



## Planning Commission Staff Report

DATE: June 14, 2017

New Business

SUBJECT: FARUK & PAULA TAYSI REQUEST FOR A MAJOR ARCHITECTURAL APPROVAL FOR THE CONSTRUCTION OF A 3,495-SQUARE FOOT SINGLE-FAMILY RESIDENCE ON A 13,030-SQUARE FOOT HILLSIDE PARCEL LOCATED AT 678 LA MIRADA ROAD, ZONE R-1-A (CASE 3.4017-MAJ) (ER).

FROM: Department of Planning Services

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### SUMMARY

The Planning Commission to review a Major Architectural application for the construction of a 3,495-square foot single-family residence on a 13,030-square foot undeveloped hillside parcel. The proposal includes an attached two-car garage, a swimming pool and associated landscape.

### RECOMMENDATION:

Approve the proposed project as recommended by the Architectural Advisory Committee subject to the attached conditions of approval.

### ISSUES:

- The AAC recommended a condition of approval (PLN 9) requiring the applicant to provide a new landscape plan with additional groundcover plants and shade trees prior to the issuance of a building permit to be reviewed by AAC subcommittee.

### PRIOR ACTIONS:

- On June 5, 2017, the Architectural Advisory Committee (AAC), reviewed the project and by a vote of 6-0, recommended approval to the Planning Commission. As part of its recommendations the AAC also made the following comments:
- On May 10, 2006, the Planning Commission approved a Major Architectural application for the construction of a 3,833-square foot single-family residence at the same location; that entitlement has since expired.

**BACKGROUND AND SETTING:**

The hillside parcel which is currently undeveloped is located on the northwest corner of La Mirada Road and West Sunny Dunes Road. The parcel has a rectangular shape and is approximately one hundred (100) feet wide and a little over one hundred thirty (130.3) feet deep for a total of 13,030 square feet in size. A grading permit was issued on February 18, 2001 for the property; however, the project was never built. The pad appears flat and may have been previously graded; large rock outcroppings are along the rear and southerly sections of the site. There is an existing block wall / fence separating the existing residence and the subject parcel to the north of the location. Also, on May 10, 2006, the Planning Commission approved a Major Architectural application for the construction of a 3,833-square-foot single-family residence at the subject site; that entitlement has since expired. The hillside parcel is one of the remaining undeveloped lots in the immediate surrounding; there are existing single-family residences to the north, south, west and east of the parcel. Concrete sidewalks with damaged sections do exist along the southerly side and frontage of the parcel.

<b><i>Most Recent Ownership</i></b>	
09/15/05	Tayku LLC & TEOS LLC

<b><i>Notification</i></b>	
05/15/17	Notice sent to adjacent and abutting property owners.
06/01/17	Email notification sent to the Neighborhood Organization.

<b><i>Field Check</i></b>	
05/31/17	Staff visited site to observe existing conditions

<b><i>Details of Application Request</i></b>	
<b><i>Site Area</i></b>	
Net Area	13,030-square feet

Table 1

<b><i>Surrounding Property</i></b>	<b><i>Existing General Plan Designations</i></b>	<b><i>Existing Land Use</i></b>	<b><i>Existing Zoning Designations</i></b>
Subject Property	ER (Estate Residential), 2 Units per acre	Undeveloped	R-1-A (Single-Family Residential)
North	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-A (Single-Family Residential)
South	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-A (Single-Family Residential)
East	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-A (Single-Family Residential)
West	ER (Estate Residential), 2 Units per acre	Single-Family Residential	R-1-A (Single-Family Residential)

**DEVELOPMENT STANDARDS:**

Table 2	R-1-A	Proposed Project	Compliance
Lot Area	20,000-sq. ft.	13,030 square feet	*Yes
Lot Width	140 feet	100 feet	Yes
Lot Depth	120 feet	130.3 feet	Yes
Front Yard	25 feet	25 feet	Yes
Int. Side Yard	10 feet	10 feet	Yes
Street Side Yard	20 feet	25 feet	Yes
Rear Yard	15 feet	15 feet	Yes
Building Height (max.)	12 feet at setback 18 feet maximum	11.6 feet at setback 16 feet maximum	Yes
Bldg. Coverage	35% lot coverage	27% lot coverage	Yes
House / Garage	1,500 – sq. ft. Minimum	3,495 square feet	Yes
Parking Req.	2 covered spaces	2 covered provided	Yes
Landscaping	No specific requirements	Landscape plan provided	Yes

\*Existing Lot of Record



Aerial Photo of the Site

**ANALYSIS:**

Site Plan:

The applicants, Faruk and Paula Taysi are seeking a major architectural approval to construct a 3,495-square foot single-family residence with an attached two-car garage and a swimming pool on an undeveloped hillside parcel. The lot is 13,030-square feet and is rectangular in shape, and does not meet the size development criteria for the R-1-A zone; however, the property is a lot of record within the R-1-A zoning designation. No deviations or setback relief is requested for the project. The proposed residence will be oriented east to west with required side yard setbacks of ten (10') feet on the north

and twenty-five (25) feet on the south property line since the driveway and two-car garage is located on the southerly side of the property. A patio and pool enclosed by a five-foot wall is located on the south side of the house; a stepped pedestrian access leading into the property is located at the westerly side of the property.

*Mass and Scale:*

As proposed, the future Taysi residence is a 3,495-square foot structure with a simple rectangular design. The house will consist of a master bedroom and two guest bedrooms with kitchen/dining/living area opening to a covered patio and pool area. The house also contains a study and an attached two-car garage located on the easterly section of the site. The proposed one story structure will have a maximum height of sixteen (16) feet. When measured from the finished floor (pad elevation) at the setback line the building height is 11'-6". The maximum height of single-family residences within the R-1-A zone is eighteen (18) feet.

*Project Design:*

The project design has the modern/contemporary architectural style with three bedrooms, three bathrooms, a study space, a living room, a kitchen and a dining area. The house is approximately 3,495 square feet in size. The development standards of the proposed house are all consistent with the R-1-A standards in terms of height, front, rear and side yard setbacks, dwelling size and lot coverage as depicted in Table 2 above. Proposed building materials will include smooth finish stucco for the main house exterior walls, concrete scored masonry for proposed walls; the doors and windows will have clear anodized aluminum frames with sliding glass doors and clerestory windows. Proposed painting colors will include beige for the main body of the building; off-white tan color, stucco/metal smooth paint for trim band and the garage.

*Landscaping and Buffers:*

The landscape plan will consist mostly of decomposed granite, boulders and artificial turf. Existing large boulders at the site will be retained and located along the easterly portion of the property to provide screening. Additional boulders will be placed along the perimeter of the property. Three 36" box Citrus trees will be planted at the front section of the property along with ¼" minus brimstone decomposed granite at 3" in depth. The proposed landscaping will be water efficient but appears very sparse and lacking adequate mixture of plantings. The proposed use of brown decomposed granite appears overwhelming. The project has been conditioned to provide a new landscape plan to include additional shade trees and groundcover plants.

*Equestrian Trail:*

At the easterly section of the parcel, there is an existing City's equestrian and hiking trail adjacent to the property. The equestrian trail is approximately 7.6 feet wide and stretches all the way to Ramon Road. Existing boulders and other debris currently separate the trail and the subject parcel. The Engineering Department has included a condition of approval requiring the applicant re-grade the trail as necessary to provide access.

## REQUIRED FINDINGS:

There are no specific required findings for architectural approval which do not require environmental assessments. This project's conformance to the architectural guidelines of the Zoning Ordinance is analyzed below.

### Architectural Review:

Specific aspects of design shall be examined to determine whether the proposed development will provide desirable environment for its occupants as well as being compatible with the character of adjacent and surrounding developments, and whether aesthetically it is of good composition, materials, textures and colors. Conformance is evaluated based on consideration of the following:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The site layout ensures that view corridors of the site and its surroundings will not be impacted by the new residence since the proposed height will not exceed the permitted height in the R-1-A designation. There are existing sidewalks along the project's frontages; a condition of approval requiring the applicant to repair any broken portions of the sidewalks has been added by the Engineering Department.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The project is located in an area with similar single-family residential homes. The proposed development will be complementary to the existing development and will be respectful of the R-1-A development standards particularly relative to height. The architectural design and style will enhance the immediate surrounding area. As proposed, the new home is mindful of the existing character of the location and adjoining development.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The proposed development conforms to required development standards of the zoning designation such as setbacks, height limits, minimum and maximum coverage limits. The maximum height, overall mass are all in keeping with the R-1-A development standards. The project is not seeking any deviation from required development standards of the designated zone.

4. *Building design, materials and colors to be sympathetic with desert*

- surroundings; AND*
5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously, AND*
  6. *Consistency of composition and treatment,*

The project is proposed with a modern contemporary architectural style consistent with the existing homes in the area. There is consistency in the composition and treatment of the building. The materials and colors are warm hued colors considered to be complementary to the desert.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The proposed landscape plan consists of three Citrus trees, decomposed granite, boulders and artificial turf. Existing large boulders at the site will be retained and included in the landscape design. The boulders will be placed along the perimeter of the property. Three 36" box Citrus trees will be planted at the front section of the property along with ¼" minus brimstone decomposed granite at 3" in depth. As proposed, the landscaping will be water efficient; however, it does appear very sparse and lacking a variety of shrubs and shade trees. The proposed use of decomposed granite appears overwhelming; the project has been conditioned to provide additional shade trees and groundcovers in a new plan to address the shortcomings of the present plan.

#### ENVIRONMENTAL DETERMINATION:

Pursuant to the California Environmental Quality Act (CEQA) Guidelines, the project is Categorically Exempt under CEQA Section 15303 (Class 3 – New Construction – Conversion of Small Structures). Class 3 consists of projects characterized as new or small structures as described below:

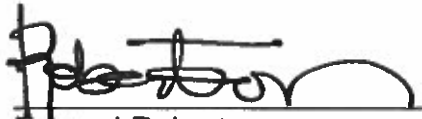
- a. *One single-family residence; or a second dwelling unit in a residential zone.*

#### NOTIFICATION:

This project is not a public hearing item; however, the nearby Neighborhood Organization to the location was notified of this hearing.

#### CONCLUSION:

The single-family hillside house as proposed is consistent with the requirements of the R-1-A zone and is in conformance with the hillside development standards per Sections 92.01.03 and 93.13.00 of the PSZC. Based upon this determination Staff recommends approval of the project as proposed subject to additional landscape materials needed for groundcover and shading.



Edward Robertson  
Principal City Planner



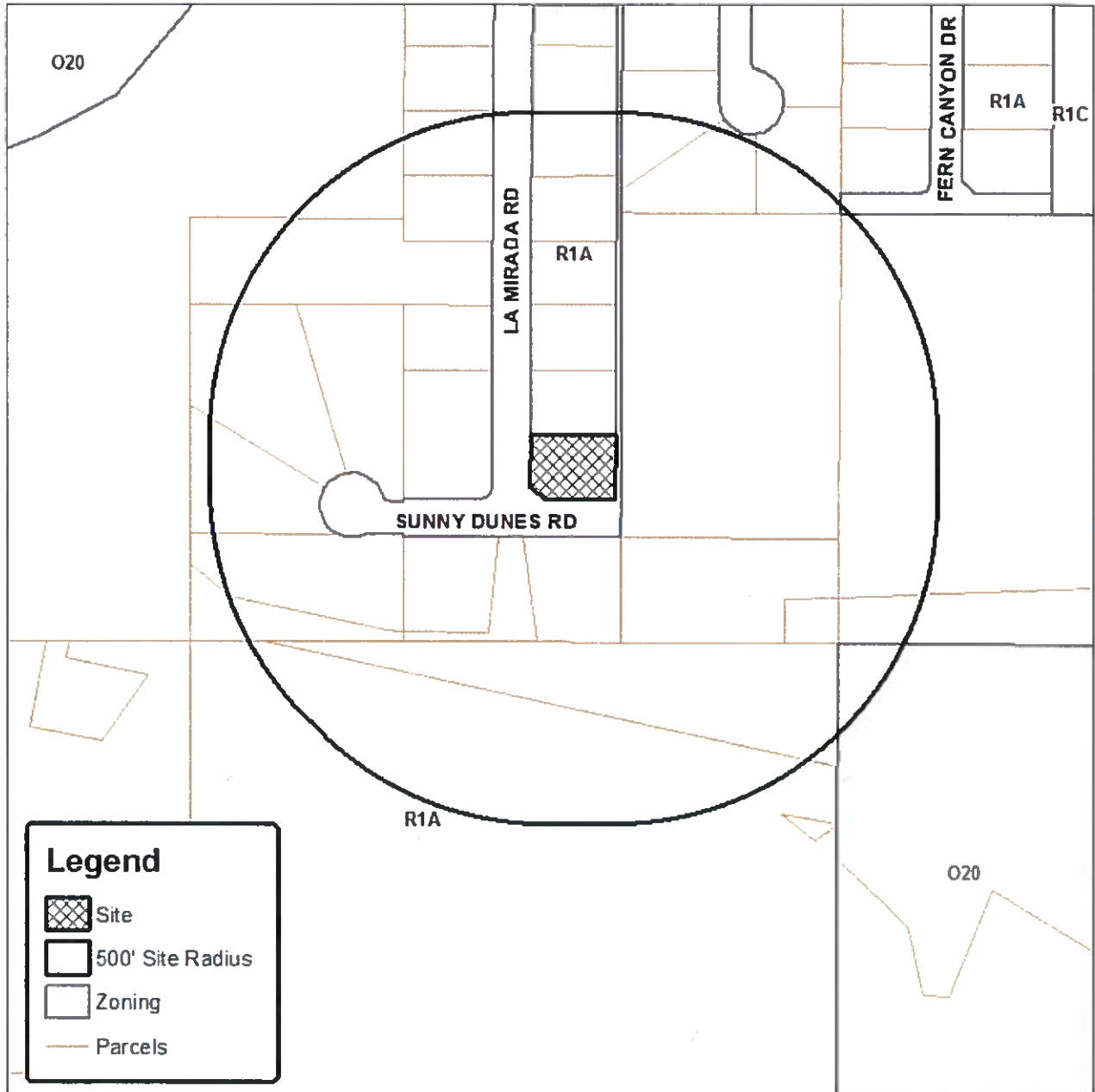
Flinn Fagg, AICP  
Director of Planning Services

Attachments:

1. Vicinity Map
2. Site Photos
3. Site, Elevations, landscape, Section Plans & Roof Plans.



# Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS  
Planning Case # 3.4017 MAJ



RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING CASE NO. 3.4017-MAJ; A MAJOR ARCHITECTURAL APPLICATION APPROVAL FOR THE CONSTRUCTION OF A 3,495-SQUARE FOOT HOUSE ON A 13,030-SQUARE FOOT HILLSIDE LOT LOCATED AT 678 LA MIRADA ROAD, ZONE R-1-A, SECTION 22.

THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

A. Faruk and Paula Taysi, (collectively, "Applicant") has filed an application with the City pursuant to Section 94.04.00 of the Zoning Ordinance for the construction of a new 3,495-square foot house on a hillside lot located at 678 La Mirada Road, Zone R-1-A, Section 22.

B. On June 5, 2017, the Architectural Advisory Committee voted 6-0-1, to recommend approval of the project to the Planning Commission subject to a condition of approval.

C. On June 14, 2017, a public meeting on the application to consider Case 3.4017 MAJ was held by the Planning Commission in accordance with applicable law.

D. The proposed project is considered a "project" pursuant to the terms of the California Environmental Quality Act ("CEQA"), and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Construction or Conversion of Small Structures).

E. The Planning Commission has carefully reviewed and considered all of the evidence presented in connection with the project, including, but not limited to, the staff report, and all written and oral testimony presented.

F. Pursuant to Section 94.04.00 of the Palm Springs Zoning Code, the Planning Commission finds:

1. *Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking areas;*

The site layout ensures that view corridors of the site and its surroundings will not be impacted by the new residence since the proposed height will not exceed the permitted height in the R-1-A designation. There are existing sidewalks along the project's frontages; a condition of approval requiring the applicant to repair any broken portions of the sidewalks has been added by the Engineering Department.

2. *Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;*

The project is located in an area with similar single-family residential homes. The proposed development will be complementary to the existing development and will be respectful of the R-1-A development standards particularly relative to height. The architectural design and style will enhance the immediate surrounding area. As proposed, the new home is mindful of the existing character of the location and adjoining development.

3. *Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens towers or signs) and effective concealment of all mechanical equipment;*

The proposed development conforms to required development standards of the zoning designation such as setbacks, height limits, minimum and maximum coverage limits. The maximum height, overall mass are all in keeping with the R-1-A development standards. The project is not seeking any deviation from required development standards of the designated zone.

4. *Building design, materials and colors to be sympathetic with desert surroundings; AND*
5. *Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously, AND*
6. *Consistency of composition and treatment,*

The project is proposed with a modern contemporary architectural style consistent with the existing homes in the area. There is consistency in the composition and treatment of the building. The materials and colors are warm hued colors considered to be complementary to the desert.

7. *Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;*

The proposed landscape plan consists of three Citrus trees, decomposed granite, boulders and artificial turf. Existing large boulders at the site will be retained and included in the landscape design. The boulders will be placed along the perimeter of the property. Three 36" box Citrus trees will be planted at the front section of the property along with ¼" minus brimstone decomposed granite at 3" in depth. As proposed, the landscaping will be water efficient; however, it does appear very sparse and lacking a variety of shrubs and shade trees. The proposed use of decomposed granite appears overwhelming; the project has been conditioned to

provide additional shade trees and groundcovers in a new plan to address the shortcomings of the present plan.

**THE PLANNING COMMISSION RESOLVES:**

Based upon the foregoing, the Planning Commission hereby approves Case 3.4017 MAJ for the construction of a 3,495-square foot house on a hillside lot located at 678 La Mirada Road, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 14th day of June, 2017.

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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Flinn Fagg, AICP  
Director of Planning Services

## EXHIBIT A

Case 3.4017-MAJ  
Taysi Residence – 678 La Mirada Road

June 14, 2017

### CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

#### ADMINISTRATIVE:

- ADM 1. Project Description. This approval is for the project described per Case 3.4017-MAJ; except as modified with the approved the conditions below;
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped June 15, 2017 including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.4017-MAJ. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to

- promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.
- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.
- ADM 9. Public Art Fees. This project shall be subject to Chapters 2.24 and 3.37 of the Municipal Code regarding public art. The project shall either provide public art or payment of an in lieu fee. In the case of the in-lieu fee, the fee shall be based upon the total building permit valuation as calculated pursuant to the valuation table in the Uniform Building Code, the fee being 1/2% for commercial projects or 1/4% for residential projects with first \$100,000 of total building permit valuation for individual single-family units exempt. Should the public art be located on the project site, said location shall be reviewed and approved by the Director of Planning and Zoning and the Public Arts Commission, and the property owner shall enter into a recorded agreement to maintain the art work and protect the public rights of access and viewing.
- ADM 10. Park Development Fees. The developer shall dedicate land or pay a fee in lieu of a dedication, at the option of the City. The in-lieu fee shall be computed pursuant to Ordinance No. 1632, Section IV, by multiplying the area of park to be dedicated by the fair market value of the land being developed plus the cost to acquire and improve the property plus the fair share contribution, less

any credit given by the City, as may be reasonably determined by the City based upon the formula contained in Ordinance No. 1632. In accordance with the Ordinance, the following areas or features shall not be eligible for private park credit: golf courses, yards, court areas, setbacks, development edges, slopes in hillside areas (unless the area includes a public trail) landscaped development entries, meandering streams, land held as open space for wildlife habitat, flood retention facilities and circulation improvements such as bicycle, hiking and equestrian trails (unless such systems are directly linked to the City's community-wide system and shown on the City's master plan).

### **ENVIRONMENTAL ASSESSMENT:**

- ENV 1. Coachella Valley Multiple-Species Habitat Conservation Plan (CVMSHCP) Local Development Mitigation Fee (LDMF) required. All projects within the City of Palm Springs, not within the Agua Caliente Band of Cahuilla Indians reservation are subject to payment of the CVMSHCP LDMF prior to the issuance of certificate of occupancy.
- ENV 2. Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA); therefore, an administrative fee of \$50 shall be submitted by the applicant in the form of a money order or a cashier's check payable to the Riverside County Clerk within two business days of the Commission's final action on the project. This fee shall be submitted by the City to the County Clerk with the Notice of Exemption. Action on this application shall not be considered final until such fee is paid (projects that are Categorically Exempt from CEQA).

### **PLANNING DEPARTMENT:**

- PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.
- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water

agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.

- PLN 3. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.
- PLN 4. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 5. Pool Enclosure Approval Required. Details of fencing or walls around pools (material and color) and pool equipment areas shall be submitted for approval by the Planning Department prior to issuance of Building Permits.
- PLN 6. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 7. "Smart Controllers" for landscape irrigation. Single Family Residential units are to be provided with "smart controllers" for managing efficient use of water for landscape irrigation.
- PLN 8. Pre-wiring for Installation of Photo-voltaic systems. If the project does not include photo-voltaic system(s) for electrical production, "pre-wiring" and appropriate configuration of electrical panels and conduit must be provided to accommodate the future installation of such equipment on rooftops of structures within the proposed development.
- PLN 9. Additional Landscape: Prior to the issuance of a building permit, the applicant shall be required to submit a new landscape plan with additional shading trees and groundcovers along the project south and west frontages.

### **ENGINEERING DEPARTMENT:**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

### **STREETS**

- ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 24 to 48 hour inspection notification is required.

### LA MIRADA ROAD (NORTH)

- ENG 2. Construct a Type B curb ramp meeting current California State Accessibility standards at the northeast corner of the intersection of La Mirada Road and La Mirada Road in accordance with City of Palm Springs Standard Drawing No. 213.
- ENG 3. All broken or off grade street improvements shall be repaired or replaced.

### LA MIRADA ROAD (EAST)

- ENG 4. Construct a driveway approach in accordance with City of Palm Springs Standard Drawing No. 201.
- ENG 5. All broken or off grade street improvements shall be repaired or replaced.

### SANITARY SEWER

- ENG 6. All sanitary facilities shall be connected to the public sewer system. New laterals shall not be connected at manholes.

### GRADING

- ENG 7. The City's equestrian and hiking trail adjacent to the property shall be cleared of all existing boulders and other obstructions, as required by the City Engineer. The trail shall be re-graded as necessary to provide access.
- ENG 8. Submit a Precise Grading Plan prepared by a California registered Civil engineer to the Engineering Services Department for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.
- a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley



Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report.

ENG 9. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist ( a copy of the written approval must be provided to the City) . The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at [ACBCI-THPO@aguacaliente.net](mailto:ACBCI-THPO@aguacaliente.net) to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.

ENG 10. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.

ENG 11. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.

ENG 12. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days,

the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.

- ENG 13. Prior to issuance of grading permit, the applicant shall provide verification to the City that the Tribal Habitat Conservation Plan (THCP) fee has been paid to the Agua Caliente Band of Cahuilla Indians in accordance with the THCP.
- ENG 14. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.
- ENG 15. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of two thousand dollars (\$2,000.00) per disturbed acre (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 16. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan (if required) or prior to issuance of any permit.
- ENG 17. In cooperation with the Riverside County Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 73-710 Fred Waring Drive, Palm Desert (Phone: 760-776-8208).

#### DRAINAGE

- ENG 18. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMP's).

ENG 19. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$ 9212.00 per acre per Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

#### GENERAL

ENG 20. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.

ENG 21. All proposed utility lines shall be installed underground.

ENG 22. All existing utilities shall be shown on the improvement plans required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.

ENG 23. Upon approval of any improvement plan by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval of the City Engineer.

ENG 24. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Division prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.

ENG 25. Nothing shall be constructed or planted in the corner cut-off area of any (intersection or) driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.

ENG 26. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed per City of Palm Springs Standard Drawing No. 904.

#### TRAFFIC

- ENG 27. A minimum of 48 inches of clearance for accessibility shall be provided on public sidewalks. Minimum clearance on public sidewalks shall be provided by either an additional dedication of a sidewalk easement if necessary and widening of the sidewalk, or by the relocation of any obstructions within the public sidewalk along the frontage of the subject property.
- ENG 28. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.
- ENG 29. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

#### **FIRE DEPARTMENT:**

- FID 1 These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire & building codes. Detailed plans are still required for review. Conditions are subject to final plan check and review. Initial fire department conditions have been determined from the plans received April 4, 2017. Additional requirements may be required at that time based on revisions to site and /or architectural plans.
- FID 2 Fire Department Conditions were based on the *2016 California Fire Code* as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "O" Development Requirements and latest adopted NFPA Standards. Three (3) complete sets of plans for private fire service mains, fire alarm, or fire sprinkler systems must be submitted at time of the building plan submittal. No deferred submittals accepted.
- FID 3 **PLANS AND PERMITS**
- Complete plans for private fire service mains or fire sprinkler systems should be submitted for approval well in advance of installation. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. Inspection fees are charged at the fully burdened hourly rate of the fire inspector. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

- FID 4 **Conditions of Approval – “Conditions of Approval”** received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.
- FID 5 **NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2013 Edition, as modified by local ordinance.
- FID 6 **Operational Fire Hydrant(s) (CFC 507.1):** An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction. Operational fire hydrant(s) shall be installed within 250 feet of all combustible construction. They shall be installed and made serviceable prior to and during construction. No landscape planting, walls, or fencing is permitted within 3 feet of fire hydrants, except ground cover plantings.
- FID 7 **Required Fire Flow (CFC B101.1):** Fire-flow requirements for this project - 750 GPM; 3/4-hour duration.
- FID 8 **Residential Smoke and Carbon Monoxide Alarms Installation with Fire Sprinklers - R-3 & Household Fire Alarm System (CFC 907.2.11.2, CRC R314 & R315 and California Health & Safety Code 17926):** Provide and Install Residential Smoke and Carbon Monoxide Alarms. Alarms shall receive their primary power from the building wiring, and shall be equipped with a battery backup. In new construction, alterations, repairs and additions, smoke and carbon monoxide alarms shall be interconnected. The operation of any smoke alarm or the fire sprinkler flow switch will cause all smoke alarms within the dwelling to sound and activate the exterior horn/strobe. The operation

of any carbon monoxide alarm will cause all carbon monoxide alarms within the dwelling to sound.

**FID 10 Audible Residential Water Flow Alarms - NFPA 13D Fire Sprinklers & Household Fire Alarm System (CFC 903.4.2):** An approved audible sprinkler flow alarm (Wheelock horn/strobe with WBB back box or equal) shall be provided on the exterior of the building in an approved location. It shall be powered by the household fire alarm system. The horn/strobe shall be outdoor rated.

**FID 11 FIRE HAZARD SEVERITY ZONES (CFC 4901):** Geographical areas designated pursuant to California Public Resources Codes, Sections 4201 through 4204 and classified as Very High, High, or Moderate in State Responsibility Areas or as Local Agency Very High Fire Hazard Severity Zones designated pursuant to California Government Code, Sections 51175 through 51189. The California Code of Regulations, Title 14, Section 1280 entitles the maps of these geographical areas as "Maps of the Fire Hazard Severity Zones in the State Responsibility Area of California."

**LOCAL AGENCY VERY HIGH FIRE HAZARD SEVERITY ZONE.** An area designated by a local agency upon the recommendation of the CDF Director pursuant to Government Code, Sections 51177(c), 51178 and 5118, that is not a state responsibility area and where a local agency, city, county, city and county, or district is responsible for fire protection.

- **Construction methods and requirements within established limits (CFC 4905.2):** Within the limits established by law, construction methods intended to mitigate wildfire exposure shall comply with the wildfire protection building construction requirements contained in the California Building Standards Code, including the following:

1. California Building Code, Chapter 7A,
2. California Residential Code, Section R327,
3. California Referenced Standards Code, Chapter 12-7A and this chapter.

**Project Note:** Project lies within the VHFHSZ.

**END OF CONDITIONS**





**PERSPECTIVE VIEW LOOKING NORTHEAST**

SCALE: NOT TO SCALE

**TAYSI RESIDENCE**  
**678 LA MIRADA**  
**PALM SPRINGS, CALIFORNIA**

FILE No.  
PROJECT No.  
REVISIONS

DATE: APRIL 03, 2017

SHEET NUMBER

**PD-2**



**GENERAL NOTES:**

1. ALL WORK CALLED IN FOR THIS PLANS SHALL BE EXECUTED WITH EXTREME CONCERN FOR CRAFTSMANSHIP AND SAFETY IN FULL ACCORDANCE WITH THE ADOPTED CODES AND ORDINANCES OF THE JURISDICTION IN WHICH IT IS BEING CONSTRUCTED
2. ALL WORK, WHETHER SPECIFICALLY CALLED FOR OR NOT, SHALL BE CONSTRUCTED UNDER THE 2013 EDITION OF THE CALIFORNIA BUILDING CODES AND TITLE 24 AS ADOPTED BY THE LOCAL GOVERNING AGENCY.
3. ALL EXTERIOR FLAT WORK SHALL HAVE POSITIVE SLOPE AWAY FROM BUILDING (3) MINIMUM.
4. THE GENERAL CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THESE DOCUMENTS PRIOR TO PROCEEDING WITH ANY CONSTRUCTION AND SHALL REPORT ANY DISCREPANCY TO THE ARCHITECT PRIOR TO COMMENCING ANY WORK. SHOULD ANY DEVIATION BE MADE FROM THESE PLANS WITHOUT THE WRITTEN CONSENT FROM THE ARCHITECT, THE OWNER/CONTRACTOR ASSUME ALL RESPONSIBILITY FOR SUCH DEVIATION.
5. INFREQUENT SITE VISITS BY THE ARCHITECT OR ENGINEER, IN NO WAY ALLEVIATES THE CONTRACTORS RESPONSIBILITY IN REGARDS TO CODE COMPLIANCE, SAFETY OR THOROUGHNESS.
6. ALL THE SUB-CONTRACTORS SHALL VISIT THE JOB SITE WITHIN 24 HOURS PRIOR TO COMMENCING WORK. THE SUB CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING RELATED TRADES SUBSURFACE PREPARATION AND SHALL REPORT ANY NON-COMPLYING DISCREPANCY TO THE GENERAL CONTRACTOR. EXECUTION OF WORK BY ANY SUBCONTRACTOR INDICATES ACCEPTANCE OF PREVIOUS TRADES WORK.
7. THE OWNER AGREES TO HOLD HARMLESS, INDEMNIFY, AND DEFEND THE ARCHITECT, HIS EMPLOYEES AND ENGINEERS AGAINST ANY ALL LIABILITY, CLAIMS DAMAGES, AND COST OF DEFENSE ARISING OUT OF THE ERRORS OR OMISSIONS, OR NEGLIGENT ACTS CAUSED BY THE MODIFICATIONS TO THE PLANS AND SPECIFICATIONS.
8. ANY CHANGE, MODIFICATION OR ALTERATION OF THESE PLANS SHALL BE AT THE SOLE RISK OF THE PERSON MAKING OR CAUSING THE SAME AND SHOULD BE REVIEWED BY A LICENSE ARCHITECT FOR CONFORMITY WITH THESE PLANS.
9. ALL OR 'EQUAL' SUBSTITUTIONS MUST BE SUBMITTED TO, AND APPROVED BY THE BUILDING OFFICIALS PRIOR TO INSTALLATION OF THE ITEMS.
10. ALL DIMENSIONS ARE TO FACE OF STUDY/CONCRETE UNLESS NOTED OTHERWISE. CONTRACTOR TO REVIEW ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHOULD NOTIFY THE ARCHITECT IN THE EVENT OF A DISCREPANCY. DO NOT SCALE THE DRAWINGS. ASK ARCHITECT FOR MISSING DIMENSIONS. DIMENSIONS FOR DOORS AND WINDOWS ARE TO THE CENTERLINE OF THE FRAMED OPENING.
11. ALL SOIL CONDITIONS ARE ASSUMED IN THE ABSENCE OF A SOILS SURVEY.
12. EROSION CONTROL FOR THE PROJECT SITE DURING CONSTRUCTION SHALL BE PER LOCAL REGULATIONS AND PER CIVIL PLANS.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS, TITLE 24
  - 2016 CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2015 INTERNATIONAL RESIDENTIAL CODE)
  - 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
  - 2016 CALIFORNIA MECHANICAL CODE (BASED ON THE 2015 UNIFORM MECHANICAL CODE)
  - 2016 CALIFORNIA UNIFORM PLUMBING CODE (BASED ON THE 2015 UNIFORM PLUMBING CODE)
  - 2016 CALIFORNIA ELECTRICAL CODE (BASED ON THE 2015 NATIONAL ELECTRICAL CODE)
  - 2016 CALIFORNIA ENERGY CODE
  - 2016 CALIFORNIA BUILDING CODE (BASED ON THE 2015 INTERNATIONAL BUILDING CODE)
  - 2016 CALIFORNIA FIRE CODE (BASED ON THE 2015 INTERNATIONAL FIRE CODE)

**PROJECT:**

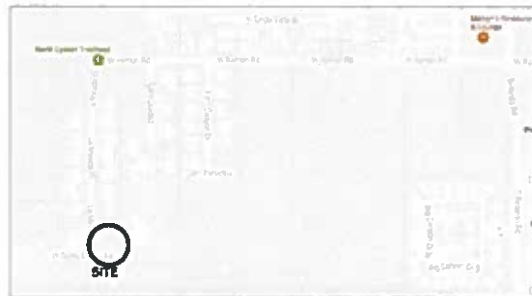
1. OWNER: FARUK & PAULA TAYSI
2. BUILDER: PHONE: (760)
3. ARCHITECT/CONTACT: JAMES MCEACHERN  
470 E. SIERRA WAY  
PALM SPRINGS, CA 92264  
CONTACT: JAMES MCEACHERN  
PHONE: (760) 322-7412  
FAX: (760) 416-1427
4. 678 LA MIRADA  
PALM SPRINGS, CA.
5. APN:
6. LEGAL DESCRIPTION:
7. ZONING: R-1-A  
OCCUPANCY: RSU
8. PROJECT DESCRIPTION: PROPOSED ONE-STORY  
SINGLE FAMILY RESIDENCE.
9. LOT TYPE: UNDEVELOPED W/ ENGINEERED PAD

10. LOT AREA: APPROXIMATELY 0.502 ACRES, 13,160sf
11. BUILDING AREA:  
LIVING SPACE: 2,774sf  
GARAGE: 683sf  
MECHANICAL: 30sf  
TOTAL ALL SPACES: 3,495sf  
COVERED PATIO: 480sf

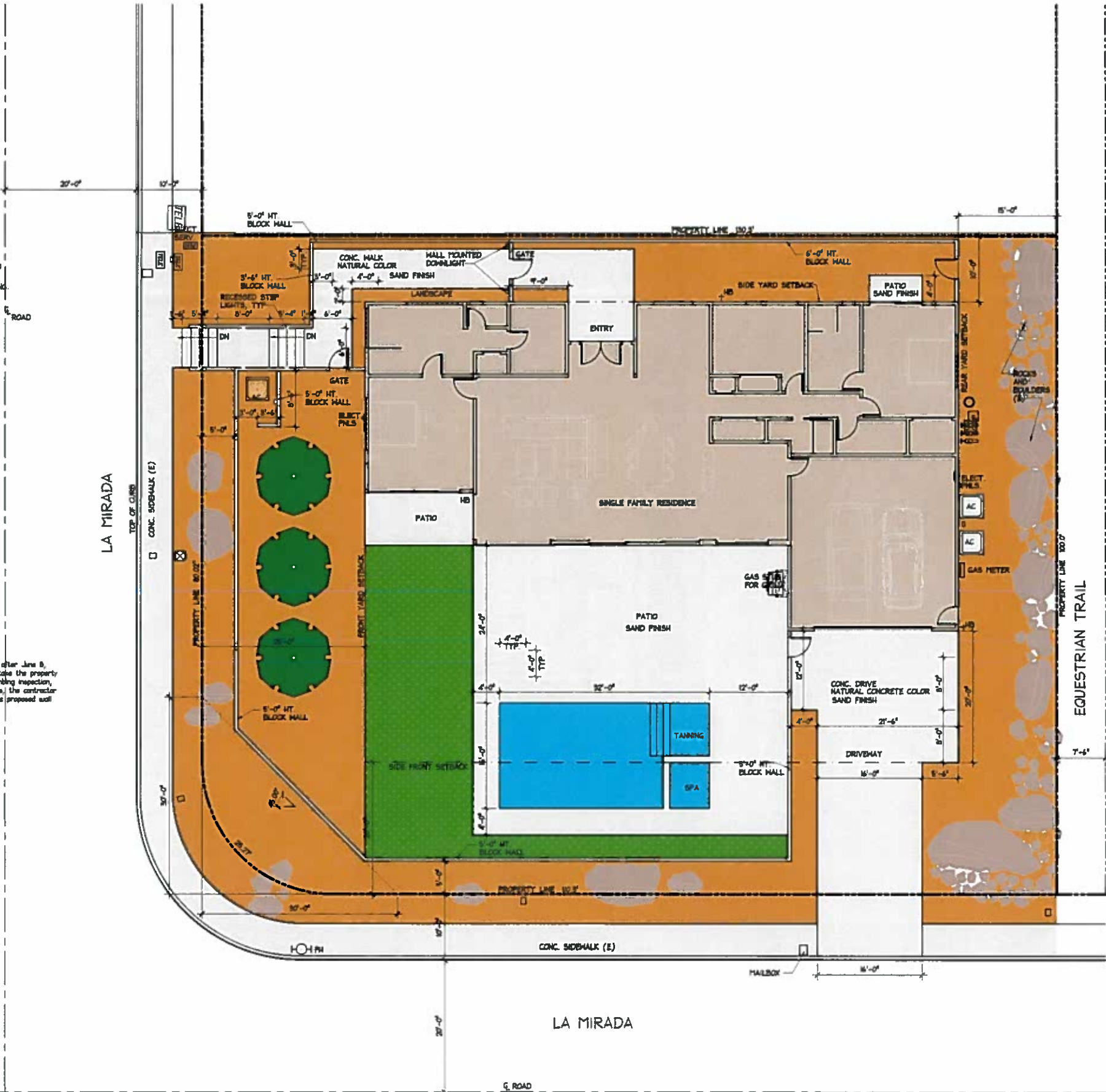
12. CONSTRUCTION TYPE: TYPE V-B FULLY-SPRINKLERED
13. SETBACKS: FRONT YARD - 25'  
REAR YARD - 15'  
SIDE YARD - 10'
14. PER CITY OF PALM SPRINGS:  
Projects for newly constructed buildings and additions permitted after June 8, 2016 shall be required to have a licensed engineer or surveyor stake the property corners of the subject lot. At the time of the underground plumbing inspection, and prior to calling for any footing inspections for these projects, the contractor shall provide string lines along the property lines adjacent to the proposed wall lines if the newly constructed building(s).

**SHEET INDEX:**

- G-1 GEN. NOTES, SITE PLAN



**VICINITY MAP**  
NOT TO SCALE



**SITE PLAN**

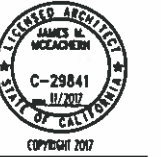
SCALE: 1/8" = 1'-0"

**james m. mceachern**  
ARCHITECT

RESIDENTIAL  
AND  
COMMERCIAL  
DESIGN SERVICES

970 E. Sierra Way  
Palm Springs, CA 92264-0500  
(760) 322-7412 voice  
(760) 416-1427 fax

jmm@jmmarchitect.com  
http://www.jmmarch.com/



**TAYSI RESIDENCE**  
**678 LA MIRADA**  
**PALM SPRINGS, CALIFORNIA**

FILE No.  
PROJECT No.  
REVISIONS

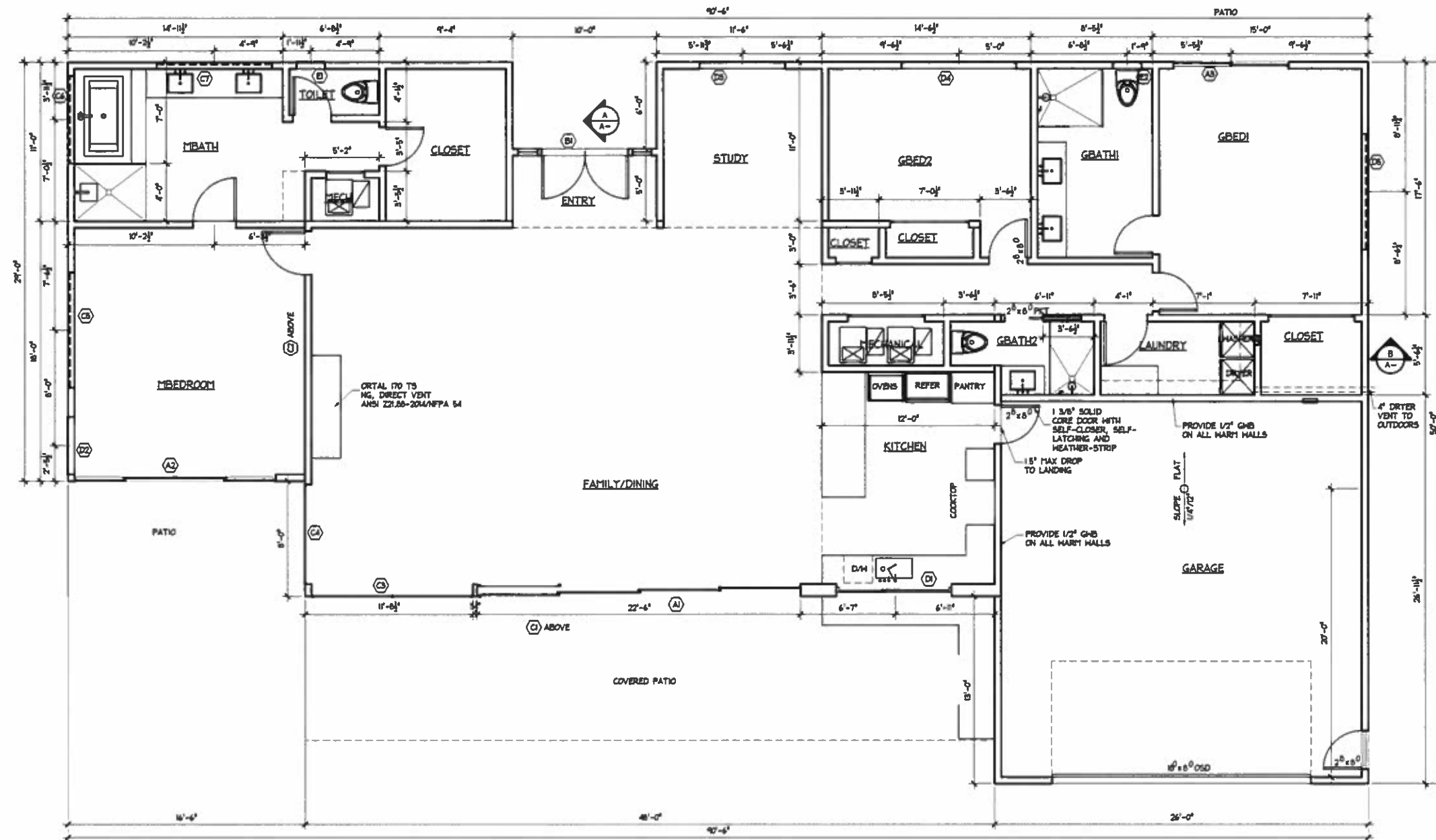
DATE: APRIL 03, 2017

SHEET NUMBER

**G-1**

OF





## FLOOR PLAN



SCALE: 1/4" = 1'-0"

### GREEN BUILDING CODE REQUIREMENTS

Site grading or drainage system will manage all surface water flows to keep water from entering buildings (swales, water collection, French drains, etc.). CGC 4.106.3. Exception: Additions not altering the drainage path.

#### FIXTURE FLOW RATES

#### FIXTURE TYPE MAXIMUM FLOW RATE:

Water closets 1.28 gallons/flush  
Urinals 0.5 gallon/flush  
Showerheads 2 gpm @ 80 psi  
Lavatory faucets 1.5 gpm @ 60 psi  
Kitchen faucets 1.8 gpm @ 60 psi  
Metering faucets 0.25 gallons per cycle

1. Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi. Landscape irrigation water use shall have weather or soil based controllers. CGC 4.304.1.

A minimum of 50% of construction waste is to be recycled. CGC 4.408.1

The contractor shall submit a Construction Waste Management Plan to the jurisdiction agency that regulates waste management, per CGC 4.408.2.

The builder is to provide an operation manual (containing information for maintaining appliances, etc.) for the owner at the time of final inspection. CGC 4.410.1.

7. During construction, ends of duct openings are to be sealed, and mechanical equipment is to be covered. CGC 4.504.1.
8. VOCs must comply with the limitations listed in Section 4.504.3 and Tables 4.504.1, 4.504.2, 4.504.3 and 4.504.5 for: Adhesives, Paints and Coatings, Carpet and Composition Wood Products. CGC 4.504.2.
9. Concrete slabs will be provided with a capillary break. CGC 4.505.2.1.
10. The moisture content of wood shall not exceed 19% before it is enclosed in construction. The moisture content needs to be certified by one of 3 methods specified in Section 4.505.3. Building materials with visible signs of water damage should not be used in construction. The moisture content must be determined by the contractor by one of the methods listed in CGC 4.505.3.
11. Bathroom fans shall be Energy Star rated, vented directly to the outside and controlled by a humidistat. CGC 4.506.1.
12. Prior to final inspection the licensed contractor, architect or engineer in responsible charge of the overall construction must provide to the building department official written verification that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction. CGC 102.3.

### FLOOR PLAN NOTES:

#### 1. ABBREVIATIONS/LEGEND:

SC = SOLID CORE  
PCT = POCKET  
PL = FULL LITE  
BO = BY OWNER  
GB = GLASS BLOCK  
PR = PAIR  
U.N.O. = UNLESS NOTED OTHERWISE  
AFF = ABOVE FINISHED FLOOR

#### (N) = WINDOW TYPE. SEE SCHEDULE SHEET A-

#### 2. SEE ELECTRICAL CEILING PLAN FOR SMOKE DETECTOR AND EXHAUST FAN LOCATIONS

#### 3. HALL LEGEND:

===== INDICATES @ 10' PLATE  
===== INDICATES @ 13.5' PLATE  
===== INDICATES HALL AT SPECIAL HEIGHT  
SEE ELEVATIONS/SECTIONS

SEE EXTERIOR AND INTERIOR ELEVATIONS FOR SPECIAL HEIGHTS OF EXTERIOR COLUMNS AND OTHER FEATURES  
ALL INTERIOR HALLS TO BE CONTINUOUS TO UNDERSIDE OF ROOF/CEILING FRAMING U.N.O.

4. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O. AT THICKENED WALLS, DIMENSIONS ARE TO FACE OF BEARING WALL STUD.
5. ALL HALLS BETWEEN CONDITIONED SPACE AND UNCONDITIONED INTERIOR SPACE ARE TO HAVE R-21 BATT INSULATION
6. SEE SITE PLAN, SHEET G-1, FOR CALLOUTS OF SITE WALLS, GATES, ETC.

7. PROVIDE SMOOTH, NON-ABSORBENT HALL MATERIAL TO A MIN. HEIGHT OF 72" ABOVE THE DRAIN INLET AROUND ALL SHOWER AND SHOWER/TUB WALLS. NOTE: GYPSUM "GREEN BOARD" IS NOT PERMITTED IN SHOWER COMPARTMENT FOR TILE SURFACES.

8. ALL GLAZING AT SHOWERS, SHOWER/TUBS AND HOT TUBS SHALL BE TEMPERED.

9. PROVIDE 24ga MIN. HEEP GALV. HEEP SCREED AT OR BELOW THE FOUNDATION LINE AND A MIN. 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS @ MIN EXTERIOR WALLS

10. CONTROL VALVES IN BATHTUBS, HURLPOOL, BATHTUBS, SHOWERS & TUB-SHOWER COMBINATIONS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.

11. MIN WATER CLOSETS SHALL USE NO MORE THAN 1.28 GALLONS OF WATER PER FLUSH. LAVATORY FAUCETS SHALL BE 1.5gpm @ 60psi MAX, KITCHEN FAUCETS AT 1.8gpm@60psi MAX, SHOWERHEADS @ 2.0gpm @ 80psi

12. SEE SHEET H-2 FOR ADDITIONAL NOTES AND REQUIREMENTS.

13. THIS PROJECT SHALL CONFORM WITH CALBO SB407. NONCOMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER CONSERVING PLUMBING FIXTURES.

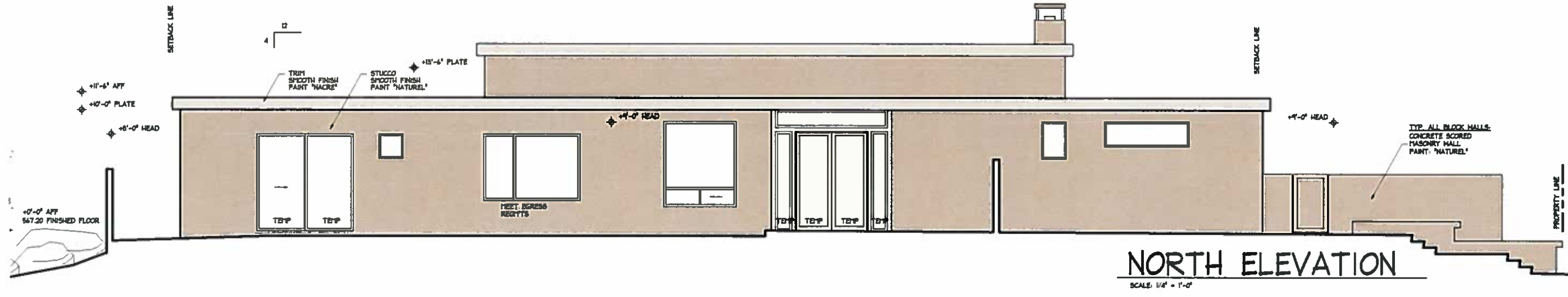
**TAYSI RESIDENCE**  
**678 LA MIRADA**  
**PALM SPRINGS, CALIFORNIA**

FILE No.  
PROJECT No.  
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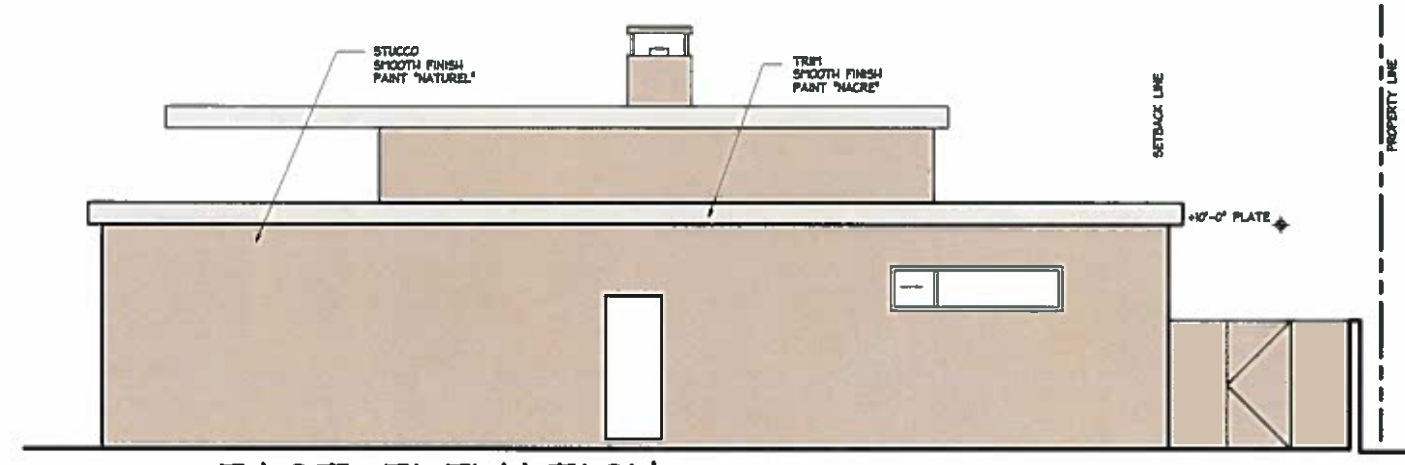
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SHEET NUMBER

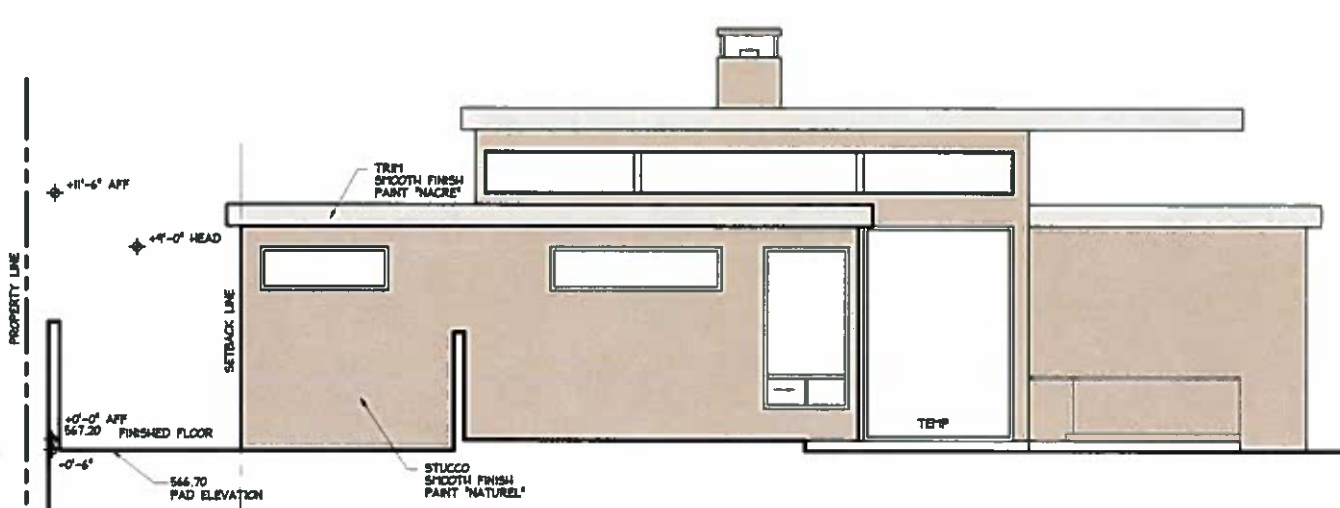
**A-1**



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



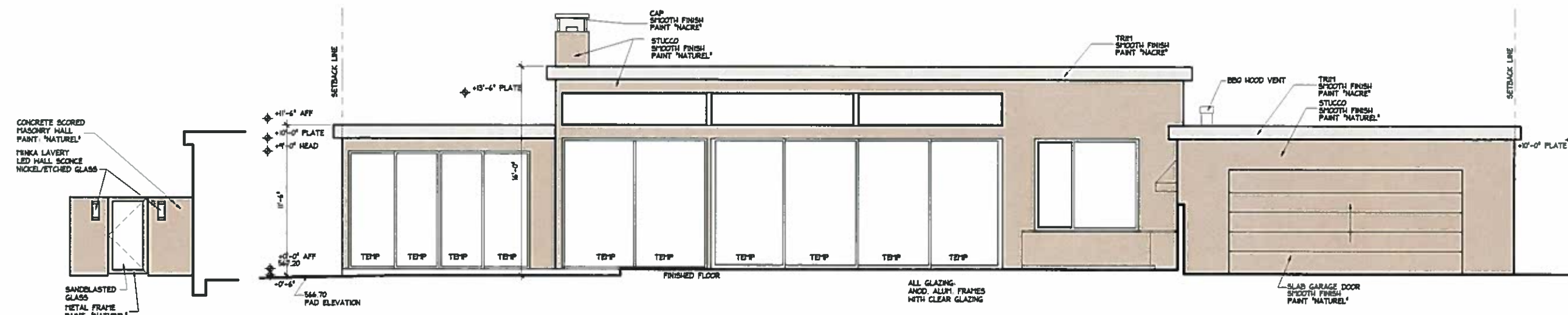
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE: ALL PAINT COLORS ARE SHERWIN-WILLIAMS  
HOUSE BODY COLOR: "NATUREL" SW 7542  
HOUSE TRIM COLOR: "NACRE" SW 6154

**TAYSI RESIDENCE**  
**678 LA MIRADA**  
**PALM SPRINGS, CALIFORNIA**



**MAIN ENTRY GATE**  
SCALE: 1/4" = 1'-0"

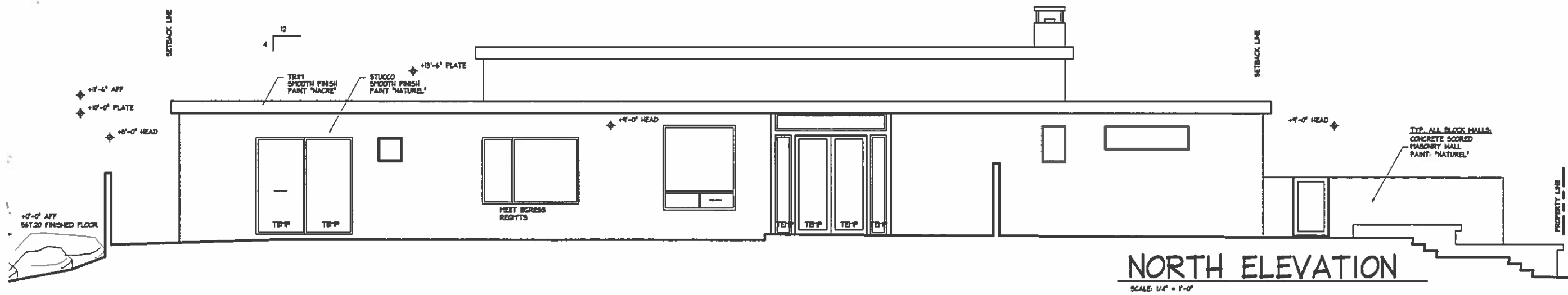
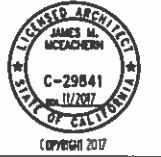
**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

FILE No.	
PROJECT No.	
REVISIONS	

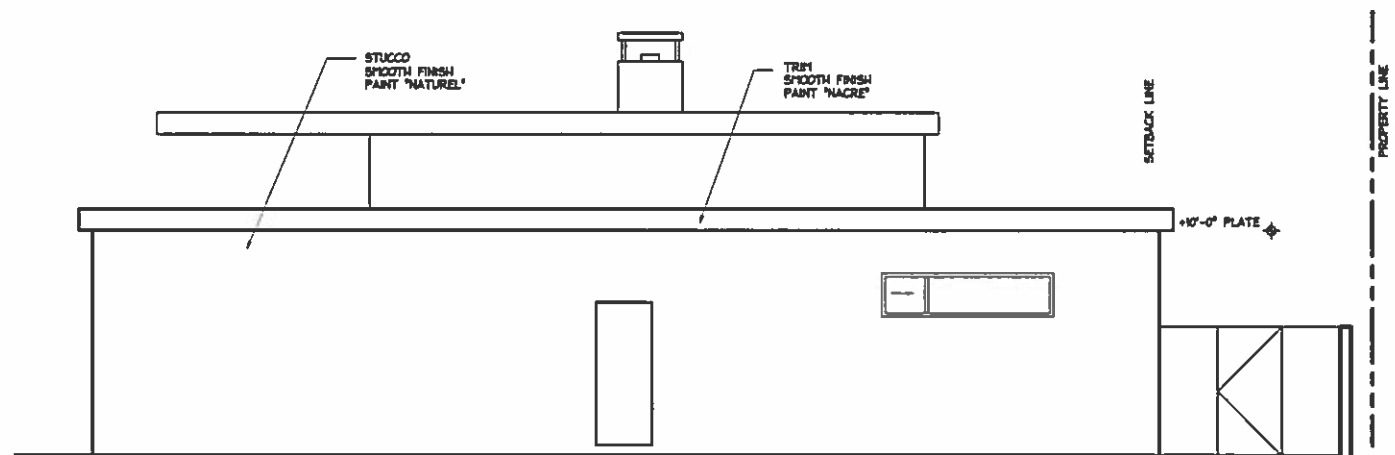
DATE: APRIL 01, 2017

SHEET NUMBER

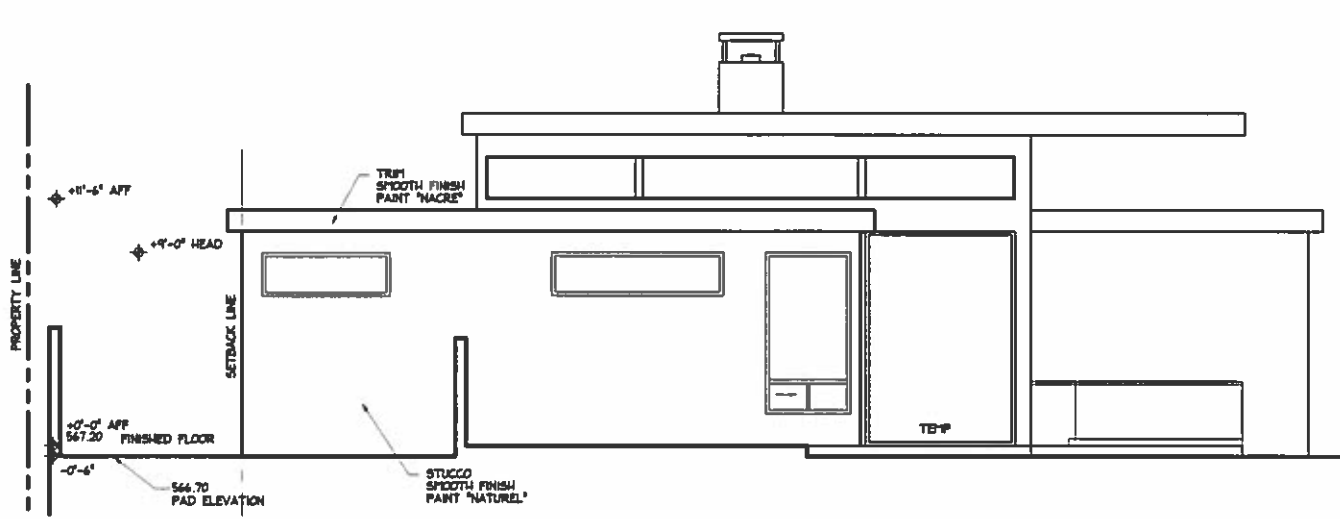
**A-3**



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE: ALL PAINT COLORS ARE SHERWIN-WILLIAMS  
HOUSE BODY COLOR: "NATUREL" SW 7542  
HOUSE TRIM COLOR: "NACRE" SW 6154

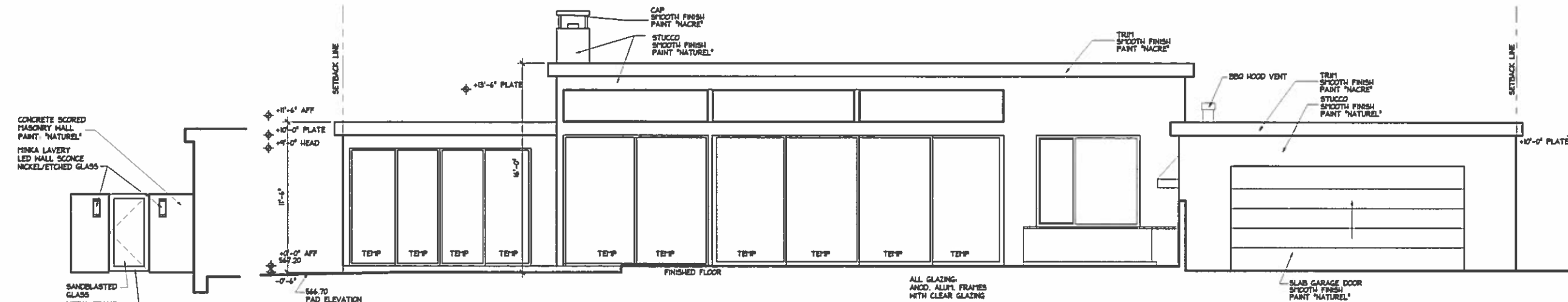
**TAYSI RESIDENCE**  
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FILE No. \_\_\_\_\_  
PROJECT No. \_\_\_\_\_  
REVISIONS \_\_\_\_\_

DATE: APRIL 03, 2017

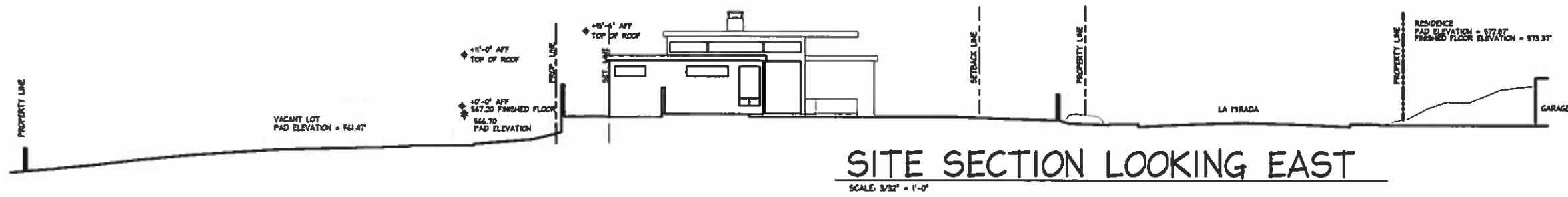
SHEET NUMBER

**A-3**

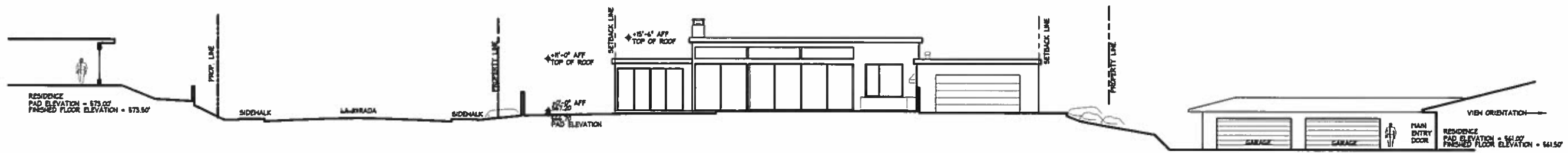


**MAIN ENTRY GATE**  
SCALE: 1/4" = 1'-0"

**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**SITE SECTION LOOKING EAST**  
SCALE: 3/32" = 1'-0"



**SITE SECTION LOOKING NORTH**  
SCALE: 3/32" = 1'-0"

**TAYSI RESIDENCE**  
**678 LA MIRADA**  
**PALM SPRINGS, CALIFORNIA**

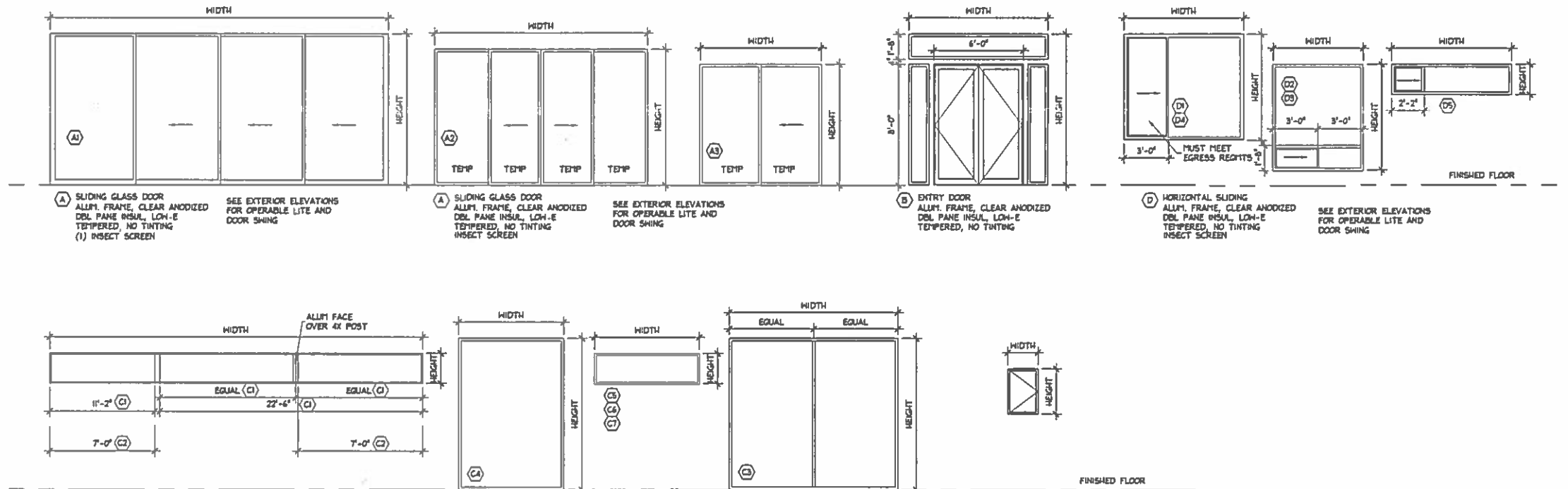
FILE No \_\_\_\_\_  
PROJECT No \_\_\_\_\_  
REVISIONS \_\_\_\_\_

DATE APRIL 03, 2017

SHEET NUMBER

**PD-1**

— OF —



(A) SLIDING GLASS DOOR ALUM. FRAME, CLEAR ANODIZED DBL. PANE INSUL., LOW-E TEMPERED, NO TINTING (1) INSECT SCREEN SEE EXTERIOR ELEVATIONS FOR OPERABLE LITE AND DOOR SWING

(A2) SLIDING GLASS DOOR ALUM. FRAME, CLEAR ANODIZED DBL. PANE INSUL., LOW-E TEMPERED, NO TINTING INSECT SCREEN SEE EXTERIOR ELEVATIONS FOR OPERABLE LITE AND DOOR SWING

(A3) SLIDING GLASS DOOR ALUM. FRAME, CLEAR ANODIZED DBL. PANE INSUL., LOW-E TEMPERED, NO TINTING INSECT SCREEN SEE EXTERIOR ELEVATIONS FOR OPERABLE LITE AND DOOR SWING

(B) ENTRY DOOR ALUM. FRAME, CLEAR ANODIZED DBL. PANE INSUL., LOW-E TEMPERED, NO TINTING

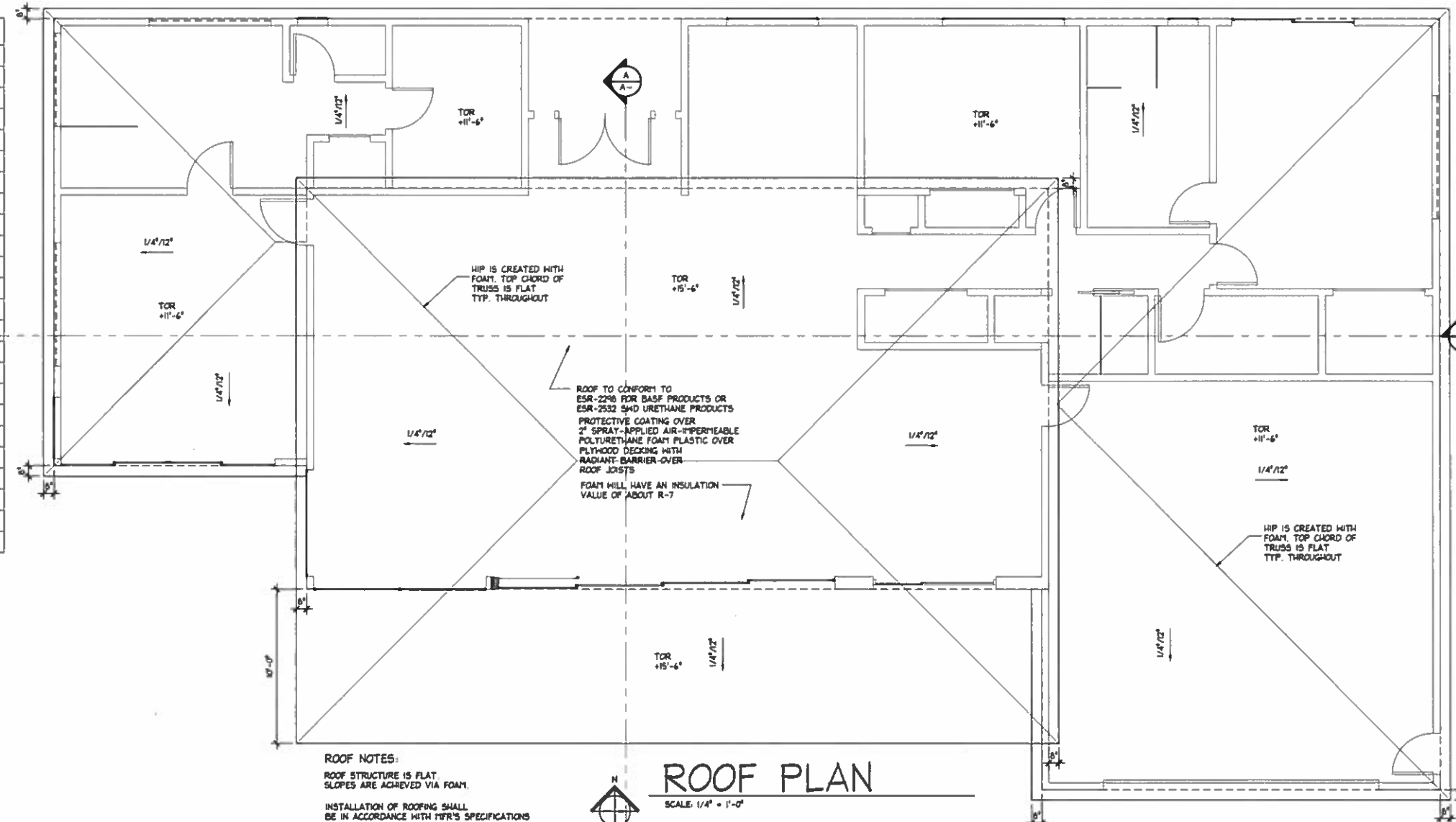
(D) HORIZONTAL SLIDING ALUM. FRAME, CLEAR ANODIZED DBL. PANE INSUL., LOW-E TEMPERED, NO TINTING INSECT SCREEN SEE EXTERIOR ELEVATIONS FOR OPERABLE LITE AND DOOR SWING

(C) FIXED GLAZING ALUM. FRAME, CLEAR ANODIZED DBL. PANE INSUL., LOW-E TEMPERED, NO TINTING

(E) CASEMENT ALUM. FRAME, CLEAR ANODIZED DBL. PANE INSUL., LOW-E TEMPERED, NO TINTING INSECT SCREEN

WINDOW/GLASS DOOR SCHEDULE: SEE SHEET A-1 FOR LOCATIONS INCLUDING SLIDING GLASS DOORS

WINDOW NUMBER/ WINDOW TYPE	SIZE	AREA (SF) EACH	PROJ. QTY	AREA (SF) TOTAL	U-VALUE	SAGC	SHADING DEVICE	NOTES
(A1) SLIDING GLASS DOOR	22' x 10'	225	1	225	.54	.33	STANDARD	TE'P
(A2) SLIDING GLASS DOOR	14' x 9'	126	1	126	.54	.33	STANDARD	TE'P
(A3) SLIDING GLASS DOOR	8' x 8'	64	1	64	.54	.33	STANDARD	TE'P
(B) GLASS DOOR/ FIXED	9' x 10'	92.5	1	92.5	.45	.33	STANDARD	TE'P
(C1) PICTURE FIXED	3' x 2'	6	1	6	.45	.33	STANDARD	
(C2) PICTURE FIXED	24' x 2'	49.5	1	49.5	.45	.33	STANDARD	
(C3) PICTURE FIXED	11' x 10'	111.6	1	111.6	.45	.33	STANDARD	TE'P
(C4) PICTURE FIXED	7' x 10'	70	1	70	.45	.33	STANDARD	TE'P
(C5) PICTURE FIXED	8' x 2'	16	1	16	.45	.33	STANDARD	TE'P
(C6) PICTURE FIXED	6' x 2'	12	1	12	.45	.33	STANDARD	TE'P
(C7) PICTURE FIXED	7' x 2'	14	1	14	.45	.33	STANDARD	TE'P
(D1) HORIZONTAL SLIDER	8' x 7'	56	1	56	.54	.34	STANDARD	
(D2) HORIZONTAL SLIDER	4' x 7'	30	1	30	.54	.34	STANDARD	
(D3) HORIZONTAL SLIDER	6' x 7'	42	1	42	.54	.34	STANDARD	
(D4) HORIZONTAL SLIDER	8' x 5'	40	1	40	.54	.34	STANDARD	
(D5) HORIZONTAL SLIDER	8' x 2'	16	1	16	.54	.34	STANDARD	TE'P
(E) HORIZONTAL	2' x 3'	6	1	6	.54	.34	STANDARD	TE'P
(E) HORIZONTAL	2' x 2'	4	1	4	.54	.34	STANDARD	TE'P



ROOF NOTES:  
ROOF STRUCTURE IS FLAT.  
SLOPES ARE ACHIEVED VIA FOAM.  
INSTALLATION OF ROOFING SHALL  
BE IN ACCORDANCE WITH MFR'S SPECIFICATIONS

ROOF PLAN  
SCALE: 1/4" = 1'-0"

TAYSI RESIDENCE  
678 LA MIRADA  
PALM SPRINGS, CALIFORNIA

FILE No.  
PROJECT No.  
REVISIONS

DATE: APRIL 03, 2017

SHEET NUMBER

A-2





PLANT SCHEDULE					
TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY
	Citrus	Variety	36" box	Mod 0.5	3

DG 1/4" Minus Brimstone Decomposed Granite 3" in depth



**LANDSCAPE PLAN**

SCALE: 1/8" = 1'-0"

**TAYSI RESIDENCE**  
**678 LA MIRADA**  
**PALM SPRINGS, CALIFORNIA**

FILE No.  
PROJECT No.  
REVISIONS:

DATE: APRIL 23, 2017

SHEET NUMBER

**L-1**

OF