



PLANNING COMMISSION STAFF REPORT

DATE: JULY 13, 2016

SUBJECT: TOM FORD, OWNER, FOR A MAJOR ARCHITECTURAL APPLICATION FOR THE RENOVATION AND CONSTRUCTION OF A 546-SQUARE FOOT CABANA AND NEW GARAGE ADDITION AT A HILLSIDE HOUSE LOCATED AT 1635 RIDGEMORE DRIVE, ZONE R-1-A. (CASE 3.3725 MAJ) (GM)

FROM: Flinn Fagg, AICP, Director of Planning Services

SUMMARY

The Planning Commission to review a Major Architectural Application for a house renovation and the addition of a 546-square foot cabana at an existing hillside house. The new construction of a pool cabana located in the rear yard conforms to the Palm Springs Zoning Code.

RECOMMENDATION:

Staff recommends approval of the application, subject to conditions.

BACKGROUND INFORMATION:

Most Recent Ownership

04/16/2013	Thomas Ford
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Neighborhood Meeting/Neighborhood Notice

05/25/2016	Notice sent to adjacent and abutting property owners.
07/07/2016	Email notification sent to Andreas Hills Neighborhood Organization.
07/07/2016	Notice sent to adjacent and abutting property owners regarding Planning Commission review.

Field Check

June 2016	Staff visited site to observe existing conditions
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DETAILS OF APPLICATION REQUEST:

Site Area	
Net Area	24,441-square feet

Surrounding Property	Existing General Plan Designations	Existing Land Use	Existing Zoning Designations
Subject Property	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-C (Single-Family Residential)
North	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-C (Single-Family Residential)
South	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-C (Single-Family Residential)
East	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-C (Single-Family Residential)
West	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-C (Single-Family Residential)

Specific Plan Area	Compliance
Canyon South Specific Plan	Yes

DEVELOPMENT STANDARDS:

Pursuant to PSZC Section 92.01.03 for the R-1-C zone, the following standards apply:

Standard	Required/Allowed	Provided	Compliance
Lot Area	10,000-square feet	24,441-square feet	Yes
Lot Width	100 feet	136 feet	Yes
Lot Depth	100 feet	170 feet	Yes
Front Yard	25 feet	30 feet	Yes
Side Yard	10	10 feet	Yes
Rear Yard	15 feet	15 feet	Yes
Building Height (max.)	12 feet at setback line to max 18 at a 4:12 slope	9 feet = new garage 9 feet = new cabana	Yes
Bldg. Coverage	35% lot coverage	22%	Yes
House / Garage	1,500 – sq ft min.	5,344 - sq. ft.	Yes
Off-street parking	2 covered spaces	2 covered provided	Yes
Landscaping	No specific requirements	Landscape plan provided	Yes

ANALYSIS:

The applicant is seeking approval to renovate an existing 4,128-square foot hillside house and add a 670-square foot garage and a 546-square foot pool cabana for a total of 5,344-square feet. The existing single-story house located in the Andreas Hills neighborhood was built in 1980. The scope of work consists of converting the existing garage into a guest bedroom and construction of a new attached garage on the east side of the residence. The existing driveway will remain and provide access to the new garage. Other modifications to the building include minor expansion of hallway areas, near the entry foyer, remodel and expansion of the kitchen area. Additionally, the glazing and finish surfaces throughout the home will be replaced. Site work at the front of the property entails creation of a larger entry courtyard defined by new site walls and walkways. The rear of the property will be enhanced via enlargement of the existing pool and construction of a new pool cabana with covered patio area and enclosed toilet room. Landscaping throughout the site will be enhanced with desert appropriate plantings as shown on the landscape plan. Building materials to include exterior building walls with a smooth stucco finish painted "Oatmeal" along with all garden walls and the new pool cabana. Window frames to be dark bronzed anodized finish with clear glass. The driveway and front entry gates will be metal in a dark brown color.

ARCHITECTURAL ADVISORY COMMITTEE:

The Architectural Advisory Committee (AAC) reviewed the project on July 5, 2016 and voted 5-0 to recommend approval to the Planning Commission as submitted.

CRITERIA – MAJOR ARCHITECTURAL APPLICATION (Case 3.3725 MAJ):

Section 94.04.00(D)(1-9) of the Palm Springs Zoning Code (PSZC) requires an evaluation of the proposed development to determine if it will provide a desirable environment for its occupants as well as being compatible with the character of adjacent and surrounding developments, and whether aesthetically it is of good composition, materials, textures and colors. Conformance is evaluated, based on consideration of the following:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The proposal includes the renovation of an existing 4,128-square foot hillside house and addition of a 670-square foot garage and a 546-square foot pool cabana for a total of 5,344-square feet. The existing single-story house located in the Andreas

Hills neighborhood was built in 1980. The scope of work consists of converting the existing garage into a guest bedroom and construction of a new attached garage on the east side of the residence. The existing driveway will remain and provide access to the new garage.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The existing homes in the Andreas Hills neighborhood are of similar one-story design constructed on large lots with homes terraced in to the gently sloping hillside with main road access from Bogert Trail. The proposed house renovation does not include revisions to the existing roof height. The addition of a 546-square foot pool cabana at the rear of the property will not be visible from adjacent properties.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The maximum height of the existing house is 13'-6" feet tall from the established pad elevation and the new garage addition will be 9' feet tall. The rear yard pool cabana will require some excavation into an existing slope with a height of 9' feet to match the existing house. The proposed house renovation and pool cabana design is compatible with heights found within the surrounding neighborhood. Other houses along Ridgemoor Drive are similar in style and height. All other setback requirements have been met.

4. *Building design, materials and colors to be sympathetic with desert surroundings;*

AND

5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously,*

AND

6. *Consistency of composition and treatment,*

Materials to include exterior building walls with a smooth stucco finish painted "Oatmeal" along with all garden walls and the new pool cabana. Window frames to be dark bronzed anodized finish with clear glass. The driveway and front entry gates will be metal in a dark brown color.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

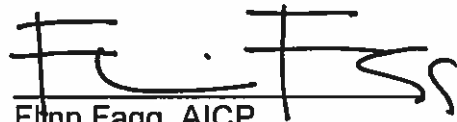
Site work at the front of the property entails creation of a larger entry courtyard defined by new site walls and walkways. Landscaping throughout the site will be enhanced with desert appropriate plantings to include the preservation of existing mature palm trees, the addition of twelve large Palo Verde trees, and numerous new shrubs, aloe, and cactus.

ENVIRONMENTAL DETERMINATION:

Pursuant to the California Environmental Quality Act (CEQA) Guidelines, the project is a Class III exemption and is categorically exempt per Section 15303(a) (New Single-Family Residence and Accessory Structure).



Glenn Mlaker, AICP
Associate Planner



Finn Fagg, AICP
Director of Planning Services

Attachments:

1. Vicinity Map
2. Justification Letter from Applicant
3. Site Photos
4. Material Board
5. Existing Site Plan
6. Proposed Site Plan / Grading
7. Landscape Plan
8. Floor Plans
9. Pool Cabana Elevation
10. Building Elevations
11. 3-D Images

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING CASE NO. 3.3958 MAJ FOR A MAJOR ARCHITECTURAL APPROVAL FOR THE CONSTRUCTION OF A 546-SQUARE FOOT CABANA AND NEW GARAGE ADDITION ON A HILLSIDE LOT LOCATED AT 1635 RIDGEMORE DRIVE, ZONE R-1-A-H, SECTION 1.

THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

A. Thomas Ford, ("Applicant") has filed an application with the City pursuant to Section 94.04.00 of the Zoning Ordinance for the construction of a 546-square foot cabana and new garage addition on a hillside lot located at 1635 Ridgemoore Drive, Zone R-1-A-H, Section 1.

B. On July 5, 2016, the Architectural Advisory Committee reviewed the proposal and voted 5-0 to recommend approval of the project as submitted to the Planning Commission.

C. On July 13, 2016, a public meeting on the application to consider Case 3.3958 MAJ was held by the Planning Commission in accordance with applicable law.

D. The proposed project is considered a "project" pursuant to the terms of the California Environmental Quality Act ("CEQA"), and has been determined to be Categorically Exempt as a Class III exemption (single-family residence) pursuant to Section 15303(a) of the CEQA Guidelines

E. The Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including, but not limited to, the staff report, and all written and oral testimony presented.

F. Pursuant to Section 94.04.00 of the Palm Springs Zoning Code, the Planning Commission finds:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The proposal includes the renovation of an existing 4,128-square foot hillside house and addition of a 670-square foot garage and a 546-square foot pool cabana for a total of 5,344-square feet. The existing single-story house located in the Andreas Hills neighborhood was built in 1980. The scope of work consists of converting the existing garage into a guest bedroom and construction of a new attached garage on

the east side of the residence. The existing driveway will remain and provide access to the new garage.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The existing homes in the Andreas Hills neighborhood are of similar one-story design constructed on large lots with homes terraced in to the gently sloping hillside with main road access from Bogert Trail. The proposed house renovation does not include revisions to the existing roof height. The addition of a 546-square foot pool cabana at the rear of the property will not be visible from adjacent properties.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The maximum height of the existing house is 13'-6" feet tall from the established pad elevation and the new garage addition will be 9' feet tall. The rear yard pool cabana will require some excavation into an existing slope with a height of 9' feet to match the existing house. The proposed house renovation and pool cabana design is compatible with heights found within the surrounding neighborhood. Other houses along Ridgemoor Drive are similar in style and height. All other setback requirements have been met.

4. *Building design, materials and colors to be sympathetic with desert surroundings;*

AND

5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously,*

AND

6. *Consistency of composition and treatment,*

Materials to include exterior building walls with a smooth stucco finish painted "Oatmeal" along with all garden walls and the new pool cabana. Window frames to be dark bronzed anodized finish with clear glass. The driveway and front entry gates will be metal in a dark brown color.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

Site work at the front of the property entails creation of a larger entry courtyard defined by new site walls and walkways. Landscaping throughout the site will be enhanced with desert appropriate plantings to include the preservation of existing mature palm trees, the addition of twelve large Palo Verde trees, and numerous new shrubs, aloe, and cactus.

THE PLANNING COMMISSION RESOLVES:

Based upon the foregoing, the Planning Commission hereby approves Case 3.3725 MAJ for the construction of a 546-square foot cabana and new garage addition on a hillside lot located at 1635 Ridgemore Drive subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 13th day of July, 2016.

AYES:
NOES:
ABSENT:
ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

Flinn Fagg, AICP
Director of Planning Services

RESOLUTION NO.

EXHIBIT A

Case 3.3725 MAJ

Thomas Ford

1635 Ridgemore Drive

July 13, 2016

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case 3.3725 MAJ except as modified by the conditions below.
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans on file in the Planning Division dated May 5, 2016, except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.3725 MAJ. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City

of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Time Limit on Approval. Approval of this Conditional Use Permit shall be valid for a period of two (2) years from the effective date of the approval. Once the use is implemented, the Conditional Use Permit does not have a time limit, provided the project has remained in compliance with all conditions of approval.

PLANNING DEPARTMENT CONDITIONS

- PLN 1. Roof color to be no lighter than off-white in color
- PLN 2. Approval is to be pursuant to plans date stamped May 5, 2016.

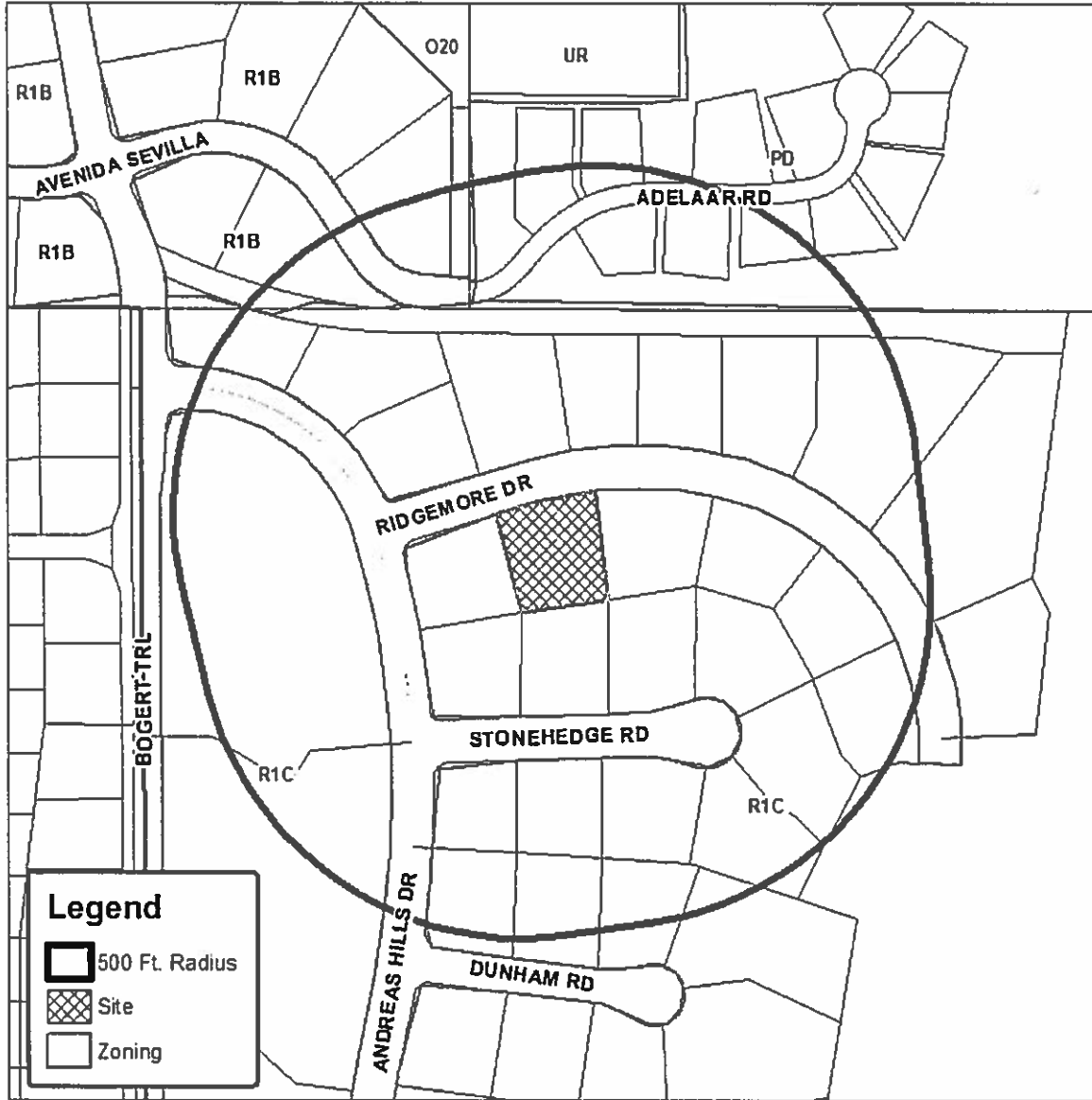
BUILDING DEPARTMENT CONDITIONS

- BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

END OF CONDITIONS



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS



1089 N. Palm Canyon Dr.
Suite B
Palm Springs, CA 92262
760 778 8165 TEL
760 406 7946 FAX
www.o2arch.com

Date: 05.04.2016

Major Architectural Application
(Hillside Lot)
Justification Letter

Re:
Ford Residence Remodel
1635 Ridgemoor Drive
Palm Springs
CA 92264

Project Description:

The project consists of an existing 4,182 SF single-story, single-family residence that was constructed circa 1980. The scope of work consists of converting the existing garage into a guest bedroom and construction of a new attached garage on the East side of the residence. Other modifications to the building include minor expansion of hallway areas near the entry foyer and remodel and expansion of the kitchen area. Additionally, the glazing and finish surfaces throughout the home will be replaced. Added area to the main residence is 821 SF for a proposed total of 5,003 SF. Site work at the front of the property entails creation of a larger entry courtyard defined by new site walls and walkways. The rear of the property will be enhanced via enlargement of the existing pool and construction of a new pool cabana with covered patio area (390 SF) and enclosed pool toilet room (50 SF). Landscaping throughout the site will be enhanced with desert appropriate plantings as shown on the enclosed landscape plan.

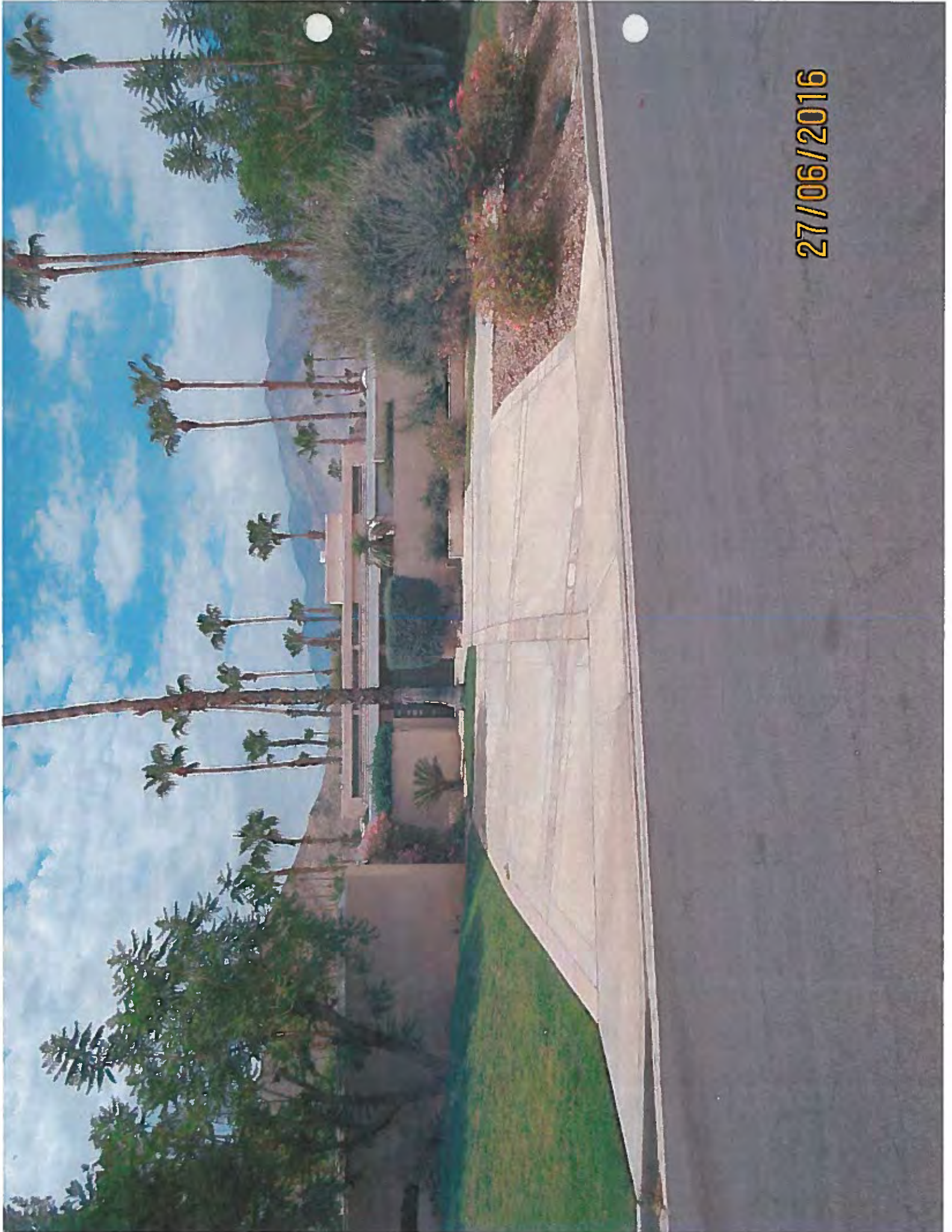
This application is submitted as required for expansions to homes located on lots that are categorized as Hillside. All proposed structures are within the allowed buildable area and do not encroach into setbacks, nor is any setback relief or special consideration requested for this project. No neighboring views or quality of life shall be impacted negatively by the proposed project. Please feel free to contact me with any questions.

Sincerely,

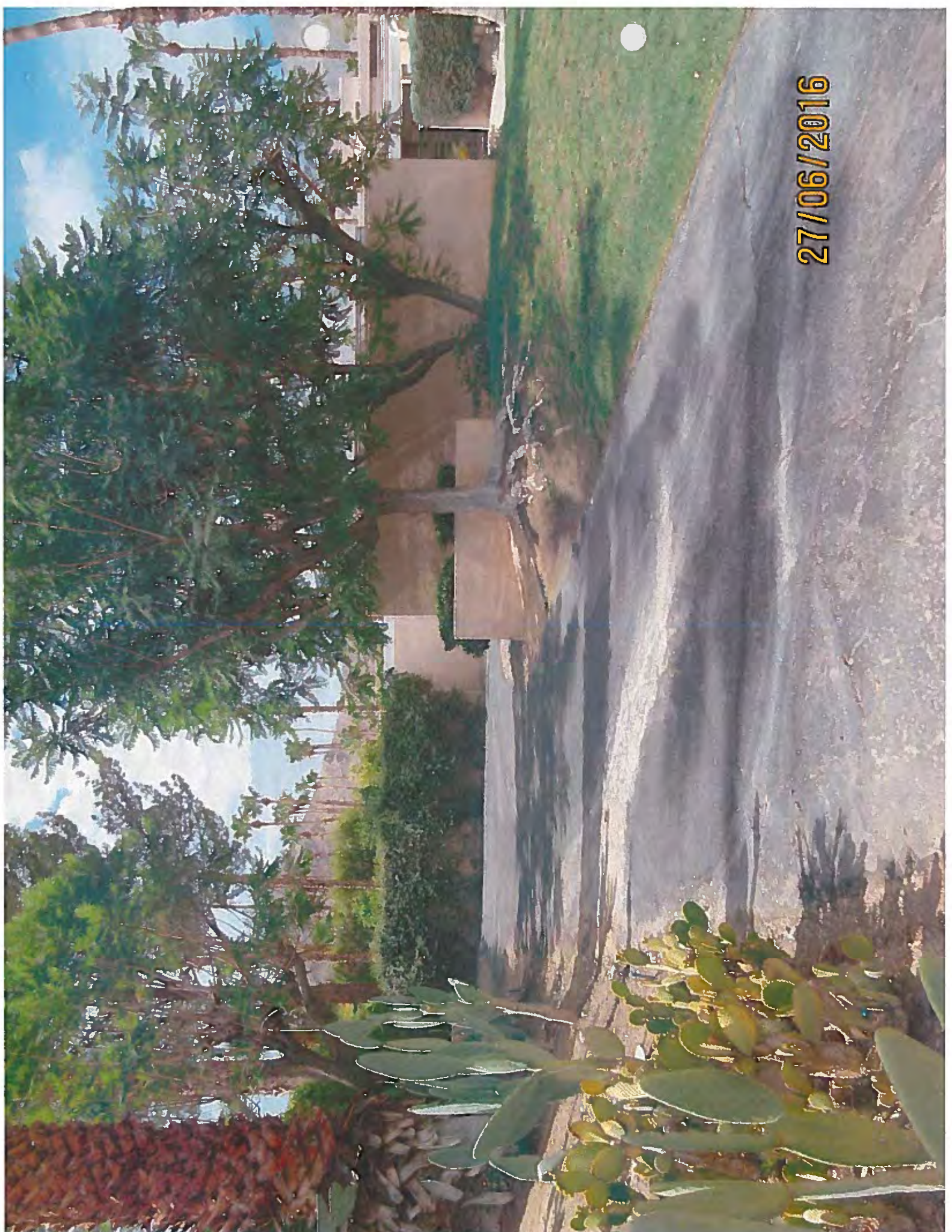
Jeff Bicknell
o2 Architecture

3.3958
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PLANNING SERVICES
DEPARTMENT



27/06/2016



27/06/2016



North - West Bird's Eye View



South - West Bird's Eye View



1 [X-7,8,9] CMU BLOCK w/ SMOOTH PLASTER FINISH, COLOR OATMEAL



2 [EF-1] EXTERIOR PLASTER, LA HABRA "OATMEAL"
[EF-2]



3 [EF-3] ALUMINUM FRAME, DARK BRONZED ANODIZED FINISH



4 [EW-4] CLEAR GLASS, LOW 'E'



5 [EF-4,6,7] DARK BROWN PAINT FINISH, DUNN EDWARDS TBD



6 [EF-8] EXISTING ROOF TILES

O2 Architecture

1089 N. Palm Canyon Dr.
suite_b
Palm Springs_CA

tel. 760.778.8165
fax.760.406.7946

project title:

Ford Residence

address:

**1635 Ridgemoor Drive
Palm Springs, CA 92264**

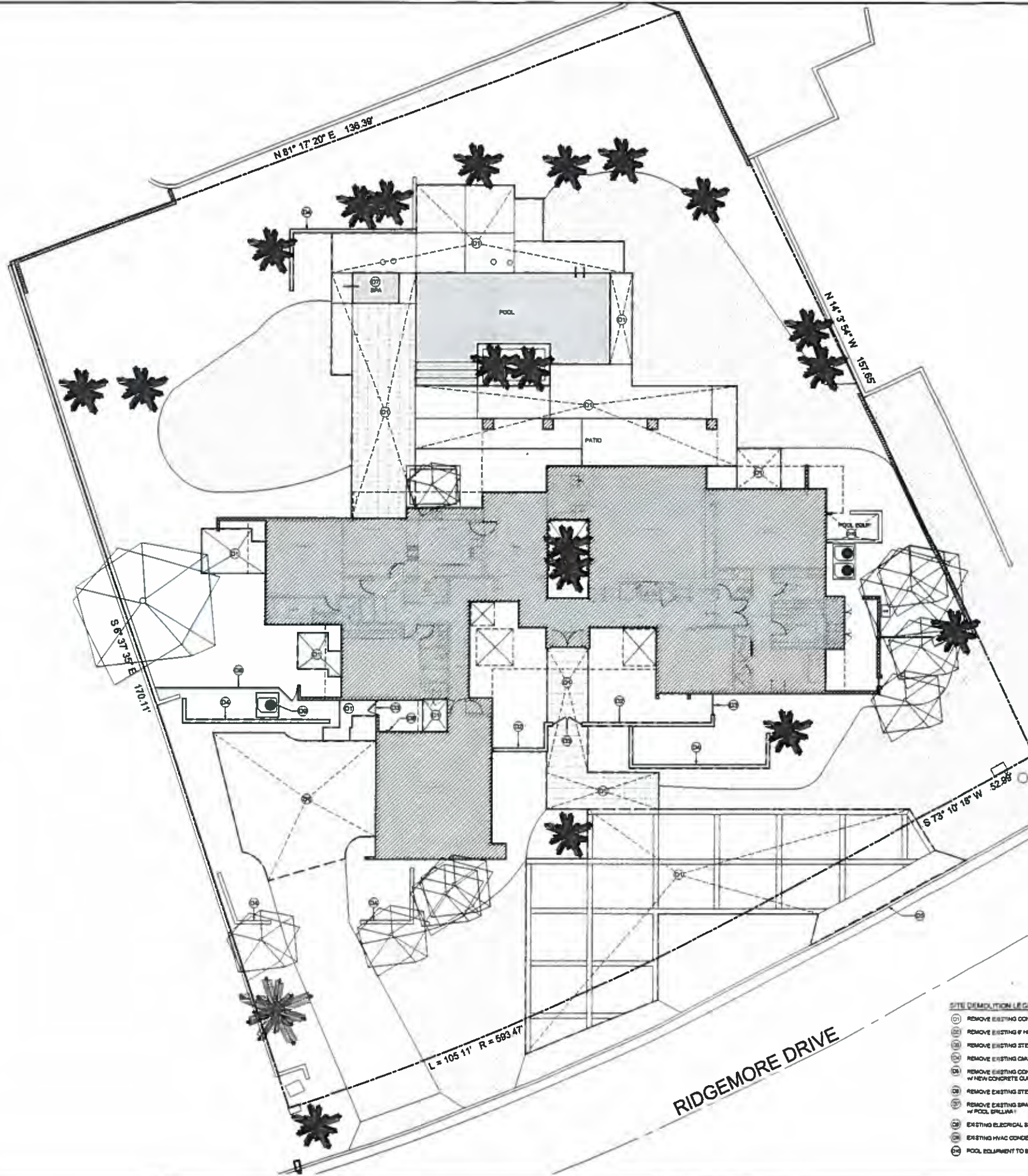
sheet description:

Materials Board

scale: N.T.S
date: 05.03.2016

THIS DOCUMENT SHALL NOT BE REPRODUCED NOR SHALL THE INFORMATION CONTAINED THEREIN BE USED BY OR IS CLOUDED TO OTHERS EXCEPT AS EXPRESSLY AUTHORIZED BY O2 ARCHITECTURE

O2 Architecture
 1008 N PALM CANYON DR
 SUITE B
 PALM SPRINGS, CA 92262
 TEL: 760 779 3198
 FAX: 760 408 7949
 EMAIL: o2arch@o2arch.com



NO.	DATE	BY
1		
2		
3		
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7		
8		
9		
10		

PROJECT TITLE
FORD RESIDENCE REMODEL
 1835 RIDGEMORE DRIVE
 PALM SPRINGS, CA 92264

3.3958
RECEIVED

MAY 05 2016

PLANNING SERVICES
 DEPARTMENT



- SITE DEMOLITION LEGEND**
- (1) REMOVE EXISTING CONCRETE DRIVEWAY & HARDWARE AS SHOWN
 - (2) REMOVE EXISTING HIGH FARD WALL (WOOD FRAMED w/ STUCCO FINISH)
 - (3) REMOVE EXISTING STEELWOOD ENTRY GATE
 - (4) REMOVE EXISTING CAR YARD WALL
 - (5) REMOVE EXISTING CONCRETE DRIVEWAY CURB (IT TO BE REPLACED w/ NEW CONCRETE CURB PER CITY STANDARD)
 - (6) REMOVE EXISTING STEEL FENCE & GATE
 - (7) REMOVE EXISTING SPA (SEE REMODEL SITE PLAN FOR NEW RAISED SPA w/ POOL DECK)
 - (8) EXISTING ELECTRICAL SERVICE METER TO BE RELOCATED
 - (9) EXISTING HVAC CONDENSING UNIT TO BE RELOCATED
 - (10) POOL EQUIPMENT TO BE RELOCATED

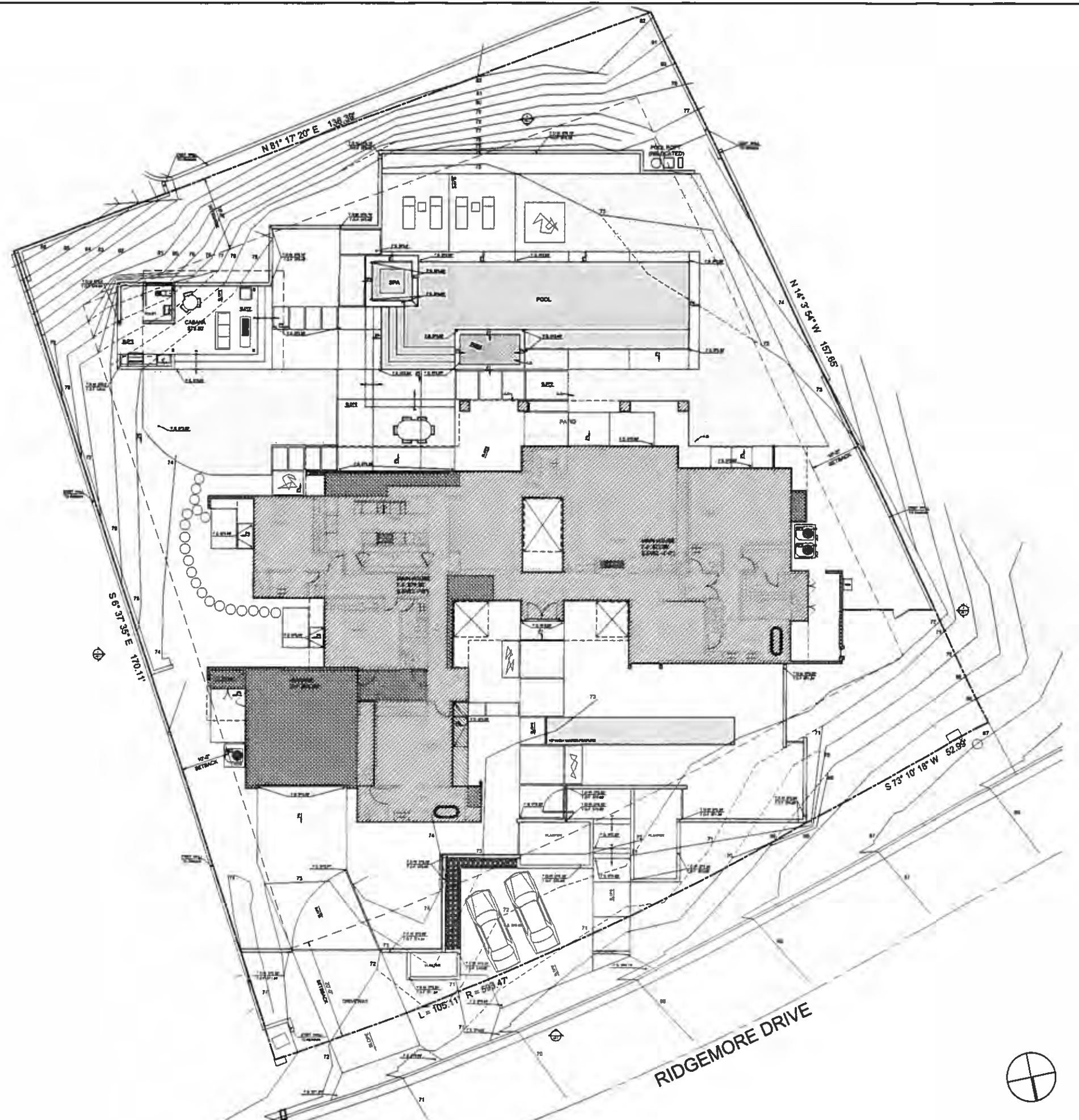


1 EXISTING - DEMOLITION SITE PLAN
 SCALE: 1/8" = 1'-0"

SHEET DESCRIPTION
**EXISTING -
 DEMOLITION SITE PLAN**
 SCALE: 1/8" = 1'-0"
 DATE: 06.03.16

D1.0

THIS DOCUMENT SHALL NOT BE REPRODUCED NOR SHALL THE INFORMATION CONTAINED THEREIN BE USED BY OR DISCLOSED TO OTHERS EXCEPT AS EXPRESSLY AUTHORIZED BY O2 ARCHITECTURE.



LOT INFORMATION

APN: 066 412 002 7
 LOT 17 / MB 063/094 PALM SPRINGS
 USE CODE: VRES ZONE: R1A

AREA TABULATION

TOTAL SITE AREA 24,441 SF (0.56 ACRES)
 BUILDING COVERAGE
 MAIN HOUSE, CONDITIONED AREA 4,128 SF
 GARAGE/ MECH UNCONDITIONED AREA 670 SF
 TOTAL 4,798 SF .20%
 CABANA 548 SF .2%
 PAVING AND DRIVE 5,558 SF .23%
 OPEN SPACE 13,538 SF .55%
 PARKING SPACES 2 SPACES PROVIDED
 (2 REQUIRED)

SETBACK NOTES

SITE LEGEND

T.O.W. = TOP OF WALL
 T.O.F. = TOP OF CONC. FOOTING
 F.S. = FINISH SURFACE
 F.F. = FINISH FLOOR

NOTE:
 ALL SURFACE WATER TO DRAIN AWAY FROM BUILDING.
 THE GRADE SHALL FALL A MINIMUM OF 6\"/>

NO.	DATE	DESCRIPTION

PROJECT TITLE
FORD RESIDENCE REMODEL
 1695 RIDGEMOOR DRIVE
 PALM SPRINGS, CA 92264



SHEET DESCRIPTION
SITE DRAINAGE & GRADING PLAN
 SCALE: 1/8" = 1'-0"
 DATE: 05.03.18

THIS DOCUMENT SHALL NOT BE REPRODUCED NOR SHALL THE INFORMATION CONTAINED THEREIN BE USED BY OR DISCLOSED TO OTHERS EXCEPT AS EXPRESSLY AUTHORIZED BY ARCHITECTURE.

SYMBOL	QTY	NAME	SIZE
	14	Existing: Palm Trees	Existing
	5	Existing: Trees	Existing
	12	Common: Desert Museum Palo Verde Scientific: Cercidium	36" Box
	86	Common: Regal Mist Scientific: Muhlenbergia Capitata	5 Gallon
	30	Common: American Aloe Scientific: Agave Americana	5 Gallon
	15	Common: Mexican Fence Post Scientific: Lemniscocarpus Marginatus	3'-5" Tall
	102	Common: Trailing Indigo Bush Scientific: Dalea Greggii	3 Gallon

NOTE: PLANT QUANTITIES TO BE VERIFIED BY CONTRACTOR.

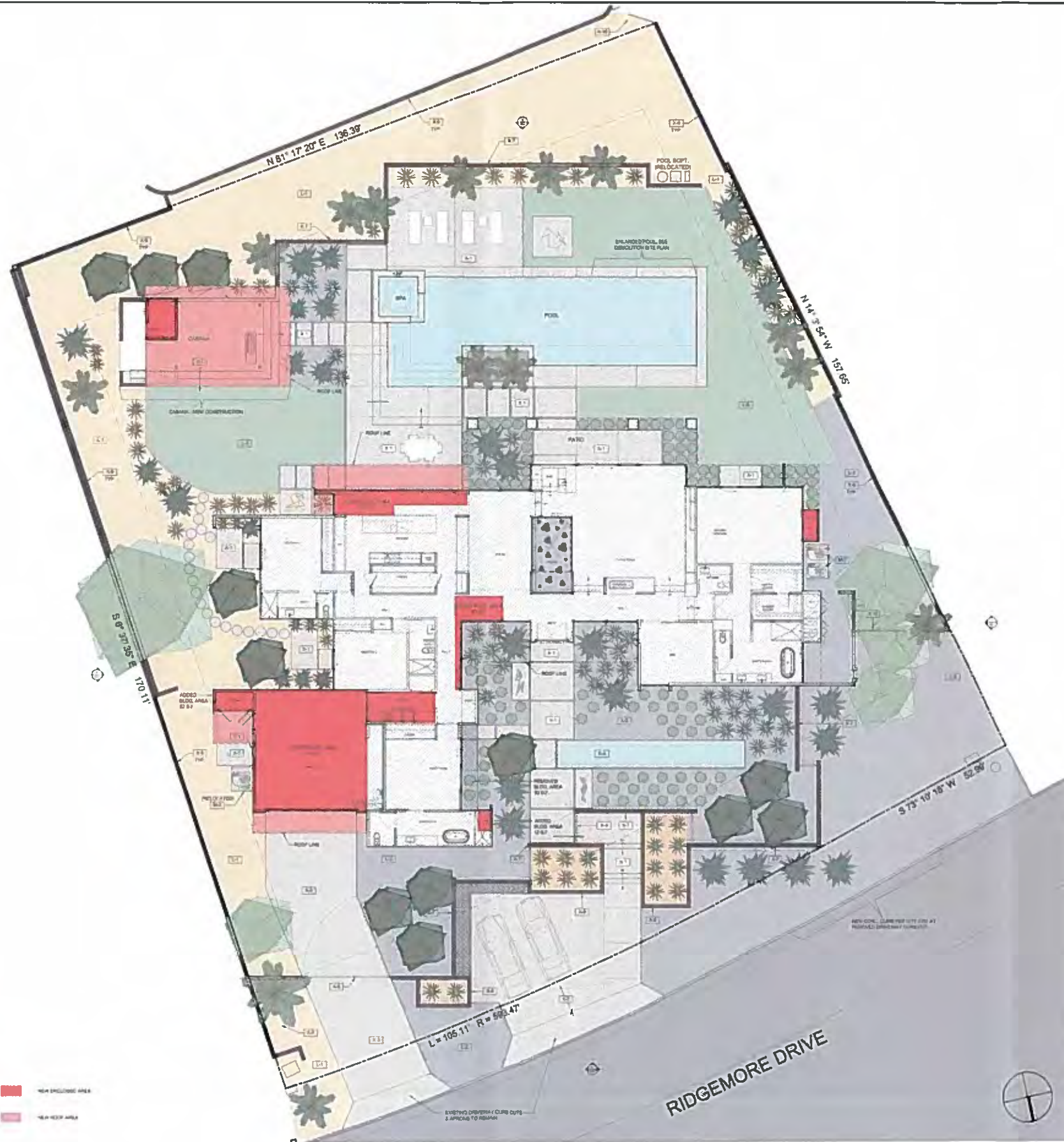
1 PLANT LEGEND
SCALE:

MATERIAL LEGEND

NOTE: SEE SHEET A0.1 FOR DETAILED MATERIAL SPECIFICATIONS

	(1.1)	NATURAL DESERT SOIL
	(1.2)	DECOMPOSED GRANITE GREY
	(1.3)	NEW CONCRETE HARDCAPE GREY

2 MATERIAL LEGEND
SCALE:



4 REMODEL SITE PLAN & LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND
FOR SHEET A0.1

- LANDSCAPE
 - (1.1) NATURAL DESERT SOIL
 - (1.2) DECOMPOSED GRANITE GREY
 - (1.3) GRASS
- NEW CONCRETE HARDCAPE
 - (1.3) NEW CONCRETE HARDCAPE
 - (1.4) NEW CONCRETE HARDCAPE
 - (1.5) EXISTING ASPHALT DRIVEWAY
 - (1.6) NEW STEEL ENTRY GATE w/ PAINT FINISH COLOR TBD
 - (1.7) NEW ALUMINATED STEEL DRIVEWAY GATE w/ PAINT FINISH COLOR TBD
 - (1.8) 1/2" HIGH REFLECTING POOL w/ BLENDED EDGE
 - (1.9) NEW CRU WALL w/ SMOOTH PLASTER FINISH COLOR WHITE
 - (1.10) NEW CRU PLANTER
 - (1.11) EXISTING CRU WALL TO REMAIN
 - (1.12) EXISTING FENCE & GATE TO REMAIN
 - (1.13) HAZARD TRD
- EXTERIOR FINISH
 - (2.1) EXISTING 6" TYPE ROOF CEILING PLASTER AND/OR REPAIR AS NECESSARY AND RE-FINISH w/ NEW TOPCOAT COLOR TBD
 - (2.2) NEW 3/4" PORTLAND CEMENT PLASTER FINISH OVER 2 LAYERS BUILDING PAPER & METAL LATH COLOR TBD
 - (2.3) NEW DOOR/SLIPWALLS SCHEDULED ON SHEET A1.1
 - (2.4) EXISTING EXTERIOR WOOD - NEW STAIN FINISH COLOR TO BE DETERMINED
 - (2.5) NEW INSULATED DOUBLE HUNGLED HEAVY GLASS GARAGE DOOR
 - (2.6) EXISTING DOOR/SLIP - REFINISH
 - (2.7) NEW 6" TESS COLUMN - EXISTING PAINT FINISH COLOR TBD
 - (2.8) EXISTING ROOF TRUSS TO REMAIN
 - (2.9) EXISTING PLAT ROOF - WOOD BALUSTRADE TO REMAIN
 - (2.10) NEW POOL AREA
 - (2.11) WOOD STOPS
- MISCELLANEOUS
 - (3.1) EXISTING FURNACE/AC UNITS TO REMAIN
 - (3.2) EXISTING CONCRETE WALKWAY TO REMAIN
 - (3.3) NEW SPLIT UNIT
- ELECTRICAL
 - (4.1) RELOCATED ELECTRICAL MAIN PANEL AND WIRING TO 100 AMP SERVICE

Architecture
1026 N. PALM CANYON DR.
PALM SPRINGS, CA 92262
TEL: 760.778.8188
FAX: 760.438.7548
EMAIL: info@o2arch.com

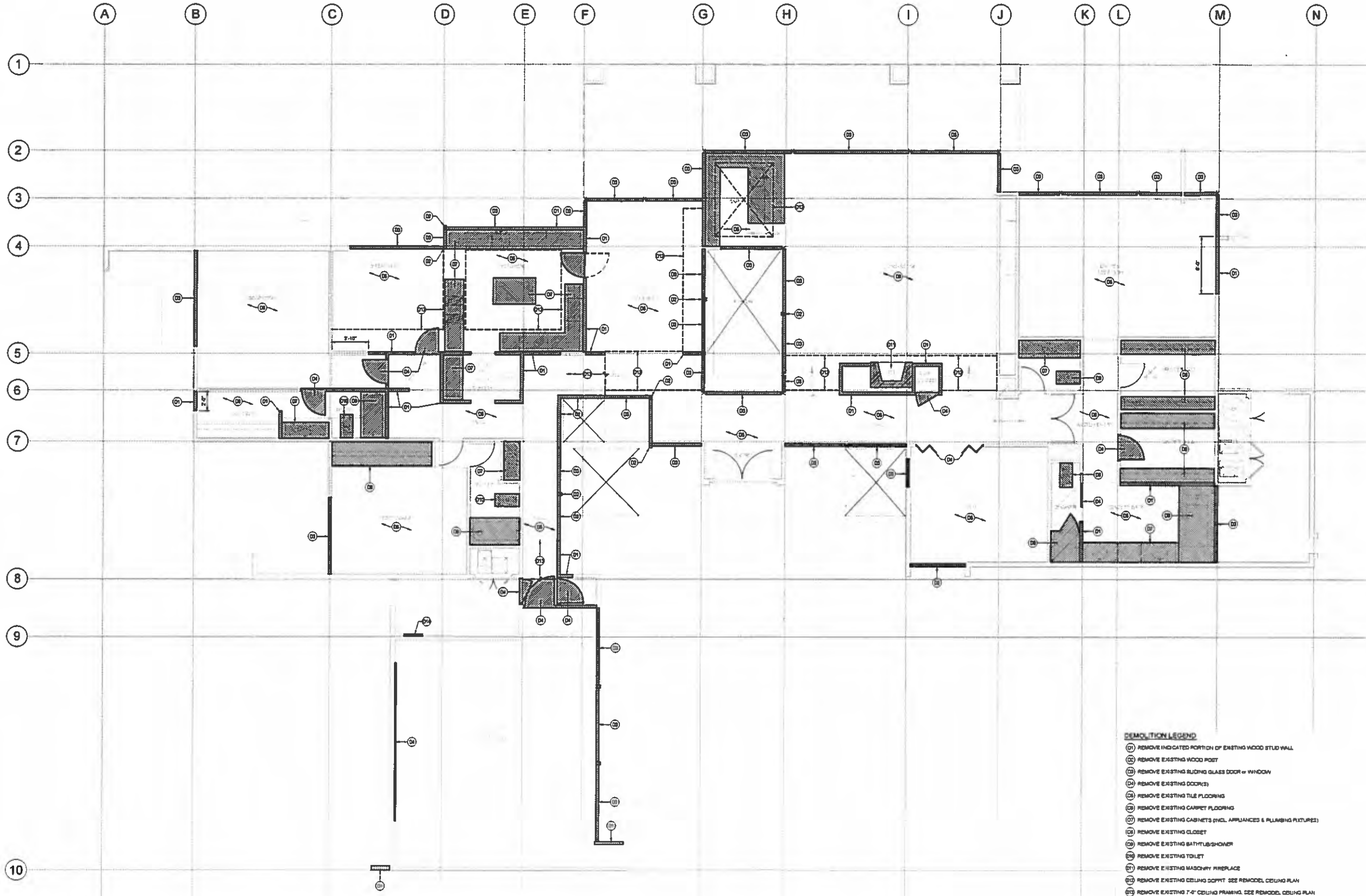
PROJECT TITLE
FORD RESIDENCE REMODEL
1255 RIDGEMORE DRIVE
PALM SPRINGS, CA 92264

SHEET DESCRIPTION
REMODEL SITE PLAN & LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"
DATE: 05.03.16

L1.0

THIS DOCUMENT SHALL NOT BE REPRODUCED NOR SHALL THE INFORMATION CONTAINED THEREIN BE USED BY OR DISCLOSED TO OTHERS EXCEPT AS EXPRESSLY AUTHORIZED BY O2 ARCHITECTURE.

O2 Architecture
1038 N. PALM CANYON DR.
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TEL. 760.778.6198
FAX 760.408.7948
EMAIL: o2@o2arch.com



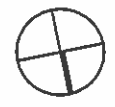
- DEMOLITION LEGEND**
- (D1) REMOVE INDICATED PORTION OF EXISTING WOOD STUD WALL
 - (D2) REMOVE EXISTING WOOD POST
 - (D3) REMOVE EXISTING SLIDING GLASS DOOR or WINDOW
 - (D4) REMOVE EXISTING DOOR(S)
 - (D5) REMOVE EXISTING TILE FLOORING
 - (D6) REMOVE EXISTING CARPET FLOORING
 - (D7) REMOVE EXISTING CABINETS (INCL. APPLIANCES & PLUMBING FIXTURES)
 - (D8) REMOVE EXISTING CLOSET
 - (D9) REMOVE EXISTING BATH/TUB/SHOWER
 - (D10) REMOVE EXISTING TOILET
 - (D11) REMOVE EXISTING MASONRY FIREPLACE
 - (D12) REMOVE EXISTING CEILING SOFFIT. SEE REMODEL CEILING PLAN
 - (D13) REMOVE EXISTING 7'-0" CEILING FRAMING. SEE REMODEL CEILING PLAN
 - (D14) EXISTING ELECTRIC METER, TV CABLE BOX & TELEPHONE BOX TO BE RELOCATED. SEE REMODEL FLOOR PLAN

NOTES

ALL EXISTING WOOD POSTS/ WINDOWS SHALL BE KEPT AND REPAINTED. EXISTING GLASS SHALL BE REPLACED TO DUO GLAZING.

REPLACEMENT OF EXISTING WOOD STOPS, WHERE NEEDED.

SLIDING/ OPENABLE GLASS DOORS/ WINDOWS SHALL BE BRONZED ALUMINUM. COLOR TBD.



Date	Issue	By

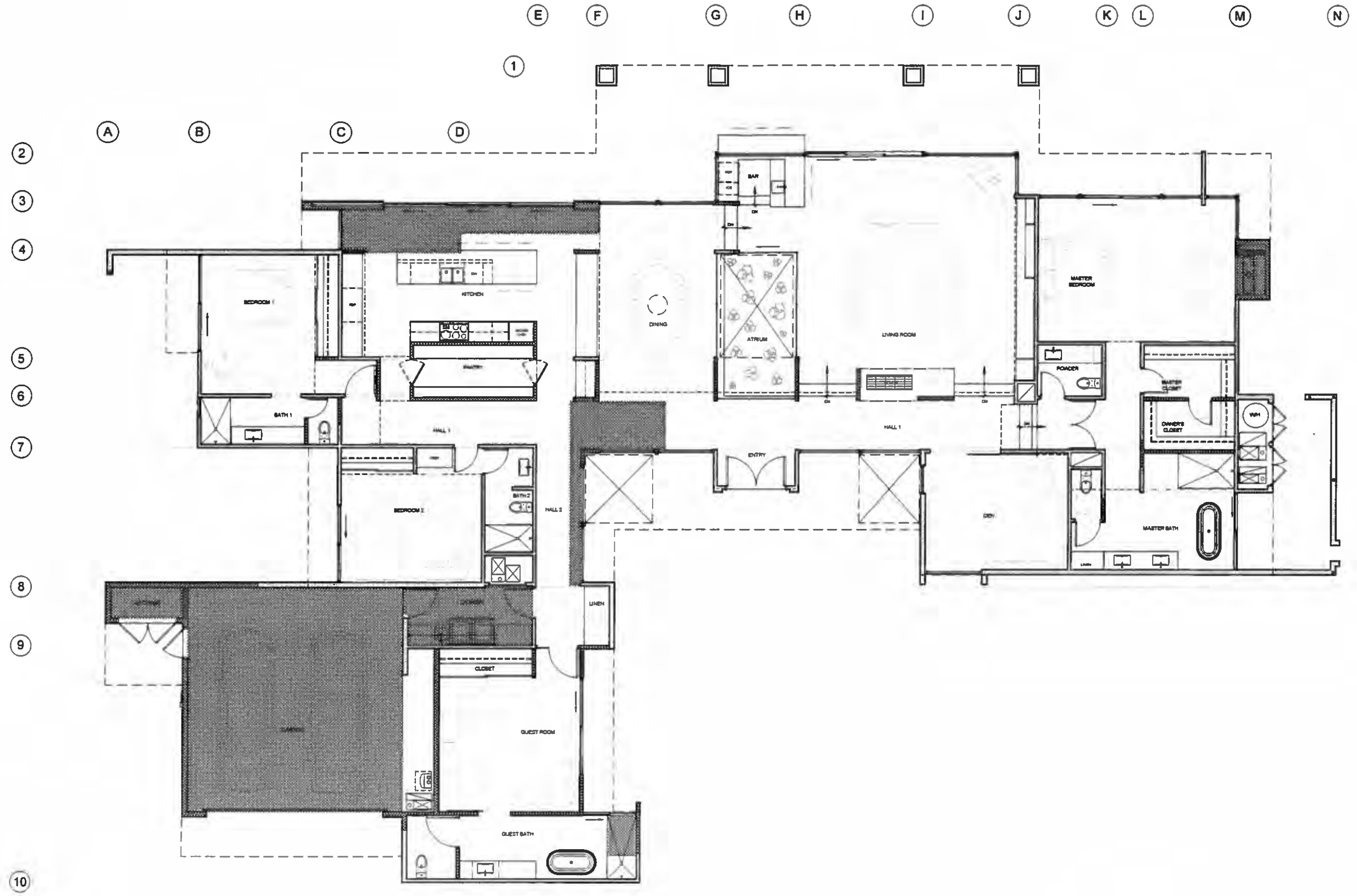
PROJECT TITLE:
FORD RESIDENCE REMODEL
1835 RIDGEHORE DRIVE
PALM SPRINGS, CA 92284



SHEET DESCRIPTION:
EXISTING & DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"
DATE: 06.03.16

THIS DOCUMENT SHALL NOT BE REPRODUCED NOR SHALL THE INFORMATION CONTAINED THEREIN BE USED BY OR DISCLOSED TO OTHERS EXCEPT AS EXPRESSLY AUTHORIZED BY US ARCHITECTURE

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DATE	REVISION

PROJECT TITLE
FORD RESIDENCE REMODEL
 1835 RIDGEMORE DRIVE
 PALM SPRINGS, CA 92264



SHEET DESCRIPTION
REMODEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 DATE: 05.03.18

A1.1

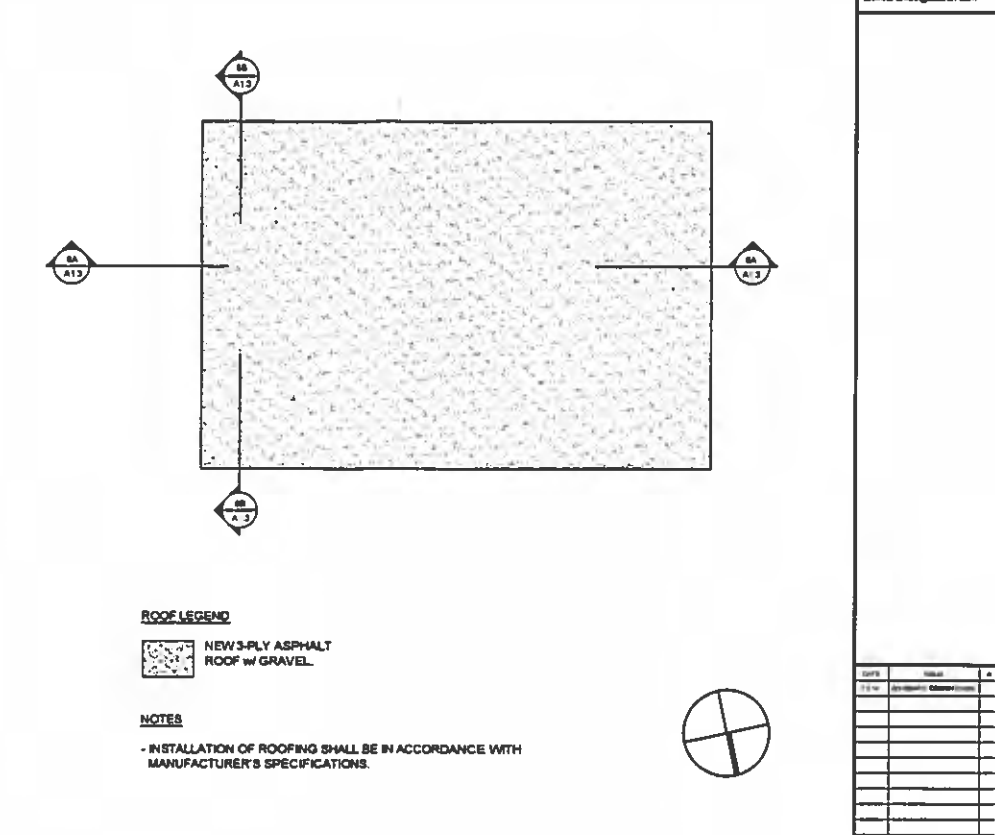
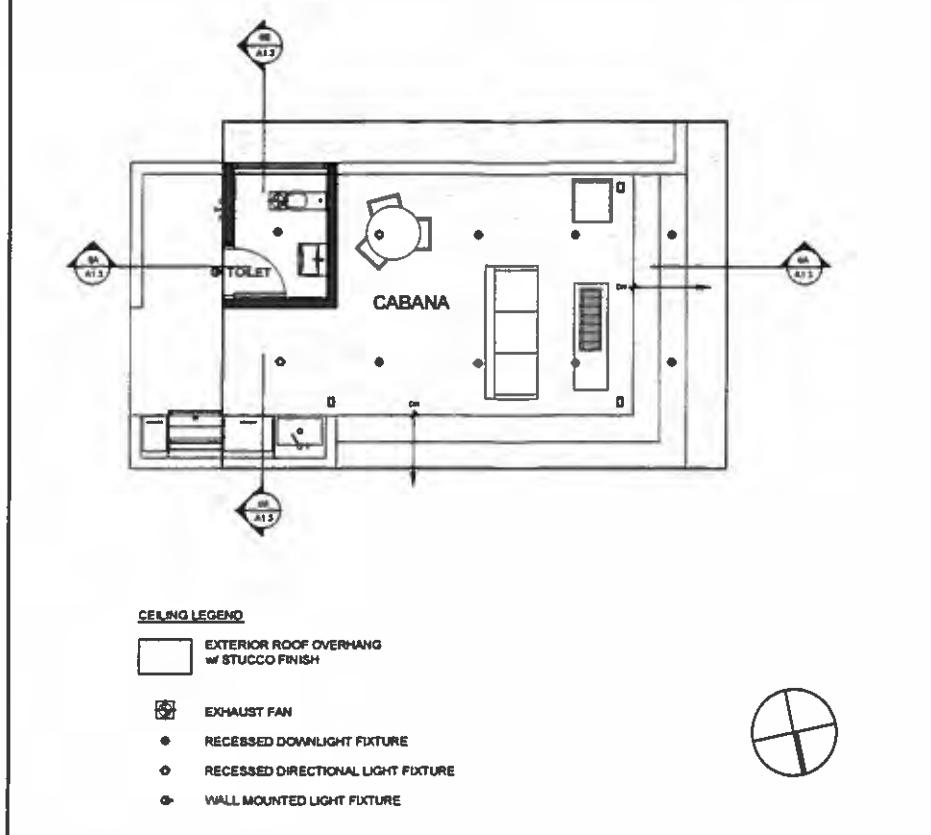
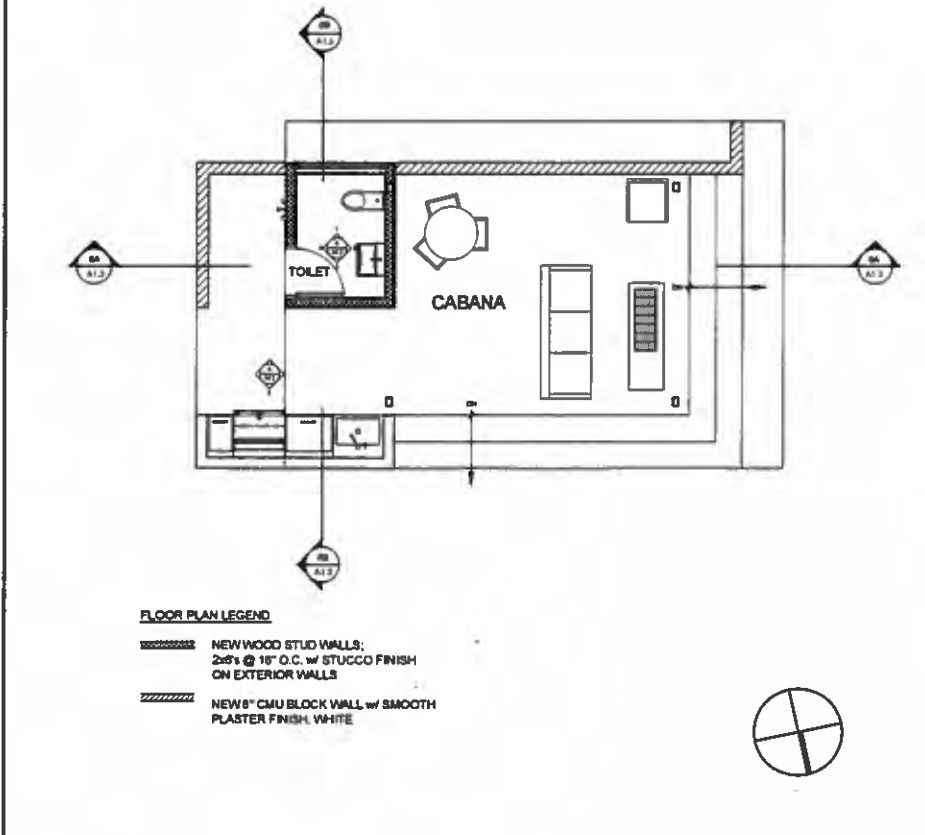
1 REMODEL FLOOR PLAN
 SCALE 1/4"=1'-0"

WALL LEGEND
 ——— EXISTING WOOD STUD WALLS
 w/ GYPSUM SO. FINISH ON INTERIOR WALLS & R-15 BATT INSULATION w/ STUCCO FINISH ON EXTERIOR WALLS
 - - - - - NEW WOOD STUD WALLS
 2x4 @ 16" O.C. AT NEAR INTERIOR WALLS, 2x6 @ 16" O.C. w/ R-21 BATT INSULATION & STUCCO FINISH ON EXTERIOR WALLS
 - - - - - INDICATES REMOVED WALLS
 ■■■■■ ADDED FLOOR AREA



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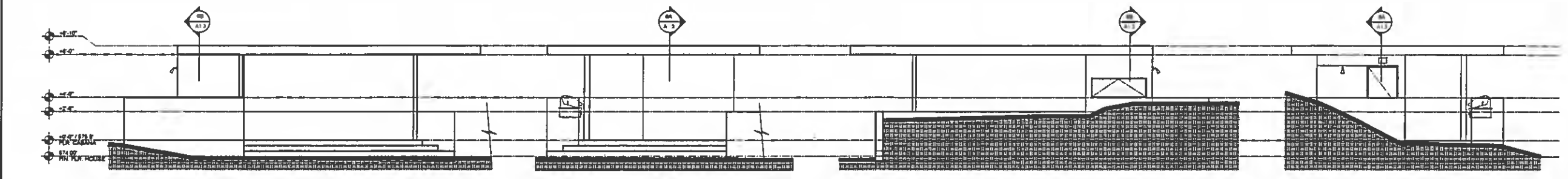
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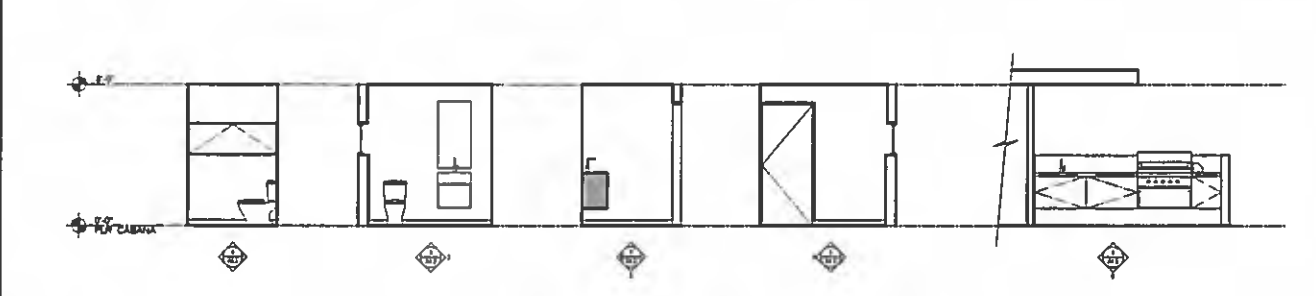
1 CABANA - PROPOSED FLOOR PLAN
 SCALE 1/4"=1'-0"

2 CABANA - REFLECTED CEILING PLAN
 SCALE 1/4"=1'-0"

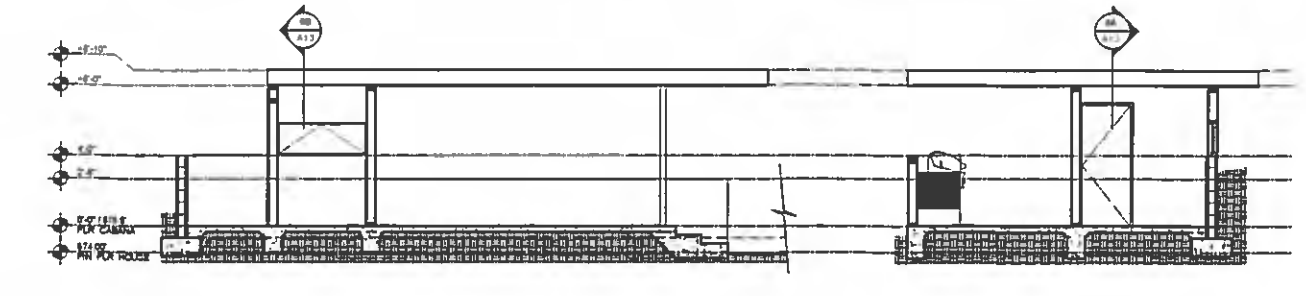
3 CABANA - ROOF PLAN
 SCALE 1/4"=1'-0"



4 EXTERIOR ELEVATIONS
 SCALE 1/4"=1'-0"



5 INTERIOR ELEVATION
 SCALE 1/4"=1'-0"



6 SECTIONS
 SCALE 1/4"=1'-0"

NO.	REVISION	DATE

PROJECT TITLE
FORD RESIDENCE REMODEL
 1035 RIDGEMORE DRIVE
 PALM SPRINGS, CA 92264



SHEET DESCRIPTION
CABANA PLANS, ELEVATIONS & SECTIONS
 SCALE: 1/4" = 1'-0"
 DATE: 05.03.18

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MATERIAL & FINISH
 SEE SHEET A2.1

LANDSCAPE
 [L-1] NATURAL DESERT SOIL
 [L-2] DECKPOSED GRANITE GRAY
 [L-3] GRASS

SITE FINISH
 [S-1] NEW CONCRETE HARDSCAPE
 [S-2] NEW CONCRETE DRIVEWAY
 [S-3] EXISTING ASPHALT DRIVEWAY
 [S-4] NEW SITE ENTRY DATE w/ PAINT FINISH COLOR TBD
 [S-5] NEW ALUMINUM STEEL DRIVEWAY GATE w/ PAINT FINISH COLOR TBD
 [S-6] NEW IRRIGATION POOL w/ ROCKETT EDGE
 [S-7] NEW CHAIN LINK w/ 18" HIGH POSTER WITH 18" TOP WHITE
 [S-8] NEW CHAIN LINK
 [S-9] EXISTING CHAIN LINK TO REMAIN
 [S-10] EXISTING FENCE & GATE TO REMAIN
 [S-11] MAILBOX TBD

EXTERIOR FINISH
 [EF-1] EXISTING EXTERIOR TO REMAIN PLASTER AND TO REPAIR AS NEEDED AND RE-FINISH w/ NEW TOPCOAT COLOR TBD
 [EF-2] NEW 3-COAT PORTLAND CEMENT PLASTER OVER INSULATION LATHING OVER SHEET ROOF & METAL FRAMING COLOR TBD
 [EF-3] NEW COORDINATING BRICK FINISH ON SHEET AT 2
 [EF-4] EXISTING EXTERIOR WOOD NEW STAIN FINISH COLOR TO BE DETERMINED
 [EF-5] NEW INSULATED THIN WALL AND HEAVY DUTY GARAGE DOOR
 [EF-6] EXISTING DOORS TO REMAIN
 [EF-7] NEW STEEL COLUMN w/ BRASS PAINT FINISH COLOR T & S
 [EF-8] EXISTING FLOOR TILES TO REMAIN
 [EF-9] EXISTING PLAT ROOF SHIELD GRAVEL TO REMAIN
 [EF-10] NEW ROOF AREA
 [EF-11] WOOD STOPS

Mechanical
 [M-1] EXISTING FURNACE AIR HANDLER TO REMAIN
 [M-2] EXISTING CONDENSING UNIT TO REMAIN
 [M-3] NEW SPLIT UNIT

Electrical
 [E-1] RELOCATE ELECTRICAL MAIN PANEL AND WIRING EXISTING SEE AWP SERVICE

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1 EXTERIOR ELEVATION - NORTH
 SCALE 1/4" = 1'-0"



2 EXTERIOR ELEVATION - WEST
 SCALE 1/8" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
 SCALE 1/8" = 1'-0"



4 EXTERIOR ELEVATION - EAST
 SCALE 1/4" = 1'-0"

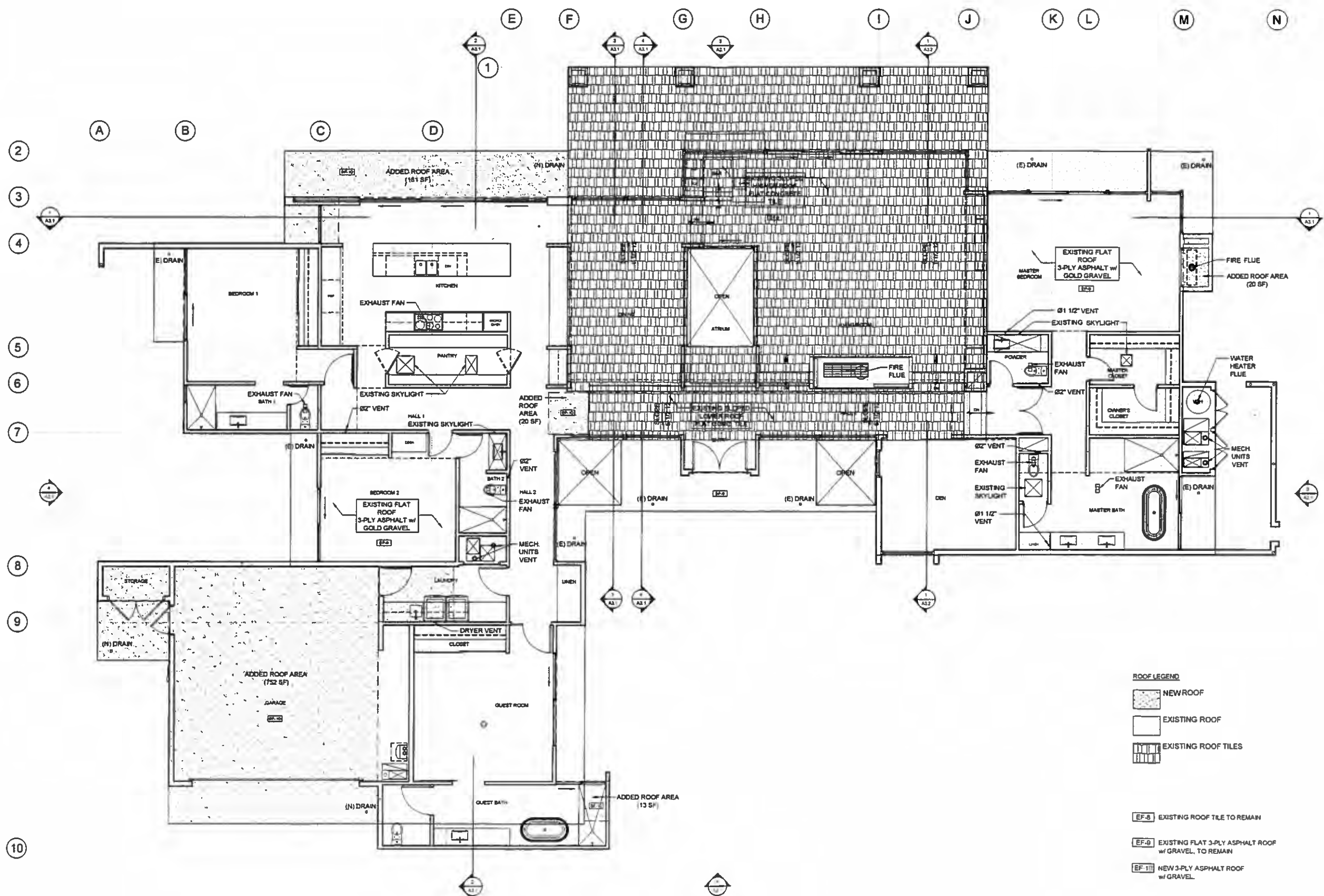
PROJECT TITLE
 FORD RESIDENCE REMODEL
 1035 RIDGEWOOD DRIVE
 PALM SPRINGS, CA 92264









SHEET DESCRIPTION
 EXTERIOR ELEVATIONS
 SCALE 1/4" = 1'-0"
 DATE 08.03.18

A2.1

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- ROOF LEGEND**
-  NEW ROOF
 -  EXISTING ROOF
 -  EXISTING ROOF TILES
-
-  EXISTING ROOF TILE TO REMAIN
 -  EXISTING FLAT 3-PLY ASPHALT ROOF w/ GRAVEL, TO REMAIN
 -  NEW 3-PLY ASPHALT ROOF w/ GRAVEL

PROJECT TITLE
FORD RESIDENCE REMODEL

1835 RIDGEMORE DRIVE
PALM SPRINGS, CA 92264



SHEET DESCRIPTION
REMODEL ROOF PLAN

SCALE: 1/4" = 1'-0"
DATE: 05.03.16

A7.1

