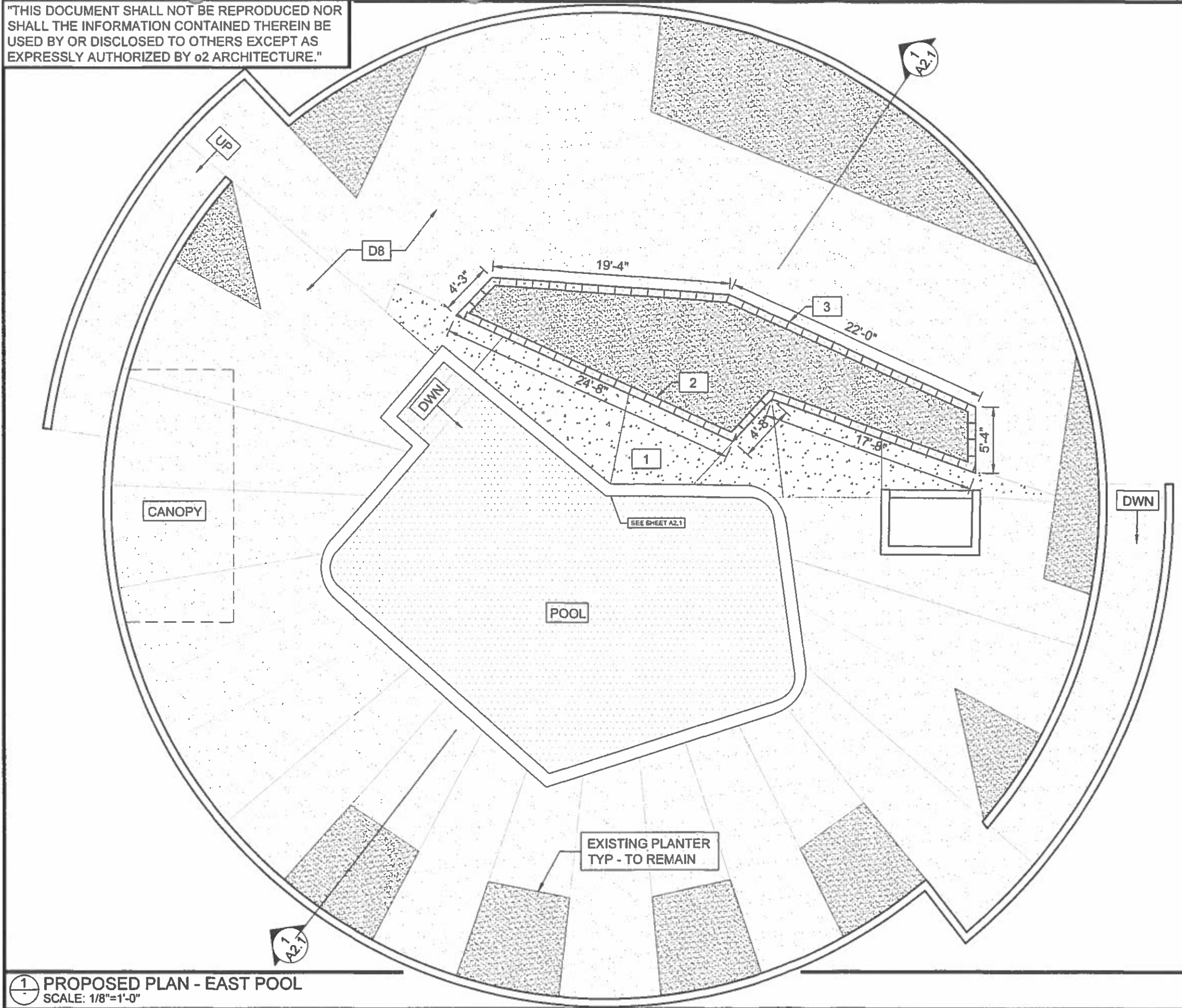
SHEET DESCRIPTION
EXISTING & DEMOLITION PLAN
EAST POOL
 SCALE: 1/8"=1'-0"
 DATE: 11.13.15

A1.1E

1 EXISTING & DEMO PLAN - EAST POOL
 SCALE: 1/8"=1'-0"

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KEY NOTES

- 1 NEW CONCRETE SLAB REPLACING EXISTING PLANTER (SEE A1.1), COLORED: TBD
- 2 EXISTING CMU PLANTER WALL TO BE REPLACED W/ NEW SINGLE SCORE CMU BLOCKS; ANGELUS 8x8x16, BURNISHED 'HARVEST'; IN EXISTING LOCATION
- 3 NEW PLANTER TO BE CONSTRUCTED USING ANGELUS 8x8x16 SINGLE SCORE CMU BLOCKS; BURNISHED 'HARVEST'

LEGEND

- LANDSCAPE
- EXISTING HARDSCAPE
- NEW HARDSCAPE
- POOL

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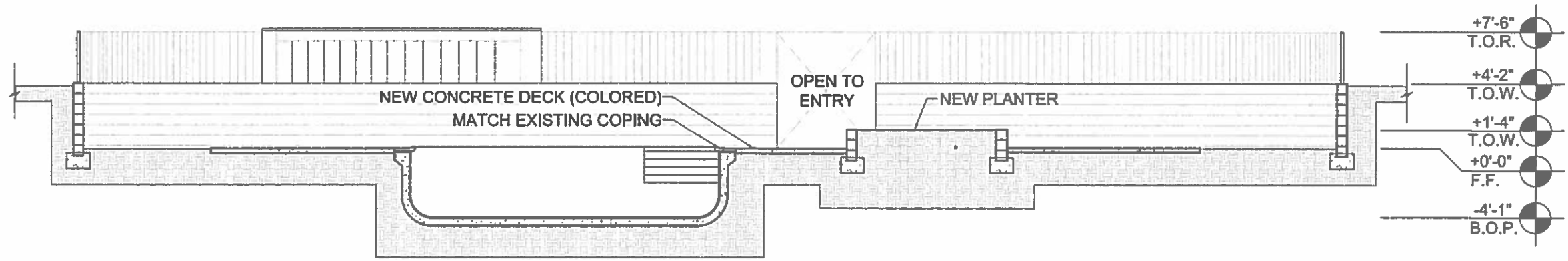
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SHEET DESCRIPTION
**PROPOSED PLAN
 EAST POOL**
 SCALE: 1/8"=1'-0"
 DATE: 11.13.15

1 PROPOSED PLAN - EAST POOL
 SCALE: 1/8"=1'-0"

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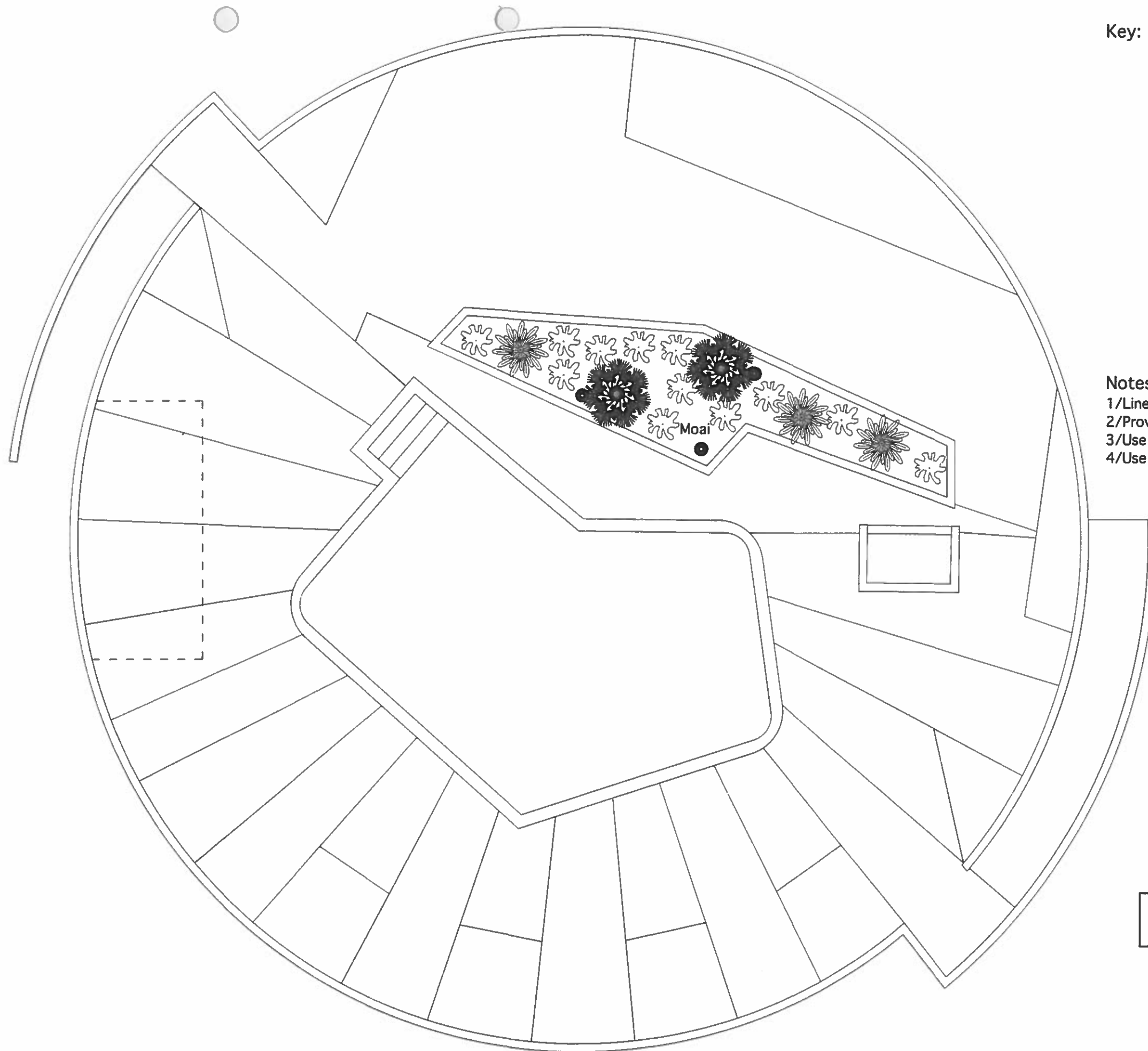
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SECTION - EAST POOL

SCALE: 1/8" = 1'-0"
 DATE: 11.13.15

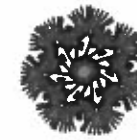
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 ROYAL HAWAIIAN

1 SECTION A-A - EAST POOL
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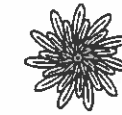
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Key:



Mediterranean Fan Palm, *Chamaerops humilis*, 24" box, multi-trunked, two



Bird of Paradise, *Strelizia reginae*, 15 gal., three



Crown of Thorns ("tropical" variety), *Euphorbia milii v. splendens*, 5 gal., twelve



Landscape uplight, 4.5 watt, 10 degree LED well light, Kichler 15767 BKT, three

Notes:

- 1/Line inside of planter with moisture barrier.
- 2/Provide drainage at base of planter.
- 3/Use drip emitters and microbubblers inside planter.
- 4/Use 3/8" AZ River Rock as ground cover.

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This document is intended as a conceptual design plan only and is not intended in any way as a construction drawing or document, nor should it be construed as such.

Royal Hawaiian Estates, east pool planter
283 E. Twin Palms Dr., Palm Springs, CA
Prepared by Paul Ortega, 760-409-4833

revised 11-12-15

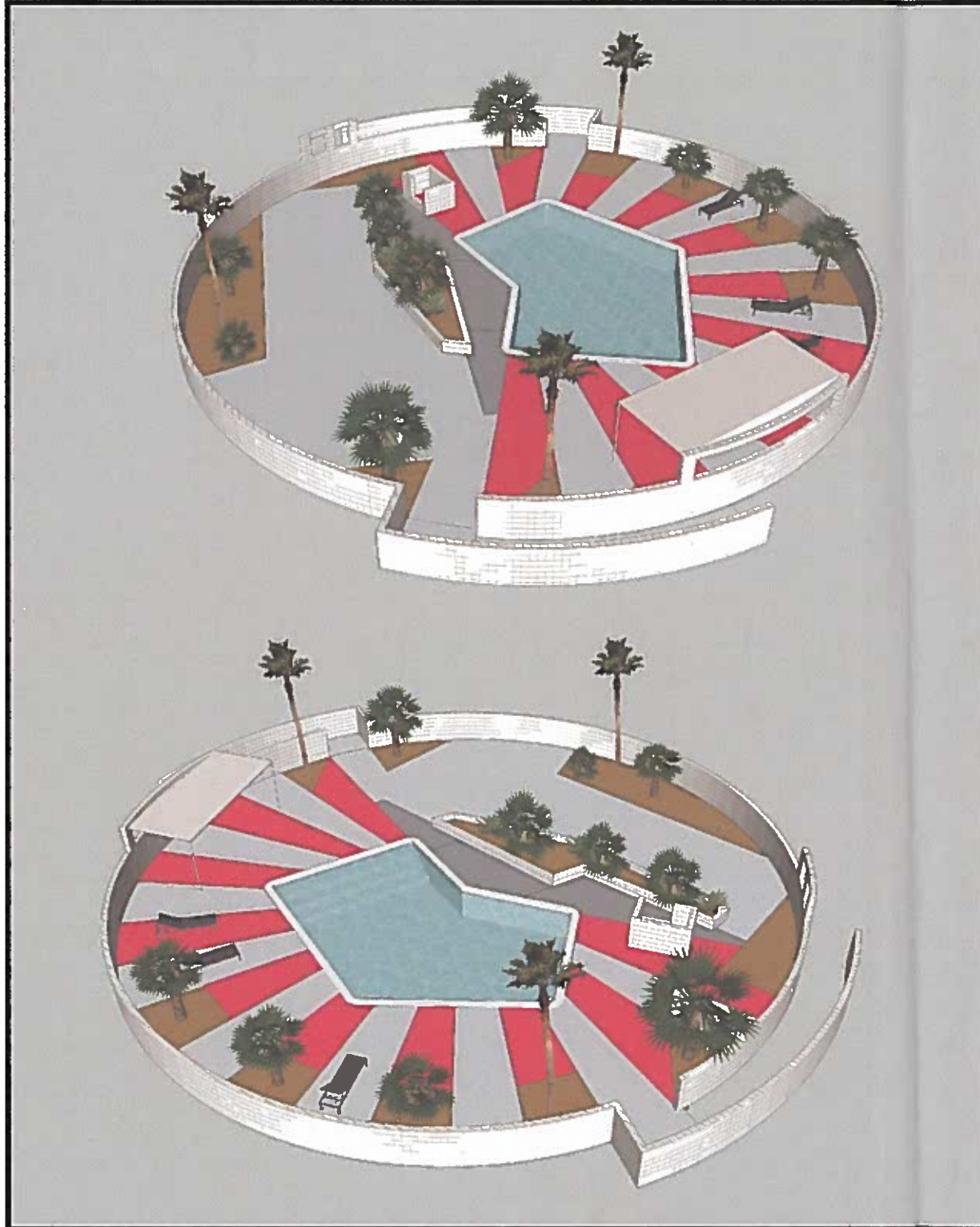
LANDSCAPE PLAN

1/8" = 1'-0"



Landscape contractors and installers should always verify quantities and measurements when preparing bids.

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1 PERSPECTIVES - WEST POOL
SCALE: N.T.S.

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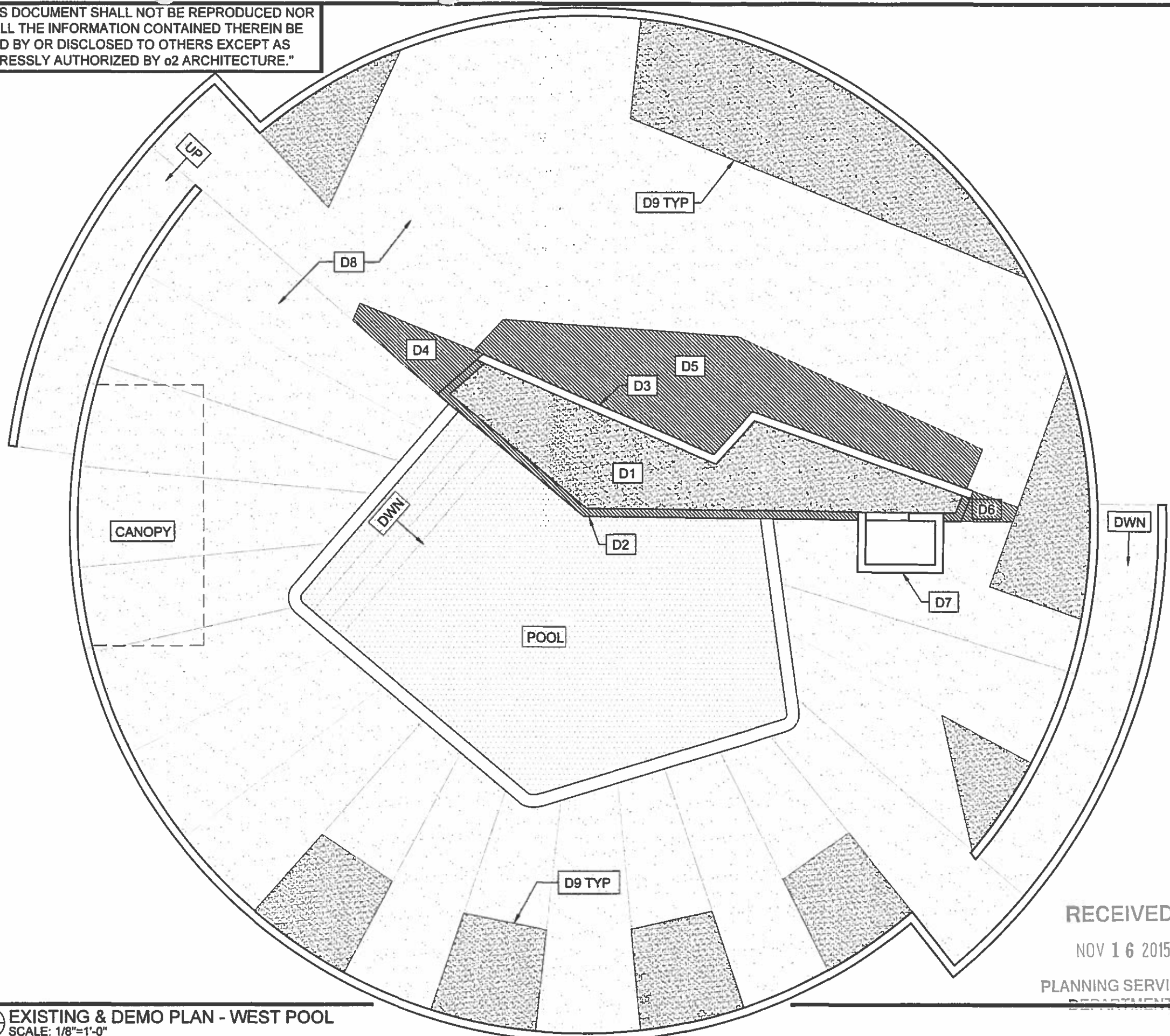
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SITE DEMOLITION KEY NOTES

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- EXISTING LANDSCAPE
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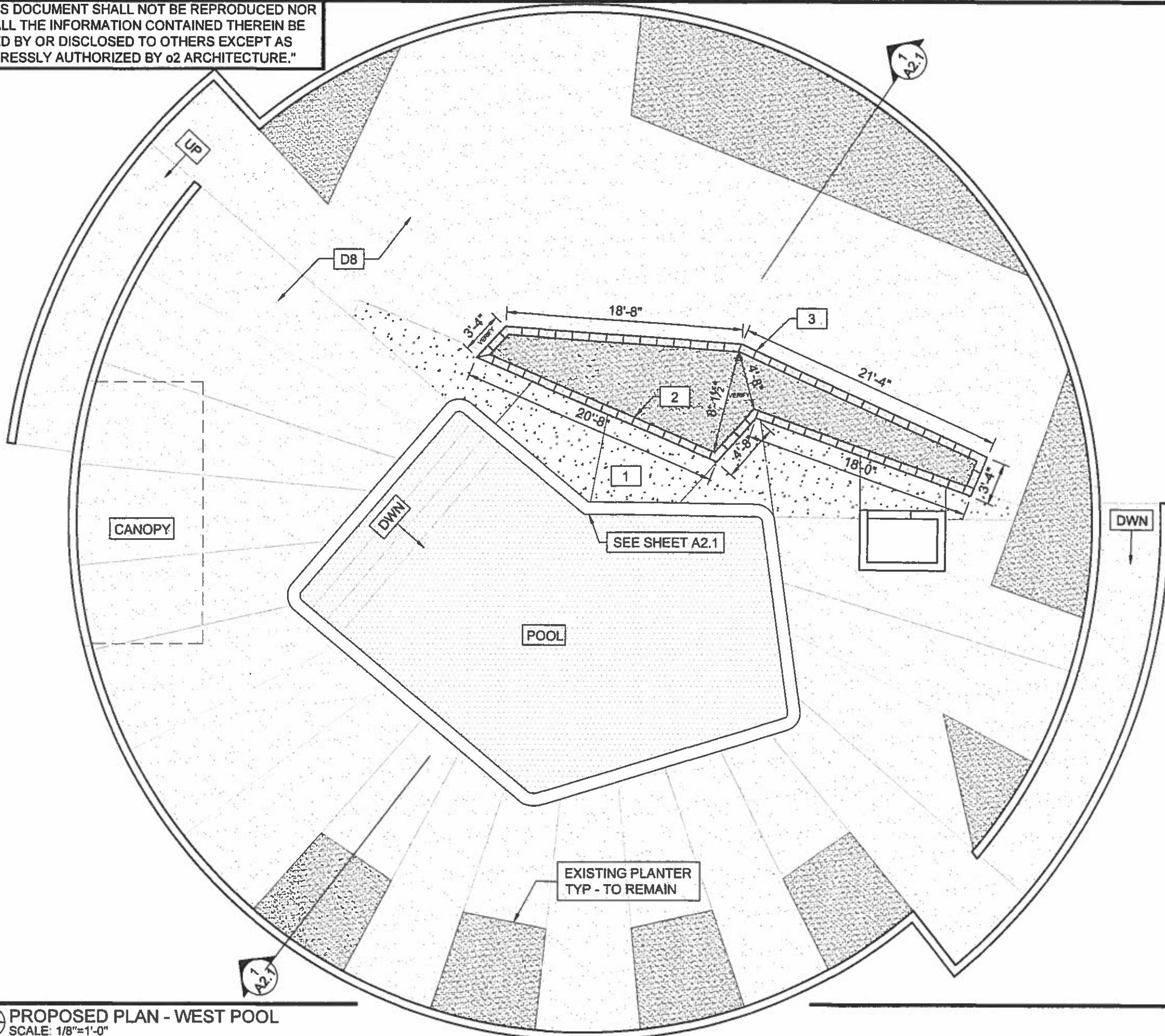
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A1.2W

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