



PLANNING COMMISSION STAFF REPORT

DATE: March 22, 2017 NEW BUSINESS

SUBJECT: A MAJOR ARCHITECTURAL APPLICATION BY JMN SERVICES, PROPOSING CONSTRUCTION OF AN OFFICE / WAREHOUSE / AND RETAIL GARDEN CENTER ON A 1.37-ACRE PARCEL LOCATED AT 710 RESEARCH DRIVE, (ZONE M-1-P), CASE 3.3999 MAJ (KL)

FROM: Department of Planning Services

SUMMARY:

JMN Services, Inc. is proposing to develop an office, warehouse and retail garden center on the subject parcel. The office / warehouse structures are proposed to be constructed using a combination of steel cargo containers and conventional construction. The retail garden center will specialize in drought-tolerant species and in promoting landscaping techniques that use considerably less water than required for conventional landscapes. The complex is being designed to be "off the grid" in terms of utilities.

RECOMMENDATION:

Adopt Resolution #____, "A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION FOR A PROPOSED OFFICE / WAREHOUSE / GARDEN CENTER ON A 1.37-ACRE PARCEL LOCATED AT 710 RESEARCH DRIVE, ZONE M-1-P, CASE 3.3999 MAJ, SUBJECT TO CONDITIONS."

BACKGROUND INFORMATION:

The subject parcel is located just west of the Palm Springs International Airport in an area of light industrial buildings. The site is vacant with the exception of a service drive easement along the southern property line that provides vehicular access to an AT&T switchgear building immediately east of the subject site.

The proposed buildings on the site are to be constructed using a combination of steel cargo containers and conventional construction.

DETAILS OF APPLICATION REQUEST:

<i>Related Relevant City Actions</i>	
	(none).

<i>Field Check</i>	
1/19/17	Site visit by Planning Staff.

<i>Site Area</i>	
Net Acres	1.37 Acres

<i>Surrounding Property</i>	<i>Existing Land Use Per Zoning Code Chapter 92</i>	<i>Existing General Plan Designation</i>	<i>Existing Zoning Designation</i>
Subject Property	Vacant	Industrial	M-1-P
North	Warehouse	Industrial	M-1-P
South	Self-storage / Warehouse	Industrial	M-1-P
East	Quasi-public service (AT&T switching station)	Airport	M-1-P / A (Airport)
West	Office	Industrial	M-1-P

<i>Special Purpose and Overlay Districts</i>	<i>Compliance</i>
Within the "N" Noise Overlay zone	Y
Within Zone "B1 " of the Riverside County Airport Land Use Compatibility Master Plan	Applicant reviewed the project with the Riverside County Airport Land Use Compatibility Commission (RCALUCC) (conforms).

ANALYSIS:

Site Plan:

The proposed development incorporates a 3,145 square foot building and service yard on the eastern half of the site and an outdoor retail garden center on the western half. Individual storage units in the garden center and the service yard (permanently mounted cargo containers) comprise roughly another 4,000 square feet. The site is generally flat with vehicular access taken from Research Drive on the west. Parking is proposed along the service drive easement that provides access to the AT&T switchgear building east of the subject site. Service vehicles are parked within the service yard on the eastern part of the site.

Mass and Scale:

The proposed main building is one-story and roughly 13 feet in height. The building is proposed as an integrated assembly of shipping containers and conventional construction. Permanently installed shipping containers provide the storage structures along the east part of the site in the service yard and additional shipping containers are proposed to be combined in various ways to create the offices and other perimeter spaces of the office / warehouse structure. The center of the proposed office / warehouse building is of conventional construction with a “folded plate” roof and provides exhibit space for both the garden center and the company’s swimming pool construction business. The various structures are consistent with required setbacks for the M-1-P zone.

Building Design and Detailing:

The building is unique in its use of shipping containers for various functional spaces. The containers are visually tied together by means of the center folded plate roof assembly and a conventional stucco fascia that provides a unified appearance on all sides of the building. The vertical ribbed steel sides of the storage containers define the exterior cladding and provide texture and scale.

Landscaping and Buffers:

The site is proposed with a perimeter wall, decorative fencing and landscaping. Shade trees are proposed to be Desert Museum Palo Verde, and Fruitless Olive. A variety of fruit trees are proposed and some existing trees and shrubs on site will be integrated into the site plan to the extent possible. Groundcovers and shrubs include Korean Boxwood, Caliandra California (Bougainvillea), Aloe Vera, Barrel Cactus and Mexican fence post cactus. The garden center yard will also have a variety of plants and trees for sale to the public. The landscape selection is comprised of drought-tolerant species and will conform to the City’s water efficient landscape ordinance.

DEVELOPMENT STANDARDS:

Pursuant to PSZC Section 92.16.03, the following standards apply to the M-1-P zone:

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	40,000 SF	59,677 SF	Y
Min. Lot Width	200 Feet	165 Feet	N (legal non-conforming)
Min. Lot Depth	200 Feet	362 Feet	Y

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks			
• Front	25 Feet	25 Feet	Y
• Side (east)	NA	NA	NA
• Side (west)	NA	NA	NA
• Rear	NA	NA	NA
Max. Lot Coverage	NA	NA	NA
Min. Open Space	NA	NA	NA
Max. Building Height	40 Feet	13 Feet	Y
Perimeter Wall Height			
• North	8 Feet	6 Feet	Y
• South	8 Feet	6 Feet	Y
• East	8 Feet	6 Feet	Y
• West	6 Feet	6 Feet	Y
Trash Enclosure	Screened, 6' High (bin)	6' High	Y
Mechanical Equipment	Screened	Y	Y

Conclusion: The project conforms to the development standards of the zone.

Pursuant to PSZC Section 93.06.00, the following parking standards apply:

<i>Parking Requirement</i>							
<i>Use</i>	<i>SF or # of Units</i>	<i>Parking Ratio</i>	<i>Required</i>		<i>Provided</i>		<i>Comp.</i>
			<i>Reg.</i>	<i>Handi- cap</i>	<i>Reg.</i>	<i>Handi- cap</i>	
Plant Nurseries, svc. yards	3,824 (approx. site area)	1:500sf + 1sp / svc vehicle	8		8		Y
Storage / Warehouse	4,000	1:800	5	--	5	--	Y
Office	2,027 SF	1:200 SF	10	--	10	--	Y
Company Vehicles			4		4		
TOTAL SPACES REQUIRED			27	--	27		Y
Regular and Handicap Spaces Req.			26	1	26	1	Y

Conclusion: The project proposes adequate off-street parking.

Architectural Review Criteria:

PSZC Section 94.04.00(D) requires an evaluation of the proposed development to determine if it will provide a desirable environment for its occupants, be compatible with

the character of adjacent and surrounding developments, and whether it is of good composition, materials, textures and colors. Conformance shall be evaluated based on the following criteria:

	Guidelines [PSZC 94.04.00(D)]	Conforms?
1.	<p><i>Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas.</i></p> <p>The project site is divided roughly in half, with the eastern half functioning as a service yard and warehouse and the eastern half as a specialty garden center. The orientation of the various buildings on the site responds to the functional requirements of the individual uses on the site.</p>	Y
2.	<p><i>Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood/community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;</i></p> <p>The existing development in the vicinity is comprised of conventional structures in a variety of architectural styles. The proposed building will be harmonious with the existing development in the vicinity. The AAC recommended more variation in the front wall and clear pedestrian access to the site from the public street. Both recommendations have been incorporated into the proposed design.</p>	Y
3.	<p><i>Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment;</i></p> <p>The proposed structures conform to the development standards for the M-1-P zone.</p>	Y
4.	<p><i>Building design, materials and colors to be sympathetic with desert surroundings;</i></p> <p>The buildings are proposed in neutral tones with blue accents and are harmonious with the existing development in the vicinity.</p>	Y
5.	<p><i>Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously;</i></p> <p>The materials, colors and composition of the office / warehouse building and storage buildings are harmonious and attractive.</p>	Y
6.	<p><i>Consistency of composition and treatment;</i></p> <p>The architectural finishes on the exterior are consistent on all sides of the proposed buildings and provide a unified visual appearance to the buildings on site.</p>	Y
7.	<p><i>Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a</i></p>	Y

	Guidelines [PSZC 94.04.00(D)]	Conforms?
	<i>site, with proper irrigation to insure maintenance of all plant materials;</i> The project proposes drought tolerant trees and other plantings and will be consistent with the City's water efficient landscape ordinance.	
8.	<i>Signs and graphics, as understood in architectural design including materials and colors.</i> Signage will be submitted under a separate application processed at staff level.	NA

CONCLUSION:

The proposed development utilizes unusual building materials (shipping containers) in concert with conventional construction in a unique and interesting manner to produce an attractive and functional facility. The architecture is well detailed and appropriate for the area in which it is proposed. The proposed garden center use will introduce innovative landscape plants and irrigation systems that are suitable for the desert and use less water. The applicant has incorporated the recommendations of the AAC.

ENVIRONMENTAL ANALYSIS:

The proposed development is deemed a project pursuant to the guidelines of the California Environmental Quality Act (CEQA). The City has evaluated the project and determined it to be Categorically Exempt from further analysis under CEQA as a Class 32 (Infill Development) exemption (CEQA Guidelines 15332).

NOTIFICATION:

The agenda for this meeting was posted in accordance with applicable law and distributed to recognized neighborhood organizations within a half-mile radius of the project site. As of this writing, staff has received no public comment on this case.



Ken Lyon, RA
 Associate City Planner



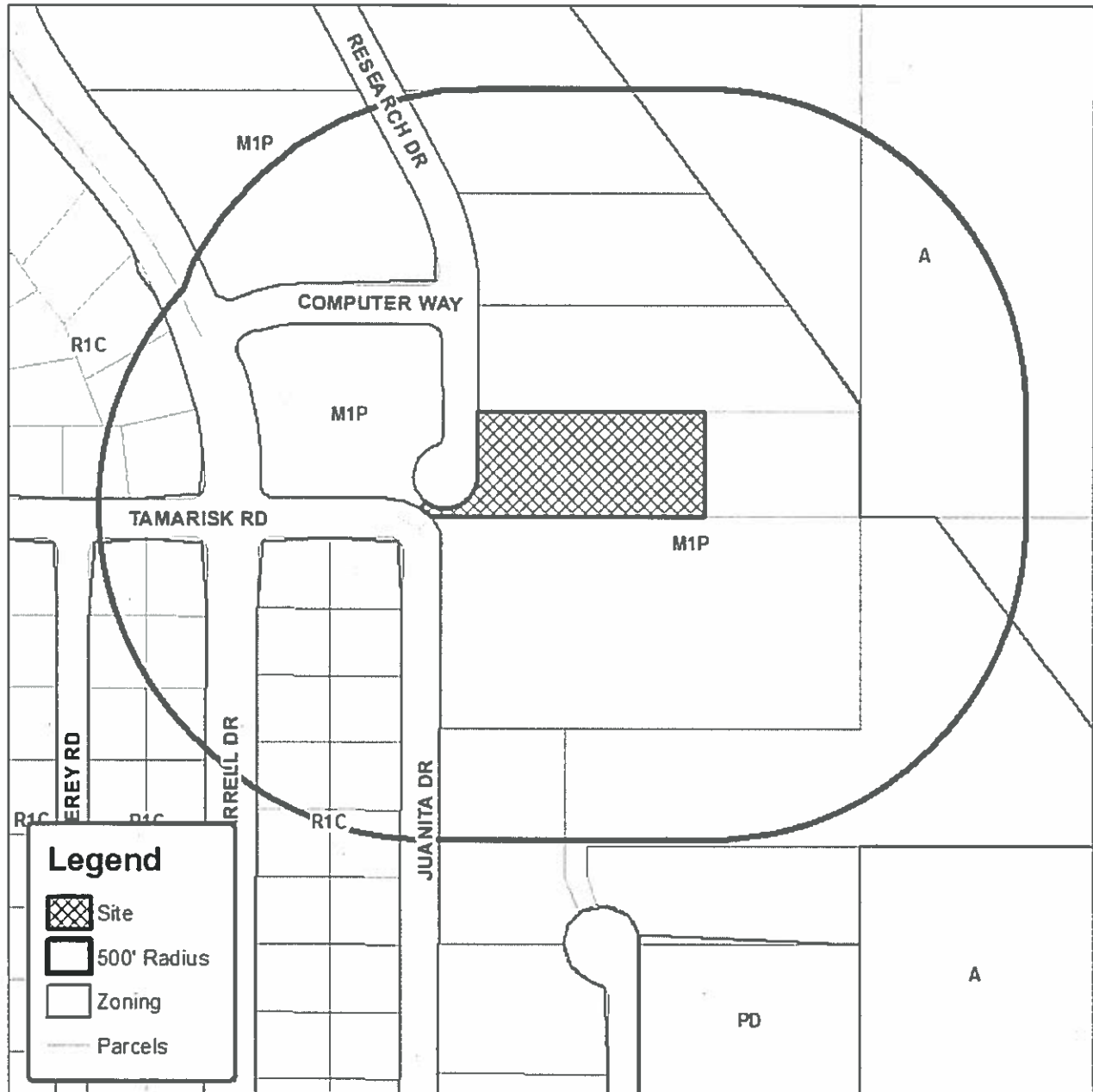
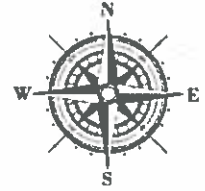
Flinn Fagg, AICP
 Director of Planning Services

ATTACHMENTS:

1. Vicinity Map
2. Draft Resolution and Conditions of Approval
3. Plans, elevations, summary letter.



Department of Planning Services Vicinity Map



Legend

- Site
- 500' Radius
- Zoning
- Parcels

CITY OF PALM SPRINGS
710 Research Drive

RESOLUTION NO. _____

EXHIBIT A

Case 3.3991 MAJ - 710 Research Drive
Warehouse, Office, Garden Center for
JMN Services, Inc.

3-22-17

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case 3.3999 MAJ; except as modified with the approved Mitigation Monitoring Program and the conditions below;
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped March 15, 2017 including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.3999 MAJ. The City of Palm Springs will promptly

notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.
- ADM 9. Public Art Fees. This project shall be subject to Chapters 2.24 and 3.37 of the Municipal Code regarding public art. The project shall either provide public art or payment of an in lieu fee. In the case of the in-lieu fee, the fee shall be based upon the total building permit valuation as calculated pursuant to the valuation table in the Uniform Building Code, the fee being 1/2% for commercial projects or 1/4% for residential projects with first \$100,000 of total building permit valuation for individual single-family units exempt. Should the public art be located on the project site, said location shall be reviewed and approved by the Director of Planning and Zoning and the Public Arts

Commission, and the property owner shall enter into a recorded agreement to maintain the art work and protect the public rights of access and viewing.

ADM 10. Tribal Fees NOT Required.

ADM 11. Comply with City Noise Ordinance. This use shall comply with the provisions of Section 11.74 Noise Ordinance of the Palm Springs Municipal Code. Violations may result in revocation of this Conditional Use Permit.

ADM 12. Control of Noise. Live entertainment is permitted in the location shown on the approved floor plan only. If complaints are received, all exterior doors and windows shall be closed immediately upon request of the enforcement officer. A limited bar service window may remain open for the indoor/outdoor bar service.

ADM 22. Avigation Agreement Requirement Prior to issuance of a building permit, the applicant must provide a standard avigation easement and non-suit covenant in a form prescribed and approved by the City Attorney, with reference to present and future owners of the parcel (N zone only)

ENVIRONMENTAL ASSESSMENT CONDITIONS

ENV 1. Coachella Valley Multiple-Species Habitat Conservation Plan (CVMSHCP) Local Development Mitigation Fee (LDMF) required. All projects within the City of Palm Springs, not within the Agua Caliente Band of Cahuilla Indians reservation are subject to payment of the CVMSHCP LDMF prior to the issuance of certificate of occupancy.

ENV 2. Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA); therefore, an administrative fee of \$64 shall be submitted by the applicant in the form of a money order or a cashier's check payable to the Riverside County Clerk within two business days of the Commission's final action on the project. This fee shall be submitted by the City to the County Clerk with the Notice of Exemption. Action on this application shall not be considered final until such fee is paid (projects that are Categorically Exempt from CEQA).

ENV 3. Cultural Resource Survey Required. Prior to any ground disturbing activity, including clearing and grubbing, installation of utilities, and/or any construction related excavation, an Archaeologist qualified according to the Secretary of the Interior's Standards and Guidelines, shall be employed to

survey the area for the presence of cultural resources identifiable on the ground surface.

- ENV 4. Cultural Resource Site Monitoring. There is a possibility of buried cultural or Native American tribal resources on the site. A Native American Monitor shall be present during all ground-disturbing activities. (check for duplication in engineering conditions)
- ENV 5. a). A Native American Monitor(s) shall be present during all ground disturbing activities including clearing and grubbing, excavation, burial of utilities, planting of rooted plants, etc. Contact the Agua Caliente Band of Cahuilla Indian Cultural Office for additional information on the use and availability of Cultural Resource Monitors. Should buried cultural deposits be encountered, the Monitor shall contact the Director of Planning. After consultation the Director shall have the authority to halt destructive construction and shall notify a Qualified Archaeologist to further investigate the site. If necessary, the Qualified Archaeologist shall prepare a treatment plan for submission to the State Historic Preservation Officer and Agua Caliente Cultural Resource Coordinator for approval.
- b). Two copies of any cultural resource documentation generated in connection with this project, including reports of investigations, record search results and site records/updates shall be forwarded to the Tribal Planning, Building, and Engineering Department and one copy to the City Planning Department prior to final inspection.

PLANNING DEPARTMENT CONDITIONS

- PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.
- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside

County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.

- PLN 3. Sign Applications Required. No signs are approved by this action. Separate approval and permits shall be required for all signs in accordance with Zoning Ordinance Section 93.20.00.
- PLN 4. Flat Roof Requirements. Roof materials on flat roofs (less than 2:12) must conform to California Title 24 thermal standards for "Cool Roofs". Such roofs must have a minimum initial thermal emittance of 0.75 or a minimum SRI of 64 and a three-year aged solar reflectance of 0.55 or greater. Only matte (non-specular) roofing is allowed in colors such as beige or tan.
- PLN 5. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 6. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.
- PLN 7. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 8. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 9. (add any additional conditions imposed by the Planning Commission or City Council here)

RIVERSIDE COUNTY AIRPORT LAND USE COMPATIBILITY COMMISSION CONDITIONS

- ALUC 1. Any new outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- ALUC 2. The following uses shall be prohibited:
 - a. Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport,

other than an FAA-approved navigational signal light or visual approach slope indicator.

- b. Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
- c. Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
- d. Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- e. Children's schools, day care centers, libraries, hospitals, nursing homes, highly noise-sensitive outdoor nonresidential uses, places of worship, aboveground bulk storage of flammable or hazardous materials, and hazards to flight.

ALUC 3. The following notice shall be given to all prospective purchasers and/or tenants of the property:

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. (State of California Business & Professional Code Section 11010 (b)(13)(A).

- ALUC 4. Prior to issuance of a building permit, the property owner shall convey an avigation easement to Palm Springs International Airport. Copies of the recorded avigation easement shall be forwarded to the Airport Land Use Commission and to the City of Palm Springs.
- ALUC 5. Any new detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- Trees shall be spaced to avoid creation of a continuous canopy. Landscaping in and around the detention basin shall not include vegetation that produces seeds, fruits, or berries.
- ALUC 6. Any subsequent Design Review, Conditional Use Permit, Tenant Improvement, or other permitting that would alter the use and occupancy of the currently proposed project shall require ALUC review.
- ALUC 7. Noise attenuation measures shall be incorporated into the design of the office building, to the extent that such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.'
- ALUC 8. Buildings, storage containers, and any equipment stored on-site shall be limited to a maximum height of 22 feet above ground level.

POLICE DEPARTMENT CONDITIONS

- POL 1. Developer shall comply with Section II of Chapter 8.04 "Building Security Codes" of the Palm Springs Municipal Code.

BUILDING DEPARTMENT CONDITIONS

- BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

ENGINEERING DEPARTMENT CONDITIONS

APPLICATION FOR APPROVAL OF A COMMERCIAL WAREHOUSE/GARDEN CENTER LOCATED AT 710 RESEARCH DRIVE, (APN 507-350-045), SECTION 7, TOWNSHIP 4 S, RANGE 4 E, S.B.M., CASE NO. 3.3999, LUP 06-075, ENG. FILE NO.4182.

The Engineering Services Department recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

STREETS

- ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 24 to 48 hour inspection notification is required.

RESEARCH DRIVE

- ENG 2. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

ON-SITE

- ENG 3. For on-site bay parking in residential and commercial zones, paving material shall be decorative paving, colored and/or patterned to relate to the overall design in accordance with Zoning Code 93.06.00.C.15.e.
- ENG 4. The minimum pavement section for all on-site pavement parking spaces shall be 2-1/2 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal. If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.

SANITARY SEWER

- ENG 5. All sanitary facilities shall be connected to the public sewer system. The existing sewer service to the property shall be used for new sanitary facilities. New laterals shall not be connected at manholes.

GRADING

ENG 6. Submit a Precise Grading Plan prepared by a California registered Civil engineer to the Engineering Services Department for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.

a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report; a copy of the project-specific Final Water Quality Management Plan.

ENG 7. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be provided to the City) . The applicant shall contact the Tribal Historic

Preservation Officer or the Tribal Archaeologist at ACBCI-THPO@aguacaliente.net to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.

- ENG 8. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 9. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 10. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 11. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.
- ENG 12. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of two thousand dollars (\$2,000.00) per disturbed acre (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 13. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering

Services Department with the first submittal of a grading plan (if required)
or prior to issuance of any permit.

- ENG 14. In cooperation with the Riverside County Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 73-710 Fred Waring Drive, Palm Desert (Phone: 760-776-8208).

WATER QUALITY MANAGEMENT PLAN

- ENG 15. This project shall be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating contaminated stormwater and non-stormwater runoff, shall be required by regulations imposed by the RWQCB. It shall be the applicant's responsibility to design and install appropriate BMP's, in accordance with the NPDES Permit, that effectively intercept and pre-treat contaminated stormwater and non-stormwater runoff from the project site, prior to release to the City's municipal separate storm sewer system ("MS4"), to the satisfaction of the City Engineer and the RWQCB. Such measures shall be designed and installed on-site; and provisions for perpetual maintenance of the measures shall be provided to the satisfaction of the City Engineer, including provisions in Covenants, Conditions, and Restrictions (CC&R's) required for the development (if any).
- ENG 16. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a grading or building permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to the adjacent property (or public streets) is

prohibited. Construction of operational BMP's shall be incorporated into the Precise Grading and Paving Plan.

- ENG 17. Prior to issuance of any grading or building permits, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement the approved Final Project-Specific Water Quality Management Plan (WQMP). Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include: requiring the implementation of the Final Project-Specific WQMP in Home Owners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&Rs); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to issuance of any grading or building permits.

DRAINAGE

- ENG 18. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property. Construct storm drain improvements, including but not limited to catch basins, and storm drain lines, for drainage into the retention system, as described in the Hydraulic Study for AT&T Palm Springs POP, prepared by Teng & Associates, Inc., dated November 15, 2007.
- ENG 19. This project shall be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating contaminated stormwater and non-stormwater runoff, shall be required by regulations imposed by the RWQCB. It shall be the applicant's responsibility to design and install appropriate BMP's, in accordance with the NPDES Permit, that effectively intercept and pre-treat contaminated stormwater and non-stormwater runoff from the project site, prior to release to the City's municipal separate storm sewer system ("MS4"), to the satisfaction of the City Engineer and the RWQCB. Such

measures shall be designed and installed on-site; and provisions for perpetual maintenance of the measures shall be provided to the satisfaction of the City Engineer, including provisions in Covenants, Conditions, and Restrictions (CC&R's) required for the development.

- ENG 20. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$9212.00 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

GENERAL

- ENG 21. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.
- ENG 22. All proposed utility lines shall be installed underground.
- ENG 23. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 24. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 25. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.

- ENG 26. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 27. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.
- ENG 28. The applicant shall contact Mission Springs Water District at (760) 329-6448 to determine the requirements for extending water service to the project site. The applicant may be responsible for the design and construction of off-site water line improvements OR payment of applicable fair-share costs of off-site water line improvements constructed by others.
- ENG 29. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation Fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

TRAFFIC

- ENG 30. A minimum of 48 inches of clearance for accessibility shall be provided on public sidewalks. Minimum clearance on public sidewalks shall be provided by either an additional dedication of a sidewalk easement if necessary and widening of the sidewalk, or by the relocation of any obstructions within the public sidewalk along the frontage of the subject property.
- ENG 31. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and street lights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.
- ENG 32. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

ENG 33. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

FIRE DEPARTMENT CONDITIONS

FID 1 These conditions are subject to final plan check and review. Initial Fire Department conditions have been determined from the site plan stamped received on January 30, 2017. Additional requirements may be required at that time based on revisions to plans. Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review.

FID 2 Fire Department Conditions were based on the *2016 California Fire Code* as adopted by City of Palm Springs, Palm Springs Municipal Code and latest adopted NFPA Standards. Three (3) complete sets of plans for private fire service mains, fire alarm, or fire sprinkler systems must be submitted at time of the building plan submittal.

FID 3 PLANS AND PERMITS

Complete plans for private fire service mains or fire sprinkler systems should be submitted for approval well in advance of installation. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

City of Palm Springs
Building and Safety Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. Inspection fees are charged at the fully burdened hourly rate of the fire inspector. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

- FID 4 **Operational Fire Hydrant(s) (CFC 507.1, 507.5 & Table C105.1):** An approved water supply capable of supplying the required fire flow for fire protection shall be provided.
- Maximum distance from any point on street frontage to a public hydrant – 250 feet
 - Operational fire hydrant(s) shall be installed within 250 feet of all combustible construction and shall be serviceable prior to and during construction
- FID 5 **Required Water Supply (CFC 507.1):** An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- FID 6 **Water Plan (CFC 501.3 & 901.2):** A water plan for on-site and off-site is required and shall include underground private fire main for fire sprinkler riser(s), public fire hydrant(s), public water mains, Double Check Detector Assembly, Fire Department Connection and associated valves.
- FID 7 **Location of Fire Department Connections:** The connection inlets must face the street, and be located on the street side of the building. The face of the inlets shall be 18 inches horizontal from the back edge of sidewalk (or back of curb, if no sidewalk), and shall be 36 to 44 inches in height to center of inlets above finished grade. No landscape planting, walls, or other obstructions are permitted within 3 feet of Fire Department connections. The FDC and supporting piping shall be painted OSHA safety red.

The address of the building served shall be clearly indicated on the Fire Department Connection (FDC). A sign with this information shall be placed on or near the FDC. The sign shall be constructed of metal. The sign face, lettering, and attachment shall be made of weather and vandal resistant materials. Sign background will be bright red. Letters will be bright white. Sign format will be substantially as follows:

FDC SERVES
710 RESEARCH DR
[Designate Buildings Served]

- FID 8 **NFPA 13 Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13, 2013 Edition, as modified by local ordinance.

Project Note: Fire Sprinklers required in main building only

- FID 9 **Key Box Required (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be flush mount type and shall contain keys to gain necessary access as required by the fire code official.

- FID 10 **Security Gates (CFC 503.6):** The installation of security gates across a fire apparatus access road shall be approved by the fire code official. Where security gates are installed, they shall have an approved means of emergency operation. Secured automated vehicle gates or entries shall utilize a combination of a Tomar Strobeswitch™, or approved equal, and an approved Knox key electric switch. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200 and an approved Knox key electric switch. Approved security gates shall be a minimum of 14 feet in unobstructed drive width on each side with gate in open position.

In the event of a power failure, the gates shall be defaulted or automatically transferred to a fail safe mode allowing the gate to be pushed open without the use of special knowledge or any equipment. If a two-gate system is used, the override switch must open both gates.

If there is no sensing device that will automatically open the gates for exiting, a fire department approved Knox electrical override switch shall be placed on each side of the gate in an approved location.

A final field inspection by the fire code official or an authorized representative is required before electronically controlled gates may become operative. Prior to final inspection, electronic gates shall remain in a locked-open position.

Project Note: All automatic gates require Knox key-switch entry

Project Note: "Strobe-switch" entry devices not required for this project

- FID 11 Fire Extinguisher Requirements (CFC 906):** Provide one (1) 2A-10B:C portable fire extinguisher for every 75 feet of floor or grade travel distance for normal hazards. Show proposed extinguisher locations on the plans. Extinguishers shall be mounted in a visible, accessible location 3 to 5 feet above ground level.

Project Note: Storage units require fire extinguishers. Consult with fire department for location options

- FID 12 Hazardous Materials (CFC 5004.1):** Storage of hazardous materials in amounts exceeding the maximum allowable quantity per control area as set forth in Section 5003.1 shall be in accordance with Sections 5001, 5003 and 5004. Storage of hazardous materials in amounts not exceeding the maximum allowable quantity per control area as set forth in Section 5003.1 shall be in accordance with Sections 5001 and 5003. Retail and wholesale storage and display of nonflammable solid and nonflammable and noncombustible liquid hazardous materials in Group M occupancies and Group S storage shall be in accordance with Section 5003.11.

Project Note: Provide hazardous materials storage plan as prepared by a fire protection consulting firm approved by the fire department. Consult with fire department on reporting quantities

Project Note: Contact Riverside County Department of Environmental Health (Haz-Mat) for permitting requirements

END OF CONDITIONS



1089 N. Palm Canyon Dr.
Suite B
Palm Springs, CA 92262
760 778 8165 TEL
760 406 7946 FAX
www.o2arch.com

Date: 12.14.2016

Re: Major Architectural Application (MAJ) & Land Use Permit (LUP), Justification Letter

710 E. Research Drive
Palm Springs, CA 92262
APN: 507-350-045

Project Description:

The project consists of a new 12'-4" high one-story commercial building, Lot 7 PM 046/035 PM 8779-1, in the City of Palm Springs, County of Riverside, State of California, as per recorded in Book 46 Page 35 of Maps, in the office of the County Recorder of said County.

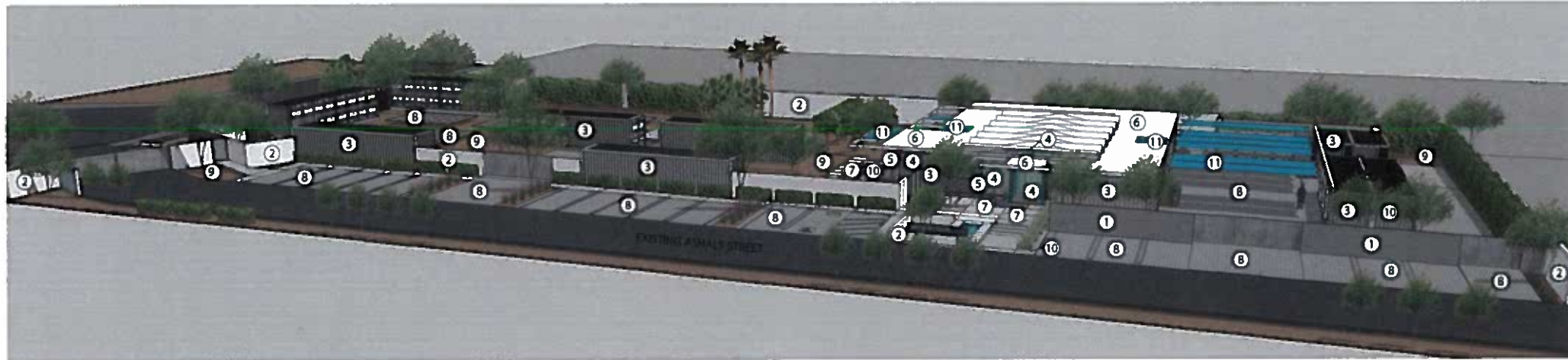
The new construction will be constructed on a 1.37 acres undeveloped graded vacant lot in Palm Springs, California and falls under the M-1-P zoning standards. Per section 92.16.03 of the Palm Springs Zoning code, requires a front yard setback of 25 feet and a side, a rear yard & side setback of 20 feet.

In addition to Architectural Blue's design and pool construction service, the company would like to expand their operation by including a retail store to their new premises. Therefore please find included a Land Use Permit as per 92.16.01/C.6. Retail uses.

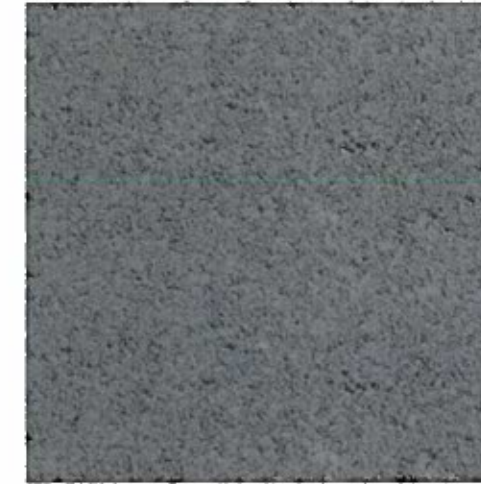
Please find the enclosed drawing exhibit which illustrates the proposed project for your consideration and review. Please feel free to contact me with any questions.

Sincerely,

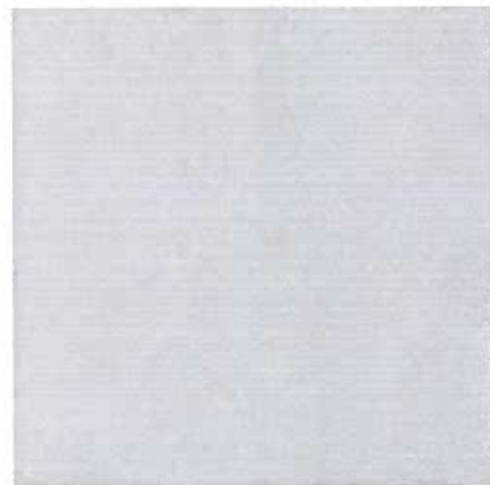
Lance O'Donnell
O2 Architecture



SOUTH VIEW



1 SW-1 ANGELUS 8"x8"x16" PRECISION CMU BLOCK
COLOR: SLATE



2 SW-2 ANGELUS 8"x8"x16" PRECISION CMU BLOCK
SMOOTH ACRYLIC PLASTER COAT, DOVE GREY 40



3 EW-1 CORRUGATED METAL PANELS
COLOR: DUNN EDWARDS, COOL DECEMBER



4 EW-4 CLEAR GLASS, LOW 'E'



5 EW-5 ALUMINUM FRAME,
SATIN ANODIZED FINISH



6 RF-1 SINGLE-PLY ROOFING SYTEM
COLOR: DC6 WHITE
RF-2



7 H-1 CONCRETE HARDSCAPE, NATURAL GRAY
W/ACID ETCH FINISH



8 H-3 ANGELUS PAVER STONES, PERMEABLE AQUALINA,
COLOR: DARK GRAY-PEWTER-CHARCOAL



9 S-1 COMPACTED DECOMPOSED GRANIT, GREY



10 S-2 CRUSHED GRAVEL, COLOR PEWTER GREY



11 SH-1 POLYTEX SHADE FABRIC, AQUAMARINE

project title:

**ARCHITECTURAL BLUE
OFFICE & WAREHOUSE**

address:

**710 E RESEARCH DRIVE
PALM SPRINGS, CA 92262**

sheet description:

**Materials
Board**

scale: N.T.S
date: 03.13.2017

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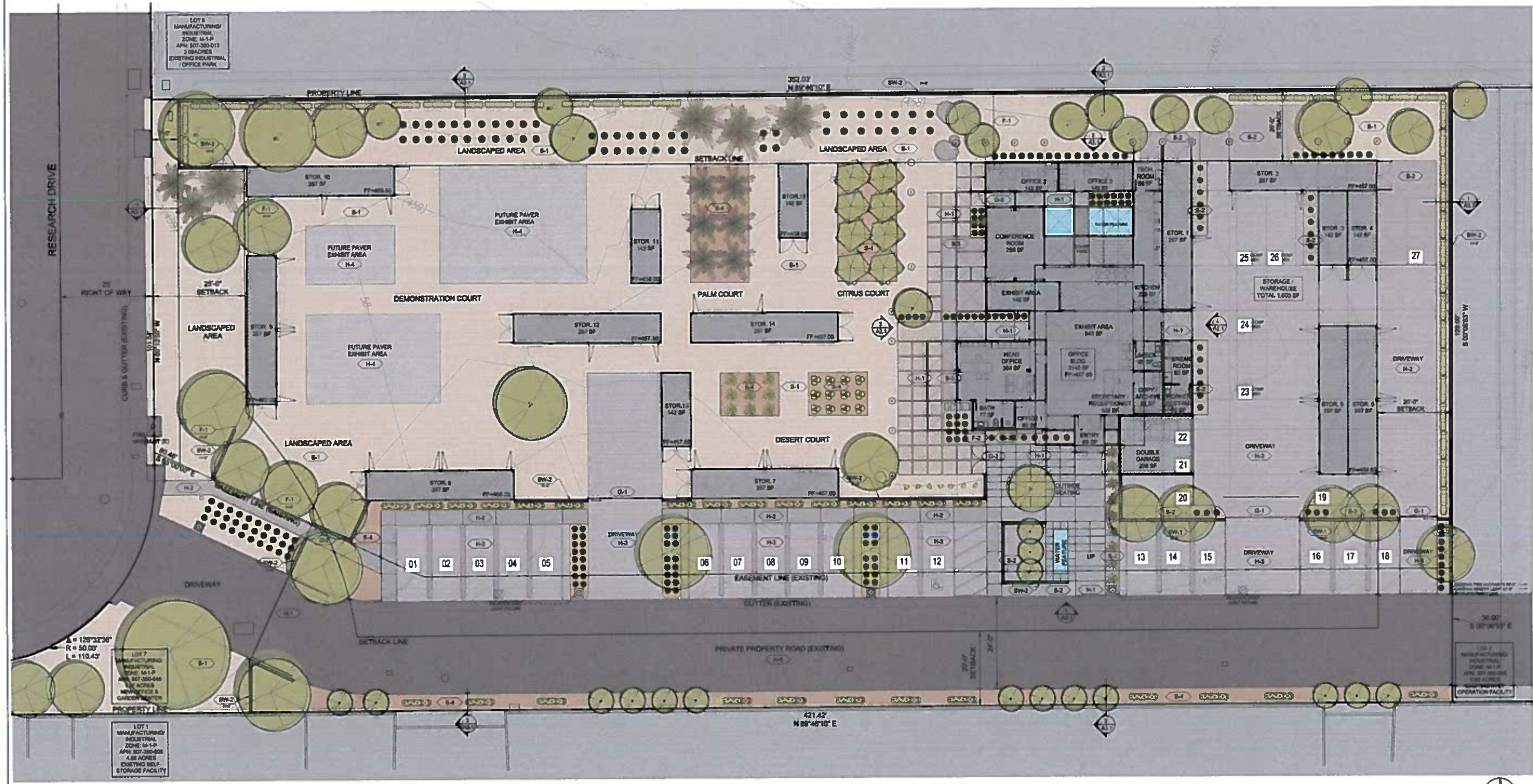
MAR 15 2017

PLANNING SERVICES

THIS DOCUMENT SHALL NOT BE REPRODUCED NOR SHALL THE INFORMATION CONTAINED THEREIN BE USED BY OR DISCLOSED TO OTHERS EXCEPT AS EXPRESSLY AUTHORIZED BY AS ARCHITECTURE.

1088 N. PALM CANYON DR
SUITE B
PALM SPRINGS, CA 92262
TEL: 760.779.8190
FAX: 760.408.7948
EMAIL: info@asarch.com

OWNER:
ARCHITECT:
STRUCTURAL ENGINEER:
GENERAL CONTRACTOR:



ARCHITECTURAL BLUE
OFFICE & WAREHOUSE
710 EAST RESEARCH DRIVE
PALM SPRINGS, CA 92262

1 SITE PLAN & LANDSCAPE PLAN
SCALE: 3/32" = 1'-0"

LANDSCAPE LEGEND:		SITE PLAN LEGEND:	
SYMBOL	QTY. NAME	SYMBOL	DESCRIPTION
	28 Common: Desert Museum Palo Verde Scientific: 'Cercidium'		12 Common: Variety of different Palm Trees 10'-15" Tall
	20 Common: Majestic Beauty Fruitless Olive Tree Scientific: 'Olea Europea Monihar'		39 Common: Korean Boxwood 5 Gallon Scientific: 'Buxus Microphylla Koreana'
	8 Common: Existing Trees/ Bushes on Site		27 SCIENTIFIC: 'Calliandra Calliandra' or 'Bougainvillea'
	6 Common: Variety of different Fruit Trees		248 Common: Variety of Deer Grass For Example: 'Muhlenbergia Capillaris' or 'Ripens'
			18 Common: 'Aloe Vera' Scientific: 'Aloe Barbarensis'
			12 Common: Golden Barrel Cactus Scientific: 'Echinocactus grusonii'
			7 Common: Mexican Fence Post Scientific: 'Lamprocorpus Marginatus'
			5 Common: Boulders Different Sizes

NOTE:
- PLANT QUANTITIES TO BE VERIFIED BY CONTRACTOR.
- COMPACTED DECOMPOSED GRANITE. COLOR: GREY

LOT INFORMATION:
APN: 507-350-045
ZONE: M-1-P
USE CODE: MANUFACTURING / INDUSTRIAL ZONES
LEGAL DESCRIPTION: LOT 7 PM 048/035 PM 8779-1

AREA TABULATION:

FLOOR AREA:	COND.	UNCOND.	TOTAL ENCLOSED	GROSS
MAIN BLDG.	3,145SF		3,145SF	3,145SF
GARAGE	320SF		320SF	320SF
STORAGE EAST (1-8)	1,800SF	1,800SF	1,800SF	1,800SF
STORAGE WEST (7-15)	2,400SF	2,400SF	2,400SF	2,400SF
TOTAL GROSS	3,145SF	4,000SF	7,465SF	7,465SF

TOTAL SITE AREA SQUARE FOOT (ACRES): 59,877SF (1.37)

BUILDING SITE COVERAGE AREA: 7,465SF - 13%
PAVING (INCL. STREETS, DRIVES): 29,467SF - 49%
LANDSCAPE, OPEN, RECREATION: 22,725SF - 38%

PARKING SPACES REQUIRED: (PSSC 83.06.00)
NURSERIES: 3,624SF / 500SF = 7.25 8 SPACES
STORAGE / WAREHOUSE: 4,000SF / 800SF = 5 5 SPACES
OFFICE: 2,027SF / 200SF = 10.14 10 SPACES

SPACES REQUIRED: 23 SPACES (REGULAR PARKING REQ: 22 SPACES ADA PARKING REQUIRED: 1 SPACE)

PARKING PROVIDED: 22 SPACES
STANDARD SPACES: 22 SPACES
ADA SPACE: 1 SPACE
COMPANY SPACES: 4 SPACES
TOTAL PARKING PROVIDED: 27 SPACES

MATERIAL LEGEND:

	COMPACTED DECOMPOSED GRANITE, GREY		6 HIGH STEEL FENCE, VERTICAL BARS #10 @ 4"
	1/2" CRUSHED GRAVEL, PEWTER GREY		6 HIGH STEEL PANEL FENCE
	RIVER ROCK		CORRUGATED METAL PANELS, COLOR: DUNN EDWARDS, COOL DECORATOR
	NATURALIZED DESERT SOIL		STRUCTURAL STEEL, PRIMED & 2 COATS OF OIL BASED PAINT, COLOR: DUNN EDWARDS, COOL DECORATOR
	ANGLE IRON #2 1/2" x 1/4" PRECISION CHAU		ALUMINUM FRAME METAL, 20 GA. MIN. FINISH: BRUSH MATCH ALUM. FINISH
	ANGLE IRON #2 1/2" x 1/4" PRECISION CHAU BLOCK WALL, SMOOTH ACRYLIC PLASTER, COAT COLOR: DUNN EDWARDS		ALUMINUM FRAME, SATIN ANODIZED FINISH, COLOR: DUNN EDWARDS, COOL DECORATOR
	CONCRETE HARDCAPE, WITH ACID ETCH FINISH, COLOR: NATURAL GRAY		CLEAR GLASS, LOW WALL
	CONCRETE FLATWORK, LIGHT BROWN FINISH, COLOR: NATURAL GRAY		ALUMINUM FRAME, SATIN ANODIZED FINISH, COLOR: DUNN EDWARDS, COOL DECORATOR
	BUILDING AREA (COND.)		LOW PROFILE ROOF SYSTEM, COLOR: DUNN EDWARDS, COOL DECORATOR
	GARAGE (UNCOND.)		HIGH PROFILE ROOF SYSTEM, COLOR: DUNN EDWARDS, COOL DECORATOR
	STORAGE / WAREHOUSE AREA (UNCOND.)		EXISTING ASPHALT STREET
	PREFABRICATED METAL UNITS		6 HIGH MOTORIZED STEEL GATE
	WOOD FRAME WALLS		6 HIGH STEEL ENTRANCE DOORS
	CMU CONCRETE BLOCK WALLS		6 HIGH METAL POST GATE
	CONCRETE FLATWORK		6 HIGH STEEL FENCE, VERTICAL BARS #10 @ 4"
	EXISTING STREET LIGHT FIXTURES		6 HIGH STEEL PANEL FENCE
	BUILDING AREA (COND.)		CORRUGATED METAL PANELS, COLOR: DUNN EDWARDS, COOL DECORATOR
	GARAGE (UNCOND.)		STRUCTURAL STEEL, PRIMED & 2 COATS OF OIL BASED PAINT, COLOR: DUNN EDWARDS, COOL DECORATOR
	STORAGE / WAREHOUSE AREA (UNCOND.)		ALUMINUM FRAME METAL, 20 GA. MIN. FINISH: BRUSH MATCH ALUM. FINISH
	STORAGE / WAREHOUSE AREA (UNCOND.)		ALUMINUM FRAME, SATIN ANODIZED FINISH, COLOR: DUNN EDWARDS, COOL DECORATOR
	STORAGE / WAREHOUSE AREA (UNCOND.)		CLEAR GLASS, LOW WALL
	STORAGE / WAREHOUSE AREA (UNCOND.)		ALUMINUM FRAME, SATIN ANODIZED FINISH, COLOR: DUNN EDWARDS, COOL DECORATOR
	STORAGE / WAREHOUSE AREA (UNCOND.)		LOW PROFILE ROOF SYSTEM, COLOR: DUNN EDWARDS, COOL DECORATOR
	STORAGE / WAREHOUSE AREA (UNCOND.)		HIGH PROFILE ROOF SYSTEM, COLOR: DUNN EDWARDS, COOL DECORATOR
	STORAGE / WAREHOUSE AREA (UNCOND.)		EXISTING ASPHALT STREET
	STORAGE / WAREHOUSE AREA (UNCOND.)		6 HIGH MOTORIZED STEEL GATE
	STORAGE / WAREHOUSE AREA (UNCOND.)		6 HIGH STEEL ENTRANCE DOORS
	STORAGE / WAREHOUSE AREA (UNCOND.)		6 HIGH METAL POST GATE

2 LEGEND
SCALE: NTS

3 LOT INFORMATION
SCALE: NTS

4 MATERIAL LEGEND
SCALE: NTS

SHEET DESCRIPTION
SITE PLAN & LANDSCAPE PLAN
SCALE: 3/32" = 1'-0"

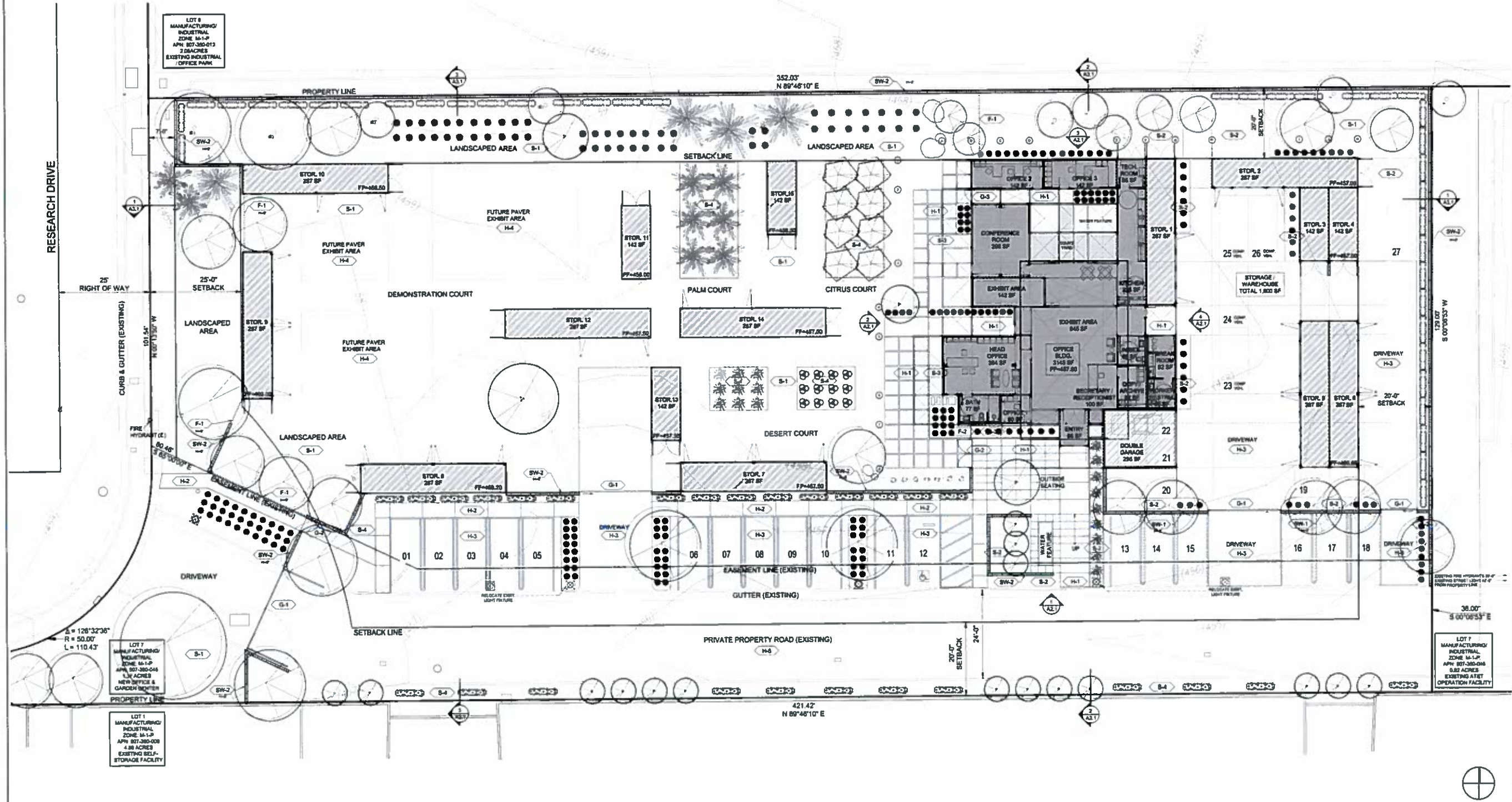
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MAR 15 2017
PLANNING SERVICES DEPARTMENT

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1088 N. PALM CANYON DR
SUITE B
PALM SPRINGS, CA 92262
TEL: 760.776.8168
FAX: 760.428.7588
EMAIL: info@o2arch.com

OWNER: [REDACTED]
ARCHITECT: O2 ARCHITECTURE
STRUCTURAL ENGINEER: [REDACTED]
GENERAL CONTRACTOR: [REDACTED]



ARCHITECTURAL BLUE OFFICE & WAREHOUSE
710 EAST RESEARCH DRIVE
PALM SPRINGS, CA 92262

1 SITE PLAN & LANDSCAPE PLAN
SCALE: 3/32" = 1'-0"

LANDSCAPE LEGEND:		SITE PLAN LEGEND:	
SYMBOL	QTY. NAME	SYMBOL	DESCRIPTION
	26 Common: Desert Museum Palo Verde Scientific: 'Cerdidum'		12 Common: Variety of different Palm Trees 10'-15" Tall
	20 Common: Majestic Beauty Fruitless Olive Tree Scientific: 'Olea Europaea Monther'		12 Common: Golden Barrel Cactus Scientific: 'Echinocactus grusonii' 5 Gallon
	6 Common: Existing Trees/ Bushes on Site		7 Common: Mexican Fence Post Scientific: 'Luminoacoccus Marginalis' 3'-5" Tall
	6 Common: Variety of different Fruit Trees		5 Common: Boulders Different Sizes
			PREFABRICATED METAL UNITS
			WOOD FRAME WALLS
			CMU CONCRETE BLOCK WALLS
			CONCRETE FLATWORK
			EXISTING STREET LIGHT FIXTURES
			BUILDING AREA (COND.)
			GARAGE (UNCOND.)
			STORAGE / WAREHOUSE AREA (UNCOND.)

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- COMPACTED DECOMPOSED GRANITE: COLOR: GREY

LOT INFORMATION:

APN: 507-350-045
ZONE: M-1-P
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LANDSCAPE, OPEN, RECREATION: 22,725SF - 38%

PARKING SPACES REQUIRED (PSSC 83.06.00)

TYPE	REQUIREMENT	SPACES
NURSERIES	3,824SF / 500SF = 7.25	8 SPACES
STORAGE / WAREHOUSE	4,000SF / 800SF = 5	5 SPACES
OFFICE	2,027SF / 200SF = 10.14	10 SPACES
SPACES REQUIRED (REGULAR PARKING REQ.)		23 SPACES
ADA PARKING REQUIRED:		1 SPACE
COMPANY VEHICLES		4 SPACES
TOTAL SPACES REQUIRED:		27 SPACES

PARKING PROVIDED:
STANDARD SPACES: 22 SPACES
ADA SPACE: 1 SPACE
COMPANY SPACES: 4 SPACES
TOTAL PARKING PROVIDED: 27 SPACES

MATERIAL LEGEND:

SYMBOL	DESCRIPTION
	COMPACTED DECOMPOSED GRANITE, GREY
	CRUSHED GRAVEL, PEWTER GREY
	RIVER ROCK
	NATURALIZED DESERT SOIL
	ANODIZED 6" x 1 1/2" x 1/4" PRECISION CMU BLOCK WALL, COLOR: SLATE
	CONCRETE PLAY HOLE, LIGHT BROOM FINISH, COLOR: NATURAL GRAY
	HANDLAX PAVER STONES, DISPLAY, T&D
	ANODIZED PAVER STONES, PERMEABLE, AQUALINE, DAWN GRAY, PEWTER/CHARCOAL
	EXISTING ASPHALT 1" STREET
	HIGH MOTORIZED STEEL GATE
	HIGH STEEL ENTRANCE DOORS
	HIGH METAL POST GATE
	6" HIGH STEEL FENCE, VERTICAL BARS #10 C
	8" HIGH STEEL PANEL FENCE
	COMPACTED METAL PANELS, COLOR: DAWN EDWARDS, COOL, DECEMBER
	STRUCTURAL STEEL, PRIMED & 2 COATS OF OIL BASED PAINT, COLOR: DAWN EDWARDS, COOL, DECEMBER
	ALUMINUM BRASS METAL, 29 GA. MIN. FRESH SMALL MATCH ALUM. WINDOW FRAMES, VERIFY LOCATION OF SEAMS BEFORE INSTALLATION
	CLEAR GLASS, LOW E
	ALUMINUM FRAME, SATIN ANODIZED FINISH, COLOR: ICE WHITE, FLAT ROOF
	LOW SLOPE PLY ROOFING SYSTEM, COLOR: ICE WHITE, FLAT ROOF
	HIGH SLOPE PLY ROOFING SYSTEM, COLOR: ICE WHITE, PREFABRICATED FOLDING ROOF
	TRELLIS, RECTANGULAR STEEL, TUBE 4" x 10", COLOR: DAWN EDWARDS, COOL, DECEMBER
	POLYETHYLENE FABRIC, AQUAMARINE
	FABRIC, 3 COAT PLASTER CEMENT SYSTEM, LA PALMA, COVE GRAY

2 LEGEND
SCALE: NTS

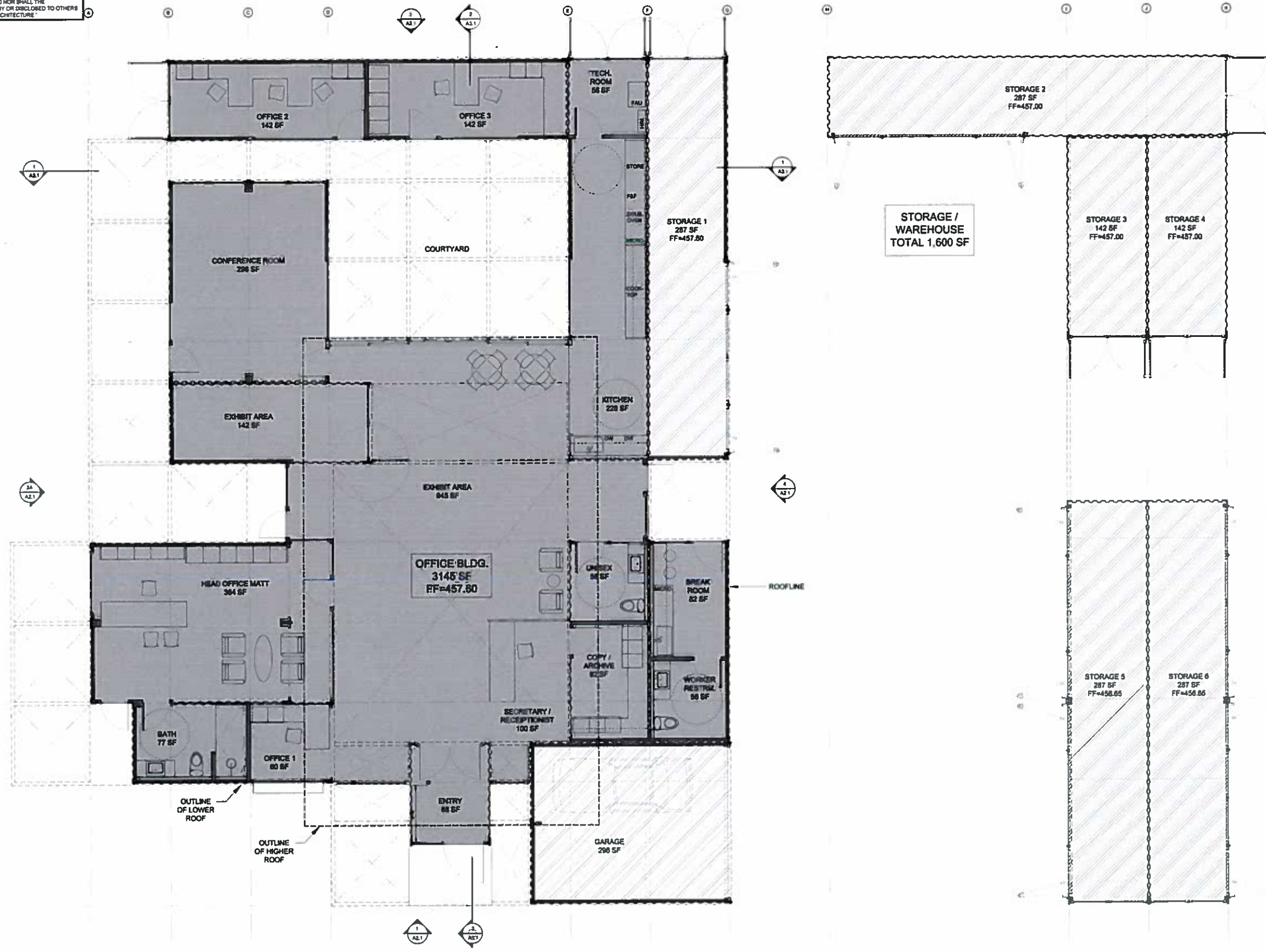
3 LOT INFORMATION
SCALE: NTS

4 MATERIAL LEGEND
SCALE: NTS

SITE PLAN & LANDSCAPE PLAN
SCALE: 3/32" = 1'-0"
DATE: 12.14.18 (UPDATED: 03.13.17)

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OWNER
ARCHITECT
STRUCTURAL ENGINEER
GENERAL CONTRACTOR



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

2 - SCALE

FLOOR PLAN LEGEND

	BUILDING AREA (CONDITIONED)
	STORAGE / WAREHOUSE AREA (UNCOND)
	GARAGE (UNCOND)
	PREFABRICATED METAL UNITS
	WOOD FRAME WALLS

3 LEGEND
SCALE: NOT TO SCALE

ARCHITECTURAL BLUE
OFFICE & WAREHOUSE
710 EAST RESEARCH DRIVE
PALM SPRINGS, CA 92262

SHEET DESCRIPTION
FLOOR PLAN
SCALE: 1/4" = 1'-0"
DATE: 12.14.16 / UPDATED 03.13.17

A1.1

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1088 N. PALM CANYON DR
SUITE B
PALM SPRINGS, CA 92262
TEL: 760 778 8188
FAX: 760 408 7948
EMAIL: office@o2arch.com

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ARCHITECT
STRUCTURAL ENGINEER
GENERAL CONTRACTOR

+12'-4"
T.O. FOLDED ROOF

+8'-10"
T.O. UNIT

+0'-0"
+487.80 FF



1 BUILDING ELEVATION - SOUTH - ENTRANCE
SCALE: 1/4" = 1'-0"

+12'-4"
T.O. FOLDED ROOF

+8'-10"
T.O. UNIT

+0'-0"
+487.80 FF

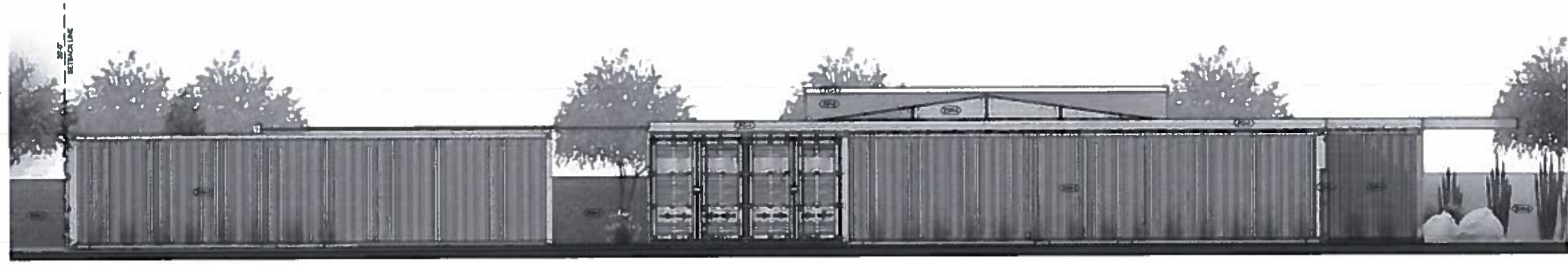


2 BUILDING ELEVATION - WEST
SCALE: 1/4" = 1'-0"

+12'-4"
T.O. FOLDED ROOF

+8'-10"
T.O. UNIT

+0'-0"
+487.80 FF



3 BUILDING ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

+12'-4"
T.O. FOLDED ROOF

+8'-10"
T.O. UNIT

+0'-0"
+487.80 FF



4 BUILDING ELEVATION - EAST
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND:

<p>SITE</p> <ul style="list-style-type: none"> (S1) COMPACTED DECOMPOSED GRANITE, GREY (S2) 1" # 8 CRUSHED GRAVEL, PEPPER GREY (S3) RIVER ROCK (S4) #8 NATURALIZED DESERT SOIL <p>SITE WALL</p> <ul style="list-style-type: none"> (SW1) ANIGELLUS 8" x 8" x 16" PRECISION CHAU BLOCK WALL, SMOOTH ACRYLIC PLASTER COAT, COLOR DOVE GRAY AS (SW2) ANIGELLUS 8" x 8" x 16" PRECISION CHAU BLOCK WALL, SMOOTH ACRYLIC PLASTER COAT, COLOR DOVE GRAY AS <p>HARDSCAPE</p> <ul style="list-style-type: none"> (H1) CONCRETE HARDSCAPE, WITH ACID ETCH FINISH, COLOR NATURAL GRAY (H2) CONCRETE FLAT HOURLIGHT BROOK FINISH, COLOR NATURAL GRAY (H3) VARIOUS PAVER STONES DISPLAY T&D (H4) ANIGELLUS PAVER STONES PERMIABLE AQUALINA DARK GRAY-PEWTER CHARCOAL <p>EXISTING ASPHALT STREET</p> <p>GATE</p> <ul style="list-style-type: none"> (G1) 6" HIGH MOTORIZED STEEL GATE (G2) 6" HIGH STEEL ENTRANCE DOORS (G3) 6" HIGH METAL POST GATE 	<p>FENCE</p> <ul style="list-style-type: none"> (F1) 6" HIGH STEEL FENCE, VERTICAL BARS #10 E (F2) 6" HIGH STEEL PANEL FENCE <p>EXTERIOR WALL</p> <ul style="list-style-type: none"> (W1) CORRUGATED METAL PANELS, COLOR DAWN EDWARDS COOL, DECEMBER (W2) STRUCTURAL STEEL, PRIMED & 2 COATS OF DE BEARD PRIME, COLOR DAWN EDWARDS COOL, DECEMBER (W3) ALUMINUM BRASS METAL, 25 GA, 1848 FINISH BRASS MATCH ALIAS, THRODN PRIMER, VERIFY LOCATION OF BEAMS BEFORE INSTALLATION <p>ROOF</p> <ul style="list-style-type: none"> (R1) CLEAR GLASS, LOW E (R2) ALUMINUM FRAME, SATIN ANODIZED FINISH (R3) LOW SLOPE, PLY ROOFING SYSTEM, COLOR DOR WHITE, FLAT ROOF (R4) HIGH SLOPE, PLY ROOFING SYSTEM, COLOR DOR WHITE, PREFABRICATED FOLDING ROOF <p>TRELLIS, RECTANGULAR STEEL, TUBE 4" x 4" COLOR DAWN EDWARDS COOL, DECEMBER</p> <p>POLYTES SHADE FABRIC, 'AQUAMARINE'</p> <p>PLASTER, 1/2 COAT PLASTER GEMINI SYSTEM LA HABRA, DOVE GRAY</p>
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5 MATERIAL LEGEND
SCALE: NTS

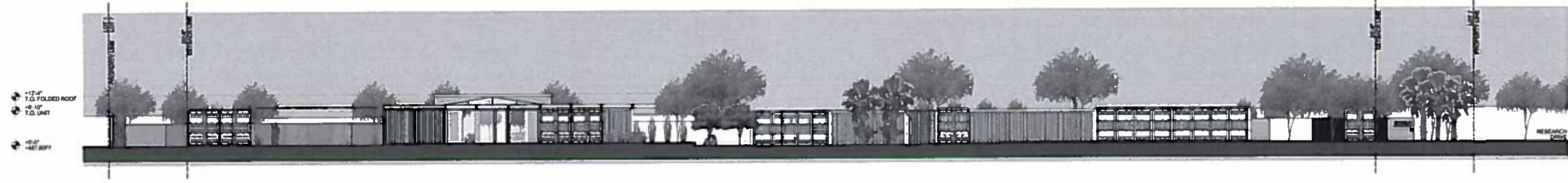


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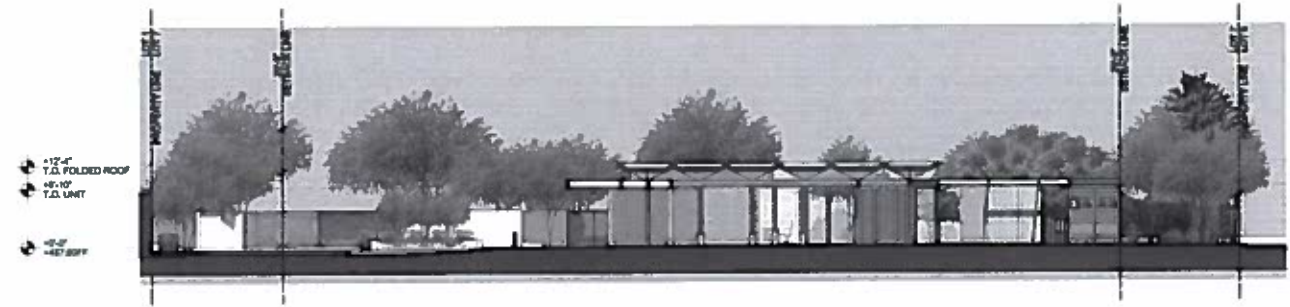
SHEET DESCRIPTION
BUILDING ELEVATIONS
SCALE: 1/4" = 1'-0"
DATE: 12.14.18 / UPDATED 03.13.17

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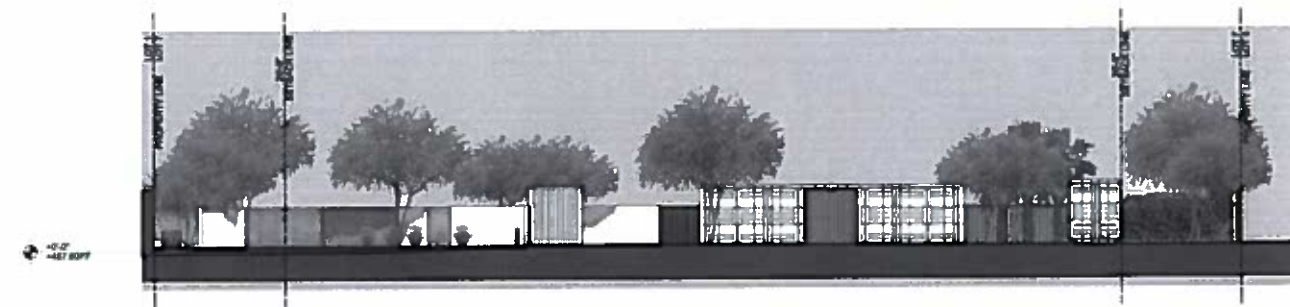
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ARCHITECT
STRUCTURAL ENGINEER
GENERAL CONTRACTOR



1 SITE CROSS SECTION 1-1
SCALE: 3/32" = 1'-0"



2 SITE CROSS SECTION 2-2
SCALE: 3/32" = 1'-0"



3 SITE CROSS SECTION 3-3
SCALE: 3/32" = 1'-0"



DATE	REVISION

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710 EAST RESEARCH DRIVE
PALM SPRINGS, CA 92262

MATERIAL LEGEND:

<p>SITE</p> <ul style="list-style-type: none"> (S1) COMPACTED DECOMPOSED GRANITE, GREY (S2) 1/2" CRUSHED GRAVEL, PEWTER GREY (S3) PAVEMENT ROUGH (S4) RE NATURALIZED DEBERT SOIL <p>SITE WALL</p> <ul style="list-style-type: none"> (SW1) ANGELOUS 8"X8"X16" PFCORBRN CHAU BLOCK WALL, COLOR SLATE (SW2) ANGELOUS 8"X8"X16" PFCORBRN CHAU BLOCK WALL, SMOOTH ACRYLIC PLASTER COAT, COLOR DOVE GRAY 40 <p>HARDSCAPE</p> <ul style="list-style-type: none"> (H1) CONCRETE HARDSCAPE, WITH ACID ETCH FINISH, COLOR NATURAL GRAY (H2) CONCRETE FLAT WORK, LIGHT BROOK FINISH, COLOR NATURAL GRAY (H3) VARIOUS PAVEMENT STONES DISPLAY, TRD (H4) ANGELOUS PAVEMENT STONES, PERMEABLE AQUALINA, DARK GRAY PEWTER CHARCOAL (H5) EXISTING ASPHALT STREET <p>GATE</p> <ul style="list-style-type: none"> (G1) 8" HIGH MOTORIZED STEEL GATE (G2) 8" HIGH STEEL ENTRANCE DOORS (G3) 8" HIGH METAL POST GATE 	<p>FENCE</p> <ul style="list-style-type: none"> (F1) 6" HIGH STEEL FENCE, VERTICAL BARS 6" O.C. (F2) 6" HIGH STEEL PANEL FENCE <p>EXTERIOR WALL</p> <ul style="list-style-type: none"> (EW1) CORRUGATED METAL PANELS, COLOR DUNN EDWARDS COOL DECEMBER (EW2) STRUCTURAL STEEL, PRIMED & 2 COATS OF OIL BASED PAINT, COLOR DUNN EDWARDS COOL DECEMBER (EW3) ALUMINUM BRASS METAL, 23 GA. 6061 FINISH BRASS MATCH ALUM. WINDOW FRAMES, VERIFY LOCATION OF BEAMS BEFORE INSTALLATION (EW4) CLEAR GLASS, LOW E (EW5) ALUMINUM FRAME, SATIN ANODIZED FINISH <p>ROOF</p> <ul style="list-style-type: none"> (R1) LOW SLOPE PLY ROOFING SYSTEM, COLOR DOB WHITE, FLAT ROOF (R2) HIGH SLOPE PLY ROOFING SYSTEM, COLOR DOB WHITE, PREFABRICATED FOLDING ROOF (R3) TRUSS, RECTANGULAR STEEL TUBE, 4"X4" COLOR DUNN EDWARDS COOL DECEMBER (R4) POLYTEX SHADE FABRIC, AQUAMARINE (R5) FASCIA, 3 COAT PLASTER CEMENT SYSTEM, LA HABRA DOVE GRAY
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4 - SCALE -

5 MATERIAL LEGEND
SCALE: NTS

SHEET DESCRIPTION
SITE CROSS - SECTIONS
SCALE: 3/32" = 1'-0"
DATE: 12.14.18 / UPDATED 03.13.17

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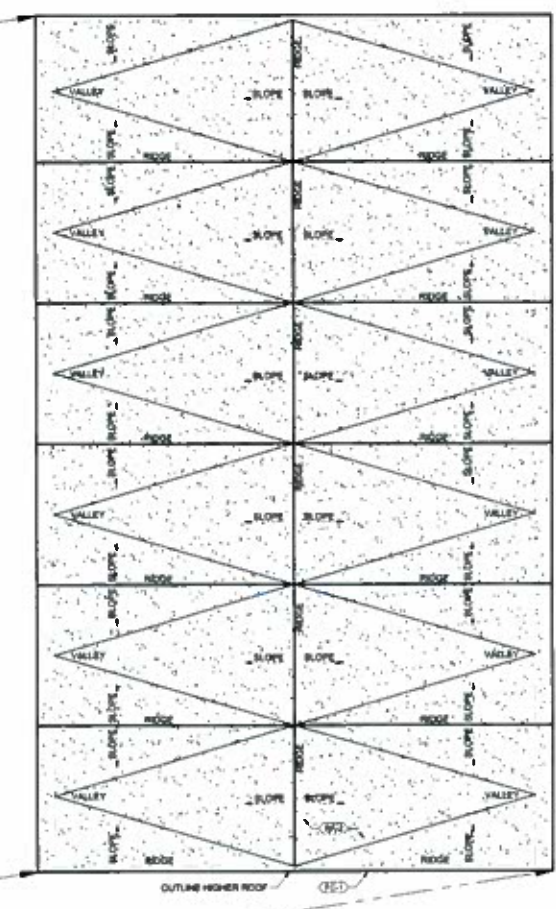
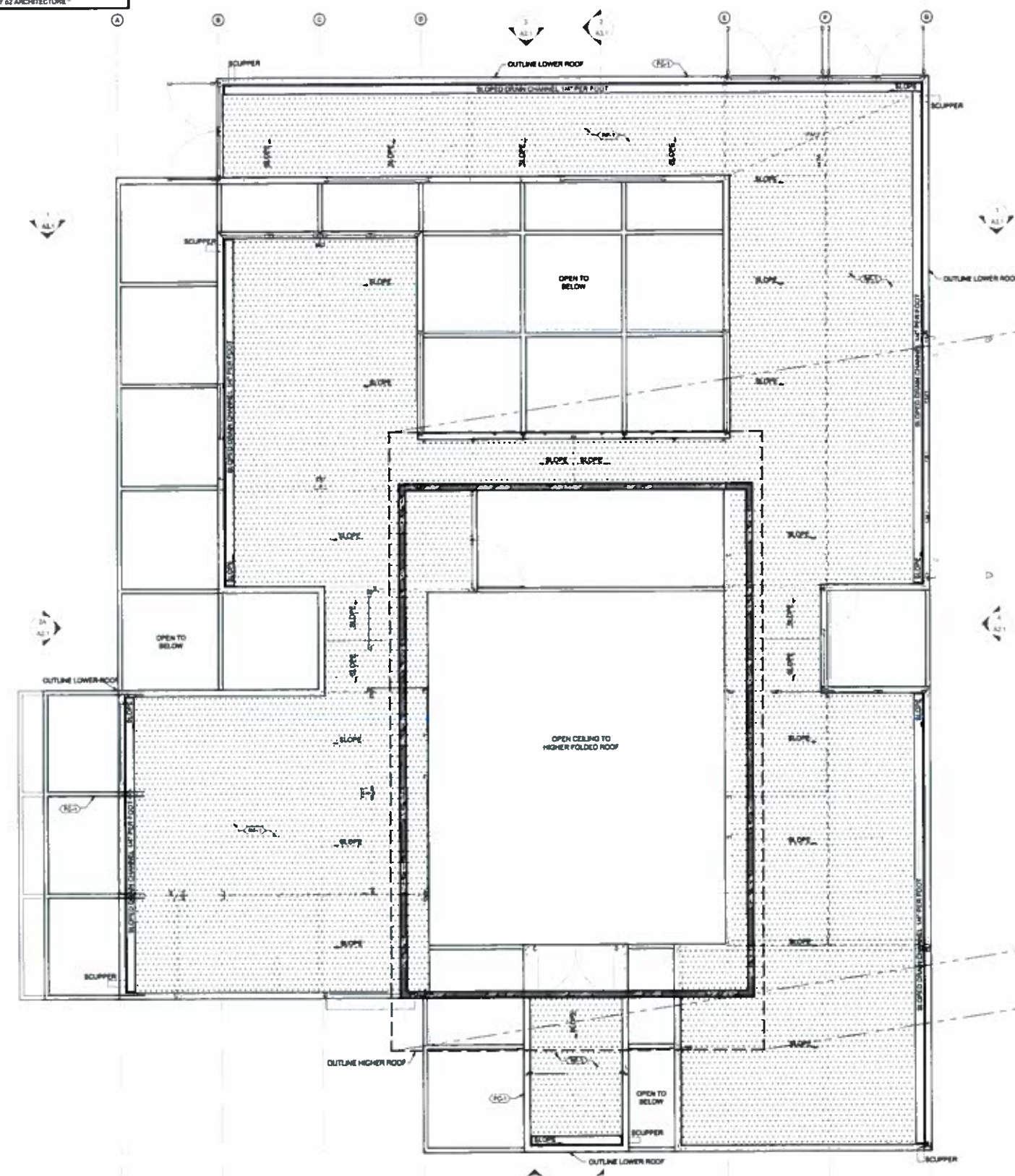


NO.	DATE

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SHEET DESCRIPTION
**ROOF PLAN
LOWER ROOF & HIGHER ROOF**
SCALE: 1/4" = 1'-0"
DATE: 12.14.18

A7.1



NOTE: DRAINAGE ONTO FLAT ROOF



1 ROOF PLAN - FLAT ROOF (LOWER ROOF)
SCALE: 1/4" = 1'-0"

2 ROOF PLAN - PREFABRICATED FOLDING ROOF (HIGHER ROOF)
SCALE: 1/4" = 1'-0"

- EXTERIOR FINISH:**
- RF-1 SINGLE-PLY ROOFING SYSTEM, COLOR: DC6 WHITE, FLAT ROOF
 - RF-2 SINGLE-PLY ROOFING SYSTEM, COLOR: DC6 WHITE, PREFABRICATED FOLDING ROOF
- FASCIA:**
- FC-1 3 COAT PLASTER CEMENT SYSTEM LA HABRA: DOVE GRAY
- NOTES:**
- STEEL TRELLIS, COLOR: DC6 WHITE, FLAT ROOF

3 LEGEND
SCALE: NOT TO SCALE

4
SCALE:

