



# CITY OF PALM SPRINGS

## DEPARTMENT OF PLANNING SERVICES

### MEMORANDUM

**Date:** 11 May 2016

**To:** Planning Commission

**From:** Flinn Fagg, AICP  
Director of Planning Services

**Subject:** Grading Requirements

---

At the request of the Planning Commission, staff will provide a review of the City's grading requirements and review procedures. The presentation for the study session will include a discussion of the following items:

- Current zoning requirements and municipal code requirements relative to site grading;
- The grading plan for the Skye development on West Ramon Road (TTM 36738/Case 3.3802 MAJ) and process of approval;
- Conditions of approval relative to grading requirements for hillside subdivisions; and
- Recommendations for review of future applications.

To assist in the discussion, staff is providing the following attachments for review prior to the study session:

**Attachments:**

1. Excerpts of grading requirements – Palm Springs Zoning Code and Palm Springs Municipal Code
2. Skye Development Tentative Tract Map Application (TTM 36738)
  - a. Proposed tract map with existing topography and proposed pad elevations
  - b. Minutes – 10/22/14 Planning Commission Meeting
  - c. Minutes – 11/19/14 City Council Meeting
  - d. Hyperlink to City Council backup materials:  
<http://www.palmsprings-ca.gov/home/showdocument?id=33036>
3. Skye Development Major Architectural Application
  - a. Rough grading plan with existing topography and proposed pad elevations
  - b. Minutes – 01/26/15 AAC Meeting
  - c. Minutes – 02/25/15 Planning Commission Meeting

- d. Minutes – 03/18/15 City Council Meeting
- e. Hyperlink to City Council backup materials:  
<http://www.palmsprings-ca.gov/home/showdocument?id=34553>

- 4. Excerpts of conditions of approval from other hillside subdivisions.

Please let me know if you have questions about any of the attachments or if additional information is needed.

# ATTACHMENT #1

## **Palm Springs Zoning Code: Grading Requirements (Excerpts)**

### **Zoning Code Section 93.13.00: Hillside Developments**

#### **B. Site Plan Approval.**

2. Applications for remodel or minor additions to hillside development shall be processed as follows:

- a. Applications shall be prepared and submitted pursuant to Section 94.04.00, architectural review.
- b. Minor remodels and/or additions to the exterior of a building, site plan, **grading**, landscape, exterior lighting are additions which do not exceed four hundred (400) square feet, do not increase building height, do not involve **substantial new grading**, and do not substantially alter the appearance of the subject property. Minor remodels and additions may be approved by the director of planning services or designee. Notice to adjacent properties may be required pursuant to Section 93.13.00(B)(1)(b) above.

#### **G. Excavations.**

1. The following requirement shall supplement (and supersede to the extent of any inconsistencies) the requirements of Chapter 70, (Excavation and Grading) of the Uniform Building Code, the grading ordinance of the city of Palm Springs currently in effect at the time of permit issuance.
  - a. No excavation shall be permitted on any hillside prior to the approval of a site plan and a **grading plan**.
  - b. **A grading plan** shall be submitted as a part of the application for site plan approval for hillside development. A preliminary grading plan shall be filed in compliance with the procedure set forth in Chapter 9.64 of the Palm Springs Municipal Code.
  - c. No dirt or rock shall be allowed to be used for fill except in those locations approved by the excavation plan. Excess dirt or rock shall be carried to a disposal area designated on the **grading plan** or to an approved off-site location.

### **Zoning Code Section 94.06.01: Minor Modifications**

- A. When in the public interest, the planning commission or the director of planning and building, without publishing, posting or mailing of notice and without public hearing,

may consider and render decisions on slight modifications in the provisions of this Zoning Code, limited to the following:

8. Slope and Hillside Areas.  
For areas with a grade of ten (10) percent or more, modification of building height to a maximum of thirty (30) feet and modification of front yard to a minimum of ten (10) feet, upon approval of a site plan, elevations and a grading map showing existing and finished contours. Approval shall be based on the finding that such minor modification will not have detrimental effect upon adjacent properties;

#### **Zoning Code Section 94.04.00: Architectural Review**

##### **D. Planning Commission Architectural Advisory Committee Review Guidelines.**

The planning commission architectural advisory committee shall examine the material submitted with the architectural approval application and specific aspects of design shall be examined to determine whether the proposed development will provide desirable environment for its occupants as well as being compatible with the character of adjacent and surrounding developments, and whether aesthetically it is of good composition, materials, textures and colors. Conformance will be evaluated, based on consideration of the following:

1. Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas;

##### **E. Procedures.**

1. Architectural review shall be required for the following:
  - b. Hillside developments, including all structures, grading, landscaping, and exterior lighting, in accordance with Section 93.13.00 (Hillside developments), which may require public hearings before the planning commission;
2. Before any building or structure or landscape area described in subsection E of this section is erected, constructed, altered, moved, remodeled or repainted a color different than that existing, an application for architectural approval shall be submitted to the department of planning and zoning. An application for new construction and additions shall include a preliminary landscape plan and drawings showing the exterior elevation of sides of a proposed building or structure, the types of materials and colors to be used, and the signs to be displayed. The director of planning services may authorize staff approval of minor architectural approval applications, non-hillside single-family homes, and sign programs and permits. Review and approval is as follows:

a. Staff-Level Approvals.

Minor architectural applications which are acted upon by the director of planning services, or designee, shall include repaints, reroofs, walls, fences, entry features, signs, sign programs landscaping plans, minor grading plans, exterior lighting plans, and additions which do not increase existing floor area by forty percent (40%) for single-family residential and twenty-five percent (25%) for all other development subject to this section. The director of planning services may consult with the planning commission architectural advisory committee in review of minor architectural applications, or refer the entire matter to the planning commission for review and action. The Commission shall receive the matter at its next regularly scheduled meeting and act within 30 days.

**Zoning Code Section 92.21.1.00: “ESA-SP” Environmentally Sensitive Area Specific Plan Zone**

**Section 92.21.1.05: Design Standards**

A. Environmental Analysis.

Concurrent with the submission of any proposed project application for a specific plan, tentative map or building permit application, an environmental analysis shall be prepared and submitted to the city. The analysis shall include a map and text which identify all major and minor environmental conditions on the subject site and major environmental conditions in the surrounding area, including lands within five hundred (500) feet of the site, with the surrounding area subject to final determination by the director of planning services. At a minimum, the analysis shall identify and describe the following subjects:

3. Topographic conditions.

A plan for the removal or other treatment of boulders shall be prepared as part of the specific plan and evaluated in the associated environmental impact report.

The analysis provides the basis for project site planning, and the applicant shall design and locate proposed development to minimize impacts on environmental conditions.

D. Mandatory Standards.

The following standards shall apply to all development in environmentally sensitive areas and shall not be modified by any specific plan.

1. Mass grading to create large, single-level flat pads is prohibited.

2. Pad heights are not significantly raised beyond the natural topography. Any pad height more than two (2) feet above natural topography may be deemed significant.

## **Palm Springs Municipal Code: Grading Requirements (Excerpts)**

### **Municipal Code Chapter 8.70: Stormwater Management and Discharge Controls**

#### **8.70.100 On-Site Stormwater Retention.**

- (a) When required by the City Engineer, the applicant shall submit hydrology and hydraulic calculations, and drainage area maps to the City, to determine the quantity of stormwater runoff generated by a site or tributary to it, as well as its effects on the site, and to upstream or downstream properties. Erosion and sediment transfer studies, and other supporting data may be required as determined by the City Engineer.
- (b) Limits of inundation on the subject property during condition of specified storm frequencies may be required to be delineated on the grading plan, along with the submittal of supporting calculations.
- (e) The civil engineer or design professional responsible for preparation of the plans shall certify that the building pads to be created through any proposed grading are free from inundation from stormwater runoff from the project storm, and to provide floodplain elevations and widths, sheet flow depths, floodway elevation and widths (in accordance with the Palm Springs Municipal Code Chapter 8.68 for Flood Damage Prevention), and any other data required by the City Engineer, or by any applicable county, state, or federal flood protection or insurance program or requirement.

### **Municipal Code Title 9: Subdivision of Land**

#### **9.60.050 Off-site improvements.**

For hillside areas, off-site improvements such as street design, width, radii, curbs, gutters, sidewalks, etc., shall be as required in the specific plans for each area and the general standards may be modified to adjust to specific topographic conditions.

#### **9.63.070 Tentative maps—Form and content.**

The following shall be required for tentative maps submitted to the city:

- (6) The existing topography of the land proposed to be divided with appropriate cross-sections. Topography of adjacent land shall also be shown whenever the surface features of such land affect the design and/or improvements of the proposed division;
- (7) Conceptual tentative grading and drainage plan, indicating drainage problems and possible solutions;



# ATTACHMENT #2

# TENTATIVE TRACT 36738 CITY OF PALM SPRINGS

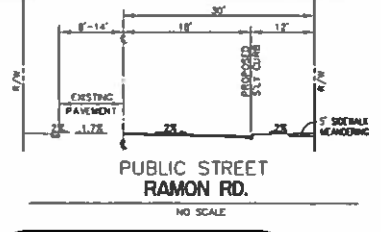
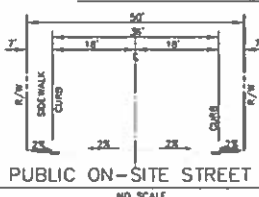
## GENERAL NOTES

- EXISTING LAND USE: VACANT
- PROPOSED LAND USE: RESIDENTIAL
- EXISTING ZONING: R1C
- WATER SERVICE PROVIDED BY: DESERT WATER  
1220 S. GENE AUBRY TRAIL, PALM SPRINGS, CA 92263  
760-323-4871
- ELECTRIC SERVICE PROVIDED BY: SOUTHERN CALIFORNIA  
EDISON COMPANY 800-890-7788
- SEWER SERVICE PROVIDED BY: CITY OF PALM SPRINGS  
3300 East Tahquitz Canyon Way, Palm Springs, California 92262  
(760) 333-8279
- NATURAL GAS SERVICE PROVIDED BY: THE GAS COMPANY 800-427-2200
- TELEPHONE - Verizon California, Inc. 800-483-5000
- CABLE - Time Warner Cable 760-340-1312
- LAND IS LOCATED ZONE "R" PER FRM MAP #080237 0000

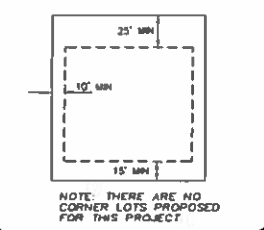
## TOPOGRAPHIC SURVEY



## STREET SECTIONS



## TYPICAL LOT SETBACKS



NOTE: THERE ARE NO CORNER LOTS PROPOSED FOR THIS PROJECT

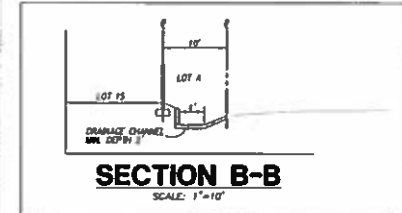
## LEGAL DESCRIPTION

PARCEL 1: THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT OF THE SURVEY OF SAID LAND ON FILE IN THE BUREAU OF LAND MANAGEMENT, APRIL 21-27-03-4

PARCEL 2: THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT OF THE SURVEY OF SAID LAND ON FILE IN THE BUREAU OF LAND MANAGEMENT, APRIL 21-27-03-4

PARCEL 3: THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT OF THE SURVEY OF SAID LAND ON FILE IN THE BUREAU OF LAND MANAGEMENT, APRIL 21-27-03-4

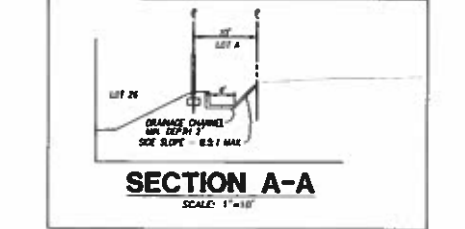
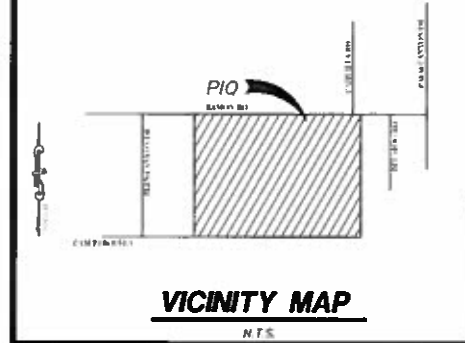
PARCEL 4: THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT OF THE SURVEY OF SAID LAND ON FILE IN THE BUREAU OF LAND MANAGEMENT, APRIL 21-27-03-4



### LOT AREA SUMMARY

LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA
1	15600	14	14214	26	16641	38	15605
2	15600	15	16041	27	14814	39	15605
3	15600	16	17241	28	15600	40	15605
4	17214	17	15414	29	15600	A	652.39
5	19031	18	16200	30	15600	B	5194
6	17231	19	16200	31	15600	C	5255
7	15421	20	18200	32	15600	D	5313
8	16200	21	15000	33	15600	E	2682
9	16200	22	15000	34	14814	F	29491
10	16200	23	15000	35	16841	G	29491
11	15000	24	14714	36	16636	H	29491
12	15000	25	16041	37	14826	I	29491
13	15000					J	45744

LOTS 1-40: RESIDENTIAL LOTS; LOT A: DRAINAGE/RETENTION  
LOT A, DRAINAGE/RETENTION; LOTS F-I: PUBLIC STREETS



### STATEMENT OF OWNERSHIP

I HEREBY CERTIFY THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT THE OWNERS OF RECORD HAVE KNOWLEDGE OF AND CONSENTS TO THE FILING OF THIS MAP.

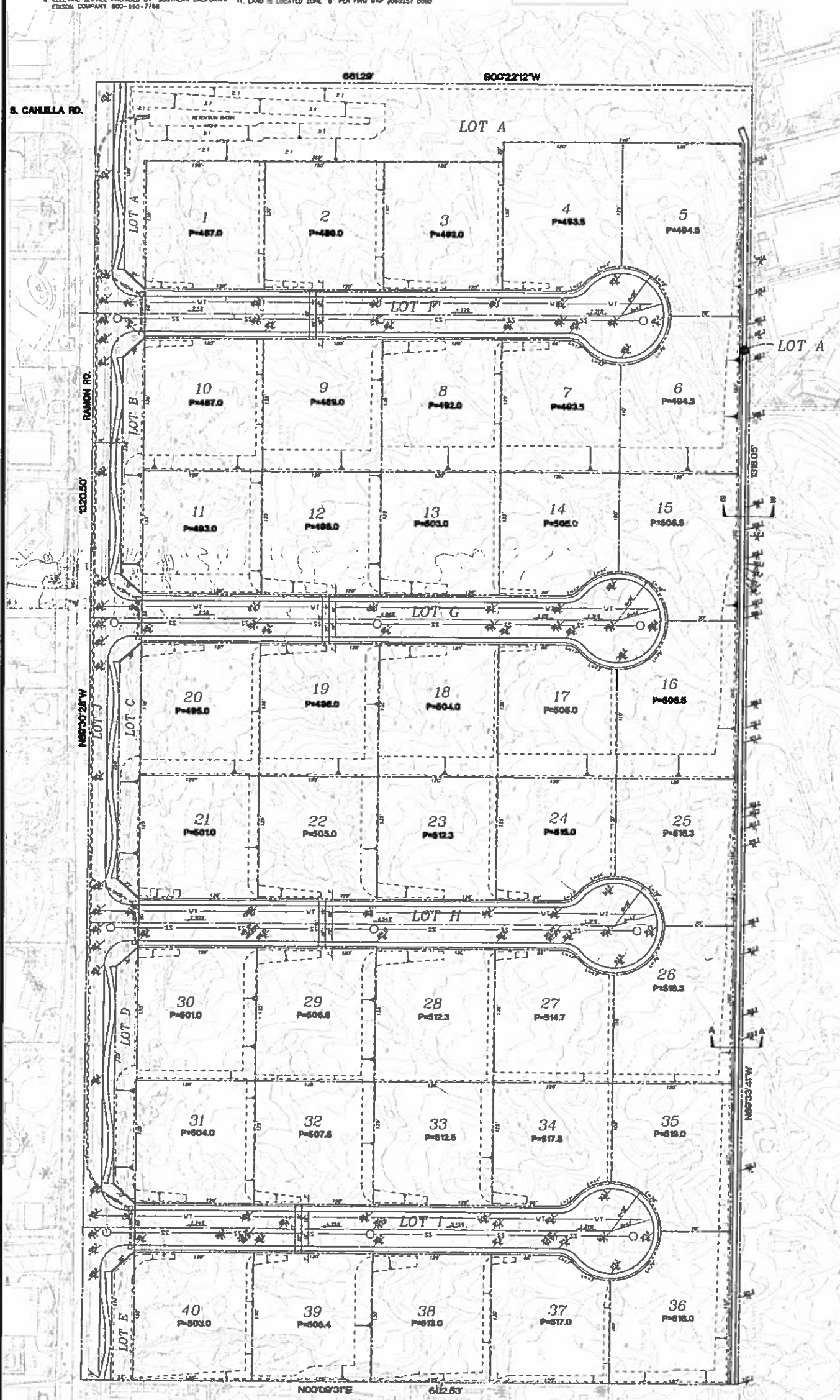
FRED CORNWELL RCE 45068 DATE \_\_\_\_\_



PREPARED FOR:  
**WOODBRIDGE PACIFIC GROUP**  
27285 LAS RAMBLAS, STE. 230  
MISSION VIEJO, CALIF. 92691  
(949) 348-8182

PREPARED BY:  
**CA ENGINEERING, INC.**  
Professional Engineers and Surveyors  
1000 N. GARDEN ST., SUITE 200  
PALM SPRINGS, CALIF. 92262  
909-788-8888 FAX 909-788-8888

Map No. 267-6  
SHEET NO. 1  
OF 1 SHEETS



Director Fagg commented that before the Commission is consideration for a tentative map and one of the things they do not want to get into is a specific development plan for the second parcel. The question is does the remainder parcel remain developable? Staff agrees there are a number of options in how this parcel could be developed.

Commissioner Weremiuk withdrew her motion.

Commissioner Calderine said he supports the motion and likes the houses along Sunny Dunes; however, is concerned that the remainder parcel will not have access on Sunny Dunes. He mentioned the commercial parcel immediately to the north has two access points and to the south there are a series of driveways on Sunny Dunes. He does not agree that it is feasible to restrict access on Sunrise Way.

Commissioner Roberts asked staff if access would be granted to the vacant parcel from Sunrise Way and not land lock the lot.

Assistant Director of Engineering Khamphou responded that access would be granted after a traffic analysis has been conducted.

Commissioner Middleton said she supports the project and noted that the developer has built good homes on Sunny Dunes. She noted that the parcel before the Commission is going to conform to the surrounding residential properties and there is nothing dependent on not approving this project. She said that the remaining parcel is a very challenging property to develop and will be interested to see what it will be.

Commissioner Weremiuk questioned about incorporating sustainable features to the project. The applicant responded said that all the homes will include solar systems, desert scape with water controllers and Astro turf in the backyard and additional efficiency features that will be incorporated into the homes.

**ACTION:** Approve as submitted.

**Motion:** Commissioner Lowe, seconded by Commissioner Weremiuk and unanimously carried 6-0-1 on a roll call vote.

**AYES:** Commissioner Calderine, Commissioner Lowe, Commissioner Middleton, Commissioner Roberts, Commissioner Weremiuk, Vice-Chair Klatchko

**ABSENT:** Chair Hudson

**3B. SIERRA OAKS PARTNERS, LLC, FOR A TENTATIVE TRACT MAP TO SUBDIVIDE AN APPROXIMATELY 20-ACRE VACANT PARCEL INTO 40 SINGLE-FAMILY RESIDENTIAL LOTS AND 10 LETTERED LOCATED AT 655 WEST RAMON ROAD, ZONE R-1-C (CASE TTM 36738). (ER)**

Principal Planner Robertson provided background information and presented the proposed project as outlined in the staff report.

The Commission asked technical questions pertaining to the density, access points on Ramon Road and approval process.

Vice-Chair Klatchko opened the public hearing:

TODD CUNNINGHAM, applicant, Woodbridge Pacific Group, president, emphasized that this project is consistent with the general plan and zoning code; and spoke about the input they've received from the neighborhood association, focus groups and neighborhood meetings. He provided details pertaining to elimination of the long walls, enhancing walkability and connectivity to downtown, pedestrian circulation, large lots, high-quality architecture, preservation of views and landscaping on Ramon Road.

JOHN GIANDELONE, resides at the Canyons, said he is not in opposition to development; however, expressed concern with the remaining undeveloped land (south area of the proposed development); problems in this area with homeless encampments and lack of access for police and fire.

RON HALLERAN, resides at the Canyons, spoke about this plan eliminating the common area around the canyons providing a buffer. He expressed concern with the height, noise, dust and location of rock crushers.

KENNETH FALCON, resides to the west of proposed development, questioned the height of the existing story poles at the site.

JIM HARLAN, resides in the Historic Tennis Club area, said that these homes will be lovely but they have no context with the long walls and urged the Commission to approve a conceptual project.

FRANK TYSON, Historic Club Tennis Club Neighborhood Organization, chair, thanked the developer for reaching out to the community and requested correction on the height of the story poles.

TODD CUNNINGHAM, applicant rebuttal, addressed public testimony concerns relating to the access points, surrounding gated communities, timeline of development, height of the story poles and buffer for the canyon homes.

There being no further appearances the public hearing was closed.

Commissioner Calderine commented and/or asked questions regarding:

- The vertical elevation on the meandering sidewalk; (constant rise)

- The treatment for the retention basin (on the east end of the property). (Open space maintained by the HOA and landscaped per City requirements.)
- Requested a basin plan to come back for Commission review;
- Access to the south acreage to the south and suggested an easement and/or pedestrian access provided between the two sites.

Commissioner Roberts asked questions and/or commented on the following:

- Do the current story poles reflect the actual height? (yes)
- Suggested exporting the rocks for off-site crushing. (mitigation measures prohibit rock crushing on-site)

Commissioner Middleton spoke in favor of the motion noting that this is a very attractive project and commended the applicant in reaching out to the neighborhood. She suggested more shade trees and less palm trees and suggested a dog park if there is space (towards the east side).

Commissioner Roberts disagreed about the dog park since this not a PDD or a gated community and people can get out and walk their dogs.

Commissioner Weremiuk asked for a condition for the retention basin to come back for the Commission's review (encouraged pedestrian connection); and supports Commissioner Middleton's request to add more shade trees rather than palm trees.

Commissioner Calderine said he thinks it's a very inventive project and particularly appreciates the front-yard, backyard rotation of the mountain views.

**ACTION:** To re-adopt the Mitigated Negative Declaration and recommend approval to the City Council with the added conditions:

1. Pedestrian access point on one of the streets to the property to the south.
2. Submit landscape plans for a retention basin.
3. Incorporate more shade trees in the landscape plan.

**Motion:** Commissioner Roberts, seconded by Commissioner Lowe and unanimously carried 6-0-1 on a roll call vote.

**AYES:** Commissioner Calderine, Commissioner Lowe, Commissioner Middleton, Commissioner Roberts, Commissioner Weremiuk, Vice-Chair Klatchko

**ABSENT:** Chair Hudson

#### **PLANNING COMMISSION REPORTS, REQUESTS AND COMMENTS:**

The Commission commented on the following items:

p.m., and City Attorney Holland requested the City Council consider adding an item to the Closed Session Agenda, pursuant to Cal. Gov. Code Section 54956.9(a) Existing Litigation titled *People for Proper Planning v. City of Palm Springs*, Riverside Superior Court Case, Palm Springs Division, Case No. PSC1301691, and stated he has received information regarding the case after the posting of the Agenda, and there is an immediate need to hear and/or take action.

CITY  
COUNCIL  
MINUTES  
11/19/14

**ACTION:** 1) Find the matter came to the attention of the City after the posting of the agenda and there is an immediate need to hear and/or take action; and 2) Add to the Closed Session Agenda, pursuant to Cal. Gov. Code Section 54956.9(a) existing litigation titled *People for Proper Planning v. City of Palm Springs*, Riverside Superior Court Case, Palm Springs Division, Case No. PSC1301691. Motion Councilmember Foat, seconded by Councilmember Lewin and unanimously carried (4-0) noting the absence of Mayor Pougnet.

The City Council recessed to Closed Session to discuss items on the Closed Session Agenda.

City Attorney Holland reported the City Council provided direction to Staff, but otherwise no reportable actions were taken.

#### **ACCEPTANCE OF THE AGENDA:**

Mayor Pougnet noted his abstention on Consent Calendar Item 2.S.

City Clerk Thompson stated Staff is requesting Item 2.H., Item 2.L. and Item 3.A. be withdrawn from the Agenda.

Councilmember Mills requested Item 2.P. be removed from the Consent Calendar for separate discussion.

**ACTION:** Accept the Agenda as amended. Motion Councilmember Lewin, seconded by Councilmember Mills and unanimously carried on a roll call vote.

#### **1. PUBLIC HEARINGS:**

- 1.A. TENTATIVE TRACT MAP TO SIERRA OAKS PARTNERS, LLC, TO SUBDIVIDE AN APPROXIMATE 20-ACRE VACANT PARCEL INTO 40 SINGLE-FAMILY RESIDENTIAL LOTS AND 10 LETTERED LOTS LOCATED AT 655 WEST RAMON ROAD AND CEQA MITIGATED NEGATIVE DECLARATION (CASE TTM 36738):**

Item 1A Staff Report

Flinn Fagg, Director of Planning Services, provided background information as outlined in the Staff Report dated

November 19, 2014.

Mayor Pougnet opened the public hearing, and the following speakers addressed the City Council.

TODD CUNNINGHAM, Applicant, provided information on the project as outlined in the written materials provided by the Applicant to the City Council.

FRANK TYSEN, Tennis Club Neighborhood Organization, provided positive comments regarding the developer and the outreach to the Neighborhood Organization, and requested the City Council approve the project.

TODD CUNNINGHAM, Applicant, continued his presentation of the project as outlined in the written documents provided to the City Council.

No further speakers coming forward, the public hearing was closed.

Councilmember Mills questioned Staff if the property was classified as a hillside lot, questioned the slope of the property, if the Applicant is required to submit for AAC the full architecture, walls and landscape plans, commented on the street width, the landscape plan and plant material, requested the Applicant address the retention area, commented on the grading and the final look with the different pad heights, and requested the final project be returned to the City Council for approval.

Councilmember Foat stated her support of the project, recommended the street width remain, requested some breaks from asphalt streets.

Councilmember Lewin stated support of the project and is in keeping with the style of development of Palm Springs, and complemented the Applicant for the increased landscaping.

Mayor Pro Tem Hutcheson stated his support for the development and the extensive public outreach.

Councilmember Mills requested Staff address the elevation plan, the amount of concrete at the end of the cul-d-sacs, and requested the grading plan be returned to the City Council.

Discussion was held regarding adding a condition of approval requiring all final plans be returned to the City Council.

**ACTION:** Adopt Resolution No. 23705, "A RESOLUTION OF

THE CITY COUNCIL OF THE CITY OF PALM SPRINGS, CALIFORNIA, READOPTING A MITIGATED NEGATIVE DECLARATION AND APPROVING TENTATIVE TRACT MAP 36738 FOR THE CREATION OF A 40-LOT SUBDIVISION ON APPROXIMATELY 20 ACRES OF VACANT LAND ALONG THE SOUTH SIDE OF RAMON ROAD ABOUT 275 FEET WEST OF BELARDO ROAD, ZONE R-1-C, SECTION 22 (TTM 36738)," amending the conditions of approval to require all final plans be returned to the City Council for final approval. **Motion Councilmember Foat, seconded by Mayor Pro Tem Hutcheson and unanimously carried on a roll call vote.**

**1.B. APPROVE A HOTEL OPERATIONS COVENANT AGREEMENT WITH PALM SPRINGS PROMENADE, LLC FOR A 155-ROOM KIMPTON HOTEL AT THE NORTHEAST CORNER OF TAHQUITZ CANYON WAY AND BELARDO ROAD PURSUANT TO THE CITY'S HOTEL OPERATIONS INCENTIVE PROGRAM:**

Item 1B Staff Report

Item 1B Hotel Operations Covenant Agreement

John Raymond, Director of Community and Economic Development, provided background information as outlined in the Staff Report dated November 18, 2014.

Mayor Pougnet opened the public hearing, and the following speakers addressed the City Council.

JUDY DEERTRACK, Palm Springs, commented on the Downtown Revitalization Project, and stated her concerns regarding the agreement, and requested a balance explanation of the financing of the project.

FRANK TYSEN requested the City Council review and rewrite the hotel TOT rebate incentive program and stated the ordinance discriminates against small hotels.

CRAIG FLAU, Palm Springs, commented on the potential cost of the incentive rebate, questioned the criteria of the incentive, and commented on neighboring cities' hotel incentive programs.

No further speakers coming forward, the public hearing was closed.



# ATTACHMENT #3

**GENERAL NOTES**

1. THE WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF PALM SPRINGS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN EFFECTIVE MEANS OF DUST CONTROL WHICH SHALL INCLUDE PROVISIONS FOR ADEQUATE WATERING DURING THE GRADING PROCESS AND PROVISIONS FOR CONTINUANCE OF DUST CONTROL UNTIL THE GRADED SURFACE PRESENTS SUFFICIENT COVER AGAINST WIND OR WATER EROSION, SO THAT SPECIAL DUST CONTROL MEASURES ARE NO LONGER NECESSARY.
3. NOTHING IN THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM OBTAINING PERMITS AS REQUIRED BY CHAPTER 14.16 OF THE CITY OF PALM SPRINGS MUNICIPAL CODE.
4. THE CONTRACTOR SHALL SET AN APPOINTMENT FOR INSPECTION WITH THE ENGINEERING INSPECTOR A MINIMUM OF 24 HOURS PRIOR TO THE DATE OF INSPECTION.
5. ALL GRADING SHALL COMPLY WITH SECTION 1804 AND APPENDIX J OF THE 2010 CALIFORNIA BUILDING CODE.
6. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE TO BE SHOWN IN A SCHEMATIC MANNER ONLY. SUBJECT TO THE PROVISIONS OF SECTION 4213 OF THE CALIFORNIA GOVERNMENT CODE, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING THE WORK. CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-277-2600 TWO WORKING DAYS PRIOR TO ANY EXCAVATION.
7. DIMENSIONING TO CURBS SHALL BE TO FACE OF CURB.
8. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS OFF-SITE DAILY, UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER.
9. CONTRACTOR SHALL REMOVE ANY ABANDONED UTILITY FACILITIES AND SHOW LIMITS OF REMOVALS ON THE RECORD DRAWINGS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, REPLACEMENT OR RELOCATION OF ALL REGULATORY, WARNING, AND GUIDE SIGNS.
11. A "RECORD DRAWING" (FORMERLY CALLED "AS-BUILT" DRAWING) OF THIS PLAN SHALL BE SUBMITTED BY THE PROJECT ENGINEER OF RECORD TO THE CITY ENGINEER, FOR APPROVAL PRIOR TO ACCEPTANCE OF THE WORK.
12. CONSTRUCTION SIGNING, LIGHTING AND BARRICAADING SHALL BE PROVIDED ON ALL PROJECTS AS REQUIRED BY CITY STANDARDS OR AS DIRECTED BY THE CITY ENGINEER. AS A MINIMUM, ALL CONSTRUCTION SIGNING, LIGHTING AND BARRICAADING SHALL BE IN ACCORDANCE WITH PART 6 TEMPORARY TRAFFIC CONTROL OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, DATED JANUARY 15, 2012, OR SUBSEQUENT EDITIONS IN FORCE AT THE TIME OF CONSTRUCTION.
13. THE FLOW LINE OF ALL CURBS AND GUTTERS AND CROSS GUTTERS SHALL BE WATER TESTED BEFORE ACCEPTANCE OF THE WORK.
14. PARKING STALLS SHALL BE CLEARLY DELINEATED WITH A 4 TO 6 INCH STRIPE "HARPIN" OR ELONGATED "U" DESIGN OR OTHER APPROVED STRIPING OR STALL DELINEATION.
15. FINAL SITE GRADING AND DRAINAGE FLOW LINES SHALL BE CERTIFIED, IN WRITING, BY THE ENGINEER OF RECORD TO BE IN CONFORMANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL INSPECTION.
16. FOR PROJECTS IN EXCESS OF 1 ACRE, A NOTICE OF INTENT TO COMPLY WITH CALIFORNIA GENERAL CONSTRUCTION STORMWATER PERMIT (WATER QUALITY ORDER 9009-0009-DND AS AMENDED SEPTEMBER 2, 2009, AS WELL AS A COPY OF THE EXECUTED LETTER ISSUING A WASTE DISCHARGE IDENTIFICATION (WDI) NUMBER, IS REQUIRED PRIOR TO ISSUANCE OF GRADING OR BUILDING PERMIT. VIA THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (PHONE NO. 714-344-7491). A UPDATED COPY OF THE PROJECT-SPECIFIC STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST BE KEPT AT THE PROJECT SITE AT ALL TIMES.
17. A CITY APPROVED FUGITIVE DUST (PM-10) CONTROL PLAN IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT. ALL DUST CONTROL MEASURES DESCRIBED IN AQMD RULE 403 (BEST AVAILABLE CONTROL MEASURES) AND IN THE CITY-APPROVED FUGITIVE DUST CONTROL PLAN SHALL BE IMPLEMENTED AT ALL TIMES. A WIND FENCE AND PROPER SIGNAGE SHALL BE ERRECTED, INSPECTED AND APPROVED BY THE CITY'S DUST CONTROL INSPECTOR PRIOR TO INITIATION OF CLEARING, GRUBBING, GRADING OR IMPORT/EXPORT OF SOIL, OR FILL MATERIAL AT THE SITE. FAILURE TO CALL 780-523-6853 EXTENSION 8740 FOR INSPECTION 72 HOURS PRIOR TO INITIATING WORK WILL RESULT IN ISSUANCE OF CITATION BY THE CITY.
18. THE BLOCK WALLS, RETAINING WALLS, AND OTHER STRUCTURES SHOWN ON THE GRADING PLAN ARE FOR LOCATION PURPOSES ONLY. SEPARATE PERMITS FOR THE ABOVE ARE REQUIRED FROM THE BUILDING DEPARTMENT.
19. ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT (WITH THE DATE OF THE REPORT SPECIFIED ON THE GRADING PLAN) PREPARED BY A CALIFORNIA REGISTERED GEOTECHNICAL ENGINEER, SHALL BE COMPLIED WITH.

**FUGITIVE DUST CONTROL IMPORTANT NOTICE**

THE GRADING AS PROPOSED ON THIS PLAN SHALL BE DONE IN ACCORDANCE WITH A "WIND FENCE" FUGITIVE DUST CONTROL PLAN.

SECTION 4213(1) OF THE GOVERNMENT CODE REQUIRES A QUALIFIED IDENTIFICATION NUMBER BE ISSUED BEFORE A "WIND FENCE" WILL BE VALID FOR YOUR QUALITY CONTROL. CALL UNDERGROUND SERVICE ALERT (U.S.A.) FREE 1-800-277-2600 TWO WORKING DAYS BEFORE YOU BEGIN.

**LEGAL DESCRIPTION**

PARCEL 1: THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT OF THE SURVEY OF SAID LAND ON FILE IN THE BUREAU OF LAND MANAGEMENT, APRIL 21-27-01-3-8.

PARCEL 2: THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT OF THE SURVEY OF SAID LAND ON FILE IN THE BUREAU OF LAND MANAGEMENT, APRIL 21-27-01-3-7.

PARCEL 3: THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT OF THE SURVEY OF SAID LAND ON FILE IN THE BUREAU OF LAND MANAGEMENT, APRIL 21-27-01-3-8.

PARCEL 4: THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 4 SOUTH, RANGE 4 EAST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT OF THE SURVEY OF SAID LAND ON FILE IN THE BUREAU OF LAND MANAGEMENT, APRIL 21-27-01-3-7.

**SOILS ENGINEER**  
**LANDMARK CONSULTANTS INC.**  
 77-948 WILDCAT DRIVE  
 PALM DESERT, CA 92211  
 (760) 360-0845  
 REPORT # LP06044 DATED: FEBRUARY 2006

**BASIS OF BEARINGS:**  
 BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF THE RAMON ROAD, BEING BEING 1185' 30" 216' W PER RECORD OF SURVEY ON FILE IN BOOK 77, PAGES 1-3 OF R.C.S., RECORDS OF SAN BERNARDINO COUNTY, CA.



NOTE: ALL UTILITY TRENCHES OR OTHER EXCAVATIONS WITHIN EXISTING ASPHALT CONCRETE PAVEMENT OF OPEN STREETS REQUIRED BY THE PROPOSED DEVELOPMENT SHALL BE BACKFILLED AND REPAIRED IN ACCORDANCE WITH CITY OF PALM SPRINGS STANDARD DRAWING NO. 115.

NO.	REVISED	DATE	BY	CHKD.	DATE	BY	CHKD.

**PREPARED FOR:**  
**WOODBRIDGE PACIFIC GROUP**  
 27285 LAS RAMBLAS, STE. #230  
 MISSION VLG, CALIF. 92081  
 (949) 348-8182

**REQUIRED PERMITS:**  
 GRADING PERMIT  
 BUILDING PERMIT  
 PM - 10

**APPROVED BY:**  
 HAL/FC  
 DATE: 4/18/10

**CA ENGINEERING, INC.**  
 Planning • Engineering • Surveying  
 3003 DOW AVE. STE 102  
 TUSTIN, CA 92780  
 949-724-9480 949-724-9434 FAX

**ROUGH GRADING PLAN  
 FOR  
 TENTATIVE TRACT MAP NO. 36738**

**STREET PAVEMENT**  
 20. THE ASPHALT CONCRETE DESIGN SHALL MEET THE CITY OF PALM SPRINGS STD. DWG. NO. 110 AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION. USE TYPE B FOR THE BASE LIFT AND TYPE C2 FOR THE FINAL 1" CAP. THE DESIGN SHALL HAVE A HYEEM STABILITY OF 33 AND 33 RESPECTIVELY PER THE CALIFORNIA TEST METHOD 304 AND 368. PERFORMANCE GRADE ASPHALT (PG 70-10) MEETING THE 2010 CALTRANS STANDARD SPECIFICATIONS SHALL BE USED. THE SPECIFIED MISCELLANEOUS BASE SHALL BE CRUSHED MISCELLANEOUS BASE ACCORDING TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION.

**TRENCH PAVEMENT**  
 21. STREET CUTS SHALL BE PAVED WITH TEMPORARY A.C. PAVING IMMEDIATELY MAJOR AND SECONDARY THOROUGHFARES SHALL BE PERMANENTLY PAVED WITHIN 15 DAYS OF THE INITIAL EXCAVATION (30 DAYS ON COLLECTOR AND RESIDENTIAL STREETS) PER CITY OF PALM SPRINGS STD. DWG. NO. 115. SEE ORDINANCE NO. 14.16.373.

22. TRENCHES SHALL BE COMPLETELY BACKFILLED AND COMPACTED TO SUPPORT TRAFFIC AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL PLACE PERMANENT PAVEMENT THROUGH INTERSECTIONS AT THE END OF EACH WORK DAY. NO TRENCH EXCAVATION OR PIPE LAYING ON FRIDAYS, WEEKENDS OR HOLIDAYS WILL BE PERMITTED ON MAJOR AND SECONDARY THOROUGHFARES OR COLLECTOR STREETS WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER. CONTRACTOR SHALL PLACE PERMANENT PAVING EACH FRIDAY.

23. IF, IN THE OPINION OF THE CITY ENGINEER, THE TRENCH BACKFILL IS UNSAFE TO TRAFFIC, THE CONTRACTOR SHALL PLACE PERMANENT PAVING AT THE END OF EACH WORK DAY.

24. STEEL TRENCH PLATING SHALL CONFORM TO THE CALTRANS ENCROACHMENT PERMIT MANUAL SECTION 602.1 AS REVISED JULY, 2009.

25. THE SPECIFIED MISCELLANEOUS BASE SHALL BE CRUSHED MISCELLANEOUS BASE ACCORDING TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION.

**WOMP GENERAL NOTES**  
 26. EROSION CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IMPLEMENTED AND MAINTAINED TO MINIMIZE AND/OR PREVENT THE ENTRAINMENT OF SOIL IN RUNOFF FROM DISTURBED SOIL AREAS ON CONSTRUCTION SITES.

27. SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE TRANSPORT OF SOIL FROM THE CONSTRUCTION SITE.

28. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.

29. APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO ELIMINATE OR REDUCE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJACENT PROPERTIES BY WIND OR RUNOFF.

30. BMPs SHALL BE INSPECTED PRIOR TO PREDICTED STORM EVENTS AND FOLLOWING STORM EVENTS, AND SHALL BE PROPERLY MAINTAINED.

31. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS, ADJACENT ROADWAYS, CATCH BASINS, OR OTHER COMPONENTS OF THE LOCAL STORM DRAIN SYSTEM.

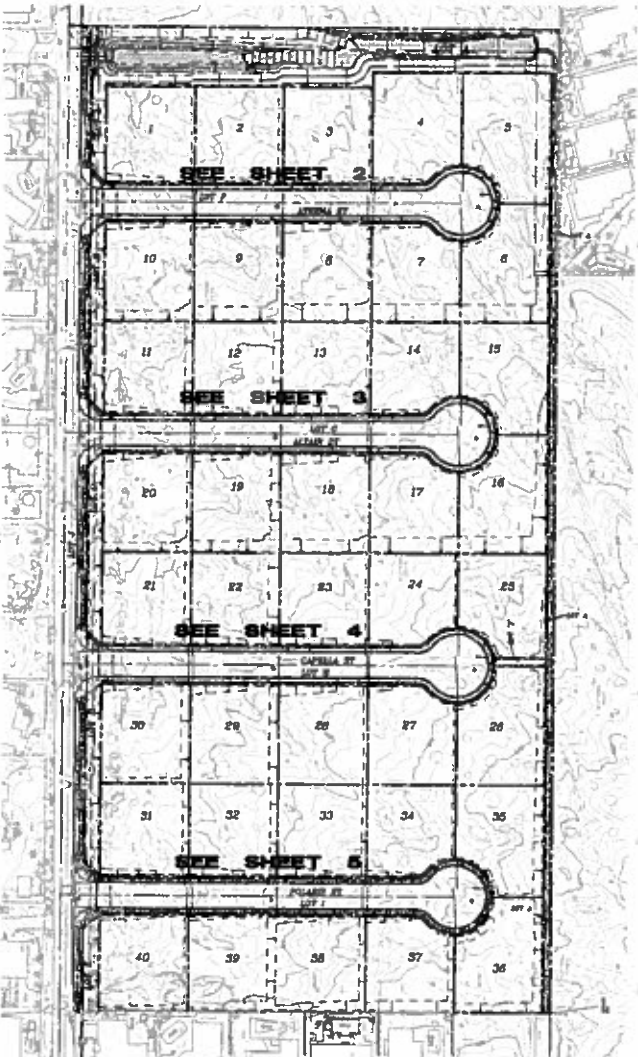
32. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.

33. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN COVERED TRASH OR RECYCLE BINS.

34. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OTHER THAN STORMWATER (I.E., NON-STORMWATER DISCHARGES) ARE PROHIBITED, EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT, THE GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY, OR THE GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM SMALL LINEAR UNDERGROUND/OVERHEAD PROJECTS. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS, WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DEGREASERS, GLUES, LINES, RESISTORS, HERMETICS, THERMISTERS, WOOD PRESERVATIVES, ASPHALT FLAKES, PAINT FLAKES OF STUCCO FRAGMENTS, FUELS, OILS, LUBRICANTS, AND HYDRAULIC FLUIDS; CONCRETE AND RELATED CUTTING OR CHIPPING RESIDUES; CONCRETE WASHOUT; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEWAXING; WASTES FROM STREET CLEANING; AND SUPER-SATURATED POTABLE WATER FROM FLOODING AND TESTING DURING CONSTRUCTION. DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.

35. DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES MAY REQUIRE A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR WASTE DISCHARGE REQUIREMENTS (WDRS) ISSUED BY THE COLORADO RIVER BASIN REGIONAL WATER QUALITY CONTROL BOARD.

36. CONSTRUCTION SITES SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREAS OF GRADING TO THE EXTENT FEASIBLE AND THE USE OF TEMPORARY AND PERMANENT SOIL STABILIZATION.



**UTILITY AGENCY CONTACT**

SEWER: THE CITY OF PALM SPRINGS (760) 325-8944 EXT. 44  
 WATER: WHITEWATER MUTUAL WATER DIST. (760) 325-5080  
 C/D DESERT WATER AGENCY  
 THE GAS COMPANY (760) 325-1851  
 ELECTRIC: SOUTHERN CALIFORNIA EDISON (760) 332-4281  
 TELEPHONE: VERIZON (760) 333-1521  
 CABLE TV: THE WARNER CABLE (760) 340-1312  
 USA: UNDERGROUND SERVICE ALERT (800) 277-2600

**EARTHWORK QUANTITIES**

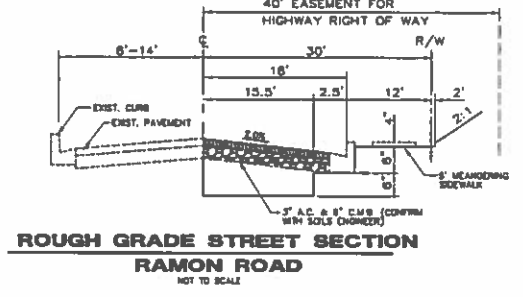
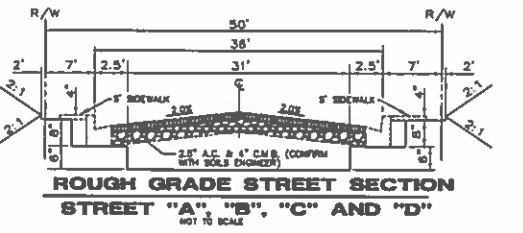
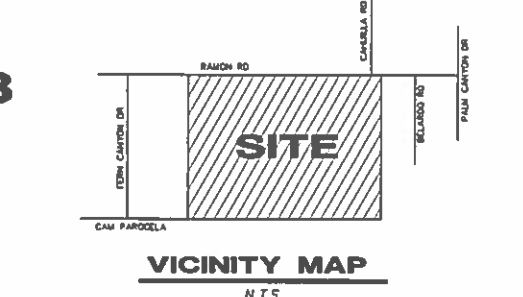
	CUT	FILL	7512 (C) Ord
MASS CUT OVER 1' (3" IN CUT - 41,000')	54,197	42,585	
SUBGRADE (ASSUME 10%)	41,000	41,000	
TOTAL	95,197	83,585	
SHORT		1,788	

**INDEX OF SHEETS**

SHEET	TITLE SHEET	DESCRIPTION
1	ROUGH GRADING PLAN (LOTS 1-10)	
2	ROUGH GRADING PLAN (LOTS 11-20)	
3	ROUGH GRADING PLAN (LOTS 21-30)	
4	ROUGH GRADING PLAN (LOTS 31-40)	
5	STORM DRAIN PLAN	

**ESTIMATE OF QUANTITIES**

NO.	DESCRIPTION	QUANTITY
1	CONSTRUCT DRAINAGE CHANNEL PER DETAIL ON SHEET 2	998 LF
2	CONSTRUCT REINFORCED DRAINAGE CHANNEL PER DETAIL ON SHEET 2	321 LF
30	CONST. CATCH BASIN NO. 1 PER R.C.F.C.D. STD. PLAN D9100 & LOCAL DEPRESSION NO. 2 PER R.C.F.C.D. STD. LD201 CASE B	8 EA
31	INSTALL 18" RCP (SEE PROFILE D-LOAD)	530 LF
32	INSTALL 24" RCP (SEE PROFILE D-LOAD)	611 LF
33	INSTALL 30" RCP (SEE PROFILE D-LOAD)	189.1 LF
34	CONST. MANHOLE NO. 1 PER R.C.F.C.D. STD. PLAN MH251	3 EA
35	CONST. CONC. FLARED END SECTION PER CALTRANS STD. PLAN D948 TYPE A	1 EA



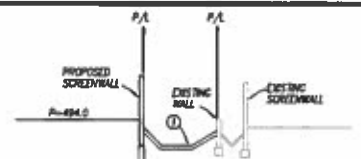
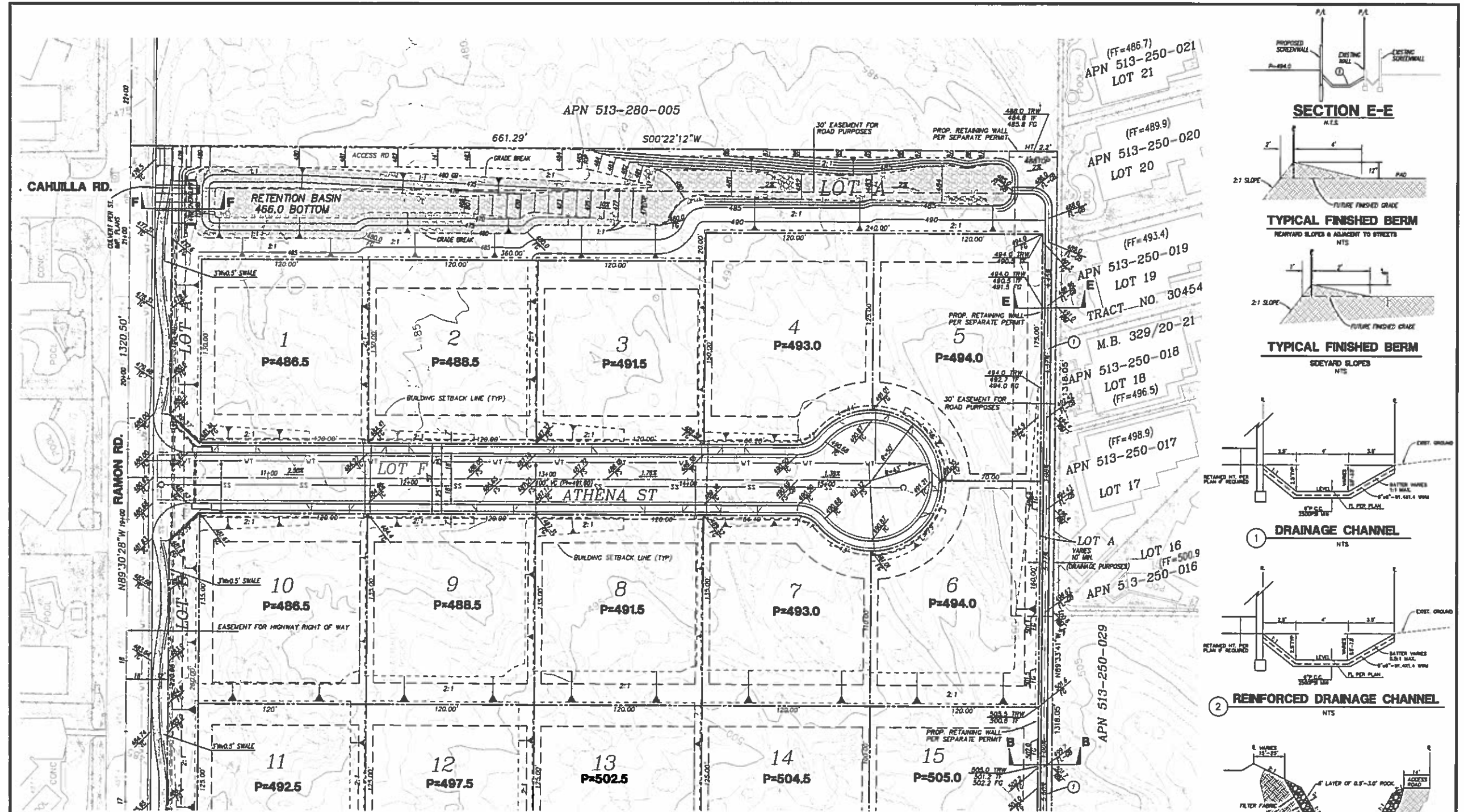
**LEGEND**

(Symbol)	BOUNDARY	(Symbol)	TO - TOP OF CURB
(Symbol)	PROP. STORM DRAIN	(Symbol)	FL - FLOW LINE
(Symbol)	2:1 SLOPE	(Symbol)	FS - FINISH SURFACE
(Symbol)	EX. CONTOUR	(Symbol)	HP - HIGH POINT
(Symbol)	PROPOSED FINISHED SURFACE/ GRADE CONTOUR	(Symbol)	LP - LOW POINT
(Symbol)	DEEMED FOOTING	(Symbol)	P - PAD ELEVATION
(Symbol)	SCREEN WALL	(Symbol)	FF - FINISH FLOOR ELEV
(Symbol)		(Symbol)	GB - GRADE BREAK
(Symbol)		(Symbol)	BVC - BECH VERT. CURVE
(Symbol)		(Symbol)	EVC - END VERT. CURVE
(Symbol)		(Symbol)	2% - RATE/FLOW
(Symbol)		(Symbol)	INV - INVERT ELEV.
(Symbol)		(Symbol)	SW - STEM WALL
(Symbol)		(Symbol)	DF - DEEMED FOOTING

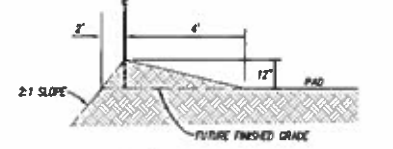
CITY OF PALM SPRINGS, CALIFORNIA  
 DIVISION OF PLANNING & COMMUNITY DEVELOPMENT  
**ROUGH GRADING PLAN**  
 TENTATIVE TRACT MAP NO. 36738

DATE: 4/18/10  
 SHEET: 1 OF 5

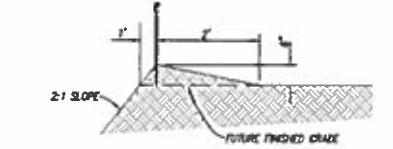
Printed on May 10 2010 - 4:29pm



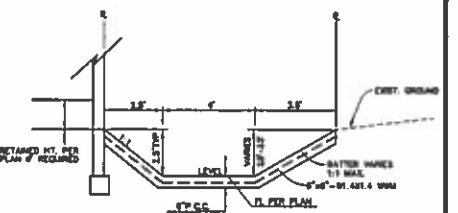
**SECTION E-E**  
N.T.S.



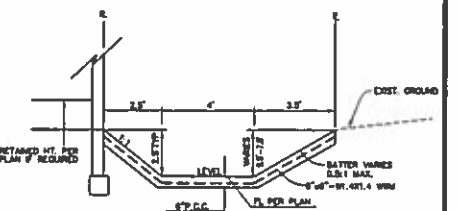
**TYPICAL FINISHED BERM**  
ROADWAY SLOPES & ADJACENT TO STREETS  
N.T.S.



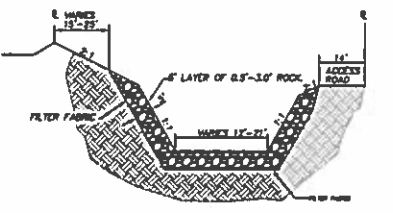
**TYPICAL FINISHED BERM**  
SIDEYARD SLOPES  
N.T.S.



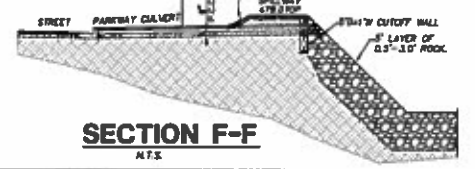
**DRAINAGE CHANNEL**  
N.T.S.



**REINFORCED DRAINAGE CHANNEL**  
N.T.S.

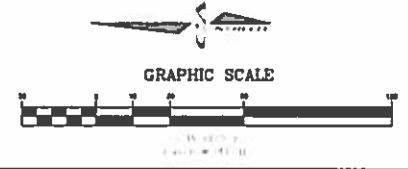


**TYPICAL RETENTION BASIN**  
N.T.S.



**SECTION F-F**  
N.T.S.

MATCH SHEET-SEE SHEET 3

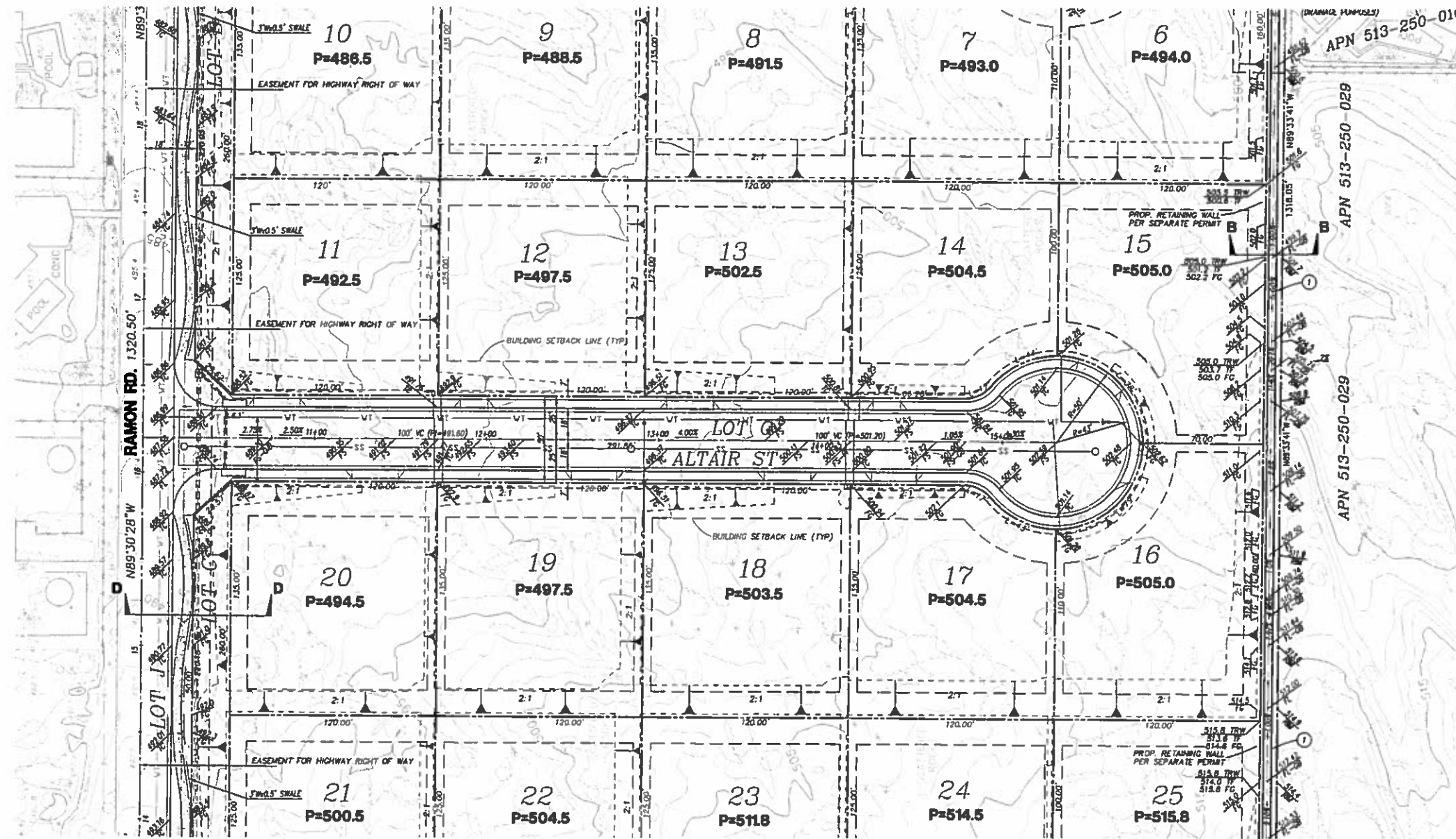


- CONSTRUCTION NOTES**
1. CONSTRUCT DRAINAGE CHANNEL PER DETAIL HEREDON.
  2. CONSTRUCT REINFORCED DRAINAGE CHANNEL PER DETAIL HEREDON.

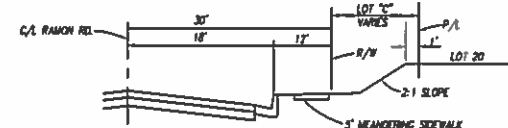
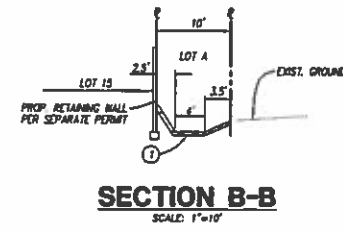


NO.	REVISION	APPROVED	DATE	SEARCH MAP	15-24	L.S.V.	478.258	PREPARED BY:	CA ENGINEERING, INC.	DESIGNED BY:	HAL/TC	NO. SHEETS:	1	PREPARED UNDER THE SUPERVISION OF:	APPROVED BY:	CITY OF PALM SPRINGS, CALIFORNIA	FILE NO.:	TM 36738	SHEET:	2	
				LOCATION:	CHASED BOX 10' OF THE W/W BOX AT RAMON RD. AND CAHULLA RD.				Planning • Engineering • Surveying		HAL						ROUGH GRADING PLAN				6
									3002 DOW AVE. STE 102		FC					TENTATIVE TRACT MAP NO. 36738					

MATCH SHEET-SEE SHEET 2

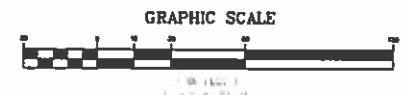


MATCH SHEET-SEE SHEET 4



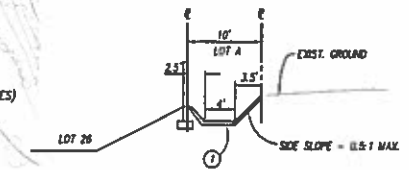
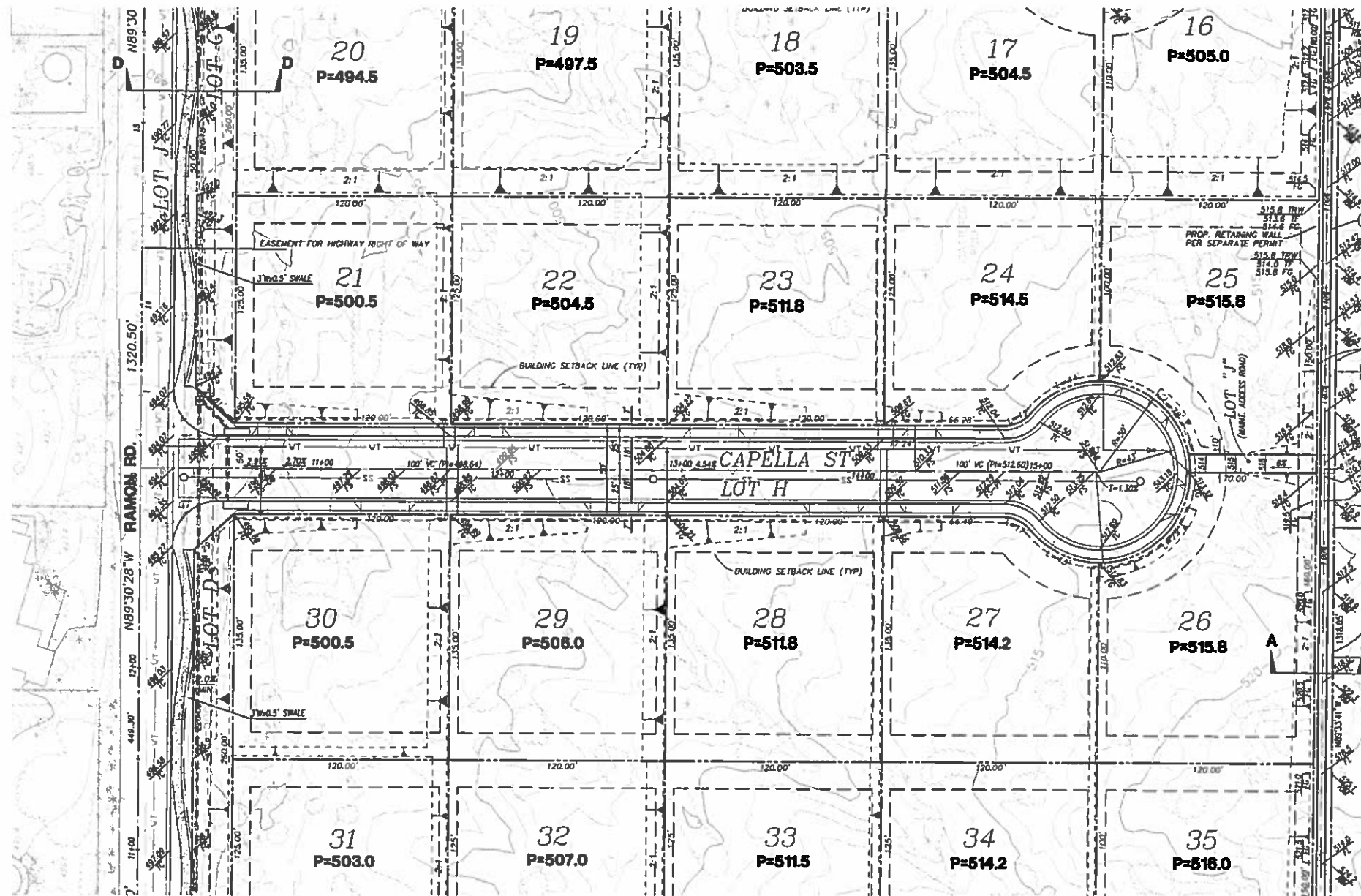
CONSTRUCTION NOTES

- 1. CONSTRUCT DRAINAGE CHANNEL PER DETAIL ON SHEET 2.
- 2. CONSTRUCT REINFORCED DRAINAGE CHANNEL PER DETAIL ON SHEET 2.



NO.	REVISED	APPROVED	DATE	SEARCH MAP	15-24	C.N.	478 258	PREPARED BY:	<b>CA ENGINEERING, INC.</b>	DESIGNED BY:	HAL/FC	REVIEWED BY:	HAL	DATE:	12/11/18	APPLICATED BY:	W. H. ...	CITY OF PALM SPRINGS, CALIFORNIA	FILE NO.:	TM 36738	SHEET:	3
LOCATION:								3003 DOW AVE., STE 102 TUSTIN, CA 92780 949-724-9480 949-724-9484 FAX								ROUGH GRADING PLAN TENTATIVE TRACT MAP NO. 36738						

MATCH SHEET-SEE SHEET 3



MATCH SHEET-SEE SHEET 5

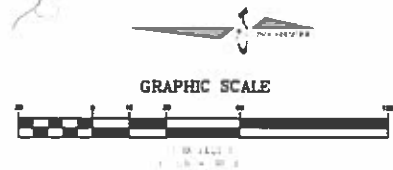
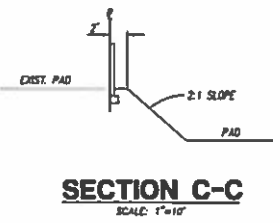
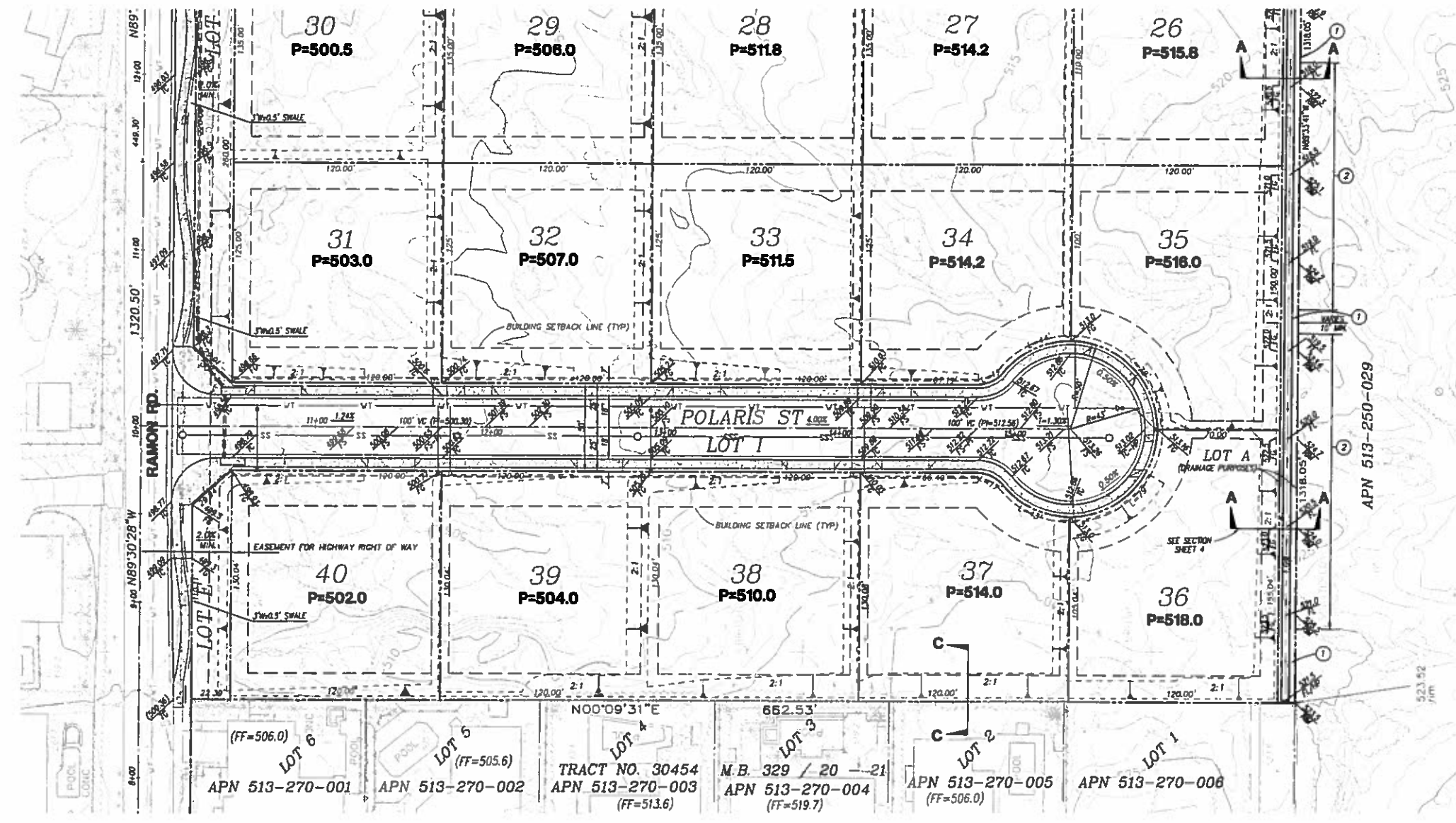
**CONSTRUCTION NOTES**

- ① - CONSTRUCT DRAINAGE CHANNEL PER DETAIL ON SHEET 2.
- ② - CONSTRUCT REINFORCED DRAINAGE CHANNEL PER DETAIL ON SHEET 2.



NO.	REVISION	APPROVED DATE	BATCH MARK	15-24	C.D.N.	478.256	PREPARED BY:	CA ENGINEERING, INC. Planning • Engineering • Surveying 3002 DOW AVE. STE 122 TUSTIN, CA 92780 949-724-9480 949-724-9484 FAX	DRAWN BY:	HAL/FC	REVIEWED BY:	JOHN W. BROWN	PREP. DATE:	12/31/14	APPROVED BY:	MARKUS F. LITVIN	CITY OF PALM SPRINGS, CALIFORNIA SECTION 10 TOWNSHIP 4 SOUTH RANGE 11 EAST <b>ROUGH GRADING PLAN</b> TENTATIVE TRACT MAP NO. 36738	FILE NO. TM 36738	SHEET 4
CHECKED BOX 10' OF THE N/W COR AT RAMON RD. AND CAPELLA RD.																			
GRAPHIC SCALE: 1" = 10'																			

MATCH SHEET-SEE SHEET 4

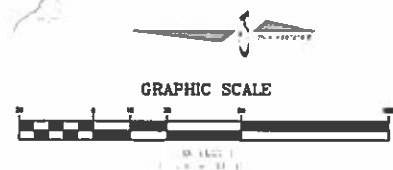
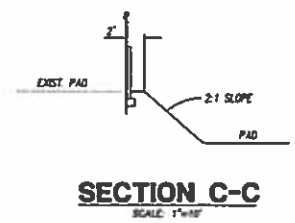
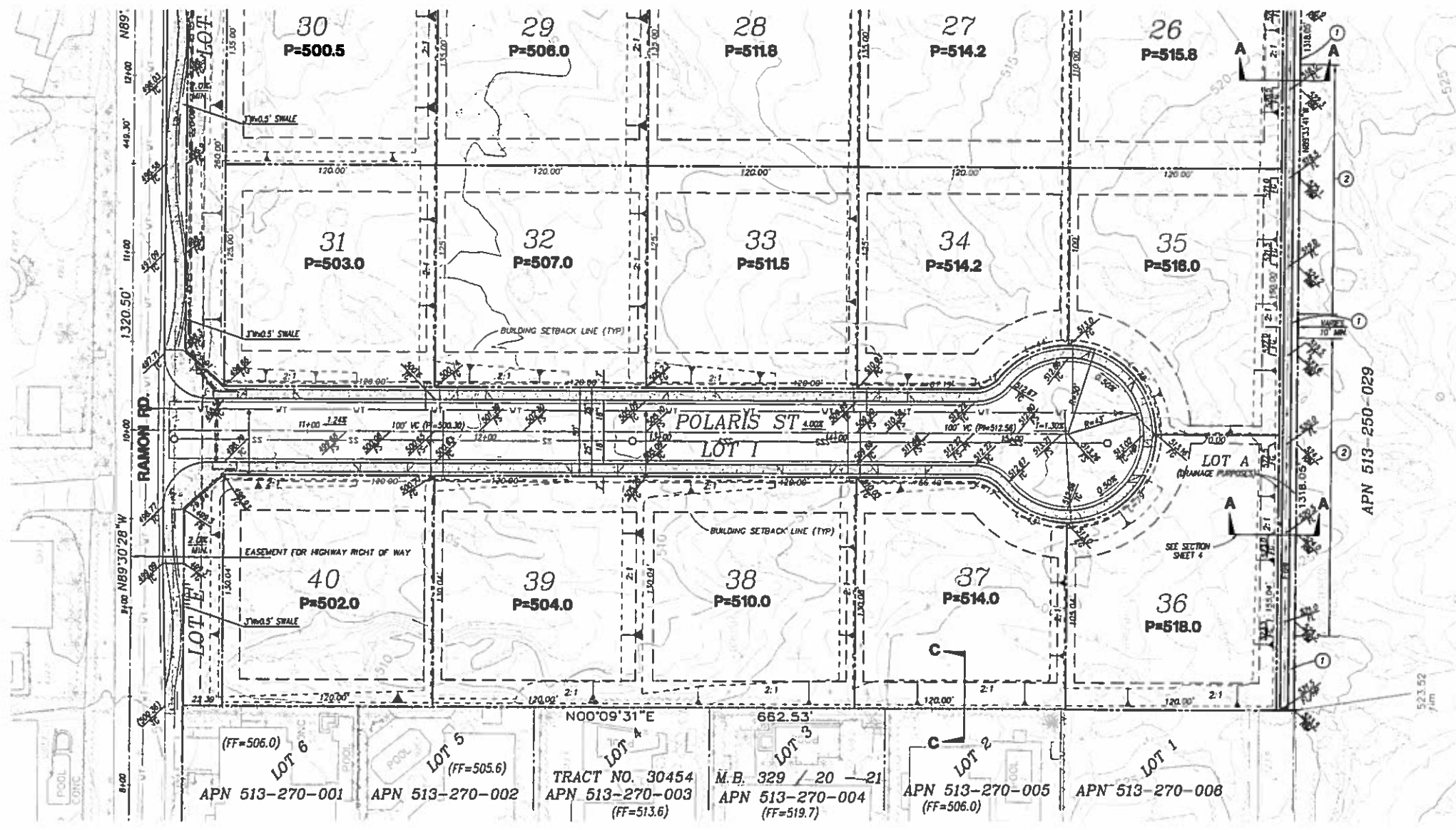


- CONSTRUCTION NOTES**
- ① - CONSTRUCT DRAINAGE CHANNEL PER DETAIL ON SHEET 2.
  - ② - CONSTRUCT REINFORCED DRAINAGE CHANNEL PER DETAIL ON SHEET 2.



NO.	APPROVED	DATE	BENCH MARK	15-24	ELEV.	478.258	PREPARED BY:	CA ENGINEERING, INC. Planning • Engineering • Surveying 3002 DOW AVE., STE 122 TUSTIN, CA 92780 949-724-9480 949-724-9484 FAX	DESIGNED BY:	REVISED BY:	PREPARED UNDER THE SUPERVISION OF:	APPROVED BY:	CITY OF PALM SPRINGS, CALIFORNIA SECTION 12 SOUTH PALM BLVD. TRACT ROUGH GRADING PLAN TENTATIVE TRACT MAP NO. 36738	FILE NO. TM 36738	SHEET 5 OF 6
-----	----------	------	------------	-------	-------	---------	--------------	---	--------------	-------------	------------------------------------	--------------	--	----------------------	--------------------

MATCH SHEET-SEE SHEET 4



- CONSTRUCTION NOTES**
- ① - CONSTRUCT DRAINAGE CHANNEL PER DETAIL ON SHEET 2.
  - ② - CONSTRUCT REINFORCED DRAINAGE CHANNEL PER DETAIL ON SHEET 2.



NO.	REVISION	APPROVED	DATE	BENCH MARK	15-24	ELEV.	478.258	PREPARED BY:	CA ENGINEERING, INC. Planning • Engineering • Surveying 3002 DOW AVE., STE 122 TUSTIN, CA 92780 949-724-8485 949-724-9484 FAX	DESIGNED BY:	HAL/TC	REVIEWED BY:	ADMAL/SHEN	DATE:	PREPARED UNDER THE SUPERVISION OF:	PEB 45501 Exp. 12/31/18	APPROVED BY:	NA/CLM 118169	CITY OF PALM SPRINGS, CALIFORNIA SECTION 22 TOWNSHIP 4 SOUTH RANGE 17 EAST ROUGH GRADING PLAN TENTATIVE TRACT MAP NO. 36738	FILE NO. TM 36738	DRG. NO. 5	DATE 06/20/18
-----	----------	----------	------	------------	-------	-------	---------	--------------	---	--------------	--------	--------------	------------	-------	------------------------------------	----------------------------	--------------	---------------	--	----------------------	---------------	------------------

shading on Indian Canyon.

Member Song commented that parking lot at Indian Canyon needs to be redesigned.

Member Purnell commented that pool setbacks provide for additional plantings.

Vice-Chair Fredricks said that landscape is austere; it needs more landscaping at walls.  
M/S/C (Fauber/Fredricks, 7-0) Approve, subject to conditions:

- Rework parking / maneuvering areas.
- Enhance landscaping.
- Revisit the connection of retail to street.

Vice-Chair Fredricks and Member Secoy-Jensen left for the remainder of the meeting at 5:00 pm.

**7. SIERRA OAKS, LLC, FOR A MAJOR ARCHITECTURAL APPROVAL TO CONSTRUCT FORTY (40) SINGLE-FAMILY RESIDENTIAL UNITS ON AN APPROXIMATELY 20-ACRE PALM RIDGE SUBDIVISION LOCATED AT 665 WEST RAMON ROAD, ZONE R-1-C (CASE 3.3802 MAJ). (ER)**

Principal Planner Robertson presented the proposed project.

Member Hirschbein asked for clarification of landscape theme.

Member Song asked for verification of stucco treatment on exterior; height of roof and construction details of roof.

Member Purnell said plant spacing might be too tight and size of trees in front yard should be 24" box. He had questions about decomposed granite, cobble stone and chosen colors.

Chair Fauber asked if there will be an HOA.

Member Song asked what the motivation for removing the gates was.

M/S/C (Cassady/Fauber, 5-0-2 absent Fredricks/Secoy-Jensen) Approve, subject to conditions:

- The 1 gal. plants at 24" O.C. - can be spread out for greater coverage.
- Minimum 24" box instead of 15 gallon trees in front yards.
- Replace Palm Springs Gold - with native Decomposed Granite for the groundcover.
- 24" fascia is too deep - reconsider a thinner profile.



Commissioner Weremiuk expressed support for the project because it adds hotel rooms and more people to the district who will support the businesses in the area.

**ACTION:** To approve subject to conditions as amended:

- The rooftop bar shall comply with City Noise Ordinance for residential uses and those limits should be included in the conditions.
- Land Use Permit required for outdoor dining.
- Land Use Permit required for rooftop bar including noise mitigation measures.
- Validated valet parking system with site plan showing proof of added parking capacity on site in parking lot drive aisles.
- Install the photo voltaic system as an aspect of public benefit, not simply pre-wire.

**Motion:** Commissioner Calderine, seconded by Commissioner Middleton and unanimously carried on a roll call vote

**AYES:** Commissioner Calderine, Commissioner Lowe, Commissioner Middleton, Commissioner Roberts, Commissioner Weremiuk, Vice-Chair Klatchko, Chair Hudson

### **3. NEW BUSINESS:**

**3A. WOODRIDGE PACIFIC GROUP, LLC REQUESTS FOR A MAJOR ARCHITECTURAL APPROVAL FOR THE CONSTRUCTION OF 40 SINGLE-FAMILY RESIDENTIAL HOMES ON APPROXIMATELY 20-ACRE VACANT PARCEL LOCATED AT 665 WEST RAMON ROAD; ZONE R-1-C (CASE NO. 3.3802-MAJ). (ER)**

Principal Planner Robertson presented the proposed project as outlined in the staff report.

TODD CUNNINGHAM, Woodbridge Pacific Group, president, provided details on the project.

The Commission questioned and/or commented on:

- The paseo connection.
- The glass garage doors.
- The structure of the shed roof.
- Add a condition that gates are prohibited.

**ACTION:** Approve subject to conditions, as amended:

- Gates are prohibited for this project including the paseo.

Motion Commissioner Roberts, seconded by Commissioner Lowe and unanimously carried on a roll call vote.

AYES: Commissioner Calerdine, Commissioner Lowe, Commissioner Middleton, Commissioner Roberts, Commissioner Weremiuk, Vice-Chair Klatchko, Chair Hudson

**PLANNING COMMISSION REPORTS, REQUESTS AND COMMENTS:**

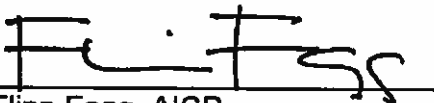
No comments.

**PLANNING DIRECTOR'S REPORT:**

Director Fagg reported that a study session is anticipated on March 11, 2015.

**ADJOURNMENT:**

The Planning Commission adjourned at 5:47 pm to 1:30 pm on Wednesday, March 11, 2015, City Hall, Council Chamber, 3200 East Tahquitz Canyon Way.

  
Flinn Fagg, AICP  
Director of Planning Services

CITY  
COUNCIL  
MINUTES  
3/18/15

**2.L. PROPOSED SERVICE AGREEMENT WITH CALIFA GROUP FOR THE PROVISION, INSTALLATION AND MAINTENANCE OF ADVANCED NETWORK (DATA) SERVICES AT PALM SPRINGS PUBLIC LIBRARY AND WELWOOD MURRAY MEMORIAL LIBRARY:**

Item 2L Staff Report

Councilmember Mills questioned if the new system and equipment would require changes to the building.

**ACTION:** 1) Approve a Services Agreement with Califa Group to provide high-speed internet at the Palm Springs Public Library and the Welwood Murray Memorial Library, and administer related consortium contracts with the California State Library and the California Research Education Network; and 2) Authorize the City Manager or his designee to execute all necessary documents. A6680. **Motion Councilmember Mills, seconded by Mayor Pro Tem Lewin and unanimously carried on a roll call vote.**

**4. UNFINISHED BUSINESS:**

**4.A. APPROVAL OF PLANS AND SPECIFICATIONS FOR THE AIRPORT PARKING LOT IMPROVEMENT/LANDSCAPE CONVERSION PROJECT AND AUTHORIZATION TO ADVERTISE AND SOLICIT BIDS:**

Item 4A Staff Report

Tabled at the request of Staff.

The City Council recessed at 9:09 p.m.

The City Council reconvened at 9:13 p.m.

**5. NEW BUSINESS:**

**5.A. WOODBRIDGE PACIFIC GROUP, LLC, A MAJOR ARCHITECTURAL APPROVAL FOR THE CONSTRUCTION OF 40 NEW SINGLE-FAMILY RESIDENTIAL HOMES ON AN APPROXIMATELY 20-ACRE VACANT PARCEL LOCATED AT 665 WEST RAMON ROAD (CASE 3.3802-MAJ):**

Item 5A Staff Report

Flinn Fagg, Director of Planning Services, provided background information as outlined in the Staff Report dated

March 18, 2015.

Councilmember Mills questioned if the AAC comments were incorporated into the Planning Commission recommendation and approval, requested Staff address the landscaping plan, commented on the use of rocks in the retention basin and suggested a redesign of the retention basin with the addition of landscaping, require gates or fencing on the open sides of the walled retention area, requested pop-outs for landscaping on streets and a planter in the center of the cul-de-sac, requested further information on the stepping of walls, and stated side yards lack landscaping.

**ACTION:** 1) Appoint Mayor Pougnet and Councilmember Mills to a ad hoc City Council subcommittee to review the project; and 2) Adopt Resolution No. 23793, "A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING MAJOR ARCHITECTURAL APPROVAL FOR THE DEVELOPMENT OF 40 NEW SINGLE-FAMILY HOUSES ON AN APPROXIMATE 20-ACRE SUBDIVISION LOCATED AT 665 WEST RAMON ROAD, ZONE R-1-C, SECTION 22 (CASE 3.3802-MAJ)," subject to final review and approval by the City Council Subcommittee. **Motion Councilmember Foat, seconded by Mayor Pro Tem Lewin and unanimously carried on a roll call vote.**

**5.B. APPOINT TWO MEMBERS OF THE CITY COUNCIL TO THE AD HOC SUBCOMMITTEE FOR THE COUNCIL CHAMBER AUDIO/VISUAL EQUIPMENT UPGRADE PROJECT:**

Item 5B No Materials

**ACTION:** Appoint Mayor Pro Tem Lewin and Councilmember Foat to an ad hoc City Council Subcommittee for the Council Chamber Audio/Visual Upgrade Project. **Motion Councilmember Mills, seconded by Mayor Pougnet and unanimously carried on a roll call vote.**

**5.C. DISCUSSION ON THE PROPOSED LAND EXCHANGE BETWEEN THE BUREAU OF LAND MANAGEMENT (BLM) AND THE AGUA CALIENTE BAND OF CAHUILLA INDIANS:**

Item 5C

City Attorney Holland provided background information as outlined in the draft letter.

# ATTACHMENT #4

## Excerpts – Conditions of Approval Related to Grading

### Crescendo Development – Case No. 5.0996 PD-294

#### Conditions:

- Pad heights and roof elevations shall be specified for each lot as a part of the Final Development Plan.
- All proposed walls shall be located back from the top of slope and shall be screened by landscaping and boulders. *(added by the City Council on 10/17/07)*
- The developer shall be required to construct split level designs where possible within the new subdivision. *(added by the City Council on 10/17/07)*
- Planned Development District (PD 294) development standards are approved as follows:

Front Yard	10', with 20' to face of garage
Side Yard – Interior Lot	10'
Side Yard – Corner Lot	12'
Rear Yard – lot to lot	15'
Rear Yard – backing to Local or Collector Street	15'
Rear Yard – back to Major Street	25'
Height – Dominant ridgeline	18'
Projections and architectural features	21'
Second story	Max. 500 square feet

- No second story units allowed along perimeter of the project or adjacent to another second story unit. Second story units shall be limited to a maximum of 25% of the total number of lots (19 total).
- Hillside related conditions:
  - a) Disturbed areas not proposed for development shall be re-naturalized and re-vegetated.
  - b) Utilize low lighting levels to avoid glare
  - c) All public utilities shall be located underground.
  - d) Plant species native to the immediate region shall be used in all non-recreational landscaping located in or adjacent to open space areas.
  - e) Project perimeters, slopes and retention basins shall be re-naturalized through the use of boulders and heavy landscaping.
  - f) Special attention shall be taken to re-naturalize slopes and areas adjacent to project perimeters with boulders and heavy landscaping to the satisfaction of the Director of Planning Services
  - g) Rock crushing – all sizes of rocks and boulders shall be retained for use in re-naturalizing slopes, which represent existing natural diversity of rock sizes.
  - h) Retaining walls visible from streets shall be completely covered by stacked boulders.

**Boulders Development – Case 5.0973 PD-289**

**Conditions:**

- Pad heights and top of roof elevations shall be specified for each lot as a part of the Final Development Plan, which shall be consistent with the pad elevations approved as part of the Tentative Tract Map.
- Planned Development District (PD #289) is approved, with the R-1-A zone as the underlying zone, with the following development standards:

Building height – Dominant ridgeline (over 50%)	18'
Projections and architectural features	21'
Second story, max. 500 square feet	25'
Lot width – interior	110'
Lot width – siding on local street	120'
Front yard	25', with 20' on cul-de-sac
Side entry garages	15'
Side Yard – interior lot	10'
Side Yard – corner lot	20'
Rear Yard – lot to lot	15'
Lot coverage	30%
Option #1 No second story units shall be allowed along perimeter of project; or adjacent to another second story unit. Second story units shall be limited to a maximum of 25% of the total number of lots (9 lots).	
Option #2 No second story units shall be allowed as part of this development. All units shall be limited to a maximum of height of 18' feet.	

- Hillside related conditions:
  - a) Disturbed areas not proposed for development shall be re-naturalized and re-vegetated.
  - b) Utilize low lighting levels to avoid glare
  - c) All utilities shall be located underground.
  - d) Plant species native to the immediate region shall be used in all non-recreational landscaping located in or adjacent to open space areas.
  - e) Special attention shall be undertaken to re-naturalize slopes and areas adjacent to slopes, retention areas and project perimeters with boulders and heavy landscaping to the satisfaction of the Director of Planning Services.
  - f) Rock crushing – All sizes of rocks and boulders shall be retained for use in re-naturalizing slopes, which represent existing natural diversity of rock sizes.
  - g) Retaining walls visible from the public right of way shall be softened and screened by stacked boulders.
  - h) Split level pads are desirable, and shall be required for two story residences.

- i) The site shall be integrated into the existing neighborhood with pedestrian trails and bike paths.
- Maximum pad heights are specified on TTM 31095 for each lot as part of the PDD. *Maximum pad elevation of 700' for lot #31.*

### **Desert Palisades Development – Case 5.1154**

#### Conditions:

- No Mass Grading. Mass grading to create large, single-level flat pads is prohibited.
- Building Pad Height Limitations. Pad heights are not significantly raised beyond the natural topography. Any pad height more than two (2) feet above natural topography may be deemed significant.
- Blend with terrain. The forms of buildings, structures and other improvements are not repetitive, but respect and interpret the forms of the surrounding landscape and present a custom design appearance.
- Avoid massive building forms. Stepped elevations and floor levels are used to avoid massive building forms and wall surfaces.
- Initial rough grading of the site shall be limited to that which is required for construction of the on-site utility and street infrastructure. In accordance with Mitigation Measure (MM) 3.3-1(a) of the Final Environmental Impact Report, grading of the on-site utility and street infrastructure shall be coordinated with and scheduled not to coincide with grading activities on the Desert Water Agency reservoir site.
- Rough grading of residential lots within the project is subject to separate architectural approvals of each individual lot on a case by case basis, in accordance with the development standards for Planning Area 4 of the ESA-SP Zone, as defined by the Desert Palisades Specific Plan (Case 5.1154).
- For the residential portion of the site, the on-site street improvement plans shall identify all required cut and fill slope requirements and shall be used as grading plans for that portion of the site. In accordance with Chapter 92.21.1.05 "Design Standards" of the Palm Springs Zoning Code, the following principles shall apply to the design of the on-site streets:
  - a) The vertical profile shall be aligned to closely match the existing natural terrain.
  - b) Curvilinear alignments and gently rolling profiles shall be consistent with site topography.
  - c) Excavations and embankments shall be limited to the greatest extent possible. Maximum slope gradients within ten (10) feet of the roadway edge shall not exceed 4:1 for fill slopes and 3:1 for cut slopes.
  - d) Roadway slopes shall not create a continuous wall or cut/fill condition, but shall vary in height and present an undulating appearance consistent with the natural slope.
  - e) Slopes shall be rounded to blend into the existing terrain to produce a contoured transition.