



HISTORIC SITE PRESERVATION BOARD STAFF REPORT

DATE: December 8, 2015

OLD BUSINESS

SUBJECT: PROPOSED AMENDMENT TO HISTORIC DISTRICT #1; "THE LAS PALMAS BUSINESS HISTORIC DISTRICT" (LPBHD) ORIGINALLY ESTABLISHED ON MAY 7TH 1986 BY RESOLUTION 15858 OF THE PALM SPRINGS CITY COUNCIL (CASE HSPB HD-1)

FROM: Department of Planning Services

SUMMARY

The Las Palmas Business Historic District (LPBHD) was established in 1986 as the City's first designated historic district. In 2009, the HSPB formed a subcommittee to re-examine the district to consider whether any changes should be considered. The firm Historic Resources Group (HRG) was retained recently to develop a context statement for the district, establish a defined "period of significance", evaluate the design guidelines, assess all sites within the district boundaries and develop recommendations for any changes in designation of those sites.

RECOMMENDATION:

Receive the staff report and related documents and direct staff to provide written notice to all property owners within the LPBHD and to prepare a noticed public hearing for the January 12, 2016 HSPB meeting for the Board to consider possible amendments to the district.

<i>Related Relevant City Actions by HSPB, Planning, Fire, Building, etc...</i>	
May 7, 1986	Council Designation of the Las Palmas Business Historic District
August 2009	Planning Director Ewing identifies LPBHD to the HSPB
September 2009 through present	A subcommittee of the HSPB has conducted extensive study and review of the LPBHD and properties within its boundaries.
July 2015	Historic Resources Group (HRG) of Pasadena contracted to formally survey the district, develop a context statement and evaluate each property in the district for its relevancy to the District.

of this chapter.

Regulating & administering properties within a historic district: PSMC Section 8.05.125 notes that Historic Districts are designated by the Palm Springs City Council and establishes the categories and conditions that must be followed for each property within such designated district:

Qualified for city designation; may be qualified at the federal, state and/or county level. Archival file will be maintained and shall contain a map delineating contributing and noncontributing structures or sites. Contributing structures/sites shall be subject to Class 1 regulations until such time that they may be reclassified. Noncontributing structures/sites shall be subject to review by the HSPB before demolition or construction. A specific plan, containing special regulations pertaining to the subject area, may be adopted for each district.

The important distinction to be made regarding the designation of properties as "contributing" within a historic district is that upon such designation, the properties are subject to Class 1 historic site regulations. The three primary implications of this are:

- (1) Contributing sites must meet the definition of a historic site pursuant to 8.05.020,
- (2) Proposed alterations to the exterior of "contributing" sites are subject to review by the HSPB to confirm that the proposed alterations are appropriate given the historic status of the site and
- (3) "Contributing" sites are eligible for application of Mills Act Historic Property Maintenance agreements ("Mills Act Contracts") that can significantly reduce the amount of property taxes paid on such properties.

Pursuant to PSMC 8.05.140 and 150, properly noticed public hearings must be scheduled to notify both property owners and surrounding property owners of the Board's and the City Council's consideration of possible designation of sites as "contributing" within a historic district. Outreach to owners of sites under consideration should be given ample opportunity to learn about the opportunities and responsibilities inherent in the City's designating of their property as "contributing", however property owner consent is not a requirement of historic designation of a property.

Consistency with National Standards. In order to be qualified at the federal or state level and be eligible for listing in the National Register of Historic Places, the establishment of historic districts in Palm Springs should be consistent with the standards outlined in the National Park Service's bulletin titled "*How to Apply the National Register Criteria for Evaluation*". The National Register of Historic Places criteria identifies the following characteristics that must be defined when establishing a qualified historic district:

- Historic context. The context incorporates the significant time periods (the "period of significance"), the significant people, and important trends that shaped the development of the proposed district that contribute to its historic significance within the community.

It is this context statement that articulates why a particular district or area of the City is recognized as historically significant.

- A significant concentration of "contributing" resources. Although not a steadfast rule, the establishment of a historic district's boundaries is such that typically at least half, if not more, of the properties in the defined area of the district qualify as "contributing" to the significance of the district.
- A map or area that can be distinguished from surrounding properties by such factors as density, scale, type, age, and style of buildings, structures and/or objects.
- An evaluation of each site or property within the district and a determination of whether each site is "contributing" or "non-contributing" to the understanding of the historic significance of the district based on the historic context and definition of a historic site.

Although an area map encompassing about forty-nine (49) separate properties and a listing of seventeen (17) "contributing" properties were established when the LPBHD was formed, there appears to be no context statement or "statement of significance", no defined "period of significance", no justification for the delineation of the boundaries of the district, and no evaluation or description of the individual properties within the district nor a description of how they each contribute to the historic significance of the district as a whole. Also, although the LPBHD was established with a set of "conceptual design guidelines for new construction" the guidelines could be revised to better reflect the historic context of the district and the unique diversity of architectural styles that exist therein as well as to provide a better regulatory context within which to evaluate proposed new construction.

ANALYSIS

The HSPB subcommittee appointed in 2009 reviewed the LPBHD and made recommendations on certain changes or revisions. The subcommittee established a spreadsheet listing the characteristics of each parcel in the district and evaluated each site against the definition of a historic site as listed in PSMC 8.05.020 (attached). Individual narrative descriptions on many of the properties in the district were also developed in an undated document titled "Las Palmas Historic District Building Histories" which was developed by former HSPB board member and architectural historian Patrick McGrew. (attached).

In 2015, the City commissioned Historic Resources Group (HRG) of Pasadena to:

- Analyze the LPBHD through both field reconnaissance and archival review.
- Establish a context statement and period of significance for the district.
- Evaluate and list the individual properties within the district boundaries and make recommendations on their significance within the context of the overall historic district in terms of their ability to "contribute" to the districts' historic significance.
- Provide recommendations for improving the Conceptual Design Guidelines for New Construction.

HRG conducted field investigation and an in-depth analysis of written material on the area (such as building permits, newspaper articles and other "primary sources"). The firm surveyed

all the properties within the LPBHD and developed data sheets on each one. Their research was summarized in a historic resources report ("the HRG report") dated November 5, 2015 (attached herein) The report includes a draft context statement, and identifies the period of significance for the district. It also includes analysis of each property and structure within the district against the criteria for historic sites outlined in PSMC 8.05.020, and against the draft context statement of the LPBHD. Building permit histories and Sanborn Insurance maps were reviewed to determine which properties were developed within the period of significance of the district and archival records were searched to aid in analyzing the integrity and importance of each property or site within the district.

Context Statement.

As summarized on page 4 of the HRG report, the LPBHD is comprised of a disparate collection of small, one and two-story commercial buildings (hotels, offices, retail shops, and health / spa-related commercial uses) of varying architectural styles. This business district developed over several decades, with most buildings constructed from the late-1920's through the 1960's.

Most of the seventeen buildings denoted as "contributing" when the district was designated in 1986 are of modest scale and were designed in a simple "Spanish Colonial Revival" style and constructed in the 1930's. The district also contains noteworthy examples of Mid-century Modern, Mediterranean Revival and Late Moderne architecture and buildings designed by architects whose design talent is recognized at a local, state and national level.

Thus the significance of the district lies not in a common architectural theme, but rather in its ability to convey information about the expansion and growth of tourist-related commercial development outside the original village "core" that emerged as the City of Palm Springs grew from a small village to an internationally-recognized tourist destination.

Period of Significance.

As noted in the HRG report, throughout the 1920's, the commercial center of Palm Springs remained in the vicinity of Palm Canyon Drive and Tahquitz Canyon Drive. Although several large tracts of land north of the small village center were subdivided for residential development in the early 1920's, other than the Frances Stevens School (1927) and the El Mirador Hotel (1928) and Garage (1929) only scattered residential development existed in the vicinity of the LPBHD. The 1930's through the 1950's saw the greatest concentration of new commercial construction in the LPBHD. Since roughly 1960, development in the LPBHD has been mostly infill on remaining vacant lots. Thus, the HRG report concludes that the period of significance for the LPBHD is roughly thirty-five (35) years; from about 1925 to 1960.

Evaluation of individual sites and buildings.

As denoted on page 5 of the HRG report, there are forty-nine (49) properties located within the

boundaries of the Las Palmas Business Historic District. Seventeen (17) properties were identified in 1986 as "contributing". Of those, four (4) are single family residences. These single family structures, while constructed during the period of significance, do not relate to the business / commercial development theme of the district and are proposed to be removed from the district and evaluated for possible designation as "stand-alone" Class 1 historic sites separate from the district.

To date, only one other property within the district has been designated as Class 1 historic site that was not previously identified in 1986 as "contributing": the Kocher Samson Building (HSPB #79; at 766-768 North Palm Canyon Drive). Taking into account the initial seventeen (17) contributing properties plus the Kocher-Samson Building, currently less than one third of the properties in the district are recognized as "contributing" to the historic significance of the district. This is a very low percentage of contributing structures.

HRG evaluated all properties in the district against the business / commercial development theme outlined in the context statement. HRG concluded that eight (8) buildings or properties currently listed as "non-contributing" could be deemed "contributing". Through their field reconnaissance and review of building permits, Sanborn fire insurance maps, historic photographs and other material, HRG also concluded that a small number of buildings designated as "contributing" in 1986 have been so significantly altered or modified that they may no longer possess sufficient integrity to be deemed "contributing". These are discussed later in this section.

The HSPB LPBHD subcommittee inventoried all forty-nine properties. From their analysis against the definition of a historic site from 8.05.020, the subcommittee identified eleven (11) sites in addition to the eight (8) recommended by HRG that it believes could be deemed "contributing".

The discrepancy between the conclusions of HRG and that of the HSPB subcommittee have occurred in part because of the difference in the basis or "filter" against which each group evaluated properties – HRG using the general theme of commercial development and taking into consideration the "integrity" of each property and the HSPB subcommittee using the definition of a historic site as defined in Municipal Code.

As noted below, five properties identified in 1986 as "contributing" are recommended by HRG and staff to be de-classified to "non-contributing" due to extensive alterations or compromised integrity.¹

It is particularly important to understand the issue of "material integrity" in reviewing the properties in the LPBHD. Most of the modest, older Spanish Colonial Revival buildings in the district have had such substantial material changes that they no longer possess sufficient material integrity to qualify as "contributing" structures. The National Register Bulletin "VIII. How to Evaluate the Integrity of a Property" (attached) denotes the following:

¹ There are seven (7) factors that are considered when evaluating the "integrity" of a particular site within a historic district to determine whether it "contributes" to the district: Location, Design, Setting, Materials, Workmanship, Feeling and Association.

"A property must retain the key exterior materials dating from the period of its historic significance. If the property has been rehabilitated, the historic materials and significant feature must have been preserved. The property must be an actual historic resource, not a re-creation; a recent structure fabricated to look historic is not eligible. Likewise, a property whose historic features and materials have been lost and then reconstructed is usually not eligible."

Most of the buildings deemed "contributing" in 1986 suffer from substantial loss of historic material integrity due to insensitive "renovations" and additions that "look historic" but that are not original, or in which original materials were removed, lost or replaced with new materials or additions made to "look" historic. This is particularly true at the older hotels such as the Alcazar, the Triada, Los Arboles, and Movie Colony Hotel. Other buildings such as the Del Hai Mo Apartments have recently undergone extensive renovation without a clear understanding of preserving material integrity or restoring original detailing. The problem of a lack of material integrity among the buildings being considered for "contributing" status could potentially disqualify the district from possible listing on the National Register.

Evaluation of the boundaries of the LPBHD.

The boundaries of the LPBHD as established in 1986 have not been evaluated for expansion or modification except for removal of certain properties that lie on the periphery of the district as follows:

- (1) Recommended removal of the four (4) single family residential structures that were identified as "contributing" in 1986 that do not relate to the business theme of the district;
 - a. 165 East Via Altamira,
 - b. 276 East Granvia Valmonte,
 - c. 814 North Indian Canyon Drive and
 - d. 840 North Indian Canyon Drive and
- (2) Recommended removal of seven (7) non-contributing properties at the periphery of the district:
 - a. 860 North Indian Canyon Drive
 - b. 888 North Indian Canyon Drive,
 - c. 500-552 North Indian Canyon Drive; The "Heavenstone" condominium complex at the southeast corner of the district.
 - d. 621 Palm Canyon
 - e. 639 Palm Canyon
 - f. 655 Palm Canyon
 - g. 675 Palm Canyon

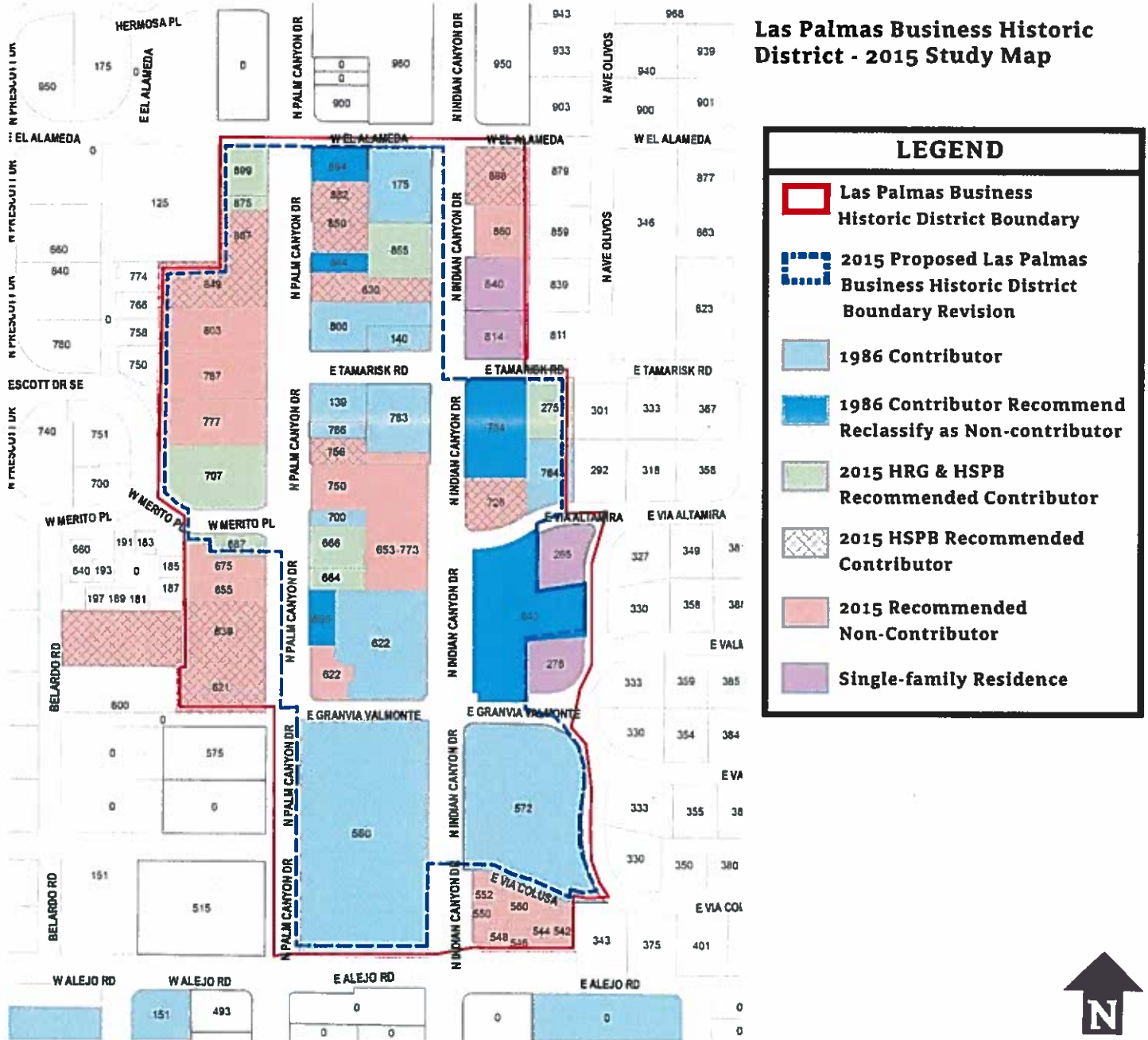
Removal of these non-contributing properties at the periphery of the district will improve the overall percentage of contributing properties and will strengthen its integrity without adversely affecting the contiguous nature of the rest of the district. A total of eleven (11) non-contributing properties are recommended for removal from the district and the district boundaries adjusted accordingly.

Summary of all properties in the Las Palmas Business Historic District

The following sections summarize the status of all properties in the LPBHD with recommendations. Further analysis and discussion of each property is outlined in the attached exhibits.

- There are forty-nine (49) recognized properties currently within the boundaries of the Las Palmas Business Historic District (LPBHD).
- There are seventeen (17) properties designated in 1986 as "contributing" to the historic significance of the LPBHD.
- There is one property designated as a Class 1 historic site that is recommended to be formally listed as contributing to the district (Kocher-Samson).
- There are four single family residences that do not relate to the commercial / business theme of the district and are recommended to be removed from the district boundaries. It is recommended that the HSPB evaluate these single family residences individually for possible recommendation for class 1 historic designation.
- There are seven (7) other properties at the periphery of the district that are currently non-contributing and recommended for removal from within the district and the district boundaries adjusted accordingly to strengthen the overall integrity of the district.
- There are eight (8) properties that currently are non-contributing recommended for reclassification to contributing by both the HSPB subcommittee and HRG.
- There are another twelve (12) properties recommended for reclassification by the HSPB subcommittee that are not so recommended by HRG because the sites lack sufficient integrity to convey significance related to the historic district context.
- There are five (5) properties listed in 1986 as contributing that have been so severely altered that they no longer possess adequate integrity and are recommended by HRG and staff to be declassified to non-contributing.

The map below shows the Las Palmas Business Historic District with the aforementioned adjustments applied.



THE MAP ABOVE IS A GRAPHIC DEPICTION OF EXISTING PROPERTY STATUS WITHIN THE LPBHD AND PROPOSED CHANGES.

Proposed modifications to the Conceptual Design Guidelines for New Construction.

Although the HSPB subcommittee concluded no adjustments in the conceptual design guidelines is required, staff and HRG believe a new set of guidelines that are consistent with current preservation practice, and that give more specific guidance for both rehab of existing buildings and new construction is needed. The current guidelines are out of date, and include imprecise language and recommendations that aren't consistent with the manner in which construction within historic districts should be regulated. A revised draft of the conceptual

design guidelines will be developed and proposed to the HSPB for consideration at a future meeting.

REQUIRED FINDINGS

Contributing properties within a historic district must possess historic, architectural, archaeological, cultural or aesthetic significance. Since they are subject to Class 1 regulations; those properties so designated must meet the definition of a historic site as outlined in PSMC 8.05.020. Each property in the LPBHD is listed below with a short summary of current status, evaluation of criteria & integrity, and recommendation on any change in contributing status. In addition, to qualify for listing in state or national register of historic places, there must be an evaluation of each property's "integrity".²

The definition of a historic site, against which each property was evaluated is as follows:

(a) Historic Site.

An historic site is any real property such as: a building; a structure, including but not limited to archways, tiled areas and similar architectural elements; an archaeological excavation or object that is unique or significant because of its location, design, setting, materials, workmanship or aesthetic effect and:

- (Criteria 1) That is associated with events that have made a meaningful contribution to the nation, state or community; or*
- (Criteria 2) That is associated with lives of persons who made meaningful contribution to national, state or local history; or*
- (Criteria 3) That reflects or exemplifies a particular period of the national, state or local history; or*
- (Criteria 4) That embodies the distinctive characteristics of a type, period or method of construction; or*
- (Criteria 5) That presents the work of a master builder, designer, artist, or architect whose individual genius influenced his age; or that possesses high artistic value; or*
- (Criteria 6) That represents a significant and distinguishable entity whose components may lack individual distinction; or*
- (Criteria 7) That has yielded or may be likely to yield information important to national, state or local history or prehistory*

In the evaluation that follows, the current status (contributing or non-contributing) is noted, an assessment of the property's integrity, the criterion under which each property has been evaluated to determine its historic significance, and a comment about the relevancy of the property to the overall context of the historic district.

² Integrity is defined by the National Park Service's bulletin "VIII. How to Evaluate the Integrity of a Property". Integrity is the ability of a property to convey its significance. Seven aspects are used in assessing the historic integrity of a property: Location, Design, Setting, Materials, Workmanship, Feeling, Association.

(1) 175 East El Alameda – Harlow Haven Hotel



Currently listed as contributing – No change recommended.
Integrity: Excellent,
Criteria 3 & 4,
Good example of bungalow court type hotel
Good example of Spanish Colonial Revival architecture.

(2) 265 East Via Altamira – Frank Conklin Residence (aka Palm Springs Club).



Currently listed as contributing
Recommended for removal from district & considered for individual class 1
historic status; single family residences are not related to the district theme of
commercial / business development.
Integrity: Excellent
Criteria 3 & 4
Good example of modest Spanish Colonial Revival architecture in a single family
residence.
Good example of single family residence from the period of significance.

(3) 548 North Indian Canyon Drive – The Villas at Movie Colony



Currently listed as non-contributing – Recommended to be removed from the
district because date of construction is outside the period of significance.

(4) 572 North Indian Canyon Drive – Colony Palms Hotel



Currently listed as Contributing – No change recommended.

Integrity: Good

Criteria 2, 3 & 4

Significant Person: developed by mobster Al Worthheimer of Detroit's "Purple Gang".

Good example of Spanish Colonial Revival architecture, albeit altered.

Good example of hotel type from the period of significance.

(5) 640 North Indian Canyon Drive – Triada Hotel (aka Spanish Inn, Ambassador Hotel)



Currently listed as Contributing – HRG recommends change to non-contributing due to extensive alteration.

Criteria 3 & 4; Integrity: Fair, heavily altered, additions, etc.

Good example of Spanish Colonial Revival Architecture.

Good example of hotel type from the period of significance.

A careful listing of the original defining historic characteristics should be made to differentiate that which is original from the many alterations made outside the period of significance for the district.

(6) 701-729 North Indian Canyon Drive - Parking lot for 750 N. Palm Canyon Drive
Non-contributing and no change recommended.

(7) 700-726 North Indian Canyon Drive – San Jacinto Hotel (aka Movie Colony Hotel)



Currently non-contributing – HSPB recommends change to contributing, HRG & Staff believe property is too significantly altered to convey significance, recommend no change.

Integrity: Poor.

Criteria 5: Designed by master architects John Porter Clark & Albert Frey, remodeled 1945 by architect Harry Williams.

Original minimalist architecture for which Clark & Frey are known is all but obscured by numerous alterations.

(8) 783 North Indian Canyon Drive – Palmaire Apartments (aka Casa Palmeras)



Currently contributing – no change recommended.

Criteria 3, 4, & 5

Integrity: Excellent

Good example of small hotel type from the period of significance.

Good example of Spanish Colonial Revival architecture.

Early work of master architect Paul R. Williams.

(9) 784 North Indian Canyon Drive – Los Arboles Hotel (aka Indian Manor Hotel)



Currently contributing – HRG recommended change to non-contributor due to extensive alterations.

Integrity: Fair, significant alterations.

Criteria 3 & 4

Good example of hotel from period of significance

Good example of Spanish Colonial Revival architecture (if this remains as a contributing structure, a listing should be made of the character-defining elements that are original, as most of the current exterior finishes are not original.)

(10) 805 North Indian Canyon Drive / 149 East Tamarisk – De Anza Apartments



Currently listed as contributing – no change recommended.

Integrity: Excellent

Criteria 3 & 4

Good example of hotel from period of significance

Good example of Spanish Colonial Revival architecture.

(11) 814 North Indian Canyon Drive – William Schwartz Residence



Currently listed as contributing

Recommend removal from district & consider for individual class 1 historic site status, as a single family residence, it does not relate to commercial / business theme of the district.

Criteria: 3

Integrity: Excellent

Good example of single family residence in the Spanish Colonial Revival style from the period of significance.

(12) 840 North Indian Canyon Drive – Steven Cushman Residence.



Currently listed as contributing –
Criteria 3

Integrity: good

Recommend removal from district & considered for individual class 1 historic site status, as single family residence it does not relate to the commercial/business theme of the district.

(13) 855 North Indian Canyon Drive – Crawford Apartments (aka Village Inn Hotel)



Currently listed as non-contributing – recommend change to contributing status.

Criteria 3

Integrity: Good.

Good example of small hotel from the period of significance.

(14) 860 North Indian Canyon Drive –



Currently non-contributing

Recommended for removal from district; Not constructed during the period of significance.

(15) 888 North Indian Canyon Drive – Bearfoot Inn (aka Morningside Inn, Starliner Hotel)



Currently non-contributing – HSPB recommended for contributing status, HRG & staff recommend removal from district.

Integrity: poor. Too heavily altered to reflect period of significance.

(16) 538-550 North Palm Canyon Drive – Frances Stevens School & Park



Currently contributing – no change recommended.

Criteria 3 & 4

Good example of civic / educational building & park from period of significance
Excellent example of Spanish Colonial Revival architecture applied to an educational facility.

Integrity: Good; numerous alterations, deferred maintenance.

(17) 600 North Palm Canyon Drive – Birba Restaurant



Currently listed as non-contributing – no change recommended.

Not constructed during the period of significance for the district.

(18) 621 N. Palm Canyon Drive – Copley's Restaurant (aka El Tovar Apts, Starlane Hotel)



Currently non-contributing – HSPB recommended for contributing status, HRG & staff recommend removal from district,

Integrity compromised, does not convey significance related to district theme or building type.

(19) 622 North Palm Canyon Drive - Alcazar Hotel (aka Peppertree Hotel)



Currently listed as contributing – no change recommended

Criteria: 3 & 4

Integrity: fair. Numerous alterations.

Good example of hotel from the period of significance

Good example of Spanish Colonial Revival architecture.

(20) 622 North Palm Canyon Drive – Cheeky's Restaurant (aka Reid Clinic)



Currently listed as non-contributing – no change recommended.

Integrity: poor, significantly altered. No longer conveys historic significance.

Early (1927) structure part of Dr. Henry Reid's Medical Clinic

Criteria 2 (associated with Dr Reid.

Built during the period of significance for the district, but too altered to be deemed contributing.

(21) 639-647 North Palm Canyon Drive – Del Hai Mo Lodge (aka Thai Smile Bldg.)



Currently listed as non-contributing – HSPB recommended for contributing status, HRG & staff recommend removal from district.

Integrity: poor, numerous alterations

Hotel / apartments built during the period of significance, but too heavily altered to convey significance.

(22) 648-650 North Palm Canyon Drive – Dr. Henry Reid Clinic (aka Tchotchke's)



Currently listed as contributing – HRG & staff recommend de-classify to non-contributing, integrity compromised, significantly altered, no longer conveys original use, style, or period of significance.

Integrity Poor

Example of medical / office clinic from period of significance

(23) 655 North Palm Canyon Drive – Hollowell Building



Currently listed as non-contributing – HRG & staff recommended to remove from district,

Not constructed during the period of significance for the district.

May be eligible for stand-alone Class 1 designation under Criteria 5 (example of work of architect Stan Sackley, an architect of local significance)

(24) 664 North Palm Canyon Drive – Wilson-Sorum Building (aka Jakes Fine Eats)



Currently listed as non-contributing – recommended change to contributing status.

Criteria 3

Integrity: Fair, numerous alterations.

Conveys significance as an example of a courtyard type of office building from

the period of significance.

(25) 666 North Palm Canyon Drive – Backstrom-Reid Building (aka Lapham Building)



Currently listed as non-contributing – recommended change to contributing status.

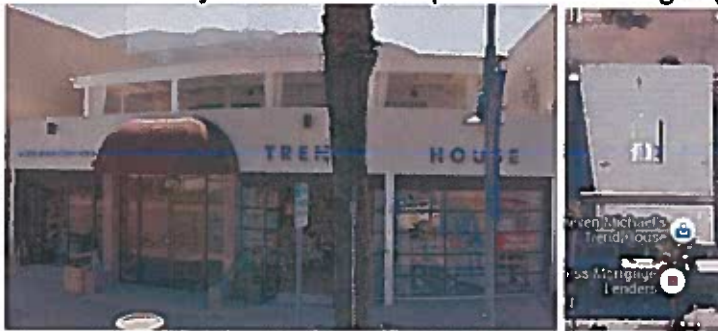
Criteria: 3 & 4

Integrity: Excellent

Excellent example of mid-century modern commercial architecture

Good example of property from the period of significance

(26) 675 North Palm Canyon Drive – Adolph Israel Building – (aka Trend House)



Currently non-contributing – HSPB recommended for contributing status, HRG & staff recommend removal from district.

Integrity: poor, numerous alterations

No longer conveys period of significance.

(27) 687 North Palm Canyon Drive – Dollard Building



Currently non-contributing – recommended change to contributing status.
Criteria 3, 4 & 5
Integrity: Good.
Good example of commercial property relating to the theme of the district.
Unique example of “art moderne” architecture reflecting the period of significance of the district.
Work of locally significant architect's Clark & Frey with Robson Chambers.

(28) 700 North Palm Canyon Drive – Clifton Dental Building



Currently listed as contributing – no change proposed.
Criteria 3
Integrity: Good
Good example of small medical / dental office from the period of significance for the district.
Some modifications may have been designed by master architect John Porter Clark, however does not present a noteworthy example of the modernist work of Clark.

(29) 707-749 North Palm Canyon Drive – Turonnet Bulding – (aka Trio Restaurant & stores)



Currently listed as non-contributing – recommended change to contributing status.
Criteria 3 & 5
Integrity: Excellent
Good example of commercial building from the period of significance
Good example of architecture from the mid-century period.
Designed by master architects Clark & Frey.

(30) 750 North Palm Canyon Drive – Security Pacific Savings & Loan



Currently non-contributing – no change proposed.
Not constructed during the period of significance for the district.

(31) 756 North Palm Canyon Drive – Samson Curtis Insurance Building



Currently non-contributing – HSPB recommended change to contributing – HRG & Staff recommend no change, substantially altered.
Integrity: fair
Built during the period of significance but too heavily altered to reflect its original feeling.

(32) 766-768 North Palm Canyon Drive – Kocher-Samson Building



Currently Class 1 – recommended added to contributing status.
Criteria 3, 4 & 5
Integrity: good
Good (and rare) example of International Modern architecture.
Good example of commercial building from the period of significance.
Notable example of the work of internationally known architect: Albert Frey.

(33) 777 North Palm Canyon Drive



Currently non-contributing – no change proposed, constructed outside period of significance.

(34) 766-798 North Palm Canyon Drive – The Pacific Building



Currently listed as contributing – no change proposed.

Criteria 3, & 4

Integrity: high.

Good example of commercial mixed use building from period of significance

Good example of Mission Revival / Spanish Colonial Revival.

(35) 787 North Palm Canyon Drive – Integrated Wealth Management Building



Currently non-contributing – no change proposed, substantially altered.

Integrity: poor.

(36) 800 North Palm Canyon Drive – El Paseo Building



Currently listed as contributing – no change proposed, however too heavily altered to stand as a good example of a Spanish Colonial Revival architecture.

Integrity: poor

Criteria 3

Building heavily altered, numerous historically significant elements gone (front covered porch, balcony railings, original windows, roof tiles, etc) however still a fairly good example of one of the earliest commercial structures in the district; conveys adequate significance.

Good example of commercial structure built early in the period of significance for the district.

(37) 803 North Palm Canyon Drive – Condominiums (aka Interior Illusions store)



Currently listed as non-contributing – no change proposed

Not constructed during the period of significance for the district.

Noteworthy example of mid-century-inspired contemporary architecture.

(38) 830 North Palm Canyon Drive – El Paseo Pharmacy - (aka Raymond-Lawrence store)



Currently listed as non-contributing – HSPB recommended change to contributing – HRG & staff recommend no change, substantially altered.

Integrity: poor, no longer conveys historic importance related to the period of significance for the district.

- (39) 844 North Palm Canyon Drive – Whitewater Mutual Water Company Building (aka A la Mod store)



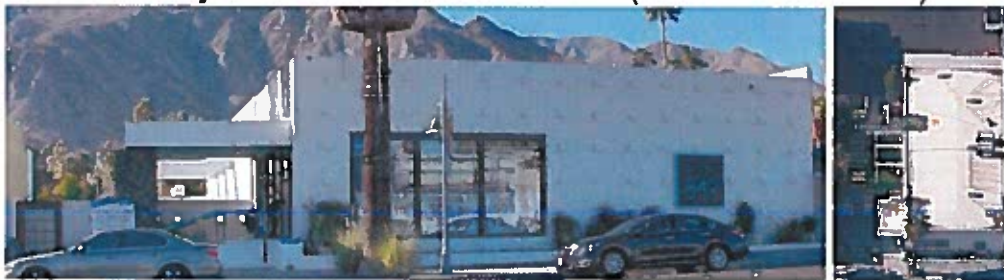
Currently listed as contributing – HSPB recommended no change, HRG & Staff recommend change to non-contributing, substantially altered, does not represent a notable example of the work of John Porter Clark.

Criteria 3 & 5

Integrity: poor, substantially altered, faux “deco” details added.

Early utilitarian commission by master architect John Porter Clark that does not stand as a noteworthy example of his work.

- (40) 849 North Palm Canyon Drive – U.S. Post Office – (aka 849 Restaurant)



Currently non-contributing – HSPB recommended change to contributing – HRG & staff recommend no change,

Integrity: poor, substantially altered, no longer conveys period of significance

Originally constructed for use as a U. S. Post Office.

- (41). 850 North Palm Canyon Drive; “Simsarian Plumbing a.k.a. Windemere Realty”.



Non-contributing – HSPB Subcommittee recommends change to contributing; HRG & Staff recommend no change.

Integrity: poor.

Does not retain sufficient integrity to convey significance.

(42) 861-867 North Palm Canyon Drive



Currently non-contributing – HSPB subcommittee recommended change to contributing – HRG recommends no change,

Integrity: poor, substantially altered, does not convey historic importance from period of significance.

Associated with local realtor Culver Nichols who established his real estate office in the southernmost structure in 1930 and remained there for many years.

(43) 865 North Palm Canyon Drive – My Little Flower Shop / Bridal Shop – (aka R.C. Morrey Medical Office)



Currently non-contributing – HSPB recommends change to contributing – HRG & Staff recommend no change.

Integrity: poor. Substantially altered, no longer conveys significance.

(44) 875-879 North Palm Canyon Drive – Clark & Frey Building (aka Wil Stiles Store)



Currently non-contributing – recommended change to contributing,

Integrity: high

Criteria 3, 4 & 5

Associated with master architects Clark & Frey,
Minimalist architecture from the mid-century era

Conveys significance of district theme and period of significance.
Associated with architectural firm of local significance; also their office.

(45) 882 North Palm Canyon Drive – (aka MacMillan's, Angel View)



Currently non-contributing – HSPB recommends change to contributing, HRG & staff recommend no change,
Integrity: poor; significantly altered.
No longer conveys significance relative to theme or period of district

(46) 894 North Palm Canyon Drive – Palm Springs Florist



Currently contributing – significantly altered, HRG recommends change to non-contributor; significantly altered.
Integrity: poor
Criteria 3
Unique commercial building type (greenhouse) from period of significance.
Owned by the same family for decades.
Only the greenhouse structure and front covered porch appears to retain sufficient historic integrity to be considered contributing.

(47) 891-899 North Palm Canyon Drive – Nichol's Building (aka Trina Turk Building)



Currently non-contributing – HSPB, HRG & staff recommend change to contributing.
Integrity: high

Criteria 3, 4 & 5

Good example of commercial multi-tenant building from the period of significance

Good example of minimalist architecture from the mid-century period.

Noteworthy example of the work of master architects Clark & Frey.

(48) 276 East Granvia Valmonte – Turner Residence (aka Chapman Apartments)



Currently non-contributing

Single family residence, constructed during period of significance for the district, but not related to the commercial theme of the district; Recommend removal from district.

Good example of Spanish Colonial Revival architecture.

(49) 275 Tamarisk – Chaney Apartments



Currently non-contributing – HSPB & HRG recommend change to contributing.

Integrity: good

Criterion 3 & 5

Good example of multi-family development during the period of significance.

Early example of design by notable architects John Porter Clark and Albert Frey.

Summary:

- There are forty-nine (49) recognized properties currently within the boundaries of the Las Palmas Business Historic District (LPBHD).
- There are seventeen (17) properties designated in 1986 as “contributing” to the historic significance of the LPBHD.
- There is one property designated as a Class 1 historic site that is recommended to be formally listed as contributing to the district (Kocher-Samson).
- There are four single family residences that do not relate to the commercial / business theme of the district and are recommended to be removed from the district boundaries. It is recommended that the HSPB evaluate these single family residences individually for possible recommendation for class 1 historic designation.
- There are seven (7) other properties at the periphery of the district that are currently non-contributing and recommended for removal from within the district and the district boundaries adjusted accordingly to strengthen the overall integrity of the district.

- There are eight (8) properties that currently are non-contributing recommended for reclassification to contributing by both the HSPB subcommittee and HRG.
- There are another twelve (12) properties recommended for reclassification by the HSPB subcommittee that are not so recommended by HRG because the sites lack sufficient integrity to convey significance related to the historic district context.
- There are five (5) properties listed in 1986 as contributing that have been so severely altered that they no longer possess adequate integrity and are recommended to be declassified to non-contributing.

CONCLUSION:

The LPBHD was originally established recognizing the collection of pre-World War II commercial / hotel buildings that were constructed mostly in modest derivatives of the Spanish Colonial Revival architectural style. Most of these early buildings have been substantially altered and lack material integrity. Thus, while they may still convey the original use (for example: a hotel) a particular architectural style (ex.: Spanish Colonial Revival), be originally constructed during the period of significance, and convey the commercial / business expansion theme of the district, they fall short in possessing sufficient integrity to be deemed "contributing".

The current analysis of the district has identified other buildings from the post-World War II period that are also historically significant because of their architectural style, because they represent a noteworthy example of the work of a master architect, and/or because they contribute to the community's understanding of how the commercial business core of Palm Springs expanded during the City's "boom" years from the late 1920's through about 1960. Each of these buildings has been evaluated and recommendations on changes in contributing status have been provided.

ENVIRONMENTAL ASSESSMENT

In accordance with Section 15331 (Historical Resources Restoration/Rehabilitation) of the California Environmental Quality Act (CEQA), the proposed designation is categorically exempt from environmental review as the proposed designation meets the conditions outlined for preservation of a historic resource (Class 31 Categorical Exemption).



Ken Lyon, RA, Associate Planner



Flynn Fagg, AICP, Planning Director

Attachments:

1. HRG Report on the Las Palmas Business Historic District dated November 5, 2015
2. HRG spreadsheet of properties within the LPBHD dated April 4, 2015
3. HRG Datasheets on each parcel in the LPBHD
4. HSPB subcommittee's spreadsheet of properties within the LPBHD dated January 12, 2014
5. HSPB / P. McGrew, "The Las Palmas Business Historic District Property Histories". (undated)
6. City Council Resolution 15858 establishing the LPBHD dated May 7, 1986
7. Miscellaneous summary staff memos.
8. National Trust Bulletin #VIII on evaluating Integrity

To: Ken Lyon

City of Palm Springs

From: Christine Lazzaretto; John LoCascio, AIA

Date: April 7, 2015; Revised November 5, 2015

INTRODUCTION

Per your request, Historic Resources Group has evaluated the properties located within the Las Palmas Business Historic District (LPBHD) to identify additional buildings that may contribute to the district. The LPBHD was established in 1986 by City Council Resolution 15858. The designation consisted of:

1. a map delineating the area;
2. a list of "contributing" structures within the district (of which there were approximately 17); and
3. conceptual design guidelines for new development.

In 2009, the City's Historic Site Preservation Board (HSPB) initiated additional study on the district. Based on several years of work on the part of the HSPB, it became evident that the district needed updating and revising, including:

- The development of a context statement to document the period of significance for the district and what the common theme(s) are that unite the contributing sites within it.
- Re-analysis of all sites within the district to determine eligibility as "contributing" and "non-contributing." There are several buildings from the pre-World War II era that have been altered such that they may no longer possess sufficient integrity to be deemed "contributing;" others from the Modern era, left out of the original designation, may possess characteristics that warrant adding them to the "contributing" list; and still others, such as certain single-family residences within the district boundary that are not relevant to the "business-commercial" related theme of the historic district and may be more appropriate removed from the district and established as individual Class I historic sites.

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- Revision of the Conceptual Design Guidelines. Given the diversity of architectural styles that exist within the LPBHD, revision of the design guidelines to reflect not only the architectural variety that is present, but also that would convey the qualitative and special form-based character of the district that may be appropriate for new buildings proposed in the district.

In February 2015, City staff requested that HRG, as part of its contract to update the Citywide Historic Resource Inventory, submit preliminary findings from its Citywide reconnaissance survey on individual building condition and significance within the LPBHD. In July 2015, HRG was contracted to complete a historic context statement and more detailed analysis of the buildings within the LPBHD. This report summarizes HRG's work to date and includes:

- A draft historic context statement identifying the common themes and criteria for the basis of the district.
- Findings of the reconnaissance survey of all sites within the district with integrity assessments and recommendations for contributing status.

The methodology for HRG's evaluation included the following:

- Review of existing documentation about properties within the district compiled by the HSPB.
- Additional research regarding the broad trends and significant catalysts for commercial development in Palm Springs, and the area located within the district boundary specifically.
- Field study to verify previously collected data, and any new data, on buildings within the district.
- Property-specific research on all buildings within the district boundary; this included contemporary news articles, historic photographs, phone books, City Directories, Sanborn maps, and building permit records.

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EXECUTIVE SUMMARY

3

The Las Palmas Business Historic District comprises a portion of Palm Springs' primary commercial thoroughfares along N. Palm Canyon and N. Indian Canyon Drives, and is located immediately north of the city's central business district. The district is bounded by Alejo Road to the south and El Alameda to the north and includes most properties fronting N. Palm Canyon and N. Indian Canyon Drives on both sides (boundary as defined by the City indicated in the map in Figure 1; buildings identified as contributors in 1986 highlighted on the map in Figure 2). The district is composed of a disparate collection of buildings reflecting commercial development from the 1920s through the post-World War II era.

Unlike the central core village which was settled around the hot mineral springs from the 1880s through the early decades of the 20th century, the Las Palmas Business Historic District is significant because it reflects the northward expansion of the City's commercial core as the City grew in notoriety and popularity as an exclusive resort community with an abundance of sunshine, natural resources, and recreational opportunities – all within close proximity to several major urban centers.

Starting with land speculators who began subdividing the area in the mid-1920s, the Las Palmas Business Historic District's period of significance is roughly a 35 year period - from about 1925 to 1960. It reflects the wide variety and transitional nature of popular architectural styles common during that period of time, from picturesque "revival" styles to the International and Mid-century Modern styles. Several buildings in the district were designed by well-known architects and represent architectural and development trends that influenced how other parts of Palm Springs developed. The district reflects the type, scale, and character of commercial growth in a small resort community in which many individual entrepreneurs and business owners bought land and developed small businesses and hotels that responded to and took advantage of the city's growth and continued tourist appeal. The LPBHD continues to be a changing, vibrant, and popular commercial destination within the City of Palm Springs, drawing residents and tourists alike for its walkable scale, collection of architectural styles, variety of restaurants, retail shops, hotels, and actively programmed public spaces.

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HISTORIC CONTEXT

4

Overview

The Las Palmas Business Historic District is not a discreet entity, but instead reflects broader contexts associated with the commercial development in the city. John McCallum was the Valley's first permanent Anglo settler. His efforts ultimately led to the area's transformation into a health resort based on the "dry healing climate." A health spa/hotel was constructed and called the Palm Springs Hotel. Some visitors decided to settle in the area permanently, and soon the small town of Palm Springs began to develop around the hotel and the McCallum ranch. In the early 20th century the town developed as a modest health resort for respiratory patients. After the United States entered World War I in 1917, wealthy Eastern families discovered the exotic spa town set amidst the beauty and solitude of the surrounding desert. Another wave of visitors came during the lethal post-war influenza pandemic of 1918-1919, fleeing the contagion of the big cities for the dry, healthy desert air.¹ Although there are no buildings from this period located within the district boundary, events from Palm Springs' early history influenced the ongoing growth of the city and the way it developed in ensuing decades.

In the 1920s, the town's growing reputation as a premier winter luxury resort was cemented. During that same period, Hollywood discovered Palm Springs when the surrounding desert was used for location shooting of numerous silent films. By the end of the decade Palm Springs was becoming a favored winter weekend retreat for the burgeoning film industry; only a few hours by car from Los Angeles, the isolated desert village offered privacy and relaxation, warm winter sunshine, and stunning natural beauty. In the late 1920s, Dr. Henry Reid established his "Solarium and Clinic," continuing the established tradition of Palm Springs as a health resort. There are three existing structures located within the district that were constructed in the 1920s; however, development in the district did not begin in earnest until the following decade.

Commercial buildings within the district dating from the 1930s represent the northward development of the village's original commercial core. This growth was necessitated by the increasing resident population, along with the area's continued importance as a tourist destination and Hollywood get-away. Post-World War II development continued patterns started in the prewar era, and includes commercial facilities to serve both the tourist and permanent resident populations. Commercial development in Palm Springs during this

¹ Although there is little physical evidence to support this in the way of significant development during this period, news sources indicate that people traveled to the desert as tourists and for health reasons during and immediately following World War I. Ernie Pyle, "Persistence for Eight Years," *Los Angeles Times*, March 27, 1942, 23, and Western Resort Publications, *Palm Springs Area Yearbook* (Palm Springs: Ferris H. Scott, Publisher, 1954), 16.

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period also reflected wider trends in the postwar era, in particular its car-oriented, low-scale, and low-density character.

N. Palm Canyon and N. Indian Canyon differ in development pattern and physical characteristics, with buildings along Palm Canyon representing more traditional downtown commercial development, and the majority of the seasonal/tourist accommodations located along Indian Canyon. Properties along both streets are low in scale and density, and all contributing buildings are one- or two-stories in height.

Significant commercial property types represented in the district include neighborhood commercial buildings such as pharmacies, markets, banks, restaurants, and theaters; commercial retail buildings; mixed use commercial and residential buildings; and commercial office buildings. Due to the importance of the tourism industry in Palm Springs, there are examples of hotels and apartment hotels, many of which represent the courtyard type, along with post-World War II motor courts and motels. Non-commercial property types in the district include multi-family residences (some of which double as apartment hotels), and civic and institutional buildings such as a school and post office. The presence of non-commercial property types within a commercial district is consistent with the way downtown commercial centers typically developed.

The predominant architectural styles in the district are Spanish Colonial Revival and Mid-century Modern, with individual examples of the International Style, Mediterranean Revival, and Late Moderne. Significant architects and architectural firms who designed buildings within the district include John Porter Clark, Clark and Frey, Kocher and Frey, Charles O. Matcham, and Paul R. Williams.²

There are approximately 49 properties located within the district boundary; of these approximately 18 were designated as contributors in 1986.³ An additional eight buildings have been identified as potential contributors as part of this study. Although there is a relatively low percentage of contributing buildings, contributors represent the majority of the acreage within the district boundary.⁴ Of the contributing properties, most have had at least some degree of alteration over time; there are several buildings originally identified as contributors in 1986 that may no longer retain significant character-defining features of

² In keeping with standard practice, architects are identified by their full names when acting as sole practitioners. Firms and partnerships are identified by the name of the business entity.

³ Numbers are identified as "approximate," as the parcel count within the district may have changed over time as commercial buildings were redeveloped or combined. In addition, at least one building that is identified as a single contributor on the City's designated list appears to be two distinct addresses and is therefore counted as two properties here for clarity.

⁴ Land mass percentages pending further research; property data not accessible on the Riverside County Land Information System.

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their style or type, and therefore further review is needed to determine whether they should be re-classified as non-contributors to the district.

Las Palmas Business Historic District: 1920s

Throughout the 1920s the commercial center of Palm Springs remained clustered along a few blocks of Palm Canyon Drive (then Main Drive) primarily between Tahquitz Canyon Way (then Spring Street) and Amado Road (then Lemon Street), south of the boundary of the Las Palmas Business Historic District. The area that comprises the district remained sparsely developed and almost exclusively residential through the end of the 1920s, as shown in the 1929 Sanborn map (Figure 3). Significant residential tracts were subdivided during this period adjacent to the LPBHD; these include Vista Acres (1923, Prescott Stevens), Las Hacienditas (1923, J.J. Kocher), Merito Vista (1925, Prescott Stevens), Las Palmas Estates (1926, Prescott Stevens), and Palm Springs Estates (1927, Prescott Stevens). The residential tracts are identified in the map in Figure 4.

During this period, the district was dotted primarily with single-family residences and one notable courtyard apartment building located at the southwest corner of Tamarisk Road and Indian Canyon Drive: the Palmaire Apartments/Casa Palmeras (HSPB-82), designed by Paul R. Williams⁵ and completed in 1928.⁶ There were a few exceptions to the scattered residential development in the north end of town in the late 1920s. These include the Hotel El Mirador and Garage (outside the district boundary); the Frances S. Stevens School (HSPB-7) occupying the entire block between Alejo Road and Granvia Valmonte; and the Reid Solarium and Clinic (HSPB-24) at what is now 648-650 N. Palm Canyon Drive and 645 N. Indian Canyon Drive.⁷

The Frances S. Stevens School is a prominent early building within the historic district. Prescott T. Stevens, developer of the El Mirador Hotel, donated the site and the funds to build the school, in memory of his wife and her interest in education.⁸ The first two rooms

⁵ Paul Revere Williams (1894-1980) was a Los Angeles-based architect whose career spanned from 1914, when he started working as a draftsman in the office of Pasadena architect Reginald Johnson, until his retirement in 1974. Williams studied at the Los Angeles School of Art and Design, the Los Angeles branch of the New York Beaux Arts Institute of Design, and the University of Southern California, where studied architectural engineering for three years (1916-1919). In 1915, he registered as a building designer and began executing designs for speculative developers. Williams received his architecture license in 1921, becoming the only licensed African-American architect west of the Mississippi. In 1957, Williams became the first African-American member of the American Institute of Architects College of Fellows. Paul R. Williams was one of several Southern California architects, including Wallace Neff, Gordon Kaufmann, Reginald Johnson, and Roland Coate, noted in the 1920s and 1930s for their large custom home designs using traditional styles.

⁶ The building is shown in the 1929 Sanborn map which was published in February of that year; an article in the *Desert Sun* confirms that the building was under construction in October 1928.

⁷ The Reid Solarium and Clinic is identified as such in the 1929 Sanborn map and in a photograph from the early 1930s. By the late 1930s the facility was called the Reid Clinic and Hospital, as evidenced in a later photograph.

⁸ Site history from the HSPB site marker.

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were completed in 1927. Katherine Finchy, who arrived in Palm Springs in 1922, became the school's first administrator. Palm Springs' first bond issue provided additional classrooms, a library, indoor plumbing, a cafeteria, an apartment for the principal, and a large auditorium which served as the city's first theater. The Spanish Colonial Revival-style complex features a traditional layout with rooms arranged around an open courtyard. In the late 1920s local resident Earl Strebe began showing movies in the gymnasium which was eventually converted into the village's first theater. In 1974 the City of Palm Springs purchased the property from the Palm Springs Unified School District and converted it into a Cultural Arts Center; then-Vice President Gerald Ford dedicated the center, dubbed "Everybody's Village."

The Reid Solarium represents Palm Springs as a health resort in the early 20th century. Dr. Henry Squire Reid was a New York native and a 1919 graduate of the University of Colorado Medical School. By 1927, when he obtained his California medical license, he was living in Palm Springs.⁹ Reid constructed a "Solarium and Clinic" north of Granvia Valmonte, on a large parcel that fronted both N. Palm Canyon Drive (then Main Avenue) and N. Indian Canyon Drive (then Indian Avenue). The facility consisted of two Spanish Colonial Revival buildings – a rectangular one-story office building on Palm Canyon, and a U-shaped two-story building on Indian Canyon containing guest rooms and apartments; between them was a third building containing "sun rooms" and dressing rooms. Before 1936 Reid expanded the office building with an addition to the north that included a two-story octagonal tower.¹⁰ Reid became "widely known in medical circles for his research on the curative values of sunlight using his Palm Springs solarium as a winter laboratory" to measure the healthful effects of ultra-violet light.¹¹

Las Palmas Business Historic District 1930-1941

The uptown stretch of Palm Canyon Drive began to develop as a commercial district in the early 1930s. The popularity of Palm Springs with the Depression-proof movie industry provided more economic stability than in most other cities in the United States; as a result, there was continued commercial development during this period, and there are numerous buildings within the district constructed in the 1930s. The predominant architectural style in the district from this period is Spanish Colonial Revival; however, there are also notable Modernist examples.

⁹ California State Archives, Sacramento, CA, *Directory, 1933*, D-273, Ancestry.com (accessed March 13, 2015).

¹⁰ Sanborn Fire Insurance maps, 1929 and 1962, and archival photographs. The office and guest buildings remain but have been altered.

¹¹ "Ultra Violet Rays Measured," Los Angeles Times, December 29, 1932, A5.

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Contributing buildings constructed in the 1930s represent the expansion of the city's original commercial core to the north as Palm Springs continued to grow during this period. Commercial development in the Las Palmas Business Historic District in the 1930s was partly a response to the increased pace of development in that decade in the flanking residential tracts that were originally established in the 1920s. Sparsely developed through the 1920s, these neighborhoods experienced a surge of residential construction in the following decade. (Parcel development by decade shown in Figure 5). This was likely due, at least in part, to their proximity to the popular El Mirador Hotel, which opened in 1928.¹² Several of these neighborhoods generally represent high end residential development of custom homes on large lots; Las Hacienditas and Palm Springs Estates became part of what would become known as the Movie Colony. Many of the businesses that concurrently sprang up along the adjacent stretch of Palm Canyon Drive – a market, a pharmacy, a movie theater, retail stores, and medical offices – catered to the growing residential neighborhoods to the east and west.

Broader development patterns represented in the district from the 1930s include the continued emphasis on tourism and tourist-related resources. Although the most prominent examples of hotels and resorts from the pre-World War II period – the Desert Inn, Oasis, and El Mirador - are located outside the district boundary, these developments had a significant impact on the overall commercial development in Palm Springs and represent the continued investment in the city. This resulted in the construction of a number of hotels and apartment hotels within the city's commercial center, including within the district boundary. Contributing buildings also reflect retail, office, and entertainment-related development (represented by a variety of commercial property types), and resources that represent the growing influence of the automobile.

One of the most prominent buildings constructed during this period is the El Paseo Building (HSPB-27) designed by architect Jonathan Ring and constructed in 1930 at the northeast corner of N. Palm Canyon Drive and E. Tamarisk Road.¹³ The Spanish Colonial Revival-style building surrounds a central courtyard and originally featured a columned *corredor* encompassing the sidewalk along Palm Canyon Drive and cantilevered wood balconies overlooking Tamarisk Road. Tenants included the El Paseo Market and Earl Strebe's El Paseo Theater.¹⁴

¹² Burton L. Smith, "Miracle Hotel Graces Desert," *Los Angeles Times* January 2, 1928, A9.

¹³ Although several sources note 1926 as the construction date for the El Paseo Building, it is not shown in the 1929 Sanborn map. An article in the *Los Angeles Times* dates the building to 1930. "El Paseo Opens Tuesday," *Los Angeles Times*, January 13, 1930, A10.

¹⁴ Palm Springs Historic Site Preservation Board, "Las Palmas Business Historic District Building Histories," (undated), 30. The El Paseo Building was extensively altered in the 1950s and partially rehabilitated in 2009.

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International Style modernism made its first appearance in Palm Springs in 1934, with the construction of the Kocher-Samson Building (HSPB-79) on a lot north of the Reid clinic (766 N. Palm Canyon Drive). The two-story mixed-use building, with medical offices on the ground floor and an apartment above, was designed by the firm Kocher and Frey, which was composed of New York architect A. Lawrence Kocher and his Swiss-born business partner, Albert Frey. The building was designed for Kocher's brother, Dr. J.J. Kocher.¹⁵ In the late 1920s Frey worked briefly in Paris for Le Corbusier (Charles-Édouard Jeanneret, 1887-1965), one of the leading modernist architects in Europe, who espoused formal, proportional compositions and declared the house "a machine for living."¹⁶ Frey immigrated to the United States in 1930 and soon afterward began working with Kocher.¹⁷ Frey designed the Kocher-Samson building in response to its desert setting as a cluster of square and rectangular forms enclosing a series of patios and small gardens. Frey traveled to Palm Springs at the end of 1934 to supervise its construction and was instantly attracted to the desert landscape. The partnership with Kocher was amicably dissolved, and in 1935 Frey formed a partnership with a young California architect, John Porter Clark,¹⁸ which was to last for nearly 20 years.¹⁹ Clark and Frey are known as two of the founders of the "Desert Modern" style of architecture.²⁰

A large mixed-use building, the Mediterranean Revival-style Pacific Building (784 N. Palm Canyon), was constructed in 1937 at the southeast corner of N. Palm Canyon Drive and E. Tamarisk Road, immediately north of the Kocher-Samson Building and opposite the El Paseo Building.²¹ It was built by local contractor Charles Chamberlin, who also constructed the Welwood Murray Memorial Library.²² The building, with its central courtyard and four-story tiered corner tower, contained retail spaces and offices on the ground floor with

¹⁵ Joseph Rosa, *Albert Frey, Architect* (New York: Rizzoli International Publications, Inc., 1990), 35.

¹⁶ Spiro Kostoff, *A History of Architecture: Settings and Rituals* (New York: Oxford University Press, 1985), 700-701.

¹⁷ Rosa, 26.

¹⁸ John Porter Clark (1905-1991) was born in Iowa, but relocated to Pasadena with his family in 1920. He worked for the firm of Marston, Van Pelt and Maybury before enrolling in the architecture program at Cornell University, from which he graduated with a Bachelor of Architecture in 1928. After graduating, Clark returned to Pasadena where he apprenticed with Garrett Van Pelt, in the architectural firm of Van Pelt and Lind. While working in Pasadena, Clark met Sally and Culver Nichols, a Pasadena realtor who invited him to relocate to Palm Springs. Clark was unlicensed at that time, but produced drawings under the firm name Van Pelt and Lind. In 1935, Clark met Albert Frey, who was in Palm Springs supervising the construction of the Kocher-Samson office building. After completion of the office building, Clark and Frey formed a partnership that lasted from 1935 to 1937 when Frey returned to New York to work on the Museum of Modern Art. Frey returned to Palm Springs in 1939, and the two resumed a partnership that would last until 1957.

¹⁹ Rosa, *Albert Frey*, 36.

²⁰ "Albert Frey," PS Modcom, http://psmodcom.org/?page_id=205 (accessed March 2015).

²¹ *Palm Springs News*, April 8, 1937. "Just completed and now ready for occupancy is the attractive Pacific Commercial building..."

²² "Pioneer Village Builder, Charles Chamberlin Dies," *The Desert Sun*, XXVII, 77, May 16, 1955, 1a.

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apartments above. The Pacific Building is distinctive for its size and its strong Italian Renaissance Revival design elements, including wide overhanging eaves, corbeled balconies, Tuscan columns, and decorative quoins.

More typical of 1930s commercial development in the area are the one- and two-story Wilson-Sorum Building immediately north of the Reid Clinic at 664 N. Palm Canyon Drive (1937, architect Charles O. Matcham),²³ built around a central courtyard; and the modest, one-story Clifton Dental Building (1936) at 700 N. Palm Canyon Drive, attributed to John Porter Clark.²⁴ The Clifton building is a hybrid of Spanish Colonial Revival and Modern or Moderne elements, with a clay tile roof, plaster walls, and steel sash casement windows that wrap the building's corners.

A number of small hotels, apartment hotels, and bungalow courts were constructed in the Las Palmas Business Historic District in the 1930s along N. Indian Canyon Drive. The apartments and bungalow courts were built primarily to accommodate seasonal visitors, rather than as long-term multi-family housing, and most were designed in the prevailing Spanish Colonial Revival style. Representative examples include the bungalow court of Los Arboles (later the Indian Manor Hotel) at 784 N. Indian Canyon Drive (1935), the Ambassador Apartment Hotel (later the Spanish Inn and now the Triada Hotel) at 640 N. Indian Canyon Drive (1936), and the Colonial House Hotel, later Howard Manor and now the Colony Palms Hotel, at 572 N. Indian Canyon Drive (1936). The Colonial House occupies the entire block bounded by N. Indian Canyon Drive, E. Granvia Valmonte, Via Chica, and E. Via Colusa. It was built for casino owner Al Wertheimer.²⁵ The San Jacinto Hotel, now the Movie Colony Hotel, at 726 N. Indian Canyon drive (1935) was designed by Clark and Frey.²⁶ The distinctive building features clusters of minimalist, plaster-clad

²³ The Pennsylvania-born Charles O. Matcham (1903-1980) earned both his undergraduate and graduate degrees from Yale University. Upon graduation he moved to Los Angeles here he worked in the offices of Roy Seldon Price in Beverly Hills and Earl Heitschmidt in Los Angeles from 1932-1936. He was a frequent visitor to the Palm Springs area and opened an office there from 1934-1938 where he did mostly residential work. In 1940 he established a ten-year partnership with Earl Heitschmidt. In his application for Fellowship to the AIA in 1956, he described his prewar work as "gaining prominence in the trends towards 'outdoor-indoor' living by use of larger glass areas, shaded terraces, patios, pools etc., in contemporary adaptations of traditional styles." Matcham was also active in promoting the use of proper reinforcement of hollow cement block construction in Palm Springs, the establishment of the City's first Building and Safety Department, and the local adoption of the Uniform Building Code (1937-40). Matcham was active in the Southern California chapter of the AIA, serving in multiple posts annually beginning in the 1930s. In 1956, he was awarded the title of Fellow in recognition of his service to the Institute.

²⁴ Historic Site Preservation Board, "Las Palmas Business Historic District Building Histories," (undated), 22.

²⁵ Historic Site Preservation Board, "Las Palmas Business Historic District Building Histories," (undated), 7.

²⁶ Due to alterations, the Movie Colony Hotel was identified as part of this study as a non-contributor to the district; however, additional photograph evidence is needed in order to confirm the extent of alterations.

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cubist volumes that later had to be altered with the addition of covered porches and awnings to block the desert sun.²⁷

Las Palmas Business Historic District: World War II & Post-World War II

No new buildings were constructed in the Las Palmas Business Historic District during World War II. Palm Springs and the surrounding desert played an important role in the war effort: what would become Palm Springs International Airport was established as an Air Corps landing field;²⁸ General George S. Patton established the Desert Training Center at Fort Young, an hour east of Palm Springs, to train his troops for the North African campaign; and the El Mirador Hotel was temporarily converted into Torney General Hospital, a 1,600 bed military hospital. But following the Japanese attack on Pearl Harbor in December 1941, significant material resources and labor were dedicated to the war effort, and nearly all private construction ceased for the duration of the conflict.

In the post-World War II era, the area that is now the Las Palmas Business Historic District continued the northward expansion of the main commercial center that started in the 1930s; however, development during this period consisted primarily of infill construction on undeveloped lots. Some simplified Spanish Colonial Revival buildings were constructed during this period, but the predominant architectural style in the district in the postwar years, as throughout Palm Springs, was Modern. The city's post-war boom of tourists and seasonal residents coincided with the rise in popularity of Modernism across the United States. This created, in Palm Springs, a perfect storm – an unusually high proportion of young architects, trained in the tenets of Modernism, who settled and practiced in Palm Springs after the war, combined with clients and developers willing to experiment with adventurous, unconventional designs. Architecture in Palm Springs from this period reflected this fortuitous convergence and expressed a wide range of Modern interpretations in the designs of residential, commercial, and institutional buildings, leaving the city with an unusually large and fine concentration of mid-20th century Modern design.

Commercial architecture in Palm Springs from this period increasingly served two purposes: the need for tourist-oriented buildings for seasonal residents and visitors, and the need for practical daily services, such as offices, banks, shops, and gas stations, for the growing population of permanent residents. In the Las Palmas Business Historic District, as throughout the city, buildings continued to be low in scale, predominantly one but occasionally two stories in height. Setbacks along N. Palm Canyon Drive are relatively

²⁷ Rosa, 36-37.

²⁸ This would be the city's second municipal airport. The first, founded in 1934, was located on leased land in Section 14, on a parcel bounded by Alejo Road, Sunrise Way, Tahquitz Canyon Way, and Avenida Caballeros.

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consistent, with most buildings having only a minimal setback from the sidewalk. Setbacks are more varied along N. Indian Canyon Drive. The updated Sanborn map from 1962 illustrates development in the district during this period (Figure 6).

The postwar tourism boom prompted the development of a number of hotels, motels, apartment hotels, and inns to accommodate the growing demand. Most lodgings for visitors remained relatively small in scale and were often oriented around a central landscaped area or pool; outdoor spaces to enjoy the sun, air, and scenery were key elements shaping these designs. Examples within the district include the Crawford Apartments, an early motor court at 855 N. Indian Canyon Drive (1945; now the Village Inn);²⁹ and the Del Hai Mo Lodge at 641 N. Palm Canyon Drive (1952).

Clark and Frey designed a number of commercial buildings in the district in the late 1940s and early 1950s. These include their own office building (1947) at 875-879 N. Palm Canyon Drive, a two-story mixed-use building with retail on the ground floor and the architects' offices above; the Late Moderne-style Dollard Building (1947) at 687 N. Palm Canyon Drive; the Turonnet Building (1949) at 707-749 N. Indian Canyon Drive; and the one-story, minimalist Nichols Building (1953) at 891-895 N. Palm Canyon Drive.

A noteworthy medical office building from this period is the Backstrom-Reid Building at 666 N. Palm Canyon Drive. Local developer and designer Howard Lapham constructed the two-story medical office building for Dr. Henry Reid and his business partner, Robert G. Backstrom.³⁰ The building is framed by its flat roof and end wall panels that form a continuous folded plane over the building and a *porte-cochère* that leads to the parking lot at the rear. The façade is articulated with stone veneer, decorative metal screens, and an exterior staircase leading to the second story.

Infill development continued in the district in the ensuing decades, continuing the pattern of sporadic development and varied architectural styles established in the 1930s.

²⁹ Historic Site Preservation Board, "Las Palmas Business Historic District Building Histories," (undated), 11.

³⁰ Historic Site Preservation Board, "Las Palmas Business Historic District Building Histories," (undated), 19. Although some sources attribute the design of this building to Haralamb Georgescu, with whom Lapham was associated, Georgescu's biographical information indicates that he did not begin working with Lapham until 1959, after the Backstrom-Reid building was constructed.

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The Las Palmas Business Historic District was evaluated using local eligibility criteria established in the Historic Preservation Ordinance, section 8.05.010 of the Palm Springs Municipal Code. The district meets local Criterion 6, which defines a historic district as "a significant and distinguishable entity whose components may lack individual distinction." The district and the contributing buildings further represent local Criteria 3, 4, and 5, which are defined as:

- (3) That reflects or exemplifies a particular period of the national, state or local history.
- (4) That embodies the distinctive characteristics of a type, period or method of construction.
- (5) That presents the work of a master builder, designer, artist, or architect whose individual genius influenced his age; or that possesses high artistic value.

The district as a whole is eligible under Criterion 3 as a contiguous geographic area within the city's larger commercial center that reflects significant trends in commercial development from both the pre- and post-World War II eras. It is eligible under Criteria 4 and 5 for its collection of architecturally significant properties, property types, and/or works by master architects.

In order to be considered a contributor to the Las Palmas Business Historic District, an individual property cannot simply date to the period of significance. It must reflect an important development pattern associated with the district, and it must retain the physical integrity required to convey that significance. Contributing properties represent the following eligibility criteria:

Criterion 3 (Period of History)

- Buildings from the 1920s may be eligible as early and rare commercial development in the area; or for reflecting the influence of important early pioneers or merchants on commercial development; or for reflecting the importance of the health and wellness or tourism industries.
- Buildings from the 1930s may be eligible as early, good, or prominent examples of commercial development representing the northward expansion of the commercial district during this period, in response to increased tourism and residential development in neighboring tracts.
- Buildings from the post-World War II era may be eligible for reflecting the continued growth of the city and the importance of the tourism industry.

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Criterion 4 (Distinctive Characteristics of a Type of Style)

- As a good, prominent, or noteworthy example of a particular architectural style, reflecting quality of design and distinctive design details. Early examples represent period revival and early modernist styles; post-World War II examples reflect the importance of Modernism in Palm Springs and the influence of the modern era on architecture.
- As a good or rare example of a property type that is significant within the context of the district.

Criterion 5 (Work of a Master)

- As the work of a master architect.

Integrity Considerations

In addition to meeting the applicable eligibility criteria, a historic district and the individual contributors must retain historic integrity in order to convey that significance. In order for a historic district to be eligible for designation, the majority of the components that add to the district's historic character must possess integrity, as must the district as a whole.³¹ Some alteration to individual buildings may be acceptable provided that the building retains its ability to convey its historic significance. A greater degree of alteration may be acceptable for buildings that represent an important commercial development trend or pattern (Criterion 3), or for buildings that represent a rare building type; however, buildings that are eligible as good examples of a property type, architectural style, or work of a master architect (Criteria 4 or 5) must retain most of the physical features that constitute the type or style. A property that has lost some historic materials or details can be eligible if it retains the majority of the features that illustrate its style in terms of the massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation. The property is not eligible, however, if it retains some basic features conveying massing but has lost the majority of the features that once characterized its style.

Building Evaluations

An evaluation of each building within the district has been conducted as part of this study. Evaluations include alterations (both confirmed through permit research and visible in the field), an assessment of each building's historic integrity, and a justification for contributing or non-contributing status. The current evaluations and recommendations are illustrated in the map in Figure 7. Additional information about each property is included in the data

³¹ Integrity thresholds follow guidance established by the National Park Service. *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* (Washington D.C.: National Park Service), 1995.

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sheets that accompany this memo. A summary table is included for reference on pages 16-18. Note that buildings are identified as potential contributors based on available information and physical integrity at the time of the evaluation; should additional information be obtained, or should a building be rehabilitated in the future to more accurately reflect its historic appearance, its status could be re-considered at that time.

There are four single-family residences that were identified as contributing buildings in 1986; these properties do not reflect significant trends and patterns in the business district and do not contribute to the significance of the district as an expansion of Palm Springs' commercial center. Therefore, it is recommended that the district boundaries be redefined to exclude those properties from the district, and that they be re-classified as individual Class 1 structures.

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LAS PALMAS BUSINESS HISTORIC DISTRICT: SUMMARY TABLE

Address	1986 Evaluation	2015 Recommendation	Further Review?
175 E El Alameda	Contributor	Contributor	--
265 E Via Altamira	Contributor	Class I	X
500-552 N Indian Canyon Dr	--	Non-contributor; remove from boundary	--
572 N Indian Canyon Dr	Contributor	Contributor	--
640 N Indian Canyon Dr	Contributor	Integrity compromised: consider re- classification as non- contributor	X
700-726 N Indian Canyon Dr	--	Non-contributor	--
701-729 N Indian Canyon Dr	--	Non-contributor	--
783 N Indian Canyon Dr	Contributor	Contributor	--
784 N Indian Canyon Dr	Contributor	Integrity compromised: consider re- classification as non- contributor	X
805 N Indian Canyon Dr / 149 E Tamarisk Rd	Contributor	Contributor	--
814 N Indian Canyon Dr	Contributor	Class I	X
840 N Indian Canyon Dr	Contributor	Class I	X
855 N Indian Canyon Dr	--	Contributor	--
860 N Indian Canyon Dr	--	Non-contributor; remove from boundary	--
888 N Indian Canyon Dr	--	Non-contributor; remove from boundary	--
538-550 N Palm Canyon Dr	Contributor	Contributor	--

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Address	1986 Evaluation	2015 Recommendation	Further Review?
600 N Palm Canyon Dr	--	Non-contributor	--
621 N Palm Canyon Dr	--	Non-contributor; remove from boundary	--
622 N Palm Canyon Dr (Reid Clinic)	Contributor	Contributor	--
622 N Palm Canyon Dr (Cheeky's)	--	Non-contributor	--
639-647 N Palm Canyon Dr	--	Non-contributor; remove from boundary	--
648-650 N Palm Canyon Dr	Contributor	Integrity compromised: consider re-classification as non-contributor	X
655 N Palm Canyon Dr	--	Non-contributor; remove from boundary	--
664 N Palm Canyon Dr	--	Contributor	--
666 N Palm Canyon Dr	--	Contributor	--
675 N Palm Canyon Dr	--	Non-contributor; remove from boundary	--
687 N Palm Canyon Dr	--	Contributor	--
700 N Palm Canyon Dr	Contributor	Contributor	--
707-749 N Palm Canyon Dr	--	Contributor	--
750 N Palm Canyon Dr	--	Non-contributor	--
756 N Palm Canyon Dr	--	Non-contributor	--
766 N Palm Canyon Dr	--	Contributor	

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Address	1986 Evaluation	2015 Recommendation	Further Review?
768-796 N Palm Canyon Dr / 139 E Tamarisk Rd	Contributor	Contributor	--
777 N Palm Canyon Dr	--	Non-contributor	--
787 N Palm Canyon Dr	--	Non-contributor	--
800 N Palm Canyon Dr	Contributor	Contributor	--
803 N Palm Canyon Dr	--	Non-contributor	--
830 N Palm Canyon Dr	--	Non-contributor	--
844 N Palm Canyon Dr	Contributor	Integrity compromised: consider re- classification as non- contributor	X
849 N Palm Canyon Dr	--	Non-contributor	--
850 N Palm Canyon Dr	--	Non-contributor	--
861-867 N Palm Canyon Dr	--	Non-contributor	--
865 N Palm Canyon Dr	--	Non-contributor	--
875-879 N Palm Canyon Dr	--	Contributor	--
882 N Palm Canyon Dr	--	Non-contributor	--
891-899 N Palm Canyon Dr	--	Contributor	--
894 N Palm Canyon Dr	Contributor	Integrity compromised: consider re- classification as non- contributor	X
276 E Granvia Valmonte	--	Class I	X
275 E Tamarisk Rd	--	Contributor	--

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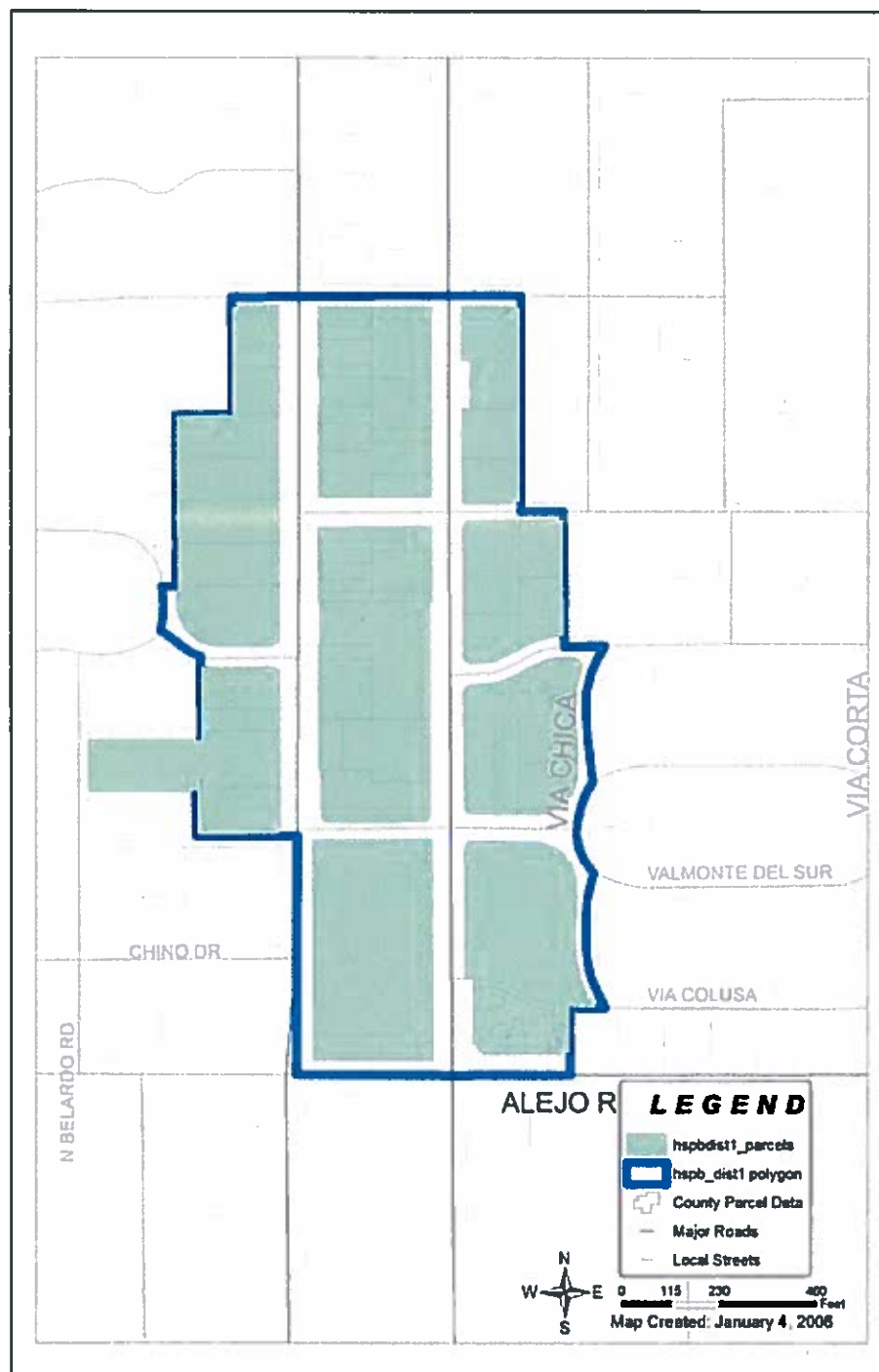


FIGURE 1: LAS PALMAS BUSINESS HISTORIC DISTRICT: BOUNDARY AS DEFINED BY THE CITY (SOURCE: CITY OF PALM SPRINGS)

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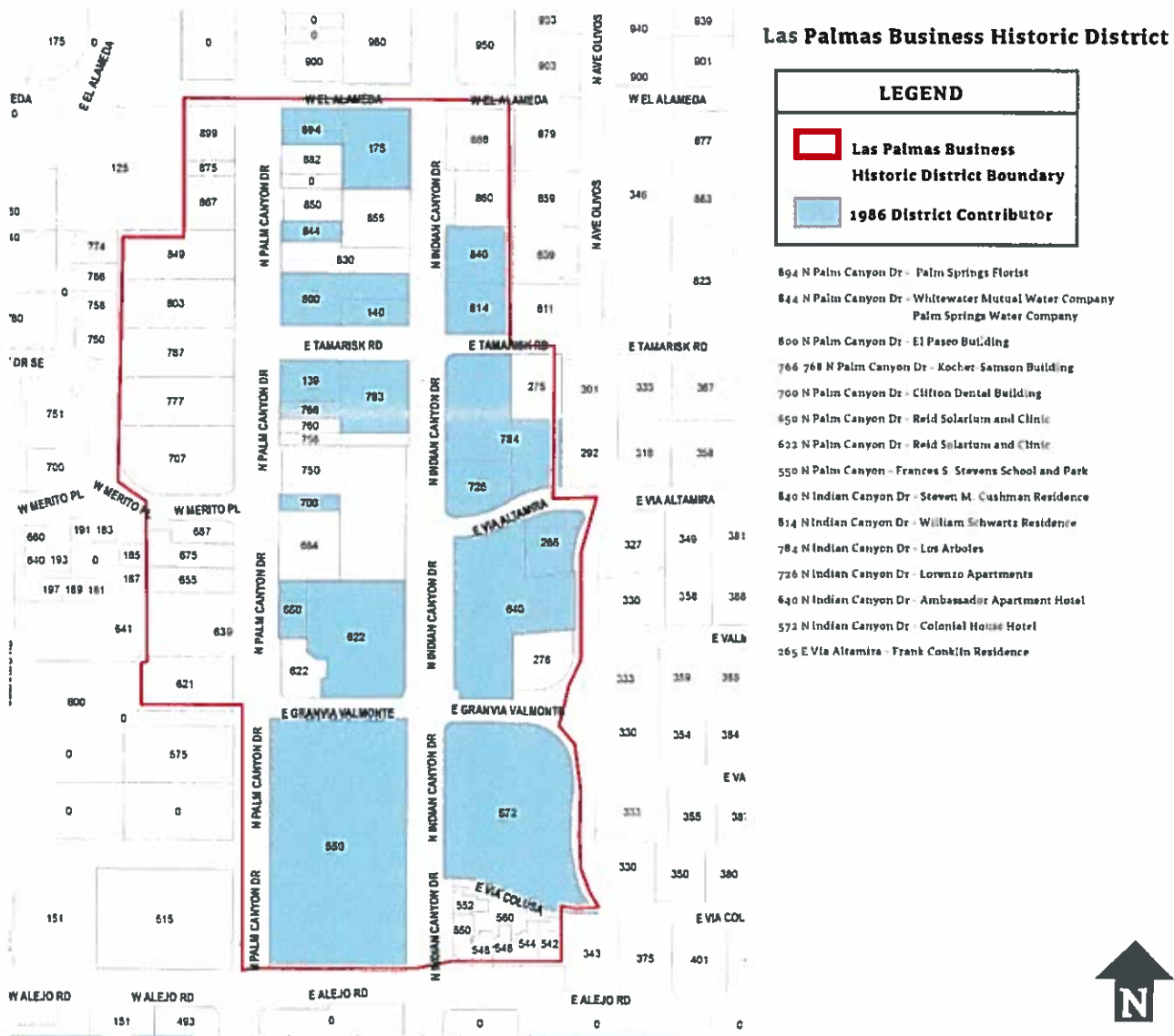


FIGURE 2: LAS PALMAS BUSINESS HISTORIC DISTRICT: CONTRIBUTING BUILDINGS (1986)

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Las Palmas Business Historic District - 1929

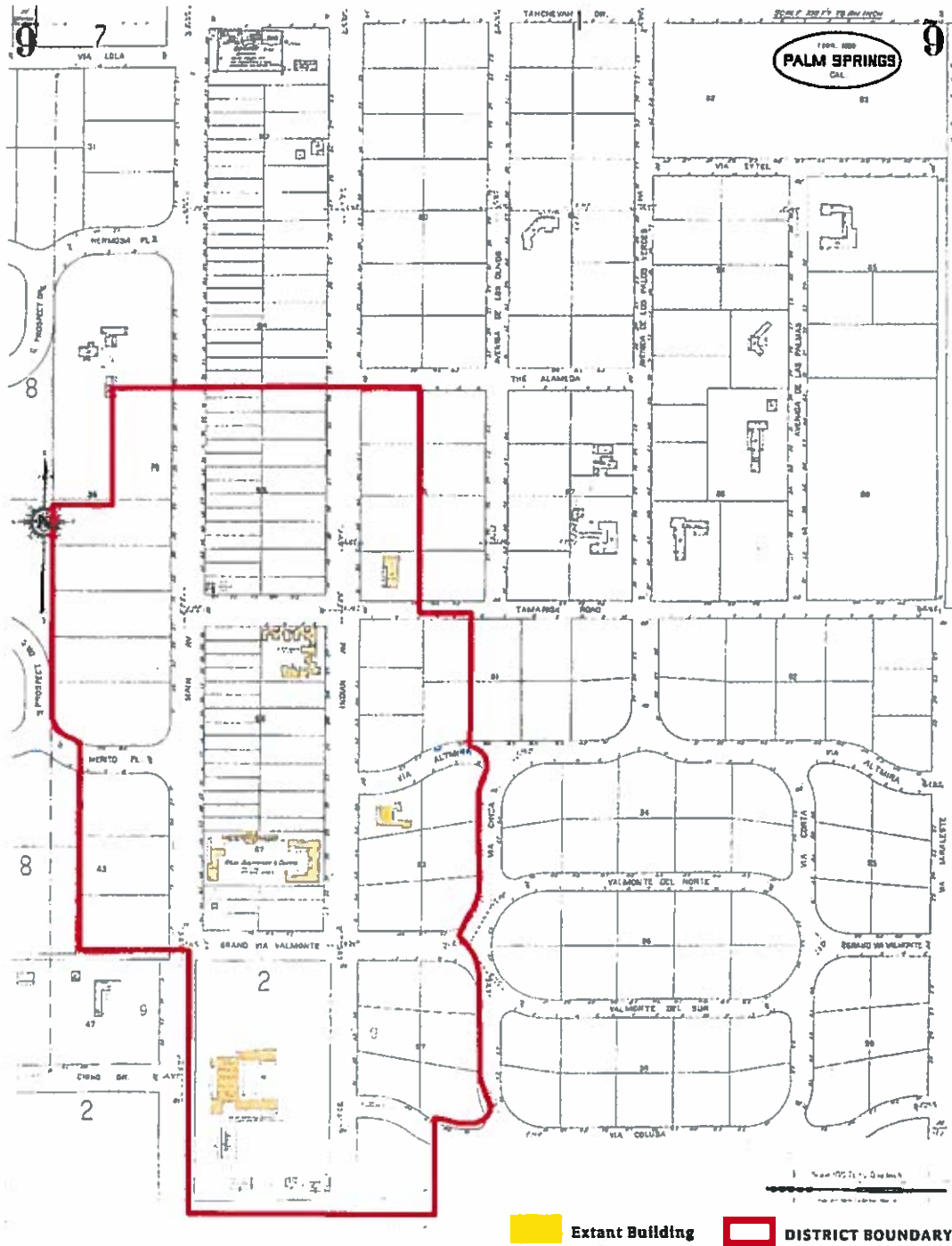


FIGURE 3: 1929 SANBORN MAP

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
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Las Palmas Business Historic District Study Map with Tract Development

LEGEND	
	Las Palmas Business Historic District Boundary
	Tract boundaries
	El Mirador Hotel Boundary

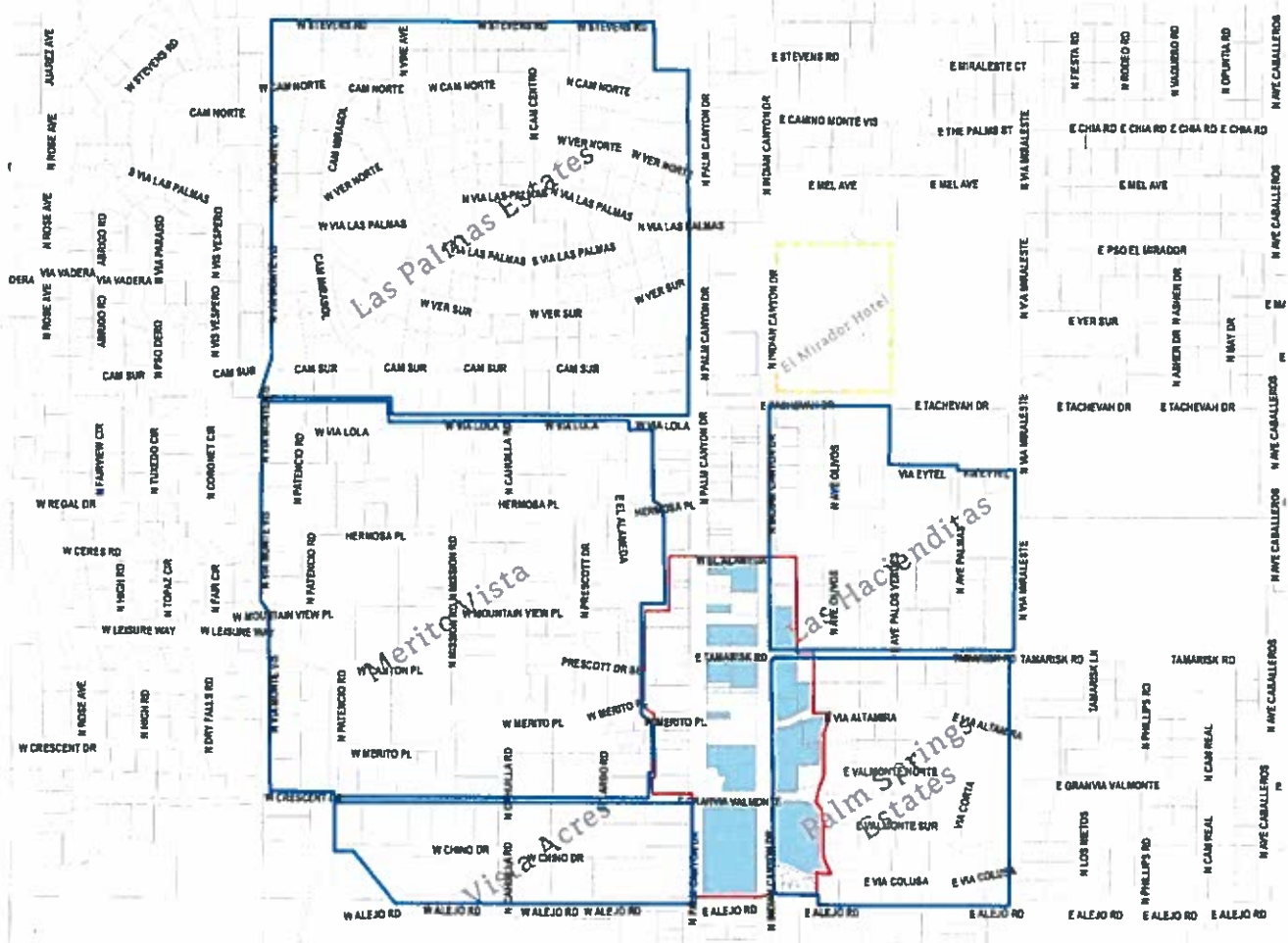


FIGURE 4: RESIDENTIAL TRACTS ADJACENT TO THE LAS PALMAS BUSINESS HISTORIC DISTRICT

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Las Palmas Business Historic District Decade Map

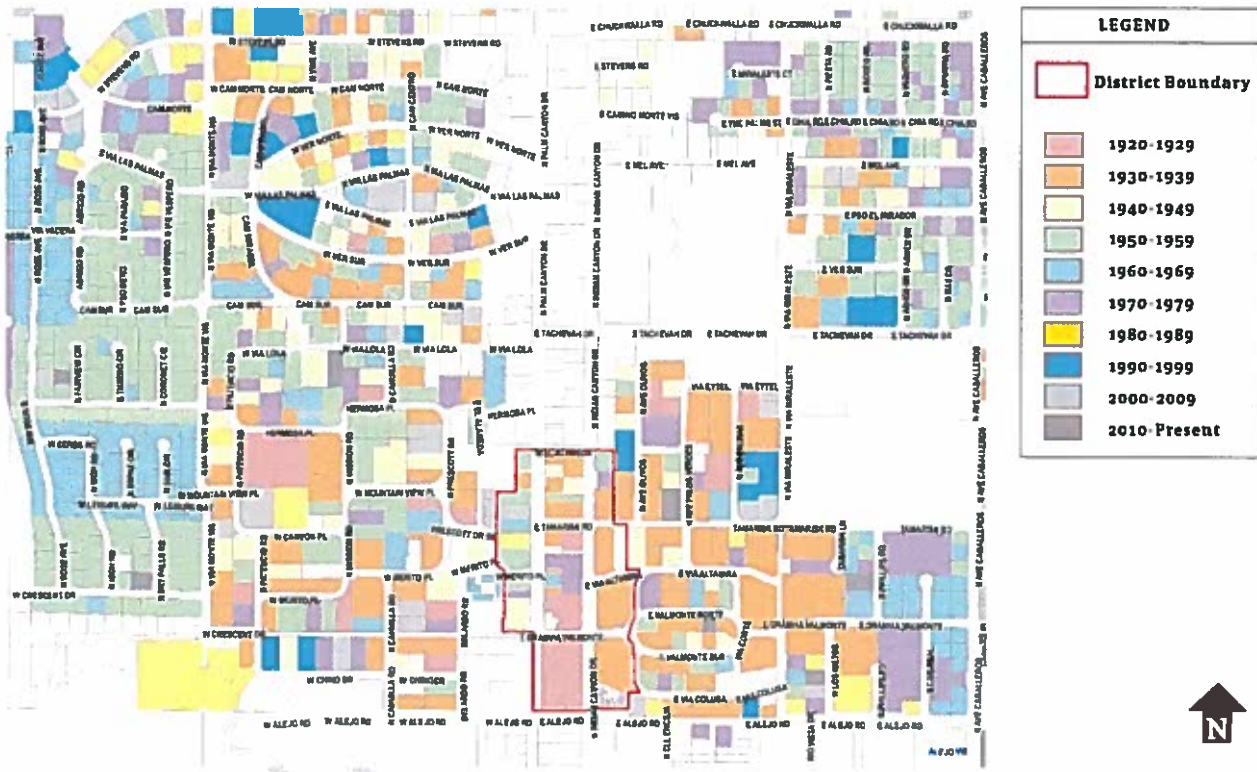


FIGURE 5: PARCEL DEVELOPMENT BY DECADE

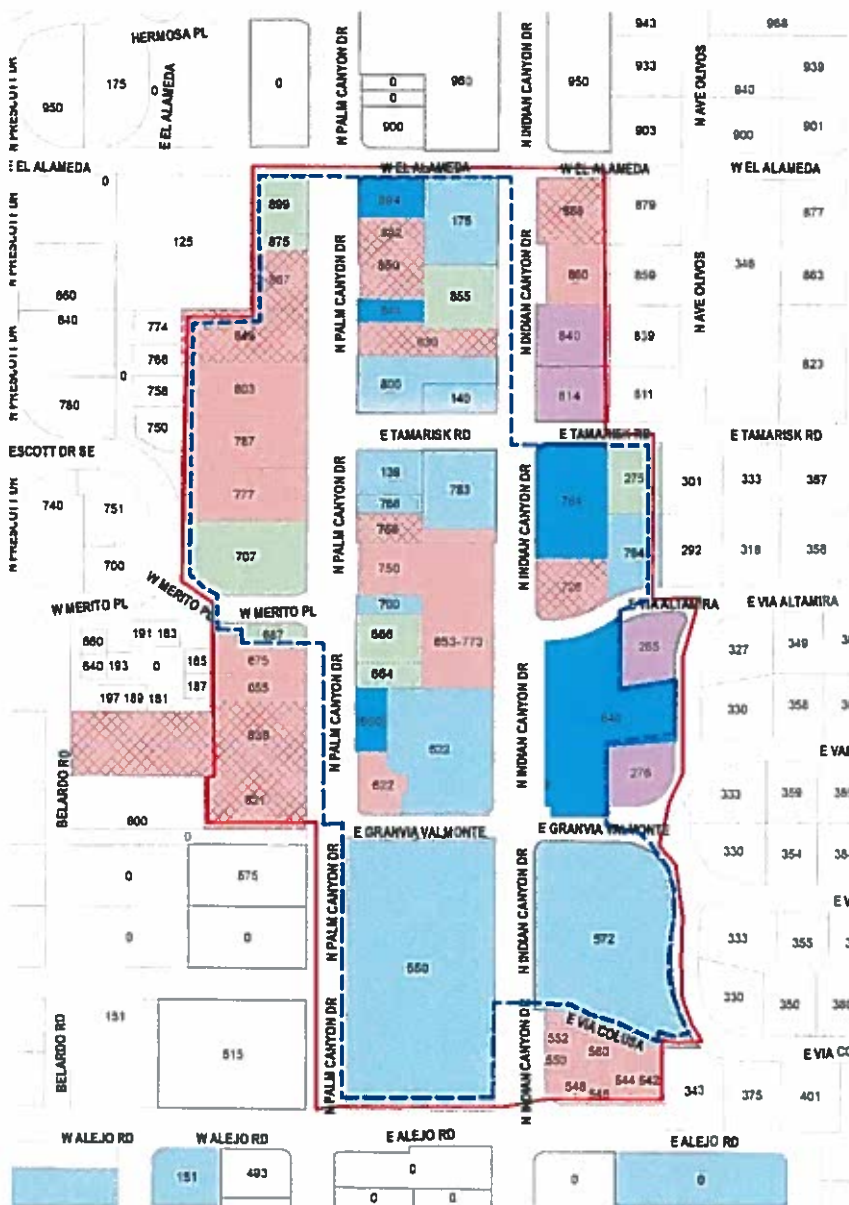
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Las Palmas Business Historic District - 2015 Study Map

LEGEND	
	Las Palmas Business Historic District Boundary
	2015 Proposed Las Palmas Business Historic District Boundary Revision
	1986 Contributor
	1986 Contributor Recommend Reclassify as Non-contributor
	2015 HRG & HSPB Recommended Contributor
	2015 HSPB Recommended Contributor
	2015 Recommended Non-Contributor
	Single-family Residence



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LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

Address	Historic Name	Const. Date	Architect	Local Class #	HSPB 1986 EVAL.	2015 EVAL.	Architectural Style	HSPB NOTES	ADDITIONAL NOTES (HRG)	PERMIT RESEARCH	ALTERATIONS	INTEGRITY	EVALUATION
175 E El Alameda	Solano Court; Harlow Haven	1936	Unknown		C	N/A	Spanish Colonial Revival	Spanish Colonial Revival-style complex around a central courtyard. Shed roof elements and corner steel casement windows.	Per LA Times (12/13/1940), the property was sold in December 1940 to Mr. and Mrs. Harry Harlow, who also managed Harlow Haven Motor Lodge in Lake Arrowhead. Raymond Chandler's letters indicate he wrote some of his Marlowe novel <i>Fury</i> here, per book of his letters. Ads for Harlow Haven during the 1980s reference this as Jean Harlow's winter home, however, the property was not associated with Jean Harlow.	Permit 6281 Swimming Pool addition (7/3/53); Permit 3722 for construction of 2 pillars at Hotel Entry (8/29/80); Permit (illegible) for hotel entry repair due to fire damage (5/10/82); Permit 10266 for exterior and interior remodel (3/13/87); permit issued to Jean Harlow's B&B Richard Lawrence, Owner; Architect William R. Edwards, Darlene Lacombe, and Thomas E. Steinfeld. AIA.	Not fully visible, but appears to retain integrity.	Retains sufficient integrity to convey its historic significance.	Identified as a contributor in 1986. Multi-family residential/apartment hotel development in Palm Springs; reflects development of seasonal housing in the 1930s and the growth of the city and the commercial district to the north during this period. Good example of the bungalow court property type and good example of Spanish Colonial Revival architecture.
265 E Via Alameda	Frank Conlin Residence	c. 1936	Unknown		C	N/A	Spanish Colonial Revival	Small residence located behind the Ambassador Hotel. It is now the Palm Springs Club.	Permit 10853 for air conditioning (4/1/86); Permit 7543 to Palm Springs Club to enclose open patio roof (5/15/74); Permit Application on 7/5/85 by Kapur and Croff for work on interior remodel later that month; Permit 07084 to Palm Springs Club for interior remodel (7/24/85)	No major exterior alterations visible.	Retains sufficient integrity to convey its historic significance.	This property was included as a contributor to the district in 1986; it is unclear why the district boundary was drawn to include this parcel as it was originally developed as a single-family residence. Recommend revising district boundary to exclude single-family properties.	
548 N Indian Canyon Dr		2002			N/A	NC	Other						Constructed outside the period of significance.
572 N Indian Canyon Dr	Colonial House Hotel; Howard Manor	1936	Unknown, 1952 alterations by Williams & Williams		C	N/A	Spanish Colonial Revival	Constructed in 1934 for retired mobster Al Wertheimer, member of Detroit's Purple Gang. Following a move to Palm Springs, Wertheimer constructed the property to attract his friends from back east and the Hollywood crowd. In 1952, the hotel was sold to Robert Stewart Howard, heir to Charles S. Howard's racing stables which included the racehorse Seabiscuit. Howard and his wife actress Andrea Leeds, remodeled the hotel and re-named it Howard Manor. The design by Williams, Williams & Williams added 50 rooms and converted the building to the Spanish Colonial Revival style. During the recent conversion to the Colony Palms, the north wing and the restaurant building were demolished and reconstructed.	Note that LA Times confirms date of 1936 (7/1/21/936), and sale to Robert Stewart Howard in 1951. Per the Los Angeles Times (7/1/2/1936) the property had 198 feet of frontage on Indian Avenue with a depth of 33 feet, and wings of 174,104 feet. HSPB note that 50 rooms added in 1952 does not appear consistent with size of the property. Permits confirm 18 rooms added in 1952. Historic photographs indicate that the exterior has not been significantly altered (i.e. it does not appear to have been "converted to the Spanish Colonial Revival style").	Colonial House plumbing permit from 1946; Permit 2277 repair fire damage to kitchen and dining room (3/30/46); Permit 5266 alterations to dining room and lounge (10/22/51); Permit 5422 alterations to dining room, lounge, help quarters, storage room, and kitchen (1/25/52); Permit 5738 add 18 hotel rooms, one- and two-story wood frame stucco and concrete block with tile roof (8/1/52); Permit 6017 install metal screening (12/24/52); Permit 6532 addition of refrigerator room (12/2/53); Permit 7738 fire damage to dining room (7/28/53); Permit 11463 work on Indian Avenue front of building and entrance area (9/23/68); Construct post and beam open lattice work over rear of hotel (4/3/75); Interior remodel to hotel building dining room, lobby and rooms, new exterior stair (4/17/79); Refurbish tile roof on Hotel Building (7/9/1979); Permit to re-roof (8/3/1979)	Permits indicate several alterations over time, including addition of 18 rooms in 1952; appears to have second story addition when compare current building to historic photographs.	Despite alterations, retains sufficient integrity to convey its historic significance.	Identified as a contributor in 1986. Good example of 1930s tourism-related commercial development, reflecting the northward expansion of the commercial center during this period. Good example of Spanish Colonial Revival commercial architecture.

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

Address	Historic Name	Const. Date	Architect	Local Class	HSPB #	1986 EVAL	2015 EVAL	Architectural Style	HSPB NOTES	ADDITIONAL NOTES (HRO)	PERMIT RESEARCH	ALTERATIONS	INTEGRITY	EVALUATION
640 N Indian Canyon Dr	Ambassador Apartment Hotel Spanish Inn	1939	Unknown	I	49	C	N/A	Spanish Colonial Revival	Started as a small Spanish-style apartment building, the property has been significantly expanded and covers nearly the entire block from Granja Valeronic to Via Altamira, and from Palm Canyon to Via Chica.	The Ambassador Apartment Hotel on Indian Canyon appears in a 1944 advertisement in the Desert Sun (October 13, 1944). Los Angeles Times article 4/16/1984 says was originally built in the 1930s by David and Bula Margolis. It was purchased in 1978 by the wife of the late actor Alan Ladd. She named it in memory of the times they had spent there, but he did not own it. In September 1987 (LA Times 9/12/1987) it was sold to Host Schultz and Patricia Weinberg. Same 1987 article dates it originally to 1939.	No original building permit. Only permits on file indicate balcony deck remodel in 1987, and minor alterations in 1988.	A dwelling appears on this parcel on the 1929 Sanborn, by 1962 the original portion is surrounded by other buildings; the site has been altered.	Site has been altered.	Identified as a contributor in 1986. Reflects development of seasonal housing in the 1930s and the growth of the city and the commercial district to the north during this period.
701-729 N Indian Canyon Dr							N/A	N/A						Parking lot.
700-726 N Indian Canyon Dr	Lorenzo Apartments, Sun Jacinto Hotel	1935	Clark & Frey, 1945 remodeled by Williams, Harry	I		N/A	NC	Spanish/ Modern	First of three phases constructed in 1935 Clark & Frey's first attempt to address housing in the desert on a small scale. Covered porches added shortly after completion to address the desert sun.	Building referred to as the "former Lorenzo Apartments" (Desert Sun, October 5, 1945). In 1945, the new owners hired Harry Williams to "extensively remodel" the hotel (Desert Sun, October 5, 1945). Additional units added to the hotel in 1945 (Desert Sun, October 26, 1945). The distinctive building features clusters of minimalist, plaster-clad cubic volumes that later had to be altered with the addition of covered porches and awnings to block the desert sun.	Only permits on file for interior rehabilitation 1998.	Roofs over second story decks; 1945 alterations and additions; railings added to roof decks; overhangs added to second story; most windows and doors replaced; entrance altered and prominent entry canopy added.	Integrity compromised; based on historic photographs, does not appear to retain sufficient integrity to convey its historic significance.	Multi-family residential/commercial development in Palm Springs, reflecting the growth of the city and the commercial district to the north during this period. Distinct architectural design, work of master architects Clark & Frey. However, the property has been altered and may no longer retain sufficient integrity to reflect its historic significance.
783 N Indian Canyon Dr	Palmarie Apartments; Casa Palmeras	1929	Williams, Paul R.	I	82	C	N/A	Spanish Colonial Revival		The building is shown in the 1929 Sanborn. 1930 Desert Sun article (October 27, 1930) written by the property's new owner notes a "reborn" Casa Palmeras with a complete facade.	Tenant improvement plans 1998.	No major exterior alterations visible.	Retains sufficient integrity to convey its historic significance.	Identified as a contributor in 1986. Early example of multi-family/seasonal development in Palm Springs; reflects the growth of the city and the commercial district to the north during this period. Excellent example of Spanish Colonial Revival residential architecture reflecting high quality of design; work of master architect Paul R. Williams.

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

Address	Historic Name	Const. Date	Architect	Local HSPB		Architectural Style	HSPB NOTES	ADDITIONAL NOTES (IRG)	PERMIT RESEARCH	ALTERATIONS	INTEGRITY	EVALUATION
				#	1986 EVAL							
840 N Indian Canyon Dr	Steven M. Cushman Residence	1934	Unknown	C	N/A	Spanish Colonial Revival	Single-family residence constructed for the Cushman family, garage with attached apartment at rear of the site occupied at one time by Marvin M. and Helen Anderson. Property served as a guest house in recent history as "Castas de Monterey."	Per City designated list. 814-840 is one property and is a contributor to the district. Referred to as Monterey Apartments in Desert Sun article (May 21, 1958). Shown on 1962 Sanborn as 6 apartments. Buildings arranged a central landscaped area/pool	Permit 1760 interior remodeling for guest house (7/10/45); Permit 7716 pool granite (7/1/855); Permit 5413 addition of 1 apartment and 2 hotel rooms framing, stucco and tile roof. A.B. Cris (contractor)	Not fully visible, but windows appear to have been replaced; door (primary) replaced; additional units added 1952; pool added 1955	Appears to retain sufficient integrity to convey its historic significance.	This property was included as a contributor to the district in 1986. It was constructed during the period of significance in the Spanish Colonial Revival style, and is consistent in scale with surrounding development. However, it was originally constructed as a single-family residence and does not reflect the significance of the Las Palmas Business Historic District.
855 N Indian Canyon Dr	Crawford Apartments; Crawford Hotel; Irwin Apartments; Cypress Motor Inn	1945	Unknown	N/A	C	Spanish Colonial Revival	Small Spanish-style motel built and operated by William and Alice Crawford. Pool and parking lot demolished in 2006 in anticipation of a rehabilitation project that was never completed.	Plumbing permit (12/7/1945); Permit 1913 Construction of 5 units of apartments by A.B. Cris (contractor); H(7) Williams (architect) (10/24/45); Permit 5560 addition of 2 apartments, 3 hotel rooms, frame and stucco and composition roof; A.B. Cris (contractor) (4/22/52); Permit 6310 re-roof with Tropical (7/24/53); Permit for 60 linear feet of concrete block wall in front of Swimming Pool Area (7/26/71); Permit 9436 installation of therapy pool (1/12/75); Permit 10772 replace glass door with French door (6/17/87)	Permits indicate additions to the site over time: all windows replaced; parking lot and pool demolished	Despite alterations, retains sufficient historic integrity to convey its historic significance.	Repetitious automobile-related tourism dating to the immediate post-World War II period. Good example of the motor court property type.	
860 N Indian Canyon Dr		c. 1975	Thomson C. Fragan (per HSPB)	N/A	NC	Late Modern						Constructed outside the period of significance
888 N Indian Canyon Dr	Lubenski Apartments; Morningstar Inn; Starliner Hotel	1955	Unknown	N/A	NC	Mid-century Modern	One of a number of apartment buildings and motels that line Indian Canyon, unique because of its Modern architectural style, as most examples in this area are Spanish Colonial Revival. Date cannot be confirmed and may be early; building is not listed in city directories until well into the 1950s. Second story added (1971); alterations to facade (1985); additional alterations (2011)	Dated to 1943 on City list; no evidence that it was constructed that early. Date changed to 1955 per plumbing permit. 1962 Sanborn shows eight units around a pool; current footprint is consistent with this. Referred to as Starliner Hotel at this address in multiple advertisements in Desert Sun (June 13, 1970). Starliner Hotel mentioned in other articles dating back to 1957, but no address is provided so it is unclear if it is the same property.	Building Permit 786X5 addition of 6 apartments and 4 hotel rooms; frame, stucco and composition roof (9/26/55); Plumbing permit (11/21/55); Permit 8027 swimming pool granite (11/16/55); Starliner Hotel pool permit (1/9/60); Permit 3252 Add two apartment units (2nd story) to existing apartments, frame and stucco construction/complete re-roof (8/31/71); Permit Application for two-story addition (1/15/72); Permit 19668 complete re-roof of hotel (1/16/79)	Permits indicate numerous alterations: cement plaster wall added that obscures primary facade; original wall cladding replaced with smooth cement plaster; addition to second story and alterations to facade	Poor integrity; does not convey its historic significance	Property has been substantially altered. It is not an excellent or noteworthy example of a type or style, and it is not associated with a master architect. Therefore, it is a non-contributor to the historic district.

April 4, 2015

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

Address	Historic Name	Const. Date	Architect	Local Class #	1986 EVAL	2015 EVAL	Architectural Style	HISPB NOTES	ADDITIONAL NOTES (IRG)	PERMIT RESEARCH	ALTERATIONS	INTEGRITY	EVALUATION	
538550 N Palm Canyon Dr	Palm Springs Desert School, Frances S Stevens School and Park	1927	Unknown, Harrison, Richard (1974 alterations)	1	7	C	N/A	Spanish Colonial Revival	Prescott Stevens, developer of the El Mirador Hotel, donated the land and money to build the Palm Springs Desert School. The initial two-room structure completed in 1927 has disappeared under subsequent remodeling. Today the complex features a traditional layout with rooms arranged around an open courtyard. Local resident Earl Streb began showing movies in the gymnasium which was eventually converted into the village's first theater. In 1974 the town of Palm Springs purchased the property from the Palm Springs Unified School District and converted it into a Cultural Arts Center. Alterations to the property undertaken in 1974 were done by architect Richard Harrison.	Permit 24694 cut opening to adjoin two rooms for gallery space (4.20/93)			Retains sufficient integrity to convey its historic significance.	Identified as contributor in 1986; retains integrity; significant and prominent early institutional building. Excellent example of early institutional development in Palm Springs; originally constructed in 1927 with land and funding provided by early pioneer Prescott T. Stevens; represents early commercial development, serving as the first village theater run by local businessman Earl Streb. Excellent and rare example of a 1920s school; good and prominent example of Spanish Colonial Revival institutional architecture.
600 N Palm Canyon Dr	Richfield Gas Company	2000				N/A	NC	Other	This site once housed a fueling station that was demolished many years ago.	Occupies the same parcel as 600 N Palm Canyon. Originally owned by the Richfield Gas Company and operated as a gas station; new building constructed in 2000.			Constructed outside the period of significance.	

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

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621 N Palm Canyon Dr	El Tovar Apartments; Starlane Hotel; Miss Mary's Playhouse; Crafts' Cottage	1947	Unknown, Lapham, Howard (1975 alterations)					Spanish Colonial Revival	Originally constructed as El Tovar Apartments, the property was sold in 1956 and renamed the Starlane Apartment Hotel; in 1966 operated as a pre-school called Miss Mary's Playhouse with alterations by Lawrence Lapham; became a tearoom in 1992; 2004 became Copley's restaurant.	Composed of two buildings on a large property set among landscaped acres. L-shaped building at rear, and front gable building facing Palm Canyon. 1962 Sanborn shows only rear building as "5 apartments."	Permit 2590 duplex with (1) 2-bedroom + living room and (1) 1 bedroom + living room; frame and stucco construction with single roof - El Tovar Apartments for owner Ruth Meister (10/10/1946); Permit 2905 construction of 5 rental units frame and stucco construction (6/23-47); Permit 7821 swimming pool (1/12-55); Construct limestone wall (1/10-74); Permit 187 Larry Lapham submits an application on 7/3/75 for an addition for Dr Stoddard of Mary's Playhouse - Permit 2590 application for business Permit - The Reading Room (8/29/88); Permit 24034 construct two shed roofed storage and display buildings with redwood refinished arch as connector James Claffi (architect) (12/18/92); Note to review window change (2/7/97)	The building at the front of the parcel was added after 1962; the building at the rear of the parcel is not fully visible from the public right-of-way, but appears to reflect its historic appearance as shown in period photographs.	Appears to retain sufficient integrity to convey its historic significance.	Constructed in 1947 as a small apartment building in the Spanish Colonial Revival style. The property does not represent an early or noteworthy example of multi-family/seasonal development; it is not an excellent example of a style or type; and it is not associated with a master architect. Therefore, it does not appear to contribute to important themes associated with the Las Palmas Business Historic District and is a non-contributor to the district.
622 N Palm Canyon Dr	Reid Clinic Alcazar Hotel; Pepper Tree Inn	1927	Unknown					Spanish Colonial Revival	Private clinic built by Dr. Harry S. Reid on this site in the 1930s. The main clinic originally fronted N. Palm Canyon Drive. That building has been significantly altered. Enlarged and reoriented in the 1960s after Indian Canyon became the north-bound street (and Palm Canyon the south-bound street); the hotel now faces Gramma Valerone. Today, the site houses a three-building complex. Formerly 645 N. Palm Canyon.	This property and Cheeky's share the address 622 N. Palm Canyon. Alcazar Hotel on the City's list of designated properties at 822 N. Palm Canyon. Historically, the Reid Clinic ran from Indian Canyon to Palm Canyon, the office building fronted Palm Canyon (now Techotchee) and the guest accommodations were in a building that is now part of the Alcazar Hotel fronting Indian Canyon. This building was constructed circa 1927 (and appears in the 1929 Sanborn); the existing footprint matches the 1929 Sanborn, but architectural features have been altered. A third building associated with the Reid Clinic ran along the north edge of the property; this is identified as the "sun rooms and dressing rooms" on the Sanborn map. This building may have been demolished or substantially altered; it does not match the historic footprint as clearly as the other buildings on the site. At some point, a third building was added in the space between the office building and the guest rooms building; this building is extant. There were two buildings added to the property by Williams & Williams in 1962 when it was the Pepper Tree Inn; these have been demolished for parking.	Alcazar Hotel second story windows replaced; window openings on ground floor blocked; additional alterations to the site.	Although there have been some alterations, the property retains sufficient integrity to convey its historic significance.	Identified as contributor in 1986. This property represents a rare remaining example of health-related development; one of the earliest buildings constructed on this portion of N. Palm Canyon Drive; associated with Dr. Harry Reid, who was an important figure in the development Palm Springs during this period.	

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

Address	Historic Name	Const. Date	Architect	Local Class #	1986 EVAL		2015 EVAL		Architectural Style	HISDB NOTES	ADDITIONAL NOTES (HRG)	PERMIT RESEARCH	ALTERATIONS	INTEGRITY	EVALUATION	
					#		#									
622 N Palm Canyon Dr			Unknown		N/A		NC		Spanish Colonial Revival							
639-647 N Palm Canyon Dr	Del Hai Mo Lodge Medical Office	1947	Unknown		N/A		NC		Mid-century Modern	Composed of three elements facing a central parking area, on the south is two-story apartment building with retail facing Palm Canyon; on the north is a single-story restaurant building and a two-story apartment building behind. It has housed a variety of uses, significant alterations and additions in the 1950s and 1960s.	Shares the address of 622 N Palm Canyon with neighboring Alcazar Hotel.	Mixed use development. Medical Office building, shops and apartments in multiple buildings oriented around a central parking lot and pool; the property is currently vacant and being rehabilitated. The Del Hai Mo Lodge listed at 641 N Palm Canyon is first mentioned in the Desert Sun in 1949 and in the Los Angeles Times in 1950, it is included in the 1954 Palm Springs Area Yearbook. When compared to historic images of the Del Hai Mo Lodge the property has been substantially altered. The pool shown on the 1962 Sanborn matches the footprint of the pool shown in the postcard image of the Del Hai Mo Lodge; the pool appears to be extant.	Permit 2208 Allocation (2/13/46); Permit 3063 for construction of service porch to bath room (6/2/47); Permit 3209 swimming pool (10/26/45 or 48, illeg); Permit 3495 10 units of frame and stucco and composition roof (5/12/48); Permit 3974 for frame and stucco construction of building with 7 apartments (7/26/49); Permit 3973 move building on same lot (7/26/49); Permit 4126 Construction of storeroom 10 feet from south property line (1/20/49); Permit 4426 4-unit apartment frame and stucco with Tropical Roof (8/8/50); Permit 5116 Remodel and enclose front porch (8/14/51); Permit 5663 construct 6-unit frame and stucco apartment with composition roof (6/19/52); Permit 5664 demolish 3 unit apartments (6/19/53); Permit 6887 6 apartments, 1 lobby, 2 office rooms, 2 bathrooms concrete block, frame and stucco, note also destroying 3 apartments at same time (7/22/54); Permit 9971 construction of steel masonry and frame lounge and playroom composition roof for hotel building (8/29/57); Plumbing permit (10/1978); Permit 2487 Complete reroof (10/24/83)	Numerous alterations over time per permit research; current alterations include wall cladding replaced with smooth cement plaster; windows and storefronts replaced	Substantially altered and no longer conveys its historic significance	Its original design represented an example of a post-World War II motor lodge reflecting the growing importance of automobile tourism; however, the property has been substantially altered and no longer conveys its historic significance. Therefore, it is a non-contributor to the historic district.

April 4, 2015

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

Address	Historic Name	Const. Date	Architect	Local Class #	HSTB #	1986 EVAL	2015 EVAL	Architectural Style	HSTB NOTES	ADDITIONAL NOTES (HRG)	PERMIT RESEARCH	ALTERATIONS	INTEGRITY	EVALUATION
648-650 N Palm Canyon Dr	Reid Solanum and Clinic; Dr. Henry Reid's Sanitarium	pre-1929	Unknown	2	24	C	N/A	Spanish Colonial Revival	1939 City Directory lists this as the Reid Clinic. Remodeled in 1940s per the direction of original owner Dr. Henry Reid; became a four-unit retail building	According to the 1929 Sanborn, this property includes one of the remnants of the Reid Clinic and Hospital (other remnant corresponds to 615 or 647 N Indian Canyon). Reid constructed a Solanum and Clinic north of Ganvia Valmonite on a large parcel that fronted on both N Palm Canyon Drive (then Main Avenue) and N Indian Canyon Drive (then Indian Avenue). The facility consisted of two Spanish Revival buildings: a rectangular one-story office building on Palm Canyon and a U-shaped two-story building on Indian Canyon containing guest rooms and apartments, between them was a third building containing "sun rooms" and dressing rooms. Based on historic photographs, before 1936 Reid expanded the office building with an addition to the north that included a two-story octagonal tower. Desert Sun of 11/1/1946 says Reid moved his practice to "644 N Palm Canyon" in November 1946. This address likely has typo in it for 666 N Palm Canyon. This move follows the wartime usage of the El Mirador as a hospital.	Permit 1709 for Hollowell Building; application made by Alan "Stan" Sackley (1970)	Substantially altered when compared with historic photographs: roof like replaced; windows replaced; storefront added to primary facade; covered porch removed or enclosed (south portion of building).	Integrity compromised.	Identified as a contributor in 1986. This property represents a rare remaining example of health-related development; one of the earliest buildings constructed on this portion of N Palm Canyon Drive; associated with Dr. Henry Reid, who was an important figure in the development Palm Springs during this period.
655 N Palm Canyon Dr	Hollowell Building	1970	Sackley, Stan			N/A	NC	Mid-century Modern	Two-story office building; renovated in 2002. Attributed to architect Stan Sackley. Carport at rear added in 1990s.	Groundbreaking reported in the Desert Sun on June 15 1970; no architect is referenced in the article, but Stan Sackley listed as architect on the original building permit. Stan Sackley (1937-2001) graduated from USC with Bachelor of Architecture in 1961. In the early 1960s, prior to forming his own firm, Sackley partnered with Herman Charles Light, FAIA (1911-1971) in Sackley and Light. Sackley was never licensed but maintained a successful design firm in Palm Springs. He received national press coverage for the residence he designed for James Hollowell which was featured as a "Playboy Pad" in the April 1966 issue of Playboy. Although some sources associate him with an apprenticeship at Taliesin, email exchanges with Taliesin West architect Margo Sipe indicate Sackley does not appear on any official Taliesin apprentice lists. By June 1986, Sackley was retired from practice.	Permit 1709 for Hollowell Building; application made by Alan "Stan" Sackley (1970)	No major exterior alterations visible.	Remains sufficient integrity to convey its historic significance.	Property constructed outside the period of significance. However, may be re-evaluated when properties from the 1970s are eligible under local ordinance

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

Address	Historic Name	Const. Date	Architect	Local Class #	HSRP 1986 EVAL		2015 EVAL		Architectural Style	HSRP NOTES	ADDITIONAL NOTES (HRG)	PERMIT RESEARCH	ALTERATIONS	INTEGRITY	EVALUATION
					FVA1	FVA1	FVA1	FVA1							
664 N Palm Canyon Dr	Wilson-Sornum Building	1937	Matcham, Charles O.		N/A	C			Spanish Colonial Revival	Small office building around a central courtyard; designed by Charles O. Matcham and built by owners contractors Raymond Wilson and Raymond Sornum to house their offices. Matcham also had an office in the building. Housed a variety of tenants and uses over time, including retail, restaurants, galleries, and other offices.	Courtyard building with two-story portion at the rear. 664 is listed as the street address for the Red Clinic, but per the Sanborn map, the clinic was physically located on the neighboring parcel. 664 and 666 N Palm Canyon have the same APN. Based on a historic photograph of the Red Clinic, this building may have been altered; however, to date those alterations have not been confirmed (no additional photographic evidence; permits not available)	Permits appear to have been misfiled for this property; permits on file under this address refer to Backstrom Reed building	Storefronts replaced; pergola added to primary facade; roofing replaced	Retains sufficient integrity to convey its historic significance.	Commercial development from the 1930s, reflecting the northward expansion of the commercial center during this period. Example of the courtyard property type; work of master architect Charles O. Matcham.
666 N Palm Canyon Dr	Backstrom-Reid Building	1960	Lapham, Howard (developer)		N/A	C			Mid-century Modern	Dr. Henry Reid listed at this address as late as 1953, but that listing may have been in an earlier building. This building was built by Dr. Henry Reid in partnership with Robert C. Backstrom; both had offices in the upper level. Design is credited to Howard Lapham, but he was more a developer than a designer. It has recently undergone an accurate restoration.	The building is framed by its flat roof and end wall panels that form a continuous folded plane over the building and a porte-cochere that leads to the parking lot at the rear. The facade is articulated with stone veneer, decorative metal screens, and an exterior staircase leading to the second story. Per City list, this building was constructed in 1956. Permits indicate a construction date of 1960	Building permit 664(76)-672 Backstrom Reid (1/23/60). Plumbing permit for Backstrom Reid 664-672 (1/1/60); Electrical Permit for Reid Strom (date illeg). Sewer permit for Backstrom Reid 664-672 N. Palm Canyon (1/19/61); 666 N Palm Canyon owner Alio Dental Laboratories Plumbing permit (7/23/69)	Storefront does not appear original	Retains sufficient integrity to convey its historic significance.	Represents post-World War II commercial development built for Dr. Henry Reid, reflecting his ongoing importance and long association with Palm Springs. Good example of Mid-century Modern commercial architecture; high quality of design and high degree of integrity.
673 N Palm Canyon Dr	Adolph Israel Realty	1950			N/A	NC			Mid-century Modern	Developed by realtor Adolph Israel as a mixed use building; three retail spaces on ground level and residential units above. Designed by Los Angeles-based architects Albert & Wurzbarger.	Construction date listed as 1952 per City list; however, permits indicate building originally constructed in 1950. Permit research indicates alterations by Albert/Wurzbarger Architects in 1980. Unable to confirm original architect.	Permit 4433 to construct 3 store rooms concrete block, 4 apartments frame and stucco (1/1/50); Permit 6036 carport addition (1/9/53); Carport Permit (1/9/57); Permit 10065 for porch enclosure and removal of sliding doors (9/28/57); Permit application to provide new storefront at Palm Canyon Drive; develop parking lot, landscaping Albert/Wurzbarger, Architects (7/21/80)	Appears altered when compared to 1962 Sanborn - been altered with addition of roof over deck; storefronts replaced; entrance altered; marble cladding added to entry posts and awning added.	Integrity compromised	Associated with post-World War II commercial development along N Palm Canyon Drive; however, it is not a distinctive building; it is not associated with a significant architect, and it has been altered. Therefore, it is a non-contributor to the historic district.

April 4, 2015

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

Address	Historic Name	Const. Date	Architect	Local Class	HSPB #	1986 EVAL	2015 EVAL	Architectural Style	HSPB NOTES	ADDITIONAL NOTES (HRC)	PERMIT RESEARCH	ALTERATIONS	INTEGRITY	EVALUATION
687 N Palm Canyon Dr	Dollard Building, Kemper Building	1947	Clark & Frey, with Chambers					Late Moderne	Built for physician Henry L. Dollard, later known as the Kemper Building, housed Cal Vanderwood's Art Gallery. Some casement windows removed in 1958 and original paint color changed from pink to white.		Permit 2940 original building permit (7/18/47). Permit 3436 (illeg.) Permit 19328 re-roof (11/8/90)	Columns and swing added to primary entrance; primary door replaced; secondary door (Merris Place) replaced and awning added	Retains sufficient integrity to convey its historic significance	Good example of Late Moderne commercial architecture; work of master architects Clark and Frey, with Robison Chambers
700 N Palm Canyon Dr	Clifton Dental Building, Purcell Building (1940s)	1936	Clark, John Porter					Spanish Colonial Revival	Small medical office building constructed for Bacon L. Clifton, D.D.S. Covered drive added by John Porter Clark.	The City's designated list has this as the Move Colony Hotel, which is at 700-726 N. Indian Canyon.	No permits found for this address.	Rear building appears in 1962 Sanborn; security gate and wrought iron railing added. No permits found to confirm addition of covered drive and any other associated alterations.	Retains sufficient integrity to convey its historic significance	Identified as contributor in 1986 Commercial development from the 1930s, reflecting the northward expansion of the commercial center during this period. Work of master architect John Porter Clark and Frey.
707-749 N Palm Canyon Dr	Turonnet Building	1953	Clark and Frey					Mid-century Modern	Original owners commissioned Clark & Frey to design a simple commercial structure with six storefronts. An automobile dealership was located at the corner where Trio restaurant is today. In 1955 that space became Security First National Bank, who added the travertine panels.	Building permit research indicates the building became Security Pacific National Bank in 1973	Permit 6168 for construction of frame and stucco store with composition roof. Clark and Frey (4/17/53). Job Record Card for remodel of building at Security Pacific National Bank (7/24/73)	Alterations in 1973 for Security Pacific National Bank; window covered with Trio sign, doors and storefronts replaced, some openings altered	Despite alterations, retains sufficient historic integrity to convey its historic significance	Work of master architects Clark and Frey.
730 N Palm Canyon Dr		1970	Coaff, James					Late Modern		Vacant - project pending				Property constructed outside the period of significance
736 N Palm Canyon Dr	Samson Curtis Insurance Company	c. 1947	Lapham, Howard (developer); Kapur, Hugh (1960)					Mid-century Modern	Designed as expansion space for the Koche/Samson Insurance Company. Howard Lapham designed the first phase of the building; in 1960 an addition was designed by Hugh Kapur. That same year a deep overhang was added to unify the facade; in 1971, the storefronts were combined into a single shop.	Included in the 1947 City Directory. First mention of Samson Curtis building at this location in the Desert Sun in 1949.	Building Permit 6331, 736 N. Palm Canyon, Desert Clinic for built up roofing (8/5/1953). Jacket Note: Permit 3079 confines this building with 760 N. Palm Canyon into one structure; job Card Note: Remodel of face of two existing commercial buildings to achieve one architectural front effect - new aluminum trim, new glass and trim (7/26/71). Permit 7218 construct slump block wall (2/6/74)	Building does not reflect historic appearance as depicted in the 1947 City Directory; permits indicate several alterations; wall cladding appears to have been replaced; overhang added; storefronts reconfigured from multiple tenants to a single tenant	No longer retains sufficient integrity to convey its historic significance.	Associated with post-World War II commercial development along N. Palm Canyon Drive; however, it has been substantially altered and no longer conveys its historic significance. Therefore, it is a non-contributor to the district

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

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766 - 768 N Palm Canyon Dr/139 E Tamark Canyon	Kocher-Samson Building	1934	Kocher & Frey	1	79	C	N/A	International Style	Palm Springs' first International Style building and the project that brought Albert Frey to the desert.		Permit appear to have been misfiled for this property	Exterior wall cladding replaced with textured cement plaster; pipe rail at second floor deck removed; storefront glazing replaced; steel pipe column boxed in; roofing added to interior courtyard	Integrity compromised.	Identified as contributor in 1986. Commercial development from the 1930s, reflecting the northward expansion of the commercial center during this period. Early and influential example of International Style modernism in Palm Springs; work of master architects Kocher & Frey.
777 N Palm Canyon Dr		1980s	Cariff, James			N/A	NC	Other	Constructed outside the period of significance					Property constructed outside the period of significance
766-798 N Palm Canyon/139 E Tamark Rd	Pacific Building	c. 1936	Brewster, Royd	1	13	C	N/A	Mediterranean Revival	Developed by Los Angeles pedagogue Philip Elzer Rothman, an early mixed-use project in Palm Springs.	Per LA Times Roland A. Lauye purchased the building in 1965 as well as property adjacent on Tamark and Indian Avenue. "Extensive property improvements" were planned. The building with its central courtyard and four-story tiered corner tower contained retail spaces and offices on the ground floor with apartments above. The Pacific Building is distinctive for its size and its strong Italian design elements, including wide overhanging eaves, coxheled balconies, Tuscan columns, and decorative quoin.	Seismic upgrade (no date); job card notes 16 apartment units for 139 Tamark (no date); Numerous interior permits, plumbing and electrical but no building permits	Storefronts replaced	Remains sufficient integrity to convey its historic significance	Identified as contributor in 1986. Prominent example of commercial development from the 1930s, reflecting the northward expansion of the commercial center during this period. Good example of the mixed-use commercial property type dating to the 1930s; distinctive architectural design.
787 N Palm Canyon Dr		1960	Unknown			N/A	NC	Mid-century Modern	Originally developed by Harold Hicks; expanded in 1980 and 1984			Storefront replaced; appears substantially altered	No longer retains sufficient integrity to convey its historic significance.	Associated with post-World War II commercial development along N Palm Canyon Drive; however, it is not a distinctive building; it is not associated with a significant architect and it has been altered. Therefore, it is a non-contributor to the historic district.

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

Address	Historic Name	Const. Date	Architect	Local Class	HSPB #	1986 EVAL	2015 EVAL	Architectural Style	HSPB NOTES	ADDITIONAL NOTES (HRG)	PERMIT RESEARCH	ALTERATIONS	INTEGRITY	EVALUATION
800 N Palm Canyon Dr	El Paseo Building; Dazell Harfield Collection (of Los Angeles) here in 1931 (LA Times, 12/20/31).	1930	Ring, Jonathan	I	27	C	N/A	Spanish Colonial Revival	Designed by New York architect Jonathan Ring for contractor-developer Milton Hicks, son of Alvah Hicks. Built around a courtyard; original covered walkway along Palm Canyon removed.	Dated 1926-1927 in numerous sources; however, the building is not present on the 1929 Sanborn map. Per the Los Angeles Times, it was completed in January 1930 after three months of construction (LA Times, 1/13/30). The Spanish Colonial Revival-style building surrounds a central courtyard and originally featured a columned corridor encompassing the sidewalk along Palm Canyon Drive and cantilevered wood balconies overlooking Tamarisk Road. Tenants included the El Paseo Market and Earl Strobe's El Paseo Theater, and Jurgensen's (1940s). Per the Los Angeles Times, Ring worked previously for Allison & Allison; the building was directly inspired by the El Paseo building in Santa Barbara (LA Times 1/13/30).		Original corridor along Palm Canyon removed; storefronts replaced; door (primary) replaced; rehabilitated in 2009 by Russ Clement Hale	Altered but retains sufficient integrity to convey its historic significance.	Identified as contributor in 1986. Prominent example of commercial development from the 1930s reflecting the northward expansion of the commercial center during this period. Good example of the courtyard commercial property type; good example of Spanish Colonial Revival architecture
803 N Palm Canyon Dr		2008				N/A	NC	Other	Built on the site of the Harold Hicks Real Estate Office				Constructed outside the period of significance	
830 N Palm Canyon Dr	Sam Stuart's El Paseo Market	1956	Unknown			N/A	NC	Mid-century Modern	Constructed to house the El Paseo Pharmacy, which moved to this location from the El Paseo Building in 1956. Altered in 1979		Ribbon windows that appear in historic photos on the primary facade removed; storefronts replaced; door (primary) replaced; stone planter removed	No longer retains sufficient integrity to convey its historic significance	Associated with post-World War II commercial development along N Palm Canyon Drive; however, it is not a distinctive building; it is not associated with a significant architect, and it has been altered. Therefore, it is a non-contributor to the historic district.	

April 4, 2015

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

Address	Historic Name	Const. Date	Architect	Local Class	HSIB #	1986 EVAL	2015 EVAL	Architectural Style	HSIB NOTES	ADDITIONAL NOTES (IRB)	PERMIT RESEARCH	ALTERATIONS	INTEGRITY	EVALUATION
844 N Palm Canyon Dr	Whitewater Mutual Water Company, Palm Springs Water Company	1938	Clark, John Porter		C		N/A	Modern	Modest commercial building among the earliest of Clark's modernist works.			Windows on primary facade replaced; primary doors replaced; parapet extended to suggest the Art Deco style	Integrity compromised.	Identified as contributor in 1986. Integrity compromised. Commercial development from the 1930s, reflecting the northward expansion of the commercial center during this period. Work of master architect John Porter Clark
849 N Palm Canyon Dr	Hicks Center	1955	Unknown		N/A		NC	Mid-century Modern	Was constructed as part of the Hicks Center. First stand-alone post office in Palm Springs.		Permit 7442 U.S. Post Office-Harold Hicks owner, concrete block wall, steel beams, asbestos cap sheet built-up roof (3/28/55). Job card shows remodel exterior entrance way and exterior front of existing commercial building; includes showcase work in front, remodel entry steps, and remodel existing overhang (9/10/70); Job Card shows demolition, remove one of three canopies from Palm Canyon Drive frontage and "remodel to follow" (demolition complete 8/19/68)	Permit: indicate numerous alterations; cladding on columns added; canopy altered; storefronts and doors replaced	No longer retains sufficient integrity to convey its historic significance.	Associated with post-World War II commercial/institutional development along N. Palm Canyon Drive; however, it is not a distinctive building; it is not associated with a significant architect; and it has been altered such that it no longer conveys its historic significance. Therefore, it is a non-contributor to the historic district.
861-867 N Palm Canyon Dr	Culver Nicholas Real Estate Office	c. 1930	Unknown		N/A		NC	Commercial vernacular	In his interview in the <i>Friday/Par series</i> , Culver Nicholas indicated that he constructed the southern building on the property as his real estate office shortly after moving to Palm Springs in 1930. Small addition (west wing) by Clark & Frey for Dr. Hugh Stephens.	865 N. Palm Canyon listed as Culver Nicholas Real Estate Office in 1939; 1971 Desert Sun has Culver Nicholas Real Estate Office at 899 N Palm Canyon.	Permit 1089 for construction of an office building at 861 N. Palm Canyon, Clark and Frey (X/12/45). Permit 6032 to glass in front porch at 861 N. Palm Canyon (1/8/53); Job Card for 861 N. Palm Canyon for Robert Matthews, owner install scalloped valance beneath front eave of building (2/21/69); Job Card for 865 N. Palm Canyon add 4x12 enlargement of frame and stucco commercial building (existing roofed area) at north end of building (6/30/71). Job Card remodel front of existing commercial building at 869 N. Palm Canyon by adding place glass window and relocating existing window (9/21/71). Permit 4951 add 9x12 storeroom to building, attached to rear of retail shopping (8/22/72)	Per HSIB and permits. Altered repeatedly over time (many times by Culver Nicholas), north building wall cladding replaced; primary door replaced; roofing replaced	Site has been altered; integrity compromised	The original Culver Nicholas building represents commercial development from the 1930s, reflecting the northward expansion of the commercial district during this period; long-term home of Culver Nicholas real estate office. However, the original construction date is unconfirmed; the building is not distinctive, and the site has been altered. Therefore, it is a non-contributor to the historic district.

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

Address	Historic Name	Const. Date	Architect	Local Class	HSPB #	1986 EVAL	2015 EVAL	Architectural Style	HSPB NOTES	ADDITIONAL NOTES (HRG)	PERMIT RESEARCH	ALTERATIONS	INTEGRITY	EVALUATION
865 N Palm Canyon Dr	R. C. Morrey Medical Office	c. 1951	Unknown				NC	Modern vernacular			Permit 1089 for construction of an office building at 861 N. Palm Canyon, Clark and Frey (X/12/45). Permit 6032 to glass in front porch at 861 N. Palm Canyon (1/8/53); Job Card for 861 N. Palm Canyon for Robert Matthews, owner install scalloped valance beneath front eave of building (2/21/69). Job Card for 865 N. Palm Canyon add 4x12 enlargement of frame and stucco commercial building (existing roofed area) at north end of building (6/30/71). Job Card remodel front of existing commercial building at 869 N. Palm Canyon by adding place glass window and relocating existing window (9/21/71). Permit 4951 add 9x12 storeroom to building attached to rear of retail shopping (8/22/72)	Storefront replaced, door (primary) replaced		Associated with post-World War II commercial development along N. Palm Canyon Drive; however, it is not a distinctive building, and it has been altered. Therefore, it is a non-contributor to the historic district.
875-879 N Palm Canyon Dr	Clark and Frey Building	1947	Clark and Frey				C	Mid-century Modern	Mixed-use building designed to house retail on the ground floor and the offices of Clark & Frey on the second floor. In 1952, the firm became Clark, Frey & Chambers, when the partnership with Frey dissolved in 1956 Clark retained ownership of the building. In 1990, the upper floor housed the office of E. Stewart Williams.		Permit 9487 install steel exterior stairs at the rear of the commercial building serving the second story (12/2/75)	Sliding doors on second floor of primary facade appear to have been replaced, pebble coat added to stairs on primary facade	Remains sufficient integrity to convey its historic significance	Good example of Mid-century Modern commercial architecture; work of master architects Clark and Frey to house their offices.
882 N Palm Canyon Dr	Angel View	1946	Unknown				NC	Commercial vernacular	Non-descript retail building constructed by Henry Simanman	1962 Sanborn map indicates that footprint is the same as existing and there were two tenant spaces	Permit 2071 (or 2871) for construction of stores as per plans submitted (2/2/46). Permit for 886 N. Palm Canyon for new soffit and aluminum windows and door, planters (10/29/85)	Exterior wall cladding replaced with textured cement plaster; entry altered, storefronts replaced	Integrity compromised	Associated with post-World War II commercial development along N. Palm Canyon Drive; however, it is not a distinctive building, it is not associated with a significant architect and it has been altered. Therefore, it is a non-contributor to the historic district

LAS PALMAS BUSINESS HISTORIC DISTRICT
ADMINISTRATIVE DRAFT FOR INTERNAL REVIEW

Address	Historic Name	Constr. Date	Architect	Local Class	1986 # EVAL	2015 # EVAL	Architectural Style	HSPB NOTES	ADDITIONAL NOTES (HRC)	PERMIT RESEARCH	ALTERATIONS	INTEGRITY	EVALUATION
894 N Palm Canyon Dr	Palm Springs Florist	1938	Unknown		C	N/A	Other	According to City Directories, a florist has been operating out of this location since at least 1938. The proprietor at that time was Japanese florist R. Miramasu. A 1947 photograph shows the building as it was operated by Earl Hall and his partner Horace Head, the Hall family's still in business on this site. The building has been substantially altered and only retains the original greenhouse.		Permit B-6976 for demolition and new construction on the parcel; greenhouse portion only existing building to remain. Christopher S. Mills Associates Architects, Inc (date filed)	Substantially altered	Substantially altered and no longer conveys its historic significance	Identified as a contributor in 1986. It was constructed during the period of significance and represents a long-term business in Palm Springs.
891-899 N Palm Canyon Dr	Nichols Building II	1953	Clark & Frey		N/A	C	Mid-century Modern	Originally constructed for Culver Nichols. Specifically designed to be a single story, so as not to block the north-facing windows of the Clark and Frey Building next door. James Clorff did minor alterations when the building was leased by Tina Turk.		2002 alterations when leased by Tina Turk (per HSPB)		Good example of Mid-century Modern commercial architecture; work of master architects Clark and Frey.	
276 E Granada Valmonte	Chapman Apartments	1935			N/A	NC	Spanish Colonial Revival		Construction date listed as 1935 on gov'tality; this does not correspond to directory research. Listed as an apartment by 1939, but permit records unclear whether this was originally constructed as a single-family residence.	Electrical permit (11/21/44); Permit 7012 remodel existing apartment and add kitchen (6/22/64); Permit 3374 appears to be for substantial addition for Syd Rose (9/30/71). Construction of concrete block wall on property front (6/13/75)	Permits indicate alterations; significant alterations not visible from the public right-of-way	Appears to retain sufficient integrity to convey its historic significance	Single-family residence from the 1930s; does not represent an important theme related to commercial development in the Las Palmas Business Historic District. Therefore, it is a non-contributor to the historic district. Recommend revising district boundary to exclude single-family properties.

Street # Dir Prefix Street Name Suffix



Historic Photo Source



Current Photo Source

Construction Date

Architect

Builder

Architectural Sty

Local Class

1986 Contributor

2015 Recommended Non-contributor

HSPB Notes

Alterations

Integrity

Evaluation

Original Owner

Historic Name(s)

Common Name(s)

HSPB #

2015 Recommended Contributor

Altered - Further Review

Additional Notes (HRG)

Permit Research

Street # 265 Dir E Prefix Via Street Name Altamira Suffix



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date c 1936

Original Owner

Architect Unknown

Historic Name(s) Frank Conklin Residence

Builder

Common Name(s) Palm Springs Club

Architectural Sty Spanish Colonial Revival

Local Class

HSPB #

1986 Contributor Yes

2015 Recommended Contributor

2015 Recommended Non-contributor

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Small residence located behind the Ambassador Hotel. It is now the Palm Springs Club.

Alterations

Permit Research

No major exterior alterations visible

Permit 10853 for air conditioning (4/1/86), Permit 7543 to Palm Springs Club to enclose open patio roof (5/15/74), Permit Application on 7/5/85 lists Kaptur and Croff for work on interior remodel later that month; Permit 07084 to Palm Springs Club for interior remodel (7/24/85)

Integrity Retains sufficient integrity to convey its historic significance.

Evaluation This property was included as a contributor to the district in 1986; it is unclear why the district boundary was drawn to include this parcel as it was originally developed as a single-family residence. Recommend revising district boundary to exclude single-family properties.

Street # 548 Dir N Prefix Street Name Indian Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 2002

Original Owner

Architect

Historic Name(s)

Builder

Common Name(s) The Villas at the Movie Colony

Architectural Sty Other

Local Class

HSPB #

1986 Contributor No

2015 Recommended Contributor

2015 Recommended Non-contributor Yes

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Alterations

Permit Research

Integrity

Evaluation Constructed outside the period of significance

Street # 572 Dir N Prefix Street Name Indian Canyon Suffix Dr



Historic Photo Source Palm Springs Historical Society



Current Photo Source Historic Resources Group 2014-2015

Construction Date 1936

Architect Unknown; 1952 alterations by Williams, Williams & Williams

Builder

Architectural Sty Spanish Colonial Revival

Local Class

1986 Contributor Yes

2015 Recommended Non-contributor

HSPB Notes

Constructed in 1934 for retired mobster Al Wertheimer, member of Detroit's Purple Gang. Following a move to Palm Springs, Wertheimer constructed the property to attract his friends from back east and the Hollywood crowd. In 1952, the hotel was sold to Robert Stewart Howard, heir to Charles S. Howard's racing stables which included the racehorse Seabiscuit. Howard and his wife, actress Andrea Leeds, remodeled the hotel and re-named it Howard Manor. The design by Williams, Williams & Williams added 50 rooms and converted the building to the Spanish Colonial Revival style. During the recent conversion to the Colony Palms, the north wing and the restaurant building were demolished and reconstructed.

Alterations

Permits indicate several alterations over time, including addition of 18 rooms in 1952; appears to have second story addition when compare current building to historic photographs.

Integrity Despite alterations, retains sufficient integrity to convey its historic significance.

Evaluation Identified as a contributor in 1986. Good example of 1930s tourism related commercial development, reflecting the northward expansion of the commercial center during this period. Good example of Spanish Colonial Revival commercial architecture.

Original Owner Wertheimer, Al J.

Historic Name(s) Colonial House Hotel; Howard Manor

Common Name(s) The Palms at Palm Springs; Colony Palms Hotel

HSPB #

2015 Recommended Contributor

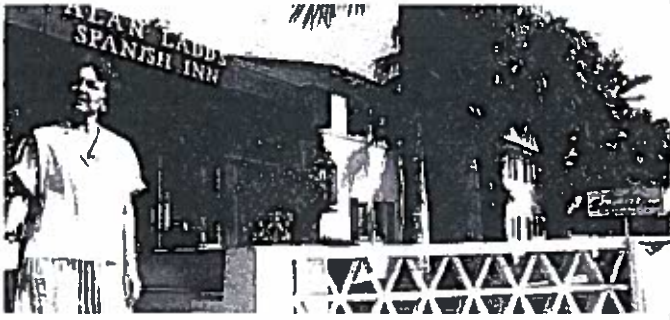
Altered - Further Review

Additional Notes (HRG)

Note that Palm Springs Villager (4/23/1936) and LA Times (7/12/1936), confirms date of 1936. LA Times confirms date of sale to Robert Stewart Howard as 1951. Per the Los Angeles Times (7/12/1936) the property had 198 feet of frontage on Indian Avenue with a depth of 33 feet, and wings of 17x104 feet. HSPB note that 50 rooms added in 1952 does not appear consistent with size of the property; permits confirm 18 rooms added in 1952. Historic photographs indicate that the exterior has not been significantly altered (i.e. it does not appear to have been "converted to the Spanish Colonial Revival style").

Permit Research

Colonial House plumbing permit from 1946; Permit 2277 repair fire damage to kitchen and dining room (3/30/46); Permit 5266 alterations to dining room and lounge (10/22/51); Permit 5422 alterations to dining room, lounge, help quarters, storage room, and kitchen (1/25/52); Permit 5738 add 18 hotel rooms, one- and two-story wood frame stucco and concrete block with tile roof (8/1/52); Permit 6017 install metal screening (12/24/52); Permit 6532 addition of refrigerator room (12/2/53); Permit 7738 fire damage to dining room (7/28/53); Permit 11463 work on Indian Avenue front of building and entrance area (9/23/68); Construct post and beam open lattice work over rear of hotel (4/3/75); Interior remodel to hotel building dining room, lobby and rooms; new exterior stair (4/17/79); Refurbish tile roof on Hotel Building (7/9/1979); Permit to reroof (8/3/1979)



Historic Photo Source Palm Springs Historical Society



Current Photo Source Historic Resources Group 2014-2015

Construction Date 1939
 Architect Unknown
 Builder
 Architectural Sty Spanish Colonial Revival

Local Class 1
 1986 Contributor Yes
 2015 Recommended Non-contributor
 HSPB Notes
 Started as a small Spanish-style apartment building, the property has been significantly expanded and covers nearly the entire block from Granvia Valmonte to Via Altamira, and from Palm Canyon to Via Chica.

Alterations
 A dwelling appears on this parcel on the 1929 Sanborn, by 1962 the original portion is surrounded by other buildings, the site has been altered Started as a sfr in 1920s, then kept building on the site. This started as a single-family property in the 1920

Integrity Site has been altered.

Evaluation Identified as a contributor In 1986 Reflects development of seasonal housing in the 1930s and the growth of the city and the commercial district to the north during this period.

Original Owner Margolis, David and Bulah
 Historic Name(s) Ambassador Apartment Hotel; Spanish Inn
 Common Name(s) Triada

HSPB # 49
 2015 Recommended Contributor
 Altered - Further Review
 Additional Notes (HRG)
 The Ambassador Apartment Hotel on Indian Canyon appears in a 1944 advertisement in the Desert Sun (October 13, 1944). Los Angeles Times article 4/16/1984 says was originally built in the 1930s by David and Bulah Margolis. It was purchased in 1978 by the wife of the late actor Alan Ladd. She named it in memory of the times they had spent there, but he did not own it. In September 1987 (LA Times 9/12/1987) it was sold to Horst Schultz and Patricia Weinberg. Same 1987 article dates it originally to 1939.

Permit Research
 No original building permit. Only permits on file indicate balcony deck remodel in 1987, and minor alterations in 1988.

Street # 701 Dir N Prefix

Street Name Indian Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date

Original Owner

Architect

Historic Name(s)

Builder

Architectural Sty N/A

Common Name(s) parking lot

Local Class

HSPB #

1986 Contributor No

2015 Recommended Contributor

2015 Recommended Non-contributor Yes

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Alterations

Permit Research

Integrity

Evaluation Parking lot.

Street # 726 Dir N Prefix Street Name Indian Canyon Suffix Dr



Historic Photo Source Historic Site Preservation Board Building Histories

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1935
Architect Clark & Frey; 1945 remodel by Williams, Harry
Builder
Architectural Sty Spanish/ Modern

Original Owner
Historic Name(s) Lorenzo Apartments; San Jacinto Hotel
Common Name(s) Movie Colony Hotel

Local Class
1986 Contributor No
2015 Recommended Non-contributor
HSPB Notes
First of three phases constructed in 1935. Clark & Frey's first attempt to address housing in the desert on a small scale. Covered porches added shortly after completion to address the desert sun.

HSPB #
2015 Recommended Contributor
Altered - Further Review Yes
Additional Notes (HRG)
Building referred to as the "former Lorenzo Apartments" (Desert Sun, October 5, 1945). In 1945, the new owners hired Harry Williams to "extensively remodel" the hotel (Desert Sun, October 5, 1945). Additional units added to the hotel in 1945 (Desert Sun, October 26, 1945). The distinctive building features clusters of minimalist, plaster-clad cubist volumes that later had to be altered with the addition of covered porches and awnings to block the desert sun.

Alterations
Roofs over second story decks; 1945 alterations and additions; railings added to roof decks; overhangs added to second story; most windows and doors replaced; entrance altered and prominent entry canopy added.

Permit Research
Only permits on file for interior rehabilitation 1998.

Integrity Integrity compromised, may retain sufficient integrity to convey its historic significance.

Evaluation Multi-family residential/commercial development in Palm Springs, reflecting the growth of the city and the commercial district to the north during this period. Distinct architectural design; work of master architects Clark & Frey.

Street # 783 Dir N Prefix Street Name Indian Canyon Suffix Dr



Historic Photo Source California State Library

Current Photo Source Historic Resources Group 2014 2015

Construction Date 1929

Architect Williams, Paul R.

Builder

Architectural Sty Spanish Colonial Revival

Local Class 1

1986 Contributor Yes

2015 Recommended Non-contributor

HSPB Notes

Original Owner

Historic Name(s) Paltaire Apartments, Casa Palmeras

Common Name(s) Casa Palmeras

HSPB # 82

2015 Recommended Contributor

Altered - Further Review

Additional Notes (HRG)

The building is shown in the 1929 Sanborn. 1950 Desert Sun article (October 27, 1950) written by the property's new owner notes a "reborn" Casa Palmeras with a complete facelift.

Alterations

No major exterior alterations visible

Permit Research

Tenant Improvement plans 1998.

Integrity Retains sufficient integrity to convey its historic significance

Evaluation Identified as a contributor in 1986. Early example of multi-family/seasonal development in Palm Springs; reflects the growth of the city and the commercial district to the north during this period. Excellent example of Spanish Colonial Revival residential architecture reflecting high quality of design; work of master architect Paul R. Williams.

Street # 784 Dir N Prefix Street Name Indian Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1935

Architect Unknown

Builder

Architectural Sty Spanish Colonial Revival

Local Class

1986 Contributor Yes

2015 Recommended Non-contributor

HSPB Notes

Small bungalow court complex with extensive landscaping. Numerous owners and a number of name changes. Pool added in 1949; by 1950s compound enlarged and modernized, partial demolition/major renovation 2007-2009.

Original Owner

Historic Name(s) Los Arboles

Common Name(s) Los Arboles Hotel; Indian Manor Hotel; Los Arboles Apartments

HSPB #

2015 Recommended Contributor

Altered - Further Review

Additional Notes (HRG)

Alterations

Permits indicate numerous alterations; windows replaced; doors replaced; arched entry infilled and double doors added

Permit Research

Permit 3054 enlarge porch area and alter kitchen (9/26/47); Plumbing Permit (9/6/49); Permit 4012 swimming pool addition (9/6/49); Permit 4072 lobby addition, glass enclosed lobby 12x20 (10/13/49); Permit 3550 for Stucco Veneer across front of building (7/10/51); Permit 5199 alteration to lobby (9/12/51); Permit 5759 Remodel exterior and add arcadia doors (7/19/52); Permit 5979 Addition to front wall to correspond with line of (illeg.) building (12/4/52); Permit 3667 30(?) foot masonry wall 8/24/61; House Moving Permit in two sections from 784 N Indian to 3709-3715 El Dorado Road (8/30/68)

Integrity Integrity compromised.

Evaluation Identified as a contributor in 1986. Multi-family residential/apartment hotel development in Palm Springs; reflects development of seasonal housing in the 1930s and the growth of the city and the commercial district to the north during this period. Example of the courtyard property type.

Street # 805 Dir N Prefix Street Name Indian Canyon Suffix Dr



Historic Photo Source Palm Springs Historical Society



Current Photo Source Historic Resources Group 2014-2015

Construction Date c. 1930
Architect Unknown
Builder
Architectural Sty Spanish Colonial Revival

Original Owner
Historic Name(s) De Anza Court
Common Name(s) De Anza Apartments; De Anza Hotel, Las Casitas

Local Class
1986 Contributor Yes
2015 Recommended Non-contributor
HSPB Notes
One- and two-story, ten-unit complex around a courtyard.

HSPB #
2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)

Alterations
Not fully visible, but appears to retain integrity.

Permit Research
Permit 7001 gunnite the pool, Permit 3648 enlarge front windows (9/16/48), Permit 10663 install wrought iron fencing along front property line (5/29/87)

Integrity Retains sufficient integrity to convey its historic significance.

Evaluation Identified as a contributor in 1986. Multi-family residential/apartment hotel development in Palm Springs; reflects development of seasonal housing in the 1930s and the growth of the city and the commercial district to the north during this period. Example of the courtyard property type.

Street # 814 Dir N Prefix Street Name Indian Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1930

Architect Unknown

Builder

Architectural Sty Spanish Colonial Revival

Local Class

1986 Contributor Yes

2015 Recommended Non-contributor

HSPB Notes

Originally constructed as a private residence for William M. Schwartz.

Alterations

Not visible from the street. red clay tile roof visible in aerial photographs

Integrity Appears to retain sufficient integrity to convey its historic significance.

Evaluation This property was included as a contributor to the district in 1986. It was constructed during the period of significance in the Spanish Colonial Revival style, and is consistent in scale with surrounding development. However, it was originally constructed as a single-family residence and does not reflect the significance of the Las Palmas Business Historic District.

Original Owner Schwartz, William

Historic Name(s) William Schwartz Residence. El Rancho Grande

Common Name(s) El Rancho Grande Hotel; Ritz Hotel (1979) per permits, Illonia Health and Wellness Center

HSPB #

2015 Recommended Contributor

Altered - Further Review

Additional Notes (HRG)

Per City designated list, this property is 299 Tamarisk Road and is a contributor to the district. Per Desert Sun, "El Rancho Grande" at 814 N. Indian Avenue was specifically mentioned as the seasonal residence of William Schwartz in 1945; subsequent articles list Schwartz active in local organizations through 1972, although no address is listed. 1950 Desert Sun (October 27, 1950) article about Casa Palmeras mentions its proximity to competing seasonal hotels including El Rancho Grande; unclear if this is the same property.

Permit Research

Permit X8627 for construction of block wall because no structures allowed in the right-of-way

Street # 840 Dir N Prefix Street Name Indian Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1934

Architect Unknown

Builder

Architectural Sty Spanish Colonial Revival

Original Owner Cushman, Steven M

Historic Name(s) Steven M. Cushman Residence

Common Name(s) Casitas de Monterey; Monterey Apartments (by 1956); Las Hacienditas

Local Class

HSPB #

1986 Contributor Yes

2015 Recommended Contributor

2015 Recommended Non-contributor

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Single-family residence constructed for the Cushman family; garage with attached apartment at rear of the site occupied at one time by Marvin M. and Helen Anderson. Property served as a guest house in recent history as "Casitas de Monterey."

Per City designated list, 814-840 is one property and is a contributor to the district. Referred to as Monterey Apartments in Desert Sun article (May 21, 1958). Shown on 1962 Sanborn as 6 apartments. Buildings arranged a central landscaped area/pool.

Alterations

Permit Research

Not fully visible, but windows appear to have been replaced; door (primary) replaced; additional units added 1952; pool added 1955

Permit 1760 interior remodeling for guest house (7/10/45); Permit 7716 pool gunnite (7/18/55); Permit 5413 addition of 1 apartment and 2 hotel rooms framing, stucco and tile roof, A.B. Crist (contractor)

Integrity Appears to retain sufficient integrity to convey its historic significance.

Evaluation This property was included as a contributor to the district in 1986. It was constructed during the period of significance in the Spanish Colonial Revival style, and is consistent in scale with surrounding development. However, it was originally constructed as a single-family residence and does not reflect the significance of the Las Palmas Business Historic District.

Street # 855 Dir N Prefix Street Name Indian Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1945
Architect Unknown
Builder Samarian, Henry
Architectural Sty Spanish Colonial Revival

Original Owner Crawford, William and Alice
Historic Name(s) Crawford Apartments; Crawford Hotel; Crawford's La Reina; Irwin Apartments; Cypress Motor Inn
Common Name(s) Village Inn

Local Class
1986 Contributor No
2015 Recommended Non-contributor

HSPB #
2015 Recommended Contributor Yes
Altered - Further Review

HSPB Notes
Small Spanish-style motel built and operated by William and Alice Crawford. Pool and parking lot demolished in 2006 in anticipation of a rehabilitation project that was never completed.

Additional Notes (HRG)
The property is currently vacant.

Alterations
Permits indicate additions to the site over time, all windows replaced, parking lot and pool demolished

Permit Research
Plumbing permit (12/7/1945); Permit 1913 Construction of 5 units of apartments by A. B. Crist (contractor), H(?) Williams (architect) (10/24/45); Permit 5560 addition of 2 apartments, 3 hotel rooms, frame and stucco and composition roof, A.B. Crist (contractor) (4/22/52); Permit 6310 re-roof with Tropicool (7/24/53); Permit for 60 linear feet of concrete block wall in front of Swimming Pool Area (7/26/71); Permit 9436 installation of therapy pool (11/12/75); Permit 10772 replace glass door with French door (6/17/87)

Integrity Despite alterations, retains sufficient historic integrity to convey its historic significance.

Evaluation Represents automobile-related tourism dating to the immediate post-World War II period. Good example of the motor court property type.

Street # 860 Dir N Prefix Street Name Indian Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date c. 1975

Architect Thornton & Fraglin (per HSPB)

Builder

Architectural Sty Late Modern

Local Class

1986 Contributor No

2015 Recommended Non-contributor Yes

HSPB Notes

Original Owner

Historic Name(s)

Common Name(s)

HSPB #

2015 Recommended Contributor

Altered - Further Review

Additional Notes (HRG)

Alterations

Permit Research

Integrity

Evaluation Constructed outside the period of significance.



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1955

Architect Unknown

Builder

Architectural Sty Mid-century Modern

Local Class

1986 Contributor No

2015 Recommended Non-contributor Yes

HSPB Notes

One of a number of apartment buildings and motels that line Indian Canyon, unique because of its Modern architectural style, as most examples in this area are Spanish Colonial Revival. Date cannot be confirmed and may be early, building is not listed in city directories until well into the 1950s. Second story added (1971); alterations to façade (1985); additional alterations (2011).

Alterations

Permits indicate numerous alterations; cement plaster wall added that obscures primary façade; original wall cladding replaced with smooth cement plaster; addition to second story and alterations to façade

Integrity Poor integrity; does not convey its historic significance

Evaluation Property has been substantially altered; it is not an excellent or noteworthy example of a type or style; and it is not associated with a master architect. Therefore, it is a non-contributor to the historic district.

Original Owner

Historic Name(s) Lubenski Apartments, Morningside Inn, Starliter Hotel

Common Name(s) Bear Resort

HSPB #

2015 Recommended Contributor

Altered - Further Review

Additional Notes (HRG)

Dated to 1943 on City list; no evidence that it was constructed that early. Date changed to 1955 per plumbing permit. 1962 Sanborn shows eight units around a pool, current footprint is consistent with this. Referred to as Starliter Hotel at this address in multiple advertisements in Desert Sun (June 13, 1970). Starliter Hotel mentioned in other articles dating back to 1957, but no address is provided so it is unclear if it is the same property.

Permit Research

Building Permit 786X5 addition of 6 apartments and 4 hotel rooms frame, stucco and composition roof (9/26/55); Plumbing permit (11/21/55); Permit 8027 swimming pool gunnite (11/18/55); Starliter Hotel pool permit (1966); Permit 3252 Add two apartment units (2nd story) to existing apartments, frame and stucco construction/complete re-roof (8/31/71); Permit Application for two-story addition (1/15/72?); Permit 1968 complete re-roof of hotel (11/6/79)

Street # 550 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source City of Palm Springs



Current Photo Source Historic Resources Group 2014-2015

Construction Date 1927
Architect Unknown; Harrison, Richard (1974 alterations)
Builder
Architectural Sty Spanish Colonial Revival

Local Class 1

1986 Contributor Yes
2015 Recommended Non-contributor

HSPB Notes
Prescott Stevens, developer of the El Mirador Hotel donated the land and money to build the Palm Springs Desert School. The initial two-room structure completed in 1927 has disappeared under subsequent remodeling. Today the complex features a traditional layout with rooms arranged around an open courtyard. Local resident Earl Strebe began showing movies in the gymnasium which was eventually converted into the village's first theater. In 1974 the town of Palm Springs purchased the property from the Palm Springs Unified School District and converted it into a Cultural Arts Center. Alterations to the property undertaken in 1974 were done by architect Richard Harrison.

Alterations

Integrity Retains sufficient integrity to convey its historic significance.

Evaluation Identified as contributor in 1986, retains integrity; significant and prominent early institutional building. Excellent example of early institutional development in Palm Springs, originally constructed in 1927 with land and funding provided by early pioneer Prescott T. Stevens, represents early commercial development, serving as the first village theater run by local businessman Earl Strebe. Excellent and rare example of a 1920s school, good and prominent example of Spanish Colonial Revival institutional architecture.

Original Owner
Historic Name(s) Palm Springs Desert School; Frances S. Stevens School and Park
Common Name(s) Village Center for the Arts

HSPB # 7

2015 Recommended Contributor
Altered - Further Review

Additional Notes (HRG)

Permit Research

Permit 24694 cut opening to adjoin two rooms for gallery space (4/20/93)

Street # 600 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 2000

Original Owner Richfield Gas Company

Architect

Historic Name(s) Richfield Gas Company

Builder

Architectural Sty Other

Common Name(s) Birba

Local Class

HSPB #

1986 Contributor No

2015 Recommended Contributor

2015 Recommended Non-contributor Yes

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

This site once housed a fueling station that was demolished many years ago.

Occupies the same parcel as 600 N. Palm Canyon. Originally owned by the Richfield Gas Company and operated as a gas station; new building constructed in 2000.

Alterations

Permit Research

Integrity

Evaluation Constructed outside the period of significance.

Street # 621 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source Palm Springs Historical Society



Current Photo Source Historic Resources Group 2014-2015

Construction Date 1947
Architect Unknown, Lapham, Howard (1975 alterations)
Builder
Architectural Sty Spanish Colonial Revival

Local Class
1986 Contributor No
2015 Recommended Non-contributor Yes
HSPB Notes
Originally constructed as El Tovar Apartments; the property was sold in 1956 and re named the Starlane Apartment Hotel, in 1966 operated as a pre-school called Miss Mary's Playhouse with alterations by Lawrence Lapham; became a tearoom in 1992; 2004 became Copley's restaurant.

Alterations
The building at the front of the parcel was added after 1962; the building at the rear of the parcel is not fully visible from the public right-of-way, but appears to reflect its historic appearance as shown in period photographs.

Integrity Appears to retain sufficient integrity to convey its historic significance.

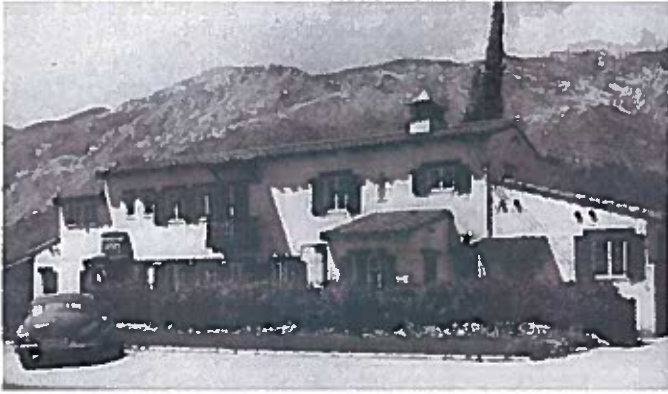
Evaluation Constructed in 1947 as a small apartment building in the Spanish Colonial Revival style. The property does not represent an early or noteworthy example of multi-family/seasonal development; it is not an excellent example of a style or type; and it is not associated with a master architect. Therefore, it does not appear to contribute to important themes associated with the Las Palmas Business Historic District and is a non-contributor to the district.

Original Owner Meister, Ruth T.
Historic Name(s) El Tovar Apartments; Starlane Hotel; Miss Mary's Playhouse; Crafter's Cottage
Common Name(s) Copley's Restaurant

HSPB #
2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)
Composed of two buildings on a large property set among landscaped areas: L-shaped building at rear, and front gable building facing Palm Canyon. 1962 Sanborn shows only rear building as "5 apartments."

Permit Research
Permit 2590 duplex with (1) 2-bedroom + living room and (1) 1 bedroom + living room; frame and stucco construction with shingle roof - El Tovar Apartments for owner Ruth Meister (10/10/1946); Permit 2905 construction of 5 rental units frame and stucco construction (6/23/47); Permit 78271 swimming pool (1/12/55); Construct slumpstone wall (1/10/74); Permit 187 Larry Lapham submits an application on 7/3/75 for an addition for Dr. Stoddard of Mary's Playhouse Permit 2590 application for business permit "The Reading Room" (8/29/88); Permit 24034 construct two shed roofed storage and display buildings with redwood trellised arch as connector, James Cioffi (architect) (12/18/92); Note to review window change (2/7/97)

Street # 622 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source Historic Preservation Site Board Building Histories

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1927
Architect Unknown
Builder
Architectural Sty Spanish Colonial Revival

Original Owner
Historic Name(s) Reid Clinic, Alcazar Hotel, Pepper Tree Inn
Common Name(s) Solomon's, Lam's Garden (70's-80's), Pepper Tree Bookstore, Alcazar Hotel

Local Class
1986 Contributor Yes
2015 Recommended Non-contributor
HSPB Notes
Private clinic built by Dr. Harry S. Reid on this site in the 1930s. The main clinic originally fronted N. Palm Canyon Drive. That building has been significantly altered. Enlarged and reoriented in the 1960s after Indian Canyon became the north-bound street (and Palm Canyon the south-bound street), the hotel now faces Granvia Valmonte. Today, the site houses a three building complex. Formerly 645 N. Palm Canyon.

HSPB #
2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)
This property and Cheeky's share the address 622 N. Palm Canyon, Alcazar Hotel on the City's list of designated properties as 822 N. Palm Canyon. Historically, the Reid Clinic ran from Indian Canyon to Palm Canyon, the office building fronted Palm Canyon (now Tchotchkes) and the guest accommodations were in a building that is now part of the Alcazar Hotel fronting Indian Canyon. This building was constructed circa 1927 (and appears in the 1929 Sanborn), the existing footprint matches the 1929 Sanborn, but architectural features have been altered. A third building associated with the Reid Clinic ran along the north edge of the property; this is identified as the "sun rooms and dressing rooms" on the Sanborn map. This building may have been demolished or substantially altered; it does not match the historic footprint as clearly as the other buildings on the site. At some point, a third building was added in the space between the office building and the guest rooms building, this building is extant. There were two buildings added to the property by Williams & Williams in 1962 when it was the Pepper Tree Inn; these have been demolished for parking.

Alterations
Alcazar Hotel: second story windows replaced, window openings on ground floor blocked, additional alterations to the site.

Permit Research
Permit 1902 Electrical (11/30/45), 1946 and 1947 "rebuilding front out" and "add bathroom and stairway," Permit 988 for Solomon's (9/18/58)

Integrity Although there have been some alterations, the property retains sufficient integrity to convey its historic significance.

Evaluation Identified as contributor in 1986. This property represents a rare remaining example of health-related development; one of the earliest buildings constructed on this portion of N. Palm Canyon Drive, associated with Dr. Henry Reid, who was an important figure in the development Palm Springs during this period.

Street # 622 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source Palm Springs Historical Society

Current Photo Source Historic Resources Group 2014-2015

Construction Date

Architect Unknown

Builder

Architectural Sty Spanish Colonial Revival

Local Class

1986 Contributor No

2015 Recommended Non-contributor Yes

HSPB Notes

Original Owner

Historic Name(s)

Common Name(s) Cheeky's

HSPB #

2015 Recommended Contributor

Altered - Further Review

Additional Notes (HRG)

Shares the address of 622 N Palm Canyon with neighboring Alcazar Hotel.

Alterations

The 1962 Sanborn shows a building on this parcel, the footprint for which is still visible in aerial photographs, but has been surrounded by later alterations to the site. The Sanborn shows a covered passage on the primary facade; however this has been co

Permit Research

Integrity No longer retains sufficient integrity to convey its historic significance.

Evaluation 1930s commercial development in Palm Springs, reflecting the growth of the city and the commercial district to the north during this period. However, the property has been substantially altered such that it no longer conveys its historic significance and therefore is a non-contributor to the district.

Street # 639 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source Palm Springs Historical Society



Current Photo Source Historic Resources Group 2014-2015

Construction Date 1947

Architect Unknown

Builder

Architectural Sty Mid-century Modern

Local Class

1986 Contributor No

2015 Recommended Non-contributor Yes

HSPB Notes

Composed of three elements facing a central parking area: on the south is two-story apartment building with retail facing Palm Canyon; on the north is a single-story restaurant building and a two-story apartment building behind. It has housed a variety of uses, significant alterations and additions in the 1950s and 1960s.

Alterations

Numerous alterations over time per permit research; current alterations include wall cladding replaced with smooth cement plaster; windows and storefronts replaced

Integrity Substantially altered and no longer conveys its historic significance

Evaluation Its original design represented an example of a post-World War II motor lodge reflecting the growing importance of automobile tourism; however, the property has been substantially altered and no longer conveys its historic significance. Therefore, it is a non-contributor to the historic district.

Original Owner

Historic Name(s) Del Hai Mo Lodge, Medical Office

Common Name(s) Fairmount Hotel; Medical Office

HSPB #

2015 Recommended Contributor

Altered - Further Review

Additional Notes (HRG)

Mixed use development: Medical Office building, shops and apartments in multiple buildings oriented around a central parking lot and pool; the property is currently vacant and being rehabilitated. The Del Hai Mo Lodge (listed at 641 N. Palm Canyon) is first mentioned in the Desert Sun in 1949 and in the Los Angeles Times in 1950; it is included in the 1954 Palm Springs Area Yearbook. When compared to historic images of the Del Hai Mo Lodge the property has been substantially altered. The pool shown on the 1962 Sanborn matches the footprint of the pool shown in the postcard image of the Del Hai Mo Lodge; the pool appears to be extant.

Permit Research

Permit 2208 Alteration (2/13/46); Permit 3063 for construction of service porch to bath room (6/2/47); Permit 3209 swimming pool (10/26/45 or 48, illeg.); Permit 3495 10 units of frame and stucco and composition roof (5/12/48); Permit 3974 for frame and stucco construction of building with 7 apartments (7/26/49); Permit 3973 move building on same lot (7/26/49); Permit 4126 Construction of storeroom 10 feet from south property line (11/20/49); Permit 4426 4-unit apartment frame and stucco with Tropicool Roof (8/8/50); Permit 5116 Remodel and enclose front porch (8/14/51?); Permit 5663 construct 6-unit frame and stucco apartment with composition roof (6/19/52); Permit 5664 demolish 3 unit apartments (6/19/53?); Permit 6887 6 apartments, 1 lobby, 2 office rooms, 2 bathrooms concrete block, frame and stucco, note "also destroying 3 apartments at same time" (7/22/54); Permit 9971 construction of steel masonry and frame lounge and playroom composition roof for hotel building (8/29/57); Plumbing permit (10/1978);

Street # 650 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source Palm Springs Historical Society



Current Photo Source Historic Resources Group 2014-2015

Construction Date pre-1929
Architect Unknown
Builder
Architectural Sty Spanish Colonial Revival

Original Owner Reid, Dr. Harry
Historic Name(s) Reid Solarium and Clinic; Reid Clinic and Hospital; Dr. Henry Reid's Sanitarium
Common Name(s) Tchotchkes

Local Class 2
1986 Contributor Yes
2015 Recommended Non-contributor
HSPB Notes
1939 City Directory lists this as the Reid Clinic. Remodeled in 1940s per the direction of original owner Dr. Harry Reid; became a four-unit retail building.

HSPB # 24
2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)
According to the 1929 Sanborn, this property includes one of the remnants of the Reid Clinic and Hospital (other remnant corresponds to 645 or 647 N Indian Canyon). Reid constructed a "Solarium and Clinic" north of Granvia Valmonte, on a large parcel that fronted on both N Palm Canyon Drive (then Main Avenue) and N Indian Canyon Drive (then Indian Avenue). The facility consisted of two Spanish Revival buildings, a rectangular one-story office building on Palm Canyon and a U-shaped two-story building on Indian Canyon containing guest rooms and apartments; between them was a third building containing "sun rooms" and dressing rooms. Based on historic photographs, before 1936 Reid expanded the office building with an addition to the north that included a two-story octagonal tower. Desert Sun of 11/1/1946 says Reid Moved his practice to "644 N. Palm Canyon" in November 1946. This address likely has typo in it for 666 N. Palm Canyon. This move follows the wartime usage of the El Mirador as a hospital.

Alterations
Substantially altered when compared with historic photographs; roof tile replaced, windows replaced; storefront added to primary façade, covered porch removed or enclosed (south portion of building).

Permit Research

Integrity Integrity compromised.

Evaluation Identified as a contributor in 1986. This property represents a rare remaining example of health related development, one of the earliest buildings constructed on this portion of N. Palm Canyon Drive; associated with Dr. Henry Reid, who was an important figure in the development Palm Springs during this period.

Street # 655 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1970
Architect Sackley, Stan
Builder
Architectural Sty Mid-century Modern

Original Owner Hollowell, James
Historic Name(s) Hollowell Building
Common Name(s) 655 Building

Local Class
1986 Contributor No
2015 Recommended Non-contributor Yes
HSPB Notes
Two-story office building, renovated in 2002. Attributed to architect Stan Sackley. Carport at rear added in 1990s.

HSPB #
2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)
Groundbreaking reported in the Desert Sun on June 15 1970; no architect is referenced in the article, but Stan Sackley listed as architect on the original building permit. Stan Sackley (1937-2001) graduated from USC with Bachelor of Architecture in 1961. In the early 1960s, prior to forming his own firm, Sackley partnered with Herman Charles Light, FAIA (1911-1971) in Sackley and Light. Sackley was never licensed but maintained a successful design firm in Palm Springs. He received national press coverage for the residence he designed for James Hollowell which was featured as a "Playboy Pad" in the April 1966 issue of Playboy. Although some sources associate him with an apprenticeship at Taliesin, email exchanges with Taliesin West archivist Margo Stipe indicate Sackley does not appear on any official Taliesin apprentice lists. By June 1986, Sackley was retired from practice.

Alterations
No major exterior alterations visible.

Permit Research
Permit 1709 for Hollowell Building, application made by Alan "Stan" Sackley (1970)

Integrity Retains sufficient integrity to convey its historic significance.

Evaluation Property constructed outside the period of significance. However, may be re-evaluated when properties from the 1970s are eligible under local ordinance.

Street # 664 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1937
Architect Matcham, Charles O.
Builder Wilson, Raymond R. and Sorum, Raymond M.
Architectural Sty Spanish Colonial Revival

Original Owner Wilson, Raymond R, Sorum, Raymond M.
Historic Name(s) Wilson Sorum Building
Common Name(s) Jake's Fine Eats

Local Class
1986 Contributor No
2015 Recommended Non-contributor
HSPB Notes
Small office building around a central courtyard; designed by Charles O. Matcham and built by owners/contractors Raymond Wilson and Raymond Sorum to house their offices. Matcham also had an office in the building. Housed a variety of tenants and uses over time, including retail, restaurants, galleries, and other offices.

HSPB #
2015 Recommended Contributor Yes
Altered - Further Review
Additional Notes (HRG)
Courtyard building with two story portion at the rear. 664 is listed as the street address for the Reid Clinic, but per the Sanborn map, the clinic was physically located on the neighboring parcel. 664 and 666 N. Palm Canyon have the same APN. Based on a historic photograph of the Reid Clinic, this building may have been altered, however, to date those alterations have not been confirmed (no additional photographic evidence; permits not available)

Alterations
Storefronts replaced, pergola added to primary facade, roofing replaced

Permit Research
Permits appear to have been misfiled for this property; permits on file under this address refer tp Backstrom Reid building

Integrity Retains sufficient integrity to convey its historic significance

Evaluation Commercial development from the 1930s, reflecting the northward expansion of the commercial center during this period. Example of the courtyard property type; work of master architect Charles O. Matcham.

Street # 666 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1960

Original Owner Reid, Dr. Harry and Backstrom, Dr. Robert G

Architect Lapham, Howard (developer)

Historic Name(s) Backstrom-Reid Building

Builder

Common Name(s)

Architectural Sty Mid-century Modern

Local Class

HSPB #

1986 Contributor No

2015 Recommended Contributor Yes

2015 Recommended Non-contributor

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Dr. Harry Reid listed at this address as late as 1953, but that listing may have been in an earlier building. This building was built by Dr. Henry Reid in partnership with Robert G. Backstrom, both had offices in the upper level. Design is credited to Howard Lapham, but he was more a developer than a designer. It has recently undergone an accurate restoration

The building is framed by its flat roof and end wall panels that form a continuous folded plane over the building and a porte-cochère that leads to the parking lot at the rear. The façade is articulated with stone veneer, decorative metal screens, and an exterior staircase leading to the second story. Per City list, this building was constructed in 1956. Permits indicate a construction date of 1960.

Alterations

Permit Research

Storefront does not appear original

Building permit 664(76)-672 Backstrom Reid (11/23/60); Plumbing permit for Backstrom Reid 664-672 (11/1/60); Electrical Permit for "Reid Strom" (date illeg.); Sewer permit for Backstrom Reid 664-672 N. Palm Canyon (1/19/61); 666 N. Palm Canyon owner Alco Dental Laboratories Plumbing permit (7/23/69)

Integrity Retains sufficient integrity to convey its historic significance.

Evaluation Represents post-World War II commercial development; built for Dr. Henry Reid, reflecting his ongoing importance and long association with Palm Springs. Good example of Mid-century Modern commercial architecture; high quality of design and high degree of integrity.

Street # 673 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1950
Architect
Builder
Architectural Sty Mid-century Modern

Original Owner Israel, Adolph
Historic Name(s) Adolph Israel Realty
Common Name(s) Trend House

Local Class
1986 Contributor No
2015 Recommended Non-contributor Yes
HSPB Notes
Developed by realtor Adolph Israel as a mixed use building; three retail spaces on ground level and residential units above. Designed by Los Angeles-based architects Albert & Wurzburger.

HSPB #
2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)
Construction date listed as 1952 per City list; however, permits indicate building originally constructed in 1950. Permit research indicates alterations by Albert/Wurzburger, Architects in 1980; unable to confirm original architect.

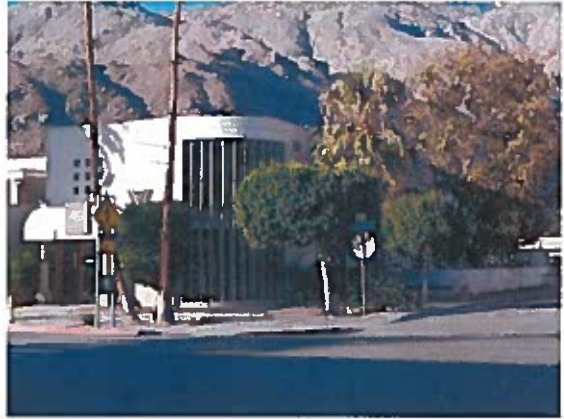
Alterations
Appears altered when compared to 1962 Sanborn – second story appears to have been altered with addition of roof over deck; storefronts replaced; entrance altered, marble cladding added to entry posts and awning added.

Permit Research
Permit 4433 to construct 3 store rooms concrete block, 4 apartments frame and stucco (1/11/50); Permit 6036 carport addition (1/9/53); Carport Permit (1/9/57), Permit 10065 for porch enclosure and removal of sliding doors (9/28/57), Permit application to provide new storefront at Palm Canyon Drive, develop parking lot, landscaping Albert/Wurzburger, Architects (7/21/80)

Integrity Integrity compromised.

Evaluation Associated with post-World War II commercial development along N. Palm Canyon Drive; however, it is not a distinctive building; it is not associated with a significant architect, and it has been altered. Therefore, it is a non-contributor to the historic district.

Street # 687 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1947
Architect Clark & Frey, with Chambers
Builder
Architectural Sty Late Moderne

Original Owner Dollard, Dr. Henry L.
Historic Name(s) Dollard Building, Kemper Building
Common Name(s) Jeffrey Jurasky & Associates

Local Class
1986 Contributor No
2015 Recommended Non-contributor
HSPB Notes
Built for physician Henry L. Dollard, later known as the Kemper Building; housed Cal Vanderwood's Art Gallery. Some casement windows removed in 1958 and original paint color changed from pink to white.

HSPB #
2015 Recommended Contributor Yes
Altered - Further Review
Additional Notes (HRG)

Alterations
Columns and awning added to primary entrance; primary door replaced, secondary door (Merito Place) replaced and awning added

Permit Research
Permit 2940 original building permit (7/18/47); Permit 3436 (illeg.); Permit 19328 re-roof (11/8/90)

Integrity Retains sufficient integrity to convey its historic significance.

Evaluation Good example of Late Moderne commercial architecture, work of master architects Clark and Frey, with Robson Chambers.

Street # 700 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1936

Original Owner Clifton, Bacon L., D.D.S.

Architect Clark, John Porter

Historic Name(s) Clifton Dental Building; Purcell Building (1940s)

Builder

Common Name(s) Optometrist

Architectural Sty Spanish Colonial Revival

Local Class

HSPB #

1986 Contributor Yes

2015 Recommended Contributor

2015 Recommended Non-contributor

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Small medical office building constructed for Bacon L. Clifton, D.D.S. Covered drive added by John Porter Clark.

The City's designated list has this as the Movie Colony Hotel, which is at 700-726 N Indian Canyon.

Alterations

Permit Research

Rear building appears in 1962 Sanborn; security gate and wrought iron railing added. No permits found to confirm addition of covered drive and any other associated alterations.

No permits found for this address.

Integrity Retains sufficient integrity to convey its historic significance.

Evaluation Identified as contributor in 1986. Commercial development from the 1930s, reflecting the northward expansion of the commercial center during this period Work of master architect John Porter Clark.

Street # 707 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1953
Architect Clark and Frey
Builder
Architectural Sty Mid-century Modern

Original Owner Turonnet, Armand and Blanche
Historic Name(s) Turonnet Building
Common Name(s) Security National Bank, Trio

Local Class
1986 Contributor No
2015 Recommended Non-contributor
HSPB Notes
Original owners commissioned Clark & Frey to design a simple commercial structure with six storefronts. An automobile dealership was located at the corner where Trio restaurant is today. In 1955 that space became Security First National Bank, who added the travertine panels.

HSPB #
2015 Recommended Contributor Yes
Altered - Further Review
Additional Notes (HRG)
Building permit research indicates the building became Security Pacific National Bank in 1973.

Alterations
Alterations in 1973 for Security Pacific National Bank; window added to primary façade, now covered with Trio sign, doors and storefronts replaced, some openings altered

Permit Research
Permit 6168 for construction of frame and stucco store with composition roof, Clark and Frey (4/17/53); Job Record Card for remodel of building as Security Pacific National Bank (7/24/73)

Integrity Despite alterations, retains sufficient historic integrity to convey its historic significance.

Evaluation Work of master architects Clark and Frey.

Street # Dir Prefix Street Name Suffix



Historic Photo Source

Current Photo Source

Construction Date

Architect

Builder

Architectural Sty

Local Class

1986 Contributor

2015 Recommended Non-contributor

HSPB Notes

Original Owner

Historic Name(s)

Common Name(s)

HSPB #

2015 Recommended Contributor

Altered - Further Review

Additional Notes (HRG)

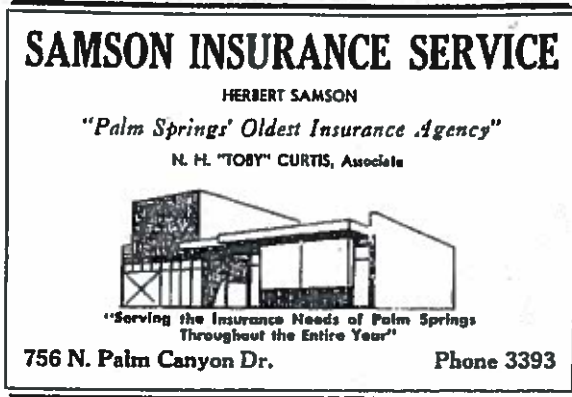
Alterations

Permit Research

Integrity

Evaluation

Street # 756 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source 1946-1947 City Directory

Current Photo Source Historic Resources Group 2014-2015

Construction Date c. 1947
Architect Lapham, Howard (developer); Kaptur, Hugh (1960)
Builder
Architectural Sty Mid-century Modern

Original Owner Kocher, Dr. J.J.; Samson, Herbert
Historic Name(s) Samson Curtis Insurance Company
Common Name(s) Jorge Mendez Gallery

Local Class
1986 Contributor No
2015 Recommended Non-contributor Yes
HSPB Notes
Designed as expansion space for the Kocher-Samson Insurance Company. Howard Lapham designed the first phase of the building; in 1960 an addition was designed by Hugh Kaptur; that same year a deep overhang was added to unify the façade; in 1971 the storefronts were combined into a single shop.

HSPB #
2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)
Included in the 1947 City Directory. First mention of Samson Curtis building at this location in the Desert Sun in 1949.

Alterations
Building does not reflect historic appearance as depicted in the 1947 City Directory; permits indicate several alterations; wall cladding appears to have been replaced; overhang added; storefronts reconfigured from multiple tenants to a single tenant

Permit Research
Building Permit 6331, 756 N. Palm Canyon, Desert Clinic for built up roofing (8/5/1953), Jacket Note: Permit 3039 conjoins this building with 760 N. Palm Canyon into one structure, Job Card Note Remodel of face of two existing commercial buildings to achieve one architectural front effect- new aluminum trim, new glass and trim (7/26/71). Permit 7218 construct slump block wall (2/6/74)

Integrity No longer retains sufficient integrity to convey its historic significance.

Evaluation Associated with post-World War II commercial development along N. Palm Canyon Drive; however, it has been substantially altered and no longer conveys its historic significance. Therefore, it is a non-contributor to the district.

Street # 766 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source Gloria Koenig Frey

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1934
Architect Kocher & Frey
Builder
Architectural Sty International Style

Original Owner Kocher, Dr. J.J.
Historic Name(s) Kocher-Samson Building
Common Name(s) Bon Vivant

Local Class 1
1986 Contributor Yes
2015 Recommended Non-contributor
HSPB Notes
Palm Springs' first International Style building and the project that brought Albert Frey to the desert

HSPB # 79
2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)

Alterations
Exterior wall cladding replaced with textured cement plaster, pipe rail at second floor deck removed, storefront glazing replaced, steel pipe column boxed in; roofing added to interior courtyard

Permit Research
Permits appear to have been misfiled for this property

Integrity Retains sufficient integrity to convey its historic significance.

Evaluation Identified as contributor in 1986. Commercial development from the 1930s, reflecting the northward expansion of the commercial center during this period. Early and influential example of International Style modernism in Palm Springs; work of master architects Kocher & Frey.

Street # Dir Prefix Street Name Suffix



Historic Photo Source

Current Photo Source

Construction Date

Original Owner

Architect

Historic Name(s)

Builder

Architectural Sty

Common Name(s)

Local Class

HSPB #

1986 Contributor

2015 Recommended Contributor

2015 Recommended Non-contributor

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Constructed outside the period of significance

Alterations

Permit Research

Integrity

Evaluation

Street # 784 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source California Desert Art Site

Current Photo Source Historic Resources Group 2014-2015

Construction Date c. 1936
Architect Brewster, Floyd
Builder Chamberlain, Charles
Architectural Sty Mediterranean Revival

Original Owner Rothman, Dr. Philip Elias
Historic Name(s) Pacific Building
Common Name(s) Pacific Building

Local Class 1

HSPB # 13

1986 Contributor Yes
2015 Recommended Non-contributor
HSPB Notes
Developed by Los Angeles pediatrician Phillip Elias Rothman, an early mixed-use project in Palm Springs.

2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)
Per LA Times Roland A. Laurye purchased the building in 1965 as well as property adjacent on Tamarisk and Indian Avenue. "Extensive property improvements" were planned. The building, with its central courtyard and four-story tiered corner tower, contained retail spaces and offices on the ground floor with apartments above. The Pacific Building is distinctive for its size and its strong Italian design elements, including wide overhanging eaves, corbeled balconies, Tuscan columns, and decorative quoins.

Alterations
Storefronts replaced

Permit Research
Seismic upgrade (no date). Job card notes 16 apartment units for 139 Tamarisk (no date). Numerous interior permits, plumbing and electrical but no building permits

Integrity Retains sufficient integrity to convey its historic significance.

Evaluation Identified as contributor in 1986. Prominent example of commercial development from the 1930s, reflecting the northward expansion of the commercial center during this period. Good example of the mixed-use commercial property type dating to the 1930s; distinctive architectural design.

Street # Dir Prefix Street Name Suffix



Historic Photo Source

Current Photo Source

Construction Date

Original Owner

Architect

Historic Name(s)

Builder

Architectural Sty

Common Name(s)

Local Class

HSPB #

1986 Contributor

2015 Recommended Contributor

2015 Recommended Non-contributor

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Originally developed by Harold Hicks, expanded in 1980 and 1984

Alterations

Permit Research

Storefront replaced; appears substantially altered

Integrity

Evaluation



Historic Photo Source Mott Collection



Current Photo Source Historic Resources Group 2014-2015

Construction Date 1930
Architect Ring, Jonathan
Builder
Architectural Sty Spanish Colonial Revival

Original Owner Hicks, Milton
Historic Name(s) El Paseo Building, Dazeli Hatfield Galleries (of Los Angeles) here in 1931 (LA Times, 12/20/31)
Common Name(s) El Paseo Building, Workshop Kitchen and Bar

Local Class 1
1986 Contributor Yes
2015 Recommended Non-contributor
HSPB Notes
 Designed by New York architect Jonathan Ring for contractor-developer Milton Hicks, son of Alvah Hicks. Built around a courtyard; original covered walkway along Palm Canyon removed.

HSPB # 27
2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)
 Dated 1926-1927 in numerous sources, however, the building is not present on the 1929 Sanborn map. Per the Los Angeles Times, it was completed in January 1930 after three months of construction (LA Times, 1/13/30). The Spanish Colonial Revival-style building surrounds a central courtyard and originally featured a columned corridor encompassing the sidewalk along Palm Canyon Drive and cantilevered wood balconies overlooking Tamarisk Road. Tenants included the El Paseo Market and Earl Strebe's El Paseo Theater, and Jurgensen's (1940s). Per the Los Angeles Times, Ring worked previously for Allison & Allison, the building was directly inspired by the El Paseo building in Santa Barbara (LA Times 1/13/30).

Alterations
 Original corridor along Palm Canyon removed, storefronts replaced, door (primary) replaced, rehabilitated in 2009 by Rios Clementi Hale

Permit Research

Integrity Altered but retains sufficient integrity to convey its historic significance.

Evaluation Identified as contributor in 1986. Prominent example of commercial development from the 1930s, reflecting the northward expansion of the commercial center during this period. Good example of the courtyard commercial property type; good example of Spanish Colonial Revival architecture.

Street # 803 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 2008

Original Owner

Architect

Historic Name(s)

Builder

Architectural Sty Other

Common Name(s) Condos/Interior Illusions

Local Class

HSPB #

1986 Contributor No

2015 Recommended Contributor

2015 Recommended Non-contributor Yes

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Built on the site of the Harold Hicks Real Estate Office.

Alterations

Permit Research

Integrity

Evaluation Constructed outside the period of significance

Street # 830 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1956

Original Owner

Architect Unknown

Historic Name(s) Sam Stuart's El Paseo Market

Builder

Architectural Sty Mid-century Modern

Common Name(s) Dunes Liquor and Deli (1994), Raymond Lawrence

Local Class

HSPB #

1986 Contributor No

2015 Recommended Contributor

2015 Recommended Non-contributor Yes

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Constructed to house the El Paseo Pharmacy, which moved to this location from the El Paseo Building in 1956. Altered in 1979.

Alterations

Permit Research

Ribbon windows that appear in historic photos on the primary façade removed, storefronts replaced; door (primary) replaced; stone planter removed

Integrity No longer retains sufficient integrity to convey its historic significance.

Evaluation Associated with post-World War II commercial development along N. Palm Canyon Drive; however, it is not a distinctive building, it is not associated with a significant architect, and it has been altered. Therefore, it is a non-contributor to the historic district.

Street # Dir Prefix Street Name Suffix



Historic Photo Source



Current Photo Source

Construction Date
Architect
Builder
Architectural Sty

Local Class
1986 Contributor
2015 Recommended Non-contributor
HSPB Notes

Alterations

Integrity

Evaluation

Original Owner
Historic Name(s)
Common Name(s)

HSPB #
2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)

Permit Research

Street # Dir Prefix Street Name Suffix



Historic Photo Source

Current Photo Source

Construction Date

Original Owner

Architect

Historic Name(s)

Builder

Common Name(s)

Architectural Sty

Local Class

HSPB #

1986 Contributor

2015 Recommended Contributor

2015 Recommended Non-contributor

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Was constructed as part of the Hicks Center. First stand-alone post office in Palm Springs.

Alterations

Permits indicate numerous alterations; cladding on columns added; canopy altered; storefronts and doors replaced

Permit Research

Permit 7442 U.S. Post Office-Harold Hicks owner, concrete block wall, steel beams, asbestos cap sheet built-up roof (3/28/55); Job card shows remodel exterior entrance way and exterior front of existing commercial building; includes showcase work in front, remodel entry steps, and remodel existing overhang (9/10/70); Job Card shows demolition, remove one of three canopies from Palm Canyon Drive frontage and "remodel to follow" (demolition complete 8/19/68)

Integrity

Evaluation

Street # 861 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source Palm Springs Historical Society



Current Photo Source Historic Resources Group 2014-2015

Construction Date c. 1930
Architect Unknown
Builder
Architectural Sty Commercial vernacular

Original Owner Nichols, Stephen C. and Mary Ann E.
Historic Name(s) Culver Nichols Real Estate Office
Common Name(s) My Little Flower Shop and My Little Bridal Boutique

Local Class
1986 Contributor No
2015 Recommended Non-contributor Yes
HSPB Notes
In his interview in the Prickly Pear series, Culver Nichols indicated that he constructed the southern building on the property as his real estate office shortly after moving to Palm Springs in 1930. Small addition (west wing) by Clark & Frey for Dr. Hugh Stephens.

HSPB #
2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)
865 N Palm Canyon listed as Culver Nichols Real Estate Office in 1939, 1971 Desert Sun has Culver Nichols Real Estate Office at 899 N Palm Canyon.

Alterations
Per HSPB and permits: altered repeatedly over time (many times by Culver Nichols); north building wall cladding replaced; primary door replaced; roofing replaced

Permit Research
Permit 1089 for construction of an office building at 861 N. Palm Canyon, Clark and Frey (X/12/45); Permit 6032 to glass in front porch at 861 N. Palm Canyon (1/8/53); Job Card for 861 N. Palm Canyon for Robert Matthews, owner install scalloped valance beneath front eave of building (2/21/69); Job Card for 865 N. Palm Canyon add 4x12' enlargement of frame and stucco commercial building (existing roofed area) at north end of building (6/30/71). Job Card remodel front of existing commercial building at 869 N. Palm Canyon by adding place glass window and relocating existing window (9/21/71); Permit 4951 add 9x12 storeroom to building, attached to rear of retail shopping (8/22/72)

Integrity Site has been altered; integrity compromised

Evaluation The original Culver Nichols Building represents commercial development from the 1930s, reflecting the northward expansion of the commercial district during this period, long-term home of Culver Nichols real estate office. However, the original construction date is unconfirmed, the building is not distinctive, and the site has been altered. Therefore, it is a non-contributor to the historic district.

Street # 865 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date c. 1951

Original Owner Morrey, Dr. R.C.

Architect Unknown

Historic Name(s) R.C. Morrey Medical Office

Builder

Architectural Sty Modern vernacular

Common Name(s) My Little Flower Shop and My Little Bridal Boutique

Local Class

HSPB #

1986 Contributor No

2015 Recommended Contributor

2015 Recommended Non-contributor Yes

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Alterations

Storefront replaced, door (primary) replaced

Permit Research

Permit 1089 for construction of an office building at 861 N. Palm Canyon, Clark and Frey (X/12/45); Permit 6032 to glass in front porch at 861 N. Palm Canyon (1/8/53); Job Card for 861 N. Palm Canyon for Robert Matthews, owner install scalloped valance beneath front eave of building (2/21/69); Job Card for 865 N. Palm Canyon add 4x12' enlargement of frame and stucco commercial building (existing roofed area) at north end of building (6/30/71); Job Card remodel front of existing commercial building at 869 N. Palm Canyon by adding place glass window and relocating existing window (9/21/71); Permit 4951 add 9x12 storeroom to building, attached to rear of retail shopping (8/22/72)

Integrity Integrity compromised

Evaluation Associated with post-World War II commercial development along N. Palm Canyon Drive; however, it is not a distinctive building, and it has been altered. Therefore, it is a non-contributor to the historic district.

Street # 879 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source Palm Springs Historical Society

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1947

Architect Clark and Frey

Builder

Architectural Sty Mid-century Modern

Local Class

1986 Contributor No

2015 Recommended Non-contributor

HSPB Notes

Mixed-use building designed to house retail on the ground floor and the offices of Clark & Frey on the second floor. In 1952 the firm became Clark, Frey & Chambers; when the partnership with Frey dissolved in 1956 Clark retained ownership of the building. In 1990, the upper floor housed the office of E. Stewart Williams.

Alterations

Sliding doors on second floor of primary façade appear to have been replaced; pebble coat added to stairs on primary façade

Integrity Retains sufficient integrity to convey its historic significance.

Evaluation Good example of Mid-century Modern commercial architecture; work of master architects Clark and Frey to house their offices.

Original Owner Clark, John Porter

Historic Name(s) Clark and Frey Building

Common Name(s) Clark and Frey Building; Camera Exchange Building; Wil Stiles

HSPB #

2015 Recommended Contributor Yes

Altered - Further Review

Additional Notes (HRG)

Permit Research

Permit 9487 install steel exterior stairs at the rear of the commercial building serving the second story (12/2/75)

Street # 882 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1946

Original Owner Margolus, Dave or Margolius, David per building permit

Architect Unknown

Historic Name(s) Angel View

Builder Simsarian, Henry

Architectural Sty Commercial vernacular

Common Name(s) MacMillan's

Local Class

HSPB #

1986 Contributor No

2015 Recommended Contributor

2015 Recommended Non-contributor Yes

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Nondescript retail building constructed by Henry Simsarian.

1962 Sanborn map indicates that footprint is the same as existing and there were two tenant spaces

Alterations

Permit Research

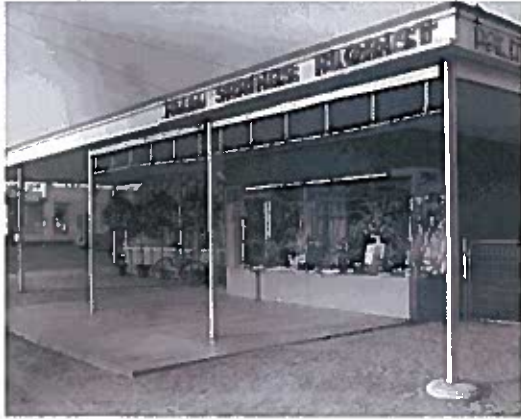
Exterior wall cladding replaced with textured cement plaster; entry altered; storefronts replaced

Permit 2071 (or 2871) for construction of stores as per plans submitted (2/2/46); Permit for 886 N. Palm Canyon for new soffit and aluminum windows and door, planters (10/29/85)

Integrity Integrity compromised

Evaluation Associated with post-World War II commercial development along N. Palm Canyon Drive; however, it is not a distinctive building; it is not associated with a significant architect, and it has been altered. Therefore, it is a non-contributor to the historic district.

Street # 894 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source Historic Site Preservation Board Building Histories

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1938
Architect Unknown
Builder
Architectural Sty Other

Original Owner
Historic Name(s) Palm Springs Florist
Common Name(s) Palm Springs Florist

Local Class
1986 Contributor Yes
2015 Recommended Non-contributor
HSPB Notes

HSPB #
2015 Recommended Contributor
Altered - Further Review
Additional Notes (HRG)

According to City Directories, a florist has been operating out of this location since at least 1938. The proprietor at that time was Japanese florist R. Miramatsu. A 1947 photograph shows the building as it was operated by Earl Hall and his partner Horace Head, the Hall family is still in business on this site. The building has been substantially altered and only retains the original greenhouse.

Alterations
Substantially altered

Permit Research
Permit B-6976 for demolition and new construction on the parcel, greenhouse portion only existing building to remain, Christopher S. Mills Associates Architects, Inc. (date illeg)

Integrity Substantially altered and no longer conveys its historic significance

Evaluation Identified as a contributor in 1986. It was constructed during the period of significance and represents a long-term business in Palm Springs.

Street # 895 Dir N Prefix Street Name Palm Canyon Suffix Dr



Historic Photo Source Historic Site Preservation Board Building Histories



Current Photo Source Historic Resources Group 2014-2015

Construction Date 1953
Architect Clark & Frey
Builder
Architectural Sty Mid-century Modern

Local Class
1986 Contributor No
2015 Recommended Non-contributor
HSPB Notes

Originally constructed for Culver Nichols. Specifically designed to be a single story so as not to block the north-facing windows of the Clark and Frey Building next door. James Cioffi did minor alterations when the building was leased by Trina Turk.

Alterations
2002 alterations when leased by Trina Turk (per HSPB)

Original Owner Nichols, Culver
Historic Name(s) Nichols Building II
Common Name(s) Trina Turk

HSPB #
2015 Recommended Contributor Yes
Altered - Further Review
Additional Notes (HRG)

Permit Research

Integrity Retains sufficient integrity to convey its historic significance.

Evaluation Good example of Mid-century Modern commercial architecture; work of master architects Clark and Frey.

Street # 276 Dir E Prefix Granvia Street Name Valmonte Suffix



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1935

Original Owner

Architect

Historic Name(s) Chapman Apartments

Builder

Architectural Sty Spanish Colonial Revival

Common Name(s) N.O. Turner Residence/Las Flores Blancas

Local Class

HSPB #

1986 Contributor No

2015 Recommended Contributor

2015 Recommended Non-contributor Yes

Altered - Further Review

HSPB Notes

Additional Notes (HRG)

Construction date listed as 1935 on govclarity; this does not correspond to directory research. Listed as an apartment by 1939, but permit records unclear whether this was originally constructed as a single-family residence.

Alterations

Permits indicate alterations; significant alterations not visible from the public right-of-way.

Permit Research

Electrical permit (11/21/44), Permit 7012 remodel existing apartment and add kitchen (6/22/64), Permit 3374 appears to be for substantial addition for Syd Rose (9/30/71); Construction of concrete block wall on property front (6/13/75)

Integrity Appears to retain sufficient integrity to convey its historic significance..

Evaluation Single-family residence from the 1930s; does not represent an important theme related to commercial development in the Las Palmas Business Historic District. Therefore, it is a non-contributor to the historic district. Recommend revising district boundary to exclude single-family properties.

Street # 275 Dir E Prefix Street Name Tamarisk Suffix Rd



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1939
Architect Clark, John Porter with Frey, Albert
Builder
Architectural Sty Mid-century Modern

Original Owner Cretney, Jack Douglas, and Corbett, Joseph Michael
Historic Name(s) Chaney Apartments
Common Name(s)

Local Class
1986 Contributor No
2015 Recommended Non-contributor

HSPB #
2015 Recommended Contributor Yes
Altered - Further Review

HSPB Notes
Situated just behind the Los Arboles Apartment Hotel, this 10-unit apartment building is an early modernist project credited to John Porter Clark – Frey was not yet licensed but was a collaborator on the project. Five units on each side flank a garden with a pool.

Additional Notes (HRG)
Permit Research

Alterations
Not fully visible from the public right-of-way. Security gate added; windows appear to have been replaced.

Integrity Retains sufficient integrity to convey its historic significance

Evaluation Multi-family residential development in Palm Springs, reflects development of seasonal housing in the 1930s and the growth of the city and the commercial district to the north during this period. Good example of the courtyard property type. Work of master architect John Porter Clark with Albert Frey.

January 12, 2015

City of Palm Springs Historic Site Preservation Board
Las Palmas Business Historic District (LPBHD) Subcommittee (Ploss, La Voie, Hays).

Task: Review the illustrated document titled "LPBHD Conceptual Design Guidelines: New Commercial Construction & Major Remodel" dated November 5, 1985 and recommend revisions to better reflect the overall character and existing conditions within the district and when/how it should be applied when considering Certificates of Approval.

Meeting Date: January 12, 2015

Present : Todd Hays, Bill LaVoie, Roxann Ploss

- **Purpose:** Review and recommend to the HSPB possible revisions/improvements of the LPBHD Conceptual Design Guidelines and the projects for which they should be considered in granting a Certificate of Approval by the HSPB.

1. **The Conceptual Design Guidelines (dated 11-5-1985):**

Subcommittee Recommendation: The Conceptual Design Guidelines are appropriate as written and should be used when the Board considers Certificates of Approval for alteration to any building originally standing during the creation of the LPBHD (pre-1985 structures) for which renovation or alternation is proposed by the applicant – not just "contributing" sites and/or projects involving new construction or major renovation.

2. **For the district in general:**

The subcommittee noted that a distinctive characteristic not recognized in the City Council as "contributing" in the designating resolution from 1985 were a number of buildings designed and constructed in the 40's, 50's, and 60's in what has become known as "mid-century modern"(MCM) architectural style.






A significant "departure" from the Spanish Colonial / Mediterranean Revival styles used on many of the hotels from the twenties and thirties that were identified as "contributing", these MCM buildings are characterized by storefronts that had higher "floor to floor" heights, strong horizontal lines and residential or office uses on upper floors. Many of these buildings were designed with upper floors set back from the storefronts on the first floor (examples: _____.) None of the MCM buildings in the district are currently identified in the Council resolution as "contributing".

Subcommittee Recommendation:

- Continue the practice of evaluation by the Board of proposed new buildings for consistency with The Guidelines.
- Recommend to City Council that an amendment to Municipal Code Section 8.05 be established to allow for review by the HSPB for Certificate of Approval of renovations of buildings NOT standing at the time the historic district was established (built after 1985) for consistency with The Guidelines.
- Review the attached list of buildings in the district for which the subcommittee recommends changes in contributing or non-contributing status for recommendation to the City Council for possible re-classification.

HSPB SUBCOMMITTEE EVALUATION OF ALL PROPERTIES IN THE LPBHD.
 LAST DATE REVISED: 1-12-15

Minor updates: ~~August 2014~~ Micro-fiche data is available from (in some cases) late 1940's through early 1990's. The more recent is on hard-drive but, unfortunately, a lot of the files are "corrupted" and inaccessible so later changes are not known (i. e., the marquee added to PS Florist).






# ON PALM CANYON Class One	C/N-C (yes or no)		APPROX. YEAR BUILT, IF KNOWN	ORIGINAL OWNER/LATER OWNERS	ARCHITECT/BUILDER, IF KNOWN (ALSO APPLIES TO REMODELS)	ORIGINAL USE OF BUILDING, OR "REOWNED" BUSINESSES	PRESENT USE/NAME	NOTABLE CHANGES
538 & 550 (Class 1)	Y		1920's	Land given by P.T. Stevens "to always be a school". Frances Stevens 1 st principal	'93 Larry Hochanadel	"Ms. Katherine's" (Finchy) apt. used to be south of what is now the box-office. Now used by Parks & Rec for classes and theatre. Used to be an "Americanization" room	City of Palm Springs (Arts Center) "Everybody's Village"	Auditorium turned into a theatre. '75 Enclose breezeway '99-Fountain added. '01-major fire damage/aud. area
515	N		1947	Rose Ploog Harry Mustacio Burger	'55 Floyd Cameron	Closson's Texaco Carmelita's Hotel (4 units) King's Inn Palm Springs Hotel		'52-'81: major additions/growth '90's: bulldozed. Empty lot Bulldozed; Cheeky's garden
610	N			Richfield Gas Company		Gas station		
538 & 550 621	Y		1947 (?)	Ruth Meister Dr. Helen & Mary Stoddard	Ray Dill Larry Lapham	First a motel (El Tovar) Miss Mary's Playhouse (1966-80) Diff. educ. Facilities (1980's) crafters cottage/tearoom	Copley's	NEVER the "Cary Grant Estate" Trellis, fire pit, patio cover all added in 2000's
622 Became 645 N. Indian in '03	N		1945	'92 Barbara Foster Walter Glatter Dave Lyons Bob Rosenau	Wm. Foster/Larry Hochanadel	Restaurant "Solomon's" 70's-80's-Lam's Garden Peppertree Bookstore	Cheeky's	Add second story, '47 Front repeatedly changed, '47-58
625/641/651	Y		1947	Harry Haimovitz Burnham & George		Holly's Hotel Del Hi Ho Motor Lodge Fairmont Hotel Villa Soleil	Bicycle shop	Was south-facing '48-added building, pool, etc. Major additions/demo's, '50-60's Opened café then later enlarged to restaurant, '83
645	Y		1970	90's: MT Plate, Let's Get Juiced		Seafood restaurant	Thal Smile	Incorporated into hotel

Contributions listed by Popwire, Bill and Ed on 1/12/15








1-12-15

655	Y			Holloway Office Building	Alan Sackley	Retail PS Getaways '93 Amer. TV Network		Carport added in '90's (no permit)
664 A & B (Class 1 ?)	Y		1930's	(Front side of Dr. Reid's Clinic)		Originally part of Matthew's Chalfont Communications Restaurants/take-away Galleries/antiques	Jake's	Added outdoor bar, '01 Patio covered, '07
666-668	Y		1966		Haralamb Georgescu, arch? Harold Lapham, builder	London-Gutrie (1 st certified accountants?), then Russ Bierich		
671-673	Con.		1950's	Adolph & Rose Israel Current owner: P. Genevino	Albert/Wurtzberger (LA)	3 store fronts/ 4 apartments... then 2 storefronts/2 offices above	Express Mortgage	'53 added carport '79 major refit
687	Con.		1948	G.L. Dollard (Bobby Chambers?) Raul Licon	John Porter Clark & Albert Frey	"Kemper Building" (1952) Cal Vanderwood's Art Gallery Therapy Center (2004		Took out casement windows c. 1958 Once was pink with rounded corner
700's	WMA			In the past, 787-	835 was called	"THE HICKS CENTER"		
700	Con.		1945	Frank Purcell, DDS	John Porter Clark, arch. H. Foster (contractor)	Dentist offices		'47-added major footage '87-mansard roof
707-59	Con.		1953 1963	Gerald & Lillian Singer Armand & Blanche Tournet (home)	Clark & Frey (remodel, '63) Contractor: Herb Foster	Security 1 st National Bank 6 storefronts; frame & stucco	Boscoso's, '05 Trio's, '09	Added footage thru the 50's Remodel to 6 storefronts Travertine fascia
750	Y		1972 (?)		Bruce Beckett	Security Pacific (relocating in 1972 from across the street) Post '89= B of A	Various retail shops through the 2000's	'81- "2-story V-N bank bldg."
756-760	Y		1946 (?)	Samson Curtis Samson left in '53, F. Thomas Kieley, Jr. became partner. Became Curtis-Kieley Ins. '58	Albert Frey Harold Lapham In 1960, another storefront (760) was added by Hugh Kaptur & Howard Lapham	Insurance 760-# for penthouse above the storefront.		Coble/Wessman built the overhang (1960) over the driveway. Commercial bldg, '61 '71-combine 2 store fronts









1-12-15

766-68 (Class 1)	Y		1934	'72-Geo. Von Rosen Kocher-Samson '74-Geo. Von Rosen	Arch.-Albert Frey	Insurance/apt. above Desert Clinic '53 Dr. Woodmansee	Various retail storefronts throughout '80's to present	"Y" in window is original & a structural piece. Walkway between 766-756 was covered by request of city to preserve "Village" look
777	N		1972	SOMething was there!!! '79 RJ Morreale '85 Dougherty-Hanna Leasing	J. Cloffi	Offices, covered parking	Bureau of Tourism	Porte cachere added (?) '87-Major remodel
767-769			1960 (?)	Harold Hicks Ben Cox owned the Pharmacy.		El Paseo Pharmacy (1967) Chen Ling's (1984) Edgardo's Café Veracruz, '08	Integrated Wealth Management, '09	Connected 2 sections of "HicksCenter" by adding a canopy over driveway in 1964 '80-added 21,000 sf comm. '84-Converted to restaurant; also ½ walls changed to floor to ceiling windows
788-98 (Class 1)	Y		1935	Florian G. Boyd, Sr. '74-Geo. Von Rosen '85-J. Frank	Herb Foster (contractor)	Pacific Bldg. (Hallmark Cards Castle, apts.) Desert Emporium ('50-60's) Changing storefronts, art galleries ('90)		Apparently, a previous building c. 1946 was replaced c. 1958. '53-added fixed canopy
The 800's								
800-816 (Class 1)	Y		1937-40	Earl & Frances Bunker Strebe '72- Noel Birns	Wm. Foster (contractor)	El Paseo Bldg. ("a little community" which housed church, theatre, groceries), Interior Design	remove "unsympathetic renovations from the 80's; restore 'historic' balconies" 2008	'64-2 nd story office space added, '72-major refit, Address #'s added, '04









1-12-15

803-835	N		Presently: Brand new	(Harold Hicks'-Frank Purcell's property torn down)		New: 2006-07 (incl. apartments upstairs) Condos, mixed use development	(Had hair salon, Eadie Adams [817] Realty, KDES studio [821], dance studio [827])	Original buildings burned then bulldozed.
830-838	Y		1956	Noel Birns, '79		El Paseo Market (owned by a Japanese family), Jergensen's Fine Foods Tropicana Licqour & Deli		
840-844	Y				John Porter Clark	Water company	Asylum	Exterior paint/window treatment/door changed
849	Y		1955	Pat Coffin/Harold Hicks Kuperman	Albert Frey Dean Carlson Design ('05) (& present)	1st "downtown" U.S. Post Off. (The first was in Carl Lykken's store; this was the first "stand-alone")	'70's-Sunkist Carpets '80's-Furniture Untld.	Sand Color City installed art piece, '09
850	Y		1947	'56-Henry Simsarian '67-Arthur Elrod/Steve Chase		Plumbing & appliances Design showroom		'56-major footage added '68-add post/beam carport
861/863-869	Y		1946	Culver Nichols And Stan Clark (later)	Albert Frey designed extension on So. Bldg.	Realty (longest-running "same business, same add." West wing= Dr. Hugh Stephens, M.D. (Mrs. Nichols' cousin.		Started as a little house, added to throughout the 50's '52-glassed in the porch '68-added valance, etc., etc. '72-added footage
864/866			1940's	Dave Margolis				
873			1948		Albert Frey, Stan Clark/Henry Simsarian	storefront	Now incorporated w/875	
875	Y		1947	J.P. Clark The Clark Family	Philip Abram/JP Clark	Storefronts below. Above: Clark & Frey (1947-53) Robson Chambers/Frey ('til 1966) then		2-story block bldg. No major changes Installed steel stairs at rear, '75

1-12-15



879-2 nd story of 875	Y		1947	Philip Abram/JP Clark Stan Clark family	Jim Cloffi (the re-hab)	E. Stewart Williams' (Wms., Clark & Wms.) offices (until mid-90's)		Built up roof, '91 Steel structure over parking spaces
882-88	Y		1947	Dave Margolis	Simsarian (bidr.)	Hair salon, Thrift & Loan, art gallery, Angel View	MacMillan's	No real history.
891-99	Y		1945-1975	Culver & Sally Stevens Nichols family	Albert Frey(only one story so as not to block north windows of bldg to south.) Jim Cloffi (did changes)	Furniture, art galleries	Trina Turk's	Major renovations by Turk, '02, '07 Restoration & parking cover, '04
894	Y		1950's (?)	John Hall Hall Family	Hugh Kaptur (1980's) Re-do ('02): Chris Mills, arch., Mike Foster, bidr.	P.S. Florists		Only green house and clock are original.
# on 500 block (address is 572)		INDIAN	CANYON	DRIVE				
640	Y		1930's	Al Worthheimer Bob Howard* ('51?)	'52-3-remodel (Rbt.Higgins/ Wm. Foster). Rooms added. '68-Wm. Foster redesigned front facade/entry	Colonial House Howard Manor The Palm (Day Spa), '85	Colony Palms (Azul)	Once the home of Andrea Leed's jewelry before she moved to So. Palm Canyon Many additions, demo's, fire damage, re-hab since 1953 Entrance canopy added, '66
645	Y		1936 then 1939	Dave Margolis bought it as hotel. Alan Ladd (widow Sue Carroll) in 1970+ Rammy Hormoz		House/extension then became Ambassador	The Spanish Inn (bank owned)	6' wall & demo of pool house, '01- '02 Being restored in parts, renovated in others. Some add ons but condo addition has been dropped (?)
726	N		1930's 2000's (new)	Dr. Harry Reid Bob Rosenau		Clinic Hotel w/many changes (2003)	Pepper Tree El Alcazar Hotel	Total re-hab Another total rehab Much dem'ed; 3 rd major rehab
726	Y		1945	'92 Kuang Wan Chin '97 Fey Enterprises	Clark & Frey	San Jacinto Hotel Ballantine Movie Colony Inn	Movie Colony Hotel	Swimming Pool added, '49 Units added, '45-55 Major re-do, changed entry 2009-10

1-12-15

783	Y		1935	'84 Rose Mlhata '91 Jamie Chamirro	Paul Williams '56 (added office, etc.)	Apartment hotel	Casa Palmera/ Palm Air	Pool added, '52 Replaced glass wall with frame & brick w/window, '75	
784	Y		1949	Mickey Rudin Sam Yudin for Bullock's Wilshire employees Felipe Castaneda	Jim Cioffi, arch.	Los Arboles Lodge Employees' apartments	Indian Manor (since '60's)	'49- pool added '61-stone facade added/changed Open permits, bank-owned Partial demo/major re-do, '07-9	
805	Y		1947	Ellis & Henrietta Dawson Parker then The Wolgemuths	SEE: 140 Tamarisk	De Anza Apartments De Anza Hotel ('78)			
814	Y			Owned by Ritz Hotel owners See below: 200 Tamarisk	"Something Personal Health & Future Spa Hotel, Inc.", '88	El Rancho Grande Hotel Permits for a spa/hotel		Pool added, '76 Address change=moved gates	
840	Y		1934	M.M. Anderson, '45 J.J. Bunker, '55 '85-Susman		Monterey Apts. (cottages)		Block construction, tile roof '52-more apt.s added Pool added, '55	
855	Y		1945	The Crawford's (bldrs) Crawfords again (?), '76 "Avalon Pain Solutions"	Simsarian (plumbing contractor)	Crawford Hotel Irwin Apts., '71 Cypress Motor Inn	Village Inn Plans for it to be a spa.	Enlarged, '52 Demo'd parking lot/pool, '06 Fenced & vacant for several years now	
860	N		Mid-70's (?)	Bill Lubensky	Thornton & Fragin, AIA	6 condos		'80-pool added Non-contributing	
888	Y		1943	PK Peeler, '55 Vern/Evelyn McKay, '66 Jean-Jacques Bouche (2000)		Starlighter Inn (6 apts., 4 hotel rooms, pool. '55-mid 70's)	Morningside Hotel	'71-Added a 2 nd story '85-major changes to façade "attractive nuisance", '79 Declared abandoned, '84 Total rehab, 90's	
OTHERS:									

*

1-12-15

140 Tamarisk Other known address for bldg: 805 Indian	Y		1930	Ellis (E) Henrietta Dawson Parker * Then the Wohlgemuths		De Anza Court De Anza Hotel		
200 Tamarisk	Y			For earlier history, see above: 814 No. Indian Canyon. "The Wm. Schwartz Residence"			Private residence led to moving gates, changing address	Gates have been moved from original location 6" wall added, '86
275 Tamarisk	Y				John Porter Clark	Apartment bldg.		
175 El Alameda	Y		1940's	Harlow Family (NO connection to Jean Harlow, actress) John Morgan/Paul Robles, '85 (?)		Harlow Haven		Complete re-model, '63 and '87 and late 90's Changed to current address in '86
265 Via Altamira	Y		1930's			First a residence, then purchased by The Palm Springs Club		A patio has been walled up to make a card room; kitchen extension (?)

Extra history to accompany names/places mentioned above:

- Re: Frances Stevens Park. Builder/developer P. T. Stevens gave the land to the Desert School District in 1926 to honor his late wife Frances Stephens Stevens....as long as it was used as a school. For the district to transfer title to the City, it needed the approval of Culver and Sally Nichols who reiterated that the City could have the property....as long as it remained an "educational facility". In the 1960's, in an attempt to make seismic proof, tiles were replaced with aluminum bent to look as thick as tile. They have since gone back to clay.
 - Al Wortheimer (Colonial House) was connected to the notorious Purple Gang (Detroit)
 - Dave Margolis, ex-vaudevillian-cum-real estate mogul-restaunteur
 - The brother of Dr. Jacob John Kocher was "best friends" with Albert Frey. In fact, their friendship was what brought him here and how the Kocher-Sampson building came to be in 1938.
 - Dr. Kocher's pharmacy was called the Mortar and Pestle, was in the 100 block of North Palm Canyon.
 - Owen Coffman was either the second or third white child born in Palm Springs. There is some dispute as to who was first: Frankie Blue (1919) or Ted McKinney who was born one month before Owen in 1920.
 - Henrietta Dawson Parker, born in 1903, was the sister of Zaddle Dawson Bunker, town mechanic (and first licensed FEMALE chauffeur in California), and the daughter of Elijah & Frances Bunker....who were, in turn, the grandparents of Frances Bunker Strebe. The third sister, Lilly Dawson Goff, was the mother of the fire chief.

1-12-15

- The first historic review panel came about because former mayor Bill Foster drove by the Plaza Theatre (home of the Follies) and noticed that the ticket booth had "suddenly" disappeared from this historic building.
- The City established a formation committee which determined there were many buildings deserving of historic recognition. City Council passed an ordinance forming the HSPB. The work was:
 - 1) Categorize all buildings constructed prior to 1946 and decide upon a "class" for each
 - 2) Establish significance of each building and/or site
 - 3) Work with property owners to encourage preservation of building or site
 - 4) Recommend formal designation to City Council
 - 5) The original HSPB of seven divided up the town and studied each of the existing pre-1946 buildings. Each building was recorded and photographed for a card (estimated 800+) which now resides in the Planning Department.
- Village Green: John McCallum's adobe (PS Historical Society), Ms. Cornelia's House, Mr. Ruddy's Country Store. The Agua Caliente Cultural Museum (current) and north to the cross-street are remnants of Miss Pearl's Oasis Hotel. All buildings were moved to the site.
- Palm Valley School (so named because Palm Springs was originally Palm Valley) was first located on Ray Cree's ranch near the Target store, and the date grove behind it. Pearl McMannus sold the school buildings from the Oasis Hotel which had been scheduled to be razed. This area also housed Dr. Fitzmorris' offices and a "convalescent" retreat owned by Estee Lauder.
- The original "Village Inn" was another Nellie Coffman property, comprised of small house-keeping cottages. In 1917, Coffman built a redwood house (called The Big Orr) for her parents. When Desert Inn tenant Bullocks wanted a larger store, they purchased the property from Coffman. Not needing the small cottages, they were going to raze them. Coffman hired Farigal Thomas Kieley, Jr. to move them onto The Desert Inn Ranch on East Ramon. The Big Orr was also moved. (Kieley later married her granddaughter, Elizabeth)
- Bob Howard was the son (NOT mentioned in the movie) of the owners of Seabiscuit. The Howard Manor is rumored to have had gambling in the basement.
- Earl Neel planted all the palms (filifera not robusta) along Palm Canyon (Vista Chino to Palo Fiero). One exception: the Rosins who owned a hotel at Palm Canyon and Baristo (?????) planted date palms in front.
- Bullock's had originally been located IN the Desert Inn. When they built the beautiful store on Palm Canyon (property purchased from Pearl McCallum McMannus, Robinson's took over the spot at the Hotel. Bullock's, with its notable green marble interiors and near-perfect natural light, was razed in order to make room for Plaza Mercado.

LAS PALMAS BUSINESS HISTORIC DISTRICT BUILDING HISTORIES



Figure 1 1934 Aerial photo of Historic District. Visible in the foreground is the Frances Stevens School complex. In the block further north is the original Reid Clinic facing what was then Indian Avenue. In the northeast corner of that block is the Casa Palmeras, and across the street is the El Paseo Building.

The buildings in the following report are organized alphabetically by street name, and then by street address in ascending order.

EL ALAMEDA ROAD



Solano Court / Harlow Heaven (c. 1936, Architect Unknown)
175 West El Alameda
APN: 505-285-008

The Spanish Colonial style complex, built around a central court, is an extraordinary village-like property. In some ways similar to the Casa Palmeras, the street elevations are expressed as random elements that could have been added over time. Several shed roof elements as well as the corner steel casement windows recall some of John Porter Clark's projects, and a pair of porthole windows recalls Lee Miller's work. After falling on hard times, in the 1970s the complex was rehabilitated and became one of the earliest gay-oriented resorts in Palm Springs, setting a pattern for the restoration of many of the town's older apartment complexes. The compound was nominated as a Class One Historic Site in 1985, but subsequently withdrawn without explanation. Closed off by a chain link fence for many years, the fences have recently come down and a rehabilitation project has been announced. This building was nominated as an individual Class 1 Site, but the nomination was withdrawn.

NORTH INDIAN CANYON DRIVE



Steven M. Cushman Residence / Casitas de Monterey (c. 1930, Architect Unknown)
840 North Indian Canyon Drive
APN: 507-161-840

This largely intact private residence was built for the Cushman family, about whom no information has been uncovered. The property also has a garage with an attached apartment at the rear of the site that was occupied by Marvin M. and Helen Anderson. Both structures are Spanish Colonial in style, and appear to have many intact historic details including cement plaster walls, tile roofs, wooden porches and trefoil arched attic vents. In recent years the property has functioned as a guest house called the "Casitas de Monterey."



William Schwartz Residence / El Rancho Grande Guest House
(1930, Architect Unknown)
814 North Indian Canyon Drive / 200 East Tamarisk Road
APN: 567-161-006
Altered

This building was originally built as a private residence for German-born San Francisco furniture dealer William M. Schwartz and his wife Ruth. Among the most private of Palm Springs properties, this six-bedroom, five and one-half bath home is walled off and cannot be

seen from the street. A hand-made Mexican door at the corner of the intersection provides pedestrian access. Aerial photos confirm its red clay tile roof, but no other details have been confirmed. It changed hands recently for a reported \$550,000.

Used recently as a wellness center, this property contains a main house and casita. The main house has the original peg and groove oak floors in three bedrooms, living and dining rooms, with Saltillo pavers elsewhere. Large covered verandas overlook the gardens which contain mature landscaping, shade trees and a swimming pool.



Los Arboles Apartments (1935, Architect Unknown)
784 North Indian Canyon Drive
APN: 507-181-001
Integrity Compromised – Remove from contributor’s list?

Mrs. Emma Hathaway was the manager of Los Arboles (“The Trees”), a small Mission Revival-style bungalow complex with extensive landscaping. Over the years the complex has had several owners, and a number of name changes, including Los Arboles Lodge, and later the Indian Manor Hotel. By the 1950s a swimming pool had been added, and the entire compound enlarged, enclosed and “modernized,” to the extent that its architectural integrity

has been substantially lost along with the trees for which it was named. It has recently been rehabilitated and returned to its original name, if not its original design.



Ambassador Apartment Hotel / Spanish Inn (1936, Original Architect Unknown)
640 N. Indian Canyon Drive
APN: 507-183-006
Integrity Compromised – Remove from contributor’s list?

This extensively altered building was nominated as a Class One Historic Site approximately 20 years ago, but the City Council deferred action until ongoing alterations were complete. Beginning as a small Spanish-style apartment complex with an ongoing expansion program, today the building covers nearly the entire block from Granvia Valmonte to Via Altamira and from Palm Canyon to Via Chica. Although the owners have repeatedly applied for historic site designation, they have been consistently denied with the caveat that the project can better be evaluated after the construction is complete. The result is that alterations have taken place without review by the HSPB. The building’s architectural integrity has been so compromised it would no longer qualify as an historic resource by any objective evaluation



Colonial House Hotel / Colony Palms Hotel

(1934, Architect Unknown; 1952 alterations by Williams, Williams & Williams)

572 North Indian Canyon

APN: 507-192-002

Integrity Compromised – Remove from contributor's list?

One of the few buildings to be built in Palm Springs in the Anglo Colonial Revival style, the hotel was built in 1934 for retired "mobster" Al Wertheimer, a reputed bootlegger and member of Detroit's "Purple Gang." Following a move to Palm Springs he built the Colonial House to attract his friends from back east as well as the Hollywood crowd who had discovered Palm Springs as a hideaway. The hotel featured an expensive restaurant and bar, and reputedly, an underground gambling casino that could be reached only through a secret passageway. Local civic leaders persuaded Wertheimer to move the gambling outside city limits, so he built the Dunes Club in Cathedral City.

In 1952 the hotel was sold to wealthy sportsman Robert Stewart Howard, heir to his father Charles S. Howard's racing stables which included the famous racehorse Seabiscuit. The younger Howard was married to the actress Andrea Leeds; together they remodeled the hotel and renamed it Howard Manor. The earliest rehabilitation design by architects Williams, Williams & Williams added 50 rooms and converted the building to the Spanish Colonial style it currently reflects. During the recent conversion to the Colony Palms as it is known today, the entire north wing and the building that houses the restaurant were demolished and rebuilt retaining only the floor slab and footprint. According to the *Los Angeles Times* the 57-Colony Palms Hotel was recently acquired by real estate developer Michael Rosenfeld and his Woodridge Capital Partners in a joint venture with an affiliate of Oaktree Capital Management.



Reid Clinic I / Alcazar Hotel (c. 1930s, Architect Unknown)
645 North Indian Canyon Drive
APN: 505-303-027

A private clinic and hospital was built on this site in the 1930s by New York surgeon Henry S. Reid who moved to the desert from Colorado. The main clinic building originally fronted on North Indian Canyon Drive and was built in the Spanish Colonial style. That building has been substantially altered and enlarged through the years. Renamed the Pepper Tree Inn, a modernist addition designed by Williams & Williams was built, and subsequently demolished. Enlarged and reoriented in the 1960s after Indian Canyon became the north-bound street of a one-way couple, the hotel now faces onto Granvia Valmonte. Today, the site houses a three-building complex that includes the renamed Alcazar Hotel and two restaurants, Birba's and Cheeky's. The hotel's east façade has been stripped of many of its character-defining features.

Soloman's Deli / Cheeky's Restaurant (1930s, Architect Unknown)
622 North Palm Canyon Drive.

This building has undergone a number of changes through the years, but its original sidewalk-shading arcade survives. A number of early buildings had similar arcades that were considered a necessity in this pre-air conditioning days.

Birba (2010, Interactive Design Corporation: Reuel Young)
622 North Palm Canyon Drive

This site once housed an automobile fuelling station that was demolished many years ago. Today it is the site of a sophisticated pavilion that owes more to Kocher & Frey's nearby International Style Kocher-Samson Building than to its Spanish Colonial context.

NOTE: Is the complex sufficiently intact to qualify as a Contributor?



San Jacinto Hotel / Movie Colony Hotel
(1935, Clark & Frey; alterations, 2004, Frank Urrutia)
726 North Indian Canyon Drive
APN: 507-181-010

The original design of the San Jacinto (1935, Clark & Frey) - now the Movie Colony Hotel, located on the edge of the Movie Colony neighborhood - began as Clark & Frey's first attempt to address mass housing on a small scale in the desert. Intended to be built in phases, the first three-unit phase was completed in 1935. With this project, Frey came to realize that buildings without overhangs were not viable in the desert; the covered porches were added after completion of the project to shade the interiors from the intense desert sun. Few of today's hotel guests realize that the historic minimalist, but Spanish-style hotel has been "modernized" at the expense of the original design. However, the lobby is decorated with framed prints of Stephen Willard photographs that document the buildings' original appearance.



Crawford Apartments / Village Inn (1945, Architect Unknown; Henry Samarian, Builder)
855 North Indian Canyon Drive
APN: 505-285-01

This was a small Spanish style motel built and operated by William and Alice Crawford. It was enlarged in 1952, and the swimming pool and parking lot were demolished in 2006 in anticipation of a rehabilitation project that was never completed. It was variously called the Crawford Hotel, Crawford's La Riena, Irwin Apartments, Cypress Motor Inn and The Village Inn. Badly neglected now, it is one of the last remnants of the early post-WWII motor courts which were very popular at the time



Lubenski Apartments / Morningside Inn / Bear Resort (1943, Architect Unknown)
888 North Indian Canyon
APN: 507-161-001

This is one of a number of apartment buildings and motels that line Indian Canyon. It is unusual because of its modern styling – most were Spanish. Its date seems suspect, and the building is not listed in the City Directories as either a hotel or apartment building well into the 1950s. No other information has surfaced regarding its origins, and it appears to have been substantially altered. In 2011 a new owner took over and began further renovations; the complex is now walled-off from the street.

NORTH PALM CANYON DRIVE



Palm Springs Desert School / Frances S. Stevens School and Park
(1927, Original Architect Unknown)
"Village Center for the Arts"
(1974, alterations by Richard Harrison)
538 North Palm Canyon Drive
APN: 505-325-003

Prescott Stevens, developer of the El Mirador Hotel donated the land and the money to build the Palm Springs Desert School, in memory of his wife Frances and her interest in education. The initial two-room structure completed in 1927 has disappeared under subsequent remodeling. Today, the school complex features a traditional Hacienda layout with rooms arranged around an open courtyard. Katherine Finchy, who arrived in Palm Springs in 1922, became this school's first administrator. Palm Springs' first bond issue provided funding for additional classrooms, a library, indoor plumbing, a cafeteria, a gymnasium and an apartment for the principal. Local resident Earle Strebe began showing movies in the gymnasium which was eventually converted into the village's first theater. In 1974 the town of Palm Springs purchased the property from the Palm Springs Unified School District and converted it into a Cultural Arts Center. According to an historic marker on the site, upon completion of the alterations, Vice-President Gerald Ford rededicated the center which then became known as "Frances Stevens Park and the Palm Springs Senior Center." The complex is a Class One Historic Site.



El Tovar Apartments / Copley's Restaurant (1947, Architect Unknown)
621 North Palm Canyon Drive
APN: 505-302-008

The building was originally built as the El Tovar Apartments by Ruth T. Meister. Her husband Charles L Meister was a book keeper, but the couple was separated by 1930; they had one son named William. Meister sold the property in 1956 to W. L. Bradley who renamed it the Starlane Apartment Hotel. In 1966, Mary Stoddard converted the property to a pre-school called Miss Mary's Playhouse; alterations were done by Lawrence Lapham. In 1992 Bill and Barbara Foster purchased the property and converted it into a tearoom. Contractor and former Planning commission Chairman Larry Hochanadel added two cottages that were used as tiny boutiques. In 2004, Greg Butterfield joined in partnership with Andrew and Juliana Manion Copley to launch the restaurant Copley's. Major alterations ensued including substantial landscape changes that added several outdoor dining areas. On the restaurant website may be found a statement that the restaurant is "Located in part of the former Cary Grant estate;" this statement remains unsubstantiated.



Medical Office Building / Shops & Apartments (1947, Architect Unknown)
639-647 North Palm Canyon Drive
APN: 505-302-006

This building is composed of three elements facing onto a central parking area. On the South is a two-story apartment building with retail at the street level, facing Palm Canyon. The north side contains two buildings: a single story restaurant building facing the street, and a two-story apartment building behind. Various uses over the years have included medical offices, WWII housing, Motor Lodges, Restaurants, and currently subsidized housing. Major demolitions and additions throughout the 50's and 60's have resulted in the building's compromised integrity.



Figure 2 Barrett O'Shay's Contemporary Interiors Source: Palm Springs Life, March 1959.



Reid Clinic II / Tchotchke's
(1939,¹ architect unknown; alts, 1953 Arnold Albert)
648-650 North Palm Canyon Drive
505-303-004

¹ Aerial Map

The 1939 City Directory lists this as the Reid Clinic. It featured a semi-circular drive and floor plan. Remodeled at the direction of original owner physician Harry Reid in the 1940s, the building became a four-unit retail shops building. Tenants have included Barrett O'Shay's Contemporary Interiors, House of Modern Interiors, Mathews Dress Shop, and Dave Lyons Restaurant. As evidenced by the historic photograph, the building has been substantially altered.



Holloway Building (1970, Stan Sackley)
655 North Palm Canyon Drive
APN: 505-302-011

This is a two-story office building that contains 5600 sq. ft. It was renovated in 2002. A large covered passageway beneath the second floor provides access to covered parking at the rear of the site. Reputedly the design of residential architect Stan Sackley, it shows little of the elegance for which his work is known.



Wilson-Sorum Building / Jakes Fine Eats (1937, Charles O. Matchum)
664 North Palm Canyon Drive
APN: 505-303-012

This small office building centered on an open courtyard was designed by Los Angeles architect Charles O. Matchum and built by and for owners / contractors Raymond R. Wilson and Raymond M. Sorum to house their offices. Matchum also maintained an office in the building. Over the years it has housed a women's clothing shop, a communications company, restaurants, and art galleries. Accountant Florian G. Boyd, who would later become Mayor of Palm Springs (1953-57) maintained an office here, as did P. A. Stanley, a physician and the Smith-Grubbs Company, purveyors of hardwood and linoleum floors. The wooden shade structure and storefront glazing do not appear to be original to the building.



Backstrom-Reid Building (1956, Howard Lapham)
666 North Palm Canyon Drive
APN: 50813204

Dr. Harry Reid was listed at this address as late as 1953, but that listing may have been in an earlier building. Continuing the medical uses in the neighborhood, this building was also built by Dr. Harry Reid in partnership with Robert G. Backstrom. Both maintained offices in the upper level. The design is credited to Howard Lapham, but, by his own admission, Lapham was more of a developer than a designer, often choosing to use the services of other architects to design his projects. Among his designers were Richard Harrison and the brilliant Romanian architect Harlamb Geougescu. It has often been assumed that all of Lapham's International Style projects - such as the Backstrom-Reid building - were designed by Geougescu, but biographical information contained on his website indicates that he only worked with Lapham between the years 1959-1963, so he would not have been the designer of this building. Nonetheless, its high-style concept makes it a stand-out design among the best of the uptown modernist buildings. It has recently undergone an accurate restoration.



Adolph Israel Realty / Trend House (1952, Albert & Wurzbarger)
673 North Palm Canyon Drive
APN: 505-302-027

This building was developed by Realtor Adolph Israel as a mixed-use building, with three retail spaces at the street level and four residential units above. The architects were based in Los Angeles. This was originally a crisp white minimalist building, with the Realtor's office to the left of the entry, and the beauty shop to the right. All signage was on the glass of the storefronts. All of the glazing on the front façade has been replaced, and the awning is not original. Otherwise a good modernist building that if restored could be considered a contributor to the district.



Dollard Building (1947, Clark & Frey³)
687 North Palm Canyon Drive
505-302-027

This Streamline Modern Building was built for physician Henry .L. Dollard. Later, the building was known as the Kemper Building and also housed Cal Vanderwood's Art Gallery for nearly a decade. In 1958, some casement windows were removed and the original color was changed from pink to white. Other than the addition of the entrance awning with its Doric columns the building has remained basically unaltered.

³ Frey biographer Joseph Rosa indicated that the building was "designed with R. Chambers, who began working for Clark & Frey in 1946.



Clifton Dental Building / Purcell Building (c. 1937, John Porter Clark)
700 North Palm Canyon Drive
APN: 505-303-002

This small medical office building was built for Bacon L. Clifton, D.D.S. Clifton was one of the early members of the Board of Trade and also an accomplished horseman who rode with the riding "fraternity" Los Vaqueros del Desierto that Frank Bogert and many of the other town leaders. Altered by the addition of a covered drive designed by the original architect, it survives today as a rare example of a single-purpose Spanish-style commercial building. Clifton and his wife Katherine also lived in an extraordinary Andalusia-style farmhouse located in the Little Tuscany Estates development that may also have been designed by Clark.

In the 1940s, after Clifton's retirement, the practice was taken over by Dr. F. A. Purcell who, in the 1950s, was joined in the practice by Bernard M. Poliak. Today the building is still a medical office building, now occupied by Dr. George Lew, Optometrist. Like many of Clark's buildings, a closer look reveals an emerging modernist sensibility: the steel-framed factory-sash windows (especially the corner one) would never be found in a true Spanish building.



Turonnet Building (1949, Clark & Frey)
707-749 North Palm Canyon (1953)
APN: 505-283-007

The original building owners Armand and Blanche Turonnet commissioned Clark & Frey to design a simple commercial structure with six separate storefronts. It is pictured in a rendering entitled "Store Building for Armand Turonnet" dated April 1953; the site is listed as Merito and North Palm Canyon. An automobile dealership was located in the corner where Trio Restaurant is located today. In 1955 that space became Security First National Bank; Travertine marble panels were added by the bank. In 1986 the bank was replaced with offices. Other alterations followed when it was converted to a restaurant.

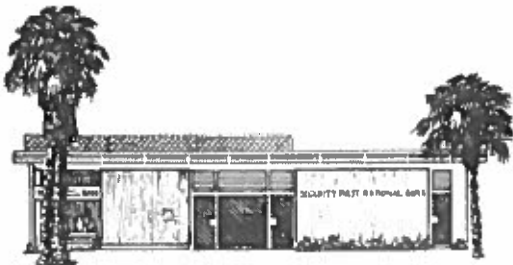


Figure 3 Security First National Bank as it appeared in 1960.



Bianco-Liddy Building. (c. 1970, James Cioffi, Architect)
750 North Palm Canyon
APN: 505-286-004

The building bears a bronze marker denoting the building as the Bianco-Liddy Building. Salvador "Sam" Bianco and Mark Liddy were business partners in Madison & Co. Fine Jewelers and also invested in real estate. A newspaper article indicates that they were at one time the owners of the Palm Springs Florist Building, upon which they made \$2 million in improvements. Under a current proposal, this building will be demolished and a new hotel is proposed for the site.

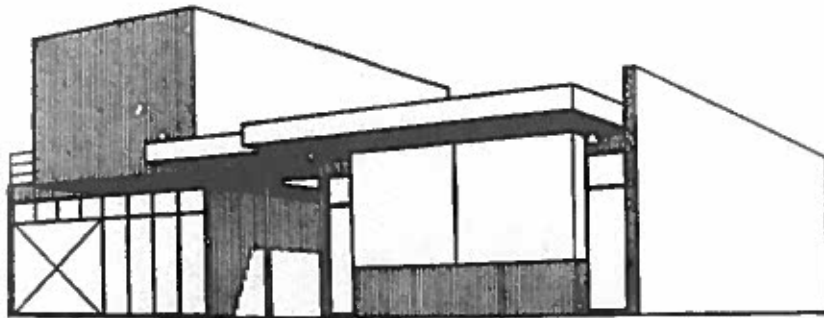


Figure 4 As the Kocher – Samson businesses expanded, a second building was added to the south. Source: 1947 City Directory



Samson-Curtis Insurance Company Building / Dwight Pollen Antiques
(c.1947, Howard Lapham et al.)
756 North Palm Canyon Drive
APN: 505-286-004

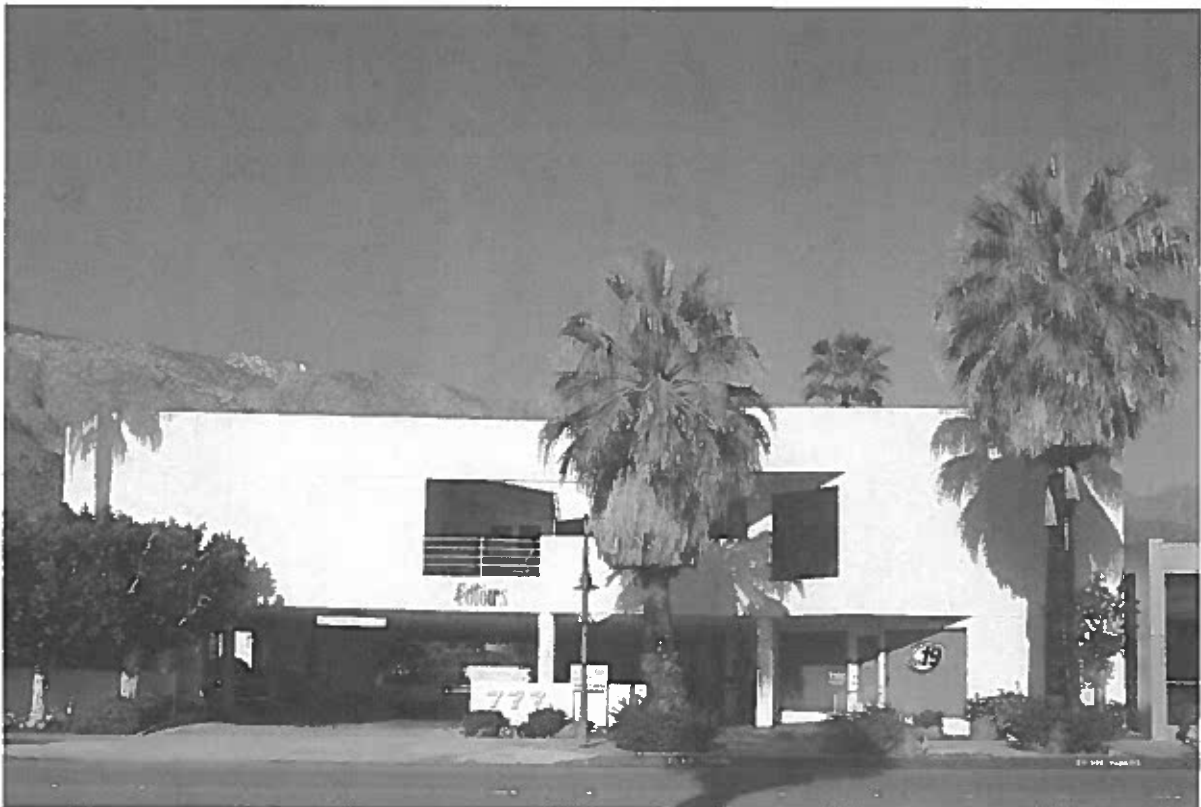
This building was designed to provide expansion space for the Kocher-Samson Insurance Company. Building permits indicate that it has been altered and added on to many times through the years. It was originally owned by Jacob John Kocher until it was sold in 1940 to Herbert Samson. Howard Lapham designed the first phase of the building. In 1960 an

addition was designed by Hugh Kaptur; the same year a deep overhang was added that was intended to unify the overall design. In 1971 the storefronts were combined into a single shop.



Kocher-Samson Building (1934, Kocher & Frey)
776 North Palm Canyon Drive
APN: 505-286-002

This building is Palm Springs' first International style building and is also the project that brought Albert Frey to the desert. It was recently declared a Class 1 Historic Site. It was built to house the Real Estate and Insurance Company offices of Jacob John Kocher and Herbert Samson. Minor alterations over the years have blunted the effect of this early modern structure, including a textured cement plaster exterior finish; the removal of the pipe rail guardrails at the second floor deck; encasing of the single pipe column near the entry, and the replacement of the original storefront glazing. The interior courtyards have been roofed over to create additional interior space. Nonetheless, the building is sufficiently intact to merit its Class 1 designation and could be restored to its original condition, should an owner wish to do so.



777 North Palm Canyon Building (c. 1980s, Jim Cioffi)
777 North Palm Canyon Drive

APN: 505-283-008

This International Style office building capitalizes on the concept of a “floating” second floor to provide covered parking at the street level. Built later than the district’s Period of Significance, it was not evaluated further.



El Paseo Pharmacy / Integrated Wealth Management
(1960, Architect Unknown / alts 2010 Alts, O2 Architects)
787 North Palm Canyon Drive
APN: 505-283-023

Originally developed by Harold Hicks, tenants have included El Paseo Pharmacy, Chen Ling’s Chinese restaurant and Eduardo’s Café Vera Cruz. The building was expanded 1980 and another major alteration was done in 1984, when the building became a restaurant.

Altered beyond recognition; Integrity Compromised
Non-Contributing



Pacific Building and Apartments (1930, Floyd Brewster)
798 North Palm Canyon Drive
APN: 505-286-001

This is an individually designated Class 1 Site. This building was developed by Los Angeles pediatrician Phillip Elias Rothman (1901–1969), the youngest of three sons of successful Detroit haberdasher Morris Rothman and his wife Rebecca. Phillip Rothman grew up in a progressive Jewish background that included country clubs and tennis matches. He completed his undergraduate work at Dartmouth followed by Medical School at Johns Hopkins University. Licensed to practice in California in 1927, Rothman became a successful pediatrician, as well as the author of medical texts. Rothman ventured into real estate development, and utilized the architectural services of local architect Lloyd Brewster who is also credited with the design of the Palm Springs High School.

Unusual in its Italian Renaissance Revival styling, the Pacific building, one of the early mixed-use projects in Palm Springs, features a distinctive four-level pinnacled corner tower with its

faceted conical roof. Italian stylistic markers include the corbeled arch string course that separates the first and second levels. Other important details include the giant volute that supports the cantilevered balcony facing onto the courtyard, and the low sloping hip roofs.

The builder of the Pacific Building was Charles Chamberlain, who also built the Welwood Murray Memorial Library, and his personal Spanish Colonial style residence (1933) at 531 North Belardo Road. The street level storefronts are not original to the building.



El Paseo Building (1926, Jonathan Ring; altered 2009 by Rios, Clementi, Hale)
800 Palm Canyon Drive.
APN: 505-285-009

New York Architect Jonathan Ring was recently arrived in California when he designed this important Spanish Colonial Revival complex for contractor-developer Alvah Hicks' son Milton. Typical of early commercial development found in Palm Springs in the 1920s, it was built around a courtyard, with facades along both Palm Canyon Drive and Tamarisk Road. The building has been substantially altered but many of the original features survive. As an outsider, Ring correctly assessed the need for shaded storefronts and designed the original covered walkway along Palm Canyon that has subsequently been removed. The complex originally included the El Paseo Market and Earl Strebe's El Paseo Theater which served as the City Council Chamber between the years 1944 to 1948. Both sides of this block of Tamarisk Road retain a high degree of architectural integrity and are stylistically harmonious. As a group, they represent the Spanish character of early commercial development in the

downtown. Recently rehabilitated, this individually designated Class One Historic Site benefited from HSPB appropriateness review.

The Hicks Center on Palm Canyon Drive opposite Palm Springs Life Building in the new Post Office. A major new improvement to our main street.

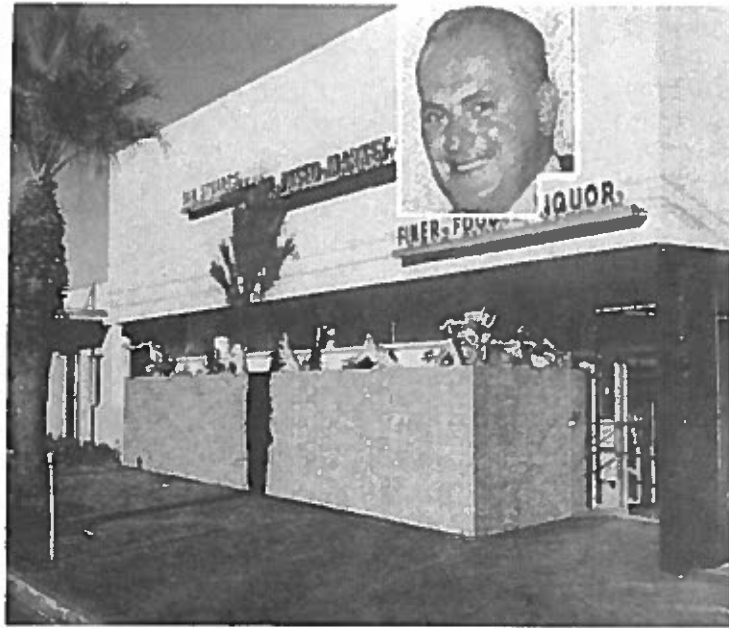


Figure 5 On this site Harold Hicks built his first Real Estate office. Later, it was replaced with this building which was called the Hicks Center and several storefronts; the Post Office was part of the development.



803 Condos / Interior Illusions (2008, Design ARC Architects)
803 North Palm Canyon Drive
APN: 505-283-024

This mixed-use project was built on the site of Harold Hicks Real Estate Office. It was the first mixed-use project built in Palm Springs in over 25 years. Its design addresses disparate and often opposing issues, including the need for increased density in a place known for its single story character and expanding the commercial core within an historically significant neighborhood. The project consists of street level retail with 12 two-story live-work units above and behind, a decidedly urban gesture within the City. Organized around a raised podium featuring a swimming pool, the units consist of two-story townhouses that face south and west, with private outdoor space and cabanas encircling the pool. The Art Commission installed a sculpture by Bryan Biedul on the corner of the site.



Sam Stuart's El Paseo Market / Raymond Lawrence
(1956, Architect Unknown; alts 1979, Noel Birns)

830 North Palm Canyon Drive
APN: 505-285-015

This building was built to house El Paseo Market a small upscale market that had previously been located next door in the El Paseo Building. Other tenants have included Jorgensen's, and the Tropicana Liquor and Deli. Later it housed a branch of Design Within Reach, which was headquartered in the El Paseo Building next door.



Palm Springs Water Company (1941, John Porter Clark) Altered
844 Palm Canyon Drive. [Contemporary]
APN: 505-285-006

This modest commercial building is among the earliest of Clark's modernist works. It has been slightly altered to suggest an Art Deco style, but could easily be restored to Clark's original design.



US Post Office / House 849 (1955, Architect Unknown, alts 2005, Dean Carlson)
849 North Palm Canyon Drive
APN: 505-283-010

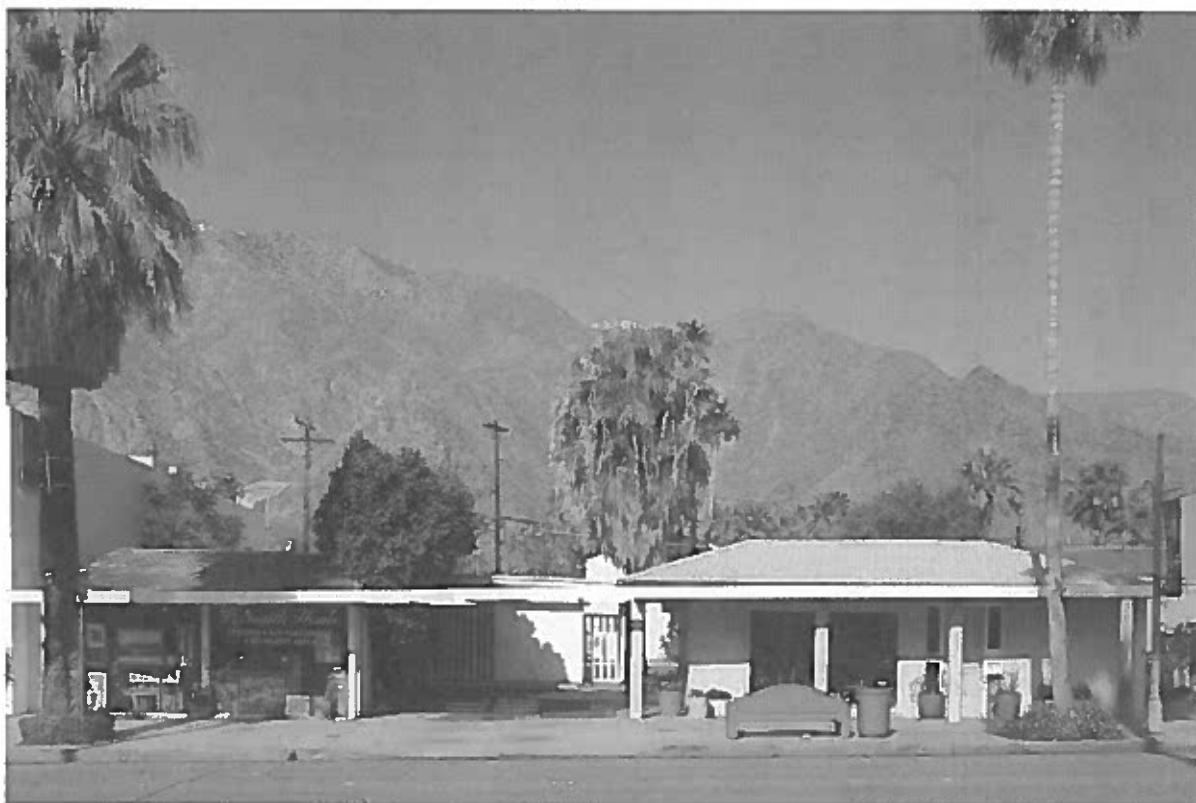
This building was originally built by owners Pat Coffin and Harold Hicks as part of the larger Hicks Center that previously occupied the parcel to the south. The Post Office had previously been located in La Plaza Shopping Center. Clark, Frey & Chambers may have done some alterations to the building, but the building does not appear in any biographical or reference material about the firm. Within the last year, plans have been announced to radically alter the principal façade.

Altered beyond recognition; Integrity Compromised?



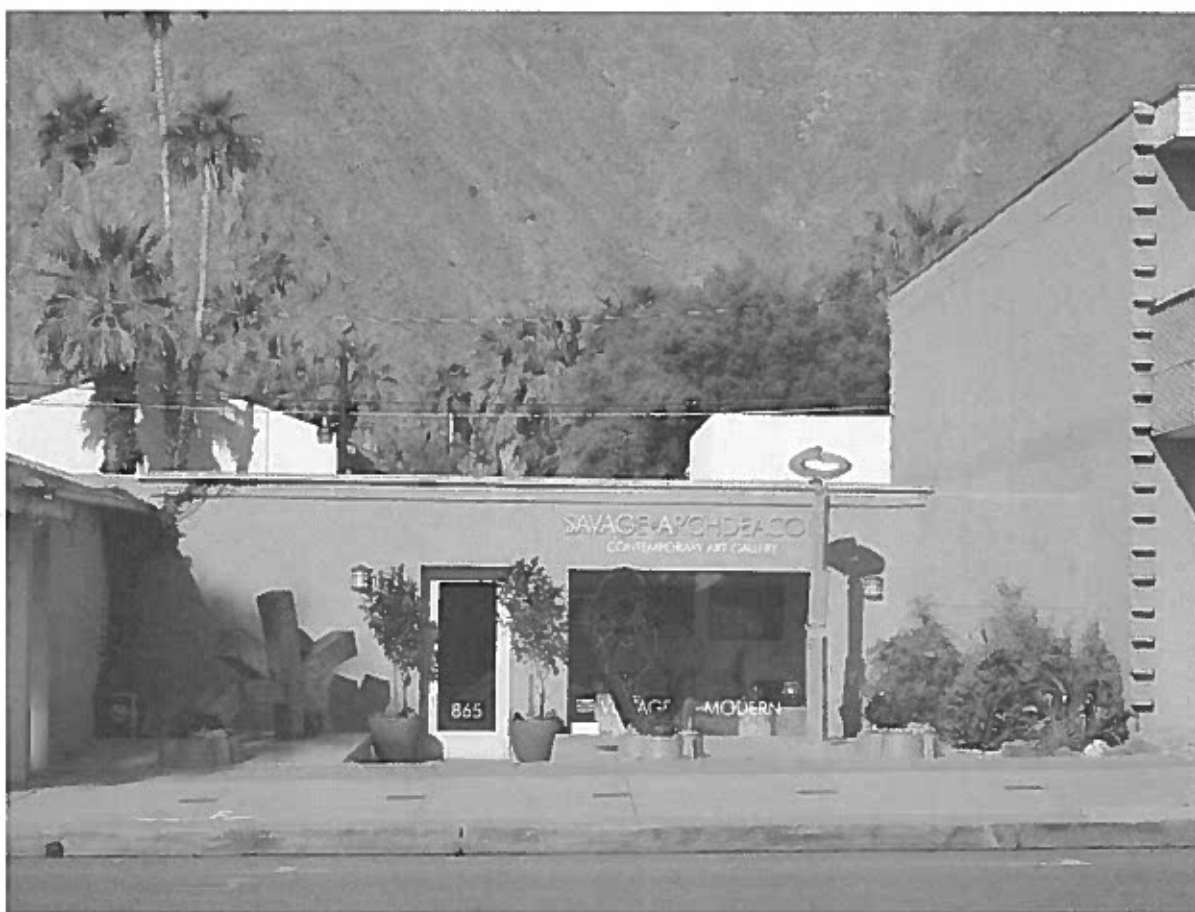
Simsarian Plumbing / Windermere (1947, Architect Unknown)
850 North Palm Canyon Drive
APN: 505-285-005

This building was originally built owned by the most successful plumbing contractor in town, Henry Simsarian. The building was enlarged in 1956, and in 1965, it became the interior design studio of Arthur Elrod. Later, former employee Steve Chase used the building as his design studio. Behind the fake windows on the element north of the driveway is a carport that was added in 1968.



Culver Nichols Real Estate Office (1930 and later; alts by Clark & Frey)
861 North Palm Canyon Drive
APN: 505-283-011

In his interview in the *Prickly Pear* series, Los Angeles Realtor Culver Nichols (b 1905) indicated that he built the little structure pictured above as a Real Estate office shortly after he moved to Palm Springs in 1930. Nichols continued to add to the building throughout the years. It has been said that the Real Estate office was the longest running business in the same location in town. A small addition was done by Clark & Frey for Dr. Hugh Stephens, M.D. The continuous pergola was added in 1968, and additional square footage was added in 1972.



Medical Offices of R. C. Morrey, Physician / Stephen Archdeacon Gallery
(c. 1951 Architect Unknown)
865 (Originally 869) North Palm Canyon
APN: 505-283-011

Little is known of this small simple structure. Today, it is combined with the building to the south to include a series of small gallery spaces.



Clark & Frey Office Building (1947, Clark & Frey)
875 - 879 No. Palm Canyon Drive
APN: 505-283-012

The original owner of the property was John Porter Clark. The mixed-use building was designed to house retail at the street level and the offices of Clark & Frey on the upper. In 1952 the firm added a partner and became Clark, Frey and Chambers. Clark left the firm in 1956 and became a sole proprietor again, but retained ownership of the building, thus accounting for the building's high level of integrity. An early street level tenant was Realtor James Hammond. In 1990 the upper level of the building housed the offices of E. Stewart Williams. Steel stairs were added to the back of building in 1975 and steel carport a few years later. The building is still owned by John Porter Clark's son Stan who maintains a real estate development office on the upper level; the lower level now houses Wil Stiles Men's Haberdasher.



Retail Shops Building / Angel View Building (1947, Architect Unknown)
882-888 North Palm Canyon
APN: 505-285-003

Commissioned by Dave Margolus, this nondescript retail building was built by Henry Simsarian. It has housed a hair salon, dress shop, a savings and loan and art gallery. It was the first location in Palm Springs for Angel View, a charity reseller, and now houses MacMillan's Hawaiian Shirts shop.



Nichols Building II (1953, Clark, Frey & Chambers)
891-895 North Palm Canyon Drive
APN: 505-283-013

The original owner of this building was Culver Nichols. The original design was specifically held to a single story so as not to block the north-facing windows of second story offices next door. James Cioffi did minor alterations when the building was leased by Trina Turk.



Palm Springs Florist (1938, Architect unknown, altered by Chris Mills)
894 Palm Canyon Drive.
APN: 505-285-001

According to the City Directories, a florist has been operating at this location since at least 1938. The proprietor then was Japanese florist R. Miramatsu. The early modernist building is a light steel framed structure with an attached greenhouse. The 1947 photograph shows the building as it was operated by Earl Hall and his partner Horace Head. Sixty-five years later, the Hall family is still in the flower business at this site. Substantially enlarged, the current building still has the original pipe columns and greenhouse, but otherwise bears scant resemblance to the original. Given the loss of original architectural detailing, inclusion of the building as a Contributing structure seems questionable.

Altered subsequent to the HD designation
Integrity Compromised – X Remove from contributor's list?

TAMARISK ROAD



Palmaire Apartments / Casa Palmeras (1930, Paul Revere Williams)
175 Tamarisk Road
APN: 505-286-010

The Palmaire Apartments, now known as the Casa Palmeras, is located in the center of the most intact commercial block of Spanish Colonial buildings in Palm Springs. A Spanish-style apartment complex centered on a sheltered courtyard, the property is especially significant as an early work of master architect Paul R. Williams. In the earliest photos, the building is simply set in sand without the benefit of streets, curbs or sidewalks and conveys the feel of an isolated desert location. Unlike Williams' more formal works, the Palmeras is characterized by asymmetric facades and mismatched chimney pots that give the impression that the building expanded over a period of years. Eventually stone curbs were added to separate the pedestrian areas from the parking, and later still sidewalks, curbs and streets were added resulting in the current appearance. A striking feature of this unreinforced masonry building is its absolute architectural integrity; with the exception of a couple of changes in the color of the painted trim, the building survives exactly as it was originally built.

Among its characteristic features are the wrought iron *rejas*, the rambling facades with thick adobe-like white walls, modern multi-pane industrial windows, hand-made red clay roof tiles, original ironwork, and an interior court with a fountain (the current swimming pool was a later addition), all of which remain virtually unchanged. The entrance creates a memorable impression as it pairs a graceful arched opening with a squat, but charming tower centered on a broad gabled façade.



De Anza Hotel (c. 1930, Architect Unknown)
140 Tamarisk Road
APN: 505-286-010?

Ellis and Henrietta Parker were the resident managers of this Spanish style one and two-story, ten-unit complex built around a courtyard. As with the Casa Palmeras across the street, this building exhibits a remarkable degree of architectural integrity.



Chaney Apartments (1939, John Porter Clark)
275 East Tamarisk Road
APN: 507-181-002

Situated just behind the Los Arboles Apartment Hotel, This 10-unit apartment building is an early modernist project credited to John Porter Clark – Frey was not yet licensed but was a collaborator on the project. Five units on each side flank a garden with a pool. The complex retains a high degree of architectural integrity.

VIA ALTAMIRA




Frank Conklin Residence / Palm Springs Club (c. 1930s, Architect Unknown)
265 Via Altamira
APN: 507-183-005

This small residence is located behind the Ambassador Hotel. It features the shed roof forms often used by architect John Porter Clark, but exhibits scant other details that would confirm its architectural provenance. It is now the Palm Springs Club, a private lunch and dominoes club whose members are said to be very influential in Palm Springs political circles.



CITY OF PALM SPRINGS
DEPARTMENT OF PLANNING SERVICES

MEMORANDUM

Date: November 18, 2014
To: Historic Site Preservation Board
From: Ken Lyon, RA, Associate Planner 
Subject: **Activities and Progress Status**
Subcommittee for Review of the Las Palmas Business Historic District.

In May of 1986, the City Council designated the Las Palmas Business Historic District (LPBHD). The district designation was forgotten by most, until 2009. Planning Staff brought it to the HSPB and in September 2009 the Board designated a subcommittee (Ploss/Strahl) and tasked it with the following:

- *Conduct a photo and informational survey of all properties in the district.*
- *Develop letters for notification and outreach to owners of all properties within the district notifying them of the existence of the district.*
- *Identify potential amendments to the district for consideration by the Board and City Council.*

To date, the photo and informational survey of all properties appears incomplete, it appears no outreach to property owners has been conducted and thus, a formal report to the HSPB or City Council on potential amendments to the district has not been possible.

In May 2012, the LPBHD subcommittee moved to refine a list of sites for consideration as "contributing structures" in the HD to not more than six to eight properties. The July 2012 HSPB minutes show a list of 12 properties that the Board discussed. The August 2012 minutes denote:

"Chair DeLeeuw noted that the committee met last week and that Board member McGrew assumed the role of committee chair. Board member McGrew noted that the justification for the district's formation in 1986 was very limited and insufficient by current standards, including the absence of any building histories. He has prepared a draft statement of significance and about half the building histories. The Committee will prepare the remaining histories and bring forward a complete package for the district, including photos, for Board review and recommendation to the City Council."

At the July 9, 2013 HSPB meeting, chair De Leeuw presented a memo with the following seven (7) potential sites to consider for adding to the list of contributing sites

within the LPBHD: On North Palm Canyon Drive the following addresses: 666, 687, 756, 844, 851-95, 861, 875, and on North Indian Canyon, 855 (Ploss). The Board took no action on this proposed list.

In order to move the Board's update efforts on the LPBHD forward, Staff recommends that the Board:

1. Allow HRG to complete the Citywide historic resource survey in order gain the data collection, define the historic themes/context, statement for the district, its period(s) of significance, cursory evaluation of all sites in the district, etc.
2. Confirm that the boundaries of the district are appropriate.
3. Complete the photographic and data documentation of each site/parcel in the district.
4. Determine the significance (if any) of each site and list the defining historic characteristics for those that are deemed "significant".
5. Determine whether any sites should be added as "contributing" to the significance of the district.
6. Notify all property owners (staff) within the district of the existence and implications of the district and notify specific owners on properties that the Board may wish to recommend be included in the list of "contributing" sites.
7. Based on the common themes, period(s) of significance, context statement, etc. proceed with the typical public hearing process for each of the sites that the Board wishes to recommend to the Council to be added to the list of contributing sites within the district. (i.e. HSPB and City Council noticed public hearings, historic resources report, staff report, resolution, etc.).

Attachments:

- Ewing to HSPB memo dated September 8, 2009
- LPBHD Designating documents
- HSPB meeting minute excerpts on LPBHD.
- List of properties and photos prepared to date by subcommittee.
- Outline titled "Historic Resource Survey and Local Historic Districts, (no date) by Patrick McGrew (former HSPB member and architectural historian)



CITY OF PALM SPRINGS
DEPARTMENT OF PLANNING SERVICES

MEMORANDUM

Date: September 8, 2009
To: HSPB Board Members
From: Craig A. Ewing, AICP, Director of Planning Services
Subject: Las Palmas Business Historic District – Discussion of Guidelines and Procedures

Summary

The Las Palmas Business Historic District is the first historic district established in the City of Palm Springs. While it was created by the City Council in 1986, the District has not been implemented until August 2009. This memo provides information on the District and how it will be implemented on future requests for development.

Background

Until last month, it was generally accepted that there were no historic districts in the City. However, a few weeks ago a historic district was found to have been established by the City Council in 1986: The Las Palmas Business Historic District. The District is bounded by Alejo Road to the south, El Alameda to the north and includes most properties fronting N. Palm Canyon and N. Indian Canyon Drives on both sides (see attached resolution and map). The City Council also adopted Design Guidelines for the District (attached) which are to be used in the review of any changes to designated properties.

Staff has found no evidence of any subsequent rescission or modification of the District, and it is the position of staff that the District remains valid. It also appears that in the twenty-three years since the District was established, no applications were ever reviewed under the terms of the District; that is, no evaluation for conformance with the associated Design Guidelines ever occurred. During that time, many permits were issued for new development and for renovations or remodels of existing buildings. It is staff's position that all development that received permits prior to August 2009 is grandfathered, notwithstanding the lack of any District-level review.

District Review Procedures

The Las Palmas Business Historic District was formed under the provisions of the City's Historic Resources Ordinance adopted in 1981 (Ordinance 1140, attached)¹. That ordinance established seven classifications for designating historic properties, including two for properties within historic districts:

Class 3 Site is located within an officially designated historic district and is not a contributing factor to the historic character of the district. No archival file will be maintained. Eligible for review at any regularly scheduled meeting of the board.

Class 4 Site is located within an officially designated historic district and is a contributing factor to the historic character of the district. Archival file will be maintained. Usage may be limited by the City council. Eligible for review at any regularly scheduled meeting of the board.

In forming the Las Palmas Business Historic District, the Council adopted a map which indicates that certain buildings are "contributing" and therefore deemed Class 4. All other buildings and sites were considered "non-contributing" and therefore deemed Class 3.

With the revisions to the Historic Resources ordinance adopted in 1988 (Ordinance No. 1320), the seven classes were replaced with three classes and a definition for Historic Districts was added:

*Historic District: Qualified for city designation; may be qualified at the federal, state and/or county level. Archival file will be maintained and shall contain a map delineating contributing and noncontributing structures or sites. **Contributing structures/sites shall be subject to Class 1 regulations until such time that they may be reclassified. Noncontributing structures/sites shall be subject to review by the HSPB before demolition or construction. A specific plan, containing special regulations pertaining to the subject area, may be adopted for each district.** (Emphasis added)*

Based on this new definition and from a review of the District map, the following buildings (from southwest to northeast) are subject to HSPB review for any exterior changes:

- Frances Stevens Park²
- 572 N. Indian Canyon / Colony Palm Hotel
- 822 N. Palm Canyon / Pepper Tree Inn
- 650 N. Palm Canyon
- 640 N. Indian Canyon / Spanish Inn
- 700 N. Palm Canyon
- 783 N. Indian Canyon Drive / Casa Palmeras
- 800-830 N. Palm Canyon / El Paseo Building²
 - 200 Tamarisk Road / El Rancho Grande
- 844 N. Palm Canyon
- 814-840 N. Indian Canyon / Las Hacenditas
- 894 N. Palm Canyon
- 175 E El Alameda / Harlow Club Hotel
- 265 E. Via Altamira / Palm Springs Club
- 766-798 N. Palm Canyon / Pacific Building²
- 784 N. Indian Canyon / Indian Manor
- 140 Tamarisk Road / De Anza Hotel

¹ The ordinance was revised in 1988 by Ordinance No. 1320, attached, and no subsequent revisions or amendments have been enacted.

² These properties are separately designated as Class 1 historic sites.

A review of the above list reveals several properties that have individual Class 1 designation, including the Pacific Building and the El Paseo Building. Both of these properties have been recently reviewed by the HSPB for exterior changes, including the substantial renovation of the El Paseo Building. From this point forward, all the above properties will be subject to the granting of a Certificate of Approval by the Board.

The remaining properties – either existing buildings or vacant sites – were deemed “non-contributing” and therefore are subject to a different level of review. Somewhat like Class 3 properties, any existing development on a non-contributing site may not be demolished without approval by the Board. In addition, any new development proposed on a non-contributing property is subject to Board review. Left out of the Board’s review authority are remodels or renovations of existing, non-contributing properties.

Staff has “flagged” in our data system all properties within the Las Palmas Business Historic District – both contributing and non-contributing – so that any permit inquiries or entries will note that the affected site is within the District.

Design Guidelines

The City Council adopted Design Guidelines for the Las Palmas Business Historic District (attached). These Guidelines are the basis for review of subject development within the District. The Guidelines primarily focus “new construction” which could be a new building or a major renovation / expansion of an existing building. On the last page is a list of thirteen principles that specifically target commercial renovation. As projects are subjected to review, the Board’s decision regarding a Certificate of Approval will be based on its conclusions regarding how the project conforms to these Guidelines:

- Maintain the height of other structures in the surrounding area.
- Maintain the general alignment of façade at the sidewalk edge.
- Maintain the patten of façade proportions.
- Maintain the relationship between upper and lower floors of other structures in the surrounding area.
- Maintain the spacing patten of upper-story windows.
- Use building materials that are similar in texture and finish to those found historically.
- Use components of the façade that are similar in size and shape to those found historically.
- Maintain the pattern roof types.
- Maintain the existing site design pattern.
- Although contemporary designs are encouraged, replicas of historic designs may be considered if they meet specific conditions.

It is important to note that while the older buildings within the District are designed in the Spanish Revival style, the Guidelines do not require that this style be extended into new development. In fact, the last guideline above suggests that a number of styles may be

appropriate in the District, subject to the “maintain” and “use” directives in the Guidelines.³

As project applications are submitted for review, staff will prepare an analysis and recommendation regarding the project’s conformance with the Guidelines. An important review principle found in the beginning of the guidelines is that, “*Any buildings occurring on either side of the street within 75 feet of the proposed site should be studied for the common themes of mass, scale, rhythm and exterior design and details as called for by the following guidelines.*” Therefore, staff will assess the characteristics of the immediate vicinity, and not the whole District, when preparing a staff report.

These guidelines will form the basis for addressing the required factors for the issuance of a Certificate of Approval (Section 8.05.190):

Factors to be considered upon application.

In reviewing and acting upon each application, the historic site preservation board shall consider:

- (1) The historic value and significance, or the architectural value and significance or both, of the structure and its relation to the historic value of the surrounding area;*
- (2) The relationship of the exterior architectural features of any structure to the rest of the structure itself and to the surrounding area;*
- (3) The general compatibility of exterior design, arrangement, texture and material which is proposed by the applicant;*
- (4) Archaeological or ecological significance of the area.*

The Board will consider these general factors as shaped by the District’s Design Guidelines.

Amending the District or Design Guidelines

The Board may at any time propose an amendment to any portion of the District, including District boundaries, contributing v. non-contributing structures, or the contents of the Design Guidelines. The procedures would be the same as for the original approval:

1. The HSPB conducts a public hearing on the proposed amendment and adopts its recommendation.
2. Any amendments to the Design Guidelines are submitted to the Architectural Advisory Committee and Planning Commission for review and comment.
3. The City Council conducts a public hearing on the proposed amendment and adopts a final action.

Attachments:

³ According to the City Council staff report (April 16, 1986): “Although the majority of the historic structures are of the Mediterranean / Spanish Revival style, the area has developed since the 1940’s with a wide variety of commercial architectural styles. Therefore, the proposed design guidelines do not dictate a particular style but encourage greater continuity by establishing common themes of mass, scale, rhythm and detailing. New construction, and major remodel, projects would be compared to only those buildings in the immediate vicinity.”

1. City Council Resolution No. 15858 – Las Palmas Business Historic District
2. Las Palmas Business Historic District Map
3. Las Palmas Business Historic District Design Guidelines
4. Palm Springs Ordinance No. 1140 – Historic Resources
5. Palm Springs Ordinance No. 1320 – Historic Resources (Amendment)
6. City Council Staff Report (April 16, 1986) – Las Palmas Business Historic District

RESOLUTION NO. 15858

OF THE CITY COUNCIL OF THE CITY OF PALM SPRINGS,
CALIFORNIA, DESIGNATING THE LAS PALMAS BUSINESS
HISTORIC DISTRICT AS AN HISTORIC DISTRICT
CONTAINING CLASS 3 & 4 HISTORIC SITES SUBJECT TO
ASSOCIATED DESIGN GUIDELINES.

- - - - -

WHEREAS the Las Palmas Business Historic District and its associated person-ages and past events have contributed to the history of the City of Palm Springs; and

WHEREAS the Las Palmas Business Historic District has long been an important business district for both residents and visitors in the City of Palm Springs; and

WHEREAS the Las Palmas Business Historic District contains numerous noteworthy structures of historical and architectural importance; and

WHEREAS Ordinance 1140 of the City of Palm Springs allows for the designation of historic districts; and

WHEREAS on Sept. 4, 1985, the North Palm Canyon Project Area Committee, after reviewing the possibility of using the remaining historic structures as a basis for community design, forwarded draft design guidelines to the Historic Site Preservation Board for review; and

WHEREAS on October 14, 1985, the Historic Site Preservation Board initiated proceedings to designate the Las Palmas Business Historic District as an historic district; and

WHEREAS on November 12, 1985, the Historic Site Preservation Board held a public hearing on said designation and unanimously recommended to the City Council designation of said area as an historic district containing Class 3 & 4 Historic Sites; and

WHEREAS the Architectural Advisory Committee and the Planning Commission have reviewed the associated design guideline and concur in the recommendation of the Historic Site Preservation Board; and

WHEREAS the City Council concurs in the recommendation of the Historic Site Preservation Board regarding the historic value of the Las Palmas Business Historic District and the adoption of associated design guidelines; and

WHEREAS the designation of the Las Palmas Business Historic District shall further the purposes and intent of Ordinance 1140; and

WHEREAS the designation of the Las Palmas Business Historic District shall promote sensitive development of said area.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Palm Springs, California does resolve as follows:

Section 1. Las Palmas Business Historic District shall be designated an Historic District pursuant to City Ordinance No. 1140, the boundary of said district shall be according to the attached legal description and map.

Section 2. The properties indicated on the attached list and map shall be designated as Class 4 Historic Sites; the remaining properties shall be designated as Class 3 Historic Sites.

WP/Res

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Section 3. New construction and major remodel projects and commercial renovation projects, as determined by the Planning Division, shall be subject to review by the associated design guidelines.

ADOPTED this 7th day of May, 1986.

AYES:
NOES:
ABSENT:

ATTEST: CITY OF PALM SPRINGS, CALIFORNIA

By _____ City Clerk _____ City Manager

REVIEWED & APPROVED: Rep for Mrs. [Signature]



LAS PALMAS BUSINESS HISTORIC DISTRICT

LEGAL DESCRIPTION

Containing:

The easterly half of lots 112, 113, and 114; and lots 115, 116, 117, 118, 119, 123, 124 and 125 of Merito Vista, M.B. 12/94, Riverside County; and

The southerly sixteen (16) feet of lot 27; and lots 28 thru 49 of Block A of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; and

Block B of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; and

The block bounded by Palm Canyon Drive, Granvia Valmonte, Indian Avenue, and Alejo Road; and

Lots 5 thru 8 of Block 2 of Las Hacenditas, M.B. 11/5, Riverside County; and

Lots 1, 2, 9, 10 and 11 of Block A; and lots 1 thru 6 of Block C; and Lots 1 thru 6 of Block G; and lots 1 thru 3 of Block J of Palm Springs Estates, M.B. 15/43, Riverside County.

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LAS PALMAS BUSINESS HISTORIC DISTRICT

CLASS 4 HISTORIC SITES

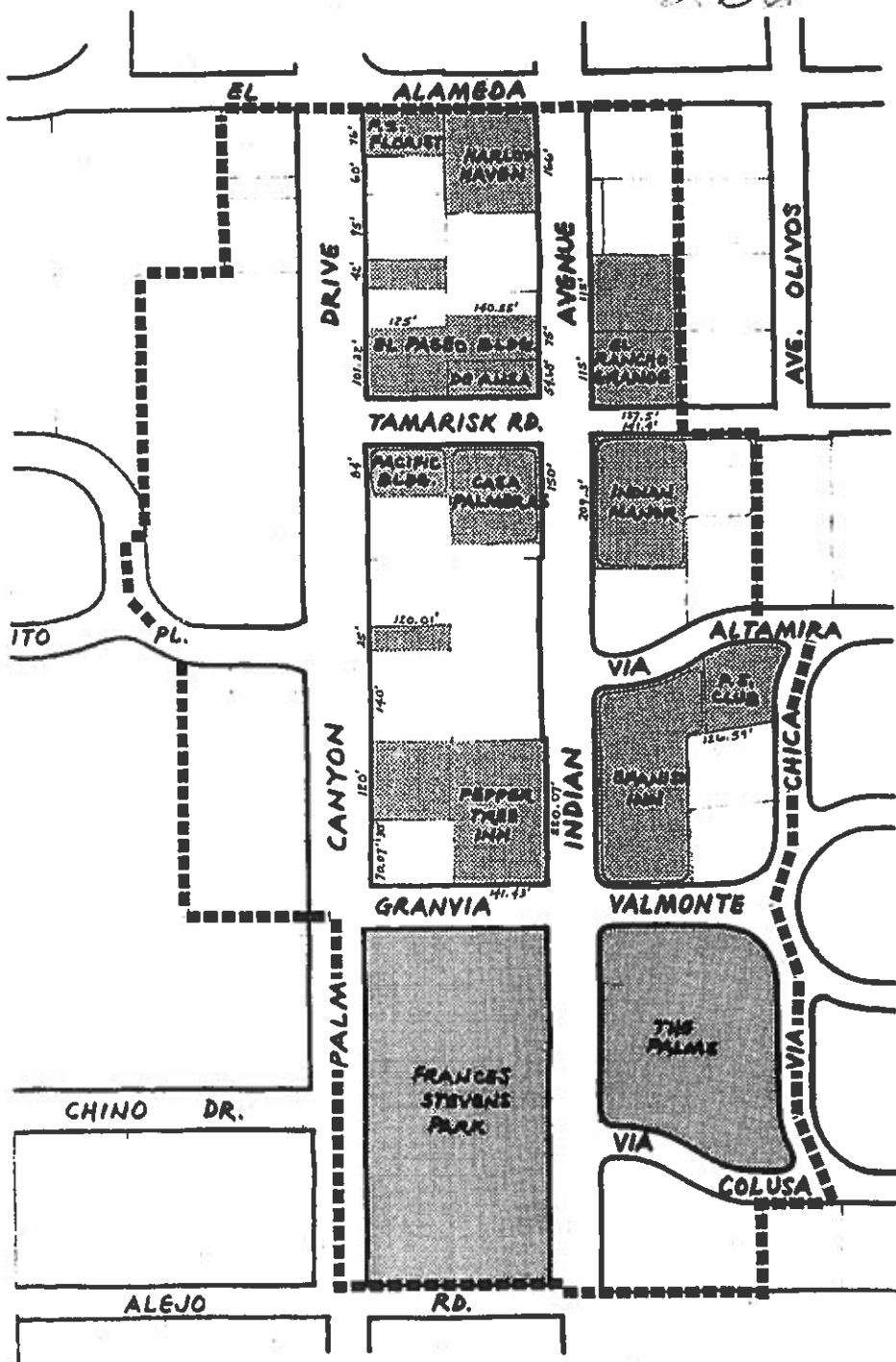
1. The southerly sixteen (16) feet of lot 27; and lots 28 and 29 of Block A of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-285-001, 002; known as Palm Springs Florist, 894 N. Palm Canyon Drive.
2. The southerly 23.5 feet of lot 35; and the northerly 18.5 feet of lot 36 of Block A of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-285-006; known as the Proprietors, 844 N. Palm Canyon Drive.
3. The southerly portion of lot 38; and lots 39, 40 and 41; and the northerly forty-five (45) feet of lot 43; and the southerly half of lot 44 of Block A of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-285-009; known as the Gary Jon Bldg., formerly known as El Paseo Bldg., 800 N. Palm Canyon Drive.
4. Lots 1 and 2; and the northerly twenty-four (24) feet of lot 3 of Block B of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-286-001; known as the Pacific Bldg., 766-798 N. Palm Canyon Drive.
5. The southerly twenty-five (25) feet of lot 10; and the northerly ten (10) feet of lot 11 of Block B of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-303-002; occupied by Dr. Robert S. Bertrand, 700 N. Palm Canyon Drive.
6. Lots 16 thru 19; lots 23, 24, and 25; and the southerly thirty (30) feet of lot 26 of Block B of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-303-004, 007; known as Matthews and Andrea of Palm Springs, et. al., 650-664 N. Palm Canyon Drive; and the Pepper Tree Inn, 645 N. Palm Canyon Drive.
7. 505-325-003; known as Everybody's Village and the Village Center for the Arts (formerly known as Frances Stevens School) along with the surrounding park, 538 N. Palm Canyon Drive.
8. The northerly thirty (30) feet of lot 31; and lots 32 & 33 of Block B of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-286-010; known as Casa Palmeras, 783 N. Indian Avenue.
9. Lot 42; and the southerly fifteen (15) feet of lot 43 of Block A of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-285-008; known as the DeAnza Hotel, at the northeast corner of Indian Avenue and Tamarisk Road.
10. Lots 47, 48 and 49 of Block A of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-285-012; known as Harlow Haven, 175 E. El Alameda.
11. Lot 7 of Block 2 of Las Hacenditas, M.B. 11/5, Riverside County; APN 507-161-007; 840 N. Indian Avenue.
12. Lot 8 of Block 2 of Las Hacenditas, M.B. 11/5, Riverside County; APN 507-161-006; 814 N. Indian Avenue.
13. Lots 1 and 10 of Block A of Palm Springs Estates, M.B. 15/43, Riverside Co.; APN 507-181-001; known as Indian Manor, 784 N. Indian Avenue.

LAS PALMAS HISTORIC BUSINESS DISTRICT
Page 2

14. Lots 1, 2 and 3; and the westerly twenty-five (25) feet of lot 6 of Block C of Palm Springs Estates, M.B. 15/43, Riverside County; APN 507-183-006; known as Alan Ladd's Spanish Inn, 640 N. Indian Avenue.
15. The easterly portion of lot 6 of Block C of Palm Springs Estates, M.B. 15/43, Riverside County; APN 507-183-005; known as the Palm Springs Club, 265 Via Altamira.
16. Lots 1 thru 6 of Block G of Palm Springs Estates, M.B. 15/43, Riverside County; APN 507-192-002; known as the Palms at Palm Springs, 572 N. Indian Avenue.

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LAS PALMAS BUSINESS HIST. DIST.

DATE: May 7, 1986

TO: City Council

FROM: Planning Director via Director of Community Development

CASE NO. HSPB-01. LAS PALMAS BUSINESS HISTORIC DISTRICT
ADDENDUM STAFF REPORT.

A petition was delivered to the City Council prior to the April 16 public hearing protesting the formation of this historic district. The signers of the petition claim that the environmental review process has been circumvented, that the proposed guidelines are vague and will impose new controls which will hamper maintenance of their properties, and that there has been a lack of adequate public notice.

In response, the designation of historic sites and districts is categorically exempt from the provisions of CEQA.

The proposed guidelines are intended to be general as not to impose direct architectural requirements but to encourage continuity with surroundings structures only. The guidelines will not affect standard maintenance and improvements but will be used only when an application comes before the Architectural Advisory Committee; hence, no new level of review will be created.

This matter was first reviewed at a public hearing before the Historic Site Preservation Board (HSPB) on November 12, 1985. As with the City Council hearing, notices were mailed to all property owners within a 300 foot radius of the proposed boundary of the district. As a result, the hearing was well attended. Ironically, interest from surrounding property owners has been greater than from those owners within the proposed district.

The sixteen (16) signatures on the petition represent nine (9) of the approximately fifty(50) properties within the proposed district. Two (2) of the original signers asked to have their names voided; the originator of the petition was also in attendance at the public hearing before the HSPB.

Marvin D. Roos
MARVIN D. ROOS
Planning Director

APPROVED: John A. Mangione
JOHN A. MANGIONE
Director of Community Development

APPROVED: Ann R. Kelly
City Manager

11 -
approved by
City Council
5/7/86
(see attached pages for details)
JAI

DATE: April 16, 1986
TO: City Council
FROM: Planning Director via Director of Community Development
RE: CASE NO. HSPB-D1 - LAS PALMAS BUSINESS HISTORIC DISTRICT.

3A2

RECOMMENDATION:

It is recommended that the City Council receive public comment and review information regarding the designation of the Las Palmas Business Historic District as an historic district, along with the subject design guidelines, and that the City Council designate the Las Palmas Business Historic District as an historic district containing Class 3 & 4 historic sites.

BACKGROUND:

The North Palm Canyon Project Area Committee (PAC), in their discussions regarding the revitalization of North Palm Canyon Drive, have reviewed the possibility of using the remaining historic structures in the area as a basis for community design. Working cooperatively with the Historic Site Preservation Board, it was determined that the greatest concentration of historic structures was located along Palm Canyon Drive and Indian Avenue between Alejo Road and El Alameda (see map). Staff was directed to develop a set of design guidelines which would, over time, encourage continuity of design within this area.

At its meeting of Sept. 4, 1985, the PAC accepted the draft guidelines (attached) and forwarded them to the HSPB for review and action on the proposed historic district. At its October 14, 1985 meeting, the HSPB initiated proceedings for the designation of the North Palm Canyon Historic District as a City historic site. The Board also set the public hearing for which notices were sent to all property owners within 300 feet of the proposed boundary.

On November 12, 1985, the HSPB acted to recommend that the City Council approve the designation and the associated guidelines. On November 27, 1985, the Planning Commission approved a Resolution of Adoption for the design guidelines.

The proposed North Palm Canyon Historic District is a result of the need for the Village to expand as it began to grow during the 1930's. Because of ownership patterns, Palm Springs originally developed within a narrow band along Palm Canyon Drive after the utility companies came to town during the latter half of the twenties.

Although the majority of the historic structures are of the Mediterranean/Spanish Revival style, the area has developed since the 1940's with a wide variety of commercial architectural styles. Therefore, the proposed design guidelines do not dictate a particular style but encourage greater continuity by establishing common themes of mass, scale, rhythm and detailing. New construction, and major remodel, projects would be compared to only those buildings in the immediate vicinity.

Staff recommends that the structures which contribute to the historic character of the district be designated as Class 4 sites and that the structures which do not be designated as Class 3 sites. These designations do not place any restrictions on the properties other than being subject to the design guidelines. More restrictive designations could be placed on individual properties by later action.

WP/HSPB

Resolution No.

Page 2

Frances Stevens School and the Pacific Building, which are within the proposed district, have already received a Class 7 designation; these structures would retain their existing designations. The owner of the Harlow Haven has requested that his complex be designated but no action will be taken until renovation is completed.

This historic district designation has been identified as exempt under the provisions of CEQA.

Richard S. Petersen
for MARVIN D. ROOS
Planning Director

APPROVED: *[Signature]*
City Manager

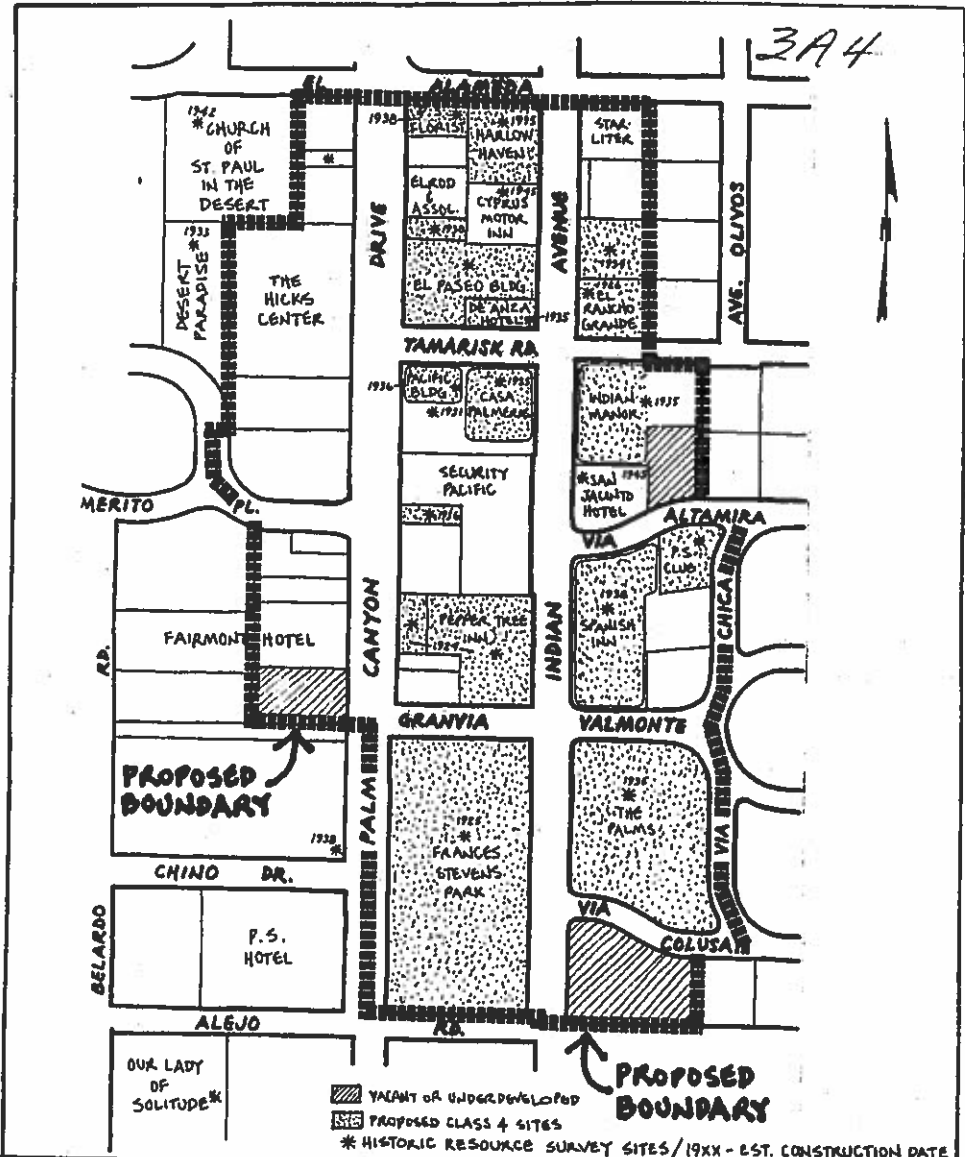
APPROVED: *[Signature]*
JOHN X. MANGIONE
Director of Community Development

ATTACHMENTS:

1. Map
2. Design Guidelines
3. Minutes
4. Resolution

3A3

3A4



CITY OF PALM SPRINGS

CASE NO. HSPB-D1	APPROVED BY PLAN. COMM. DATE
APPLICANT CITY OF PALM SPRINGS	APPROVED BY COUNCIL DATE

REMARKS: SEE PLAN FOR DETAILED INFORMATION	APP. NO.	RECORD NO.
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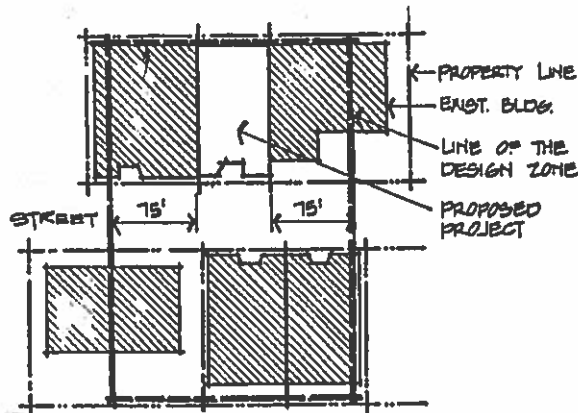
LAS PALMAS BUSINESS HISTORIC DISTRICT
CONCEPTUAL DESIGN GUIDELINES: NEW COMMERCIAL CONSTRUCTION & MAJOR REMODEL

In individual structures of special note and in collections of historic buildings that represent a bygone era, Palm Springs retains the treasures of its past. The historic architecture of the City is one of its most important resources and can be maintained - on a broad scale - only by the establishment and maintenance of historic districts. The maintenance of a district requires that standards or guidelines be set to direct change in ways that are compatible with the historic elements. Change is not discouraged, but the thrust of change is directed to reinforce the best of the remaining historic elements.

Directing and controlling change is the intent of many of the City's land use controls. The guidelines suggested here serve to protect each property owners investment. Each owner can improve his property knowing that the surrounding properties' uses and designs will not detract from his.

The guidelines presented here provide a common ground within which owners, architects and the Architectural Advisory Committee can work to enhance the historic district. The guidelines seek to retain the historically significant properties while encouraging new structures of compatible design.

Any buildings occurring on either side of the street within 75 feet of the proposed site should be studied for the common themes of mass, scale, rhythm and exterior design and details as called for by the following guidelines.



345

1. Maintain the height of other structures in the surrounding area.

The height of new construction should be generally similar to other buildings in the surrounding area. Variety in building heights may be achieved by creating setbacks in the facade, by stepping back upper stories, and by building decks and balconies, when this is appropriate for the design.

Buildings should be designed so that they do not block the westerly view of the mountains from existing buildings to the east. Multi-story buildings on lots which abut an existing residential use should be designed so that windows do not overlook private residential yards.

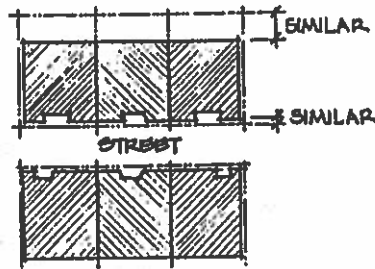
One- and two-story buildings are typical of this area. Towers with additional stories have been used at the corners of some buildings to create interest.

2. Maintain the general alignment of facades at the sidewalk edge.

Most buildings along Palm Canyon Drive are set back away from the sidewalk edge. This provides space for landscaping, pedestrian access, and/or active outdoor uses.

The basic alignment of buildings should be maintained, although some exceptions may be considered if they have an active function such as outdoor dining areas. The effect can be achieved in a number of ways. A wall or fence could be used, allowing the building to be set further back.

Projections over the sidewalk may be acceptable in the form of awnings, balconies and porches, so long as a significant portion of the facade aligns at the sidewalk edge.



3. Maintain the pattern of facade proportions.

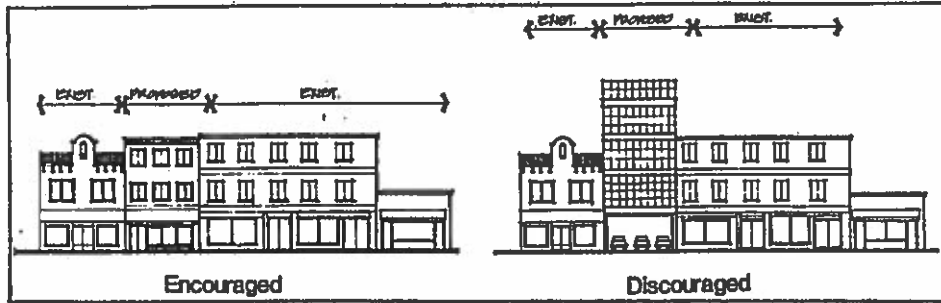
New construction should reinforce the dominant facade pattern of the street.

Where new buildings are to be wider than the dominant dimension, consider subdividing the facade into portions that reflect the pattern. The relationship between the height and width of the facade should be similar to that of other buildings in the surrounding area.

4. Maintain the relationship between upper and lower floors of other structures in the surrounding area.

Typical historic structures have a retail function on the first floor, and offices or residential uses above. This separation of function is shown on the facade: the first floor is predominantly large sheets of display window glass, while the upper levels are mostly solid wall, with small windows cut out.

In new construction, these relationships should be innovatively used.



5. Maintain the spacing pattern of upper-story windows. Avoid shapes that were not typical of the area, and maintain the typical ratio of solid (walls) to void (windows).

3A7

Reinforce the existing pattern in new construction by using windows of a similar size, or by using other design features to continue this pattern.

The recurrent alternation of solids and voids in the front facade of a building establishes a pattern which is sensed by a person observing from a distance. A person passing by the building experiences this pattern as a rhythm. By incorporating a similar rhythmic pattern in a new building, a sympathetic relationship between old and new, and even buildings of a similar era, is achieved.

6. Use building materials that are similar in texture and finish to those found historically.

New construction should continue to reinforce the patterns and textures of existing historic buildings. Use of surface materials which were available in the time period of the historic buildings will strengthen the historic identity of the area. Color is both an intrinsic quality of the building material which is used and applied treatment which covers the natural materials. The use of compatible colors will help strengthen historic identity.

Different building materials may be considered as long as the finish and texture reinforce the existing characteristics.

7. Use components of the facade that are similar in size and shape to those found historically.

The design of new buildings and alterations should take into account the presence or absence of such projections as porches, awnings and overhangs on other buildings within the surrounding area. Such components are especially encouraged when they promote an active function such as outdoor dining within the exterior spaces.

Architectural details of new buildings and renovations should be suggestive of the extent and scale of details on other buildings in the surrounding area.

8. Maintain the pattern of roof types.

The roof type and materials should be compatible with existing buildings in the surrounding area. The relationship of a new building to historic buildings, or other buildings, in the surrounding area may be strengthened by repeating a dominant roof type.

Flat roofs are predominate in this area; however, several one-story structures use a simple gable with the ridge line parallel to the street.

9. Maintain the existing site design pattern.

New construction should observe an appropriate spacing, or lack thereof, in terms of the surrounding area. This is an important factor which contributes to the character of an entire group of buildings, and should therefore be respected.

This area is characterized by buildings which are built on the property line. Driveways and pedestrian ways sometimes break this pattern; however, parking areas should not be allowed to intrude into the pedestrian-oriented design of the area. Landscape areas may be appropriate as breaks in this pattern if they are designed for active uses.

10. Although contemporary designs are encouraged, replicas of historic designs may be considered if they meet these conditions:

- The style must be one that did occur in Palm Springs as a typical building form.
- The principles of the style must be used correctly. The rules of proportion, use of materials, and sense of ornamentation must be in character.
- A plaque must be mounted on the building which designates the date of construction.
- The design must be compatible with existing buildings.

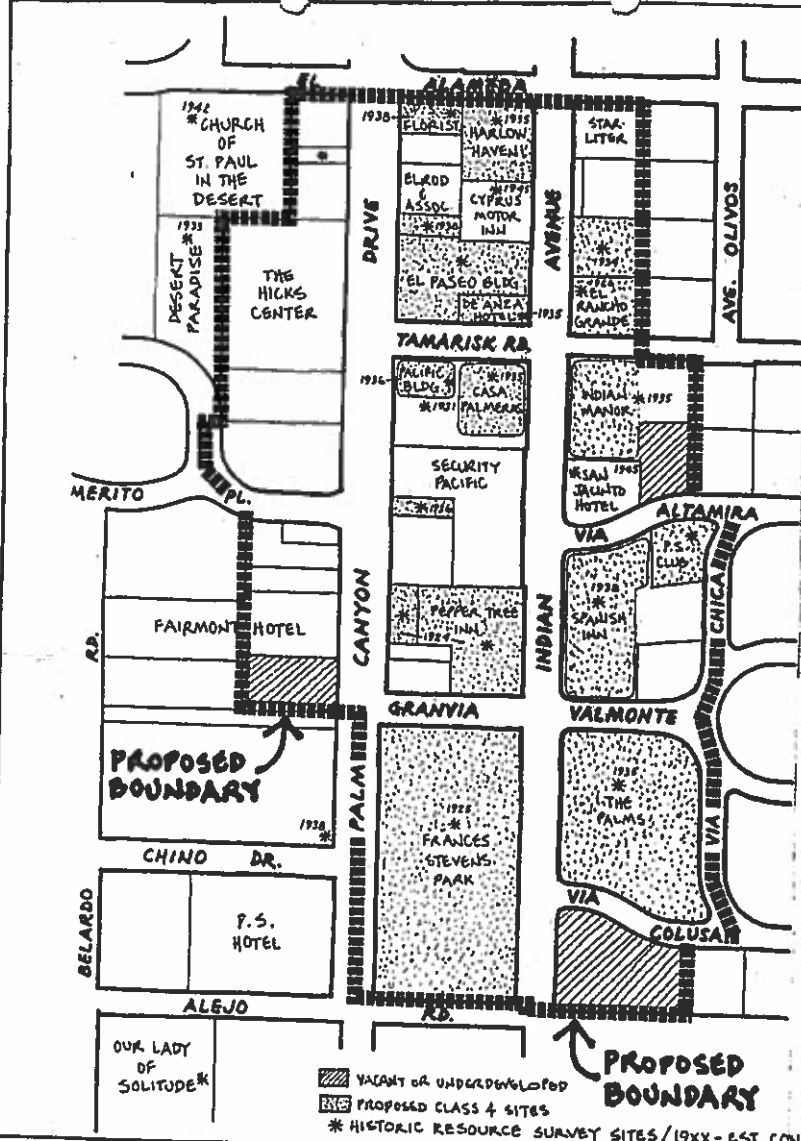
3A9

3A10

CONCEPTUAL DESIGN GUIDELINES: Commercial Renovation

1. Maintain the original height of storefronts.
2. Maintain original storefront openings.
3. Maintain original storefront components.
4. Maintain original upper-story windows.
5. Preserve the pattern created by entrances.
6. Preserve original door proportions.
7. Preserve the original dimensions of window and door frames.
8. Avoid concealing original facade materials.
9. Replace decoration where it is known to have existed, if feasible.
10. Contemporary interpretation of the historic storefront design may be appropriate where the original is lost.
11. Trim materials should be subordinate to the major facade materials.
12. Preserve the proportions of original window panes.
13. External light fixtures should be simple in design.

HSPB 2



CITY OF PALM SPRINGS	
CASE NO. HSPB-D1	APPROVED BY PLAN. COMM. DATE
APPLICANT CITY OF PALM SPRINGS	APPROVED BY COUNCIL DATE
REMARKS	

NORTH PALM CANYON PROJECT AREA COMMITTEE

MINUTES

SEPTEMBER 4, 1985

A meeting of the North Palm Canyon Project Area Committee was held in the Large Conference Room of City Hall, on September 4, 1985 at 1:30 p.m.

ROLL CALL Present: Kaufer, Stuart, Boyer, Holmquist
Helm, Williams
Absent: Campbell

APPROVAL OF MINUTES

Motion by Mr. Stuart, seconded by Mrs. Williams to approve the minutes of June 19, 1985 as submitted. Motion carried unanimously.

HISTORIC DISTRICT

Reviewed the draft design guidelines. Staff advised that graphics will be included in the finished product. Discussion followed. Motion by Mr. Stuart, seconded by Mrs. Williams accepting guidelines and forwarding to the Historic Site Preservation Board with a recommendation that they review and act on the proposed historic district incorporating said guidelines. Motion carried unanimously.

STREETScape, STREET FURNITURE, SIDEWALKS

Staff displayed drawings and a miniature version of the proposed street bench for review and discussion. The Fashion Plaza has agreed to follow the same furniture design for the mall and have submitted an order in phase 1. The colors will be of natural tones, the finish has not been selected as yet. A mat finish was preferred by PAC. All appropriate commissions have reviewed and given their approval of the design. Discussion followed on the desire of PAC to have a prototype installed along North Palm Canyon out of the first phase shipment. The corner of Tachevah and North Palm Canyon seems to be an appropriate site. Staff will investigate this possibility and approach Sunline on sharing the cost. Stuart excused at this time.

Staff advised that another idea currently being investigated is the use of shade structures to cover both benches and the sidewalk. Concern was expressed regarding such structures blocking adjacent storefronts.

HOTEL CONVERSION

Staff opened the discussion of the possibility of encouraging the conversion of small hotel to other uses, including permanent worker housing. There are currently 45 such hotels, some converted to apartment use, of which some continue to decline physically. One solution would be their conversion to permanent housing with financial assistance by the Agency to assure full

3A11

AGENDA ITEMS

PUBLIC HEARINGS

O'Donnell House (Case # HSPB-19). Staff recommended an additional continuance of the public hearing to December 9, 1985; Chairman Boyd directed said continuance.

(Janice Lyle entered.)

George Roberson House (Le Vallauris) (Case # HSPB-21). Staff presented its report and recommendation, including an update of development proposals for the surrounding parcels.

The public hearing was opened with comment by Esther Richmond, a member of the corporation which owns the restaurant (Le Vallauris) and represents the estate of Camille Bardet and other ownership interests, stating that she opposes historic designation because it would limit the potential of the property and, therefore, reduce the value of the property.

In reply to a question by Janice Lyle, staff stated that the historical residence priority list has not yet been completed; however, staff feels that this residence will be one of the more significant because of its age, the period to which it belongs, and its associations with personages and other places.

In reply to questions by Ms. Richmond, staff stated that the house could be relocated, this action being more acceptable with residential than with commercial historic structures. Moya Henderson explained the significance of the Roberson House.

Katrina Heinrich asked about the seeming contrast between this Board's wishes to preserve this structure and the City's quest in having a hotel built on adjacent properties. She agreed that although a creative architect could include this structure in future development plan the historic designation would diminish the commercial value of the property. Janice Lyle explained that the role of the HSPB is to recommend the preservation of the City's significant historic sites. The Board is not always aware of other development plans and it, therefore, becomes the role of the City Council to weigh the actions of the Board against the City's many other interests.

The public hearing was closed without further comment.

Janice Lyle commented that the immediate area historically has been characterized by low-density residential and hotel development and that this house is representative of that development.

Motion: M/S/C unanimously (Henderson/Hayes; McKinney and Milanovich absent) to recommend to the City Council that they designate the George Roberson House as a Class 7 Historic Site.

North Palm Canyon Historic District (Case # HSPB-D1). Staff presented its report and recommendation, including an overview of the proposed design guidelines.

Kitty Hayes commended staff for the work which has been done in preparing the guidelines.

The public hearing was opened with comment by Alice Clagg, 349 Via Alta Mira, regarding deterioration of individual properties (Indian Manor and the San Jacinto Hotel in particular). Staff responded that the HSPB has no direct control over maintenance and suggested that she contact the appropriate agencies, but that over time it is hoped that the adoption of this district and related guidelines, will create community pride which will in turn be reflected in increased maintenance.

In response to a question by Helen Stoddard, 1322 Primavera Drive W., staff explained the rationale behind the boundary selection for this district and that the district contains both historic and non-historic structures. Staff also explained that the design guidelines do not prohibit demolition to make way for new structures, nor remodeling, and that only those historical structures which have individual designations would be restricted. Ms. Stoddard expressed her interest in seeing this area improve aesthetically.

Katrina Heinrich, 471 Monte Vista Drive, expressed her interest in the adoption of this historic district, feeling that the City has been negligent in preserving the charm that was once Palm Springs. She felt that the North Palm Canyon entrance to Palm Springs is not attractive and that she has received comments regarding the poor appearance of the area. She also stated that the City Council needs to help the Board in its efforts to beautify this area and thanked the Board for waking up this community in order to realize the area's potential.

In response to a question by Betty Pyles, 1423 S. Sunrise Way, staff explained the difference in the classifications for historic & non-historic structures within the district.

Robert Bertrand, 700 N. Palm Canyon Dr., stated that he was entrapped by two modern buildings and that the Planning Commission has not shown concern for the historic structures in the area and commended the HSPB in considering this matter.

Katrina Heinrich asked whether the HSPB has the power to affect these guidelines and, therefore, encourage improvement of the area. Staff replied that it is hoped that the Planning Commission and the City Council will endorse the efforts of the HSPB and the North Palm Canyon Project Area Committee by using the proposed guidelines in future decision-making.

The public hearing was closed with comments becoming unrelated to the actions of this Board.

Motion: M/S/C unanimously (Hayes/Henderson; McKinney and Milanovich absent) to recommend to the City Council that they adopt the North Palm Canyon Historic District along with the related design guidelines.

Motion: M/S (Hayes/Lyle) to change the name of the district to reflect an historical name. The motion was tabled by Chairman Boyd until comment could be received from the Project Area Committee regarding their preference.

~~Resource Inventory Update. No report.~~

3A13

ARCHITECTURAL APPROVAL ITEMS (Continued)

CASE 3.923 (MINOR) (Continued)

unless the lights were glaring or flashing and that tube lighting should be prohibited unless someone can demonstrate that the lighting is an effective architectural statement.

M/S/C (Lapham/Apfelbaum; Kaptur absent) disapproving the lighting system bordering the windows for Escargot Sportswear and determining that interior lighting visible from the street outlining architecture is prohibited. (Determination 10.356)

CASE 3.931 (MINOR). Application by H. TOSSI for architectural approval of revised plans for storefront, outdoor dining, and lighting plan for store (Vin de France) at Desert Fashion Plaza at North Palm Canyon Drive between Andreas Road/Tahquitz Way, C-B-D Zone, Section 15. (Ref. Case 5.0275-PD-147)

M/S/C (Curtis/Apfelbaum; Kaptur absent) continuing the case to December 11.

MISCELLANEOUS ITEMS (Continued)

CASE 10.355-DETERMINATION. Planning Commission determination that the sale of retail auto parts is allowed in neighborhood shopping centers, (CDN Zones city-wide).

M/S/C (Curtis/Apfelbaum; Kaptur absent) continuing the determination to December 11 at the applicant's request.

CASE 5.0384-MISC. Planning Commission discussion of design guidelines for North Palm Canyon Historic District.

Planner (Patenaude) reviewed the guidelines and stated that the area would be on N. Palm Canyon and Indian, between Alejo and El Alameda and will use historic structures as continuing design; and that staff had developed a set of guidelines for remodeled and new structures. He stated that no attempt will be made to dictate style of architecture, but the goal will be to create conformity and a neighborhood feeling.

Commissioner Lapham remarked that only the architecture on the west side of the street is worth saving.

M/S/C (Curtis/Apfelbaum; Kaptur absent) approving a Resolution of Adoption of the North Palm Canyon Historic District Design Guidelines.

PROCEDURE FOR DESIGNATION OF HISTORIC SITES OR HISTORIC DISTRICTS

8.05.125 Created by Council. The City Council may designate one or more historic sites or districts by following the procedures specified in this Chapter. Designations will be made by categorizing nominated sites and districts into one of the following classifications and such other categories as may be designated by resolution:

- Class 1 Site not qualified for designation. Not eligible for review for two years from date of initial review.
- Class 2 Site not qualified for designation. Not eligible for review for six months from date of initial review.
- Class 3 Site is located within an officially designated historic district and is not a contributing factor to the historic character of the district. No archival file will be maintained. Eligible for review at any regularly scheduled meeting of the board.
- Class 4 Site is located within an officially designated historic district and is a contributing factor to the historic character of the district. Archival file will be maintained. Usage may be limited by the City Council. Eligible for review at any regularly scheduled meeting of the board.
- Class 5 Site qualified for City designation only. Archival file may be maintained. No stay of demolition or landmark eligibility. Usage may be restricted by the City Council. Eligible for review at any regularly scheduled meeting of the board.
- Class 6 Site qualified for designation at the Federal, State, County and City level. Archival file will be maintained. Site is eligible for a six month stay of demolition. Site is eligible for plaquing. Usage may be limited by the City Council. Eligible for review at any regularly scheduled meeting of the board.
- Class 7 Site qualified for designation at the Federal, State, County and City level. Archival file will be maintained. Site may not be modified nor object removed without the approval of the City Council. Site will be plaqued. Usage may be limited by the City Council. Eligible for review at any regularly scheduled meeting of the board.

3 A 15



CITY OF PALM SPRINGS

DEPARTMENT OF PLANNING SERVICES

MEMORANDUM

Date: August 13, 2013
To: HSPB
From: Ken Lyon, RA, Associate Planner *Ken Lyon*
Subject: HD-1 The Las Palmas Business Historic District –
Design Guidelines Revisions and Investigation of possible re-designation
of certain sites to “contributing” (Class 1) status

The LPBHD subcommittee (Ploss, DeLeeuw, McGrew) has identified two primary work efforts:

- (1) Possible re-designation of certain “non-contributing” sites to “contributing” (Class 1) status
- (2) Possible revision of the LPBHD Design Guidelines to include mid-century modern architecture,

The subcommittee in 2012 identified at least 34 properties it deemed candidates for possible re-designation (see attached Ewing to HSPB memo dated May 8, 2012) and later narrowed that list to the following 7 properties (see DeLeeuw to Lyon e mail dated July 8, 2013) as its primary work effort for 2013/14:

- 660 N Palm Canyon (The Backstrom-Reid Building aka “Lapham Bldg” 1956 Howard Lapham, Architect; Mid-Century Modern.)
- 756/760 N Palm Canyon (Samson, Curtis Kieley, an addition to the Kocher Samson Bldg. 1947 Howard Lapham Mid Century Modern)
- 844 N Palm Canyon (PS Water Company Bldg.; (1941 John Porter Clark, aka “Asylum Store”, Mid-Century Modern)
- 891/895 N Palm Canyon (The Nichols Building II, aka “The Trina Turk Store” 1953 Clark, Frey, & Chambers Architects, Mid Century Modern)
- 875 N Palm Canyon (1947 Clark & Frey, architects offices)
- 861/869 N Palm Canyon (Culver Nichols Real Estate Ofc/Ofc of Dr Hugh Stephens 1930 Clark & Frey Architects,)
- 687 N Palm Canyon (The Dollard Building 1947 Clark & Frey Architects, Streamline Moderne)

To facilitate completion of the possible re-designation effort, staff recommends the subcommittee complete the following:

1. Complete the Department of Parks & Recreation (DPR) Primary Record (Form 523A) & Building, Structure, and Object Record (Form 523B) (examples attached). This can be facilitated by using the data in the report titled "Las Palmas Historic District Building Histories" by Patrick McGrew, building permit data, etc.
2. Development of any additional research including identification of defining characteristics for each site (A Historic Resources Report).
3. Consultation with current building owners for possible support of the re-designation.
4. Presentation of the subcommittee recommendation to the full board for possible resolution recommending re-designation to Class 1 status by the City Council.
5. Staff will schedule the project for a public hearing by the City Council.

To facilitate completion of possible revision of the Design Guidelines, staff recommends the subcommittee complete the following:

1. Review the existing LPBHD Design Guidelines (Attached).
2. Review the National Park Service Department of the Interior technical bulletin "Creating & Using Design Guidelines for Historic Districts" attached to this memo.
3. Develop a draft revised Design Guidelines for the LPBHD.
4. Present the Draft Guidelines to the Board for discussion and possible recommendation to the Planning Commission (PC).
5. Review by Architectural Advisory Committee for recommendation to the PC.
6. Review by the Planning Commission for approval and adoption of the revised design guidelines.

The Board may wish to discuss this at its August meeting and give the subcommittee direction accordingly.

Attachment:

- DeLeeuw to Lyon e mail date July 8, 2013
- Ewing to HSPB memo dated May 8, 2012
- DPR 523A and 523B Forms (blank sample and example filled out)
- Las Palmas Historic District Building Histories by Patrick McGrew (distributed at an earlier meeting)
- Aerial Photo/map of the LPBHD
- LPBHD Design Guidelines (dated 11-5-85)
- NPS technical bulletin "Creating & Using Design Guidelines".

Ken Lyon

From: Tom DeLeeuw <tfdeleeuw@earthlink.net>
Sent: Monday, July 08, 2013 7:22 AM
To: Ken Lyon
Subject: RE: LPHD - 6 to 8 bldgs for possible redesignation?

666 N. Palm Canyon Drive (Lapham Bldg.)

756/760 N. Palm Canyon Drive (Samson, Curtis, Kieley) *ADDN. TO KOCHER / SAMSON*

844 N. Palm Canyon Drive (PS Water Company) *— A. FREY, intended as a composition
— J.P. Clark / Asylum Bldg.*

891-895 N. Palm Canyon Drive (Nichols Building II) *TRINA TURN BLDG*

875 N. Palm Canyon Drive (Clark & Frey Office Bldg.)
of CHAMBERS. & LMS - OFFICES.

861 N. Palm Canyon Drive (861-869 Culver Nichols Real Estate Office, Offices of Dr. Hugh Stephens, etc.)

687 N. Palm Canyon Drive (Dollard Building)

Thanks,
Tom DeLeeuw

From: Ken Lyon [<mailto:Ken.Lyon@palmsprings-ca.gov>]
Sent: Wednesday, July 03, 2013 8:59 AM
To: tfdeleeuw@earthlink.net
Subject: LPHD - 6 to 8 bldgs for possible redesignation?

Tom,
I'm reviewing past actions and minutes of the HSPB; I note in June of 2012 the Board subcommittee on the LPHD (Ploss and Deleeuw) were to identify six to eight properties for review for possible redesignation from non-contributing to contributing; do you have that list of properties? I have not found it yet.,

Ken Lyon, RA
Associate Planner
Department of Planning Services
City of Palm Springs, California
3200 Tahquitz Canyon Way
Palm Springs, California 92283
T 760 323 8245 F 760 322 8384

"Make no little plans,
They have no magic to stir men's blood
And probably won't be realized.
Make big plans
Aim high in work and in hope,
Let your watchword be order,
And your beacon beauty"

Daniel Burnham, Architect and Planner



CITY OF PALM SPRINGS

DEPARTMENT OF PLANNING SERVICES

MEMORANDUM

Date: May 8, 2012

To: HSPB Board Members

From: Craig A. Ewing, AICP, Director of Planning Services

Subject: Initiation of Investigation Reclassification of "Non-contributing Properties" to "Contributing" Status; Las Palmas Business Historic District

- 621 N. Palm Canyon Drive
- 622 N. Palm Canyon Drive
- 641 N. Palm Canyon Drive
- 655 N. Palm Canyon Drive
- 664 N. Palm Canyon Drive
- 675 N. Palm Canyon Drive
- 687 N. Palm Canyon Drive
- 707 N. Palm Canyon Drive
- 750 N. Palm Canyon Drive
- 756 N. Palm Canyon Drive
- 760 N. Palm Canyon Drive
- 766 N. Palm Canyon Drive
- 777 N. Palm Canyon Drive
- 787 N. Palm Canyon Drive
- 803 N. Palm Canyon Drive
- 849 N. Palm Canyon Drive
- 850 N. Palm Canyon Drive
- 855 N. Palm Canyon Drive
- 867 N. Palm Canyon Drive
- 875 N. Palm Canyon Drive
- 882 N. Palm Canyon Drive
- 899 N. Palm Canyon Drive
- 542 N. Indian Canyon Drive
- 544 N. Indian Canyon Drive
- 546 N. Indian Canyon Drive
- 548 N. Indian Canyon Drive
- 550 N. Indian Canyon Drive
- 552 N. Indian Canyon Drive
- 560 N. Indian Canyon Drive
- 726 N. Indian Canyon Drive
- 860 N. Indian Canyon Drive
- 888 N. Indian Canyon Drive
- 275 Tamarisk Road
- 276 E. Granvia Valmonte

← VILLAGE INN

After several months of research, the Las Palmas Business Historic District sub-committee (DeLeeuw and Ploss) have compiled information on properties which are candidates for a change of status from "non-contributing" to "contributing" within the district. A visual presentation by the sub-committee will provide photos and other information about these properties.

Presently, the district's focus is on Mission Revival architecture, though that is not an exclusive limitation. Staff believes, however, that the Board should consider a revision / expansion of the district's definition and design guidelines to specifically include mid-century modern architecture. This would provide a stronger foundation for the classification of mid-century modern buildings as contributing. Please note that

amendment to the district's design guidelines are subject to Architectural Advisory Committee recommendation and Planning Commission approval.

The list of candidate properties – thirty-four in all – could be a significant burden for the Board and staff, especially if more than a handful of properties are identified for immediate reclassification. Staff recommends that the Board identify about five sites that we could begin reclassifying with the amendment of the district's overall definition and guidelines. Other properties could be added as the City worked down the list.

The Board may, by adopting a motion, initiate the process of designation for any or all of the above properties.

Attachment:

HSPB Staff Report, September 8, 2009
Las Palmas Business Historic District Design Guidelines



NATIONAL REGISTER BULLETIN

HOW TO APPLY THE NATIONAL REGISTER CRITERIA FOR EVALUATION

[Previous](#)[Table of Contents](#)[Next](#)

U.S. Department of the Interior, National Park Service

VIII. HOW TO EVALUATE THE INTEGRITY OF A PROPERTY

Integrity is the ability of a property to convey its significance. To be listed in the National Register of Historic Places, a property must not only be shown to be significant under the National Register criteria, but it also must have integrity. The evaluation of integrity is sometimes a subjective judgment, but it must always be grounded in an understanding of a property's physical features and how they relate to its significance.

Historic properties either retain integrity (this is, convey their significance) or they do not. Within the concept of integrity, the National Register criteria recognizes seven aspects or qualities that, in various combinations, define integrity.

To retain historic integrity a property will always possess several, and usually most, of the aspects. The retention of specific aspects of integrity is paramount for a property to convey its significance. Determining which of these aspects are most important to a particular property requires knowing why, where, and when the property is significant. The following sections define the seven aspects and explain how they combine to produce integrity.

1. [Seven Aspects of Integrity](#)
2. [Assessing Integrity in Properties](#)
 - [Defining the Essential Physical Features](#)
 - [Visibility of the Physical Features](#)
 - [Comparing Similar Properties](#)
 - [Determining the Relevant Aspects of Integrity](#)

SEVEN ASPECTS OF INTEGRITY

- Location
- Design

- Setting
- Materials
- Workmanship
- Feeling
- Association

Understanding the Aspects of Integrity

Location

Location is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved. (See Criteria Consideration B in Part VII: How to Apply the Criteria Considerations, for the conditions under which a moved property can be eligible.)

Design

Design is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property (or its significant alteration) and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials.

A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount, and style of ornamental detailing; and arrangement and type of plantings in a designed landscape.

Design can also apply to districts, whether they are important primarily for historic association, architectural value, information potential, or a combination thereof. For districts significant primarily for historic association or architectural value, design concerns more than just the individual buildings or structures located within the boundaries. It also applies to the way in which buildings, sites, or structures are related: for example, spatial relationships between major features; visual rhythms in a streetscape or landscape plantings; the layout and materials of walkways and roads; and the relationship of other features, such as statues, water fountains, and archeological sites.

Setting

Setting is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the *character* of the place in which the property played its historical role. It involves *how*, not

just where, the property is situated and its relationship to surrounding features and open space.

Setting often reflects the basic physical conditions under which a property was built and the functions it was intended to serve. In addition, the way in which a property is positioned in its environment can reflect the designer's concept of nature and aesthetic preferences.

The physical features that constitute the setting of a historic property can be either natural or manmade, including such elements as:

- Topographic features (a gorge or the crest of a hill);
- Vegetation;
- Simple manmade features (paths or fences); and
- Relationships between buildings and other features or open space.

These features and their relationships should be examined not only within the exact boundaries of the property, but also between the property and its *surroundings*. This is particularly important for districts.

Materials

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. Indigenous materials are often the focus of regional building traditions and thereby help define an area's sense of time and place.

A property must retain the key exterior materials dating from the period of its historic significance. If the property has been rehabilitated, the historic materials and significant features must have been preserved. The property must also be an actual historic resource, not a recreation; a recent structure fabricated to look historic is not eligible. Likewise, a property whose historic features and materials have been lost and then reconstructed is usually not eligible. (See Criteria Consideration E in Part VII: How to Apply the Criteria Considerations for the conditions under which a reconstructed property can be eligible.)

Workmanship

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components. It can be expressed in vernacular methods of construction and plain finishes or in highly sophisticated configurations and ornamental detailing. It can be based on common traditions or innovative period techniques.

Workmanship is important because it can furnish evidence of the technology of a craft, illustrate the aesthetic principles of a historic or prehistoric period, and reveal individual, local, regional, or national applications of both technological practices and aesthetic

principles. Examples of workmanship in historic buildings include tooling, carving, painting, graining, turning, and joinery. Examples of workmanship in prehistoric contexts include Paleo-Indian clovis projectile points; Archaic period beveled adzes; Hopewellian birdstone pipes; copper earspools and worked bone pendants; and Iroquoian effigy pipes.

Feeling

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character. For example, a rural historic district retaining original design, materials, workmanship, and setting will relate the feeling of agricultural life in the 19th century. A grouping of prehistoric petroglyphs, unmarred by graffiti and intrusions and located on its original isolated bluff, can evoke a sense of tribal spiritual life.

Association

Association is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. For example, a Revolutionary War battlefield whose natural and manmade elements have remained intact since the 18th century will retain its quality of association with the battle.

Because feeling and association depend on individual perceptions, their retention *alone* is never sufficient to support eligibility of a property for the National Register.

ASSESSING INTEGRITY IN PROPERTIES

Integrity is based on significance: why, where, and when a property is important. Only after significance is fully established can you proceed to the issue of integrity.

The steps in assessing integrity are:

- Define the **essential physical features** that must be present for a property to represent its significance.
- Determine whether the **essential physical features are visible** enough to convey their significance.
- Determine whether the property needs to be **compared with similar properties**. And,
- Determine, based on the significance and essential physical features, **which aspects of integrity** are particularly vital to the property being nominated and if they are present.

Ultimately, the question of integrity is answered by whether or not the property retains the **identity** for which it is significant.

DEFINING THE ESSENTIAL PHYSICAL FEATURES

All properties change over time. It is not necessary for a property to retain all its historic physical features or characteristics. The property must retain, however, the essential physical features that enable it to convey its historic identity. The essential physical features are those features that define both *why* a property is significant (Applicable Criteria and Areas of Significance) and *when* it was significant (Periods of Significance). They are the features without which a property can no longer be identified as, for instance, a late 19th century dairy barn or an early 20th century commercial district.

Criteria A and B

A property that is significant for its historic association is eligible if it retains the essential physical features that made up its character or appearance during the period of its association with the important event, historical pattern, or person(s). If the property is a site (such as a treaty site) where there are no material cultural remains, the setting must be intact.

Archeological sites eligible under Criteria A and B must be in overall good condition with excellent preservation of features, artifacts, and spatial relationships to the extent that these remains are able to convey important associations with events or persons.

Criterion C

A property important for illustrating a particular architectural style or construction technique must retain most of the physical features that constitute that style or technique. A property that has lost some historic materials or details can be eligible *if* it retains the majority of the features that illustrate its style in terms of the massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation. The property is not eligible, however, if it retains some basic features conveying massing but has lost the majority of the features that once characterized its style.

Archeological sites eligible under Criterion C must be in overall good condition with excellent preservation of features, artifacts, and spatial relationships to the extent that these remains are able to illustrate a site type, time period, method of construction, or work of a master.

Criterion D

For properties eligible under Criterion D, including archeological sites and standing structures studied for their information potential, less attention is given to their overall condition, than it they were being considered under Criteria A, B, or C. Archeological sites, in particular, do not exist today exactly as they were formed. There are always cultural and natural processes that alter the deposited materials and their spatial relationships.

For properties eligible under Criterion D, integrity is based upon the property's potential to yield specific data that addresses important research questions, such as those identified in the

historic context documentation in the Statewide Comprehensive Preservation Plan or in the research design for projects meeting the *Secretary of the Interior's Standards for Archeological Documentation*.

Interiors

Some historic buildings are virtually defined by their exteriors, and their contribution to the built environment can be appreciated even if their interiors are not accessible. Examples of this would include early examples of steel-framed skyscraper construction. The great advance in American technology and engineering made by these buildings can be read from the outside. The change in American popular taste during the 19th century, from the symmetry and simplicity of architectural styles based on classical precedents, to the expressions of High Victorian styles, with their combination of textures, colors, and asymmetrical forms, is readily apparent from the exteriors of these buildings.

Other buildings "are" interiors. The Cleveland Arcade, that soaring 19th century glass-covered shopping area, can only be appreciated from the inside. Other buildings in this category would be the great covered train sheds of the 19th century.

In some cases the loss of an interior will disqualify properties from listing in the National Register--a historic concert hall noted for the beauty of its auditorium and its fine acoustic qualities would be the type of property that if it were to lose its interior, it would lose its value as a historic resource. In other cases, the overarching significance of a property's exterior can overcome the adverse effect of the loss of an interior.

In borderline cases particular attention is paid to the significance of the property and the remaining historic features.

Historic Districts

For a district to retain integrity as a whole, the majority of the components that make up the district's historic character must possess integrity even if they are individually undistinguished. In addition, the relationships among the district's components must be substantially unchanged since the period of significance.

When evaluating the impact of intrusions upon the district's integrity, take into consideration the relative number, size, scale, design, and location of the components that do not contribute to the significance. A district is not eligible if it contains so many alterations or new intrusions that it no longer conveys the sense of a historic environment.

A component of a district cannot contribute to the significance if:

- it has been substantially altered since the period of the district's significance or
- it does not share the historic associations of the district.

VISIBILITY OF PHYSICAL FEATURES

Properties eligible under Criteria A, B, and C must not only retain their essential physical features, but the features must be visible enough to convey their significance. This means that even if a property is physically intact, its integrity is questionable if its significant features are concealed under modern construction. Archeological properties are often the exception to this; by nature they usually do not require visible features to convey their significance.

Non-Historic Exteriors

If the historic *exterior* building material is covered by non-historic material (such as modern siding), the property can still be eligible if the significant form, features, and detailing are not obscured. If a property's exterior is covered by a non-historic false-front or curtain wall, the property will not qualify under Criteria A, B, or C, because it does not retain the visual quality necessary to convey historic or architectural significance. Such a property also cannot be considered a contributing element in a historic district, because it does not add to the district's sense of time and place. If the false front, curtain wall, or non-historic siding is removed and the original building materials are intact, then the property's integrity can be re-evaluated.

Property Contained within Another Property

Some properties contain an earlier structure that formed the nucleus for later construction. The exterior property, if not eligible in its own right, can qualify on the basis of the interior property *only if* the interior property can yield significant information about a specific construction technique or material, such as rammed earth or tabby. The interior property *cannot* be used as the basis for eligibility if it has been so altered that it no longer contains the features that could provide important information, or if the presence of important information cannot be demonstrated.

Sunken Vessels

A sunken vessel can be eligible under Criterion C as embodying the distinctive characteristics of a method of construction if it is structurally intact. A *deteriorated* sunken vessel, no longer structurally intact, can be eligible under Criterion D if the remains of either the vessel or its contents is capable of yielding significant information. For further information, refer to National Register Bulletin: *Nominating Historic Vessels and Shipwrecks to the National Register of Historic Places.*

Natural Features

A natural feature that is associated with a historic event or trend, such as a rock formation that served as a trail marker during westward expansion, must retain its historic appearance, unobscured by modern construction or landfill. Otherwise it is not eligible, even though it remains intact.

COMPARING SIMILAR PROPERTIES

For some properties, comparison with similar properties should be considered during the evaluation of integrity. Such comparison may be important in deciding what physical features are essential to properties of that type. In instances where it has not been determined what physical features a property must possess in order for it to reflect the significance of a historic context, comparison with similar properties should be undertaken during the evaluation of integrity. This situation arises when scholarly work has not been done on a particular property type or when surviving examples of a property type are extremely rare. (See Comparing Related Properties in Part V: How to Evaluate a Property within its Historic Context.)

Rare Examples of a Property Type

Comparative information is particularly important to consider when evaluating the integrity of a property that is a rare surviving example of its type. The property must have the essential physical features that enable it to convey its historic character or information. The rarity and poor condition, however, of other extant examples of the type may justify accepting a greater degree of alteration or fewer features, provided that enough of the property survives for it to be a significant resource.

Eligible

- A one-room schoolhouse that has had all original exterior siding replaced and a replacement roof that does not exactly replicate the original roof profile can be eligible if the other extant rare examples have received an even greater degree of alteration, such as the subdivision of the original one-room plan.

Not Eligible

- A mill site contains information on how site patterning reflects historic functional requirements, but parts of the site have been destroyed. The site is not eligible for its information potential if a comparison of other mill sites reveals more intact properties with complete information.

DETERMINING THE RELEVANT ASPECTS OF INTEGRITY

Each type of property depends on certain aspects of integrity, more than others, to express its historic significance. Determining which of the aspects is most important to a particular property requires an understanding of the property's significance and its essential physical features.

Criteria A and B

A property important for association with an event, historical pattern, or person(s) ideally might retain *some* features of all seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. Integrity of design and workmanship, however, might not be as important to the significance, and would not be relevant if the

property were a site. A basic integrity test for a property associated with an important event or person is whether a historical contemporary would recognize the property as it exists today.

For archeological sites that are eligible under Criteria A and B, the seven aspects of integrity can be applied in much the same way as they are to buildings, structures, or objects. It is important to note, however, that the site must have *demonstrated* its ability to convey its significance, as opposed to sites eligible under Criterion D where only the potential to yield information is required.

Eligible

A mid-19th century waterpowered mill important for its association with an area's industrial development is eligible if:

- it is still on its original site (**Location**), and
- the important features of its setting are intact (**Setting**), and
- it retains most of its historic materials (**Materials**), and
- it has the basic features expressive of its design and function, such as configuration, proportions, and window pattern (**Design**).

Not Eligible

A mid-19th century waterpowered mill important for its association with an area's industrial development is not eligible if:

- it has been moved (**Location, Setting, Feeling, and Association**), or
- substantial amounts of new materials have been incorporated (**Materials, Workmanship, and Feeling**), or
- it no longer retains basic design features that convey its historic appearance or function (**Design, Workmanship, and Feeling**).

Criterion C

A property significant under Criterion C must retain those physical features that characterize the type, period, or method of construction that the property represents. Retention of design, workmanship, and materials will usually be more important than location, setting, feeling, and association. Location and setting will be important, however, for those properties whose design is a reflection of their immediate environment (such as designed landscapes and bridges).

For archeological sites that are eligible under Criterion C, the seven aspects of integrity can be applied in much the same way as they are to buildings, structures, or objects. It is important to note, however, that the site must have *demonstrated* its ability to convey its significance, as opposed to sites eligible under Criterion D where only the *potential* to yield information is required.

Eligible

A 19th century wooden covered bridge, important for illustrating a construction type, is eligible if:

- the essential features of its design are intact, such as abutments, piers, roof configuration, and trusses (**Design, Workmanship, and Feeling**), and
- most of the historic materials are present (**Materials, Workmanship, and Feeling**), and
- evidence of the craft of wooden bridge technology remains, such as the form and assembly technique of the trusses (**Workmanship**).
- Since the design of a bridge relates directly to its function as a transportation crossing, it is also important that the bridge still be situated over a waterway (**Setting, Location, Feeling, and Association**).

Not Eligible

For a 19th century wooden covered bridge, important for its construction type, replacement of some materials of the flooring, siding, and roofing would not necessarily damage its integrity. Integrity would be lost, however, if:

- the abutments, piers, or trusses were substantially altered (**Design, Workmanship, and Feeling**) or
- considerable amounts of new materials were incorporated (**Materials, Workmanship, and Feeling**).
- Because environment is a strong factor in the design of this property type, the bridge would also be ineligible if it no longer stood in a place that conveyed its function as a crossing (**Setting, Location, Feeling, and Association**).

Criterion D

For properties eligible under Criterion D, setting and feeling may not have direct bearing on the property's ability to yield important information. Evaluation of integrity probably will focus primarily on the location, design, materials, and perhaps workmanship.

Eligible

A multicomponent prehistoric site important for yielding data on changing subsistence patterns can be eligible if:

- floral or faunal remains are found in clear association with cultural material (**Materials and Association**) and
- the site exhibits stratigraphic separation of cultural components (**Location**).

Not Eligible

A multicomponent prehistoric site important for yielding data on changing subsistence patterns would not be eligible if:

- floral or faunal remains were so badly decomposed as to make identification impossible (**Materials**), or
- floral or faunal remains were disturbed in such a manner as to make their association with cultural remains ambiguous (**Association**), or
- the site has lost its stratigraphic context due to subsequent land alterations (**Location**).

Eligible

A lithic scatter site important for yielding data on lithic technology during the Late Archaic period can be eligible if:

- the site contains lithic debitage, finished stone tools, hammerstones, or antler flakers (**Material and Design**), and
- the site contains datable material (**Association**).

Not Eligible

A lithic scatter site important for yielding data on lithic technology during the Late Archaic period would not be eligible if:

- the site contains natural deposits of lithic materials that are impossible to distinguish from culturally modified lithic material (**Design**) or
- the site does not contain any temporal diagnostic evidence that could link the site to the Late Archaic period (**Association**).

[Previous](#)[Back to top of page](#)[Next](#)

[National Register Home](#) | [Publications Home](#) | [Previous Page](#) | [Next Page](#)

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