



## PLANNING COMMISSION STAFF REPORT

DATE: SEPTEMBER 14, 2016

SUBJECT: SCOTT & KERRY BADER, OWNERS, FOR A MAJOR ARCHITECTURAL APPLICATION CASE 3.3973 MAJ; FOR THE CONSTRUCTION OF A NEW 5,379-SQUARE FOOT SINGLE FAMILY HOUSE WITHIN THE MONTE SERENO DEVELOPMENT LOCATED AT 1010 BELLA VISTA, ZONE R-1-B, PD 269 (CASE 3.3973 MAJ). (GM)

FROM: Flinn Fagg, AICP, Director of Planning Services

---

### SUMMARY

The Planning Commission to review a Major Architectural Application for the construction of a new 5,379-square foot single-family house within the Monte Sereno development.

### RECOMMENDATION:

Staff recommends approval of the application, subject to conditions.

### BACKGROUND INFORMATION:

#### ***Most Recent Ownership***

04/10/2015	Scott & Kerry Bader
------------	---------------------

#### ***Neighborhood Meeting/Neighborhood Notice***

09/08/2016	Email notification sent to Andres Hills; Canyon Corridor; and Indian Canyon Neighborhood Organizations.
------------	---

#### ***Field Check***

September 2016	Staff visited site to observe existing conditions
----------------	---

### DETAILS OF APPLICATION REQUEST:

#### ***Site Area***

Net Area	18,295-square feet
----------	--------------------

<b><i>Surrounding Property</i></b>	<b><i>Existing General Plan Designations</i></b>	<b><i>Existing Land Use</i></b>	<b><i>Existing Zoning Designations</i></b>
Subject Property	ER (Estate Residential), 2 Units per acre	Single-Family Residential	PD-298 (Single-Family Residential)

North	Open Space	Golf Course	R-1-B (Single-Family Residential)
South	ER (Estate Residential), 2 Units per acre	Single-Family Residential	PD-298 (Single-Family Residential)
East	ER (Estate Residential), 2 Units per acre	Single-Family Residential	PD-298 (Single-Family Residential)
West	Open Space	Golf Course	R-1-B (Single-Family Residential)

<b>Specific Plan Area</b>	<b>Compliance</b>
Canyon South Specific Plan	Yes

**DEVELOPMENT STANDARDS:**

Pursuant to Section 92.01.03 of the Palm Springs Zoning Code (PSZC) for the R-1-B zone the following standards apply in conjunction with Planned Development District (PDD 269):

<b>Standard</b>	<b>Required/Allowed</b>	<b>Provided</b>	<b>Compliance</b>
Lot Area	15,000-square feet	18,295-square feet	Yes
Lot Width	100 feet	136 feet	Yes
Lot Depth	100 feet	170 feet	Yes
Front Yard	25 feet	25 feet	Yes
Side Yard	10	10 feet	Yes
Rear Yard	20 feet facing fairway	20 feet	Yes
Building Height (max.)	22 feet max per PD 269	19 feet	Yes
Bldg. Coverage	35% lot coverage	33%	Yes
House / Garage	1,500 – sq ft min.	5,379 - sq. ft.	Yes
Off-street parking	2 covered spaces	2 covered provided	Yes
Landscaping	No specific requirements	Landscape plan provided	Yes

**ANALYSIS:**

**Site Plan:**

The proposed new home is located on a vacant lot within the Monte Sereno Community. Monte Sereno is an 89 lot single-family residential community consisting of homes built in mid-2000 and most recently 60 lots being developed by Alta Verde Builders. Several lots within the development remain vacant and available for custom homes which require approval by the Planning Commission. The subject lot is located at the intersection of Bella Vista and Via Tranquillo and backs onto the Indian Canyon

Golf Course to the north and west. The custom home is proposed to be 5,379-square feet in size with a 3-car garage and 4-bedroom structure oriented to maximize views of the golf course and mountains.

The house is sited on the unique lot with access from a half cul-de-sac leading to the main entry and three car garage motor court. The house is setback twenty-five (25) feet from the street side property line with side yards at ten (10) feet and rear yards twenty (20) feet facing the fairway. The outdoor living space and pool are oriented westward toward the golf course and mountain.

**Mass and Scale:**

The proposed house will be one-story with a maximum height of nineteen (19') feet to the top of the building parapet. The Monte Sereno Development was approved as a Planned Development District (PD-269) and allows for the maximum building heights of twenty-two (22) feet. Existing homes within the development are at comparable heights or higher. The tallest portion of the proposed home is located on the north elevation which faces the golf course fairway thus limiting any impact to adjacent homes. The 5,379-square foot house on an 18,295-square foot parcel equates to a lot coverage of 33% which is within the allowable limit.

**Building Design and Detailing:**

The proposed building is Modern inspired with a series of flat roofs supported by posts and beams. The building materials include the use of smooth exterior plaster in an off-white color for the main body; tile veneer in a beige stone color as wall accents; silver anodized door and window frames; with grey tinted glass. Other architectural features include white painted steel support beams, and plaster covered projecting canopies. A six (6') tall CMU block wall coated with smooth plaster painted to match the house is proposed on the south property line and a steel tubular fence painted a beige color along the fairway.

**Landscaping and Buffers:**

The landscape plan for the lot include the use of five (5) Washingtonia Filifera palm trees at twelve (12) feet tall; two (2) large multi-trunk 48" box Palo Verde trees; two (2) single trunk Acacia Trees; and three (3) citrus trees planted in the front entry or side yards of the lot. Other plantings will include desert accents such as cacti, shrubs, grasses and groundcover with low plants for the areas fronting the fairway. Hardscapes to utilize concrete step pads, 3/8" crushed rock, cobble and decomposed granite. Artificial turf is proposed in a small area adjacent to the pool and spa.

**Architectural Review Criteria:**

PSZC Section 94.04.00(D) requires an evaluation of the proposed development to determine if it will provide a desirable environment for its occupants, be compatible with the character of the adjacent and surrounding developments, and whether it is good composition, material, textures, and colors. Conformance shall be evaluated based on the following criteria:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The proposed site consists of a vacant lot located within the Monte Sereno development on an 18,295-square foot parcel. The custom home is proposed to be 5,379-square feet and sited on the unique lot with access from a half cul-de-sac leading to the main entry and three car garage motor court. The house is setback twenty-five (25) feet from the street side property line with side yards at ten (10) feet and rear yards twenty (20) feet facing the fairway.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The Monte Sereno Development is a Planned Development District (PD-269) which allows for deviations from the underlying R-1-B zone. The custom home will have a maximum building height of nineteen (19) feet which is comparable to other homes within the neighborhood. The proposed size of the house at 5,379-square equating to lot coverage of 33% is similar to houses within the development.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The proposed home will be one-story with a maximum height of 19' feet to the top of the building parapet. The building setbacks are consistent and conform to the R-1-B zone and the PD 269 development standards. The adjacent properties within the immediate area are similar one-story single-family residences. The trash and mechanical equipment will be concealed within an enclosure on the east side of the home with a pass through gate accessed from the motor court and rear yard.

4. *Building design, materials and colors to be sympathetic with desert surroundings;*

AND

5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously,*

AND

6. *Consistency of composition and treatment,*

Building materials will include the use of smooth exterior plaster in an off-white color for the main body; tile veneer in a beige stone color for accents; silver anodized door and window frames; with grey tinted glass. Other architectural features include white painted steel support beams, and plaster covered projecting canopies. A six (6') tall CMU block wall coated with smooth plaster painted to match the house is proposed on the south property line and a steel tubular fence painted a beige color along the fairway.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The landscape plan for the lot include the use of five (5) Washingtonia Filifera palm trees at twelve (12) feet tall; two (2) large multi-trunk 48" box Palo Verde trees; two (2) single trunk Acacia Trees; and three (3) citrus trees planted in the front entry or side yards of the lot. Other plantings will include desert accents such as cacti, shrubs, grasses and groundcover with low plants for the areas fronting the fairway. Hardscapes to utilize concrete step pads, 3/8" crushed rock, cobble and decomposed granite. Artificial turf is proposed in a small area adjacent to the pool and spa.

#### ENVIRONMENTAL DETERMINATION:

Pursuant to the California Environmental Quality Act (CEQA) Guidelines, the project is a Class III exemption and is categorically exempt per Section 15303(a) (New Single-Family Residence and Accessory Structure).

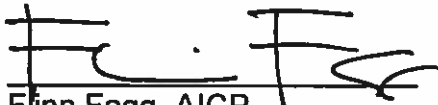
#### FINDINGS:

The project as proposed conforms to the development standards of Planned Development District PD-269 and the R-1-B zone. The proposed custom house as sited meets the required setbacks, height limits, and landscape requirements and has received approval from the Monte Sereno Community Association Design Review

Committee. Based upon these facts, Staff recommends approval of the project subject to Conditions of Approval.



Glenn Mlaker, AICP  
Associate Planner



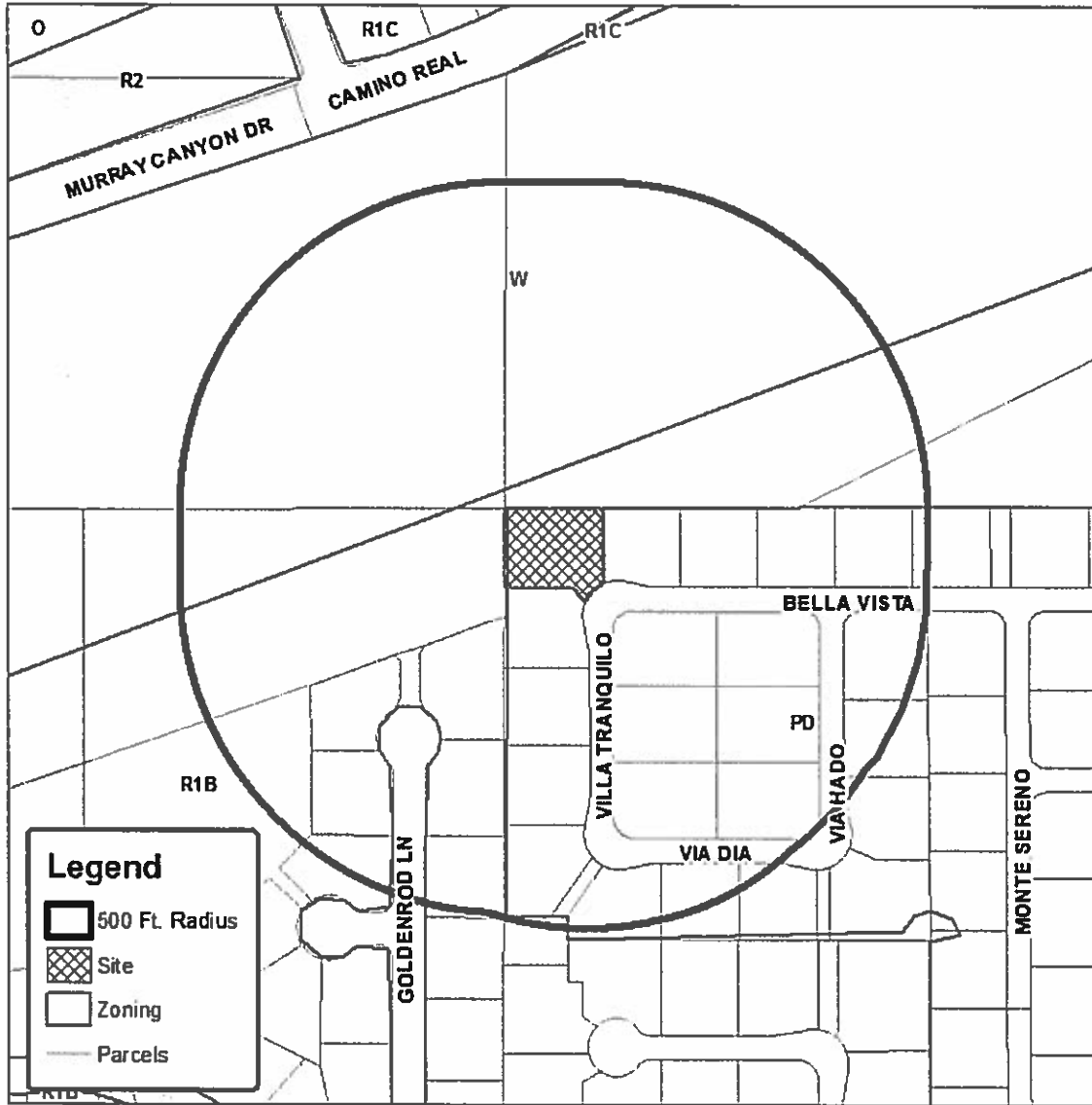
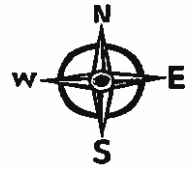
Flinn Fagg, AICP  
Director of Planning Services

Attachments:

1. Vicinity Map
2. Resolution
3. Conditions of Approval
4. Justification Letter from Applicant
5. Monte Sereno Design Review Committee Letter
6. Site Photos
7. Material Board
8. 3-D Images
9. Site Plan
10. Floor Plans
11. Roof Plans
12. Building Elevations
13. Grading Plan
14. Landscape Plan



# Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS

RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION (CASE NO. 3.3973 MAJ); FOR THE CONSTRUCTION OF A NEW 5,379-SQUARE FOOT SINGLE FAMILY HOUSE WITHIN THE MONTE SERENO DEVELOPMENT LOCATED AT 1010 BELLA VISTA, ZONE R-1-B, PD 269, SECTION 36 (CASE 3.3973 MAJ)

THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

A. Scott & Kerry Bader, ("Applicant") has filed an application with the City pursuant to Section 94.04.00 of the Zoning Ordinance for the construction of a new 5,379-square foot single-family house within the Monte Sereno Development located at 1010 Bella Vista, Zone R-1-B, PDD 269, Section 36.

B. On September 14, 2016, the Planning Commission held a public meeting to consider the application Case 3.3973 MAJ in accordance with applicable law.

C. The City has evaluated the Project for compliance with the California Environmental Quality Act (\*CEQA) and has determined that the Project is categorically exempt from the requirements of CEQA pursuant to Section 15303(a) (New Single-Family Residence and Accessory Structure) of the CEQA guidelines.

D. The Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the case, including, but not limited to, the staff report, and all written and oral testimony presented.

E. Pursuant to Section 94.04.00 of the Palm Springs Zoning Code, the Planning Commission finds:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The proposed site consists of a vacant lot located within the Monte Sereno development on an 18,295-square foot parcel. The custom home is proposed to be 5,379-square feet and sited on the unique lot with access from a half cul-de-sac leading to the main entry and three car garage motor court. The house is setback twenty-five (25) feet from the street side property line with side yards at ten (10) feet and rear yards twenty (20) feet facing the fairway.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community,*



*avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The Monte Sereno Development is a Planned Development District (PD-269) which allows for deviations from the underlying R-1-B zone. The custom home will have a maximum building height of nineteen (19) feet which is comparable to other homes within the neighborhood. The proposed size of the house at 5,379-square equating to lot coverage of 33% is similar to houses within the development.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The proposed home will be one-story with a maximum height of 19' feet to the top of the building parapet. The building setbacks are consistent and conform to the R-1-B zone and the PD 269 development standards. The adjacent properties within the immediate area are similar one-story single-family residences. The trash and mechanical equipment will be concealed within an enclosure on the east side of the home with a pass through gate accessed from the motor court and rear yard.

4. *Building design, materials and colors to be sympathetic with desert surroundings;*

AND

5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously,*

AND

6. *Consistency of composition and treatment,*

Building materials will include the use of smooth exterior plaster in an off-white color for the main body; tile veneer in a beige stone color for accents; silver anodized door and window frames; with grey tinted glass. Other architectural features include white painted steel support beams, and plaster covered projecting canopies. A six (6') tall CMU block wall coated with smooth plaster painted to match the house is proposed on the south property line and a steel tubular fence painted a beige color along the fairway.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The landscape plan for the lot include the use of five (5) Washingtonia Filifera palm trees at twelve (12) feet tall; two (2) large multi-trunk 48" box Palo Verde trees; two (2) single trunk Acacia Trees; and three (3) citrus trees planted in the front entry or side yards of the lot. Other plantings will include desert accents such as cacti, shrubs, grasses and groundcover with low plants for the areas fronting the fairway. Hardscapes to utilize concrete step pads, 3/8" crushed rock, cobble and decomposed granite. Artificial turf is proposed in a small area adjacent to the pool and spa.

THE PLANNING COMMISSION RESOLVES:

Based upon the foregoing, the Planning Commission hereby approves Case 3.3973 MAJ for a Major Architectural Application for the construction of a new 5,379-square foot single-family house within the Monte Sereno Development located at 1010 Bella Vista subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 14th day of September, 2016.

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

---

Flinn Fagg, AICP  
Director of Planning Services

RESOLUTION NO.

EXHIBIT A

Major Architectural 3.3973 MAJ

Scott & Kerry Bader Residence  
1010 Bella Vista

September 14, 2016

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case 3.3973 MAJ;
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped August 3, 2016, including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.3973 MAJ. The City of Palm Springs will promptly

notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.
- ADM 9. Comply with City Noise Ordinance. This use shall comply with the provisions of Section 11.74 Noise Ordinance of the Palm Springs Municipal Code. Violations may result in revocation of this Conditional Use Permit.

#### **PLANNING DEPARTMENT CONDITIONS**

- PLN 1. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside

County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.

PLN 2. Notice to future buyers on views. All prospective buyers of units shall be notified that there are no written or implied rights to the preservation of scenic views from the parcel.

PLN 3. (add any additional conditions imposed by the Planning Commission here)

#### **POLICE DEPARTMENT CONDITIONS**

POL 1. Developer shall comply with Section II of Chapter 8.04 "Building Security Codes" of the Palm Springs Municipal Code.

#### **BUILDING DEPARTMENT CONDITIONS**

BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

#### **ENGINEERING CONDITIONS**

ENG 1. Original Conditions of Approval for TTM 30046 shall be applied.

#### **FIRE DEPARTMENT CONDITIONS**

FID 1. These conditions are subject to final plan check and review. Initial Fire Department conditions have been determined from the plans received and dated January 19, 2016. Additional requirements may be required at that time based on revisions to site plans.

FID 2. Fire Department Conditions were based on the *2013 California Fire Code* as adopted by City of Palm Springs, Palm Springs Municipal Code and latest adopted NFPA Standards. Four (4) complete sets of plans for private fire service mains, fire alarm, or fire sprinkler systems must be submitted at time of the building plan submittal. No deferred submittals accepted.

#### **FID 3. PLANS AND PERMITS**

Complete plans for private fire service mains or fire sprinkler systems should be submitted for approval well in advance of installation. Plan reviews can take up to 20 working days. Submit a minimum of four (4) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. Inspection fees are charged at the fully burdened hourly rate of the fire inspector. These fees are established by Resolution of the Palm Springs City Council.

FID 4. Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall indicate all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supportive data (calculations and manufacturer's technical data sheets) shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 4. **Conditions of Approval – “Conditions of Approval”** received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 5. **Buildings and Facilities (CFC 503.1.1):** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

**Project Note:** Project does not meet the above requirement. Consider utilizing driveway as an extension of the fire apparatus access road – additional requirements apply. Or submit alternate means of protection.

FID 6. **Operational Fire Hydrant(s) (CFC 507.1, 507.5 & C105.1):** An approved water supply capable of supplying the required fire flow for fire protection shall be provided. Maximum distance from any point on street frontage to a public hydrant – 200 feet (reduced from 250' due to dead-end street). Operational fire hydrant(s) shall be installed within 250 feet of all combustible construction

and shall be serviceable prior to and during construction. They shall be installed and made serviceable prior to and during construction. No landscape planting, walls, or fencing is permitted within 3 feet of fire hydrants, except ground cover plantings.

- FID 7. **NFPA 13R Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13R, 2013 Edition, as modified by local ordinance. Shall comply with Palm Springs Fire Code Appendix L.
- FID 8 **Required Fire Flow (CFC B101.1):** Fire-flow requirements for this project - 1,000 GPM; 2-hour duration.
- FID 9 **Audible Residential Water Flow Alarms - NFPA 13R Fire Sprinklers & Household Fire Alarm System (CFC 903.4.2):** An approved audible sprinkler flow alarm (Wheelock horn/strobe with WBB back box or equal) shall be provided on the exterior of the building in an approved location. It shall be powered by the household fire alarm system. The horn/strobe shall be outdoor rated.
- FID 10 **Residential Smoke and Carbon Monoxide Alarms Installation with Fire Sprinklers - R-3 & Household Fire Alarm System (CFC 907.2.11.2, CRC R314 & R315 and California Health & Safety Code 17926):** Provide and Install Residential Smoke and Carbon Monoxide Alarms. Alarms shall receive their primary power from the building wiring, and shall be equipped with a battery backup. In new construction, alterations, repairs and additions, smoke and carbon monoxide alarms shall be interconnected. The operation of any smoke alarm or the fire sprinkler flow switch will cause all smoke alarms within the dwelling to sound and activate the exterior horn/strobe. The operation of any carbon monoxide alarm will cause all carbon monoxide alarms within the dwelling to sound.

**END OF CONDITIONS**



July 28, 2016

David A. Newell (Via [David.Newell@palmspringsca.gov](mailto:David.Newell@palmspringsca.gov))  
Department of Planning Services  
City of Palm springs, CA

RE: The Scott and Kerry Bader Residence  
1010 Bella Vista  
Monte Sereno Estates  
Palm Springs, CA 92264  
Lot 28 of Tract Map No. 30046  
APN – 512-350-009

On behalf of the owners Scott and Kerry Bader, we would like to request review of their proposed 4,587 square foot custom home by the Palm Springs Planning Staff, confirming that the proposed residence is in reasonable compliance with the existing Planned Development standards for Monte Sereno Estates.

Please find attached the letters of approval for the subject property's architectural and landscape design issued by the Monte Sereno Community Association.

Please contact me if you have questions or require any additional information.

Sincerely,

Chuck Strother  
(cell – 760-275-7306)  
CRS/pkc  
Encl.

39-725 Garand Lane #J, Palm Desert, CA 92211  
760-200-3900 fax 760-200-5222  
luxtecbuilders@gmail.com



**MONTE SERENO COMMUNITY ASSOCIATION**  
C/O DESERT MANAGEMENT  
400 S. Farrell Drive, Suite #B-210  
Palm Springs, CA 92262  
(760) 325-4257 FAX (760) 778-6846

---

April 14, 2016

Scott & Kerry Bader  
11476 Telluride Trail  
Minnetonka, MN 55305

Re: Monte Sereno Community Association  
1010 Bella Vista

Dear Scott & Kerry,

Your Design Review application to construct a new single story residence with a new pool and spa at the above referenced property has been reviewed and approved by the Design Review Committee with the following conditions:


- City approval must be obtained on the setbacks, height and density.
- You must adhere to the HOA procedures for roof equipment; i.e., solar panels, satellite dishes, etc.
- The fencing on the golf course side needs to be consistent with the existing homes; i.e., height and paint color, etc.
- The HOA will have final approval if there are any changes directed by the city of Palm Springs.
- The landscape plan is to be submitted separate from the above referenced application and will require approval prior to the commencement of any work.

Your cooperation and attention to this matter is greatly appreciated. Please feel free to contact our office with any questions or concerns you may have.

Sincerely,

Naudia Sharp, Assistant Manager  
On Behalf of the Board of Directors  
Monte Sereno Community Association

**MONTE SERENO COMMUNITY ASSOCIATION**  
C/O DESERT MANAGEMENT  
400 S. Farrell Drive, Suite #B-210  
Palm Springs, CA 92262  
(760) 325-4257 FAX (760) 778-6846



April 22, 2016

Scott & Kerry Bader  
11476 Telluride Trail  
Minnetonka, MN 55305

Re: Monte Sereno Community Association  
1010 Bella Vista

Dear Scott & Kerry,

Your Design Review application to implement landscaping modifications at the above referenced property has been reviewed and approved by the Design Review Committee.

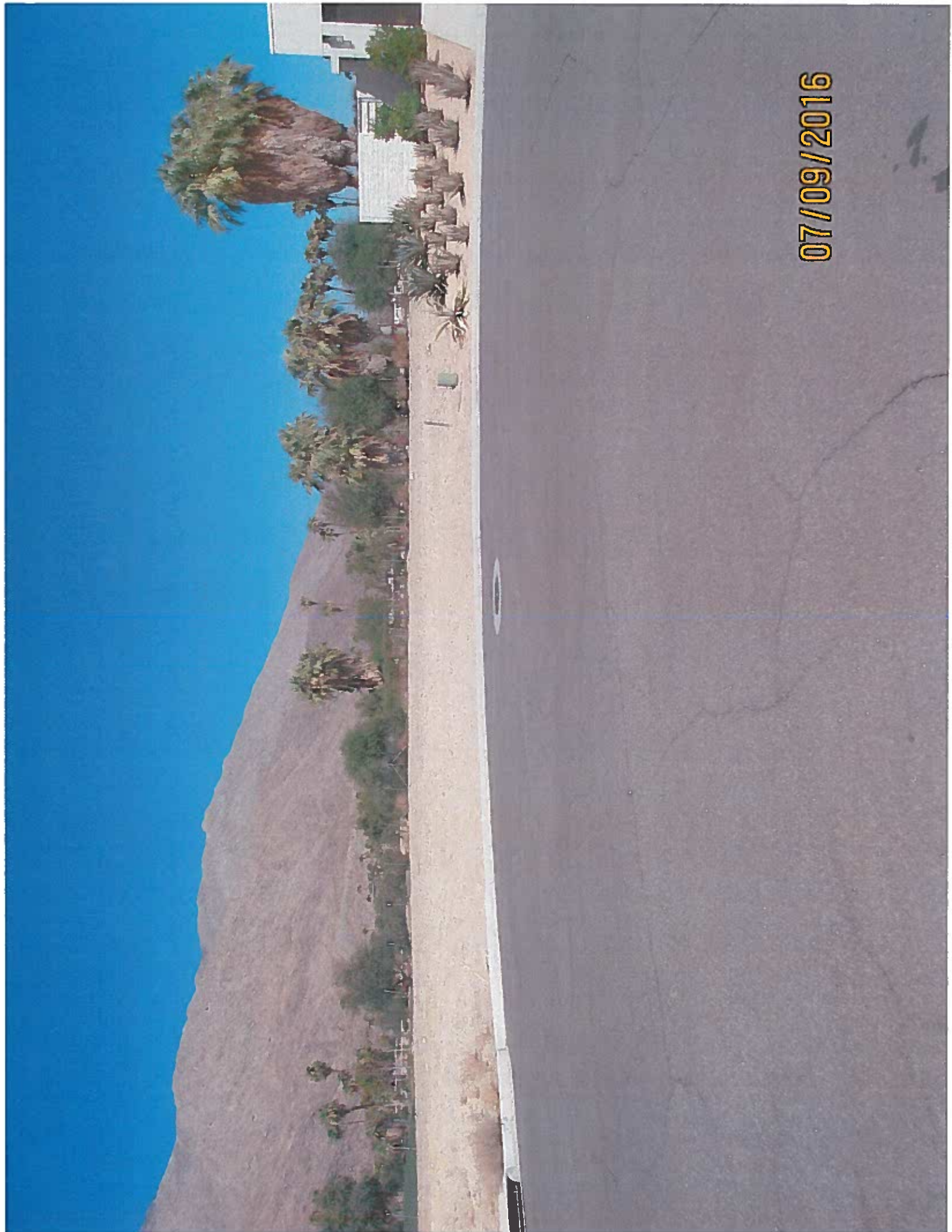
The application was approved per the plans and specifications submitted.

Your cooperation in this matter is greatly appreciated. Please feel free to contact our office with any questions or concerns you may have.

Sincerely,

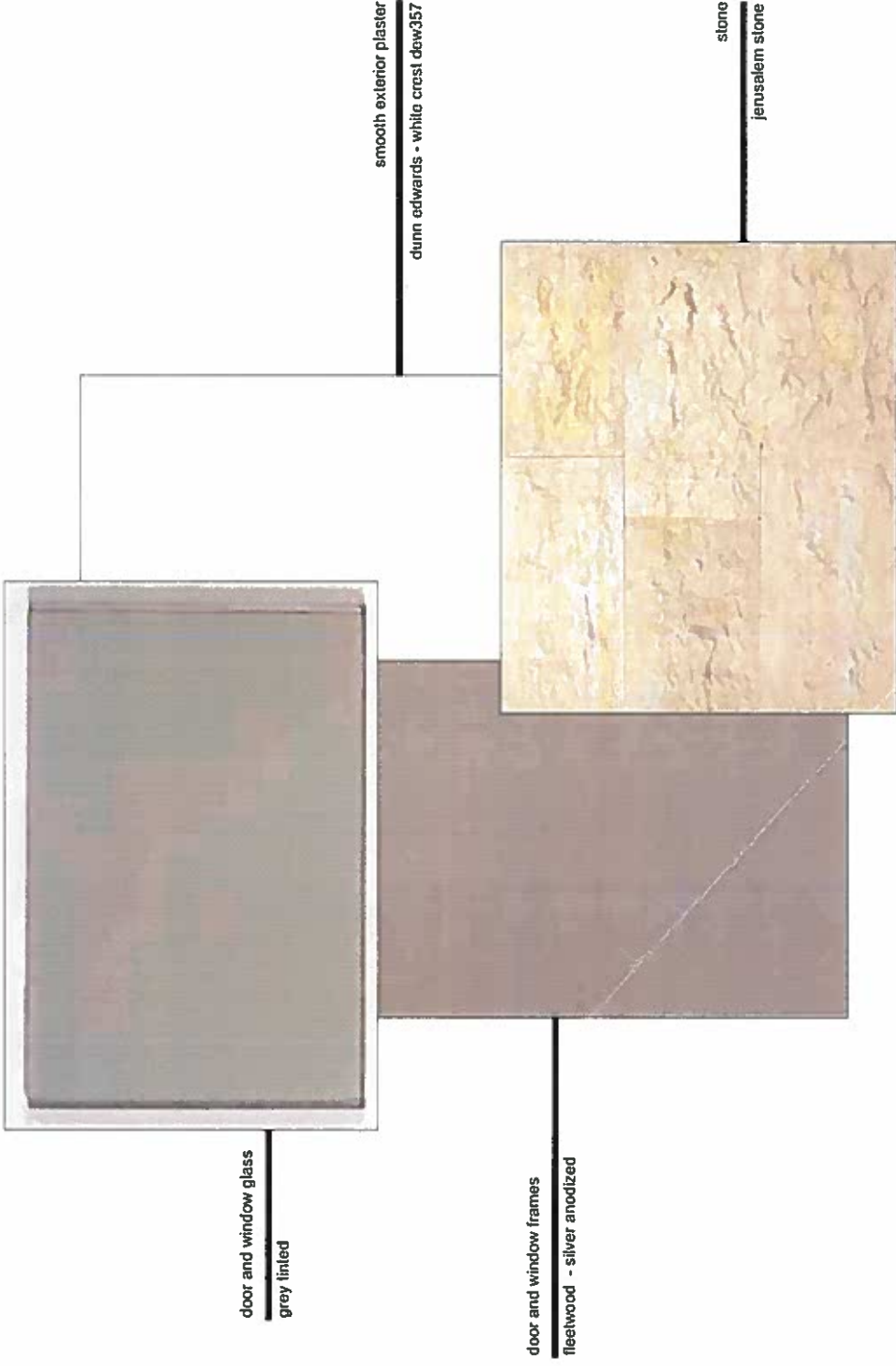
Naudia Sharp, Assistant Manager  
On Behalf of the Board of Directors  
Monte Sereno Community Association

07/09/2016



07/09/2016





door and window glass  
grey tinted

smooth exterior plaster  
dunn edwards - white crest dow357

door and window frames  
fleetwood - silver anodized

stone  
jerusalem stone

color board

bader residence

1010 bella vista, palm springs, ca 92264



april 4, 2016

# bader residence



1010 bella vista  
palm springs, ca 92264

- A GENERAL CONTRACTOR SHALL VISIT THE BUILDING SITE AND SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING ANY WORK AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND MATERIALS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES FROM THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SIGNING EXCAVATIONS, TEMPORARY STRUCTURES AND PARTIALLY COMPLETED PORTIONS OF WORK TO ASSURE SAFE WORKING CONDITIONS.
- B ALL MATERIAL AND WORKMANSHIP SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STANDARDS AND TO APPLICABLE PROVISIONS IN THE LATEST EDITIONS OF THE CBC, CFC, CMC, CEC, LOCAL ORDINANCES SUCH AS BUT NOT LIMITED TO CITY ORDINANCE, FIRE AND ZONING CODES AND WITH THE BEST PRACTICES OF THE TRADE. GENERAL CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY CODE DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- C GENERAL CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY ERECTION BRACING ON ALL BEAMS, WALLS, ETC. TO PROVIDE FULL STRUCTURAL STABILITY. TEMPORARY BRACING SHALL NOT BE REMOVED UNTIL THE PERMANENT BRACING HAS BEEN COMPLETELY INSTALLED AND SECURED AND THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING THE DESIGN LOADS. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES.
- D ASBESTOS REMOVAL AND DISPOSAL, WHERE REQUIRED SHALL BE PERFORMED BY FUNDS ONLY LICENSED FOR SUCH WORK AND SHALL COMPLY WITH ALL APPLICABLE AGENCY REQUIREMENTS.
- E SHEETWORK AND FINISHING REQUIREMENTS SHALL CONFORM WITH THE LATEST EDITIONS OF SBACA AND MRCA MANUALS. CLADDING SHALL CONFORM WITH CBC CHAPTER 24. HARDWARE SHALL BE DESIGN-BUILD AND SHALL CONFORM WITH THE SECURITY REQUIREMENTS OF CBC. WALLBOARD AND PLASTERING SHALL CONFORM WITH THE LATEST EDITION OF THE LATHING AND PLASTERING SPECIFICATIONS OF THE CALIFORNIA LATHING AND PLASTERING CONTRACTORS ASSOCIATION, INC. CASPERING SHALL CONFORM WITH THE LATEST EDITION OF THE ILL MANUAL. CUSTOM GRADE UNLESS HIGHER GRADE IS SELECTED BY OWNER.
- F THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS AND CONSERVATION AND SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.
- G AFTER INSTALLING THE INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION COMPLIED WITH THE REQUIREMENTS OF TITLE 24, PART 8, AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 5. THE CERTIFICATE SHALL STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION. THE INSTALLER SHALL HAVE A PLANE SPREAD RATING NOT TO EXCEED 20 AND A GRADE IDENTIFY NOT TO EXCEED 400.
- H AN APPROVED BACKFLOW VALVE IS REQUIRED FOR DRAINAGE PIPING SERVING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKFLOW VALVE.
- I ALL HOSE BIBBS MUST BE PROTECTED BY AN ANTI-SIPHON DEVICE.
- J A SEPARATE PERMIT IS REQUIRED FOR EACH BUILDING OR STRUCTURE, I.E. FENCE, WALLS, RETAINING WALLS, AND OUTDOOR AND INDOOR SWIMMING POOLS/PONDS.
- K ALL CONTRACTORS SHALL HAVE A CURRENTLY VALID CITY BUSINESS LICENSE PRIOR TO PERMIT ISSUANCE PER THE CITY MUNICIPAL CODE.
- L ALL CONTRACTORS AND/OR OWNER-BUILDERS MUST SUBMIT CERTIFICATE OF WORKER'S COMPENSATION INSURANCE COVERAGE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR CALIFORNIA LABOR CODE, SECTION 10000.
- M GENERAL CONTRACTORS AND/OR OWNER-BUILDERS SHALL COMPLETE AND SUBMIT A CONTRACTOR'S LIST FORM TO THE DEPARTMENT OF CODE COMPLIANCE PRIOR TO REQUEST FOR FINAL INSPECTION PER LOCAL ORDINANCE MUNICIPAL CODE.
- N APPROVED TEMPORARY SANITARY FACILITIES (I.E. CHEMICAL TOILETS) SHALL BE ON THE CONSTRUCTION SITE PRIOR TO REQUEST FOR PERMIT INSPECTION. PER HEALTH AND SAFETY CODE, SECTION 3415.
- O CONTRACTOR AND/OR OWNER SHALL PROVIDE A TRASH BIN TO INSURE PROPER CLEAN-UP OF ALL BUILDING MATERIALS PER LOCAL MUNICIPAL CODE. (VERIFY)
- P STORAGE OF BUILDING MATERIALS OR DEBRIS SHALL BE CONFINED TO THE LOT FOR WHICH THE PERMIT IS ISSUED. NEIGHBORING PROPERTIES MAY NOT BE UTILIZED FOR THIS PURPOSE UNLESS WRITTEN PERMISSION OF THE OWNER IS ON FILE WITH THE BUILDING DEPARTMENT. THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED IN A CLEAR CONDITION AT ALL TIMES PER LOCAL MUNICIPAL CODE. (VERIFY)
- Q ADDRESS NUMERALS SHALL BE A MINIMUM OF 5 INCHES HIGH FOR RESIDENTIAL PROJECTS PER LOCAL MUNICIPAL CODE. (VERIFY)
- R CONSTRUCTION HOURS: VERIFY WITH THE LOCAL REQUIREMENTS.
- S USE 36 OUNCE SHEET METAL FOR AIR DUCTS PENETRATING THROUGH THE WALL, FLOOR OR CEILING. SEPARATING A GROUP B OCCUPANCY FROM A GROUP M-1 OCCUPANCY PER CBC SECTION 718.5, EXCEPTION 3.
- T HEATING AND COOLING EQUIPMENT LOCATED IN A GARAGE AND WHICH GENERATES A GASE, SPARKS, OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS, SHALL BE INSTALLED WITH THE PLOTS AND BURNERS OR HEATING ELEMENTS AND SWITCHES AT LEAST 18 INCHES ABOVE THE FLOOR LEVEL PER CBC SECTION 502.

- U WARM AIR FURNACES INSTALLED IN ATTICS SHALL CONFORM TO CBC SECTION 506.
- V "OR EQUAL" SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY THE CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.
- W NOT MOPPED SHOWER PANS SHALL BE INSPECTED UPON COMPLETION OF HOT MOPPING AND SHALL BE FILLED WITH WATER FOR INSPECTION.
- X MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH ENERGY CALCULATIONS.
- Y HERB VERIFICATION REQUIRED PER 124 ENERGY CALCULATIONS.
- Z PROVIDE TAG ON PLUMBING SYSTEM UPON COMPLETION. THE TAG SHALL READ AS FOLLOWS:  
"THIS NEW PLUMBING SYSTEM WAS FIRST FILLED AND FLUSHED ON \_\_\_\_\_ (DATE) BY \_\_\_\_\_ (NAME). THE STATE OF CALIFORNIA REQUIRES THE SYSTEM TO BE FLUSHED AFTER STANDING AT LEAST ONE WEEK AFTER THE FILL DATE SPECIFIED ABOVE. IF THIS SYSTEM IS USED EARLIER THAN ONE WEEK AFTER THE FILL DATE, THE WATER MUST BE ALLOWED TO RUN FOR AT LEAST TWO MINUTES PRIOR TO THE COMPLETION OF THE REQUIRED SECOND FLUSHING, EXCEPT BY THE BUILDING OWNER OR OCCUPANT." (CALIFORNIA BUILDING STANDARDS COMMISSION, BULLETIN 10-01), CITY OF PLEASANT HILLS.



vicinity map

SETBACKS	CITY		ASSOCIATION	
	REQUIRED	PROPOSED	REQUIRED	PROPOSED
FRONT	25	25	N/A	25
REAR	10	10	N/A	10
REAR	20 (1)	20	N/A	20

REMARKS: (1) BOTH SIDES THAT FACE FAIRWAYS ARE CONSIDERED REAR FOR REQUIRED SETBACK. P.E. PLANNING

HEIGHTS	CITY		ASSOCIATION	
	ALLOWED	PROPOSED	ALLOWED	PROPOSED
MAXIMUM HEIGHT	12/18 (1)	18' (346.5)	N/A	18' (346.5)
NATURAL GRADE (FAD)	330.5 (2)	330.5	N/A	330.5

REMARKS: (1) 12' AT SETBACKS SLOPING AT 4:12 TO MAX 18'  
(2) MEASURED FROM PAD FOR REQUIRED SETBACK. P.E. PLANNING

SIZE	CITY		ASSOCIATION	
	ALLOWED	PROPOSED	ALLOWED	PROPOSED
MAXIMUM LOT COVERAGE	6,403.25	6,428	N/A	6,431
MAXIMUM SQ. FT.	6,403.25 (1)	6,577	N/A	6,577

REMARKS: (1) .38 X 18,200 = 6,403.25 (SOL. GARAGES)  
used to verify lot size, our and city differs from city info

ROOFS	CITY		ASSOCIATION	
	ALLOWED	PROPOSED	ALLOWED	PROPOSED
PITCH	N/A	OR	N/A	OR
FLAT ROOF MAX	N/A	100%	N/A	100%

REMARKS: PITCHED ROOFS MUST BE CONCRETE TILT ALL FLAT ROOFS MUST BE SLOPED FROM PUBLIC VIEW

PROPERTY ADDRESS: 1010 BELLA VISTA, PALM SPRINGS, CA 92264  
 AGENCY PARCEL NUMBER: 012-000-020  
 LEGAL DESCRIPTION: LOT 28 OF TRACT MAP NO. 20048, 18 26712-19  
 APPROXIMATE: 6-19-6. 374 14,388 S.F. ZONE: RDM-140  
 LOT AREA: 18,268 SF  
 PROJECT TYPE: SINGLE FAMILY DETACHED RESIDENCE, SINGLE STORY  
 CONSTRUCTION TYPE: TYPE V-B, FULLY PERMITTED PER NPA 120  
 OCCUPANCE: R3 1/1"

SQUARE FOOTAGE TABULATIONS	
MAIN FLOOR	4,507 S.F.
TOTAL CONDITIONED	4,507 S.F.
GARAGE	789 S.F.
MECHANICAL POOL STORAGE	63 S.F.
TOTAL UNCONDITIONED	752 S.F.
UNOS TOTAL	5,259 S.F.

APPLICABLE CODES:  
 THIS PROJECT SHALL COMPLY WITH:  
 2013 CALIFORNIA BUILDING CODE (CBC) (IRC)  
 2013 CALIFORNIA MECHANICAL CODE (CMC) (IMC)  
 2013 CALIFORNIA PLUMBING CODE (CPC) (UPC)  
 2013 CALIFORNIA ELECTRICAL CODE (CEC) (NEC)  
 2013 CALIFORNIA RESIDENTIAL CODE (CBC) (ADUPTS 2012 IRC, 2012 IMC, 2012 UPC, 2012 NEC)  
 2012 ENERGY STANDARDS (NPA 120)

**OWNER:** SCOTT & KERRY BADER  
KERRYBADER@GMAIL.COM

**GENERAL CONTRACTOR:** LUNTEC  
P.O. BOX 12070  
PALM DESERT, CA 92250  
(760)200-3600  
LUNTEC@BUILDERSGMAIL.COM

**ARCHITECT:** DAVID R. OLSON ARCHITECTS  
470 BUILD  
IRVINE, CA 92618  
TEL: (949)480-0083  
FAX: (949)480-0094  
CONTACT: DAVID R. OLSON, AIA  
LICENSE: C18424  
DAVID@DROLSONARCHITECT.COM

**SOIL ENGINEER:** EARTH SYSTEMS  
75-8118 COUNTRY CLUB DRIVE  
BERMUDA DUNES, CA 92201  
TEL: (760) 345-1588  
CONTACT: KEVIN PAUL

**SURVEYOR:** EGAN AND EGAN, INC.  
P.O. BOX 9382  
LA QUANTA, CA 92253  
(760)404-7863  
WWW.EGANOVL.COM

**CIVIL ENGINEER:** ESSIE SHAHAMADH  
7800 CALLE ARBORE STE 101  
LA QUANTA, CA 92253  
TEL: (760) 771-9963  
FAX: (760) 771-9998

**STRUCTURAL ENGINEER:** GOWNS ENGINEERING  
4405 CAMPUS DRIVE, SUITE A  
NEWPORT BEACH, CA 92680  
TEL: (949) 732-1812  
FAX: (949) 732-5321  
CONTACT: MIKE HOUSSAIND

**LANDSCAPE ARCHITECT:** HERMANN DESIGN GROUP  
77-888 WOLF ROAD  
PALM DESERT, CA 92211  
TEL: (760)737-8120  
FAX: (760)981-0172  
CONTACT: DIANE LARK  
EMAIL: CH998@GOWNS-INC.COM

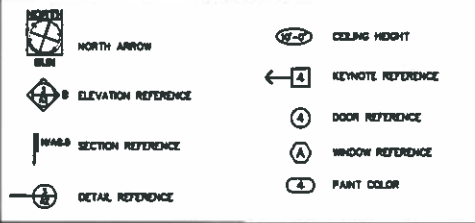
**TITLE 24 ENGINEER:** BLAIR HEATING & AIR  
853 OLEANDER ROAD  
PALM SPRINGS, CA 92264  
TEL: (760)377-1120  
FAX: (760)981-0172  
CONTACT: DIANE LARK  
EMAIL: DIANE@BLAIRHEATINGANDAIR.COM

- ARCHITECTURAL**
- T51 TITLE SHEET / SHEET INDEX / PROJECT DATA
  - T12 RENOVATIONS
  - 0011 SPECIFICATIONS
  - 0012 SPECIFICATIONS
  - A01 SITE PLAN
  - A01 SLAB-EDGE PLAN
  - A01 FLOOR PLAN
  - A01 ROOF PLAN
  - A01 EXTERIOR ELEVATIONS
  - A01 BUILDING SECTIONS
  - A01 BUILDING SECTIONS
  - A71 REFLECTED CEILING PLAN
  - A01 UTILITY PLAN
  - A01 SCHEDULES
  - 011 DOOR DETAILS
  - 012 WINDOW AND EXTERIOR DETAILS
  - 013 ROOFING AND EXTERIOR DETAILS
  - 014 INTERIOR DETAILS
  - 015 FIREPLACE DETAILS
- STRUCTURAL**
- 00-1A GENERAL NOTES & REQUIREMENTS
  - 00-2 SPECIAL INSPECTIONS
  - 00-3 STRUCTURAL DETAILS AND NOTES
  - 00-4 STRUCTURAL DETAILS AND NOTES
  - 0-11 FOUNDATION PLAN
  - 0-12 ROOF FRAMING PLAN
  - 00-7 STRUCTURAL DETAILS
  - 00-8 STRUCTURAL DETAILS
  - 00-9 STRUCTURAL DETAILS
- MECHANICAL**
- M01 MECHANICAL PLAN
  - M02 MECHANICAL NOTES AND SPECIFICATIONS
- PLUMBING**
- P-1 PLUMBING NOTES AND DETAILS
  - P-2 WASTE ISOMETRIC
  - P-3 GAS ISOMETRIC
  - P-4 WATER ISOMETRIC
- MECHANICAL**
- T-04 TITLE 24
- CIVIL**
- 1 NOTES AND DETAILS
  - 2 GRADING PLAN
- SURVEY**
- 1 TOPOG SURVEY

**general / building department notes**

DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY THE CITY.

1. FIRE SPRINKLER DRAWINGS IN ACCORDANCE WITH NPA 120  
NOTE: OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.



deferred submittals

legend

project data

owner / consultants

sheet index

DAVID R. OLSON ARCHITECTS  
 ARCHITECTS  
 470 BUILD  
 IRVINE, CA 92618  
 TEL: (949) 480-0083  
 FAX: (949) 480-0094  
 WWW.DROARCHITECT.COM

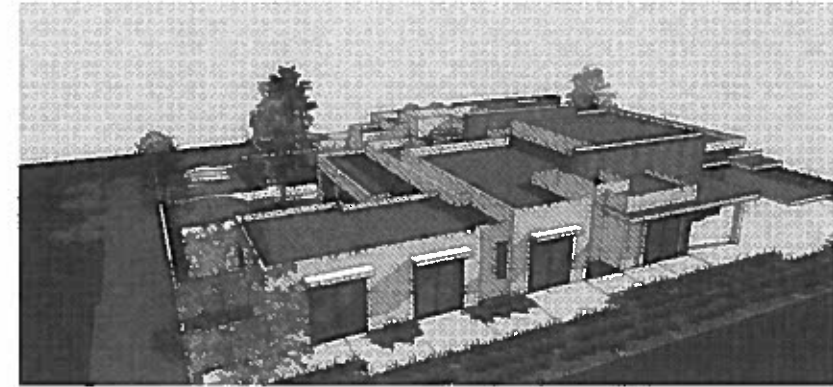
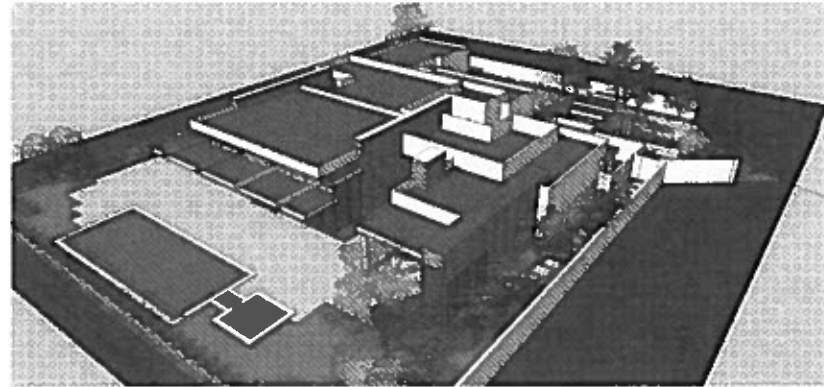
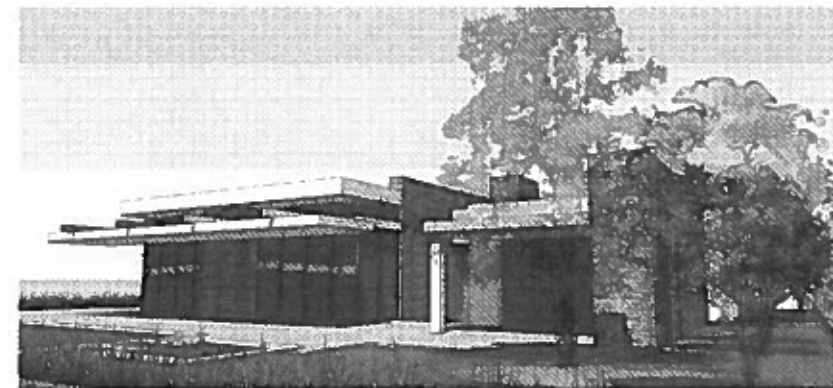
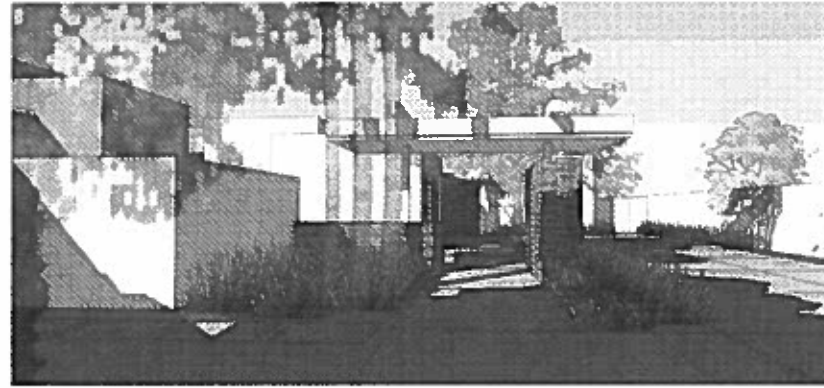
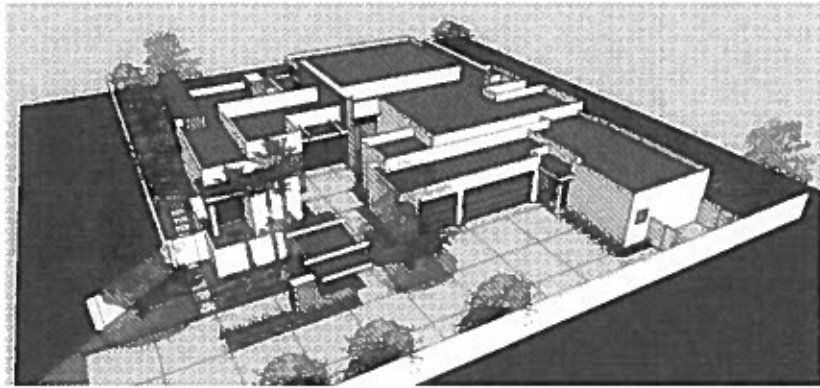
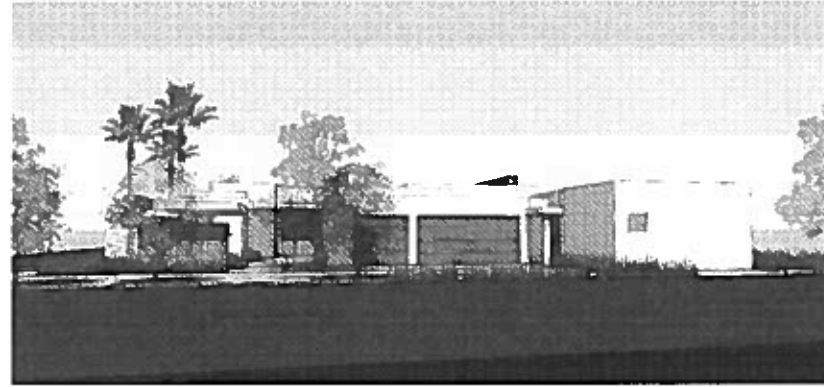
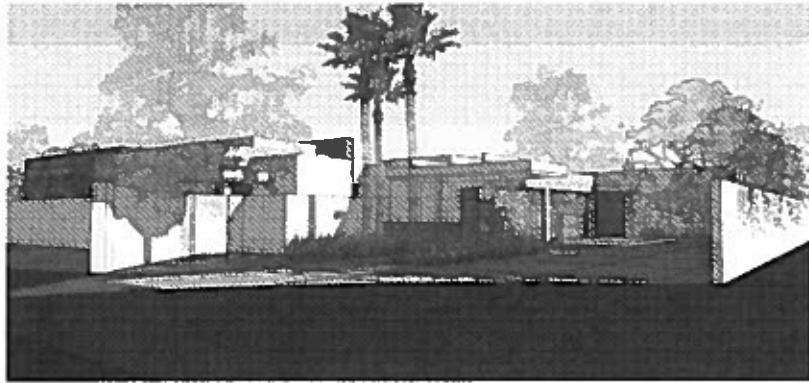
bader residence  
 1010 bella vista  
 palm springs, ca 92264

RECEIVED  
 AUG 03 2016  
 PLANNING SERVICES  
 DEPARTMENT

ALL GENERAL NOTES ON THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND NOTES TO THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

title sheet  
 T1.1

\*\* these 3D images are for general reference only; see other sheets for technical information. \*\*

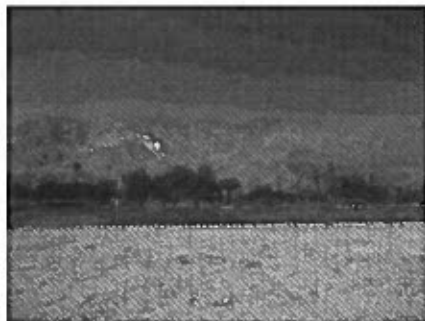
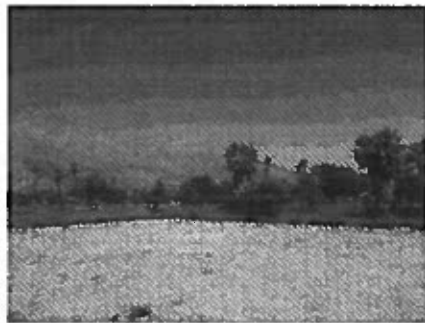


bader residence

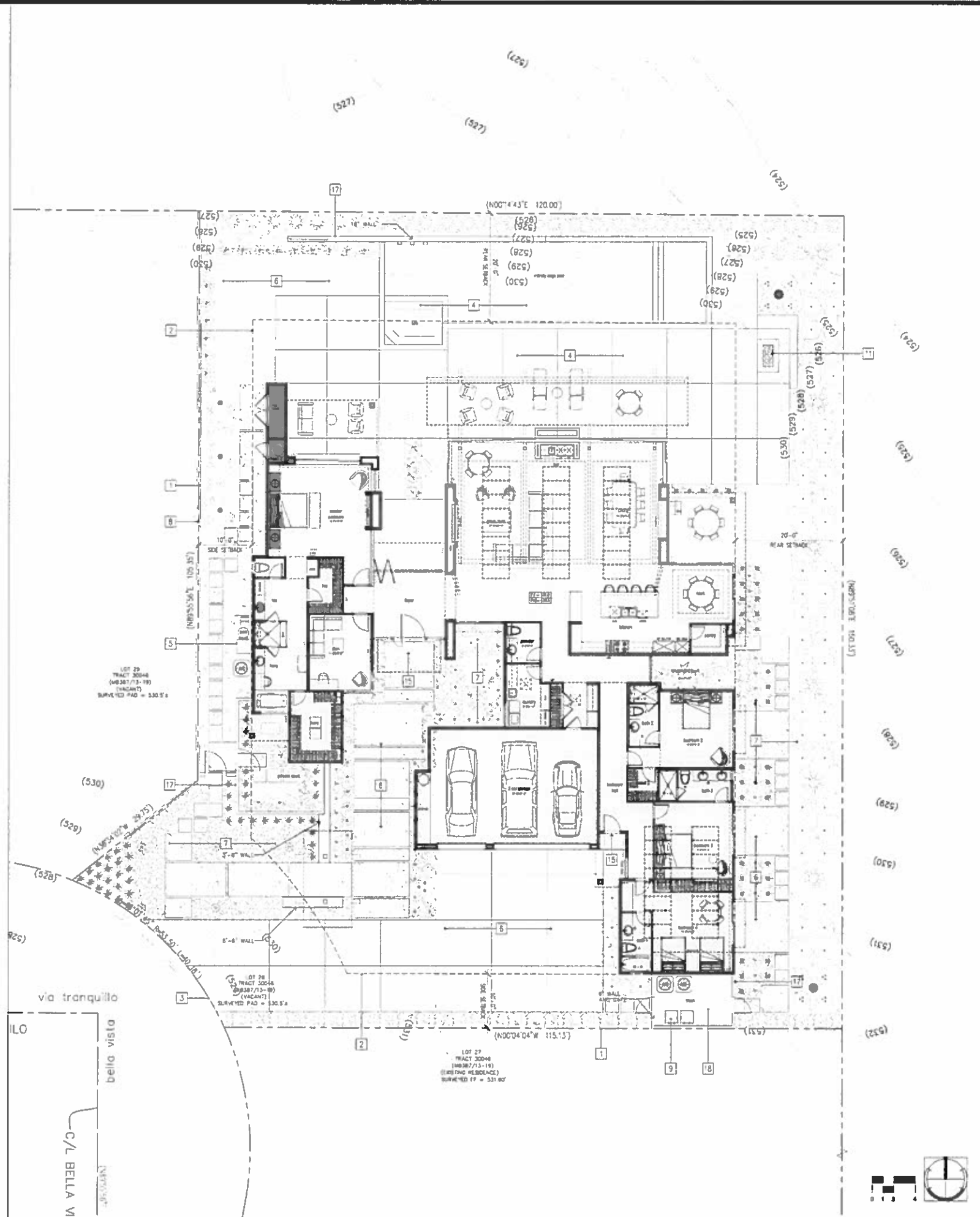
1010 bella vista  
palm springs, ca 92264

3d reference images

T1.2



site photographs



site plan

- 1 REFER TO CIVIL ENGINEERING PLANS FOR EXACT BUILDING LOCATIONS, GRADING, DRAINAGE, FLOWLINES, CURBS, CURBS, ETC.
- 2 REFER TO LANDSCAPE PLANS FOR LANDSCAPE, SITE IRRIGATION, HEDGEROW WALLS, GATES, ROOL, AND FOUNTAIN FEATURES, EXTERIOR SCULPTURE PEDESTALS, EXTERIOR EQUIPMENT LOCATIONS (CONDENSING UNITS, ETC.), SITE LIGHTING, ETC. NOT A PART
- 3 REFER TO CIVIL ENGINEERING PLANS FOR EXISTING UTILITY LOCATIONS, FIELD VERIFY
- 4 REFER TO UTILITY PLAN FOR HOSE BIBBS/BBQ GAS STUB OUTS
- 5 METER LOCATIONS ARE APPROXIMATE, DESIGN BUILD SUBCONTRACTOR TO FIELD VERIFY EXACT LOCATION AND TO RECEIVE APPROVAL FROM THE APPROPRIATE UTILITY COMPANY IN REGARD TO LOCATIONS (CONDENSING UNITS, ETC.), SITE LIGHTING, ETC.
- 6 FRONT PROPERTY CORNERS TO BE LOCATED PRIOR TO CONSTRUCTION
- 7 POOLS, SPAS, WALLS, FENCES, PATIO COVERS AND OTHER FREESTANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS
- 8 ELECTRICAL SERVICE TO BE UNDERGROUND IF SERVICE IS RELOCATED OR A NEW SERVICE IS INSTALLED
- 9 GRADING INSPECTOR IS TO BE CONTACTED TO SCHEDULE A SITE PRE-CONSTRUCTION MEETING 48 HRS PRIOR TO START OF GRADING OR CONSTRUCTION
- 10 ELECTRIC COMPANY APPROVAL IS REQUIRED FOR METER LOCATION PRIOR TO INSTALLATION
- 11 FIELD INSPECTORS TO REVIEW AND APPROVE UNDERGROUND SERVICE REQUIREMENT PRIOR TO CONCRETE PLACEMENT
- 12 THE SITE SHALL BE PLANNED AND DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. PLANS SHALL BE PROVIDED AND APPROVED BY THE CITY ENGINEER THAT SHOW SITE DRAINAGE AND PROVIDE FOR STORM WATER RETENTION AND DRAINAGE DURING CONSTRUCTION. BMP'S THAT ARE CURRENTLY EMPLOYED BY THE CITY ENGINEER MUST BE IMPLEMENTED PRIOR TO INITIAL INSPECTION BY THE BUILDING DEPARTMENT. CCC 4.108.3
- 13 ALL SURFACE WATER WILL DRAIN AWAY FROM BUILDING. THE GRADE SHALL FALL A MINIMUM OF 8" WITHIN THE FIRST 10 FEET. SEE THE GRADING PLAN FOR DRAINAGE PATTERN.

site plan general notes

- 1 EXISTING PROPERTY LINE
- 2 BUILDING SETBACK LINE. SETBACKS ARE MEASURED FROM PROPERTY LINE TO FINISHED SURFACE PER ME 20.30.110 STREET CURB
- 3 POOL AND SPA PER LANDSCAPE PLANS - NOT A PART OF THIS PERMIT
- 4 POOL EQUIPMENT PER LANDSCAPE DRAWINGS - NOT A PART OF THIS PERMIT
- 5 NEW HEDGEROW PER LANDSCAPE DRAWINGS - NOT A PART OF THIS PERMIT
- 6 LANDSCAPED AREA PER LANDSCAPE DRAWINGS - NOT A PART OF THIS PERMIT
- 7 NEW PROPERTY LINE WALL PER LANDSCAPE DRAWINGS
- 8 EXISTING PROPERTY LINE WALL PER LANDSCAPE DRAWINGS - NOT A PART OF THIS PERMIT, NEW PLYSTER FINISH OVER
- 9 GAS METER LOCATION
- 10 FIRE METER PER LANDSCAPE DRAWINGS UNDER SEPARATE POINT
- 11 PORTABLE OUTDOOR BBQ PER LANDSCAPE DRAWINGS UNDER SEPARATE POINT
- 12 ELECTRICAL METER LOCATION
- 13 SEWER LATERAL LOCATION
- 14 LANDING LENGTHS AT ALL EXTERIOR DOORS ARE 36" MIN IN THE DIRECTION OF TRAVEL PER 901.3 AND NOT MORE THAN 72" LOWER THAN THE TOP OF THE PARTIQUILS WHEN THE DOOR DOES NOT SWING OVER THE LANDING PER 901.3.
- 15 AUTOMATICALLY ILLUMINATED BUILDING ADDRESSED NUMBERS
- 16 NEW WALL, GATE OR FENCE PER LANDSCAPE DRAWINGS - NOT A PART OF THIS PERMIT, 6" WALL
- 17 BRUSH BIN STORAGE LOCATION

site plan keynotes

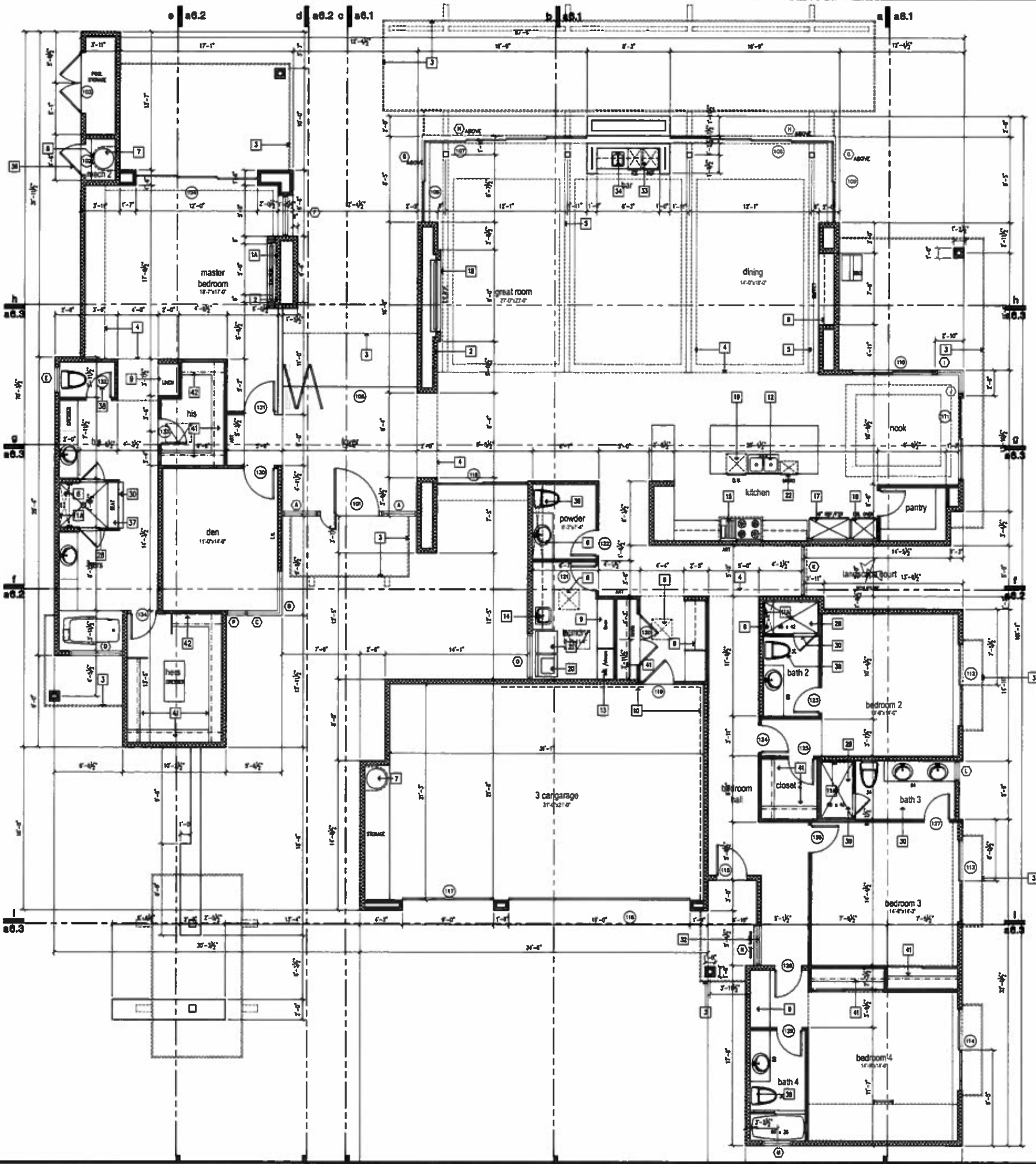
David J. Olson  
ARCHITECTS  
478 W. 14th St.  
P.O. Box 1000  
Palm Springs, CA 92262  
Tel: 760.325.0001



**bader residence**  
1010 bella vista  
palm springs, ca 92264

site plan  
**A1.1**





CONCRETE WASHERY UNIT WILL PER STRUCTURAL DRAWING

2x4 WOOD STUD WALL WITH STUDS AT 16" O.C. BATT INSULATION TO BE SET AT EXTERIOR WALLS OR PER 2x4 DIMENSIONS IS GREATER. PROVIDE 1/2" UNFACED BATT INSULATION AT INTERIOR WALLS. USE 2x4 WHERE REQUIRED BY STRUCTURAL DRAWINGS. CARRY FULL HEIGHT AT BEDROOM/AMPHIBIOUS. ALL WALLS WITH ONE LAYER OF 5/8" TYPE "Y" AND BATT INSULATION FOR SOUND ATTENUATION. USE SLP JOINT AT NON-BEARING CONDITIONS PER STRUCTURAL. USE 2x4 OR 2x6 WHERE NOTICED ON PLAN OR REQUIRED BY STRUCTURAL.

2x6 WOOD STUD WALL AT ALL PLUMBING WALLS AND WHERE NOTICED ON PLAN. 1/2" O.C. BATT INSULATION TO BE SET AT EXTERIOR WALLS OR PER 2x6 DIMENSIONS IS GREATER. PROVIDE 1/2" UNFACED BATT INSULATION AT INTERIOR WALLS FOR SOUND. CARRY FULL HEIGHT AT BEDROOM/AMPHIBIOUS. ALL WALLS WITH ONE LAYER OF 5/8" TYPE "Y" AND BATT INSULATION FOR SOUND ATTENUATION. USE SLP JOINT AT NON-BEARING CONDITIONS.

ADVISED TILE VENEER WHERE OCCURS

wall legend

- 1 FIREPLACE.
  - A) SPARK ON-ICE FIRE BRICKS MEET HOT GAS FIREPLACE. AND 2x4x8-12x4 LAYER STAINLESS STEEL FLUE SYSTEM BY ECA INTERNATIONAL, INC. COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. FUEL GAS COMBUSTION AIR INTAKE. PROVIDE 2" CLEAR FROM COMBUSTIBLES. PROVIDE CLEARANCE TO COMBUSTIBLES AT FIREPLACE OPENING PER OIC 319A.12(3)
  - B) SPARK ON-ICE FIRE BRICKS MEET HOT GAS FIREPLACE. AND 2x4x8-12x4 LAYER STAINLESS STEEL FLUE SYSTEM BY ECA INTERNATIONAL, INC. COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. FUEL GAS COMBUSTION AIR INTAKE. PROVIDE 2" CLEAR FROM COMBUSTIBLES. PROVIDE CLEARANCE TO COMBUSTIBLES AT FIREPLACE OPENING PER OIC 319A.12(3)
- 2 MAINTAIN 2" CLEARANCE TO COMBUSTIBLE MATERIALS. PROVIDE METAL SHIM SPACERS WHERE REQUIRED.
- 3 DASHED LINE INDICATES LINE OF EXTERIOR SLOTT ABOVE
- 4 DASHED LINE INDICATES EDGE OF CEILING ABOVE
- 5 DASHED LINE INDICATES STEEL BEAM ABOVE
- 6 DASHED LINES INDICATE SLOTT ABOVE
- 7 BUILT IN HEATH
- 8 1/2" HIGH x 3/4" PAINTED EXTERIOR PLYWOOD PLATFORM
- 9 LINEN CLOSET, STORAGE CABINET, BENCH, OR BUFFET FOR INTERIOR ELEVATIONS
- 10 5/8" TYPE "Y" UNFACED BATT INSULATION PER OCCUPANCY SEPARATION PER OIC 319A.12(1). ON ALL GARAGE SIDE OF WALLS AND CEILING ADJACENT TO LIVING SPACE AND ALL WALLS SUPPORTING THE HORIZONTAL PORTION OF THE OCCUPANCY SEPARATION WHERE OCCURS.
- 11 SOUP/DIPPER HOOD, SEE 14.01.4
  - A) 12"X24" SHAMPOO HOOD. SET BOTTOM OF HOOD ABOVE AT 36" ABOVE SINKER FLOOR. SLOPE BOTTOM OF EACH HOOD SLEIGHTLY FOR DRAINAGE.
  - B) 12"X24" SHAMPOO HOOD (VERIFY DIMENSIONS BY OWNER). SET BOTTOM OF SHAMPOO HOOD AT 36" ABOVE SINKER FLOOR (DIMENSION 12" MINIMUM) AND SET HOOD ABOVE AT 12" ABOVE THE SINK. SLOPE BOTTOM OF EACH HOOD SLEIGHTLY FOR DRAINAGE.
- 12 DOUBLE OVEN WITH WARMING DRAWER. PROVIDE POWER TO DISPOSAL. AS REQUIRED. VENT DRAIN PER 14.01.4
- 13 NET HANG CLOSET WITH FRESH FLOOR EXPANDED 2"
- 14 LAUNDRY SINK AS SELECTED
- 15 COUNTERTOP/DRAWER. PROVIDE UTILITIES AS REQUIRED. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
  - A) FRESH AIR REQUIRED BY OWNER. VENT TO OUTSIDE
  - B) DOWNDRAFT. INSTALL PER MANUFACTURER'S INSTRUCTIONS
- 16 PROVIDE ANGLE IRON SUPPORT AT BATH / KITCHEN
- 17 REFRIGERATOR FREEZER AS SELECTED. PROVIDE POWER AND COLD WATER SUPPLY AS REQUIRED. METAL GULLET AT FRONT AS RECOMMENDED BY MANUFACTURER
- 18 DOUBLE OVEN. PROVIDE UTILITIES AS REQUIRED
- 19 DOWNDRAFT AS SELECTED. PROVIDE UTILITIES AS REQUIRED
- 20 WARMER AS SELECTED. PROVIDE UTILITIES AS REQUIRED
- 21 OTHER AS SELECTED. PROVIDE UTILITIES AS REQUIRED. PROVIDE BASKET, METAL DIVIDER VENT TO OUTSIDE PER CODE AND LOCAL AGENCY REQUIREMENTS. USE 2" ROUND DUCTS WITH (2) 60 DEGREE BENDS. DIVIDER MUST HAVE A MICRODRAFT DAMPER PER OIC 319A.12(1) (NOT THROUGH ROOF) MINIMUM 14"
- 22 MICRODRAFT CHIMNEY IN UPPER CABINET AND WARMING DRAWER IN LOWER CABINET FOR INTERIOR DISCHARGE.
- 23 REFRIGERATOR AND DRAWER BOX BY "SPECIALTY PRODUCTS". COORDINATE FINISHES. COMPLY WITH ELECTRICAL SUBCONTRACTOR
- 24 FIREPLACE FACE PER INTERIOR DESIGNER
- 25 2200V ATIC ACCESS PANEL. SEE 14.01.4
- 26 VERIFY WALLS/COUNTERTOP WITH INTERIOR DESIGNER
- 27 MEDICINE CABINET AS SELECTED
- 28 PROVIDE TILE OR STONE TO SURROUND 2"X4" ABOVE DRAIN AT ALL SINKERS. VERIFY SET OVER BASKETING. HOT SHOWER DRAINAGE PANS SHALL BE INSPECTED UPON COMPLETION OF HOT SHOWERING AND SHALL BE FILLED WITH WATER FOR INSPECTION
- 29 TUB AS SELECTED
- 30 MULTIPROOF GLASS ENCLOSURE AT TUB, SHOWER, AND TOILETS FOR INTERIOR ELEVATIONS
- 31 BODY DRAIN OVERFLOW DRAIN. CAST IRON IN-BELL
- 32 METAL PRIVACY SCREEN
- 33 BATH/PAVE REFRIGERATOR AS SELECTED. PROVIDE UTILITIES AS REQUIRED
- 34 BATH SINK AS SELECTED
- 35 WATER FEEDLINE
- 36 1/2"X2" SCHEDULE 40X1
- 37 A) LOW VENT FOR COMBUSTION AIR (WITHIN 12" FROM BOTTOM OF ENCLOSURE)
- 38 B) HIGH VENT FOR COMBUSTION AIR (WITHIN 12" FROM TOP OF ENCLOSURE) PROVIDE SCREEN WITH INTO ATIC ABOVE ENCLOSURE IF DOOR LOCATION DOES NOT MEET CODE
- 39 SHOWER SEAT
- 40 MINIMUM CLEARANCE REQUIREMENTS FOR WATER CLOSETS TO BE 30" SIDE AND MINIMUM CLEARANCE IS FRONT OF WATER CLOSET TO BE 24". WATER CLOSETS TO BE LOW FLUSH TOILETS PER IBC 1703.10(4)
- 41 MAINTAIN A MINIMUM 20" DEEP UNOCCUPIED WORKING SPACE IN FRONT OF FIREPLACE PER OIC SECTION 319A.1.2. FLOOR CLOSET MUST BE 12" WIDER THAN THE FIREPLACE(S) BENEATH IT.
- 42 SEE LANDSCAPE PLANS FOR EXTERIOR LANDING. LANDING NOT TO EXCEED 1' BELOW THE FLOOR ELEVATION.
- 43 SHED AND POLE. VERIFY WITH OWNER
- 44 DOUBLE SHEDS AND POLE. VERIFY WITH OWNER
- 45 MAIN ELECTRICAL PANEL
- 46 PROVIDE FLOOR DRAIN. SLOPE SLAB TOWARD DRAIN
- 47 ADVISORY TILE VENEER. VERIFY SET BY METAL LATH (1/2" LAYERS OVER 1/2" BUILDING PAPER. SEE DETAIL A.1/2.2
- 48 MECHANICAL UNIT
- 49 DASHED LINES INDICATE SLOTT ABOVE

1/8"=1'-0" A

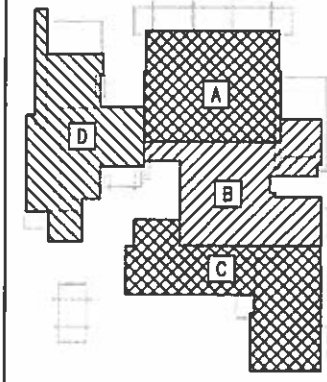
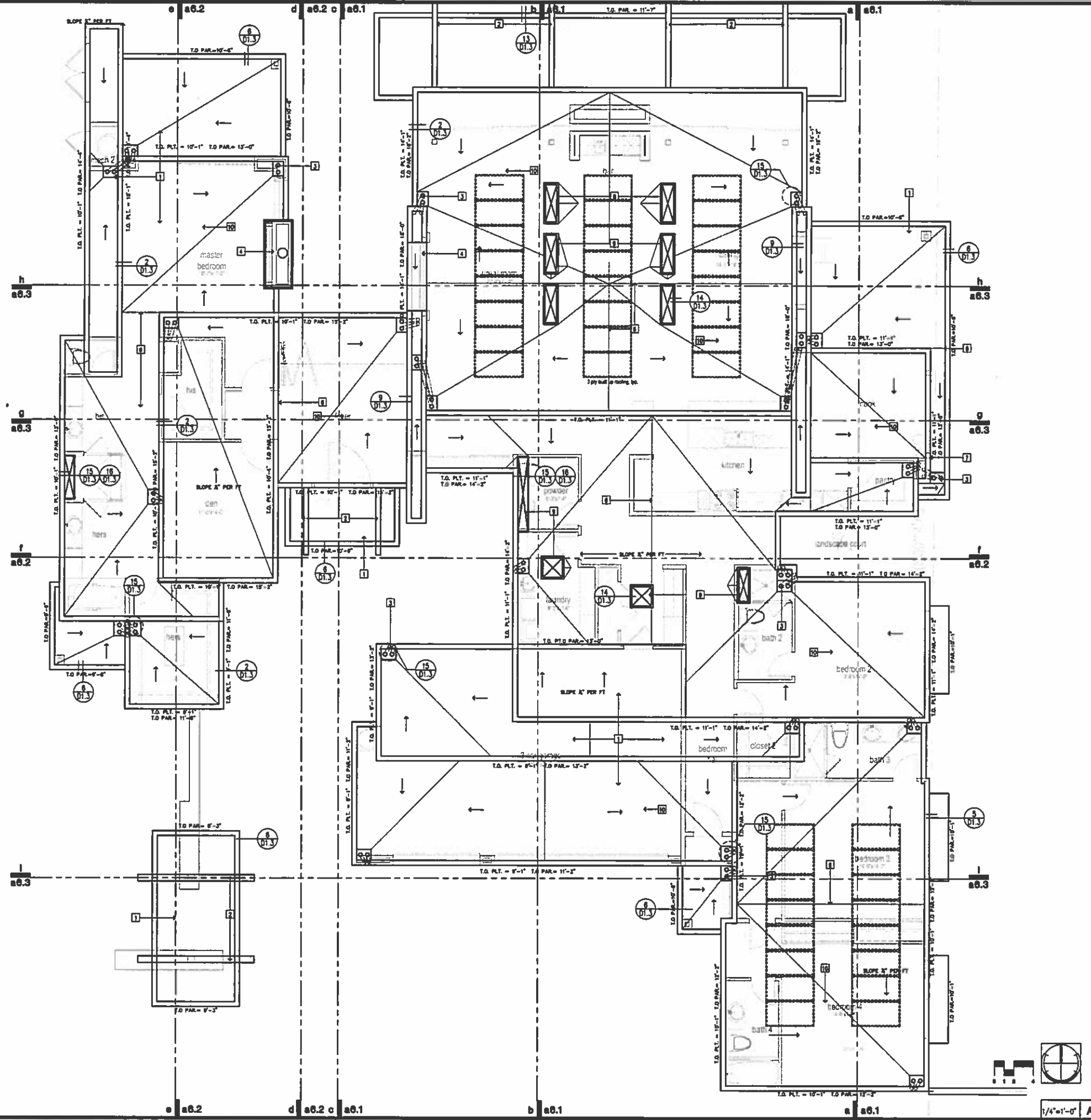
plan keynotes

bader residence  
 1010 bella vista  
 palm springs, ca 92264



bader residence  
 1010 bella vista  
 palm springs, ca 92264

floor plan  
 A3.1



**ATTIC VENT DIAGRAM**

MINIULTE 1422 EP-2 RECTANGULAR ALUMINUM PERFORATE VENT  
 NET FREE VENTILATING AREA = 2 SQUARE FEET  
 REQUIRED VENT AREA = 1/150 OF ATTIC AREA

A	1382 SQ FT/150 = 9.21 SQ FT REQUIRED VENT AREA 8.3 SF / 2 SF PER VENT = 4.8 VENTS REQ'D	6 VENTS PROVIDED
B	1408 SQ FT/150 = 9.39 SQ FT REQUIRED VENT AREA 8.4 SF / 2 SF PER VENT = 4.2 VENTS REQ'D	5 VENTS PROVIDED
C	1480 SQ FT/150 = 9.87 SQ FT REQUIRED VENT AREA 8.8 SF / 2 SF PER VENT = 4.4 VENTS REQ'D	5 VENTS PROVIDED
D	1298 SQ FT/150 = 8.65 SQ FT REQUIRED VENT AREA 8.3 SF / 2 SF PER VENT = 4.1 VENTS REQ'D	5 VENTS PROVIDED

8878 SQ FT TOTAL ATTIC SPACE  
 8878 SQ FT/150 = 59.19 SQ FT REQUIRED VENT AREA  
 NOTE: PROVIDE ATTIC DRAFTSTOPS AT 3.000 SF. MAXIMUM WITH  
 GREATEST HORIZONTAL DIMENSION NOT TO EXCEED 60 FT.

**ATTIC VENT CALCULATIONS**

- A ALL BALL AREAS TO SLOPE AT 1/4" PER FOOT MINIMUM
- B I.C.D.A. NUMBER FOR DRAUGHTS= 2400
- C GABLE ALL VENT STACKS WHEREVER POSSIBLE AND WHERE ALLOWED BY CODE TO MINIMIZE ROOF PENETRATIONS. LOCATE IN AN IDEALLY HARMLESS AND IN AN AREA SO AS NOT TO BE SEEN FROM ANY GRADE LEVEL. SURROUNDING AREAS, PRIME AND PAINT TO MATCH GABLE BALLAST.
- D CONNECT ROOF DRAINS TO SUB-GRADE DRAINAGE SYSTEM. VERIFY WITH CIVIL ENGINEER OR LANDSCAPE ARCHITECT. WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW DRAINS HAVING THE SAME SIZE AS THE ROOF SHALL BE INSTALLED WITH THE DRAIN FLOOR LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF. OVERFLOW DRAINS SHALL BE EQUIPPED WITH STRAINERS EXTENDING NOT LESS THAN 4" ABOVE THE IMMEDIATE SURFACE.
- E PROVIDE ATTIC DRAFT STOP AT 3.000 SF. MAXIMUM
- F ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIAMETER.
- G SEE 20/01.3 FOR ROOF FLASHING
- H ALL NEW ROOFING SHALL BE CLASS A PER FMBC RELEASED

**GENERAL NOTES**

- 1 3 PLY BALL-BEAM ROOFING WITH GRAY GRAVEL BALLAST (20 TO 100 PLY) WITH 1/2" L.C.D. SHEETS HAS SLOPE = 2:12. BALL-BEAM SHEETS PER CIRC TABLE 1307 SHALL BE INSTALLED OVER TAPERED INSULATION. SHEETING MATERIAL SHALL COMPLY WITH CLASS A PLUMB SPECIFICATIONS.
- 2 PAINTED STEEL BEAMS
- 3 4" DIA. ROOF DRAIN AND OVERFLOW DRAIN SET IN PAVE THAT IS EXCEEDED 2" TOP OF OVERFLOW SCUPPER TO BE 2" ABOVE ADJACENT ROOF MATERIAL. INDIVIDUALLY BOLTED DRAINS THROUGH OUTSIDE WALL TO ONE SYSTEM. SEE DETAIL 10/01.3
- 4 FLASH TERMINATION CAP: SPARK ARRESTOR TO BE MINIMUM OF 3/4" ABOVE ALL COMBUSTIBLE CONSTRUCTION WITHIN 18"-6"
- 5 PROVIDE ATTIC DRAFTSTOP AT THE LOCATION PER DETAIL 12/01.3
- 6 SADDLE
- 7 THROUGH BALL SCUPPER FOR DRAINAGE FROM HIGH ROOF TO LOW ROOF PER DETAIL 10/01.3
- 8 CHECKOUT AS REQUIRED FOR POSITIVE DRAINAGE
- 9 STRAIGHT - SEE DETAIL 14/01.3 OR 15/01.3
- 10 PAINTED ALUMINUM ATTIC VENTS. SELF FLASHING. PROVIDE INSECT SCREENS. SEE CALCULATIONS
- 11 LINE OF WALL BELOW

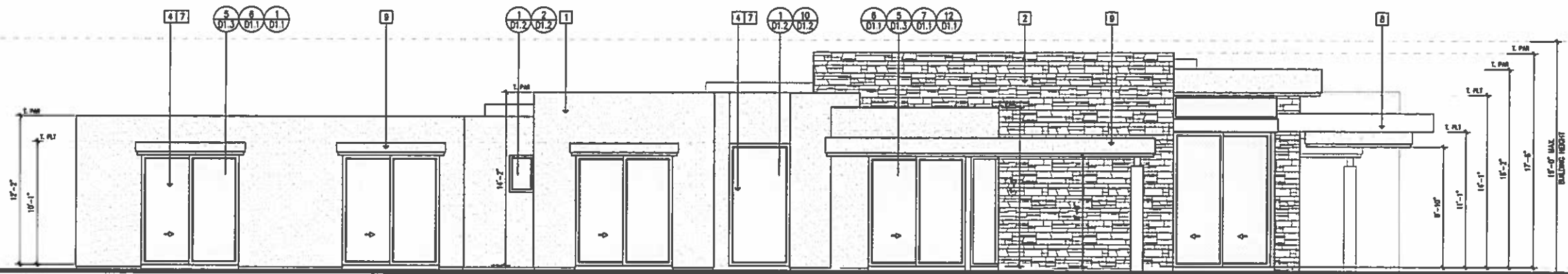
PLAN KEYNOTES

1010 bella vista  
 palm springs, ca 92264



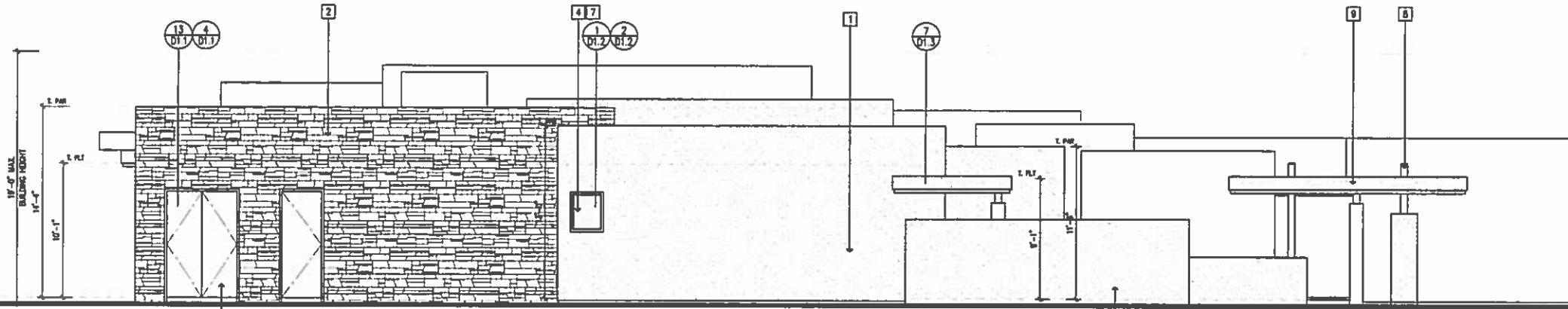
**bader residence**  
 1010 bella vista  
 palm springs, ca 92264

roof plan  
 A4.1



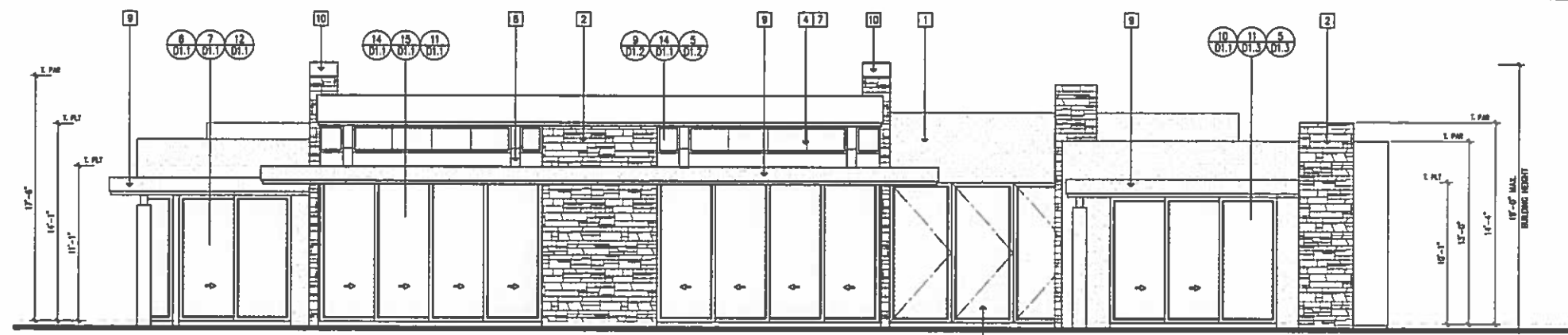
right elevation

1/4"=1'-0" D



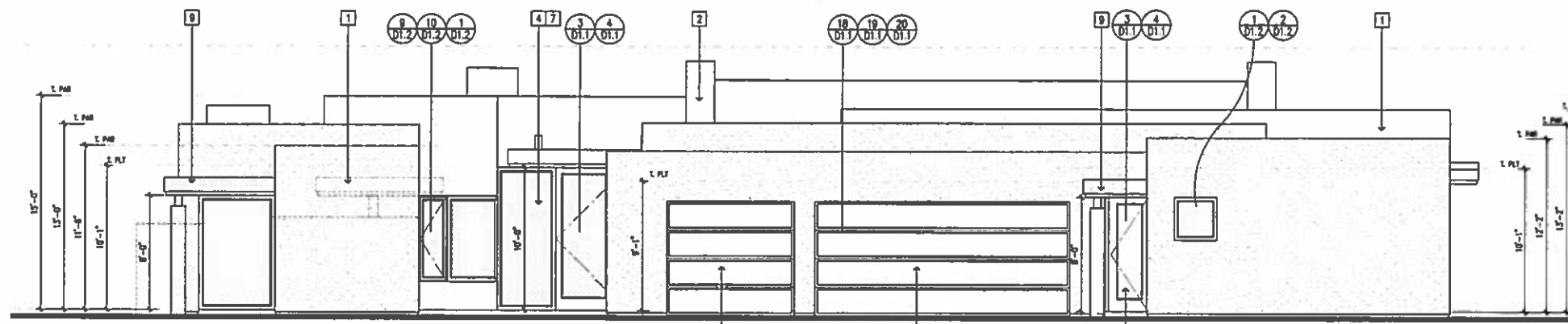
left elevation

1/4"=1'-0" C



rear elevation

1/4"=1'-0" B



front elevation

1/4"=1'-0" A

- A REFER TO STRUCTURAL DRAWINGS FOR INFORMATION ON WALL BRACING
- B REFER TO BUILDING SECTIONS, ROOF PLAN, AND WALL SECTIONS FOR ADDITIONAL INFORMATION ON ELEVATIONS OF BEAMS, PLATES, ROOF SHEATHING, ETC.
- C REFER TO DOOR SCHEDULE FOR DOOR DESIGN
- D INDICATES FINISH COLOR FOR "THICKER" SECTION OF FINISH SCHEDULE ON SHEET A5/1
- E FINISH MARKER AS SELECTED BY OWNER
- F REFER TO DOOR AND WINDOW SCHEDULES FOR INFORMATION ON TEMPERED GLASS LOCATIONS
- ③ INDICATES PAINT COLOR PER FINISH SCHEDULE
- Ⓛ INDICATES TEMPERED GLASS

elevation general notes

- 1 SMOOTH COAT EXTERIOR CEMENT PLASTER, PORTLAND CEMENT 3 COAT, ANCHORED 6# LATH AND 2 LAYERS 1/2" (LARGE) 9# PAPER, STEEL BRIDGLED, FIBER IN SCRATCH AND BROWN COATS, LATEX IN FINISH COAT, ELASTOMERIC PAINT OVER; LATH TO BE NAILED TO ALL STUDS AND TOP/BOTTOM PLATES. SEE DETAIL 8/D1.3
- 2 ADHERED TILE UNDER 1/2" TYPE "B" MORTAR BED 1/2" METAL LATH 1/2" 2 LAYERS GRADE "Y" BUILDING PAPER, INSTALLED HEIGHT OF 12LB PER SF. SEE DETAIL 8/D1.3
- 3 FLASHING
- 4 ALUMINUM FRAME WINDOWS AND DOORS PER SCHEDULE
- 5 STUCCO KEEL SCHED
- 6 SECTIONAL GARAGE DOOR PER DOOR SCHEDULE
- 7 FLASH ALL EXTERIOR OPENINGS, TYPICAL
- 8 WHITE PAINTED STEEL BEAMS
- 9 PLASTER COVERED CANOPY
- 10 CITY APPROVED SPARK ARRESTOR SHALL EXTEND AT LEAST 2' HIGHER THAN ANY OF THE PORTION OF THE BUILDING WITHIN 10', BUT SHALL NOT BE LESS THAN 2' ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF PER APPROVAL.
- 11 METAL CHIMNEY CAP
- 12 FINISH GRADE VARIED, SEE CIVIL DRAWINGS (GRADE AS NATURAL GRADE)
- 13 LANDSCAPE WALL PER LANDSCAPE PLAN
- 14 METER LOCATION - VERIFY
- 15 DASHED LINES INDICATE IN-WALL DRAINS BEYOND THE "W" CIVIL DRAINAGE SYSTEM
- 16 EXPANSION JOINT, "SUPERIOR" "25"
- 17 DASHED LINE INDICATING MAXIMUM BUILDING HEIGHT ENVELOPE

elevation keynotes

bader residence

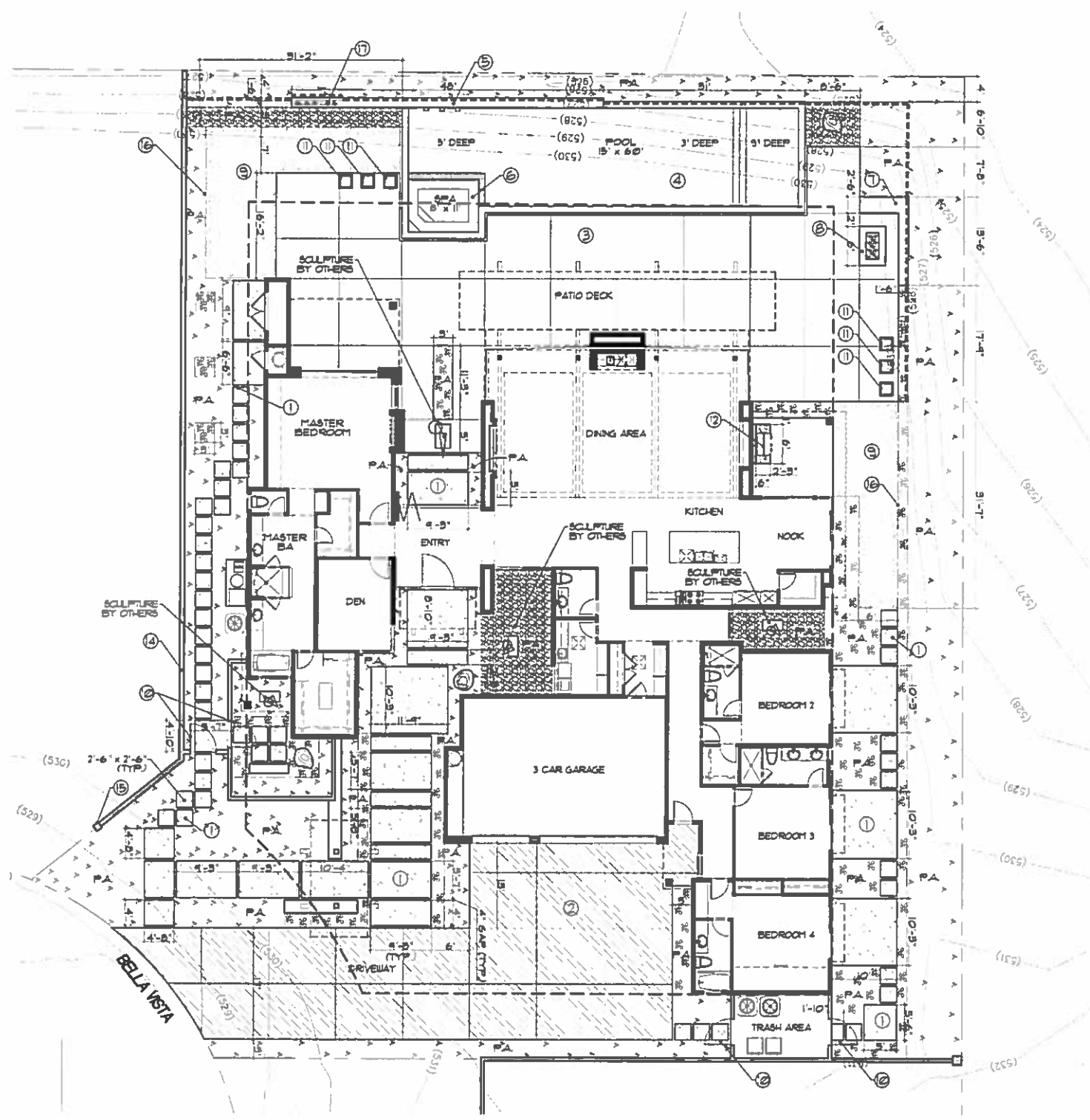
1010 bella vista  
palm springs, ca 92264

elevations

A5.1



Charles Olson  
Architects  
478 W. 11th St.  
P.O. Box 1001  
Palm Springs, CA 92264



**LAYOUT LEGEND**

SYMBOL	DESCRIPTION
⊙	RADIUS POINT
P.A.	PLANTING AREA
HT.	HT. INDICATION

**CONSTRUCTION NOTES**

1. ANY DEVIATION FROM THESE PLANS WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT WILL RELIEVE THE LANDSCAPE ARCHITECT FROM ANY RESPONSIBILITY FOR PROBLEMS THAT MAY ARISE AS A RESULT OF THESE CHANGES.
2. ANY CHANGES, DEVIATION OR DISCREPANCY IN THE PLANS OR SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT FOR HIS CLARIFICATION. NO CHANGES SHALL BE MADE TO THE HARDSCAPE OR GRADING WORK WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
3. 24 HR. NOTICE SHALL BE GIVEN BY THE CONTRACTOR WHERE APPROVAL OF THE LANDSCAPE ARCHITECT IS REQUIRED IN THE FIELD.
4. PRIOR TO THE POURING OF CONCRETE ON SITE APPROVAL SHALL BE OBTAINED FROM THE LANDSCAPE ARCHITECT OF THE HARDSCAPE LAYOUT FOR LINE AND GRADE. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE MINOR FIELD MODIFICATIONS.
5. ALL CONCRETE WORK TO HAVE A MINIMUM OF 2500 PSI COMPRESSIVE STRENGTH, 5% AIR ENTRAINMENT. ALL CONCRETE IS SPECIFIED AS 4" SLUMP MINIMUM.
6. POOL CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF STRUCTURAL, ELECTRICAL, AND PLUMBING.
7. REFER TO CIVIL GRADING PLAN I & 2.
8. CONTRACTOR TO PROVIDE ALL STRUCTURAL CALCULATIONS FOR WALLS, REBAR, AND FOOTINGS AS REQUIRED FOR PERMITS.

**CONSTRUCTION SCHEDULE**

NUM.	DETAIL DESCRIPTION/FINISH	COMMENTS
1	1 / L-2 CONCRETE STEP PADS	SIZE VARIES, SEE PLAN. COLOR: FRENCH GREY, FINISH: TOP CAST 5
2	2 / L-2 CONCRETE DRIVEWAY	COLOR: NATURAL, FINISH: TOP CAST 5
3	3 / L-2 CONCRETE PATIO DECK	COLOR: NATURAL, FINISH: TOP CAST 5
4	4 / L-2 POOL	CONCRETE COPING TO MATCH PATIO DECK, PEBBLE TEC OR EQUAL FINISH. COLOR: TBS. WATER LINE TILES TO BE CLASS II OR IV COLOR: TBS. EQUIPMENT TO BE 3HP VS PUMP. INTELLIBRITE LED LIGHTS, CONTROL SYSTEMS TO BE APPROVED BY OWNER
5	5 / L-2 RAISED BOND BEAM W/ SCUFFERS	18" HT. POURED IN PLACE CONC. W/ 3" WIDE STEP SCUFFERS, COLOR: TBS. BY OWNER BY: OREG CORP. PH: 1-800-470-3255. EMAIL: SALES@OCCORP.COM WWW.OCCORP.COM
6	6 / L-2 SPA	CONCRETE COPING TO MATCH PATIO DECK, PEBBLE TEC OR EQUAL FINISH. COLOR: TBS. WATER LINE TILES TO BE CLASS III OR IV COLOR: TBS. EQUIPMENT TO BE 3HP VS PUMP. HEATER, INTELLIBRITE LED LIGHTS, CONTROL SYSTEMS TO BE APPROVED BY OWNER
7	7 / L-2 SEAT WALL W/ LOUNGE	18" RAISED 6" x 6" x 16" CONC. BLOCK W/ STUCCO FINISH TO MATCH HOUSE. (REFER TO PLAN FOR SIZING)
8	8 / L-2 RAISED FIRE PIT	CONC. BLOCK 6" x 8" x 16" 18" HEIGHT, STUCCO FINISH TO MATCH HOUSE APPLIANCE/EQUIPMENT SHUT OFF VALVE APPROVAL NUMBER (CPC 023, 5) GASLINE ISOMETRIC BY OTHERS)
9	9 / L-2 ARTIFICIAL TURF	55 OZ 2" HEIGHT BY SYN LAWN W/ HEAT BLOCK TECHNOLOGY
10	10 / L-3 SIDERYARD GATE	TO BE APPROVED BY OWNER
11	11 / L-3 POTS	24" DIA. OBIQUE PLANTER MODEL # 092419 BY: DESIGNCASTUSA PH: 802-324-0991 WWW.DESIGNCASTUSA.COM (SEE DETAIL II / SHEET L-3 FOR PLUMBING)
12	12 / L-3 BBQ	6' W x 2'-9" DEEP W/ 6" BACKPLASH. 42" BBQ BUILT-IN BY ALFRESCO, W/ 42" WIDE DOUBLE DOORS. BBQ LIGHT BY 6PJ LIGHTING - REF. SHEET L-6
13	13 / L-3 CONCRETE BENCH	TO BE APPROVED BY HOME OWNER
14	14 / L-3 EXTERIOR WALL	CONCRETE BLOCK 6"x8"x16" 6' HT. STUCCO FINISH TO MATCH EXISTING
15	15 / L-3 EXTERIOR PILASTER	6'-6" HT. STUCCO FINISH TO MATCH EXISTING
16	16 / L-3 STEEL EDGING	STEEL HEADER / COLOR: BLACK SIZE: 12 GAUGE, TYPICAL BY: JD RUSSELL CO. BETWEEN D.G. PLANTER AREAS AND ARTIFICIAL TURF AREAS (REFER TO PLAN)
17	17 / L-3 FIRE ELEMENT	18" HT. POURED IN PLACE CONC. SEAT WALL W/ 1" LONG FIRE TROUGH INSERT. HOUSE APPLIANCE/EQUIPMENT SHUT OFF VALVE APPROVAL NUMBER (CPC 023, 5) GASLINE ISOMETRIC BY OTHERS.

HERBMAN DESIGN GROUP  
77-899 WOLF RD.  
SUITE 102  
PALM DESER, CA  
92271  
LIC# 2754 EXP 4/30/16  
PH (760) 777-9131  
FAX (760) 777-9132

OWNER:  
**MR. + MRS. SCOTT BADER**  
1010 BELLA VISTA  
PALM SPRINGS, CA 92264

PROJECT:  
**BADER RESIDENCE**  
1010 BELLA VISTA  
PALM SPRINGS, CA 92264

REVISION	DATE	BY

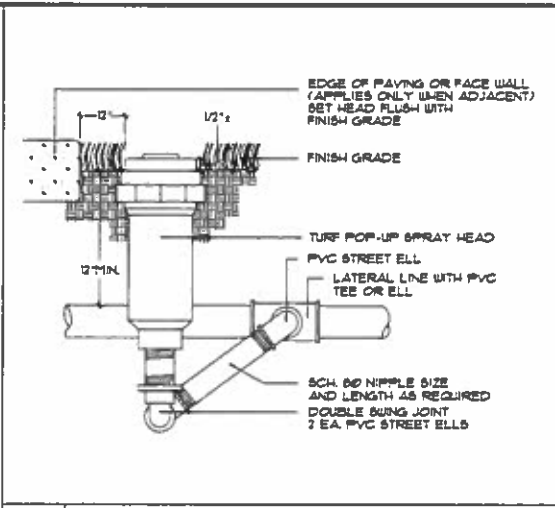


SHEET TITLE  
**CONSTRUCTION PLAN**

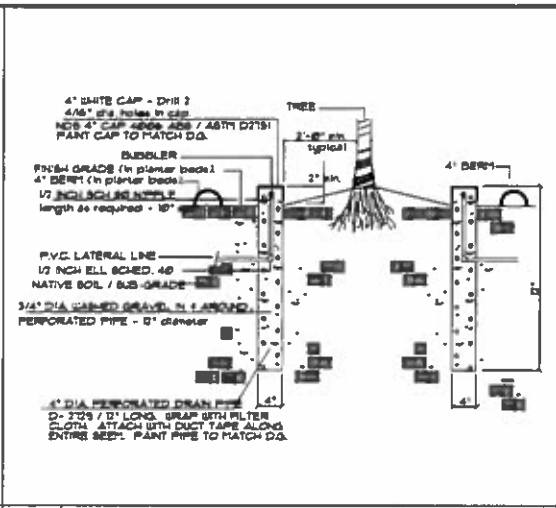
DESIGNED	DR/CH
DRAWN	BR
CHECKED	-
DATE	9/29/16
SCALE	1/8" = 1'-0"
JOB NO	M-075

SHEET  
**L-1**  
OF 4 SHEETS

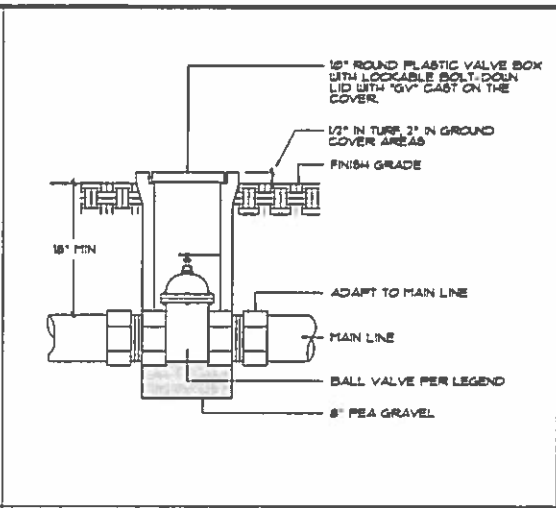




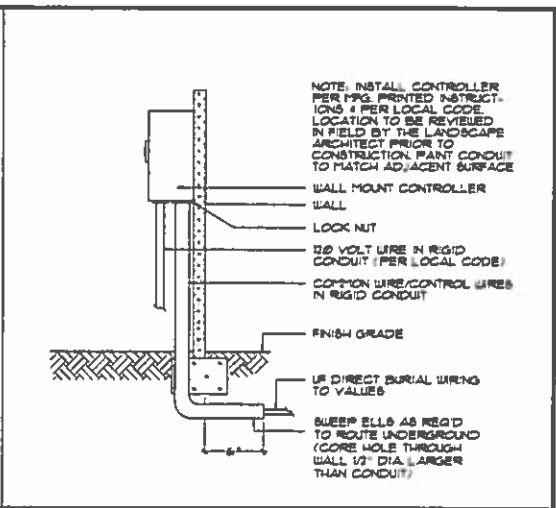
L TURF POP-UP



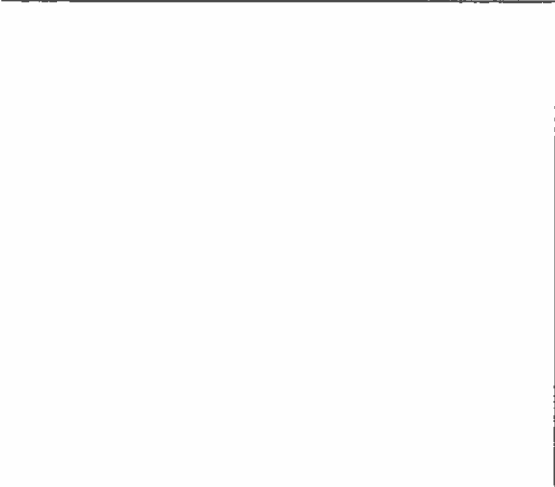
H DEEP TREE WATERING



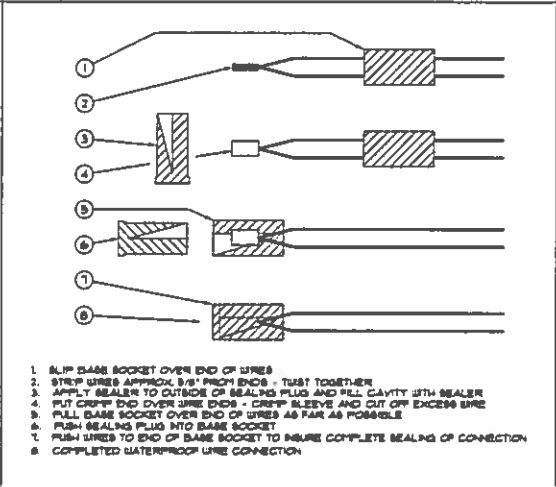
D BALL VALVE



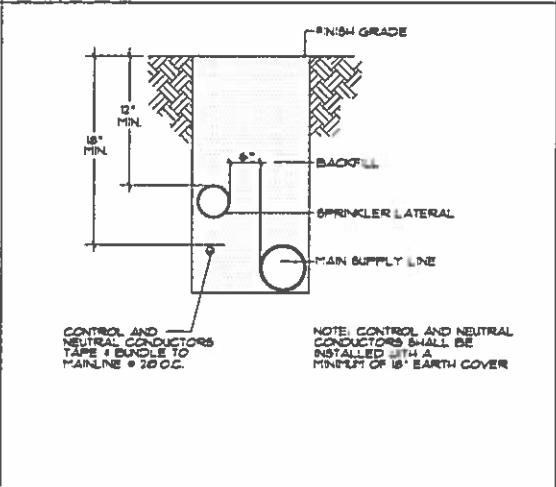
A CONTROLLER



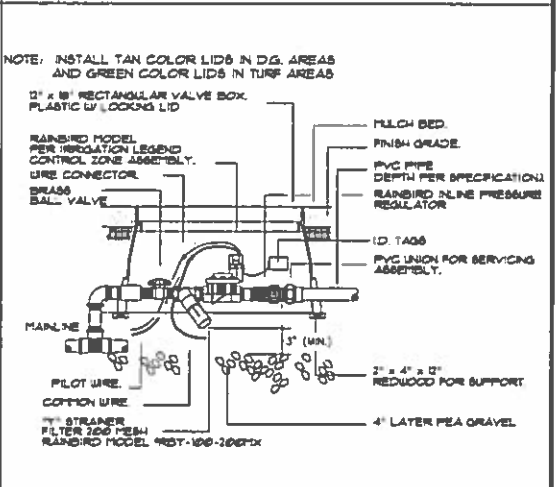
I WIRE CONNECTION



E TRENCHING



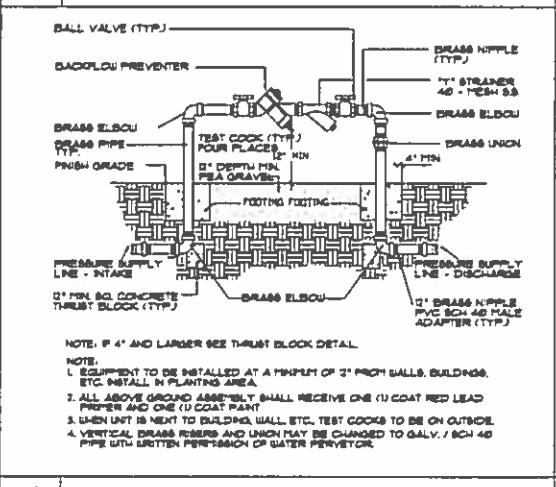
B R.C. DRIP VALVE



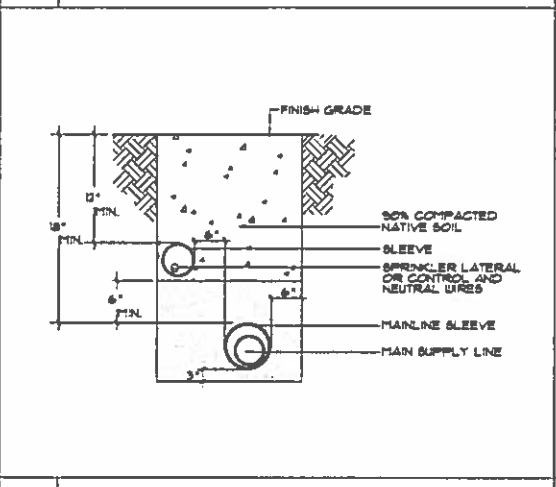
J BACKFLOW PREVENTER



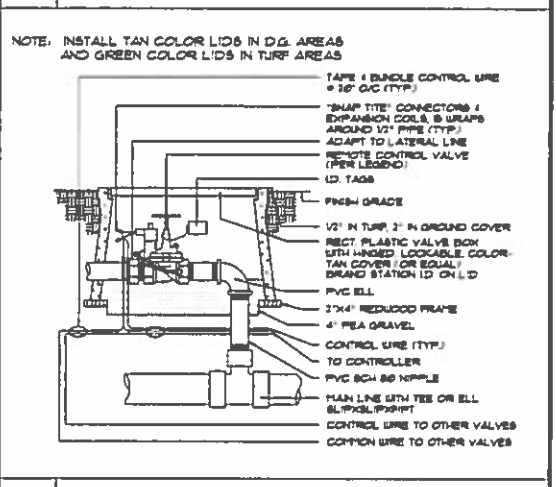
F SLEEVING



C REMOTE CONTROL VALVE



K FLUSH VALVE



G DRIP EMITTER

**HG**  
 HERMAN DESIGN GROUP  
 77-899 WOLF RD.  
 SUITE 102  
 PALM DESERT, CA 92211  
 TEL: 775-4 EXP. 4/30/16  
 PH: (760) 777-9131  
 FAX: (760) 777-9132

OWNER:  
**MR. + MRS. SCOTT BADER**  
 1010 BELLA VISTA  
 PALM SPRINGS, CA 92264

PROJECT:  
**BADER RESIDENCE**  
 1010 BELLA VISTA  
 PALM SPRINGS, CA 92264

REVISIONS	DATE	BY
1		



SHEET TITLE  
**IRRIGATION DETAILS**

DESIGNED	JE
DRAWN	JE
CHECKED	-
DATE	8/23/16
SCALE	N.T.S.
JOB NO.	16-05

SHEET  
**L-5**  
 OF 5 SHEETS

IN THE CITY OF PALM SPRINGS, CALIFORNIA  
**PRECISE GRADING AND PAVING PLAN**  
 LOT 28, TRACT 30046 MB 387/13-19  
**BADER RESIDENCE**  
 POR. OF SECTION 35, T 4 S, R 4 E, SBM

**GRADING PLAN NOTES:**

- The work shall be done in accordance with the Standard Drawings of the City of Palm Springs and the Standard Specifications for Public Works Construction, 2012 Edition.
- The Contractor shall be responsible for providing an effective means of dust control which shall include provisions for adequate watering during the grading process and provisions for containment of dust control until the graded surface presents sufficient cover against wind or water action, so that spread dust control measures are no longer necessary.
- Noting in these Plans shall require the Contractor from obtaining permits as required by Chapter 14.18 of the City of Palm Springs Municipal Code.
- The Contractor shall get an endorsement for inspection with the appropriate jurisdiction a minimum of 24 hours prior to the date of inspection.
- All grading shall comply with Section 1804 and Appendix J of the 2010 California Building Code.
- The location of existing underground utilities are to be shown in a schematic manner only. Subject to the provisions of Section 4.15 of the California Government Code, the Contractor shall determine the exact location of all existing utilities before commencing the Work. Contact Underground Service Alert (USA) at 1-800-227-2000 two working days prior to any excavation.
- Dimensioning to curbs shall be to face of curb.
- Contractor shall dispose of all debris off site daily, unless otherwise specified by the City Engineer.
- Contractor shall remove any abandoned utility facilities and show limits of removal on the record drawings.
- The Contractor shall be responsible for the removal/replacement or relocation of all regulatory, warning and guide signs.
- A "Record Drawing" (as defined in the City of Palm Springs Code) shall be submitted by the Project Engineer or the City Engineer for approval prior to acceptance of the Work.
- Contractor signage, lighting and barricading shall be provided on all projects as required by City Standards or as directed by the City Engineer. As a minimum, all construction signage, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices for Streets and Highways, dated January 13, 2012, or subsequent editions in force at the time of construction.
- The flow line of all curbs and gutters and cross gutters shall be water tested before acceptance of the Work.
- Paving shall be done in a clear, undisturbed, 4" to 6" inch strike "taper" or tapered "U" design or other approved strike at all elevations.
- Final site grading and drainage flow lines shall be certified in writing by the Engineer or Surveyor to be in accordance with the approved grading plan (FIGURE 10-FINAL INSPECTION).
- For projects in excess of 1 acre, a notice to begin to comply with California General Construction Supervisor Permit (Water Quality Order 3000-0008-090) or modified Supervisor 2, 2008 as well as a copy of the associated water quality Water Discharge Authorization (WDA) number, is required prior to issuance of Grading or Building Permit, and be kept at the project site at all times.

- A city approved lighting plan (PL-10) shall be required prior to issuance of a grading permit. All dust control measures described in AGMD Rule 403 (BEST AVAILABLE CONTROL MEASURES) and in the City-approved lighting plan shall be implemented at all times. A wind fence and proper signage, shall be erected, inspected and approved by the City's Dust Control Inspector prior to initiation of clearing, grading or improvement of soil, or fill material at the site. If work is not completed within 10 calendar days of 12 hours prior to initiating work or result in issuance of citation by the City.
- The back-slope, retaining walls, and other structures shown on the grading plan are for location purposes only. Separate permits for the above are required from the Building Department.
- All provisions of the preliminary cost report shall be followed as stated on the approved plan, prepared by a California Professional Geotechnical Engineer, and be completed with:

- STREET PAVEMENT**
- The final concrete design shall meet the City of Palm Springs Bid Ord No 110 and Standard Specifications for Public Works Construction, 2012 Edition, use Type B for the base and Type C2 for the final 1" coat. The design shall have a 10% MVD of 20 and 33 respectively per the California Test Method 304 and 306. Performance Grade asphalt (PG 58-10) meeting the 2012 California Standard Specifications shall be used.
  - The specified materials shall be checked for compliance with the applicable specifications for Public Works Construction, 2012 Edition.
- TRENCH PAVEMENT**
- Street curb shall be paved with temporary A.C. paving immediately. Major and Secondary Thoroughfares shall be permanently paved within 15 days of the initial excavation (30 days on collector and residential streets) per City of Palm Springs Bid Ord No 110 See Ordinance No 14.18.078.
  - Trenches shall be completely backfilled and compacted to support traffic at the end of each work day. The Contractor shall place permanent pavement through intersections at the end of each work day. No trench excavation or pile leaving on Fridays, weekends or holidays will be permitted on major and secondary thoroughfares or collector streets without prior approval of the City Engineer. Contractor shall place permanent paving each Friday. If, at the option of the City Engineer, the trench backfill is unable to be backfilled, the Contractor shall place permanent paving at the end of each work day.
  - Street trench paving shall conform to the California Encroachment Permit Manual Section 602.1, effective July 2010.
  - The specified materials shall be checked for compliance with the applicable specifications for Public Works Construction, 2012 Edition.

NOTE: NOTHING SHALL BE CONSTRUCTED OR PLANTED IN THE DRIVENWAY AREA OR THE CORNER CUT-BACK AREA THAT DOES OR WILL EXCEED THE HEIGHT DISTANCE PER CITY ZONING SECTION 63.02.000 REQUIRED TO MAINTAIN AN APPROPRIATE SIGHT.

NOTE: ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRE AN ENCROACHMENT PERMIT FROM THE CITY OF PALM SPRINGS.

NOTE: ALL PROPOSED TREES WITHIN THE PUBLIC RIGHT-OF-WAY AND WITHIN 10' OF THE PUBLIC SIDEWALK AND/OR CURB SHALL HAVE CITY APPROVED DEEP ROOT BARRIERS INSTALLED IN ACCORDANCE WITH CPS STD. SPEC. 9004.

NOTE: ALL STORMWATER RUNOFF ACROSS THE PROPERTY SHALL BE ACCEPTED AND CONVEYED IN A MANNER ACCEPTABLE TO THE CITY ENGINEER AND RELEASED TO AN APPROVED DRAINAGE SYSTEM. STORMWATER RUNOFF MAY NOT BE RELEASED DIRECTLY INTO THE ADJACENT STREETS WITHOUT FIRST INTERCEPTING AND TREATING WITH APPROVED BEST MANAGEMENT PRACTICES (BMP'S).

**UTILITY PURVEYORS:**

WATER: DESERT WATER AGENCY-DEBBIE RANDALL (760) 323-4871  
 WHITWATER NATURAL WATER CO, C/O DEBBIE RANDALL (760) 323-4871  
 SEWER: CITY OF PALM SPRINGS- CAROL TEMPLETON (760) 323-8233 carol.templeton@palmspringscos.gov  
 TELEPHONE: VERIZON-LIZ SHIPLEY (760) 778-8952 cdeunbull@verizon.com  
 GAS: THE GAS COMPANY-KEN VILASOUZ (909) 335-7507 kvenlasouz@gascompany.com  
 CABLE: TIME-WARNER CABLE-NORM GARRESON (760) 874-8489 norm.garreson@twcable.com  
 ELECTRIC: EDISON-DOUGLAS PENNELLTON (760) 202-4288 douglas.pennellton@edison.com  
 SCHOOL DISTRICT: PALM SPRINGS UNIFIED SCHOOL DISTRICT: DANILA DIAZ, FACILITIES (760) 418-6000

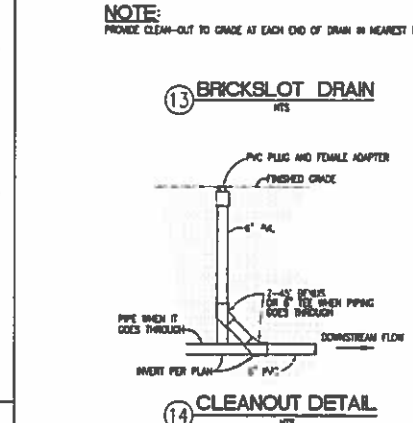
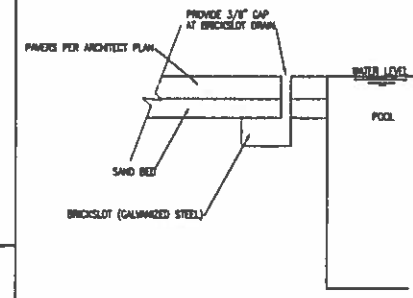
**Underground Service Alert**

Call: TOLL FREE  
 1-800  
 227-2600

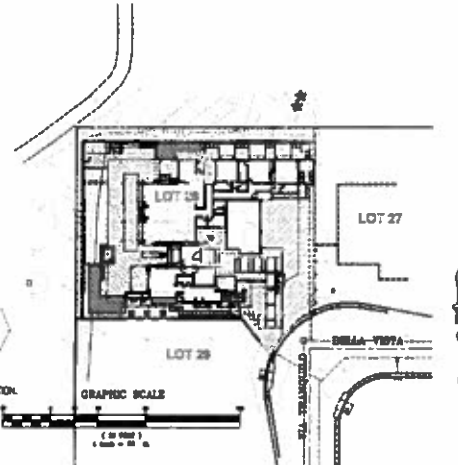
TWO WORKING DAYS BEFORE YOU DIG

**BASIS OF BEARINGS**

NORTH 80°56'56" EAST



NOTE:  
 PROVIDE CLEAN-OUT TO GRADE AT EACH END OF DRAIN IN NEAREST PLANTER LOCATION.



**CONSTRUCTION NOTES & QUANTITY ESTIMATE:**

- CONSTRUCT 4" THICK UNREINFORCED W/W/FF 828 18.420K 4 1825 SF OVER 2" THICK WASHED SAND, NATURAL GRAY COLOR. TOPCAST #3 RETAINMENT FINISH.
- CONSTRUCT 4" THICK DRINK NDS (SBR-35).
- CONSTRUCT 4" PVC (SBR-35) SLOPE AT 1% UNLESS OTHERWISE NOTED ON PLANS.
- CONSTRUCT BUBBLER BOX WITH GRATE TOP. HDPE/PLAST 12" DRINK BASK PER DETAIL ON HEREIN.
- CONSTRUCT GARDEN / RETAINMENT WALL PER SEPARATE PLAN AND PERMIT. HEIGHT AS SHOWN ON PLANS.
- CONSTRUCT RETAINMENT WALL PER SEPARATE PLAN AND PERMIT. HEIGHT AS SHOWN ON PLANS.
- INSTALL 4" PVC 0-800 W/BELL & GASKET ADJ. PER ASTM F477 & ASTM D4269. SLOPE AT 1% UNLESS OTHERWISE NOTED ON PLAN (MIN. COVER 24").
- INSTALL YARD DRAIN NDS (SBR-35) WITH DEBRIS RESISTANT GRATE OR EQUAL.
- CONSTRUCT 4" THICK CONCRETE PAVEMENT OVER 2" THICK WASHED RIVER SAND, FRENCH GRAY COLOR. TOPCAST #3 RETAINMENT FINISH.
- CONSTRUCT YARD DRAIN NDS (SBR-35) 3" DIA. GRATE OR EQUAL.
- CONSTRUCT 4" DIA (SBR-35).
- INSTALL 7/16" BRICKSLOT (GALVANIZED STEEL), PAINT (PASSIVE) PER DETAIL. HEREIN, OR EQUAL.
- CONSTRUCT CLEAN OUT, PER DETAIL ON HEREIN PER DETAIL, HEREIN, OR EQUAL.

**LEGEND**

- TO TOP OF CURB
- G GUTTER
- FL FLOWLINE
- FS FINISH SURFACE
- TP TOP OF AC PAVT
- C/L CENTERLINE
- R/W RIGHT OF WAY
- P/L PROPERTY LINE
- GP GROUND GRADE
- HP HIGH POINT
- LP LOW POINT
- FE FINISH FLOOR ELEVATION
- PE PAD ELEVATION
- TW TOP OF RETAINMENT WALL
- HW TOP OF WALL
- TF TOP OF FOOTING
- MG NATURAL GROUND
- FG FINISH GROUND
- S/L SETBACK LINE
- (-) EXISTING
- PROPOSED BLOCK WALL PER BLDG. & SAFETY HANDOUT OR SEPARATE DESIGN
- PROPOSED RETAINMENT WALL PER BLDG. & SAFETY HANDOUT OR SEPARATE DESIGN
- PLASTIC GRASS PAVING SYSTEM
- EXTENDED STEM WALL PER ARCHITECT'S PLANS
- TOP OF STEM WALL
- TOP OF SEWER CLEAN OUT
- SEWER MANHOLE
- PROPOSED STONE
- FLOWLINE
- CONCRETE
- STEPPING STONES PER ARCHITECT'S SPEC'S
- PREFABRICATED STAIRS PER ARCHITECT'S SPEC'S
- INDICATES PAVEMENT REMOVAL
- INDICATES TREE TO REMAIN PER LANDSCAPE PLANS
- INDICATES TREE TO BE REMOVED PER LANDSCAPE PLANS
- INDICATES TREE TO BE RELOCATED PER LANDSCAPE PLANS

**THOMAS BRO'S GUIDE REFERENCE:**  
 PAGE 788, GRID T-1

**OWNER/DEVELOPER:**  
 SCOTT & KERRY BAUER  
 11-478 TELLURIDE TRAIL  
 MANKATO, MN 55303  
 (612) 272-5717  
 CONTACT: SCOTT BAUER

**GEOTECHNICAL REPORT BY:**  
 N/A

**LEGAL DESCRIPTION**

LOT 28 OF TRACT MAP NO 30046 AS SHOWN BY A MAP ON FILE IN BOOK 387, PAGE 13 THROUGH 19 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

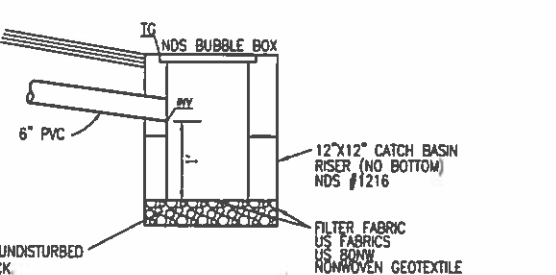
**ASSESSOR'S PARCEL #**  
 LOT 28: 512-350-000

**LOT ADDRESS:**  
 1010 BELLA VISTA

**LOT AREA:**  
 18,459.31 SF OR 0.424 ACRES

**EARTHWORK QUANTITY ESTIMATE:**  
 200 CY RAW CUT 200 CY RAW FILL

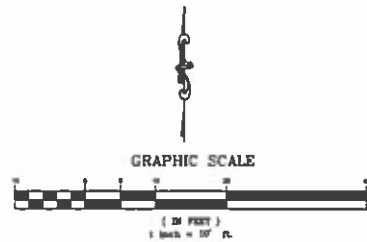
NOTE: THE QUANTITIES SHOWN ON THESE PLANS IS FOR PERMITTING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THEIR OWN QUANTITIES FOR BIDDING PURPOSES!



1" TO 3" WASHED ROCK ON UNDISTURBED SOIL, A MINIMUM OF 12" THICK.

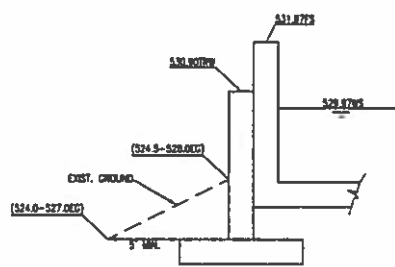
**PERMITS REQUIRED:**  
 GRADING PERMIT  
 PM10  
 WALL PERMIT  
 CITY OF PALM SPRINGS ENCROACHMENT PERMIT

NO.	REVISION	APPROVED DATE	DESIGN MARK	ELEV. BLY. = 537.204 DATE = 08/20/20	DESIGNED UNDER THE DIRECT SUPERVISION OF <b>ESSI ENGINEERING</b>	DRAWN BY: CS	CHECKED BY: CS	SCALE: AS SHOWN	DATE: 08/20/20	APPROVED BY: JOHN K. MADON	CITY OF PALM SPRINGS, CALIFORNIA	CITY OF PALM SPRINGS, CALIFORNIA	PRECISE GRADING PLAN FOR BADER RESIDENCE LOT 28, TRACT 30046, MB 387/13-19	SHEET NO. E-1000X	SHEET 1 OF 2 NTS
-----	----------	---------------	-------------	---	---	-----------------	-------------------	--------------------	-------------------	-------------------------------	----------------------------------	----------------------------------	--	----------------------	------------------------

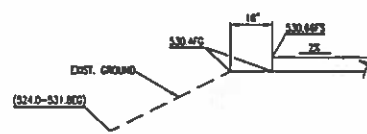


**CONSTRUCTION NOTES**

1. CONSTRUCT 6" THICK DRIVEWAY REINFORCED W/8W# 602 @ 18" ON CENTER OVER 2" THICK WASHED SAND, NATURAL GRAY COLOR TOPCAST (5) RETARDANT FINISH.
2. CONSTRUCT YARD DRAIN NWS #50, 6" DIA. GREEN COLOR GRATE OR EQUAL.
3. CONSTRUCT 6" x 45" BENCH (SDP-35).
4. CONSTRUCT 6" PVC PIPE (SDP-35), SLOPE AT 1% UNLESS OTHERWISE NOTED ON PLANS.
5. CONSTRUCT RUMBLE GRATE WITH GRATE TOP, HYDROPLAST 12" DRAIN BASH PER DETAIL ON HEREON.
6. CONSTRUCT GARDEN / RETAINING WALL PER SEPARATE PLAN AND PERMIT. HEIGHT AS SHOWN ON PLANS.
7. CONSTRUCT RETAINING WALL PER SEPARATE PLAN AND PERMIT. HEIGHT AS SHOWN ON PLANS.
8. INSTALL 6" PVC C-800 W/BELL & GASKET JOINT, PER ASTM F417 & ASTM D1318, SLOPE AT 1% UNLESS OTHERWISE NOTED ON PLAN (MIN. COVER 24").
9. INSTALL YARD DRAIN NWS #1, 6" DIA. WITH DEBRIS RESISTANT GRATE OR EQUAL.
10. CONSTRUCT 4" THICK CONCRETE PAVEMENT OVER 2" THICK WASHED WASH SAND, FRENCH GRAY COLOR, TOPCAST (5) RETARDANT FINISH.
11. CONSTRUCT YARD DRAIN NWS #18, 3" DIA. GRATE OR EQUAL.
12. CONSTRUCT 6" x 6" TEE (SDP-35).
13. INSTALL 7/16" BRICKSLOT (GALVANIZED STEEL), PART #88899 PER DETAIL HEREON, OR EQUAL.
14. CONSTRUCT CLEAN OUT, PER DETAIL ON HEREON PER DETAIL HEREON, OR EQUAL.



SECTION B-B

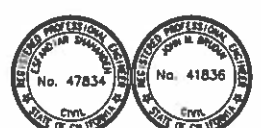
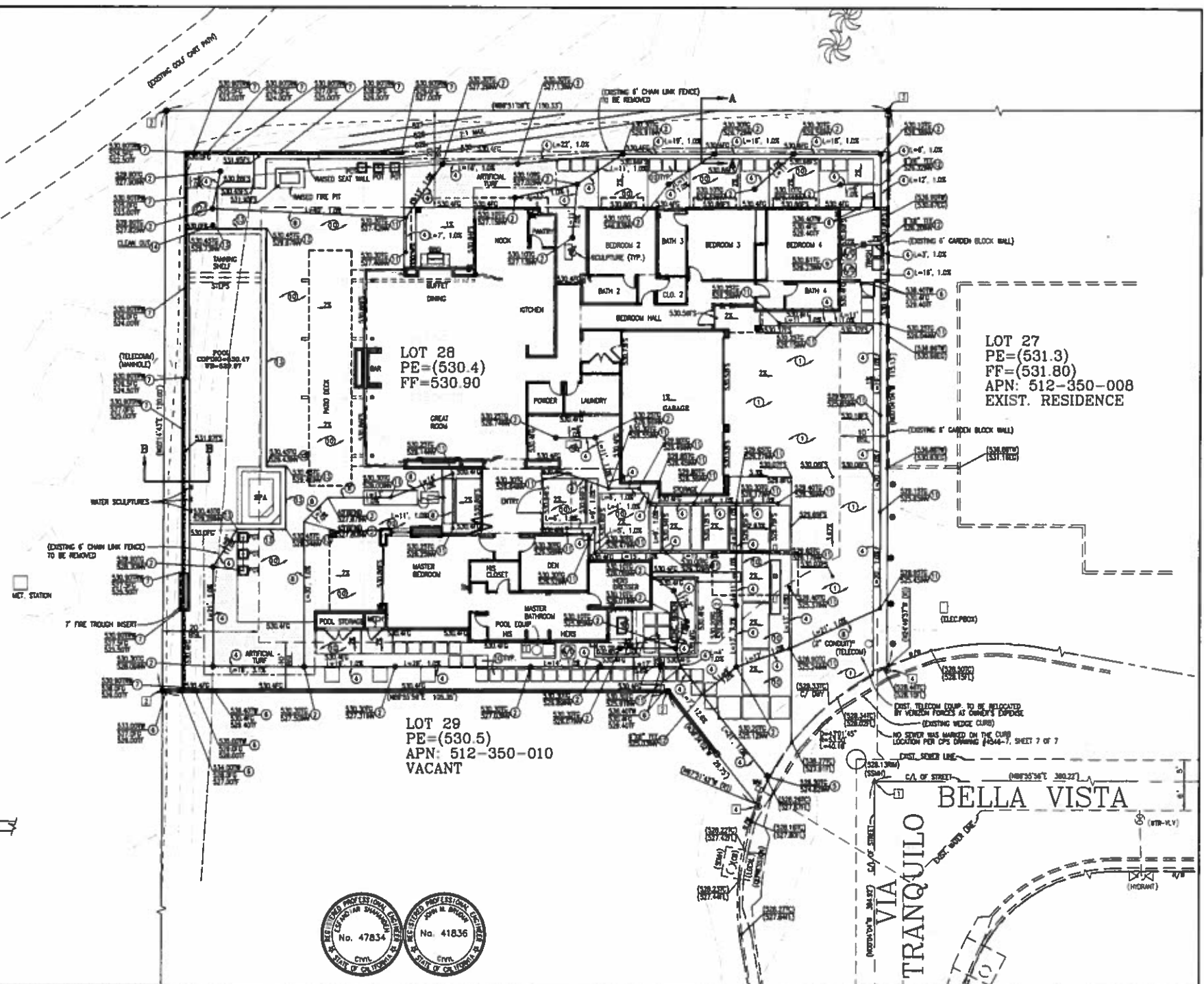


SECTION A-A

Underground Service Alert  
 Call: TOLL FREE  
 1-800  
 227-2600

THIRTY WORKING DAYS BEFORE YOU DIG

NO.	REVISION	APPROVED DATE	BENCH MARK	ELEV. REF. + 537.804 DATUM = NGVD29	DESIGNED BY	CHECKED BY	DATE	SCALE	DATE	REVIEWED BY	APPROVED BY	CITY OF PALM SPRINGS, CALIFORNIA	PRECISE GRADING PLAN FOR BADER RESIDENCE LOT 28, TRACT 30048, MB 387/13-19 APN: 512-350-008	FILE NO. E-XXXX	SHEET 2
					ANG	ANG					MARTIN L. POLLER				





**PLANT LIST**

SYMBOL	QTY	BOTANICAL NAME	SIZE	WATER USE
<b>TREES &amp; PALMS</b>				
1	1	OLIVE	48 BOX	D1 LCL
2	1	OLIVE	36 BOX	D1 LCL
3	3	OLIVE	24 BOX	D1 LCL
4	1	OLIVE	18 BOX	D1 LCL
5	1	OLIVE	12 BOX	D1 LCL
6	1	OLIVE	8 BOX	D1 LCL
7	1	OLIVE	6 BOX	D1 LCL
8	1	OLIVE	4 BOX	D1 LCL
9	1	OLIVE	3 BOX	D1 LCL
10	1	OLIVE	2 BOX	D1 LCL
11	1	OLIVE	1 BOX	D1 LCL
<b>DESERT ACCENTS</b>				
12	1	YUCCA	24" DIA	D1 LCL
13	1	YUCCA	18" DIA	D1 LCL
14	1	YUCCA	12" DIA	D1 LCL
15	1	YUCCA	8" DIA	D1 LCL
16	1	YUCCA	6" DIA	D1 LCL
17	1	YUCCA	4" DIA	D1 LCL
18	1	YUCCA	3" DIA	D1 LCL
19	1	YUCCA	2" DIA	D1 LCL
20	1	YUCCA	1" DIA	D1 LCL
21	1	YUCCA	1" DIA	D1 LCL
22	1	YUCCA	1" DIA	D1 LCL
23	1	YUCCA	1" DIA	D1 LCL
24	1	YUCCA	1" DIA	D1 LCL
25	1	YUCCA	1" DIA	D1 LCL
26	1	YUCCA	1" DIA	D1 LCL
27	1	YUCCA	1" DIA	D1 LCL
28	1	YUCCA	1" DIA	D1 LCL
29	1	YUCCA	1" DIA	D1 LCL
30	1	YUCCA	1" DIA	D1 LCL
31	1	YUCCA	1" DIA	D1 LCL
32	1	YUCCA	1" DIA	D1 LCL
33	1	YUCCA	1" DIA	D1 LCL
34	1	YUCCA	1" DIA	D1 LCL
35	1	YUCCA	1" DIA	D1 LCL
36	1	YUCCA	1" DIA	D1 LCL
37	1	YUCCA	1" DIA	D1 LCL
38	1	YUCCA	1" DIA	D1 LCL
39	1	YUCCA	1" DIA	D1 LCL
40	1	YUCCA	1" DIA	D1 LCL
41	1	YUCCA	1" DIA	D1 LCL
42	1	YUCCA	1" DIA	D1 LCL
43	1	YUCCA	1" DIA	D1 LCL
44	1	YUCCA	1" DIA	D1 LCL
45	1	YUCCA	1" DIA	D1 LCL
46	1	YUCCA	1" DIA	D1 LCL
47	1	YUCCA	1" DIA	D1 LCL
48	1	YUCCA	1" DIA	D1 LCL
49	1	YUCCA	1" DIA	D1 LCL
50	1	YUCCA	1" DIA	D1 LCL
<b>SHRUBS</b>				
51	1	SHRUB	18" DIA	D1 LCL
52	1	SHRUB	12" DIA	D1 LCL
53	1	SHRUB	8" DIA	D1 LCL
54	1	SHRUB	6" DIA	D1 LCL
55	1	SHRUB	4" DIA	D1 LCL
56	1	SHRUB	3" DIA	D1 LCL
57	1	SHRUB	2" DIA	D1 LCL
58	1	SHRUB	1" DIA	D1 LCL
59	1	SHRUB	1" DIA	D1 LCL
60	1	SHRUB	1" DIA	D1 LCL
61	1	SHRUB	1" DIA	D1 LCL
62	1	SHRUB	1" DIA	D1 LCL
63	1	SHRUB	1" DIA	D1 LCL
64	1	SHRUB	1" DIA	D1 LCL
65	1	SHRUB	1" DIA	D1 LCL
66	1	SHRUB	1" DIA	D1 LCL
67	1	SHRUB	1" DIA	D1 LCL
68	1	SHRUB	1" DIA	D1 LCL
69	1	SHRUB	1" DIA	D1 LCL
70	1	SHRUB	1" DIA	D1 LCL
71	1	SHRUB	1" DIA	D1 LCL
72	1	SHRUB	1" DIA	D1 LCL
73	1	SHRUB	1" DIA	D1 LCL
74	1	SHRUB	1" DIA	D1 LCL
75	1	SHRUB	1" DIA	D1 LCL
76	1	SHRUB	1" DIA	D1 LCL
77	1	SHRUB	1" DIA	D1 LCL
78	1	SHRUB	1" DIA	D1 LCL
79	1	SHRUB	1" DIA	D1 LCL
80	1	SHRUB	1" DIA	D1 LCL
<b>POTS</b>				
81	1	POT	18" DIA	D1 LCL
82	1	POT	12" DIA	D1 LCL
83	1	POT	8" DIA	D1 LCL
84	1	POT	6" DIA	D1 LCL
85	1	POT	4" DIA	D1 LCL
86	1	POT	3" DIA	D1 LCL
87	1	POT	2" DIA	D1 LCL
88	1	POT	1" DIA	D1 LCL
89	1	POT	1" DIA	D1 LCL
90	1	POT	1" DIA	D1 LCL
91	1	POT	1" DIA	D1 LCL
92	1	POT	1" DIA	D1 LCL
93	1	POT	1" DIA	D1 LCL
94	1	POT	1" DIA	D1 LCL
95	1	POT	1" DIA	D1 LCL
96	1	POT	1" DIA	D1 LCL
97	1	POT	1" DIA	D1 LCL
98	1	POT	1" DIA	D1 LCL
99	1	POT	1" DIA	D1 LCL
100	1	POT	1" DIA	D1 LCL

**PLANTING NOTES:**

- PLANT QUANTITIES LISTED ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY AND ARE NOT INTENDED FOR BIDDING PURPOSES.
- PLANT ALLOWANCES, THE CONTRACTOR SHALL PROVIDE A 4" DEEP ALLOWANCE TO BE USED FOR PLANT MATERIAL NOT LISTED ON THE LISTING WHICH SHALL BE SPECIFIED AND FIELD LOCATED BY THE LANDSCAPE ARCHITECT. IF ALLOWANCE IS NOT USED OR IS ONLY PARTIALLY USED THE UNUSED PORTION SHALL BE REVENDED TO THE OWNER BY THE LANDSCAPE CONTRACTOR.
- LANDSCAPE ARCHITECT SHALL FIELD REVEAL ALL PLANT LOCATIONS PRIOR TO PLANTING. PLANTS SHALL BE PLACED IN THEIR INTENDED LOCATIONS UNLESS NOTED OTHERWISE.
- ALL PRICES, LANDSCAPE CONTRACTOR SHALL FURNISH ALL PRICES FOR ALL PLANT MATERIAL AND PLANTING MATERIAL, UNLESS NOTED OTHERWISE TO THE OWNER.
- REFER TO CIVIL PLANS FOR LANDSCAPE DRAIN LOCATIONS.



**H2G**  
 HERRMAN DESIGN GROUP  
 77-499 VOLT RD  
 SUITE 102  
 PALM SPRINGS, CA 92271  
 (951) 777-9131  
 FAX (951) 777-9132

DESIGNED BY  
**MR. + MRS. SCOTT BADER**  
 1010 BELLA VISTA  
 PALM SPRINGS, CA 92264

LANDSCAPE ARCHITECT  
**BADER RESIDENCE**  
 1010 BELLA VISTA  
 PALM SPRINGS, CA 92264

REV	DATE	BY
1	11/14/08	AS/MS
2	11/14/08	AS/MS

THE CALIFORNIA LANDSCAPE ARCHITECTS ASSOCIATION  
 STATE OF CALIFORNIA

**PLANTING PLAN**

DESIGNED BY	SCOTT BADER
PLANNED BY	SCOTT BADER
CHECKED BY	SCOTT BADER
DATE	11/14/08
SCALE	1" = 10'
JOB NO.	14-05

SHEET  
**L-7**  
 OF 4