



PLANNING COMMISSION STAFF REPORT

DATE: DECEMBER 9, 2015

SUBJECT: MARK TEMPLE, OWNER REQUESTING A MAJOR ARCHITECTURAL REVIEW FOR A NEW 4,100-SQUARE FOOT HOUSE ON A HILLSIDE LOT; AN ADMINISTRATIVE MINOR MODIFICATION TO INCREASE BUILDING HEIGHT; AND A PARCEL MAP WAIVER REQUEST TO SUBDIVIDE ONE LOT INTO TWO AT 771 LA MIRADA DRIVE, ZONE R-1-A, SECTION 22. (Case Nos. 3.3914; 7.1489 AMM; PMW 36901) (GM)

FROM: Flinn Fagg, AICP, Director of Planning Services

SUMMARY

The Planning Commission to review a request to construct a 4,100-square foot house on a hillside lot and Parcel Map Waiver to subdivide one lot into two lots and a request to increase building height to 23'-6".

RECOMMENDATION:

Approve as submitted with conditions.

ISSUES:

- Established pad height to be 568 feet.
- Point of measurement at curb to be 562 feet
- Height of house to be 23'-6" feet above curb.
- Hillside ordinance allows building height of structure to include an 18" pad plus additional 18 feet not to exceed 30 feet with an Administrative Minor Modification. (AMM)
- AMM is requesting an increase in building height of 5'-6".
- A Parcel Map Waiver can be granted by the Planning Commission Pursuant to Sections 9.62.070 and 9.63.180(b) of the Palm Springs Municipal Code (PSMC); and the California Subdivision Map Act Section 66428.

BACKGROUND:

<i>Related Relevant City Actions by Planning, Fire, Building, etc...</i>	
6/25/2014	Planning Commission approves development of adjacent hillside house.
11/9/2015	AAC reviews project and recommends approval with the following condition: <ul style="list-style-type: none">• Decomposed Granite to be Desert Gold color.

Most Recent Ownership	
2014	Mark Temple
Neighborhood Notification	
December 1, 2015	Email notification of hillside application to the Historic Tennis Club Neighborhood.
Field Check	
November 2015	Staff visited site to observe existing conditions
Notification	
December 1, 2015	Notice sent to all adjacent and abutting property owners. Staff has received no correspondence.
Details of Application Request	
Site Area	
Net Area	24,191-square feet after lot split.



Subject Site: 771 La Mirada Drive

ANALYSIS:

<i>Surrounding Property</i>	<i>Existing General Plan Designations</i>	<i>Existing Land Use</i>	<i>Existing Zoning Designations</i>
Subject Property	ER (Estate Residential), 2 Units per acre	Single-Family Residential - Vacant	R-1-A (Single-Family Residential)
North	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-A (Single-Family Residential)
South	ER (Estate Residential), 2 Units per acre	Single-Family Residential - Vacant	R-1-A (Single-Family Residential)
East	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-A (Single-Family Residential)
West	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-A (Single-Family Residential)

DEVELOPMENT STANDARDS:

	R-1-A-H	Proposed Project
Lot Area	20,000 – sq. ft.	24,191–sq. ft. (conforms)
Lot Width	120 feet	167 feet (conforms)
Lot Depth	120 feet	160 feet (conforms)
Front Yard	25 feet	25 feet (conforms)
Side Yard	20 feet	15 feet (conforms)
Rear Yard	15 feet	21 feet (conforms)
Building Height (max.)	12 feet at setback line to max 18 at a 4:12 slope	23'-6" feet – hillside with AMM (conforms)
Bldg. Coverage	35% lot coverage	17% (conforms)
House / Garage	1,500 – sq ft	4,100 - sq. ft. (conforms)
Off-street parking	2 covered spaces	2 covered provided (conforms)
Landscaping	No specific requirements	Landscape plan provided (conforms)

PROJECT DESCRIPTION:

The applicant is seeking a Parcel Map Waiver to subdivide one lot into two lots for the purpose of constructing a 4,100-square foot single-family residence. The existing 48,352-square foot lot will be split into two lots with one lot equaling 24,191-square feet and the other 23,794-square feet. The Planning Commission previously approved a request to construct a hillside house on the lot proposed to be split and is currently nearing completion. Ingress/egress to the lot will be from a newly built driveway via a 30' wide access easement. The proposed house is a one-story structure with multiple

shed style roofs. Building materials include stucco walls painted "Storm Cloud"; fascia to be galvanized metal; window frames and garage door to be standard silver.

When measuring "building height" for hillside lots, Section 91.00.10 of the PSZC allows the vertical distance plus 18" measured from the average grade at the curb adjacent to the property. The curb elevation is 562 feet with the finished floor pad at 568 feet. The total height of the proposed house is 19'-3" feet above established pad height equating to an overall height above curb at 23'-6". Approval of the AMM according to Section 94.06.01 of the PSZC will permit an increase in height of 5'-6" granted by the Planning Commission.

The landscape plan includes the planting of several large trees consisting of three, 48" box Thornless Mesquite; three 36" box Palo Verde trees and a series of shrubs, cacti, low plants, and ground cover.

Administrative Minor Modification

The applicant is requesting an increase in building height pursuant to PSZC Section 94.06.01(A)(8) – *for areas with a grade of ten (10) percent or more, modification of building height to a maximum of thirty (30) feet upon approval of a site plan, and elevations.* The request to increase the allowable building height from eighteen (18) feet to a maximum height of thirty (30) feet is permissible with an AMM. The increase in building height of 5'-6" will allow for a more interesting and better integrated house design blending into the surrounding hillside landscape. The proposed building pad sits 6' higher than the street due to topographic features, and 2' taller than the adjacent house under construction.

Parcel Map Waiver

The applicant has applied for a parcel map waiver with a subsequent action to issue a Certificate of Compliance after the approval of the waiver. The City's Municipal Code outlines the process for a map waiver. Pursuant to the Palm Springs Municipal Code (PSMC) the following sections outline the process:

Section 9.63.160, *Application:*

"An application for a waiver of a parcel map, pursuant to Section 9.62.015 shall be filed on forms and accompanied by such data and information as may be prescribed by the director of planning and zoning together with an approved description of the real property involved."

Section 9.63.170, *Referrals:*

"Copies of the application may be referred to other appropriate city departments or other public or private agencies affected, together with a request for a written recommendation to be returned to the director of planning and zoning within fifteen working days. Failure to submit such written recommendations may be deemed waiver of any objections to the application."

The application was referred to the Engineering department, which stated that parcel map waivers are used when the property to be subdivided into new parcels is already developed (thus, environmental, flood control and other related issues are already mitigated / resolved).

Section 9.62.070, *Waiver of a parcel map:*

"Except where required by the Subdivision Map Act, no parcel map need be filed or recorded provided that pursuant to the procedure set forth in Chapter 9.63, the planning commission finds and determines that the proposed division of land complies with all applicable requirements as to area, improvement and design, floodwater drainage control, appropriate improved public roads, sanitary disposal facilities, water supply availability, environmental protection, and all other requirements of the Subdivision Map Act and any applicable provisions of this title."

The Subdivision Map Act allows parcel map waivers for the division of land of less than five parcels as long as the local agency (the City) provides a procedure for waiving the requirement for a parcel map. The Municipal Code sections below outline the procedures for a map waiver.

Section 9.63.180, *Planning commission action:*

"(a) The planning commission shall consider the application within forty-five days after the filing of the application. The planning commission may grant the application, provided that it finds that the proposal complies with applicable requirements as to area, general plan, improvements and design, floodwater drainage control, appropriate improved public roads, sanitary disposal facilities, water supply availability, environmental protection, and other requirements of this title. The time limit for action may be extended by mutual consent of the subdivider and the director of planning and zoning.

(b) If a parcel map waiver approval is granted, a certificate of compliance shall be filed with the county recorder, which certificate shall describe the real properties involved, name the owners thereof, and state

that a parcel map waiver has been granted by action of the planning commission, giving the date thereof."

Section 9.63.280, *Issuance when application for waiver of parcel map approved:*

"Upon request of the owner of the property, a certificate of compliance may be issued and filed for record for any real property for which an application for waiver of the requirement of a parcel map has been approved under this chapter."

After the Planning Commission makes the required findings for the map waiver, the approval process becomes similar to a Lot Line Adjustment (in that a Certificate of Compliance is issued creating the new parcels proposed as part of the parcel map waiver. The Certificate of Compliance is processed by the Engineering Department at the staff level.)

Architectural Advisory Committee

The Architectural Advisory Committee (AAC) reviewed the project on November 9, 2015 and voted 6-2 (absent Fauber/Purnel) to recommend approval to the Planning Commission as submitted with one condition:

1. Decomposed Granite to be Desert Gold color.

ARCHITECTURAL APPROVAL

Although there are no required findings for applications for architectural approval which do not require environmental assessments, the Zoning Ordinance Section 94.04.00(D)(1-9) provides guidelines for the architectural review of development projects to determine that the proposed development will provide a desirable environment for its occupants as well as being compatible with the character of adjacent and surrounding developments, and whether aesthetically it is of good composition, materials, textures and colors. Conformance is evaluated, based on consideration of the following:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The applicant is seeking a Parcel Map Waiver to subdivide one lot into two lots for the purpose of constructing a 4,100-square foot single-family residence. The existing 48,352-square foot lot will be split into two lots with one lot equaling 24,191-square feet and the other 23,794-square feet. Ingress/egress to the newly split lot will be at the end of La Mirada Drive via a 30' access easement leading to a driveway

servicing both lots. The new house will be sited on the lot in a north/south orientation protecting views for the newly constructed house to the east and the existing adjacent home to the west.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The surrounding properties at the end of La Mirada Drive are of similar one-story design, with both flat and angled roofs terraced into the gentle sloping hillside. The proposed house is a one-story structure with multiple shed style roofs. Building materials include stucco walls painted "Storm Cloud"; fascia to be galvanized metal; window frames and garage door to be standard silver. The proposed house will not be similar to the adjacent house by utilizing different roof angles, building materials and color scheme avoiding monotonous repetition.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The maximum height of the proposed project is 23'-6" as measured from top of curb. Pursuant to Section 94.06.01(A)(8) of the PSZC. "*hillside properties have a maximum allowable height of 30 feet but require an approval of an Administrative Minor Modification to increase height*". The proposed one-story roof at 23'-6" is compatible with the heights found within the surrounding neighborhood. The adjacent new house has a maximum height of 19'-5" and sits lower in overall elevation. Other existing houses along La Mirada Drive are homes of similar height. All other setback requirements have been met.

4. *Building design, materials and colors to be sympathetic with desert surroundings;*

AND

5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously,*

AND

6. *Consistency of composition and treatment,*

Building materials include stucco walls painted "Storm Cloud"; raked stucco columns on all facades; fascia to be galvanized metal; window frames standard silver; garage doors to include opaque panels with standard silver frame; and roof material

to be fibertite membrane gravel color. The use of roof overhangs will provide solar control for expansive glass window systems.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The site currently is in a semi-natural state with large boulders, and scrub brush. Some grading has occurred associated with the construction of the adjacent home. The landscape plan includes the planting of several large trees consisting of three, 48" box Thornless Mesquite; three 36" box Palo Verde trees and a series of shrubs, cacti, low plants, and ground cover. The proposed water-efficient plants are located in a manner that conforms to the topography of the site and will be consistent with desert surroundings.

Findings of the Administrative Minor Modification

1. *The requested minor modification is consistent with the General Plan, applicable Specific Plan(s) and overall objectives of the zoning ordinance.*

There is no General Plan Policy that would be adversely affected by this modification nor are there any specific plans associated with this property. The Palm Springs Zoning Code (PSZC), Section 94.06.01(A)(5) and 94.06.01(A)(8) specifically allows for the requests.

2. *The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the minor modification.*

The request for an increase in building height from eighteen (18) feet to a maximum of 23'-6" due to topographic features will not impact surrounding properties. The request to increase building height by 5'-6" will allow for a one-story house similar in design to adjacent and surrounding properties. The established building pad elevation is 568 feet with the highest portion of the house at 592 feet. The increase in height is due to topographic features of the lot and will limit the amount of grading required to lower the building pad height and can be considered a minor modification. Residences on hillside lots are allowed a maximum height of 30 feet and the proposed height of the project is similar to maximum heights seen in the adjacent properties.

3. *The approval of the minor modification will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity.*

All building and renovations will be built to the Uniform Building Code, and Palm Springs Zoning Code as modified by this Administrative Minor Modification, and Fire Code.

4. *The approval of the minor modification is justified by environmental features, site conditions, location of existing improvements, or historic development patterns of the property or neighborhood.*

The modification of building height is warranted due to the topography and physical characteristics of the site with the desire to limit the amount of grading required. The proposed new construction will meet all other R-1-A-H zone established setbacks. Staff has determined the nature of the height increase request is in harmony with the current standards of the neighborhood, and is in keeping with historical development patterns of the surrounding area.

Findings of the Parcel Map Waiver

The approval of the map waiver is dependent on the Planning Commission findings that the proposal complies with applicable requirements as to area, general plan, improvements and design, floodwater drainage control, appropriate improved public roads, sanitary disposal facilities, water supply availability, environmental protection, and other requirements of this title.

1. *Area*

The R-1-A-H Zone specifies minimum lot dimension and area requirements when a new subdivision is proposed. An analysis of these requirements and the proposed lot split is provided below:

	R-1-A-H Zone	Proposed Project (approximately)	
		Parcel 1 (subject lot)	Parcel 2
Lot Area	20,000 square feet	24,191 sq. ft.	23,794 sq. ft.
Lot Width	130 feet	167 feet	154 feet
Lot Depth	120 feet	160 feet	155 feet

Therefore, the proposed lot split is consistent with the Zoning Code development standard requirements.

2. *General Plan*

The General Plan designation is ER (Estate Residential). The General Plan allows for residential uses with a maximum of 2 dwelling units per acre. According to the General Plan the ER designation: *“provides for the development of large-lot single-family residences that are custom in design with minimum lot sizes of 20,000-square feet”* The proposed subdivision will allow for one large lot to be subdivided into two smaller lots while meeting the requirements of the R-1-A-H zone.

3. *Improvements and design*

Street improvements are already installed. There are no improvements proposed for the division of the lot in question.

4. *Floodwater drainage control, appropriate improved public roads, sanitary disposal facilities, water supply availability, and environmental protection.*

The subject property is not located within a flood zone. Both proposed parcels have access to an improved public road. Sanitary sewer service is available in this area. Water service is available subject to the terms, conditions, limitations and restrictions set forth by Desert Water Agency. The streets are already improved and all utilities exist and are operating on the premises.

ENVIRONMENTAL DETERMINATION:

Pursuant to the California Environmental Quality Act (CEQA) Guidelines, the project is a Class III exemption and is categorically exempt per Section 15303(a) (New Single-Family Residence and Accessory Structure).

In Addition:

Pursuant to Section 15315 (Minor Land Divisions) of the California Environmental Quality Act (CEQA) guidelines, the proposed project is categorically exempt because:

1. It is fewer than four parcels,
2. Consistent with the General Plan and Zoning Ordinance (no variances or exceptions are required),
3. All services and access to the proposed parcels to local standards are available,
4. The parcel was not involved in a division of a larger parcel within the previous two years, and
5. The parcel does not have an average slope greater than twenty percent.



Glenn Mlaker, AICP
Associate Planner



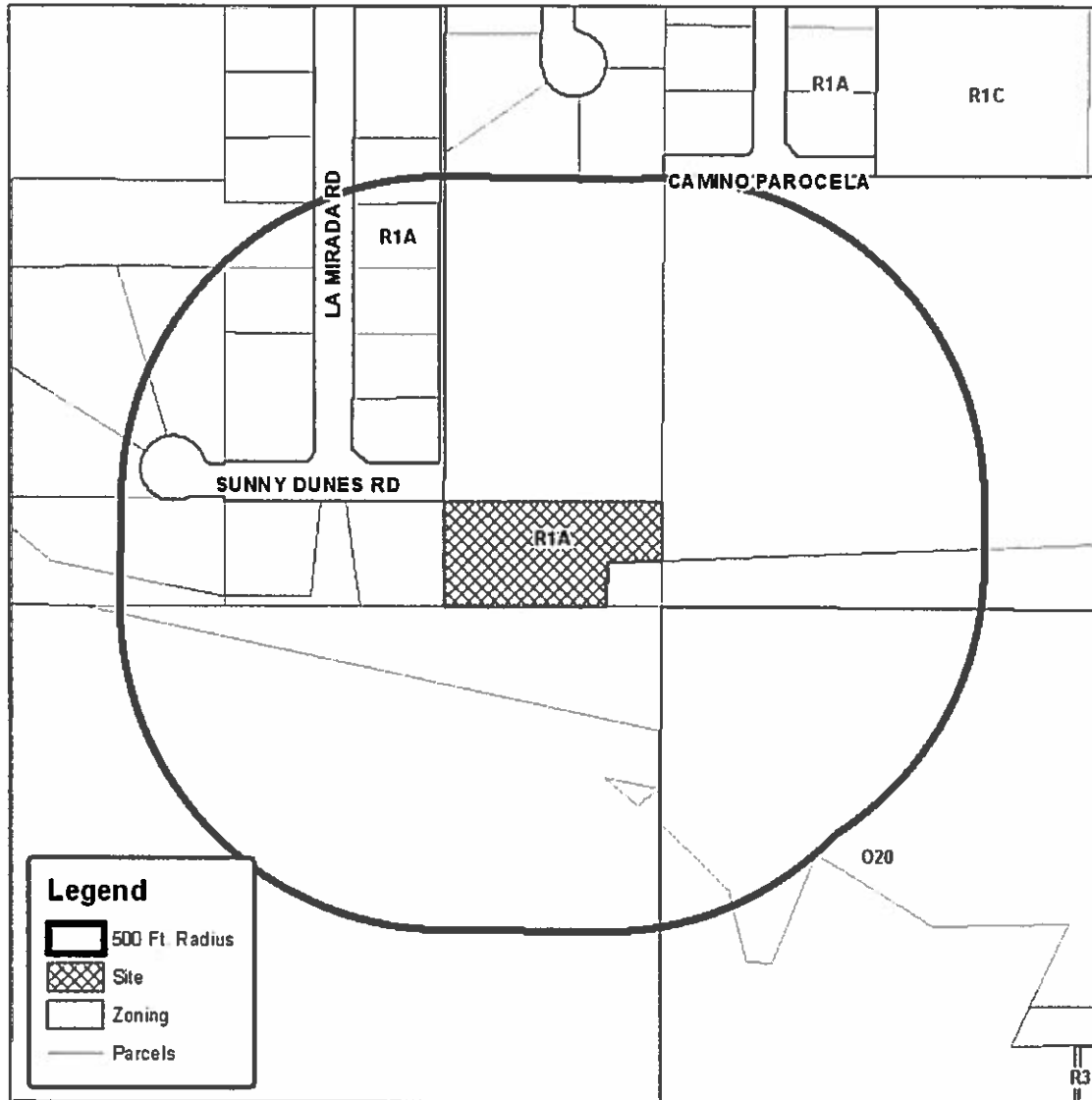
Flinn Fagg, FAICP
Director of Planning Services

Attachments:

1. Vicinity Map
2. Justification Letter from Applicant
3. Minutes of November 9, 2015 AAC meeting
4. Site Photos
5. Material Board
6. Image of House
7. Landscape Plans
8. Building Elevations
9. Floor Plan
10. Roof Plan
11. Grading Plan



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING CASE NO. 7.1489 AMM; 3.3914 MAJ; 36901 PMW FOR AN ADMINISTRATIVE MINOR MODIFICATION FOR AN INCREASE OF BUILDING HEIGHT TO 23'.6" FEET; A MAJOR ARCHITECTURAL APPROVAL FOR THE CONSTRUCTION OF A 4,100-SQUARE FOOT HOUSE ON A HILLSIDE LOT; AND A PARCEL MAP WAIVER TO SUBDIVIDE ONE LOT INTO TWO LOTS LOCATED AT 771 LA MIRADA DRIVE, ZONE R-1-A, SECTION 22.

THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

A. Mark Temple, ("Applicant") has filed an application with the City pursuant to Section 94.04.00 of the Zoning Ordinance for the construction of a new a 4,100-square foot house on a hillside lot located at 771 La Mirada Drive, Zone R-1-A, Section 22.

B. On November 9, 2015, the Architectural Advisory Committee voted 6-2 to recommend approval of the project as submitted to the Planning Commission with one condition:

1. Decomposed Granite to be Desert Gold color.

C. On December 9, 2015, a public meeting on the application to consider Case 7.1489 AMM; 3.3914 MAJ; 36901 PMW was held by the Planning Commission in accordance with applicable law.

D. The proposed project is considered a "project" pursuant to the terms of the California Environmental Quality Act ("CEQA"), and has been determined to be Categorically Exempt as a Class III exemption (single-family residence) pursuant to Section 15303(a) of the CEQA Guidelines

And,

Pursuant to Section 15315 (Minor Land Divisions) of the California Environmental Quality Act (CEQA) guidelines, the proposed project is categorically exempt because:

1. It is fewer than four parcels,
2. Consistent with the General Plan and Zoning Ordinance (no variances or exceptions are required),
3. All services and access to the proposed parcels to local standards are available,
4. The parcel was not involved in a division of a larger parcel within the previous two years, and

5. The parcel does not have an average slope greater than twenty percent.
- E. The Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including, but not limited to, the staff report, and all written and oral testimony presented.
- F. Pursuant to Section 94.04.00 of the Palm Springs Zoning Code, the Planning Commission finds:

1. Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;

The applicant is seeking a Parcel Map Waiver to subdivide one lot into two lots for the purpose of constructing a 4,100-square foot single-family residence. The existing 48,352-square foot lot will be split into two lots with one lot equaling 24,191-square feet and the other 23,794-square feet. Lot sizes are consistent with other lots within the neighborhood. Ingres/egress to the newly split lot will be at the end of La Mirada Drive via a 30' access easement leading to a driveway servicing both lots. The new house will be sited on the lot in a north/south orientation protecting views for the newly constructed house to the east and the existing adjacent home to the west.

2. Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;

The surrounding properties at the end of La Mirada Drive are of similar one-story design, with both flat and angled roofs terraced into the gentle sloping hillside. The proposed house is a one-story structure with multiple shed style roofs. Building materials include stucco walls painted "Storm Cloud"; fascia to be galvanized metal; window frames and garage door to be standard silver. The proposed house will not be similar to the adjacent house by utilizing different roof angles, building materials and color scheme avoiding monotonous repetition.

3. Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;

The maximum height of the proposed project is 23'-6" as measured from top of curb. Pursuant to Section 94.06.01(A)(8) of the PSZC. "hillside properties may be permitted a maximum allowable height of 30 feet subject to an approval of an

Administrative Minor Modification to increase height". The proposed one-story roof at 23'-6" is compatible with the heights found within the surrounding neighborhood. The adjacent new house has a maximum height of 19'-5" and sits lower in overall elevation. Other existing houses along La Mirada Drive are homes of similar height. All other required front, side, and rear yard setbacks for the R-1-A-H zone have been met.

4. Building design, materials and colors to be sympathetic with desert surroundings;

5. Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously; and,

6. Consistency of composition and treatment;

Building materials include stucco walls painted "Storm Cloud"; raked stucco columns on all facades; fascia to be galvanized metal; window frames standard silver; garage doors to include opaque panels with standard silver frame; and roof material to be fibertite membrane gravel color. The use of roof overhangs will provide solar control for expansive glass window systems.

7. Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;

The site currently is in a semi-natural state with large boulders, and scrub brush. Some grading has occurred associated with the construction of the adjacent home. The landscape plan includes the planting of several large trees consisting of three, 48" box Thornless Mesquite; three 36" box Palo Verde trees and a series of shrubs, cacti, low plants, and ground cover. The proposed water-efficient plants are located in a manner that conforms to the topography of the site and will be consistent with desert surroundings.

G. Pursuant to Section 94.06.01(A)(8) findings for an Administrative Minor Modification of the Palm Springs Zoning Code, the Planning Commission finds:

1. The requested minor modification is consistent with the General Plan, applicable Specific Plan(s) and overall objectives of the zoning ordinance.

There is no General Plan Policy that would be adversely affected by this

modification nor are there any specific plans associated with this property. The Palm Springs Zoning Code (PSZC), Section 94.06.01(A)(8) specifically allows for the requests.

2. The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the minor modification.

The request for an increase in building height from eighteen (18) feet to a maximum of 23'-6" due to topographic features will not impact surrounding properties. The request to increase building height by 5'-6" will allow for a one-story house similar in design to adjacent and surrounding properties. The established building pad elevation is 568 feet with the highest portion of the house at 592 feet. The increase in height is due to topographic features of the lot and will limit the amount of grading required to lower the building pad height and can be considered a minor modification. Residences on hillside lots are allowed a maximum height of 30 feet and the proposed height of the project is similar to maximum heights for adjacent properties.

3. The approval of the minor modification will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity.

All building and renovations will be built to the Uniform Building Code, and Palm Springs Zoning Code as modified by this Administrative Minor Modification, and Fire Code.

4. The approval of the minor modification is justified by environmental features, site conditions, location of existing improvements, or historic development patterns of the property or neighborhood.

The modification of building height is warranted due to the topography and physical characteristics of the site with the desire to limit the amount of grading required. The proposed new construction will meet all R-1-A-H zone established setbacks. Staff has determined the nature of the height increase request is in harmony with the current standards of the neighborhood, and is in keeping with historical development patterns of the surrounding area.

H. Pursuant to Title of the Palm Spring Municipal Code findings for a Parcel Map Waiver the Planning Commission finds:

The approval of the map waiver is dependent on the Planning Commission findings that the proposal complies with applicable requirements as to area, general plan, improvements and design, floodwater drainage control, appropriate improved public roads, sanitary disposal facilities, water supply availability, environmental protection, and other requirements of this title.

1. Area

The R-1-A-H Zone specifies minimum lot dimension and area requirements when a new subdivision is proposed. An analysis of these requirements and the proposed lot split is provided below:

	R-1-A-H Zone	Proposed Project (approximately)	
		Parcel 1 (subject lot)	Parcel 2
Lot Area	20,000 square feet	24,191 sq. ft.	23,794 sq. ft.
Lot Width	130 feet	167 feet	154 feet
Lot Depth	120 feet	160 feet	155 feet

Therefore, the proposed lot split is consistent with the Zoning Code development standard requirements.

2. General Plan

The General Plan designation is ER (Estate Residential). The General Plan allows for residential uses with a maximum of 2 dwelling units per acre. According to the General Plan the ER designation: *“provides for the development of large-lot single-family residences that are custom in design with minimum lot sizes of 20,000-square feet”* The proposed subdivision will allow for one large lot to be subdivided into two smaller lots while meeting the requirements of the R-1-A-H zone and the ER General Plan Designation.

3. Improvements and design

Street improvements are already installed. There are no improvements proposed for the division of the lot in question.

4. Floodwater drainage control, appropriate improved public roads, sanitary disposal facilities, water supply availability, and environmental protection.

The subject property is not located within a flood zone. Both proposed parcels have access to an improved public road. Sanitary sewer service is available in this area. Water service is available subject to the terms, conditions, limitations and restrictions set forth by Desert Water Agency. The streets are already improved and all utilities exist and are operating on the premises.

THE PLANNING COMMISSION RESOLVES:

Based upon the foregoing, the Planning Commission hereby approves Case 3.3914

MAJ; 7.1489 AMM; 36901 PMW for the construction of a 4,100-square foot house on a hillside lot; an Administrative Minor Modification to increase building height; and a Parcel Map Waiver requesting to subdivide on lot into two located at 771 La Mirada Drive subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 9th day of November, 2015.

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

Flinn Fagg, AICP
Director of Planning Services

RESOLUTION NO.

EXHIBIT A

Case 3.3914 MAJ; 7.1489 AMM; 36901 PMW

Mark Temple

771 La Mirada Drive

December 9, 2015

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case 3.3914 MAJ; 7.1489 AMM; 36901 PMW and, except as modified by the conditions below.
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans on file in the Planning Division dated September 28, 2015, except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.3914 MAJ; 7.1489 AMM; 36901 PMW. The City

of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of this Conditional Use Permit shall be valid for a period of two (2) years from the effective date of the approval. Once the use is implemented, the Conditional Use Permit does not have a time limit, provided the project has remained in compliance with all conditions of approval.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.
- ADM 9. Cause No Disturbance. The owner shall monitor outdoor parking areas, walkways, and adjoining properties and shall take all necessary measures to ensure that customers do not loiter, create noise, litter, or cause any disturbances while on-site. The owner and operator shall ensure that at closing time, all customers leave the property promptly and that the property is clean and secure before the owner/operator leaves the premises. The Police Chief, based upon complaints and/or other cause, may require on-site security officers to ensure compliance with all City, State, and Federal laws and conditions of approval. Failure to comply with these conditions may result in revocation of this permit, temporary business closure or criminal prosecution.

ADM 10. Grounds for Revocation. Non-compliance with any of the conditions of this approval or with City codes and ordinances, State laws; any valid citizen complaints or policing and safety problems (not limited to excessive alcohol consumption, noise, disturbances, signs, etc) regarding the operation of the establishment; as determined by the Chief of Police or the Director of Building and Safety, may result in proceedings to revoke the Conditional Use Permit. In addition, violations of the City Codes and Ordinances will result in enforcement actions which may include citations, arrest, temporary business closure, or revocation of this permit in accordance with law.

PLANNING DEPARTMENT CONDITIONS

- PLN 1. Roof color to be no lighter than off-white in color
- PLN 2. Approval is to be pursuant to plans date stamped September 28, 2015.
- PLN 3. Architectural Advisory Committee recommended approval as submitted with one condition that Decomposed Granite to be Desert Gold color.
- PLN 4. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 5. Notice to future buyers on views. All prospective buyers of 771 LA Mirada Drive shall be put on notice that there are no written or implied rights to the preservation of scenic views from any lot.
- PLN 6. Smart Controller for landscape irrigation. The applicant is to use "smart controllers" available from the Desert Water Agency for water efficiency in the irrigation system.

FIRE DEPARTMENT CONDITIONS

These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review.

FID 1 These conditions are subject to final plan check and review. Initial fire department conditions have been determined on the site plan received and dated

September 28, 2015. Additional requirements may be required at that time based on revisions to site plans.

FID 2 Fire Department Conditions were based on the *2013 California Fire Code* as adopted by City of Palm Springs, Palm Springs Municipal Code and latest adopted NFPA Standards. Four (4) complete sets of plans for private fire service mains, fire alarm, or fire sprinkler systems must be submitted at time of the building plan submittal.

FID 3 PLANS AND PERMITS

Complete plans for private fire service mains or fire sprinkler systems should be submitted for approval well in advance of installation. Plan reviews can take up to 20 working days. Submit a minimum of four (4) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

City of Palm Springs
Building and Safety Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. Inspection fees are charged at the fully burdened hourly rate of the fire inspector. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall indicate all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supportive data (calculations and manufacturer's technical data sheets) shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 4 Buildings and Facilities (CFC 503.1.1): Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured

by an approved route around the exterior of the building or facility.

Fire Personnel Access Requirements: Provide fire personnel 4 ft. access gates and minimum 4 ft. clearance around entire house.

- FID 5 Fire Apparatus Access Road Dimensions (CFC 503.2.1):** Fire apparatus access roads shall have an unobstructed width of not less than 24 feet except for approved security gates in accordance with Section 503.6 and an unobstructed vertical clearance of not less than 13 feet 6 inches.

Project Notes: Driveway width shall not be less than 24 feet

- FID 6 Dead Ends (CFC 503.2.5):** Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with approved provisions for the turning around of fire apparatus. The City of Palm Springs has two approved turn around provisions. One is a cul-de-sac with an outside turning radius of 45 feet from centerline. The other is a hammerhead turnaround meeting the Palm Springs Public Works and Engineering Department standard dated 9-4-02.

Project Notes: Driveway meets the definition of a fire apparatus access road

- FID 7 Surface (CFC 503.2.3):** Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (73,000 lbs. GVW) and shall be surfaced so as to provide all-weather driving capabilities.

- FID 8 NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2013 Edition, as modified by local ordinance.

- FID 9 Operational Fire Hydrant(s) (CFC 507.1, 507.5.1 & 1412.1):** Operational fire hydrant(s) shall be installed within 250 feet of all combustible construction. They shall be installed and made serviceable prior to and during construction. No landscape planting, walls, or fencing is permitted within 3 feet of fire hydrants, except ground cover plantings.

- FID 10 Security Gates (CFC 503.6):** The installation of security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. Secured automated vehicle gates or entries shall utilize a combination of a Tomar Strobeswitch™, or approved equal, and an approved Knox key electric switch. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200 and an approved

Knox key electric switch. Secured non-automated vehicle gates or entries shall utilize an approved padlock or chain (maximum link or lock shackle size of ¼ inch). Approved security gates shall be a minimum of 14 feet in unobstructed drive width on each side with gate in open position.

In the event of a power failure, the gates shall be defaulted or automatically transferred to a fail safe mode allowing the gate to be pushed open without the use of special knowledge or any equipment. If a two-gate system is used, the override switch must open both gates.

If there is no sensing device that will automatically open the gates for exiting, a fire department approved Knox electrical override switch shall be placed on each side of the gate in an approved location.

FID 11 Key Box Required to be Installed (CFC 506.1): Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be flush mount type and shall contain keys to gain necessary access as required by the fire code official.

Secured emergency access gates serving apartment, town home or condominium complex courtyards must provide a key box in addition to association or facility locks. The nominal height of Knox lock box installations shall be 5 feet above grade. Location and installation of Knox key boxes must be approved by the fire code official.

Key Box Contents (CFC 506.1): The Knox key box shall contain keys to all areas of ingress/egress, alarm rooms, fire sprinkler riser/equipment rooms, mechanical rooms, elevator rooms, elevator controls, plus a card containing the emergency contact people and phone numbers for the building/complex.

FID 12 Residential Smoke and Carbon Monoxide Alarms Installation with Fire Sprinklers - R-3 & Household Fire Alarm System (CFC 907.2.11.2, CRC R314 & R315 and California Health & Safety Code 17926): Provide and Install Residential Smoke and Carbon Monoxide Alarms. Alarms shall receive their primary power from the building wiring, and shall be equipped with a battery backup. In new construction, alterations, repairs and additions, smoke and carbon monoxide alarms shall be interconnected. The operation of any smoke alarm or the fire sprinkler flow switch will cause all smoke alarms within the dwelling to sound and activate the exterior horn/strobe. The operation of any carbon monoxide alarm will cause all carbon monoxide alarms within the dwelling to sound.

FID 13 Audible Residential Water Flow Alarms - NFPA 13D Fire Sprinklers & Household Fire Alarm System (CFC 903.4.2): An approved audible sprinkler flow alarm (Wheelock horn/strobe with WBB back box or equal) shall be provided on the exterior of the building in an approved location. It shall be powered by the household fire alarm system. The horn/strobe shall be outdoor rated.

FID 14 FIRE HAZARD SEVERITY ZONES (CFC 4901): Geographical areas designated pursuant to California Public Resources Codes, Sections 4201 through 4204 and classified as Very High, High, or Moderate in State Responsibility Areas or as Local Agency Very High Fire Hazard Severity Zones designated pursuant to California Government Code, Sections 51175 through 51189. The California Code of Regulations, Title 14, Section 1280 entitles the maps of these geographical areas as "Maps of the Fire Hazard Severity Zones in the State Responsibility Area of California."

FID 15 LOCAL AGENCY VERY HIGH FIRE HAZARD SEVERITY ZONE. An area designated by a local agency upon the recommendation of the CDF Director pursuant to Government Code, Sections 51177(c), 51178 and 5118, that is not a state responsibility area and where a local agency, city, county, city and county, or district is responsible for fire protection.

- **Construction methods and requirements within established limits (CFC 4905.2):** Within the limits established by law, construction methods intended to mitigate wildfire exposure shall comply with the wildfire protection building construction requirements contained in the California Building Standards Code, including the following:

1. California Building Code, Chapter 7A,
2. California Residential Code, Section R327,
3. California Referenced Standards Code, Chapter 12-7A and this chapter.

Project Notes: Verify exclusion/inclusion of VHFHSZ. Some areas of La Mirada are within the fire severity zone and some are outside of zone.

ENGINEERING CONDITIONS

The Engineering Division recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

STREETS

ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit.

LA MIRADA DRIVE (EAST) (also known as W. SUNNY DUNES ROAD)

ENG 2. Remove street improvements as necessary to construct a driveway. All broken or off grade street improvements shall be repaired or replaced.

SANITARY SEWER

ENG 3. All sanitary facilities shall be connected to the public sewer system. The existing sewer service to the property shall be used for new sanitary facilities. New laterals shall not be connected at manholes.

ENG 4. Construct an 8 inch V.C.P. sewer main east along La Mirada Drive (east) W. Sunny Dunes Road located 5 feet from centerline from the existing manhole located at the intersection of La Mirada Drive (north) and La Mirada Drive (east) (sunny Dunes), use existing sewer plan on file (3C-1-14) in the Public works/Engineering Department and also in accordance with City of Palm Springs Standard Drawings #403 and #405. All sewer mains constructed by the applicant and to become part of the public sewer system shall be digitally video recorded by the City prior to acceptance of the sewer system for maintenance by the City. Any defects of the sewer main shall be removed, replaced, or repaired to the satisfaction of the City Engineer prior to acceptance.

GRADING

ENG 5. Submit a Precise Grading Plan prepared by a California registered Civil engineer to the Engineering Division for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.

- a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Division for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Division with current and valid

Certificate(s) of Completion from AQMD for staff that has completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Division prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Report.

- ENG 6. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist. The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at (760) 699-6800, to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.
- ENG 7. In accordance with an approved PM-10 Dust Control Plan, perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 8. Perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 9. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 10. Prior to issuance of grading permit, the applicant shall provide verification to the City that the fee has been paid to the Agua Caliente Band of Cahuilla Indians in accordance with the Tribal Habitat Conservation Plan (THCP).

- ENG 11. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Division with the first submittal of a grading plan.
- ENG 12. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided. No certificate of occupancy will be issued until the required certification is provided to the City Engineer.
- ENG 13. In cooperation with the Riverside County Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 73-710 Fred Waring Drive, Palm Desert (Phone: 760-776-8208).

DRAINAGE

- ENG 14. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMPs).
- ENG 15. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$9,212.00 per acre per Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

GENERAL

- ENG 16. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.

- ENG 17. All proposed utility lines shall be installed underground.
- ENG 18. All existing utilities shall be shown on the improvement plans required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 19. Upon approval of any improvement plan by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval of the City Engineer.
- ENG 20. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Division prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 21. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 22. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.

MAP

- ENG 23. The applicant shall submit an application to the Engineering Division for a Certificate of Compliance, prepared by either an appropriately licensed registered Civil Engineer or a Land Surveyor. The Certificate of Compliance shall be approved prior to issuance of a building permit on any of the two parcels comprising Tentative Parcel Map No. 36901.

TRAFFIC

- ENG 24. A minimum of 48 inches of clearance for handicap accessibility shall be provided on public sidewalks or pedestrian paths of travel within the development.
- ENG 25. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the

City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

ENG 26. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

BUILDING DEPARTMENT CONDITIONS

BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

END OF CONDITIONS

Canyon PS, LLC

698 Calle Palo Fierro
Palm Springs, CA 92264
760/323-5310
Fax 760/323-4303

City of Palm Springs
C/O Planning Department
3200 East Tahquitz Canyon
Palm Springs, CA 92262

Dear Planning Department:

Re: Justification Letter

Canyon PS, LLC (Mark Temple and Larry Hochanadel) is submitting a Major Architectural and parcel map to build the second home on the 24,191 square foot lot. This home fits into the community and maintains the minimum 20,000 square foot lot sizes. The mid century/modern design is incorporated into this home and is over 4,100 livable square feet in size with a 4 car garage, pool and landscape areas.

We hope you and the architectural and planning boards like are plans and designs and look forward to starting the project. Thank you for your time, help and direction in this process. Please do not hesitate to call if you have any questions or comments.

Very truly yours,



Mark Temple

RECEIVED

SEP 28 2015

PLANNING SERVICES
DEPARTMENT

3 . 3 0 1 4

M/S/C (Fredricks/Secoy-Jensen, 6-2 absent Fauber/Purnel) Approve, as submitted subject to:

1. Palm Trees having a minimum trunk height of 10 feet.

6. **MARK TEMPLE REQUESTING A MAJOR ARCHITECTURAL REVIEW FOR A NEW 4,100-SQUARE FOOT HOUSE ON A HILLSIDE LOT; AN ADMINISTRATIVE MINOR MODIFICATION TO INCREASE BUILDING HEIGHT; AND A PARCEL MAP WAIVER REQUEST TO SUBDIVIDE ONE LOT INTO TWO AT 771 LA MIRADA DRIVE, ZONE R-1-A, SECTION 22 (CASE NOS. 3.3914, 7.1489 AMM, PMW 36901). (GM)**

Associate Planner Mlaker provided an overview of the proposed project.

Member Secoy-Jensen verified the height of the adjacent house.

MARK TEMPLE, applicant, provided details and was available for questions.

Member Lockyer questioned why additional height is needed.

Member Secoy-Jensen asked about the form of the house.

Chair Fredricks questioned if there will be boulder, rocks or decomposed granite - a mixture of boulders and decomposed granite.

M/S/C (Fredricks/Song, 6-2 absent Fauber/Purnel) Approve, as submitted subject to:

1. Decomposed Granite should be one color in Desert Gold.

7. **GIBRALTAR CAPITAL FUND II, LLC FOR A MINOR ARCHITECTURAL APPLICATION TO AMEND A PREVIOUSLY APPROVED LANDSCAPE PLAN CONVERTING 13,641-SQUARE FEET OF TURF AREA TO DESERTSCAPE LOCATED AT THE NORTHGATE SHOPPING CENTER, 2500 NORTH PALM CANYON DRIVE, ZONE C-1 (CASE 3.2090 MAA). (GM)**

Member Song noted a property-related conflict of interest and would not be participating in the discussion and vote.

Associate Planner Mlaker presented the proposed project.

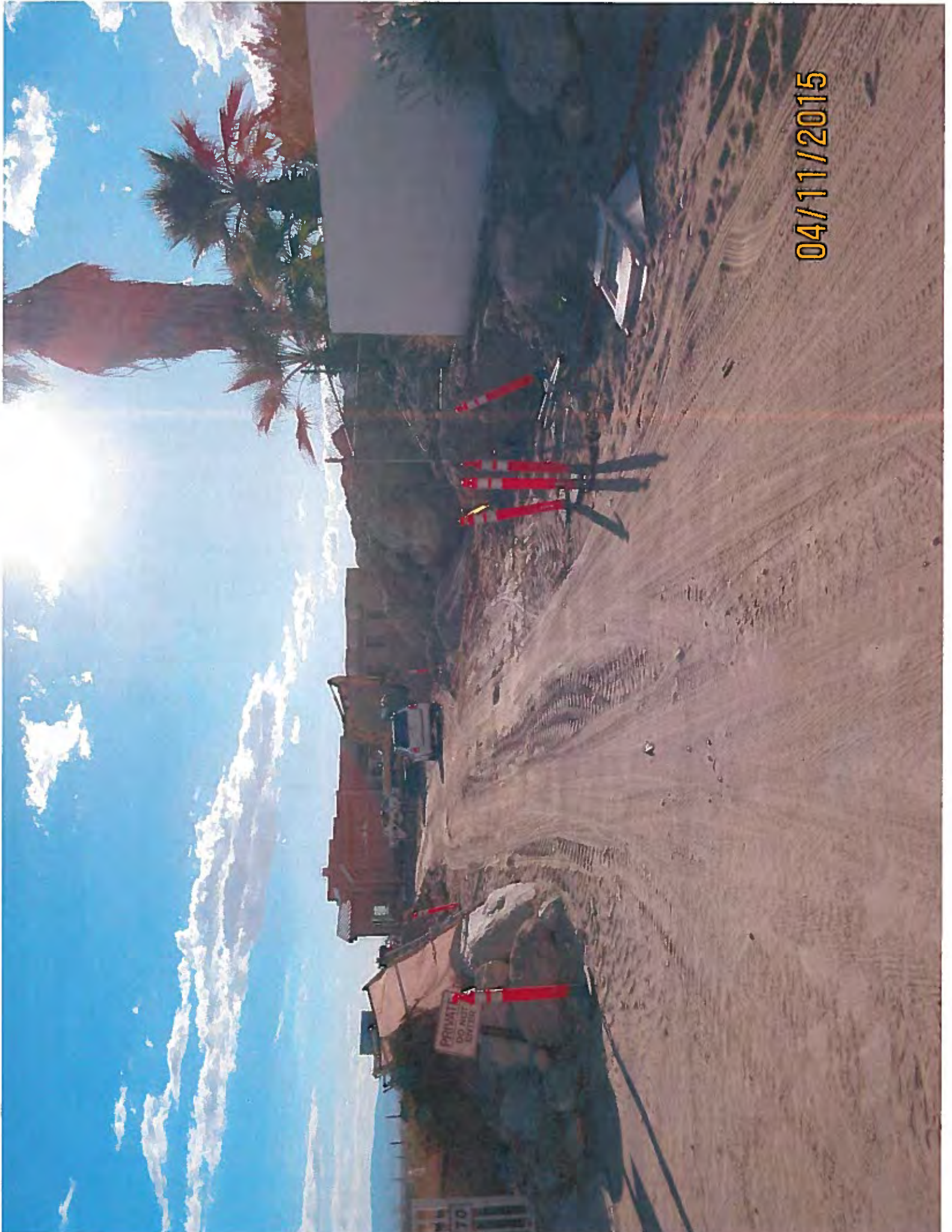
Chair Fredricks noted that the plant material has doubled of what was originally proposed and the trees have been added.



04/11/2015



04/11/2015



04/11/2015



04/11/2015



04/11/2015



770

PRIVATE
DO NOT
ENTER

04/11/2015

COLOR & MATERIAL BOARD

Parcel No. 1
Tentative Parcel Map No. 36901
La Mirada, CANYON PS, LLC

STUCCO

SAND FINISH
SHERWIN-WILLIAMS
STORM CLOUD-SW 6249



FASCIA

GALVANIZED METAL



WINDOW FRAMES

STANDARD SILVER



ROOFING MATERIAL

RUBEROID / GAFGLAS MEMBRANE
W/ GLACIER WHITE PEA GRAVEL



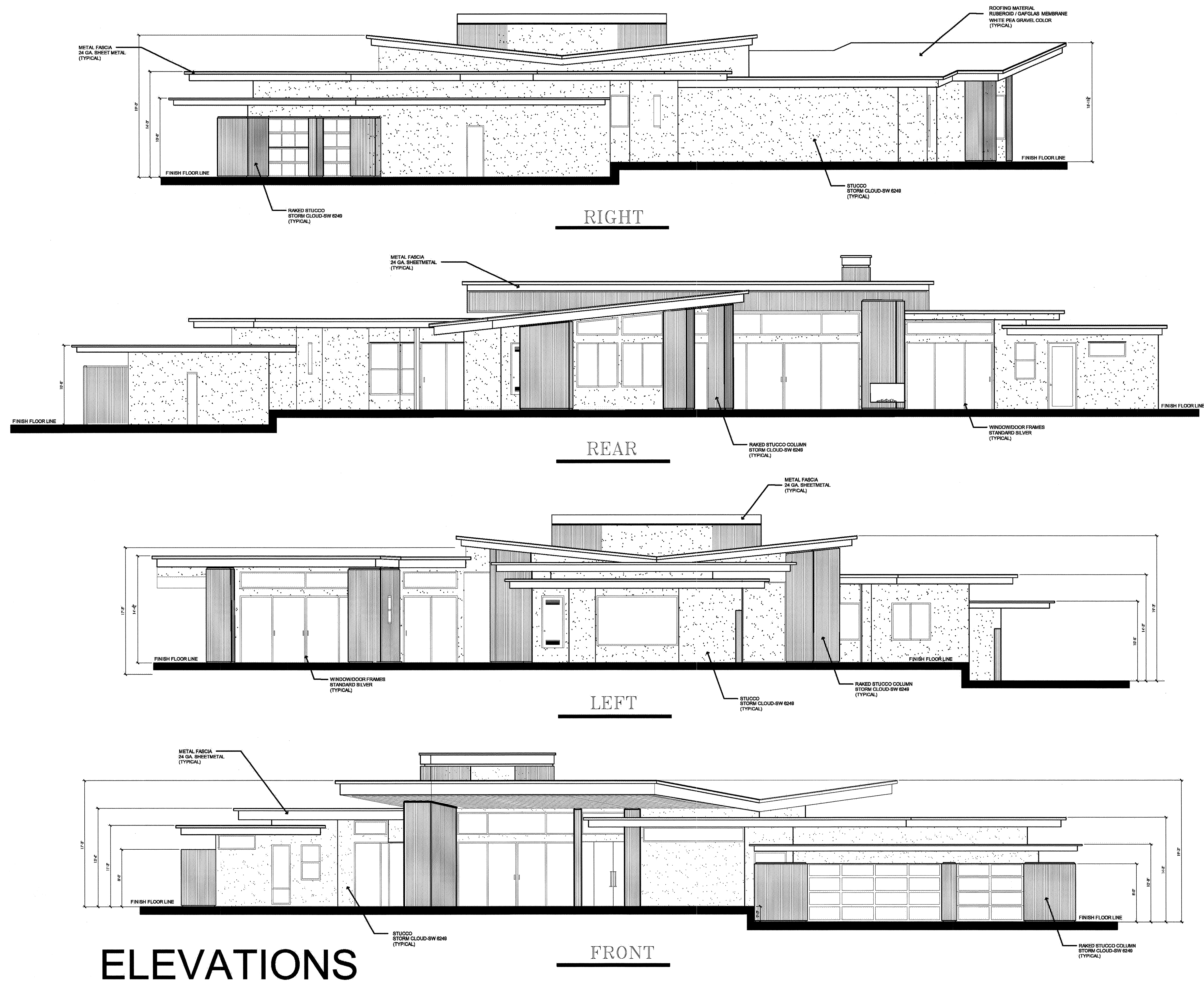
GARAGE DOOR FRAME

STANDARD SILVER





Peter Salzmann



ELEVATIONS

PREPARED	3-1-2015
REVISION	

WENDELL W. VEITH
ARCHITECT
 NO. C5297
 REG. 11-30-15
 80-300 ULLSWATER DRIVE
 INDIO CALIFORNIA, 92203
 TEL. 760-959-6566, FAX. 760-770-5480

ELEVATIONS
 A SINGLE FAMILY RESIDENCE FOR:
CANYON PS, LLC
 PARCELL NO. 1
 TENTATIVE TRACT MAP NO. 36901
PALM SPRINGS, CA 92264

DRAWN BY :
 WAR

DATE :
 3-1-2015

SCALE :
 3/16" = 1'-0"

SHEET NO.

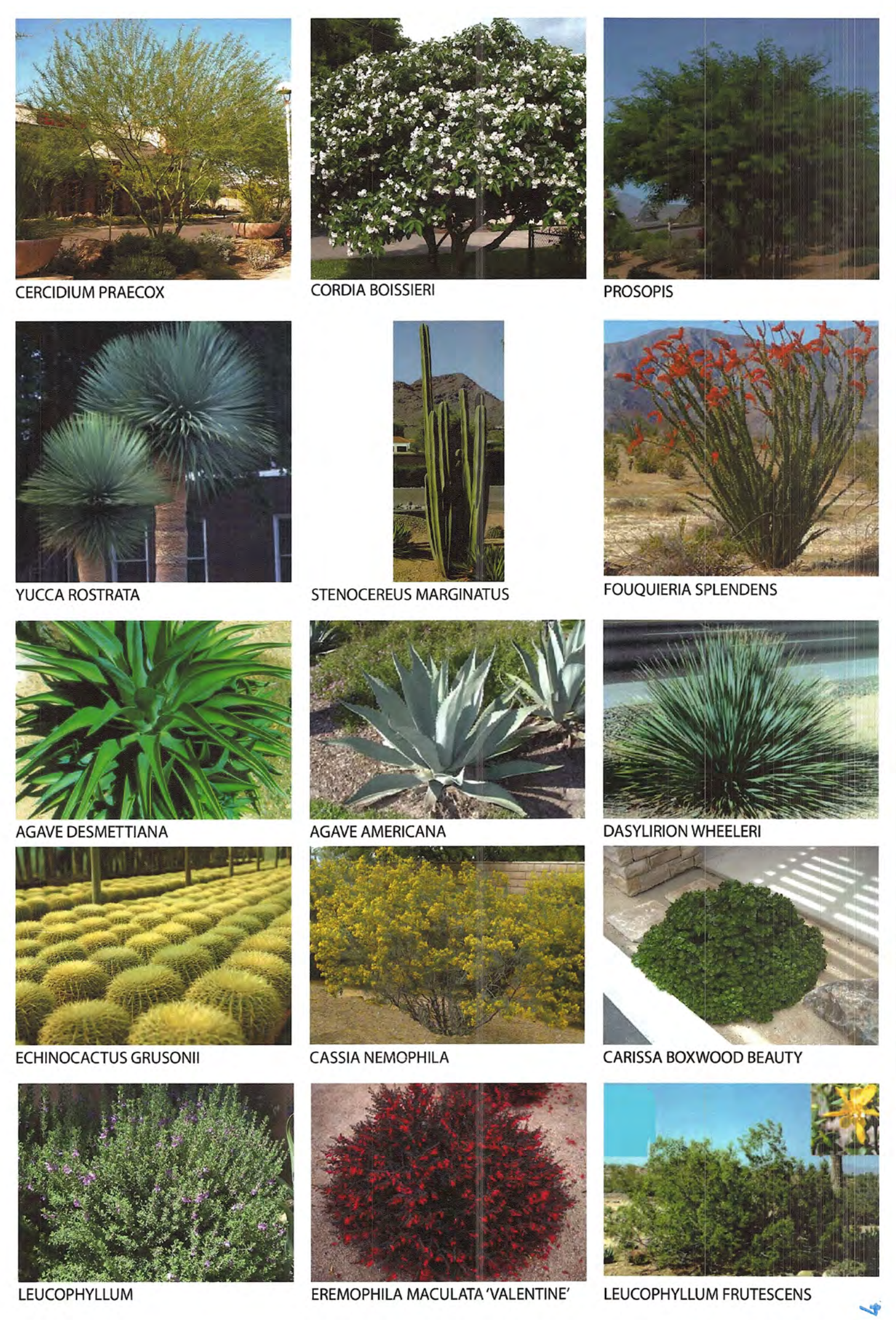
A.2

OF: _____ SHEETS



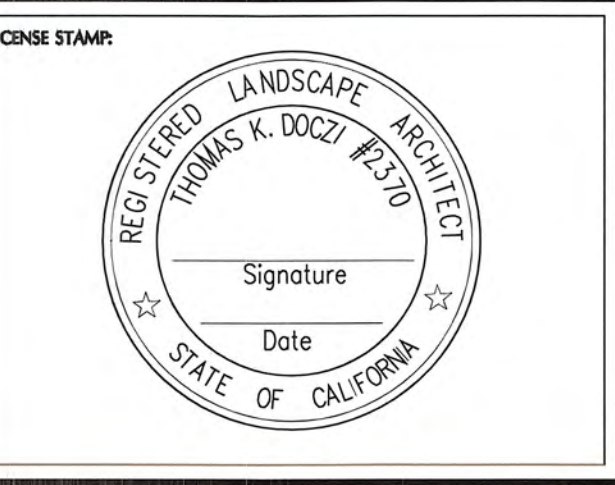
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT.
	3	Cercidium praecox / Sonoran Palo Verde	36" box
	4	Cordia boissieri 'White Seiger' / Anacahuita	24" box
	3	Prosopis 'Hybrid' / Thornless Mesquite	48" box
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE
	4	Agave desmettiana / Dwarf Century Plant	5 gal
	3	Agave gypsophila / Gypsum Century Plant	5 gal
	16	Carissa macrocarpa 'Green Carpet' / Green Carpet Natal Plum	5 gal
	3	Cassia nemophila / Senna	5 gal
	16	Dasylium wheeleri / Gray Desert Spoon	5 gal
	7	Eremophila maculata 'Valentine' / Spotted Emu Bush	5 gal
	11	Fouquieria splendens / Ocotillo	8' Ht. 12 Canes Min
	11	Larrea tridentata / Creosote Bush	5 gal
	7	Leucophyllum frutescens 'Green Cloud' TM / Green Cloud Texas Ranger	5 gal
CACTI	QTY	BOTANICAL NAME / COMMON NAME	SIZE
	12	Echinocactus grusonii / Golden Barrel Cactus	12"-14" Dia.
	5	Stenocereus marginata / Mexican Fence Post	5' Multi
	2	Yucca rostrata / Beaked Yucca	4' Trunk Multi



T K D ASSOCIATES, INC.
 LAND PLANNING - LANDSCAPE ARCHITECTURE
 WATER CONSERVATION
 7171 SAN JACINTO DR. SUITE C
 RANCHO MIRAGE, CALIFORNIA 92270
 PH (760) 776-1751 FAX (760) 776-1753

PROJECT NAME
**THE CANYONS
 LA MIRADA LOT 2**
 PALM SPRINGS CA



CONSULTANTS

THESE PLANS, SPECIFICATIONS, AND DESIGNS ARE PROPERTY OF TKD ASSOCIATES, INCORPORATED. THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS, AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THERE TO REMAINS WITH TKD ASSOCIATES, INCORPORATED AND USE WITHOUT THE WRITTEN CONSENT OF TKD ASSOCIATES, INCORPORATED IS STRICTLY PROHIBITED. VISUAL CONTACT CONSTITUTES ACCEPTANCE OF THESE RESTRICTIONS.

SHEET TITLE
CONCEPT PLAN

NORTH

 SCALE
1/8" = 1'-0"
 PROJECT NUMBER
1914

REVISIONS			
NO	DATE	TYPE	BY

DATE: 1-16-15
 ISSUED FOR:
 EFFECTIVE DATE:
 DESIGN BY: TKD
 DRAWN BY: JO
 FILENAME: 1914 Planting.dwg

SHEET NO:
 TOTAL
 SHEETS
L-1

RECEIVED
 SEP 28 2015
 PLANNING SERVICES
 DEPARTMENT

3.3.14



ELEVATIONS

REVISION	DATE
	3-1-2015

WENDELL W. VEITH
ARCHITECT
 REG. 052915-15
 80-300 ULLSWATER DRIVE
 INDO CALIFORNIA, 92203
 TEL. 760-958-4666, FAX. 760-770-5400

ELEVATIONS
 A SINGLE FAMILY RESIDENCE FOR:
CANYON PS, LLC
 PARCELL NO. 1
 TENTATIVE TRACT MAP NO. 36901
PALM SPRINGS, CA 92264

DRAWN BY :
 WAR

DATE :
 3-1-2015

SCALE :
 3/16" = 1'-0"

SHEET NO.

A.2

OF: _____ SHEETS

LA MIRADA ROAD

RECEIVED

SEP 28 2015

PLANNING SERVICES
DEPARTMENT



T K D ASSOCIATES, INC.
LAND PLANNING - LANDSCAPE ARCHITECTURE
WATER CONSERVATION
17171 SAN JACINTO DR. SUITE C
RANCHO MIRAGE, CALIFORNIA 92721
PH (760) 776-0751 FAX (760) 776-9723

PROJECT NAME
**THE CANYONS
LA MIRADA LOTS**
PALM SPRINGS CA



CONTRACT NO.

SHEET TITLE
PLANTING PLAN

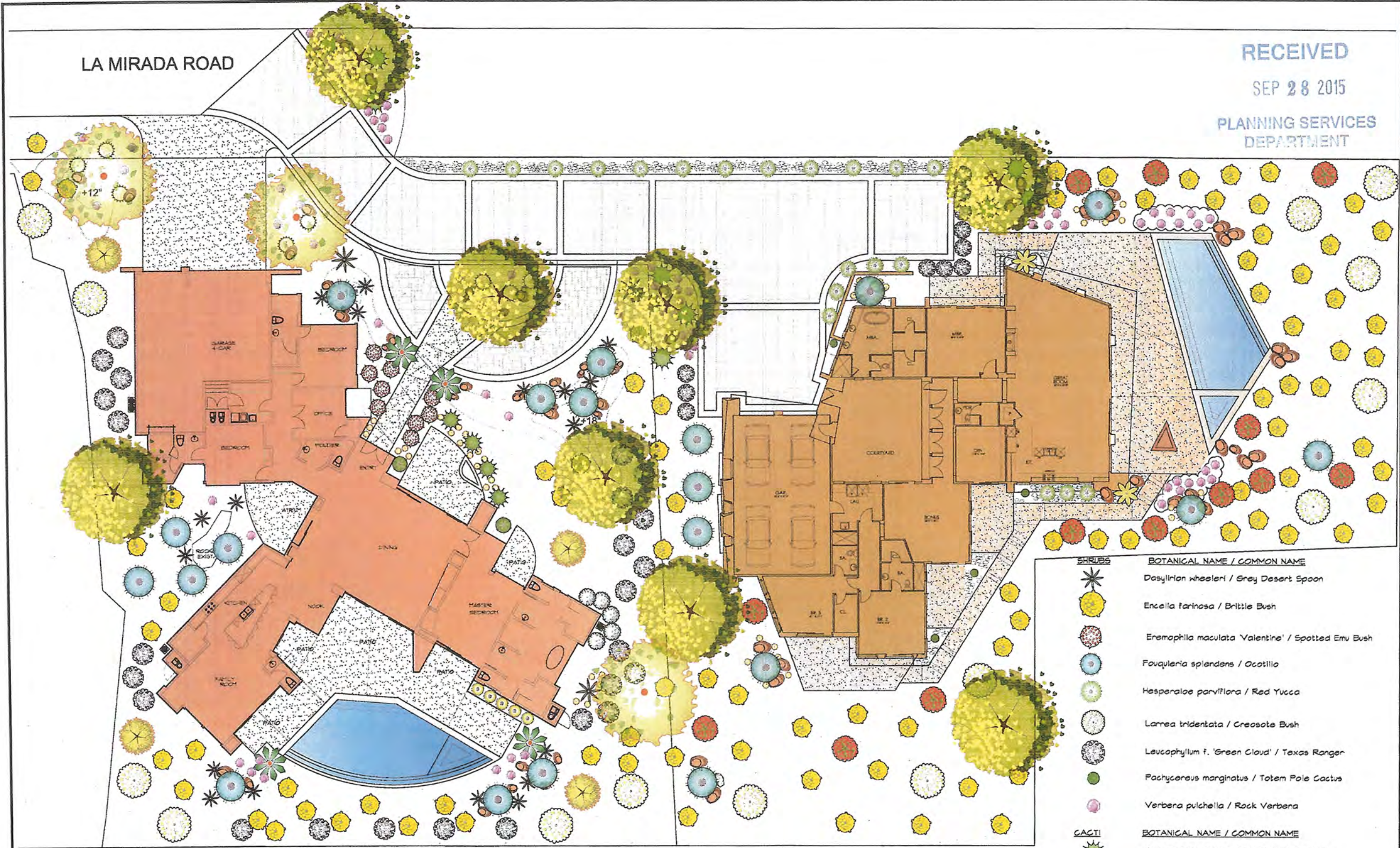
SCALE
3/32" = 1'-0"
PROJECT NUMBER
1914

REVISIONS			
NO	DATE	TYPE	BY

DATE: 8-29-15
ISSUED FOR:
EFFECTIVE DATE:
DESIGN BY: TKD
DRAWN BY: IO
FILENAME: 1914 Planting.dwg

SHEET NO.
TOTAL
SHEETS
L-1

P-3.3914

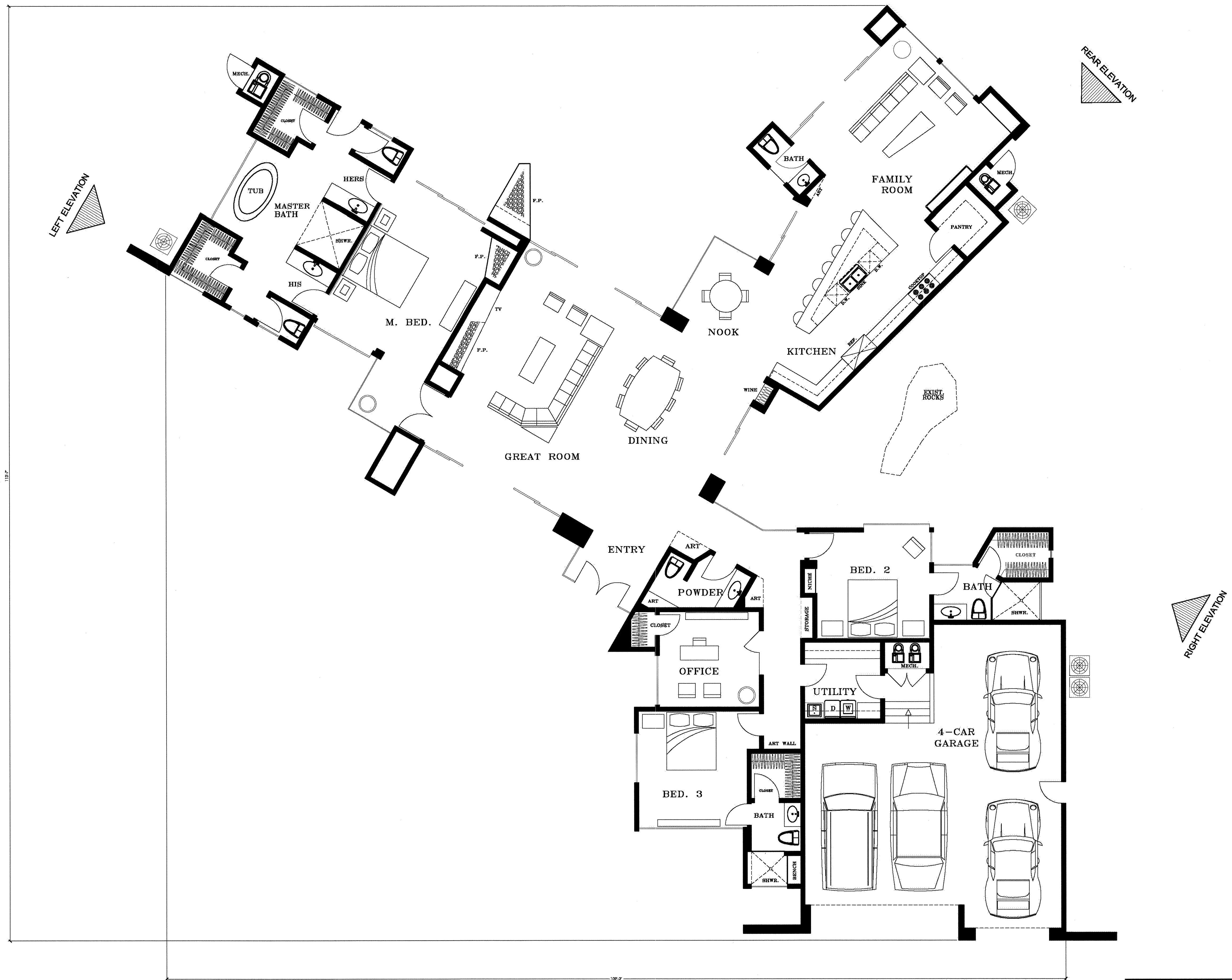


PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME
	<i>Cercidium praecox</i> / Sonoran Palo Verde
	<i>Cordia boissieri</i> 'White Selger' / Anacahuita
	<i>Prosopis</i> 'Hybrid' / Thornless Mesquite
PALM TREES	BOTANICAL NAME / COMMON NAME
	<i>Chamaerops humilis</i> / Mediterranean Fan Palm

SHRUBS	BOTANICAL NAME / COMMON NAME
	<i>Agave americana</i> / Century Plant
	<i>Agave angustifolia marginata</i> / Century Plant
	<i>Agave desmettiana</i> / Dwarf Century Plant
	<i>Calliandra californica</i> / Red Baja Fairy Duster
	<i>Cassia nemophila</i> / Senna

SHRUBS	BOTANICAL NAME / COMMON NAME
	<i>Dasyliion wheeleri</i> / Gray Desert Spoon
	<i>Encelia farinosa</i> / Brittle Bush
	<i>Eremophila maculata</i> 'Valentine' / Spotted Emu Bush
	<i>Fouquieria splendens</i> / Ocotillo
	<i>Hesperaloe parviflora</i> / Red Yucca
	<i>Larrea tridentata</i> / Creosote Bush
	<i>Leucophyllum</i> f. 'Green Cloud' / Texas Ranger
	<i>Pachycereus marginatus</i> / Totem Pole Cactus
	<i>Verbena pulchella</i> / Rock Verbena
CACTI	BOTANICAL NAME / COMMON NAME
	<i>Agave desmettiana</i> / Dwarf Century Plant
	<i>Echinocactus grusonii</i> / Golden Barrel Cactus
	<i>Stenocereus marginata</i> / Mexican Fence Post
	<i>Yucca rostrata</i> / Beaked Yucca
	3'-4' Dia. Native Boulders, relocated from onsite
	Existing native landscape to remain or to be renaturalized once graded
	Groundcover to be Native Soil



FLOOR PLAN

AREA CALCULATIONS:		%
LOT AREA:	24,191 SQ. FT.	100.00%
LIVING AREA:	4,161 SQ. FT.	17.2%
GARAGE:	962 SQ. FT.	.04%
MECH. AREA:	48 SQ. FT.	.01%
OPEN AREA:	19,026 SQ. FT.	78.64%

REVISION	DATE

WENDELL W. VEITH
ARCHITECT
 NO. C5297
 REN. 11-30-15
 80-300 ULLSWATER DRIVE
 INDIO CALIFORNIA 92203
 TEL. 760-963-4666, FAX. 760-770-5480

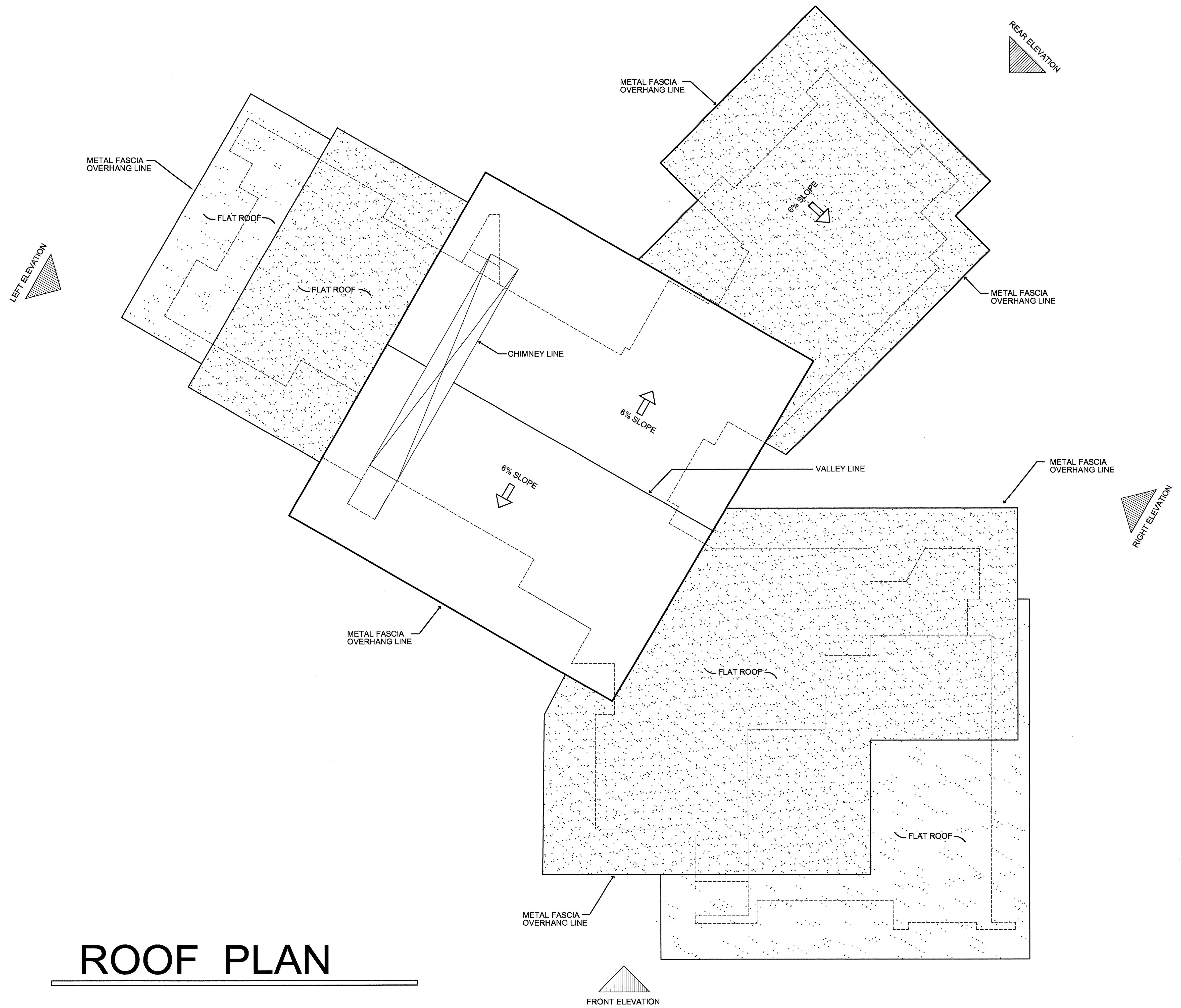
FLOOR PLAN
 A SINGLE FAMILY RESIDENCE FOR:
CANYON PS, LLC
 PARCELL NO. 1
 TENTATIVE TRACT MAP NO. 36901
PALM SPRINGS, CA 92264

DRAWN BY :
 WAR

DATE :
 3-1-2015

SCALE :
 3/16" = 1'-0"

SHEET NO.
A.1
 OF: _____ SHEETS



ROOF PLAN

REVISION	DATE
PREPARED	3-1-2015
REVISION	

WENDELL W. VEITH
ARCHITECT
 NO. C5297
 REN. 11-30-15
 80-300 ULLSWATER DRIVE
 INDIO CALIFORNIA, 92203
 TEL. 760-963-4686, FAX. 760-770-5480

ROOF PLAN
 A SINGLE FAMILY RESIDENCE FOR:
CANYON PS, LLC
 PARCELL NO. 1
 TENTATIVE TRACT MAP NO. 36901
PALM SPRINGS, CA 92264

DRAWN BY :
 WAR

DATE :
 3-1-2015

SCALE :
 3/16" = 1'-0"

SHEET NO.
A.3
 OF: _____ SHEETS

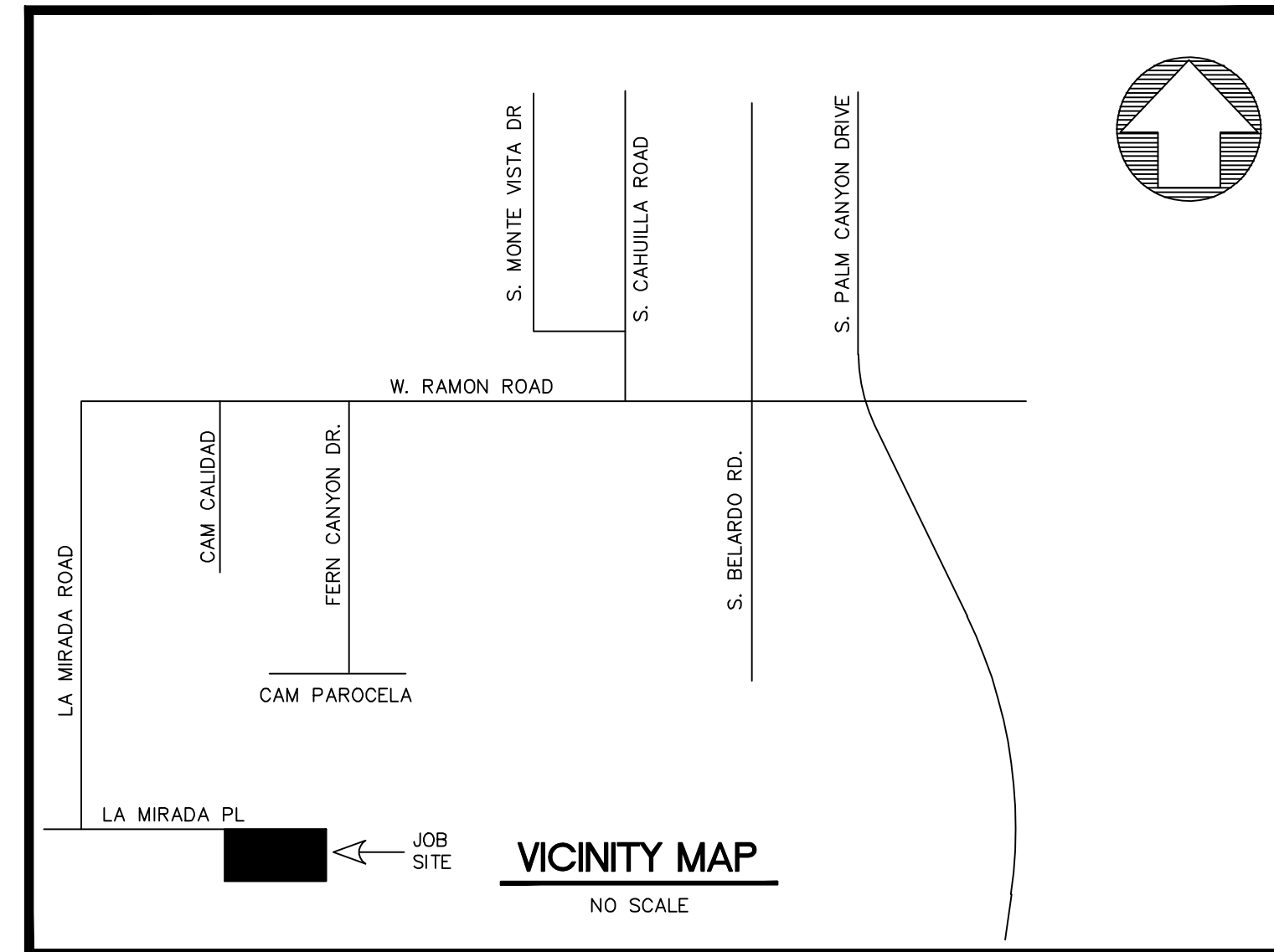
CITY OF PALM SPRINGS, CALIFORNIA

PRECISE GRADING PLAN

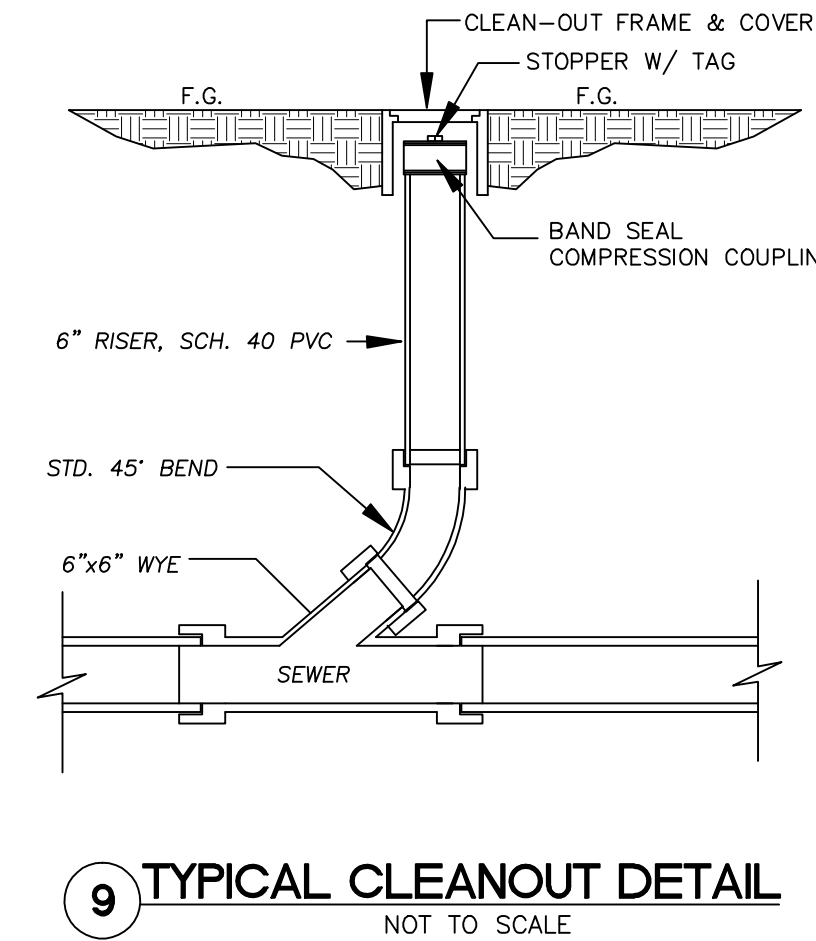
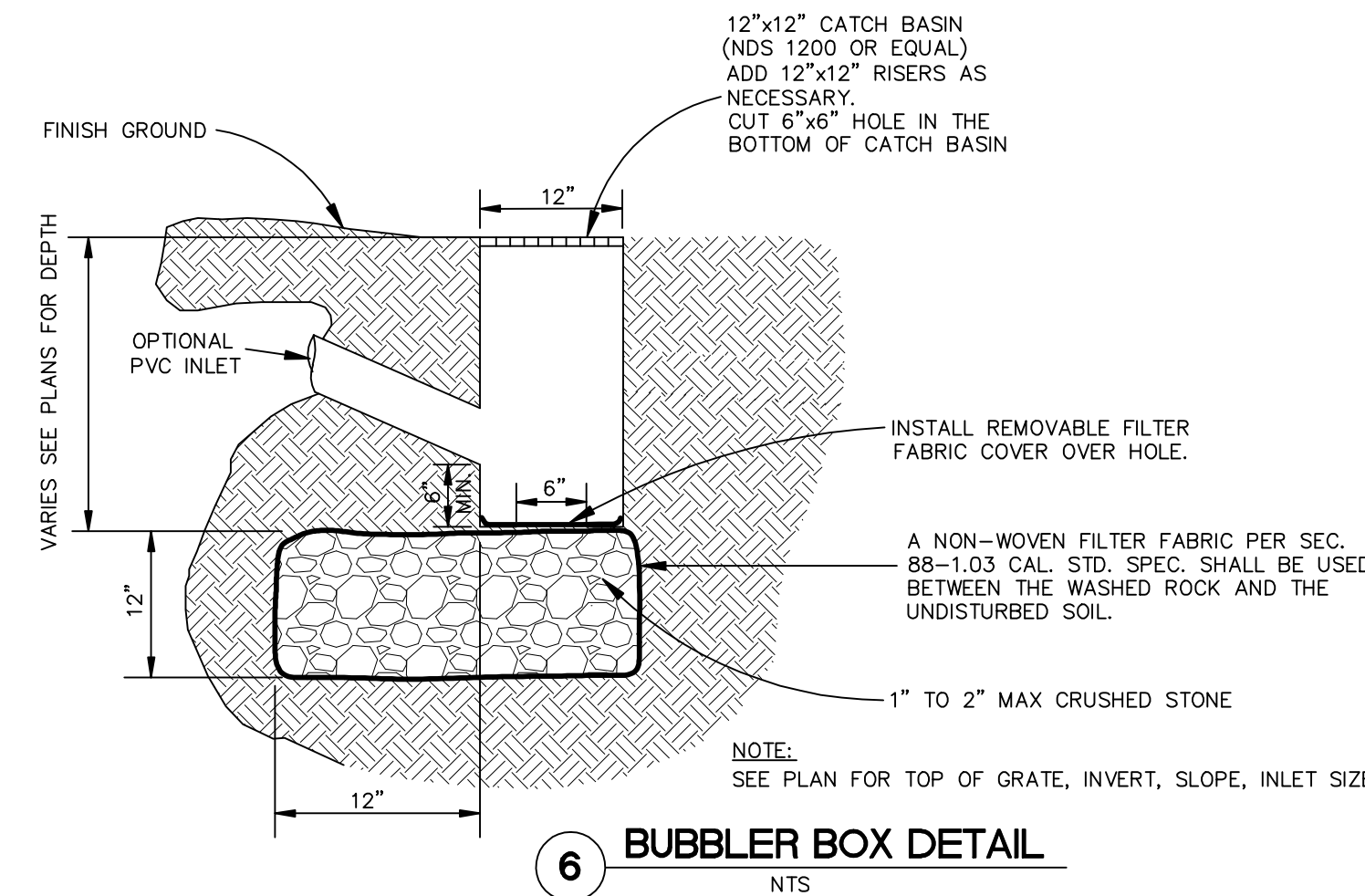
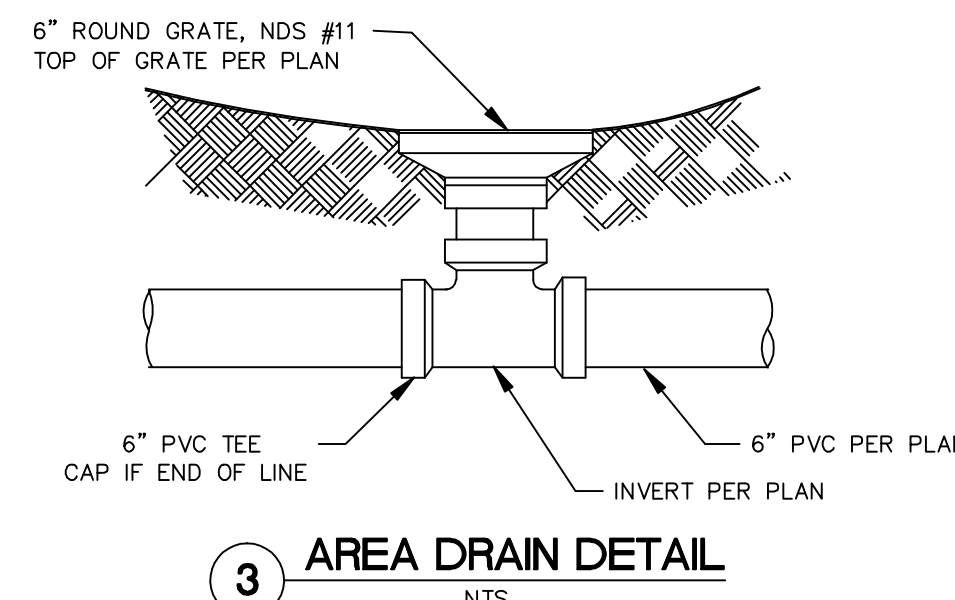
FOR

CANYON PS, LLC

GENERAL NOTES
DATED: 4-16-12



- LEGEND:**
- FF FINISH FLOOR ELEVATION
 - FG FINISH GROUND
 - FS FINISH SURFACE
 - GB GRADE BREAK
 - GF GARAGE FLOOR
 - HP HIGH POINT
 - PAD FINISH PAD ELEVATION
 - PA PLANTER AREA
 - PUE PUBLIC UTILITY EASEMENT
 - TC TOP OF CURB
 - FL FLOWLINE
 - INV INVERT
 - TG TOP OF GRATE
 - TW TOP OF WALL
 - TF TOP OF FOOTING
 - TOS TOP OF SLOPE
 - BOS BOTTOM OF SLOPE
 - WS WATER SURFACE
 - TRW TOP RETAINING WALL
 - ROOF DRAIN
 - EXISTING CONTOUR -----(100)-----
 - PROPOSED CONTOUR -----100-----
 - EXISTING ELEVATION (100.50)
 - FINISHED ELEVATION 101.50
 - DRAINAGE SWALE ----->
 - PROPERTY LINE -----P
 - CENTERLINE -----C
 - RIGHT-OF-WAY (R/W) -----R/W
 - EXIST. 8" SEWER LINE -----S8
 - EXIST. 8" WATER LINE -----W8
 - EXIST. BLOCK WALL -----B
 - RETAINING WALL -----R
 - SCREEN/GARDEN WALL -----S
 - ROOF DRAIN CONNECTION -----D
 - CONCRETE FINISH -----C



CONSTRUCTION NOTES

- 1 CONSTRUCT 4" EXPOSED AGGREGATE CONCRETE
- 2 CONSTRUCT RETAINING WALL (SEP. PERMIT)
- 3 INSTALL 6" CLEAN OUT PER DETAIL HEREON
- 4 INSTALL 6" P.V.C. SCH.40 SEWER LATERAL

NOTE: PROPOSED CLEAN OUT'S TO BE ADJUSTED TO GRADE AFTER CONSTRUCTION OF SEWER LATERAL.

ESTIMATED DIRT QUANTITIES

RAW FILL - 0 C.Y.
RAW OUT - 0 C.Y.
DIRT IMPORT TO BE PROVIDED BY ESCENA PROJECT ON ARTISAN WAY IN PALM SPRINGS.

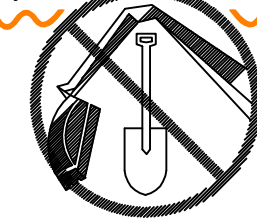
REQUIRED PERMITS

GRADING PERMIT
ENCROACHMENT
PM10
BLOCK WALL

NOTE: ESTIMATED QUANTITIES ARE SHOWN FOR PERMIT PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN QUANTITIES. DOES NOT INCLUDE SHRINKAGE OR COMPACTION



DIG ALERT



DIAL TOLL FREE
1-800-227-2600

AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

SERVICES

- ELECTRICITY: SO. CALIFORNIA EDISON CO., ATTN: AMBER WRIGHT (760) 202-4250
SEWER: VEOLIA WATER (ATTN: GARY GREY) (760) 323-8166 ext.2
WATER: DESERT WATER AGENCY, ATTN: DEBBIE RANDALL (760) 323-4971 EXT. 146
TELEPHONE: VERIZON, ATTN: LARRY MOORE (760) 778-3603
GAS: SO. CALIFORNIA GAS CO. (800) 427-2200
CABLE T.V.: TIME WARNER CABLE, ATTN: DALE SCRIVNER (760) 674-5452
SCHOOL: PALM SPRINGS UNIFIED SCHOOL DISTRICT (760) 416-8000
WATERWATER MUTUAL WATER CO., ATTN: DEBBIE RANDALL (760) 323-4971 ext. 146

DETAIL "C"

SCALE: 1"=10'

1. The work shall be done in accordance with the Standard Drawings of the City of Palm Springs and the Standard Specifications for Public Works Construction, 2012 Edition.
2. The Contractor shall be responsible for providing an effective means of dust control which shall include provisions for adequate watering during the grading process and provisions for continuance of dust control until the graded surface presents sufficient cover against wind or water erosion, so that special dust control measures are no longer necessary.
3. Nothing in these Plans shall relieve the Contractor from obtaining permits as required by Chapter 14.16 of the City of Palm Springs Municipal Code.
4. The Contractor shall set an appointment for inspection with the engineering inspector a minimum of 24 hours prior to the date of inspection.
5. All grading shall comply with Section 1804 and Appendix J of the 2013 California Building Code.
6. The location of existing underground utilities are to be shown in a schematic manner only. Subject to the provisions of Section 4215 of the California Government Code, the Contractor shall determine the exact location of all existing utilities before commencing the Work. Contact Underground Service Alert (U.S.A.) at 1-800-227-2600 two working days prior to any excavation.
7. Dimensioning to curb shall be to face of curb.
8. Contractor shall dispose of all debris off-site daily, unless otherwise specified by the City Engineer.
9. Contractor shall remove any abandoned utility facilities and show limits of removals on the record drawings.
10. The Contractor shall be responsible for the removal, replacement or relocation of all regulatory, warning and guide signs.
11. A 'Record Drawing' (formerly called 'As-Built' Drawing) of this Plan shall be submitted by the Project Engineer of record to the City Engineer, for approval prior to acceptance of the Work.
12. Construction signing, lighting and barricading shall be provided on all projects as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 'Temporary Traffic Control' of the California Manual on Uniform Traffic Control Devices for Streets and Highways, dated January 13, 2012, or subsequent editions in force at the time of construction.
13. The flow line of all curb and gutters and cross gutters shall be water tested before acceptance of the Work.
14. Parking stalls shall be clearly delineated with a 4 to 6 inch stripe "hairpin" or elongated "U" design or other approved striping or stall delineation.
15. Final site grading and drainage flow lines shall be certified, in writing, by the Engineer of Record to be in conformance to the approved grading plan PRIOR TO FINAL INSPECTION.
16. For projects in excess of 1 acre, a Notice of Intent to comply with California General Construction Storm Water Permit (Water Quality Order 2009-0009-DWQ as modified September 2, 2008, as well as a copy of the executed letter issuing a Waste Discharge Identification (WDID) number, is required prior to issuance of Grading or Building Permit, via the California Regional Water Quality Control Board (Phone No. (760) 346-7481). A updated copy of the project-specific Storm Water Pollution Prevention Plan (SWPPP) must be kept at the project site at all times.
17. A city approved fugitive dust (PM-10) control plan is required prior to issuance of a grading permit. All dust control measures described in AQMD Rule 403 (BEST AVAILABLE CONTROL MEASURES) and in the City-approved fugitive dust control plan shall be implemented at all times. A wind fence and proper signage, shall be erected, inspected and approved by the City's Dust Control Inspector prior to initiation of clearing, grubbing, grading or import/export of soil, or fill material at the site. Failure to call 760-323-8253, extension 8740 for inspection 72 hours prior to initiating work will result in issuance of citation by the City.
18. The block walls, retaining walls, and other structures shown on the grading plan are for location purposes only. Separate permits for the above are required from the Building Department.
19. All provisions of the preliminary soils report prepared by SLADDEN ENGINEERING, dated 3-17-14, shall be complied with. REPORT # 544-14036

STREET PAVEMENT

20. The asphalt concrete design shall meet the City of Palm Springs Std. Dwg. No 110 and Standard Specifications for Public Works Construction, 2012 Edition; use Type B for the base lift and Type C2 for the final 1" cap. The design shall have a HVEEM stability of 35 AND 33 respectively per the California Test Method 304 and 386. Performance Grade asphalt (PG 70-10) meeting the 2010 Caltrans Standard Specifications shall be used. The specified miscellaneous base shall be crushed miscellaneous base according to the Standard Specifications for Public Works Construction, 2012 Edition.

TRENCH PAVEMENT

21. Street cuts shall be paved with temporary A.C. paving immediately. Major and Secondary Thoroughfares shall be permanently paved within 15 days of the initial excavation (30 days on collector and residential streets) per City of Palm Springs Std. Dwg. No. 115. See Ordinance No. 14,16,375.
22. Trenches shall be completely backfilled and compacted to support traffic at the end of each work day. The Contractor shall place permanent pavement through intersections at the end of each work day. No trench excavation or pipe laying on Fridays, weekends or holidays will be permitted on major and secondary thoroughfares or collector streets without prior approval of the City Engineer. Contractor shall place permanent paving each Friday.
23. If, in the opinion of the City Engineer, the trench backfill is unsafe to traffic, the Contractor shall place permanent paving at the end of each work day.
24. Steel trench plating shall conform to the Caltrans Encroachment Permit Manual Section 602.1 as revised July, 2009.
25. The specified miscellaneous base shall be crushed miscellaneous base according to the Standard Specifications for Public Works Construction, 2012 Edition.

OWNER/DEVELOPER:

CANYON PS, LLC
699 INDIAN TRAIL
PALM SPRINGS, CA. 92264
(760) 774-3294

ASSESSOR'S PARCEL NO.:

APN: 513-250-035

LOT SIZE:

1.11 ACRES

LEGAL DESCRIPTION:

LOT 23 OF SECTION 22, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SAN BERNARDINO BASE AND MERIDIAN, EXCEPTING A FOUR ACRE PARCEL DESCRIBED AS THE NORTH 5604 FEET OF LOT 23; ALSO EXCEPTING PARCEL 6060-307A AS SHOWN ON A RECORD OF SURVEY ON FILE IN BOOK 77 PAGES 1 TO 5, INCLUSIVE, RECORDS OF SURVEY, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

THOMAS BROS. MAPS

PAGE: 786
GRID: C3, D3

NO.	REVISION	APPROVED	DATE	BENCH MARK	BLV.
				CPS 15-23	518.663 NGVD29

NO.	REVISION	APPROVED	DATE	BENCH MARK	BLV.
				CPS 15-23	518.663 NGVD29

NO.	REVISION	APPROVED	DATE	BENCH MARK	BLV.
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NO.	REVISION	APPROVED	DATE	BENCH MARK	BLV.
				CPS 15-23	518.663 NGVD29

77-810 Montana Road Suite 201 Palm Desert, Ca. 92211 Phone: 760-345-1352 Fax: 760-345-1529 E-Mail: dan@jaengineering.com

CHISELED BOX ON THE M.O.C. OF THE S.E. CORNER AT THE INTERSECTION RAMON ROAD & LA MIRADA RD.

R.C.E. NO. 14614, EXP. 3-31-15

DATE

JHH

DATE

R.C.E. NO. 41836

DATE

R.C.E. NO. 28991

DATE

DATE

DATE

DATE

DATE

DATE

DATE

CITY OF PALM SPRINGS, CALIFORNIA

PRECISE GRADING PLAN

771 LA MIRADA ROAD

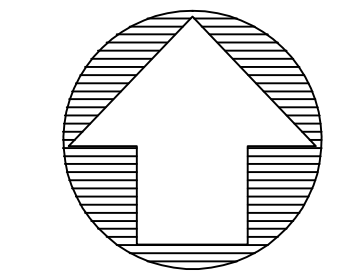
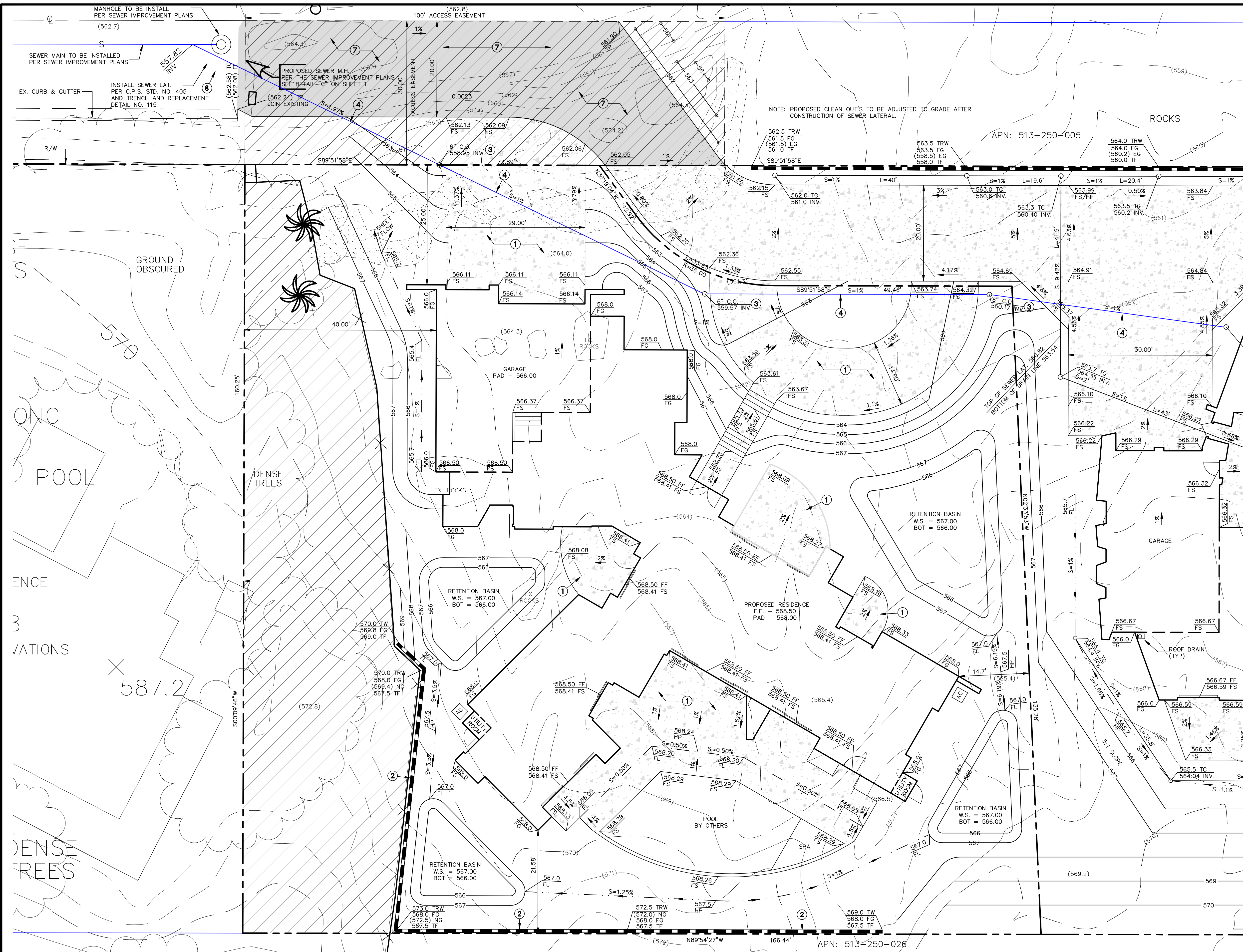
SECTION 22, T.4 S., R.4 E., S.B.B.M.

FILE NO.
E-4010

DWG. NO.
13-4437

SHEET
1

OF 2 SHEETS.



GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

CONSTRUCTION NOTES

- ① CONSTRUCT 4" EXPOSED AGGREGATE CONCRETE
- ② CONSTRUCT RETAINING WALL (SEP. PERMIT)
- ③ INSTALL 6" CLEAN OUT PER DETAIL HEREON
- ④ INSTALL 6" P.V.C. SCH.40 SEWER LATERAL



"RECORD DRAWING"		CORRECTED BY	APPROVED BY

NO.	REVISION	APPROVED	DATE

BENCH MARK	CPS 15-23
ELEV.	518.663 NGVD29
LOCATION	CHISELED BOX ON THE M.O.C. OF THE S.E. CORNER AT THE INTERSECTION RAMON ROAD & LA MIRADA RD.

JHA ENGINEERING, INC.
 Consulting Civil Engineers & Surveyors
 77-810 Montanas Road Suite 201 Palm Desert, Ca. 92211
 Phone: 760-345-1322 Fax: 760-345-1329
 E-Mail: dan@jhaengineering.com

DESIGN BY:	DAN
DRAWN BY:	DAN
CHECKED BY:	JHH
CITY CHECK	
RIGHT-OF-WAY	
TRAFFIC ENG'G	
FIELD ENG'G	

REVIEWED BY:	JOHN M. BRUDIN
APPROVED BY:	DAVID J. BARAKIAN
R.C.E. NO. 41836	
R.C.E. NO. 28931	

CITY OF PALM SPRINGS, CALIFORNIA
PRECISE GRADING PLAN
 771 LA MIRADA ROAD
 SECTION 22, T.4 S., R.4 E., S.B.B.M.

FILE NO.	E-4010
DWG. NO.	13-4437

