



## CITY COUNCIL STAFF REPORT

DATE: JULY 19, 2017

NEW BUSINESS

SUBJECT: EXTENSION OF THE HOTEL INCENTIVE PROGRAM DEADLINE FOR COMMENCEMENT OF CONSTRUCTION OF THE ORCHID TREE HOTEL, NORTHWEST CORNER OF BARISTO ROAD AND BELARDO ROAD, 284 S. CAHUILLA ROAD (DEVELOPER NEW CHURCH II, LLC) TO RUN CONCURRENT WITH AN APPROVED ENTITLEMENT, CURRENTLY SET TO EXPIRE NOVEMBER 9, 2018, CLARIFICATION RE LEVEL OF ASSISTANCE TO BE PROVIDED THROUGH PROGRAM

FROM: David H. Ready, City Manager

BY: Edward Z. Kotkin, City Attorney

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### SUMMARY

Developer New Church II, LLC has requested an extension of the December 31, 2017 deadline for commencement of construction provided in the City's Hotel Operations Incentive Program ("Program"). The Program deadline for entitlement was previously extended for the developer, but for various reasons the hotel project often known as the Orchid Tree Hotel has not proceeded, and construction will not commence until late 2019. Without the opportunity to share the adjusted transient occupancy tax revenue identified in the Program with the City, this project will not proceed.

### RECOMMENDATION:

Direct the staff to negotiate with the developer, and return to the Council, no later than the end of October 2017, with an Operating Covenant for this project. This covenant would (i) be considered at a public hearing and recorded against the property if approved by the Council, consistent with the Program, but also pursuant the City's general and charter authority, (ii) provide the Project with the highest level of operating assistance available under the Program, to wit, seventy-five percent (75%) of the adjusted transient occupancy tax rate, as provided by the Program, payable for thirty (30) years, or until the operator has been paid fifty million dollars (\$50,000,000), whichever event occurs first, and (iii) require that the project's construction commence by the end of November 2019.

ITEM NO. S.A.

STAFF ANALYSIS:

In January 2008, the City Council adopted the Hotel Operations Incentive Program ("Program"), codified in Chapter 5.26 of the Palm Springs Municipal Code. The Program provided operating assistance in the form of a rebate of adjusted transient occupancy tax revenue at a level, and for a duration that varied depending upon the nature and size of any new hotel, and at a fixed level for existing hotels that met program criteria. The Program has stimulated extensive investment in new and improved hotels. For example, in 2008 hotel tax revenue to the City was approximately thirteen million dollars (\$13,000,000). For the current fiscal year, that revenue has increased to approximately twenty-nine million dollars (\$29,000,000). The Council has extended the program, which was originally set to expire at the end of December 2012, and extended program deadlines for projects on a case-by-case basis.

On December 17, 2014, the Council extended the program deadline for entitlement of the Orchid Tree project until December 31, 2015, but maintained the December 31, 2017 deadline, by which project developer New Church II, LLC had to commence the project's construction. The City timely approved the project's entitlement, but unanticipated delays have impacted the project's progress and the commencement of construction. By way of additional background, it should be noted that the sites that make up the future hotel site have regrettably fell into significant disrepair prior to the developer's pursuit of this project. The developer and the City agree that the condition of the sites must be addressed as soon as possible.

Staff will not recommend an extension of the deadline for construction beyond the life of this project's existing entitlement. The City must retain control of the project's development and discretion with respect to the financial commitment of sharing adjusted transient occupancy tax revenue. The performance schedule submitted by the developer extends beyond the expiration of that entitlement, and staff anticipates that this entitlement will necessarily be extended and modified to conform with ongoing discussions with the developer. Upon reconsideration of the project's entitlement, the City can and will exercise any control it wishes as to how the project proceeds. The term of the project's entitlement will only be extended by the City in a controlled exercise of the City's discretion, none of which is waived at this time.

Without the extension issued in 2014, the project would not have remained eligible for the Program as the City considered it, and would not have proceeded. In approving this initial extension to allow the project, the Council considered *(i)* the project's nature as a "first class" hotel incorporating the retrofit and renovation of two (2) Class 1 historic sites, *(ii)* extensive project and site specific challenges to be addressed, including without limitation the elimination of severe blight in the Tennis Club Neighborhood and downtown area in

the wake of a substantial fire, *(iii)* the number of new hotel rooms, complemented by amenities and special features that the new hotel would provide, and *(iv)* the developer's cooperation with the City to date (e.g., work with the Historical Preservation Board and Architectural Advisory Committee, cooperation with neighbors, etc.).

The 2014 extension approved by the Council gave the developer until the end of 2015 to entitle this project, and the developer successfully did so. On November 18, 2015, the Planning Commission approved the project, as defined at that time, before the end of 2015, *i.e.*, prior to the extended Program deadline applicable to new hotels. As is discussed below, the nature of the approved extension represents significant support for staff's formulation of its recommendation at this time.

On March 9, 2016, the developer secured a second Planning Commission approval for the adjacent community church parcel for a separate hotel. Finally, on November 9, 2016, New Church II, LLC secured the current version of its existing land use entitlement for this project. The project site is the 3.1 acres located at the northwest corner of Baristo Road and Belardo Road. This site contemplates the merger of the two (2) properties owned by New Church II, LLC and Cahuilla Church, LLC, another company owned by this developer's principal. The assessor's parcel numbers comprising the hotel site are as follows: 513-151-041, 513-151-042, 513-151-043, 513-151-044, 513-151-037-0, and 513-151-028-2. The staff report supporting this existing entitlement is attached to this staff report as Attachment 2. This approved entitlement will continue in force and effect for two (2) years, until November 9, 2018.

Between the Council's initial program deadline extension for this project and the approval of the pending entitlement, the developer made multiple presentations to the Historic Site Preservation Board, Architectural Advisory Committee, and the Planning Commission. The significant number of hearings that proved necessary through almost two (2) years reflected significantly intensified environmental analysis of this project that ultimately proved necessary. Staff notes that throughout this process, the developer continued to be cooperative and responsive.

In securing its November 9, 2016 approval, the developer abandoned the project that it originally planned, and reimagined the site. This process required engagement of an entirely new architectural team that better fit the revised concept. Since receiving that approval for the hotel as designed, New Church II, LLC has been working to select a luxury operator that it has stated will elevate the level of hospitality and service at this hotel to the very highest standards. The developer is nearing the execution of a letter of intent with its operator of choice, and looks forward to making a formal announcement once a franchise agreement with that operator is finalized. The developer anticipates that this process will continue through October 2017.

In order to present complete information to the Council, Staff requested that the developer submit a realistic performance schedule to which it will adhere in moving forward with this project. That schedule is attached to this staff report as Attachment 3. As the Council will note, the developer cannot commit to the commencement of construction until early November 2019, almost a year to the day after the current entitlement expires.

The developer provides the following context for the performance schedule submitted. Presuming that creation of formal drawings commences during early August, the developer will be coordinating the efforts of architects in Brazil, Malibu and Rancho Mirage. The developer also has three (3) interior designers and consultants, one of whom may be abroad in Paris, while the others are in Los Angeles and Las Vegas. New Church II, LLC will also be using two (2) landscape designers, one for softscape and hardscape and the other for lighting and additional softscape. Coordination among and between these design professionals will be done "in-house."

The developer's commitment to quality and refinement in the working drawings requires that they take at least ten (10) months to produce, beginning after the developer has its franchise agreement with its operator in-hand. The developer is allowing time for the input of its operator, and the process of proceeding from schematic planning and design development, and eventually through four (4) months to produce construction drawings. The developer notes that it has no control over how long City review and approval will require. The performance schedule assumes what the developer regards as an optimistic prediction in this regard. Once the City approval of plans is complete, the developer will go out to formal bid, sending this project to three (3) qualified contractors. New Church II, LLC is allowing three (3) months for this process, and indicates that it should be able to break ground within three to four (3-4) months once it has a contractor in place. An additional matter worthy of note is that the developer anticipates more commission work on this project arising from design issues.

Staff opines that this project remains a worthwhile addition to the Tennis Club Neighborhood and downtown area. Further, any action that has the effect of preserving the status quo would be contrary to the public health, safety and welfare. Thus, this project is an important one for the City, not only in terms of what it brings, but also in terms of what it eliminates. This project proposes to take one of the biggest long-standing code enforcement problems in the City, a problem that the current owner and developer notably did not create, and provide the City with a hotel that promises to be not only "first class," but unique in the market place. The developer seems highly motivated to complete the project, and provide a significant benefit to the community in accord with staff's requirements.

New Church II, LLC says that it will move this important project forward with all possible haste. When the Planning Commission reviews the developer's eventual application to extend the term of this approval which it needs to complete the project, the performance schedule now submitted to the Council will prove helpful. In recommending that the Council direct staff to secure an operating covenant with the developer, consistent with the Program and pursuant to the City's general and Charter authority, staff notes that a condition precedent of the operating covenant remaining valid beyond the expiration of the current entitlement will be the extension of that entitlement. In other words, control over this project will be exercised through the entitlement process rather than the Program. If/when the existing entitlement is extended beyond November 9, 2018, the operating covenant that will be considered by the Council, if approved, will remain valid.

The City Council has the general and charter authority, in the context of an operating covenant, to provide any level of assistance that it deems appropriate to a hotel operator. The Program is just one vehicle that the City can employ in extending assistance.

Given *(i)* the City's action with respect to this project to date, *(ii)* the project-specific finding as to the public welfare recommended by staff, and *(iii)* the spirit of the Program considered as a whole, wherein staff cannot reasonably characterize the scope and/or nature of the project planned as anything but a "new hotel" worthy of the highest level of assistance possible in the Program, staff urges Council to accept the recommendation stated above.

ALTERNATIVES:

Reject this approach to an extension of the City's Hotel Operations Incentive Program deadline for commencement of construction for the Orchid Tree Hotel.

Reject this extension of the City's Hotel Operations Incentive Program deadline for commencement of construction for the Orchid Tree Hotel under the terms recommended, but direct staff as to the terms under which the extension would be approved.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) DETERMINATION:


The Planning Commission determined that this project was exempt from consideration under the California Environmental Quality Act on a number of grounds. The extension of the City's Hotel Incentive Program considered at this time is not a "project" for purposes of the California Environmental Quality Act (CEQA), as that term is defined by CEQA guidelines (Guidelines) section 15378. This action is organizational or administrative activity by the City of Palm Springs in furtherance of its police power, and will not result in a direct or indirect physical change in the environment, per section 15378(b)(5) of the Guidelines.

**BUSINESS PRINCIPAL DISCLOSURE:**

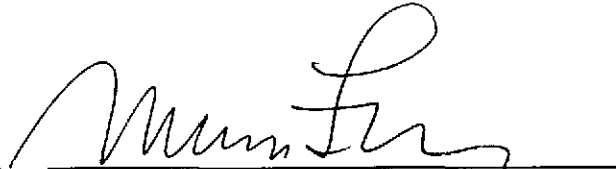
This project consists of two (2) properties that the City required be merged when approving the existing entitlement in 2016. Each property is owned by a separate LLC – the community church site being owned by Cahuilla Church, LLC, and the Orchid Tree Bungalows site being owned by New Church II, LLC. Richard E. Weintraub is a principal of both LLCs. The latter is the entity that secured its initial entitlement per the incentive program, and later secured the existing approval.

**FISCAL IMPACT:**

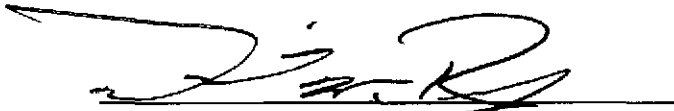
If the developer secures an extension of its existing entitlement, the operating covenant proposed will grant the project a rebate of seventy-five percent (75%) of the adjusted transient occupancy tax revenue for thirty (30) years or until the operator has been paid fifty million dollars (\$50,000,000), whichever event occurs first.



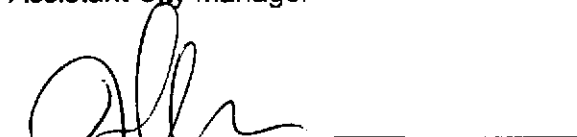
Edward Z. Kotkin,  
City Attorney



Marcus L. Fuller, MPA, P.E., P.L.S.,  
Assistant City Manager



David H. Ready, Esq., Ph.D.,  
City Manager



Jay Virata,  
Director of Community  
& Economic Development

**Attachments:**

1. Staff Report re 12.17.14 Extension of Entitlement Deadline
2. Staff Report re 11.9.16 Approval of Project
3. Performance Schedule

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## City Council Staff Report

DATE: December 17, 2014

NEW BUSINESS

SUBJECT: EXTENSION OF HOTEL INCENTIVE PROGRAM PARTICIPATION FOR NEW CHURCH II, LLC AND 750 LOFTS, LLC FOR THE ORCHID TREE HOTEL, 261 SOUTH BELARDO ROAD, AND THE 750 LOFTS PROJECT, 750 NORTH PALM CANYON DRIVE FOR A PERIOD OF ONE (1) YEAR FOR PROJECT ENTITLEMENT, WITH CONSTRUCTION COMMENCING NO LATER THAN DECEMBER 31, 2017.

FROM: David H. Ready, Esq., Ph.D., City Manager

BY: Community & Economic Development Department

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### SUMMARY

In January, 2008, the City Council adopted the Hotel Incentive Program which consisted of two primary incentive components: 1) the construction of new hotels and, 2) the renovation and upgrading of existing hotels. The Ordinance was extended in May, 2013, with a deadline for qualifying for participation in the Program December 31, 2014, both for Qualified Renovation Programs and for New Hotels.

These requests to extend the program are from the developers of the Orchid Tree Hotel on Belardo Road, Downtown and the 750 Lofts Hotel, located on Palm Canyon in the core of the Uptown Design District. Both projects are well into the design review process but have had additional time added to their processing time due to historic preservation issues and community input, given their sensitive locations. This action would only extend the eligibility of the two projects to participate in the Hotel Incentive Program but does not approve any actual agreement or amend the Ordinance. Covenants documenting the agreements would return at a future meeting for Council approval once the projects are completed with the entitlement process.

### RECOMMENDATION:

1. Approve eligibility for participation in the Hotel Incentive Program by New Church II, LLC for the Orchid Tree Inn & Spa, located at 261 South Belardo Road for a period of one year, extending the deadline for project entitlement until December

ITEM NO. 58



31, 2015; the deadline for commencing construction remains on December 31, 2017; and

2. Approve eligibility for participation in the Hotel Incentive Program by 750 Lofts, LLC for the 750 Lofts hotel project, located at 750 North Palm Canyon Drive for a period of one year, extending the deadline for project entitlement until December 31, 2015; the deadline for commencing construction remains on December 31, 2017.

**BACKGROUND:**

In January, 2008, the City Council adopted the Hotel Incentive Program which consisted of two primary incentive components: 1) the construction of new hotels and, 2) the renovation and upgrading of existing hotels. Generally, the program provided for up to a rebate of a portion of TOT to developers of new hotels for prescribed periods of time, based on the quality of the hotel. For those hotels undergoing renovation, the City would keep the historical "base" TOT and share a portion of the TOT above the base.

The 2008 Hotel Incentive Program originally expired at the end of December 2012, having stimulated an incredible renovation of more than 1,600 Palm Springs hotel rooms and generating in excess of a \$180 million investment in the renovation and upgrading of hotel properties throughout the City. The exception was the category of new first class hotels: that class of hotels will expire at the end of 2013.

In September 2012, prior to the original expiration date, Staff asked Council to allow it to negotiate one-on-one Hotel Incentive Agreements with developers of hotel properties based on a number of factors: (1) the need for the particular hotel product in the City's inventory; (2) the demonstrated financial need for the incentive by the Developer; and (3) the public benefit provided through the development or redevelopment of the hotel.

As Section 5.26.010 ["Purpose"], subdivision (c) of the Hotel Operations Incentive Program states:

"(c) It is in the best interest of the City of Palm Springs to induce and encourage the, operation, and maintenance of hotel facilities that would not otherwise exist, thereby creating new sources of tax revenues for the city's general fund which supports the public services that the city provides its residents."

In May, 2013, the City Council extended the Program, establishing the following new deadlines:

"Qualified renovation program" means a property improvement program undertaken by an existing hotel which invests no less than fifteen thousand dollars per room, or invests no less than one million dollars in ancillary non-hotel room facilities and/or space. The property improvement program shall be comprehensively executed in a single renovation project on the property and be

under construction no later than December 31, 2014 and completed no later than December 31, 2015.

"New hotel," "first class new hotel," and "comfort new hotel" means a hotel or first class hotel or comfort hotel that is or was fully entitled as a hotel after January 1, 2008, but before December 31, 2014 and which is under construction prior to December 31, 2017. The term "new hotel" does not include all, or any portion of, or addition to, an existing hotel.

But for the deadlines noted above, these two hotel projects would be eligible to participate in the City's Hotel Incentive Program. Both the Orchid Tree and 750 Lofts projects fit the legislative intent of the Ordinance. One project represents both a new hotel and the retrofit and renovation of two Class 1 historic sites, and the other project proposes a high quality designed small hotel located in a historic district and an opportunity to redevelop obsolete properties in the Uptown Design District.

### **Orchid Tree Inn & Spa**

The Orchid Tree Inn & Spa Project proposes the renovation and adaptive reuse of the Orchid Tree Inn "Bungalow Court Cottages" on West Baristo Road and the historic Community Church at South Cahuilla Rd. Both the Church and Bungalows are Class 1 historic sites. The Project proposal also includes a new hotel complex of approximately 80 rooms; a restaurant; a banquet and meeting facility; a bar and lounge; a spa; and, the use of underground and above-ground on-site parking.

The applicant for the Orchid Tree Project, New Church II, LLC, filed its application as a Project with the City on June 10, 2014. However, the Developer began working with the City on a number of general plan and community participation challenges several months earlier.

- On May 11<sup>th</sup> the Developer presented again to the Historic Preservation Board where they received positive feedback on their design.
- Although they received positive feedback when presenting to HPSB in May, on October 14<sup>th</sup> when they officially presented to the Historic Preservation Board they received a lengthy list of comments and requested changes.
- On November 18<sup>th</sup> the Developer presented again to HPSB after redesigning the main hotel building to better suit the HSPB's concerns. The HSPB members were satisfied with the direction of the project but still had some requests which the developer is now working to incorporate into the project design.
- The Project was scheduled to return before the Historic Site Preservation Board (HSPB) on December 9, 2014.

Besides the natural difficulty of redeveloping an older hotel in an established neighborhood, the Developer is trying to satisfy the community's desire to save the historic church. The project would combine the restoration and reuse of two historic resources while facilitating the revitalization of a blighted area in the Tennis Club neighborhood. The Project will incur costs beyond a normal hotel development, due to the Community Church retrofit alone because of its substantial damage in a fire in September 2013. Although they have been advised by multiple structural engineers that it would be more economical to demolish the church and rebuild due to its structural issues, it is something they do not want to do. As a result, the Developer would spend approximately \$2.5 million to preserve the church to a state that is safe for it to be located on the property of an operating hotel.

In addition to trying to maintain our damaged historic structure, they have also worked with the community to develop a project that is appealing to the neighbors as well as financially possible for the operator. The Developer is working with their architects to design a first class hotel and is now "costing out" the revisions that have been requested by the neighbors – such as putting in over half of the parking underground, which will cost over \$1 million.

The Project in the entitlement process today represents the best opportunity to get this challenging property redeveloped in a first class manner. The Ordinance deadline risks the loss of this Project and all that it brings to the Tennis Club Neighborhood and the Downtown area. Without the Hotel Incentive Program it is likely the property could remain vacant and blighted another decade or more.

### 750 Lofts

The project is located in a fully developed part of the city in the Uptown Design District. It is bounded roughly by North Palm Canyon Drive on the west, East Granvia Valmonte on the south, North Indian Canyon Drive on the east and Tamarisk Road on the north. The site is currently developed with a building that previously was occupied by the Security Pacific National Bank, but has been vacant for several years.

The proposed 750 Lofts hotel project is a mixed use development comprised of a new four-story structure with commercial/retail space on the first floor fronting Palm Canyon Drive, a restaurant on the first floor fronting Indian Canyon Drive and parking at grade for 62 new off-street parking spaces and trash rooms. At the second level is proposed a spa for hotel guests and 38 new hotel rooms and eight (8) 2-story loft units. The fourth floor is a sun deck, pool, bar, toilets and support spaces. An existing two story commercial (bank) building and surface parking lot built in the eighties is proposed to be demolished to redevelop the site.

In addition to the lot merger, the project is proposed to be connected by a north-south pedestrian walkway to the existing Alcazar Hotel which is immediately south of the subject site. The Alcazar has 33 existing hotel rooms and 34 existing parking spaces. An east-west pedestrian passageway linked to a mid-block cross walk at Indian

Canyon Drive is proposed to encourage pedestrian connectivity between Palm Canyon and the neighborhoods and hotels to the east of the site.

The spa on the second floor is proposed for hotel guests only and the fourth floor bar is proposed to be open to the public.

The proposed project is located within the Las Palmas Business Historic District (LPBHD). Pursuant to Municipal Code Section 8.05.185, persons wishing to initiate new construction within a historic district must submit an application for approval to the Historic Site Preservation Board (HSPB). The required historic site review, as well as the neighborhood meeting process, has created some additional timing issues in the approval of the project. In terms of the elements of the entitlement application, the proposed project is comprised of the following:

- A preliminary PDD in lieu of a change of zone to change the underlying zoning from C-1/R-3/PDD 104 to PDD 374 and seek relief from the development standards of those zones and the high-rise ordinance;
- A General Plan Amendment (GPA) to change the general plan land use designation from Neighborhood Community Commercial (NCC) to Mixed-Use//Multi-use Uptown (0.5 FAR, 15du/ac, 30 du/ac w/PDD);
- A Conditional Use Permit (CUP) to engage the High-Rise Ordinance; and
- A lot merger of the subject parcel with the parcels on which the Alcazar Hotel are sited for purposes of establishing a floor area ratio (FAR) for the resultant lot that conforms to the General Plan.

So far, after a significant redesign of an earlier plan, the project has been very well received through the reviewing bodies and through the neighborhood. The major project milestones so far have been:

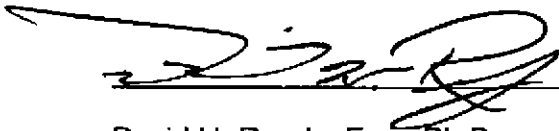
- Submittal of PDD Application occurred on 7.16.14 and 8.13.14.
- Neighborhood Meeting was held on 9.1.14.
- AAC Approval of the PDD (6-0 Vote) occurred on 10.6.14.
- On October 14, 2014, HSPB reviewed the proposed development against the factors outlined in PSMC Section 8.05.190 and the LPBHD Conceptual Design Guidelines for New Commercial Construction & Major Remodels (11-5-1985) and approved conceptual PDD (6-1 Vote).
- Major Architectural Application Submittal. Major Architectural Application was submitted on 11-10-14 and Final Planned Development Application will be submitted at a later date. Color, materials, specific landscape material and plant

selections still to be reviewed. The Developer is awaiting hearings to be scheduled with AAC and HSPB; the application also needs to go to Planning Commission, and the schedule begins to run into the holiday schedule for staff review and for meeting dates.

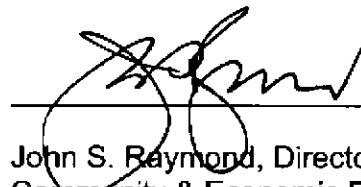
- The Developer anticipated the proposed Preliminary PDD to be final and CD's for plan check by 1.15.15, just beyond the December 31, 2014 deadline.

The action before Council is merely to establish that, pursuant to Section 5.26.010 (c) ("Purpose"), that it is in the best interests of the City to find and declare that, based on the importance of the two projects within their neighborhoods or districts, and based on the significant design work and review already undertaken on the respective projects, that the City Council would find and declare the two projects to remain eligible for participation in the Hotel Incentive Program for a period of one year, extending the deadline for entitlement until December 31, 2015, but not extending the deadline for the commencement of construction, which remains on December 31, 2017.

Furthermore, neither action makes any findings regarding either project's approval or entitlement status, and neither project is deemed "approved" under the Zoning Code or under the Hotel Incentive Program by this action. If completed through the entitlement stage, each Hotel Operations Covenant would require approval at a noticed public hearing by the City Council at a future date.



David H. Ready, Esq., Ph.D.  
City Manager



John S. Raymond, Director  
Community & Economic Development



## PLANNING COMMISSION STAFF REPORT

DATE: November 9, 2016 PUBLIC HEARING

SUBJECT: NEW CHURCH II, LLC FOR MODIFICATIONS TO AN APPROVED MAJOR ARCHITECTURAL APPLICATION AND CONDITIONAL USE PERMIT TO RENOVATE THE EXISTING HISTORIC COMMUNITY CHURCH AND ORCHID TREE INN FOR ADAPTIVE RE-USE, AND DEMOLISHING PORTIONS OF THE SITE FOR THE CONSTRUCTION AND OPERATION OF A HOTEL WITH ACCESSORY SPA, RESTAURANT AND MEETING SPACE ON A 3.1-ACRE SITE LOCATED AT 222 S. CAHUILLA ROAD, ZONE R-3, SECTION 15 (CASE 5.1345 CUP, HSPB 23, HSPB 72 & 3.0678 MAJ).

FROM: Department of Planning Services

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### SUMMARY

The Planning Commission will review revisions to the previously approved applications for the repurposing of two Class 1 historic sites, the demolition of Class 3 historic structures and the construction of new hotel buildings, for the operation of a hotel with accessory commercial uses on a 3.1-acre site located at the northwest corner of Baristo Road and Belardo Road.

### RECOMMENDATION:

Approve, subject to conditions.

### ISSUES:

- Downtown Urban Design Plan provides guidance for development downtown, including a "view corridor" through the project site.
- Most of the off-street parking is proposed as tandem parking, which is prohibited (unless approved by Planning Director) pursuant to Section 93.06.00(C)(11). Bay parking includes tandem vehicle maneuvering along Belardo Road.
- Applicant must merge the properties.
- Final number of hotel rooms to be determined based on previously approved operations at the site (current research suggests 47 rooms) and the 12 rooms permitted for the Community Church site, for a total of 59 rooms. The applicant believes additional rooms had been allocated on the properties.

**BACKGROUND AND SETTING:**

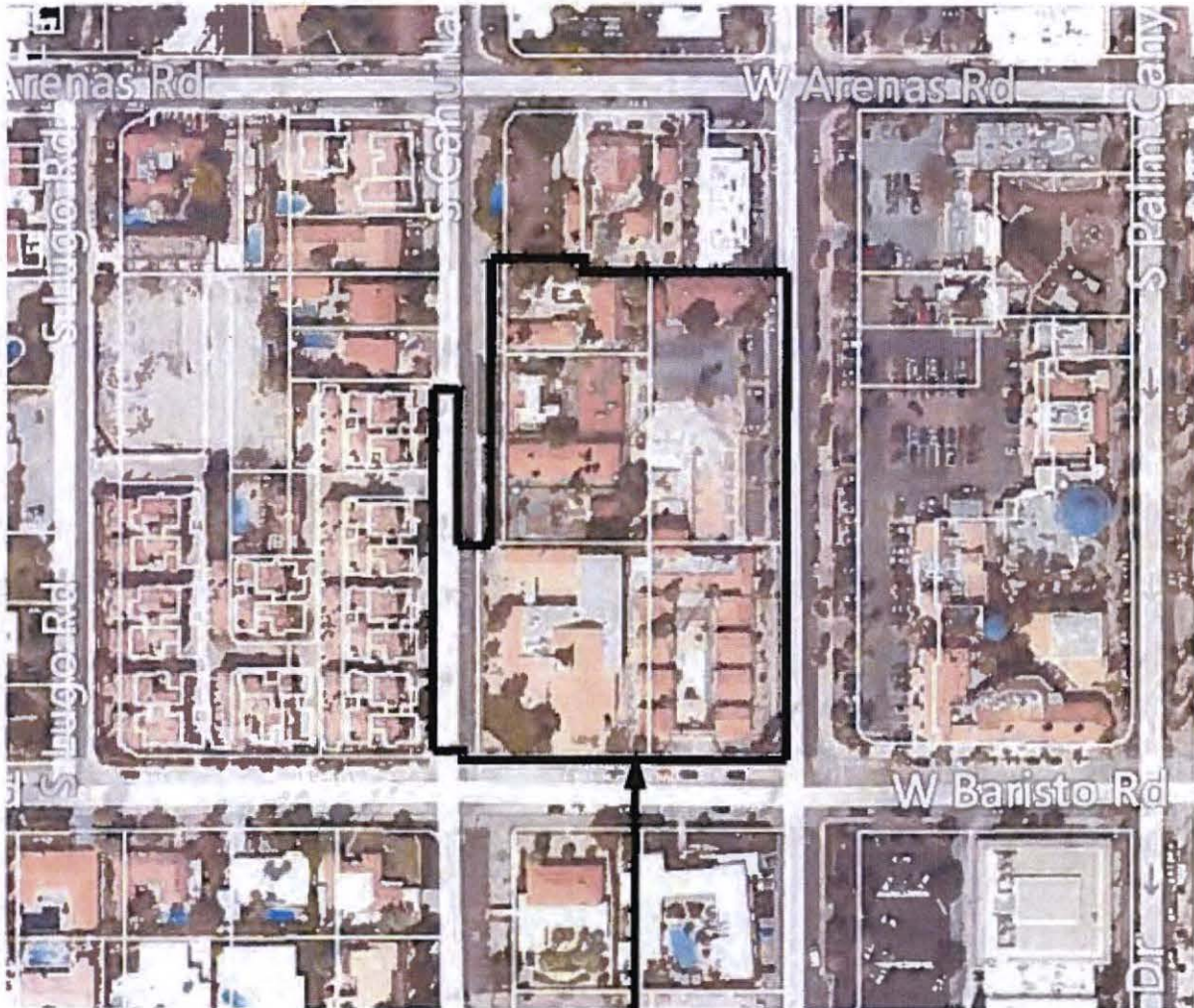
<b>Most Recent Change of Ownership</b>	
Feb. 2010	Cahuilla Church, LLC acquired Community Church site.
Mar. 2010	New Church II, LLC acquired Orchid Tree bungalows site and adjacent properties to the north, which have been collectively identified as the Orchid Tree Inn.

<b>Planning Areas</b>		
Specific Plan	None	
Design Plan	Yes	Downtown Urban Design Plan - Appendix A of 2007 Palm Springs General Plan.
Overlay Zone(s)	"R"	Resort Overlay zone, subject to the requirements of Section 92.25.00 of the Zoning Code.
Indian Land	None	

<b>Related Relevant City Actions by Planning, Fire, Building, etc...</b>	
Mar. 15, 1989	City Council designated the Community Church property (284 S. Cahuilla Road) as a Class 1 Historic Site.
Nov. 3, 2010	City Council designated the Orchid Tree Inn bungalows (226 W. Baristo Road) and stone archway (262 S. Cahuilla Road) as Class 1 historic sites and the fire-destroyed Craftsman Cottage bungalows (262 S. Cahuilla Road) and razed Frey Apartment Building (292 S. Belardo Road) as Class 2 historic sites.
Oct. 26, 2015	The Architectural Advisory Committee (AAC) recommended approval of a proposal to restore the Orchid Tree bungalows and construct seven hotel buildings on the 2.13-acre site to operate a 47-room hotel ("Orchid Tree Hotel").
Nov. 10, 2015	The Historic Site Preservation Board (HSPB) issued a certificate of approval for the proposed Orchid Tree Hotel project.
Nov. 18, 2015	The Planning Commission approved the Orchid Tree Hotel project.
Feb. 16, 2016	The AAC tabled a proposal to restore the Community Church as a 12-room hotel with accessory restaurant and spa ("Community Church Hotel").
Mar. 7, 2016	The AAC recommended approval of the Community Church Hotel.
Mar. 8, 2016	The HSPB issued a certificate of approval for the Community Church Hotel project.
Mar. 9, 2016	The Planning Commission approved the Community Church Hotel.
Oct. 3, 2016	The AAC reviewed the subject project, which combines and incorporates revisions to both the Orchid Tree Hotel and Community Church Hotel projects, and recommended approval as proposed.

<b>Field Check</b>	
Feb. 2016	Staff visited the site to observe existing conditions

<b>Surrounding Property</b>	<b>Existing Land Use</b>	<b>Existing General Plan Designation</b>	<b>Existing Zoning Designation</b>
Subject Property	Historic Community Church, Orchid Tree Inn & Vacant	SH (Small Hotel)	R-3 (Multiple-family and Hotel)
North	2-story Apartment Building 1-story Hotels	SH	R-3
South	2-story Hotel (Del Marcos) Private Club	SH	R-3
East	Parking lot and 1- to 2- story commercial retail (The Vineyard)	CBD (Central Business District)	CU (Civic Uses) and CBD (Central Business District)
West	1- to 3-story residential	SH	R-3



**SUBJECT SITE**



**PROJECT DESCRIPTION:**

Since the initial application for a larger hotel project in 2015, the applicant has submitted a number of revisions reducing the overall scope and scale of a hotel project at the subject site in an effort to adaptively re-use the two existing historic sites along with three adjacent vacant properties. As noted in the background above, the Planning Commission approved a 47-room hotel project on the Orchid Tree site and three adjacent properties last November, and a 12-room hotel with accessory commercial space (restaurant and spa) on the Community Church site this past March. As a condition of approval, the applicant was required to operate both properties as one.

In addition to the combining the sites, the applicant is now seeking approval to relocate the twelve rooms and fitness center from the Church site to the Orchid Tree Inn property, resulting in additional space for accessory commercial uses within the Church building. The Community Church will contain a larger spa of 3,928 square feet, new meeting space of 1,894 square feet and a second bar/lounge area of 375-square feet in the lobby. The restaurant will remain the same size and location, including the same number of interior and exterior seats, as previously approved. Other space within the Church building will be utilized as ancillary operations and uses (office, restrooms, admin., etc.). No additional square footage is proposed to the Community Church building.

The Orchid Tree Inn site and adjacent properties to the north will now contain all guest rooms for the project. Additionally, a fitness center is proposed and there will be two pool areas – one main pool area and a smaller pool centered between the Orchid Tree bungalows. Changes from the November approval include the addition of a second story element on two buildings to accommodate the relocated guest rooms and fitness center.

**ANALYSIS:**

**General Plan**

**Land Use:** The current General Plan Land Use of the project site is Small Hotel, which is described as follows:

*Small Hotel Resort Commercial (15 hotel rooms per net acre; 10 dwelling units per acre). This designation applies to areas with smaller-scale, boutique type hotels that are typically found in Warm Sands and Tennis Club neighborhoods. It is intended that the tourist resort character of these neighborhoods be preserved; as a result, new residential uses or conversion of small hotels to residential uses are permitted as long as they comply with the conversion requirements outlined within the City's Zoning Code. Stand-alone retail and commercial uses are not permitted in this land use designation. Ancillary commercial uses such as a gift shop associated with a small hotel use are allowed.*

The 2.75-net acre site would be permitted up to 41 hotel rooms under this designation. The applicant proposes renovating and re-constructing the same number of units as previously approved for the Orchid Tree and vacant sites, thereby continuing its non-conforming status of 27 rooms per acre, and constructing the 12 rooms that would be permitted for the Church site under the Small Hotel designation.

**Downtown Urban Design Plan:** Appendix A of the 2007 Palm Springs General Plan is the Downtown Urban Design Plan, which is a workbook that was produced to serve as design guidelines for future downtown development. Staff notes the following as it relates to the project:

**Building Height:**

- The site is located within the Tennis Club District of the Plan, which states *"building heights should be consistent with current heights and zoning restrictions."*
- *"Building heights should result in a varied skyline. Taller buildings, if properly designed, will create dramatic view corridors that will add to the vitality of downtown."*
- *"Taller buildings (in excess of three stories) should compensate for their height through the provision of grade level public open space, preservation of views, superior design, and quality construction."*

**Orientation & Massing:**

- *"An east-west orientation of taller buildings will reduce the bulk facing the mountains, which will help create/ preserve view corridors in the downtown area. The east-west orientation of taller buildings is recommended when appropriate."*
- *"Building massing should step back above the ground floor to maintain and protect public view corridors along streets."*
- *"Buildings should have variable roof lines."*

**Architecture & Architectural Detailing**

- *"It is important that the rich architectural heritage of Palm Springs be protected. The City urges property owners to preserve, restore and productively use Class I and Class II historical buildings whenever practical."*
- *"New buildings should be sensitive to the architectural styles and detailing of surrounding buildings while adding to the architectural quality and eclectic nature of downtown."*

The largest building of the new construction is a three-story modern hotel building with simple rhythmic patterns and textures around all four facades. The L-shaped structure orients in both north-south and east-west directions with east-west being two-story and the north-south being three stories. The building steps back from the north property line above the ground floor and will be setback twenty feet from the easterly property line. The third floor deck space will be setback further from the street and north property line.

The project incorporates preserving and re-use of historical structures on both Class 1 sites.

## Zoning

The project site is zoned "R-3" (Multiple-family and Hotel) with an overlay zone of "R" (Resort).

### Permitted Uses:

The proposed hotel use is permitted within the "R-3" zone, pursuant to Section 92.04.01(A)(1) of the Zoning Code. The accessory commercial uses that are part of the hotel are permitted with the approval of a Conditional Use Permit.

### Development Standards:

	R-3 Requirements	Proposed Project	Comply
<b>A. Lot Area</b>	20,000 sq. ft.	Existing (105,145 sq. ft.)	--
<b>B. Lot Dimension</b>			
Min. Width	145 feet	Existing (265 feet)	--
Min. Depth	150 feet	Existing (450 feet)	--
<b>C. Density</b>	1,000 sq. ft. of net lot area for each unit of a hotel with surface parking	119,000 sq. ft. of lot area allows 119 rooms. Project proposes 64 rooms	Yes
<b>D. Building Height</b>	Hotels: 30 feet, except as allowed	22-30 feet	--
<b>E. Yard Setbacks</b>			
1. General Provisions	Front of garages / carports shall be located not less than 25 feet from property line abutting the street from which such garage has access.	Carport column 25 feet from east property line	Yes
2. Front Yard	25 feet	Existing	--
3. Side Yards	20 feet from Belardo and Cahuilla	West property line: >20 feet East property line: 20 feet	Yes
4. Rear Yard	Equal to building height	Equal to building height	Yes
<b>F. Distance Between Buildings</b>	15 feet minimum 30 feet minimum for interior court	15+ feet (hotel buildings) 70+ feet (pool area)	--
<b>G. Walls, Fences and Landscaping</b>	Refers to Section 93.02.00	Walls to be consistent with this Code requirement	Yes
<b>H. Access.</b>	Required per to Section 93.05.00	Provided from all streets	Yes
<b>I. Off-street Parking<sup>1</sup></b>	1 space per room for first 50 rooms 0.75 space per room exceeding 50  Restaurant: 1 space per 60 sq. ft. of dining, bar and dancing areas OR 1 space per 5 seats.	64 rooms require 60.5 spaces  132 seats require 26 spaces	Yes

<sup>1</sup> Class 1 Historic Sites are exempt from the requirement to provide additional parking for any new use allowed by the zoning code in which the Class 1 historic structure is located, pursuant to Section 93.06.00(B)(3)(e) of the PS Zoning Code. Notwithstanding this exemption, the applicant is providing adequate parking for the proposed uses, as shown in this analysis.

	Public assembly space credited 30 sq. ft. per guest room. Additional parking required at ratio of 1 space per 30 sq. ft.  Spa: 1 space per employee	64 rooms x 30 sq. ft. = 1,920 sq. ft. permitted without providing additional parking. Proposed: 1,894 sq. ft.  6 employees require 6 spaces  Total required: 93 spaces Total provided: 94 spaces	
<b>J. Off-street Loading and Trash Areas.</b>	1 loading space required Trash enclosure required	Loading and trash to occur at southeast corner of Church bldg. with second loading area at northeast corner of site	Yes
<b>Performance Standards</b>	Minimum of 45 percent landscape open space	Existing	-

**REQUIRED FINDINGS:**

**Architectural Review:** Staff evaluated the proposal against the architectural review guidelines, pursuant to Section 94.04.00 of the Zoning Code, and prepared the following response:

	Guideline:	Conform?	Staff Evaluation:
1	Does the proposed development provide a desirable environment for its occupants?	Yes	The project provides amenities common of a resort hotel with restaurant, event space and recreation areas. The renovation of historic structures retains the site charm and history, while modernizing for a desirable attraction.
2	Is the proposed development compatible with the character of adjacent and surrounding developments?	Yes	The project is compatible with the existing development in the surrounding areas. Structures of varied heights are located within surroundings.
3	Is the proposed development of good composition, materials, textures, and colors?	Yes	The project architecture includes eclectic contemporary-Spanish design with a variety of materials. Rhythmic textures and patterns create visual interest on the new structures. Existing materials on historic structures will be maintained.
4	Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas	Yes	Half of the site layout is pre-existing with historic structures. The northerly half layout will center around a pool area and event space. Building separation is provided. Pedestrian and vehicular spaces are clearly defined.
5	Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood / community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted	Yes	The proposed land use is consistent with other uses in the surroundings and vicinity. The proposal respects the existing historic structures while integrating a new hotel building and banquet space.  Proposed land uses and densities generally reflect existing developments in the Small Hotel Resort Commercial and surrounding historic tennis club.

6	Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment	Yes	The proposed structures are consistent with zoning code height limitations and setbacks.  All rooftop mechanical units will be screened.
7	Building design, materials and colors to be sympathetic with desert surroundings	Yes	Building designs incorporate stucco, red brick molding/comice detailing and window awnings.
8	Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously	Yes	Awnings and building overhangs are shown over windows and doors for solar control. Low planter walls, roof variation and detailing, and window treatments create a harmony of composition.
9	Consistency of composition and treatment	Yes	Proposed building elevations include a variety of building materials and shapes that are crafted to create a unique contemporary design.
10	Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials	Yes	The proposed landscape plans are not available and will return to AAC for review.

**Conditional Use Permit.** The Planning Commission must make certain findings in order to approve this Conditional Use Permit pursuant to Section 94.02.00 of the Palm Springs Zoning Code; those findings are analyzed by staff below:

- a. *That the use applied for at the location set forth in the application is properly one for which a conditional use permit is authorized by this Zoning Code.*

Pursuant to Section 92.04.01(D)(16) of the Palm Springs Zoning Code (PSZC), the R-3 zone permits restaurants, provided that they are an integral part of a hotel containing at least 20 guest rooms, with the approval of a Conditional Use Permit (CUP). In this case, the restaurant will be integral part of a hotel exceeding 20 guest rooms, and thus, the project conforms to this finding.

Pursuant to Section 92.04.01(D)(19) of the PSZC, the R-3 zone permits spas as an accessory use to a hotel with the approval of a CUP, if (1) the facility only serve hotel guests; (2) the hotel has a minimum of 15 rooms; (3) staff is licensed and trained in the particular programs provided in accordance with Chapter 5.34 of the Municipal Code; and (4) such facility shall comply with Chapter 5.34 of the Municipal Code. The project conforms to these criteria.

- b. *That the use is necessary or desirable for the development of the community, is in harmony with the various elements of objectives of the general plan, and is not detrimental to existing uses or to future uses*

*specifically permitted in the zone in which the proposed use is to be located.*

The adaptive re-use of these historic properties as a hotel with accessory commercial uses is necessary and desirable for the progress and development of the Historic Tennis Club Neighborhood and community at large, and will be consistent with the 2007 General Plan. The project will create a functional use within two long-vacant historic properties and be consistent with the city's policy to encourage and support projects that provide societal benefits, including historic preservation (General Plan Land Use Element, Policy LU 1.6). All of the existing historic Orchid Tree bungalows will be retained and contribute to the unique character of Palm Springs (General Plan Land Use Element, Policy LU 7.6). The project will also enhance the viability of the proposed hotel use, resulting in increased transit-occupancy tax for the city. Furthermore, given the re-use will likely be less intense at times than the previous church use and contained within the existing floor area, the proposal is not anticipated to be detrimental to existing uses or future uses specifically permitted in the R-3 zone.

- c. *That the site for the intended use is adequate in size and shape to accommodate such use, including yards, setbacks, walls or fences, landscaping, and other features required in order to adjust such use to those existing or permitted future uses of land in the neighborhood.*

The applicant proposes to renovate existing structures and construct new buildings on the 3.1-acre project site. The new structures will meet current development standards, such as yards, setbacks, height limits, etc., in order to integrate the proposed hotel and accessory commercial space with the existing historic structures and site surroundings. Therefore, the site is adequate in size and shape to accommodate the proposed uses and will be consistent with those existing or permitted future uses of land in the neighborhood.

- d. *That the site for the proposed use relates to streets and highways properly designed and improved to carry the type and quantity of traffic to be generated by the proposed use.*

The project site is located adjacent to Baristo Road and Cahuilla Road, and both are improved for two-way vehicle traffic, which is adequate to accommodate the type and quantity of traffic expected for the proposed uses. Sidewalk improvements are required along Cahuilla Road and will enhance pedestrian circulation around the site.

- e. *That the conditions to be imposed and shown on the approved site plan are deemed necessary to protect the public health, safety and general welfare and may include minor modification of the zone's property development standards.*

In order to ensure the protection of public health, safety and general welfare, a number of conditions are proposed and attached to the resolution as Exhibit "A".

### CONCLUSION:

The project is consistent with the land use policies of the General Plan and Zoning Code as conditioned in the draft resolution attached to this report. Staff is able to recommend findings necessary for approval of the proposed uses. On that basis, staff is recommending conditional approval of the project.

### ENVIRONMENTAL:

The proposed project is exempt from the California Environmental Quality Act (CEQA), as the proposal meets criteria under CEQA Guideline Sections 15331 (Historic Resource Restoration/Rehabilitation), 15302 (Replacement or Reconstruction) and 15332 (Infill Development).

The project qualifies for exemption under CEQA Guidelines Section 15331, Historic Resource Restoration/Rehabilitation, insofar as the bungalows, stone arch and community church located on the property have been determined to be Class 1 resources of local significance. The rehabilitation and restoration of these structures will repair, stabilize, rehabilitate, conserve and reconstruct the bungalows, stone arch and church building on site, in a manner consistent with the Secretary of the Interior's Standards, as follows:

- i. The property will be partially used as it was historically and be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. The project involves the reuse of the bungalows as hotel units and adaptive reuse of the church as hotel operations, restaurant and spa uses.
- ii. The historic character of the bungalows will be retained and preserved. In this case, the 10 single story, rectangularly distributed bungalows surrounding a central pool and courtyard will be preserved. The community church will retain its historic footprint and preserve open space areas that previously existed on this portion of the project site.
- iii. The property will be recognized as a physical record of its time, place and use, because the rehabilitation will be undertaken with similar and complementary materials that are consistent with the original materials and character of the historic properties.
- iv. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved. The bungalows will retain hand troweled stucco, roof tile and awnings that characterize the craftsmanship of the bungalows. The stone arch will be relocated on-site by a stone specialist, under the supervision of a qualified consultant meeting the Secretary of Interior's Professional Qualifications Standards in Architectural History or Historic Architecture, to ensure its distinctive craftsmanship is preserved. The church will retain its historical character, including bell-tower and steeple, orientation to Baristo and Cahuilla Roads, same roof forms/slopes with

replaced materials, existing concrete masonry walls, pointed arch door and window openings, wood doors, steel sash windows and French doors, Gothic Revival elements (buttresses and decorative stonework) and courtyard facing west.

- v. Deteriorated features of the structures will be repaired or replaced. Where replaced, the materials, finishes and construction techniques will preserve the character of the features.
- vi. New additions, including the buildings located to the north, will not destroy or damage or destroy the bungalows, stone arch or church structures. The placement of the new construction will not affect the spatial relationship of the bungalows, and the architectural style, material and relationship of the new construction will be compatible with the bungalows, stone arch and community church.
- vii. The new construction on the site will occur in such a manner that if they were to be removed, the essential elements of the bungalows – their distribution around a central pool and courtyard – will not be impacted. Similarly, the essential elements of the church site with open air courtyard and orientation towards the streets will not be impacted.

The project qualifies for exemption under CEQA Guidelines Section 15302, Replacement or Reconstruction, as the newly constructed hotel buildings replace commercial structures that previously existed on the site. The new construction on the site represents the replacement of units previously occurring on the property, but destroyed by fire. Because these units occurred in the past, their reconstruction will not result in any changes in traffic, noise, air quality emissions or other impacts, since the number of units and intensity of use will be similar to that previously occurring.

The project qualifies for exemption under CEQA Guidelines Section 15332, Infill Development, insofar as the project meets the following criteria:

- i. The project is generally consistent with the applicable general plan designation and all applicable general plan policies, including
  - Land Use Element – Policy LU1.5: Allow for flexible development standards provided that the potential benefits and merit of projects can be balanced with potential impacts.
  - Land Use Element – Policy LU7.6: Retain small hotel uses as a part of the unique character of Palm Springs.
  - Land Use Element – Policy LU10.6: Strengthen the unique sense of place currently present in Downtown by preserving and incorporating cultural and historic uses.
  - Community Design Element – Policy CD27.1: Design new structures in architectural styles that reflect the City's diversity and creativity yet are compatible in scale and character with the City's existing buildings and natural surroundings.
  - Community Design Element – Policy CD28.1: Support the preservation of historically, architecturally, or archaeologically significant structures and sites as prescribed by the Historic Preservation Ordinance.



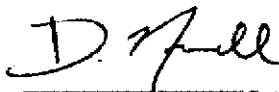
- Community Design Element – Policy CD28.6: Require that new construction in designated architectural/historical/cultural districts complement the existing historic structures and open space characteristics such that the new construction does not imitate or copy the style of the historic structures.
- Community Design Element – Policy CD28.7: Encourage developers of sites containing a significant architectural, historical or cultural structure to adaptively reuse and expand it, in lieu of demolition and replacement, where financially feasible.

The project is consistent with the “R-3” zoning designation and regulations as outlined in this report.

- ii. The development occurs within the city limits on a project site of no more than five acres substantially surrounded by urban uses.
- iii. The project site has no value as habitat for endangered, rare or threatened species.
- iv. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- v. The site can be adequately served by all required utilities and public services.

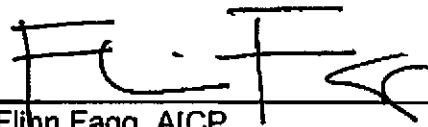
**NOTIFICATION:**

A public hearing notice was published in the local newspaper and mailed to all property owners and registered occupants within a 500-foot radius of the subject property. As of the writing of this report, staff has not received any public correspondence.



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David A. Newell  
Associate Planner



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Flihn Fagg, AICP  
Director of Planning Services

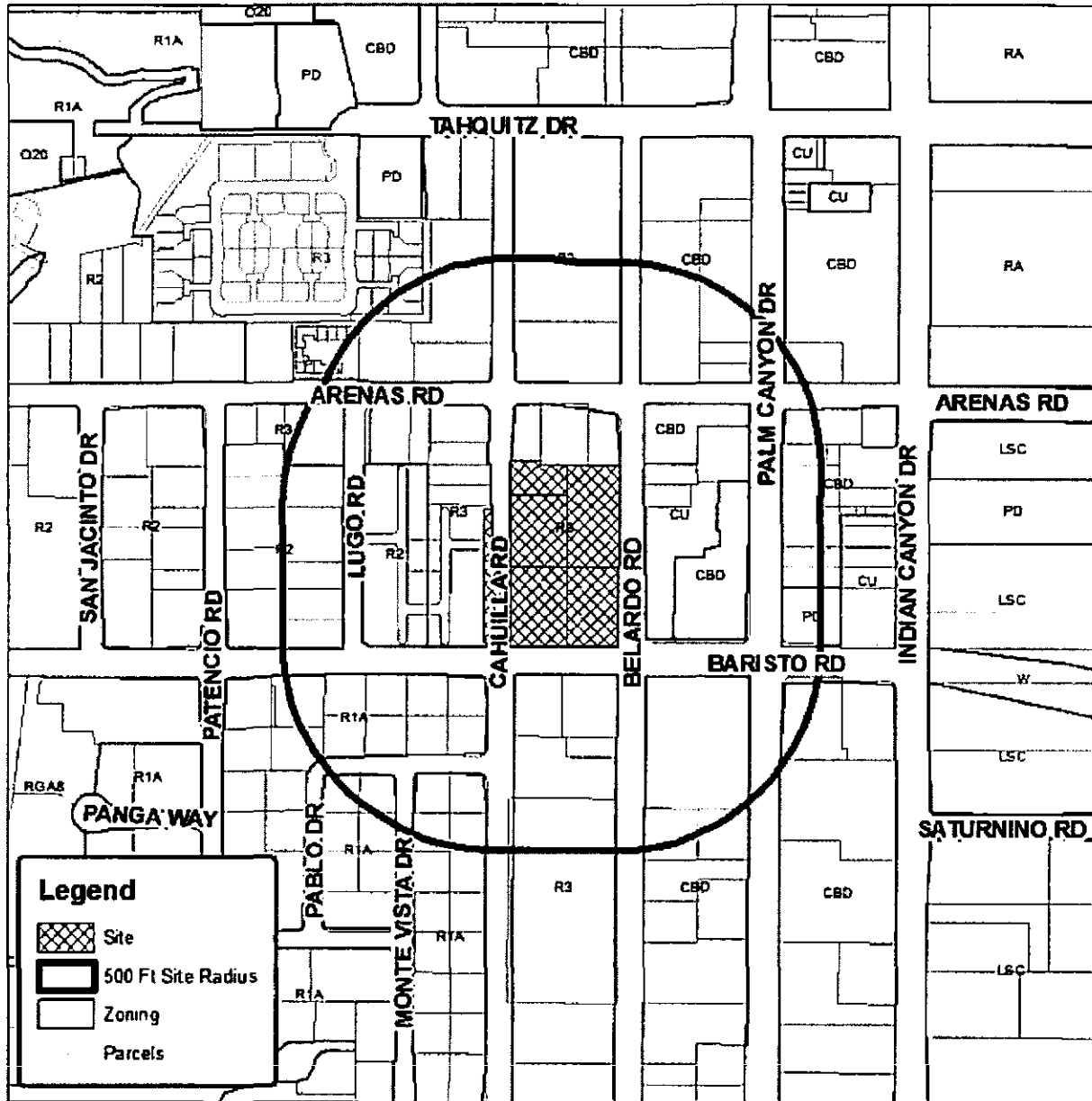
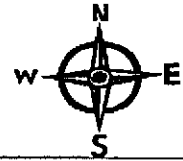
**Attachments:**

1. Vicinity map
2. Draft resolution with conditions
3. Downtown Urban Design Plan (excerpts)
4. AAC Minutes of October 3, 2016 (excerpt)
5. Planning Commission Minutes of Mar. 9, 2016 and Nov. 18, 2015 (excerpts)
6. Marsh & Associates Letter
7. Chattel, Inc. Memorandum
8. Public Correspondence
9. Plan exhibits





# Attachment 1



# Department of Planning Services Vicinity Map



**Legend**

-  Site
-  500 Ft Site Radius
-  Zoning
-  Parcels

## CITY OF PALM SPRINGS

**CASE NO:** Amendment to 5.1345 CUP, HSPB 23, HSPB 72 and 3.0678 MAJ.

**APPLICANT:** New Church II, LLC

**ADDRESS:** 222 S. Cahuilla Road

# Attachment 2

## RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING AN AMENDMENT TO CASE NOS. 5.1345 CUP, 3.0678 MAA, HSPB 23 AND HSPB 72 FOR THE ADAPTIVE RE-USE OF EXISTING HISTORIC STRUCTURES AND CONSTRUCTION OF NEW HOTEL BUILDINGS TO OPERATE A 3.1-ACRE SITE AS A HOTEL WITH RESTAURANT AND SPA USES LOCATED AT 222 S. CAHUILLA ROAD.

### THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

A. New Church II, LLC submitted applications pursuant to Palm Springs Zoning Code Section 94.04.00 (Architectural Review, Case 3.0678 MAJ) and Palm Springs Municipal Code 8.05 (Historic Preservation, Case HSPB 72), to renovate and modify existing buildings and construct new hotel buildings for the operation of a hotel with no more than 52-rooms on a 2.13-acre site located at the northwest corner of Baristo Road and Belardo Road, previously addressed as 220 and 248 South Cahuilla Road, 231 and 261 South Belardo Road, and 226 West Baristo Road, Zone R-3. On November 18, 2015, the Planning Commission approved this request, subject to conditions, by Resolution No. 6539.

B. Cahuilla Church, LLC submitted applications pursuant to Palm Springs Zoning Code Section 94.04.00 (Architectural Review, Case 3.3932 MAA), Section 94.02.00 (Conditional Use Permit, Case 5.1345 CUP) and Palm Springs Municipal Code 8.05 (Historic Preservation, Case HSPB 23), to renovate and adaptively re-use the Community Church site as a 12-room hotel with spa and restaurant uses on the 0.78-acre site located at 284 S. Cahuilla Road, Zone R-3. On March 9, 2016, the Planning Commission approved this request, subject to conditions, by Resolution No. 6561.

C. New Church II, LLC ("Applicant") submitted applications pursuant to Palm Springs Zoning Code Section 94.04.00 (Architectural Review), Section 94.02.00 (Conditional Use Permit) and Palm Springs Municipal Code 8.05, seeking an amendment to the aforementioned approvals to combine the properties, relocate the hotel rooms, reconfigure uses within the project site, renovate historic properties (HSPB 23 and HSPB 72) and demolish and reconstruct hotel buildings to operate a hotel with restaurant and spa facilities on an overall 3.1-acre site located at 222 South Cahuilla Road, Zone R-3 ("Amendment" to Case Nos. 5.1345 CUP, 3.0678 MAJ and HSPB 23).

D. On October 3, 2016, the Amendment was reviewed by the Architectural Advisory Committee, which voted to recommend approval as presented.

E. On November 8, 2016, the Amendment was reviewed by the Historic Site Preservation Board, which voted to approve the Amendment and issue a certificate of approval to modify the Class 1 historic sites (HSPB 23 and HSPB 72).

F. Notice of a public hearing of the Planning Commission of the City of Palm Springs, California to consider the Amendment was given in accordance with applicable law.

G. On November 9, 2016, a public hearing of the Planning Commission of the City of Palm Springs, California was held in accordance with applicable law.

H. The Planning Commission carefully reviewed and considered all of the evidence presented in connection with the hearing on the project, including, but not limited to, the staff report, and all written and oral testimony presented.

I. Pursuant to the California Environmental Quality Act (CEQA), the proposed development has been determined to be a project under the guidelines of CEQA.

J. Pursuant to Section 94.04.00(D) of the Palm Springs Zoning Code, the Planning Commission finds:

The Planning Commission has examined the material submitted with the architectural approval application and has examined specific aspects of the design and determined the proposed development will (1) provide desirable environment for its occupants; (2) is compatible with the character of adjacent and surrounding developments, and (3) aesthetically it is of good composition, materials, textures and colors. Planning Commission's evaluation is based on consideration of the following:

Item	Guideline:	Conforms?	Evaluation:
1	Does the proposed development provide a desirable environment for its occupants?	Yes	The project provides amenities common of a resort hotel with restaurant, event space and recreation areas. The renovation of historic structures retains the site charm and history, while modernizing for a desirable attraction.
2	Is the proposed development compatible with the character of adjacent and surrounding developments?	Yes	The project is compatible with the existing development in the surrounding areas. Structures of varied heights are located within surroundings.
3	Is the proposed development of good composition, materials, textures, and colors?	Yes	The project architecture includes eclectic contemporary-Spanish design with a variety of materials. Rhythmic textures and patterns create visual interest on the new structures. Existing materials on historic structures will be maintained.
4	Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas	Yes	Half of the site layout is pre-existing with historic structures. The northerly half layout will center around a pool area and event space. Building separation is provided. Pedestrian and vehicular spaces are clearly defined.

5	Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood / community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted	Yes	The proposed land use is consistent with other uses in the surroundings and vicinity. The proposal respects the existing historic structures while integrating a new hotel building and banquet space.  Proposed land uses and densities generally reflect existing developments in the Small Hotel Resort Commercial and surrounding historic tennis club.
6	Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment	Yes	The proposed structures are consistent with zoning code height limitations and setbacks.  All rooftop mechanical units will be screened.
7	Building design, materials and colors to be sympathetic with desert surroundings	Yes	Building designs incorporate stucco, red brick molding/cornice detailing and window awnings.
8	Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously	Yes	Awnings and building overhangs are shown over windows and doors for solar control. Low planter walls, roof variation and detailing, and window treatments create a harmony of composition.
9	Consistency of composition and treatment	Yes	Proposed building elevations include a variety of building materials and shapes that are crafted to create a unique contemporary design.
10	Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials	Yes	The proposed landscape plans are not available and will return to AAC for review.

K. Pursuant to Section 94.02.00 of the Palm Springs Zoning Code, the Planning Commission finds:

- 1) *That the use applied for at the location set forth in the application is properly one for which a conditional use permit is authorized by this Zoning Code.*

Pursuant to Section 92.04.01(D)(16) of the Palm Springs Zoning Code (PSZC), the R-3 zone permits restaurants, provided that they are an integral part of a hotel containing at least 20 guest rooms, with the approval of a Conditional Use Permit (CUP). In this case, the restaurant will be integral part of a hotel exceeding 20 guest rooms, and thus, the project conforms to this finding.

Pursuant to Section 92.04.01(D)(19) of the PSZC, the R-3 zone permits spas as an accessory use to a hotel with the approval of a CUP, if (1) the facility only serve hotel guests; (2) the hotel has a minimum of 15 rooms; (3) staff is licensed and trained in the particular programs provided in accordance with Chapter 5.34 of the Municipal Code; and (4) such facility shall comply with Chapter 5.34 of the Municipal Code. The project conforms to these criteria.

- 2) *That the use is necessary or desirable for the development of the community, is in harmony with the various elements of objectives of the general plan, and is not detrimental to existing uses or to future uses specifically permitted in the zone in which the proposed use is to be located.*

The adaptive re-use of these historic properties as a hotel with accessory commercial uses is necessary and desirable for the progress and development of the Historic Tennis Club Neighborhood and community at large, and will be consistent with the 2007 General Plan. The project will create a functional use within two long-vacant historic properties and be consistent with the city's policy to encourage and support projects that provide societal benefits, including historic preservation (General Plan Land Use Element, Policy LU 1.6). All of the existing historic Orchid Tree bungalows will be retained and contribute to the unique character of Palm Springs (General Plan Land Use Element, Policy LU 7.6). The project will also enhance the viability of the proposed hotel use, resulting in increased transit-occupancy tax for the city. Furthermore, given the re-use will likely be less intense at times than the previous church use and contained within the existing floor area, the proposal is not anticipated to be detrimental to existing uses or future uses specifically permitted in the R-3 zone.

- 3) *That the site for the intended use is adequate in size and shape to accommodate such use, including yards, setbacks, walls or fences, landscaping, and other features required in order to adjust such use to those existing or permitted future uses of land in the neighborhood.*

The applicant proposes to renovate existing structures and construct new buildings on the 3.1-acre project site. The new structures will meet current development standards, such as yards, setbacks, height limits, etc., in order to integrate the proposed hotel and accessory commercial space with the existing historic structures and site surroundings. Therefore, the site is adequate in size and shape to accommodate the proposed uses and will be consistent with those existing or permitted future uses of land in the neighborhood.

- 4) *That the site for the proposed use relates to streets and highways properly designed and improved to carry the type and quantity of traffic to be generated by the proposed use.*



The project site is located adjacent to Baristo Road and Cahuilla Road, and both are improved for two-way vehicle traffic, which is adequate to accommodate the type and quantity of traffic expected for the proposed uses. Sidewalk improvements are required along Cahuilla Road and will enhance pedestrian circulation around the site.

- 5) *That the conditions to be imposed and shown on the approved site plan are deemed necessary to protect the public health, safety and general welfare and may include minor modification of the zone's property development standards.*

In order to ensure the protection of public health, safety and general welfare, a number of conditions are proposed and attached to the resolution as Exhibit "A".

**THE PLANNING COMMISSION RESOLVES:**

**SECTION 1.** The Amendment is a project under CEQA and is exempt from further environmental review. In making this determination, the City finds that:

1. The proposed project is exempt from the California Environmental Quality Act (CEQA), as the proposal meets criteria under CEQA Guideline Sections 15331 (Historic Resource Restoration/Rehabilitation), 15302 (Replacement or Reconstruction) and 15332 (Infill Development) as follows:
  - a. The project qualifies for exemption under CEQA Guidelines Section 15331, Historic Resource Restoration/Rehabilitation, insofar as the bungalows, stone arch and community church located on the property have been determined to be Class 1 resources of local significance. The rehabilitation and restoration of these structures will repair, stabilize, rehabilitate, conserve and reconstruct the bungalows, stone arch and church building on site, in a manner consistent with the Secretary of the Interior's Standards, as follows:
    - i. The property will be partially used as it was historically and be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. The project involves the reuse of the bungalows as hotel units and adaptive reuse of the church as hotel operations, restaurant and spa uses.
    - ii. The historic character of the bungalows will be retained and preserved. In this case, the 10 single story, rectangularly distributed bungalows surrounding a central pool and courtyard will be preserved. The community church will retain its historic footprint and preserve open space areas that previously existed on this portion of the project site.
    - iii. The property will be recognized as a physical record of its time, place and use, because the rehabilitation will be undertaken with

- similar and complementary materials that are consistent with the original materials and character of the historic properties.
- iv. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved. The bungalows will retain hand troweled stucco, roof tile and awnings that characterize the craftsmanship of the bungalows. The stone arch will be relocated on-site by a stone specialist, under the supervision of a qualified consultant meeting the Secretary of Interior's Professional Qualifications Standards in Architectural History or Historic Architecture, to ensure its distinctive craftsmanship is preserved. The church will retain its historical character, including bell-tower and steeple, orientation to Baristo and Cahuilla Roads, same roof forms/slopes with replaced materials, existing concrete masonry walls, pointed arch door and window openings, wood doors, steel sash windows and French doors, Gothic Revival elements (buttresses and decorative stonework) and courtyard facing west.
  - v. Deteriorated features of the structures will be repaired or replaced. Where replaced, the materials, finishes and construction techniques will preserve the character of the features.
  - vi. New additions, including the buildings located to the north, will not destroy or damage or destroy the bungalows, stone arch or church structures. The placement of the new construction will not affect the spatial relationship of the bungalows, and the architectural style, material and relationship of the new construction will be compatible with the bungalows, stone arch and community church.
  - vii. The new construction on the site will occur in such a manner that if they were to be removed, the essential elements of the bungalows – their distribution around a central pool and courtyard – will not be impacted. Similarly, the essential elements of the church site with open air courtyard and orientation towards the streets will not be impacted.
- b. The project qualifies for exemption under CEQA Guidelines Section 15302, Replacement or Reconstruction, as the newly constructed hotel buildings replace commercial structures that previously existed on the site. The new construction on the site represents the replacement of units previously occurring on the property, but destroyed by fire. Because these units occurred in the past, their reconstruction will not result in any changes in traffic, noise, air quality emissions or other impacts, since the number of units and intensity of use will be similar to that previously occurring.
  - c. The project qualifies for exemption under CEQA Guidelines Section 15332, Infill Development, insofar as the project meets the following criteria:
    - i. The project is generally consistent with the applicable general plan

designation and all applicable general plan policies, including:

- Land Use Element – Policy LU1.5: Allow for flexible development standards provided that the potential benefits and merit of projects can be balanced with potential impacts.
- Land Use Element – Policy LU7.6: Retain small hotel uses as a part of the unique character of Palm Springs.
- Land Use Element – Policy LU10.6: Strengthen the unique sense of place currently present in Downtown by preserving and incorporating cultural and historic uses.
- Community Design Element – Policy CD27.1: Design new structures in architectural styles that reflect the City's diversity and creativity yet are compatible in scale and character with the City's existing buildings and natural surroundings.
- Community Design Element – Policy CD28.1: Support the preservation of historically, architecturally, or archaeologically significant structures and sites as prescribed by the Historic Preservation Ordinance.
- Community Design Element – Policy CD28.6: Require that new construction in designated architectural/historical/cultural districts complement the existing historic structures and open space characteristics such that the new construction does not imitate or copy the style of the historic structures.
- Community Design Element – Policy CD28.7: Encourage developers of sites containing a significant architectural, historical or cultural structure to adaptively reuse and expand it, in lieu of demolition and replacement, where financially feasible.

The project is consistent with the "R-3" zoning designation and regulations as outlined in the staff report.

- ii. The development occurs within the city limits on a project site of no more than five acres substantially surrounded by urban uses.
- iii. The project site has no value as habitat for endangered, rare or threatened species.
- iv. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- v. The site can be adequately served by all required utilities and public services.

**SECTION 2.** Based upon the foregoing, the Planning Commission hereby approves the Amendment to Case Nos. 5.1345 CUP, 3.0678 MAJ, HSPB 23 and HSPB 72, for the rehabilitation of two Class 1 Historic Site and demolition and reconstruction of hotel buildings on adjacent properties to operate a hotel with accessory spa and restaurant facilities on a 3.1-acre site located at 284 S. Cahuilla Road, subject to those conditions set forth in the attached Exhibit A, which are to be satisfied unless otherwise specified.

ADOPTED this 9th day of November, 2016.

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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Flinn Fagg, AICP  
Director of Planning Services

RESOLUTION NO. \_\_\_\_\_

**EXHIBIT A**

Amendment to Case Nos. 5.1345 CUP, 3.0678 MAJ, HSPB 23 & HSPB 72  
New Church II, LLC  
Northeast corner of Cahuilla Road and Baristo Road

November 9, 2016

**CONDITIONS OF APPROVAL**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

**ADMINISTRATIVE CONDITIONS**

- ADM 1. Project Description. This approval is for the project described per Case 5.1345 CUP, 3.0678 MAJ, HSPB 23 and HSPB 72, except as modified by the conditions below.
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped October 19, 2016, including site plans, architectural elevations, exterior materials and colors, and grading on file in the Planning Services Department, except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning this Amendment to Case Nos. 5.1345 CUP, 3.0678 MAJ,

HSPB 23 and HSPB 72. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.

ADM 7. Time Limit on Approval. Approval of the Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.

Approval of this Conditional Use Permit shall be valid for a period of two (2) years from the effective date of the approval. Once constructed, the Conditional Use Permit, provided the project has remained in compliance with all conditions of approval, does not have a time limit.

ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.

ADM 9. Public Art Fees. This project shall be subject to Chapters 2.24 and 3.37 of the Municipal Code regarding public art. The project shall either provide public art or payment of an in lieu fee. In the case of the in-lieu fee, the fee shall be based upon the total building permit valuation as calculated pursuant to the valuation table in the Uniform Building Code, the fee being 1/2% for commercial projects or 1/4% for residential projects with first \$100,000 of total

building permit valuation for individual single-family units exempt. Should the public art be located on the project site, said location shall be reviewed and approved by the Director of Planning and Zoning and the Public Arts Commission, and the property owner shall enter into a recorded agreement to maintain the art work and protect the public rights of access and viewing.

- ADM 10. Maintenance of Outdoor Seating/Dining. Daily cleaning of sidewalks for any outdoor seating areas or patios will be required. Contact Parks & Recreation at 760 323 8281 for information regarding the proper method of cleaning of sidewalks and pavers within the public rights-of-way.
- ADM 11. Cause No Disturbance. The owner shall monitor outdoor parking areas, walkways, and adjoining properties and shall take all necessary measures to ensure that customers do not loiter, create noise, litter, or cause any disturbances while on-site.
- ADM 12. Grounds for Revocation. Non-compliance with any of the conditions of this approval or with City codes and ordinances, State laws; any valid citizen complaints or policing and safety problems (not limited to excessive alcohol consumption, noise, disturbances, signs, etc) regarding the operation of the establishment; as determined by the Chief of Policy or the Director of Building and Safety, may result in proceedings to revoke the Conditional Use Permit. In addition, violations of the City Codes and Ordinances will result in enforcement actions which may include citations, arrest, temporary business closure, or revocation of this permit in accordance with law.
- ADM 13. Comply with City Noise Ordinance. This use shall comply with the provisions of Section 11.74 Noise Ordinance of the Palm Springs Municipal Code. Violations may result in revocation of this Conditional Use Permit.
- ADM 14. Seating Count. The applicant shall be limited to the total number of seats as follows: a maximum of 132 seats for the proposed restaurant, including both interior and exterior seating. Any deviation from these numbers shall require an amendment to this CUP. The applicant shall maintain the minimum clearance as specified by the Fire Department between the front entrance and the outdoor tables and chairs.
- ADM 15. Conditional Use Permit Availability. The applicant shall provide a copy of this Conditional Use Permit to all buyers and potential buyers.
- ADM 16. Spa Uses subject to PSMC 5.34 (Massage Establishments). The spa uses approved under the subject CUP must conform to the requirements of the Palm Springs Municipal Code Section 5.34 (Massage Establishments).
- ADM 17. Exterior Modifications. All exterior changes are subject to review and approval, pursuant to Chapter 8.60 of the Palm Springs Municipal Code.

## ENVIRONMENTAL ASSESSMENT CONDITIONS

ENV 1. Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA); therefore, an administrative fee of \$50 shall be submitted by the applicant in the form of a money order or a cashier's check payable to the Riverside County Clerk within two business days of the Commission's final action on the project. This fee shall be submitted by the City to the County Clerk with the Notice of Exemption. Action on this application shall not be considered final until such fee is paid.

## PLANNING DEPARTMENT CONDITIONS

PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.

PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.

PLN 3. Review of Additional Materials. Prior to issuance of building permit, the applicant shall submit the following for review by AAC and HSPB:

- a. Submittal of landscape plan and lighting plan for review and approval of AAC and HSPB, prior to the issuance of a building permit. (Comment: would like to see variation in the height of the palm trees, taller palm trees to enhance the architecture).
- b. Submittal of revised details for the entry porch on the north façade of the building for review and approval of AAC prior to issuance of a building permit.
- c. Submittal of hardscape design.
- d. Submittal of garden enclosure design (including block wall material/details, glazing details, and material/details of gates).



- e. Submittal of details for the infill materials of windows on the 2nd story of the north and east elevations.
  - f. Evaluate the relocation of ADA spaces from Baristo frontage to another acceptable location on site.
- PLN 4. Sign Applications Required. No signs are approved by this action. Separate approval and permits shall be required for all signs in accordance with Zoning Ordinance Section 93.20.00.
- PLN 5. Flat Roof Requirements. Roof materials on flat roofs (less than 2:12) must conform to California Title 24 thermal standards for "Cool Roofs". Such roofs must have a minimum initial thermal emittance of 0.75 or a minimum SRI of 64 and a three-year aged solar reflectance of 0.55 or greater. Only matte (non-specular) roofing is allowed in colors such as beige or tan.
- PLN 6. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 7. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.
- PLN 8. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 9. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 10. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 11. No off-site Parking. Vehicles associated with the operation of the proposed development including company vehicles or employees vehicles shall not be permitted to park off the proposed building site unless a parking management plan has been approved.
- PLN 12. Final Room Count. Unless otherwise determined by permit records, the total room count shall be 59 rooms, which includes the previously established number of rooms (47) for the Orchid Tree portion property and the number of rooms that would be permitted on the Community Church site.
- PLN 13. Land Use Permit required for Outdoor events. An outdoor event space is proposed for which the applicant may host events open to the community. A land use permit shall be submitted to the Director of Planning that includes a

parking specific plan demonstrating a satisfactory means of providing parking for the proposed events (e.g. valet parking, shuttles, etc.).

### **POLICE DEPARTMENT CONDITIONS**

POL 1. Developer shall comply with Section II of Chapter 8.04 "Building Security Codes" of the Palm Springs Municipal Code.

### **BUILDING DEPARTMENT CONDITIONS**

BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

### **ENGINEERING DEPARTMENT CONDITIONS**

#### **STREETS**

ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit.

ENG 2. Submit street improvement plans prepared by a registered California civil engineer to the Engineering Division. The plan(s) shall be approved by the City Engineer prior to issuance of any building permits.

#### **BELARDO ROAD**

ENG 3. Remove the existing curb and bay parking approach located 28 feet west of centerline and replace with a 6 inch curb and gutter located 20 feet west of centerline along the frontage with curb located at 28 feet from centerline in accordance with City of Palm Springs Standard Drawing No. 200.

ENG 4. Construct driveway approaches to accommodate bay parking stalls along the Belardo Road frontage in accordance with City of Palm Springs Standard Drawing No. 201. Bay parking stalls shall be located completely on-site, behind sidewalk, and not within public right-of-way.

ENG 5. Construct a 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210.

ENG 6. An accessible pedestrian path of travel shall be provided throughout the development, as may be required by applicable state and federal laws. An accessible path of travel shall be constructed of Portland cement concrete, unless alternative materials meeting state and federal accessibility standards is approved by the City Engineer.

- ENG 7. Remove and replace the existing curb ramp at the Northwest corner of Belardo Road and Baristo Road. Construct a Type A curb ramp meeting current California State Accessibility standard in accordance with City of Palm Springs Standard Drawing No. 212.
- ENG 8. The minimum pavement section shall be 3 inches of asphalt concrete pavement over 6 inches of crushed miscellaneous base.
- ENG 9. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.

#### BARISTO ROAD

- ENG 10. Remove the existing curb and construct driveway approach(es) to accommodate bay parking stalls along the Baristo Road frontage in accordance with City of Palm Springs Standard Drawing No. 201. Bay parking stalls shall be located completely on-site, behind sidewalk, and not within public right-of-way.
- ENG 11. Construct a 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210.
- ENG 12. Construct a Type A curb ramp meeting current California State Accessibility standards at the northeast corner of the intersection of Baristo Road and Cahuilla Road in accordance with City of Palm Springs Standard Drawing No. 212.
- ENG 13. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

#### CAHUILLA ROAD

- ENG 14. Construct a 6 inch curb and gutter 18 feet east of centerline along the entire frontage, with a 25 feet radius curb return at the northeast corner of the intersection of Cahuilla Road and Belardo Road in accordance with City of Palm Springs Standard Drawing No. 200 and 206.
- ENG 15. Construct driveway approach(es) to accommodate bay parking stalls along the Cahuilla Road frontage(s) in accordance with City of Palm Springs Standard Drawing No. 201. Bay parking stalls shall be located completely on-site, behind sidewalk, and not within public right-of-way.
- ENG 16. Construct a 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210.

- ENG 17. An accessible pedestrian path of travel shall be provided throughout the development, as may be required by applicable state and federal laws. An accessible path of travel shall be constructed of Portland cement concrete, unless alternative materials meeting state and federal accessibility standards is approved by the City Engineer.
- ENG 18. Construct pavement with a minimum pavement section of 2 ½ inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, from edge of proposed gutter to clean sawcut edge of pavement along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 110. (Additional pavement removal and replacement may be required upon review of existing pavement cross-sections, and to ensure grade breaks of the pavement cross-section do not occur within a travel lane.) If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.
- ENG 19. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.
- ENG 20. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

#### ON-SITE PARKING

- ENG 21. Construct driveway approaches to accommodate access to the on-site bay parking, proposed driveway locations are on Cahuilla Road and Belardo Road in accordance with City of Palm Springs Standard Drawing No. 201.
- ENG 22. The minimum pavement section for all on-site pavement (drive aisles, parking spaces) shall be 2-1/2 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal. If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.

#### SANITARY SEWER

- ENG 23. All sanitary facilities shall be connected to the public sewer system (via the proposed on-site private sewer system). New laterals shall not be connected at manholes.

## GRADING

- ENG 24. Submit a Precise Grading Plan prepared by a California registered Civil engineer to the Engineering Division for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.
- a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Division for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Division with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Division prior to approval of the Grading plan.
  - b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of the Soils Report.
- ENG 25. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed at the limits of grading and/or disturbed areas. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.

- ENG 26. (Temporary dust control) perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 27. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 28. A Notice of Intent (NOI) to comply with the California General Construction Stormwater Permit (Water Quality Order 2009-0009-DWQ as modified September 2, 2009) is required for the proposed development via the California Regional Water Quality Control Board online SMARTS system. A copy of the executed letter issuing a Waste Discharge Identification (WDID) number shall be provided to the City Engineer prior to issuance of a grading or building permit.
- ENG 29. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of two thousand dollars (\$2,000.00) per disturbed acre (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 30. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Division with the first submittal of a grading plan.
- ENG 31. In cooperation with the Riverside County Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 73-710 Fred Waring Drive, Palm Desert (Phone: 760-776-8208).

## WATER QUALITY MANAGEMENT PLAN

ENG 32. This project shall be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating contaminated stormwater and non-stormwater runoff, shall be required by regulations imposed by the RWQCB. It shall be the applicant's responsibility to design and install appropriate BMP's, in accordance with the NPDES Permit, that effectively intercept and pre-treat contaminated stormwater and non-stormwater runoff from the project site, prior to release to the City's municipal separate storm sewer system ("MS4"), to the satisfaction of the City Engineer and the RWQCB. Such measures shall be designed and installed on-site; and provisions for perpetual maintenance of the measures shall be provided to the satisfaction of the City Engineer, including provisions in Covenants, Conditions, and Restrictions (CC&R's) required for the development (if any).

ENG 33. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a grading or building permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from within the underground parking garage and the on-site private drive aisles. Direct release of nuisance water to adjacent public streets is prohibited. Construction of operational BMP's shall be incorporated into the Precise Grading and Paving Plan.

- a. Prior to issuance of any grading or building permits, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement the approved Final Project-Specific Water Quality Management Plan (WQMP). Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include: requiring the implementation of the Final Project-Specific WQMP in Home Owners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&Rs); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to issuance of any grading or building permits.

- b. Prior to issuance of certificate of occupancy or final City approvals (OR of "final" approval by City), the applicant shall: (a) demonstrate that all structural BMP's have been constructed and installed in conformance with approved plans and specifications; (b) demonstrate that applicant is prepared to implement all non-structural BMP's included in the approved Final Project-Specific WQMP, conditions of approval, or grading/building permit conditions; and (c) demonstrate that an adequate number of copies of the approved Final Project-Specific WQMP are available for the future owners (where applicable).

## DRAINAGE

- ENG 34. Direct release of on-site nuisance water or stormwater runoff shall not be permitted to adjacent streets. Provisions for the interception of nuisance water from entering adjacent public streets from the project site shall be provided through the use of a minor storm drain system that collects and conveys nuisance water to landscape or parkway areas, and in only a stormwater runoff condition, pass runoff directly to the streets through parkway or under sidewalk drains.
- ENG 35. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$ 9212.00 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

## GENERAL

- ENG 36. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115. The developer shall be responsible for removing, grinding, paving and/or overlaying existing asphalt concrete pavement of off-site streets as required by and at the discretion of the City Engineer, including additional pavement repairs to pavement repairs made by utility companies for utilities installed for the benefit of the proposed development (i.e. Desert Water Agency, Southern California Edison, Southern California Gas Company, Time Warner, Verizon, Mission Springs Water District, etc.). Multiple excavations, trenches, and other street cuts within existing asphalt concrete pavement of off-site streets required by the proposed development may require complete grinding and asphalt concrete overlay of the affected off-site streets, at the discretion of the City Engineer. The pavement condition of the existing off-site streets



shall be returned to a condition equal to or better than existed prior to construction of the proposed development.

**ENG 37.** All proposed utility lines shall be installed underground.

**ENG 38.** In accordance with Chapter 8.04.401 of the City of Palm Springs Municipal Code, all existing and proposed electrical lines of thirty-five thousand volts or less and overhead service drop conductors, and all gas, telephone, television cable service, and similar service wires or lines, which are on-site, abutting, and/or transecting, shall be installed underground unless specific restrictions are shown in General Orders 95 and 128 of the California Public Utilities Commission, and service requirements published by the utilities. The existing overhead utilities across the west property line meet the requirement to be installed underground. The applicant is advised to investigate the nature of these utilities, the availability of undergrounding these utilities with respect to adjacent and off-site properties, and to present its case for a waiver of the Municipal Code requirement, if appropriate, to the Planning Commission and/or City Council as part of its review and approval of this project.

a. If utility undergrounding is deferred in accordance with specific direction by the Planning Commission and/or City Council, the record property owner shall enter into a covenant agreeing to underground all of the existing overhead utilities required by the Municipal Code in the future upon request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner and submitted to the City Engineer prior to issuance of a grading permit. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the developer prior to issuance of any grading or building permits.

**ENG 39.** All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.

**ENG 40.** Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.

- ENG 41. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Division prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 42. Nothing shall be constructed or planted in the corner cut-off area of any (intersection or) driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 43. The existing parcels identified as Lots 7, 8, 9, 10, 11, 12, 13, 14, 15, 20, 21, 22, 23, 24 and portion of Lots 1 and 2 of the Townsite of Palm Springs map, Map Book 9, Page 432, shall be merged. An application for a parcel merger shall be submitted to the Engineering Division for review and approval. A copy of a current title report and copies of record documents shall be submitted with the application for the parcel merger. The application shall be submitted to and approved by the City Engineer prior to issuance of building permit.
- ENG 44. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.

#### TRAFFIC

- ENG 45. A minimum of 48 inches of clearance for accessibility shall be provided on public sidewalks or pedestrian paths of travel within the development.
- ENG 46. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and street lights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.
- ENG 47. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (MUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.
- ENG 48. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

## FIRE DEPARTMENT CONDITIONS

These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review.

**FID 1** These conditions are subject to final plan check and review. Initial fire department conditions have been determined from plans stamped received November 2, 2015 and January 25, 2016. Additional requirements may be required at that time based on revisions to site plans.

**FID 2** Fire Department Conditions were based on the *2013 California Fire Code* as adopted by City of Palm Springs, Palm Springs Municipal Code and latest adopted NFPA Standards.

**FID 3 Plans and Permits (CFC 105.1):**

Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of four (4) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals (four sets). All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

**FID 4 Conditions of Approval** – Conditions of Approval received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

**FID 5 Buildings and Facilities (CFC 503.1.1):** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building

hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

**Project Note:** Type I Standpipes required within the interior of the facility to meet the above 150 foot rule.

**FID 6 Surface (CFC 503.2.3):** Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus (73,000 lbs. GVW) and shall be surfaced so as to provide all-weather driving capabilities.

**FID 7 Key Box Required to be Installed (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be flush mount type and shall contain keys to gain necessary access as required by the fire code official.

Secured emergency access gates serving apartment, town home or condominium complex courtyards must provide a key box in addition to association or facility locks. The nominal height of Knox lock box installations shall be 5 feet above grade. Location and installation of Knox key boxes must be approved by the fire code official.

- **Key Box Contents (CFC 506.1):** The Knox key box shall contain keys to all areas of ingress/egress, alarm rooms, fire sprinkler riser/equipment rooms, mechanical rooms, elevator rooms, elevator controls, plus a card containing the emergency contact people and phone numbers for the building/complex.

**FID 8 NFPA 13 Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13, 2013 Edition, as modified by local ordinance.

**Project Note:** NFPA 13 fire sprinkler system required in all non-residential buildings.

**Project Note:** Type I Standpipes required.

**FID 9 NFPA 13R Fire Sprinklers Required:** An automatic fire sprinkler system is

required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13R, 2013 Edition, as modified by local ordinance.

**Project Note:** Existing bungalows exempt.

FID 10 **Fire Alarm System Group R-1 (CFC 907.2.8):** Fire alarm systems and smoke alarms shall be installed in Group R-1 occupancies as required in Sections 907.2.8.1 through 907.2.8.3.

**907.2.8.1 Manual fire alarm system.** A manual fire alarm system that activates the occupant notification system in accordance with Section 907.5 shall be installed in Group R-1 occupancies.

**Exceptions:**

1. A manual fire alarm system is not required in buildings not more than two stories in height where all individual sleeping units and contiguous attic and crawl spaces to those units are separated from each other and public or common areas by at least 1-hour fire partitions and each individual sleeping unit has an exit directly to a public way, egress court or yard.

- **907.2.8.2 Automatic smoke detection system.** An automatic smoke detection system that activates the occupant notification system in accordance with Section 907.5 shall be installed throughout all interior corridors serving sleeping units.

**Exception:** An automatic smoke detection system is not required in buildings that do not have interior corridors serving sleeping units and where each sleeping unit has a means of egress door opening directly to an exit or to an exterior exit access that leads directly to an exit.

- **907.2.8.3 Smoke alarms.** Single- and multiple-station smoke alarms shall be installed in accordance with Section 907.2.11.

FID 11 **Residential Smoke and Carbon Monoxide Alarms Installation (CFC 907.2.11.2/3/4; CRC R314 & R315; and California Health & Safety Code 17926):** Provide and install Residential Smoke and Carbon Monoxide Alarms. Alarms shall receive their primary power from the building wiring, and shall be equipped with a battery backup. In new construction, alterations, repairs and additions, smoke and carbon monoxide alarms shall be interconnected. The operation of any smoke alarm will cause all smoke alarms within the dwelling to sound. The operation of any carbon monoxide alarm will cause all carbon monoxide alarms within the dwelling to sound.

**FID 13 Fire Extinguisher Requirements (CFC 906):** Provide one 2-A:10-B:C portable fire extinguisher for every 75 feet of floor or grade travel distance for normal hazards. Show proposed extinguisher locations on the plans. Extinguishers shall be mounted in a visible, accessible location 3 to 5 feet above floor level. Preferred location is in the path of exit travel or near an exit door.

**FID 14 Elevator Emergency Operation (CFC 607.1):** Existing elevators with a travel distance of 25 feet or more shall comply with the requirements in Chapter 46. New elevators shall be provided with Phase I emergency recall operation and Phase II emergency in-car operation in accordance with California Code of Regulations, Title 8, Division 1, Chapter 4, Subchapter 6, Elevator Safety Orders and NFPA 72.

- **Elevator Keys (CFC 607.4):** Keys for the elevator car doors and fire-fighter service keys shall be kept in an approved location for immediate use by the fire department.
- **Elevator System Shunt Trip (CFC 607.5):** Where elevator hoistways or elevator machine rooms containing elevator control equipment are protected with automatic sprinklers, a means installed in accordance with NFPA 72, Section 21.4, Elevator Shutdown, shall be provided to disconnect automatically the main line power supply to the affected elevator prior to the application of water. This means shall not be self-resetting. The activation of sprinklers outside the hoistway or machine room shall not disconnect the main line power supply.
- **Fire Sprinklers at Bottom of Elevator Pit (NFPA 13: 8.15.5.1):** Sidewall spray sprinklers shall be installed at the bottom of each elevator hoistway not more than 2 feet above the floor of the pit.
- **Elevator Hoistways and Machine Rooms (NFPA 13: 8.15.5.3):** Automatic fire sprinklers shall be required in elevator machine rooms, elevator machinery spaces, control spaces, or hoistways of traction elevators.
- **Fire Sprinklers at the Top of Elevator Hoistways (NFPA 13: 8.15.5.6):** The sprinkler required at the top of the elevator hoistway by 8.15.5.5 shall not be required where the hoistway for passenger elevators is noncombustible or limited-combustible and the car enclosure materials meet the requirements of ASME A17.1, Safety Code for Elevators and Escalators.
- **Elevator Recall for Fire Fighters' Service with Automatic Fire Detection (NFPA 72: 21.3.3):** Unless otherwise required by the

authority having jurisdiction, only the elevator lobby, elevator hoistway, and elevator machine room smoke detectors, or other automatic fire detection as permitted by 21.3.9, shall be used to recall elevators for fire fighters' service.

- Exception: A water-flow switch shall be permitted to initiate elevator recall upon activation of a sprinkler installed at the bottom of the elevator hoistway (the elevator pit), provided the water-flow switch and pit sprinkler are installed on a separately valved sprinkler line dedicated solely for protecting the elevator pit, and the water-flow switch is provided without time-delay capability.
- **Elevator Recall with Fire Sprinkler in Elevator Pit (NFPA 72: 21.3.7):** When sprinklers are installed in elevator pits, automatic fire detection shall be installed to initiate elevator recall in accordance with 2.27.3.2.1(c) of ANSI/ASME A.17.1/CSA B44, Safety Code for Elevators and Escalators, and the following shall apply:
  - (1) Where sprinklers are located above the lowest level of recall, the fire detection device shall be located at the top of the hoistway.
  - (2) Where sprinklers are located in the bottom of the hoistway (the pit), fire detection device(s) shall be installed in the pit in accordance with Chapter 17.
  - (3) Outputs to the elevator controller(s) shall comply with 21.3.14.
- **Elevator Systems Automatic Detection (NFPA 72: 21.3.9):** If ambient conditions prohibit installation of automatic smoke detection, other automatic fire detection shall be permitted.
- **Detector Annunciation at the Building Fire Alarm Control Unit (NFPA 72: 21.3.10):** When actuated, any detector that has initiated fire fighters' recall shall also be annunciated at the building fire alarm control unit, or other fire alarm control unit as described in 21.3.2, and at required remote annunciators.

**FID 15 Elevator Stretcher Requirement (CBC 3002.4):** Elevators shall be designed to accommodate medical emergency service. The elevator(s) so designed shall accommodate the loading and transport of an ambulance gurney or stretcher 24 inches by 84 inches in the horizontal position. The elevator entrance shall have a clear opening of not less than 42 inches wide or less than 78 inches high. The elevator car shall be provided with a minimum clear distance between walls or between walls and door excluding return panels not less than 80 inches by 54 inches, and a minimum distance from wall to return panel not less than 51 inches with a 42 inch side slide door.

- FID 16 Hazardous Materials (CFC 5004.1):** Storage of hazardous materials in amounts exceeding the maximum allowable quantity per control area as set forth in Section 5003.1 shall be in accordance with Sections 5001, 5003 and 5004. Storage of hazardous materials in amounts not exceeding the maximum allowable quantity per control area as set forth in Section 5003.1 shall be in accordance with Sections 5001 and 5003. Retail and wholesale storage and display of nonflammable solid and nonflammable and noncombustible liquid hazardous materials in Group M occupancies and Group S storage shall be in accordance with Section 5003.11.
- Pool Chemicals – dedicated, compliant storage cabinets, rooms, or areas required
  - Liquid Petroleum Gas (LPG) – dedicated, compliant storage cabinets, rooms, or areas required
- FID 17 “Exit Analysis Plan” required (CFC 104.7.2):** Prepared, stamped and signed by a state licensed architect in 1/4" = 1' scale. The floor plan shall address the following for a Group A-2 occupancy:
- Provide *net* occupant load calculations for interior (restaurant & bar) and outdoor patios. The occupant load determination shall be made by the Fire Marshal
  - Seating/table diagram with compliant aisle widths
  - Minimum required egress width to accommodate occupant load
  - Exit access travel distance
  - Egress paths to public way
  - Means of egress illumination locations
  - Illuminated EXIT sign locations
  - Compliant exit doors/gates and door/gate hardware (panic hardware)
  - Note any elevation changes in the exit discharge
  - Locations of fire extinguishers (minimum rating 2A-10BC).
- Project Note – Submitted plans do not have compliant exiting. Restaurant exits are not sufficiently spaced.
- FID 18 Posting of Occupant Load (CFC 1004.3):** Every room or space *which is used for assembly, classroom, dining, drinking, or similar purposes having an occupant load of 50 or more* shall have the occupant load of the room or space posted in a conspicuous place, near the main exit or exit access doorway from the room or space. Posted signs shall be of an approved legible permanent design and shall be maintained by the owner or authorized agent.
- Occupant load numbers will be determined by the Fire Marshal after the receipt and approval of the Exit Analysis Plan



**FID 19 Fire Protection**

- Fire Sprinkler System – required
- Fire Extinguishers – required
- Fire Alarm Systems – required if occupant load exceeds 300
- Cooking Hood Suppression System – required

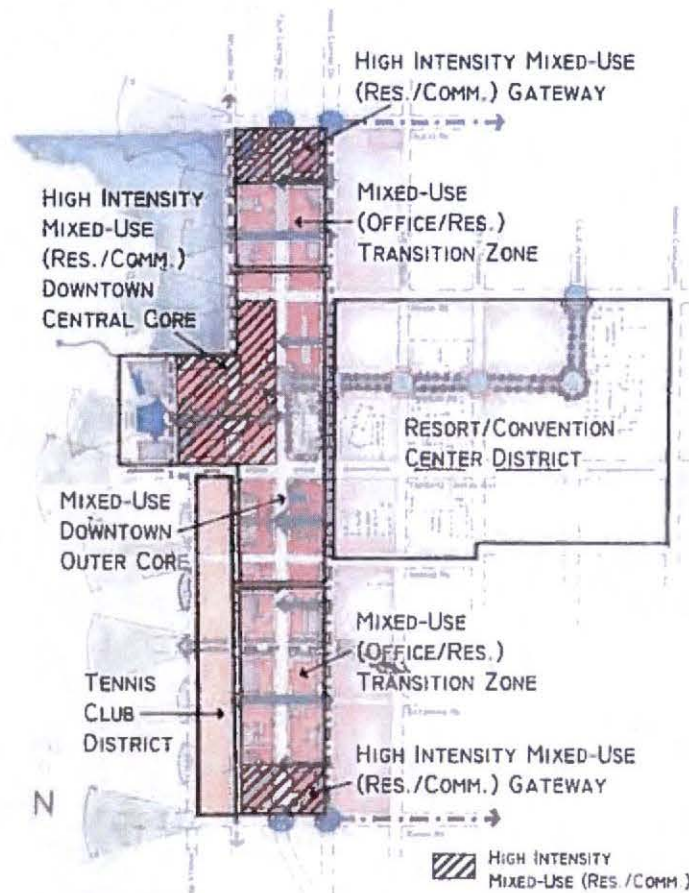
**END OF CONDITIONS**

# Attachment 3

## land use & develop- ment / districts

Currently, the majority of downtown Palm Springs is used primarily during the daytime. However, there is potential to extend the hours of use and to create a more exciting and lively atmosphere in downtown Palm Springs through the introduction of mixed-use residential developments and the expansion of nighttime commercial/retail uses. People create a sense of vitality through activity and use of the streets and sidewalks. Downtown residents would enliven the area by using downtown areas when others have left and by creating a new nighttime market for activities, stores, and restaurants. Therefore, downtown Palm Springs would benefit from downtown residents and those new residents would benefit from the exciting and lively atmosphere of the area.

To achieve the desired mix of vitality and activity, downtown Palm Springs should be comprised of a number of different zones distinguished by land use and height. These zones include: the core (comprised of a high intensity mixed-use center with taller buildings surrounded by a vibrant mixed-use area); two shorter, less intense mixed-use transition zones to the north and south of the core; taller, more intense north and south gateway areas; the Resort/Convention Center District; and the Tennis Club District (see map to the right). Further defined theme based districts (areas identified by specialized uses, such as cultural and art uses, restaurant uses, nightlife uses, etc.) within these larger districts are encouraged and should be strengthened where they already exist when possible.



*Above: A map of zones in downtown Palm Springs. (For building heights for the various zones see the "Building Height, Orientation, Massing, & Design" section starting on page thirty-six.) These zones should be further subdivided into theme based districts to create areas with separate and unique identities within the downtown.*

## Land Use & Development - Districts

- **Downtown Core:** The downtown core (approximate area bounded by Amado Road and Arenas Road and Museum Drive and Indian Canyon Drive) should be a vibrant, compact, and walkable center of activity in the downtown area. The core should be comprised of a central core area consisting of taller (max. 60 ft; see "Building Height, Orientation, Massing, & Design" section starting on the next page for more detail on allowed building heights in the downtown), high intensity mixed-use (residential/commercial) buildings surrounded by an equally vibrant, but shorter (max. 30 to 45 ft.) mixed-use (commercial/office/residential) outer core area.

- **Transition Zones:** The transition zones should serve as less intense connector areas between the high intensity downtown core and north and south gateways to help create a varied downtown experience. These areas are ideal for theme based districts (areas with similar or complementary uses such as restaurants, art galleries, etc.) and should consist primarily of shorter, one to two story (max. 30 ft.) commercial/office mixed-use buildings. Slightly taller mixed-use buildings with ground floor retail/office and residential lofts above (max. 45 ft.) are permitted on the east side of Palm Canyon Drive.

- **Gateways:** The north and south entrances to the downtown (along Mejo Road and Ramon Road between Belardo Road and Indian Canyon Drive) should be well defined areas that make one's entrance into the downtown a memorable experience. They should be taller (max. 60 ft.), high intensity mixed-use (residential/commercial) areas with distinctive landscaping and signage marking the entrance to downtown.

- **The Resort/Convention Center District:** This district is completely contained within the Section 14 area and its land uses are defined by the Section 14 Specific Plan. The district's location adjacent to the downtown core makes it an integral part of the downtown. It should be well connected with the rest of the downtown to ensure the success of the entire downtown area.

- **The Tennis Club District:** The Tennis Club district is an important historic area in downtown Palm Springs. It contains many architecturally, socially, and culturally important hotels, small resorts, and residences. This district should continue to retain the current land uses, sense of place, and character that currently exists.

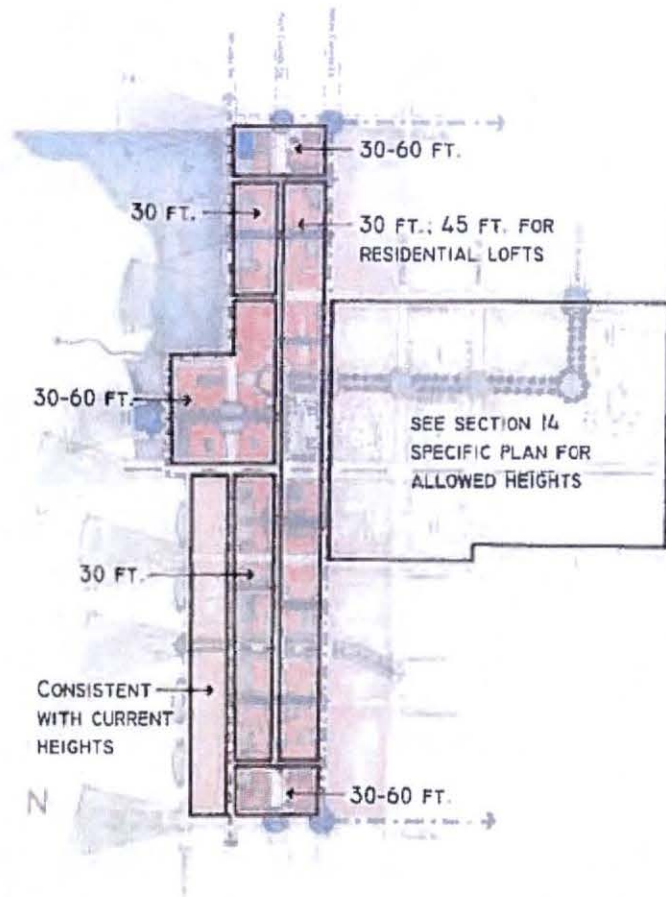
- Within all of the downtown zones (especially in the core and transition areas) theme based villages or districts are encouraged. These districts should be lively, walkable areas with similar or complementary uses that create a sense of district identity. These areas should be connected with each other and the central downtown core to create a dynamic and pedestrian friendly downtown. Existing theme based districts should be strengthened and new ones created when possible.

## land use & develop- ment / districts

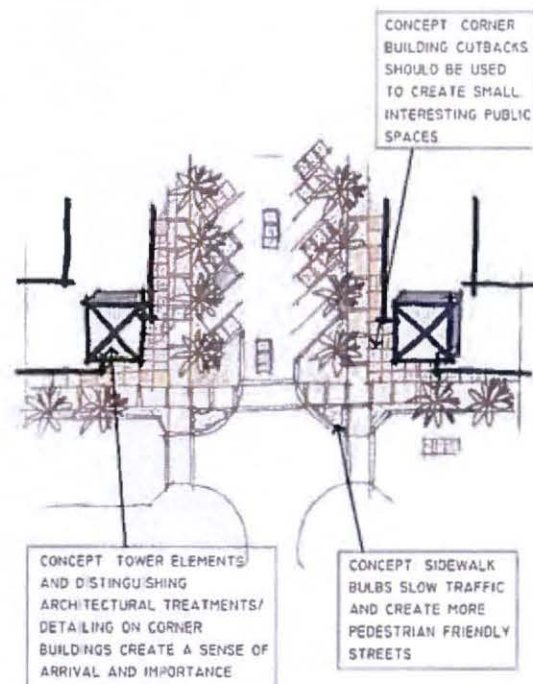
## building height, orientation, massing, & design

Building height, orientation, and massing all affect the character of a downtown. Currently, the majority of buildings in downtown Palm Springs are low-rise structures facing onto the street. These building types help create the pedestrian friendly village character of downtown. If the correct techniques are used, taller buildings can produce the same effect while allowing for increased residential and retail uses in the downtown area. However, care must be taken to protect existing public view corridors along streets, and when possible, to create new ones.

Another defining feature of the village atmosphere of downtown Palm Springs is its eclectic architecture. Early homes were constructed primarily in Spanish Colonial and Mediterranean styles. Mid-century and post-World War II buildings and homes were designed by an array of well-known Modern architects. The result is an architecturally rich and varied downtown. New buildings should be sensitive to the historic context and complement the unique mix of architectural styles. In addition, new projects should strive for excellence in architectural design.



*Above: A map of building heights by zone in downtown Palm Springs. (For more detail on the characteristics of the zones see the "Land Use & Development/Districts" section starting on page thirty-four.)*



*Above: Gateway corners, which have distinguishing buildings set back from the corner, should be used at entrances to the downtown area.*

## *Building Height*

- **Downtown Core:** Building height in the central core area should be a maximum of 30 feet on the street front stepping back to 60 feet in height with minor intrusions for architectural features. The surrounding mixed-use areas in the downtown outer core should be a maximum of 30 feet with intrusion areas for architectural features on the west side of Palm Canyon Drive and a maximum of 30 feet for office/retail mixed-use and 45 feet for buildings with ground floor office/commercial uses and second story residential lofts with intrusion areas for architectural features on the east side of Palm Canyon Drive.
- **Transition Zones:** Building height in transition areas should be a maximum of 30 feet with intrusion areas for architectural features. On the east side of Palm Canyon Drive mixed-use buildings with residential lofts are excepted from the 30 foot restriction. They should be a maximum of 45 feet (18 feet on street front stepping back to 45 feet on the second floor) to accommodate the residential lofts.
- **Gateways:** Building height in the north and south gateway areas should be a maximum of 30 feet on the street front stepping back to 60 feet in height with minor intrusions for architectural features.
- **The Resort/Convention Center District:** Allowed building heights can be found in the Section 14 Specific Plan.
- **The Tennis Club District:** Building heights should be consistent with current heights and zoning restrictions.
- Building heights should result in a varied skyline. Taller buildings, if properly designed, will create dramatic view corridors that will add to the vitality of downtown.
- Taller buildings (in excess of three stories) should compensate for their height through the provision of grade level public open space, preservation of views, superior design, and quality construction.
- First and second floors of taller buildings should be pedestrian friendly through the use of large display windows, awnings or other shade covers, architectural detailing, etc. They should contain elements at a pedestrian scale and provide pedestrian uses, such as retail, restaurant, and office spaces.

## *Orientation & Massing*

- An east-west orientation of taller buildings will reduce the bulk facing the mountains, which will help create/preserve view corridors in the downtown area. The east-west orientation of taller buildings is recommended when appropriate.
- Building massing should step back above the ground floor to maintain and protect public view corridors along streets. (See the bottom of page twenty-four for a graphic representation of a building step back.)
- Buildings should have variable roof lines.

## *building height, orientation, massing, & design*

## Architecture & Architectural Detailing

- It is important that the rich architectural heritage of Palm Springs be protected. The City urges property owners to preserve, restore, and productively use class I and class II historical buildings whenever practical. An appropriate high level of maintenance is also an important prerequisite to the preservation of historic buildings as well as the ambiance of downtown. (See the historic sites map on page forty-one.) Listings of historical buildings can be found in the Historic Site Preservation Board 30-June-03 List of Class I and Class II Historic Sites and the June 2004 *City of Palm Springs Department of Planning and Zoning Citywide Historic Resources Survey*.

- New buildings should be sensitive to the architectural styles and detailing of surrounding buildings while adding to the architectural quality and eclectic nature of downtown.

- Detailed architectural treatment should be integrated and consistent on all of a building's exteriors (360 degree architecture). Provide the same level of detail on rear-facing building facades as on front and side elevations.



*Top & Left: Arcades, such as those at Santana Row (above) and La Plaza (left), add character to the streetscape and provide shade for pedestrians. They are recommended in areas of pedestrian oriented retail.*



- Storefronts are the most important component of commercial architecture. They should have appropriate decorative trim, ample window exposure, and clearly marked entrances.
- Distinctive architectural treatments should be incorporated into building design when appropriate to the architectural style of the building.
- Buildings placed on street corners define the street edge and create visual and pedestrian interest. These buildings should contain special design features and architectural detailing.
- Arcades, colonnades, overhangs, and awnings can add to the character of a building as well as provide pedestrians with protection from the hot desert sun. They are all encouraged when appropriate to the architectural style of the building.
- Building colors and materials should be consistent with downtown architectural styles and landscaping themes. They should complement surrounding buildings and public spaces while retaining a sense of uniqueness and individual building identity.

*Top & Bottom: The eclectic collection of Spanish Colonial, Mediterranean, and Modern architectural styles in downtown Palm Springs is a valuable asset. New buildings should strive for excellence in architectural design while preserving or adding to the eclectic nature of downtown.*






# Attachment 4

Member Rotman pointed-out that the tenant signs should have a minimum clearance above the sidewalk.

M/S/C (Secoy-Jensen/Song, 6-8-1 absent Lockyer) Approve with staff's recommendations subject to:

1. Hotel sign - on the west elevation shall be lowered to the mid-section of elevation (no higher than the upper edge of white box) or removed.

- 
5. **NEW CHURCH II, LLC FOR RENOVATING THE EXISTING HISTORIC CHURCH AND ORCHID TREE BUNGALOWS FOR ADAPTIVE RE-USE AND DEMOLISHING PORTIONS OF THE SITE FOR THE CONSTRUCTION AND OPERATION OF A HOTEL WITH ACCESSORY SPA, RESTAURANT AND MEETING SPACE ON A 3.1-ACRE SITE LOCATED AT 222 S. CAHUILLA ROAD, ZONE R-3, SECTION 15 (CASE 5.1345 CUP, HSPB 23, HSPB 72 & 3.0678 MAJ). (DN)**

Associate Planner Newell provided an overview of the proposed construction as outlined in the staff memorandum.

Member Secoy-Jensen verified the scope of review.

Member Purnel verified the materials.

Member Rotman verified the height of buildings.

Chair Song requested clarification on the view corridor referenced in the staff report.

RICHARD WEINTRAUB, applicant, provided details on the revisions reducing the overall scope and scale of the hotel project.

Member Rotman said it looks like a great project and questioned what the thinking behind the variations in architecture was.

Member Secoy-Jensen requested clarification on the justification for parking on Baristo Road.

Member Fredricks questioned if the tandem spaces will be valet parking.

Member Fredricks supports the changes but noted that they have not seen the landscaping plan yet.

Member Purnel supports the landscape images in the renderings (simplified and

organized) and would like to see something like this in the landscape plans.

M/S/C (Fredricks/Cassady, 6-0-1 absent Lockyer) Approve, as submitted.

**8. ~~ARMADA REAL ESTATE GROUP FOR A MAJOR ARCHITECTURAL APPLICATION AND FINAL PLANNED DEVELOPMENT DISTRICT APPLICATION FOR "VIBE" (FORMERLY "JUL") A RESIDENTIAL DEVELOPMENT OF 93 MULTI FAMILY UNITS AND 72 SINGLE FAMILY HOMES ON SMALL LOTS ON A 24-ACRE PARCEL LOCATED AT THE NORTHEAST CORNER OF SOUTH FARRELL DRIVE AND EAST BARISTO ROAD (CASE 5.1046 PDD 232 AMND AND 3.3974 MAJ). (KL)~~**

Chair Song and Member Fredricks noted their recusal on this item and would not be participating in the discussion or vote. Chair Song and Member Fredricks left the Council Chamber.

Associate Planner Lyon provided an overview on the proposed development as outlined in the staff report.

Member Secoy-Jensen verified issues from Exhibit A in the staff report.

Member Rotman clarified the setbacks between the multi-family units and how the architectural styles will be used.

Vice-Chair Cassady requested clarification on the pedestrian gates on each residence and perimeter. He questioned if the dog parks are accessible to the general public (no) and verified if the historic "tie-downs" will be preserved. (no)

JP SECOUSSE, Amada Real Estate Group, principal, provided further details on the proposed development.


RON GREGORY, RGA Landscape Architects, provided details about the eight foot wall and was available for questions.

MIKE WOODLEY, Woodley Architectural Group, provided details about the layout, cluster, roof-decks, windows and privacy and plantings.

Public Comment:

STEPHANIE AUSTIN, thinks it's a nice development and the location is good. She believes the community park is not large enough and does not support gated communities.

# Attachment 5



**2B. CAHUILLA CHURCH, LLC FOR A CONDITIONAL USE PERMIT AND MINOR ARCHITECTURAL APPLICATION TO RENOVATE AND ADAPTIVELY RE-USE A FORMER CHURCH SITE (CLASS 1 HISTORIC SITE NO. 23 - COMMUNITY CHURCH) AS A HOTEL, SPA AND RESTAURANT LOCATED AT 284 S. CAHUILLA ROAD, ZONE R-3 (CASE 5.1345 CUP & 3.3932 MAA). (DN)**

Associate Planner Newell presented the proposal to renovate and adaptively re-use a former church site as outlined in the staff report. He reported the AAC's review and recommendations of the project.

The Commission had technical questions and/or requested clarification in reference to:

- Verification that operating both sites as one will allow the use of a spa to the public.
- Relocation of ADA parking spaces? .
- Can the ADA parking spaces be relocated to Cahuilla Road?

Chair Klatchko opened the public hearing:

RICHARD WEINTRAUB, applicant, commented that they want to ensure the project is ADA compliant and will work with staff to accommodate the parking spaces. He provided details on renovation to the property.

MIKE GUERRA, lives nearby, supports the plan and believes this will be a great asset to the neighborhood. He thinks they should be allowed to use the driveway for deliveries.

TIM ERKINS, spoke in favor of the project and suggested removing the 4 power poles to allow for the ADA spaces on the Cahuilla entrance.

RICHARD WEINTRAUB, applicant response, reiterated that they will need to work with staff to address the ADA spaces.

There being no further speakers the public hearing was closed.

Commissioner Lowe thinks this is an incredible project and thanked the applicant for the changes to the project.

Discussion occurred on the joint operation of the hotel and restaurant and guest arrival experience.

Staff directed the Commission to the conditions ADM. 17 and ADM. 18 regarding the spa and restaurant operation.

Commissioner Weremiuk asked if it's possible for the applicant work with staff to see if there is an alternate location for bay parking fronting Baristo Road.

Commissioner Middleton congratulated the applicant on the exciting project and requested assurance for preservation of this property.

Discussion occurred in allowing the spa for use to the public.

Commissioner Weremiuk questioned if a condition could be added to allow the spa use for the public. Staff concurred with the condition: "that with greater than 50 rooms and the properties are combined".

**ACTION:** Approve subject to Conditions.

**Motion:** Commissioner Lowe, seconded by Commissioner Weremiuk and unanimously carried 6-0-1 on a roll call vote.

**AYES:** Commissioner Donenfeld, Commissioner Lowe, Commissioner Middleton,  
Commissioner Weremiuk, Vice-Chair Calderline, Chair Klatchko  
**ABSENT:** Commissioner Hirschbein

~~2A. CONT'D - SUSAN THADIT, REQUESTING A CONDITIONAL USE PERMIT FOR THE PLACEMENT OF FIVE (5) TENNIS COURT LIGHT POLES AT A MAXIMUM HEIGHT OF TWELVE (12) FEET LOCATED AT 790 NORTH MISSION ROAD, ZONE R-1-A (CASE 5.1385 CUP). (GM)~~

Commissioner Donenfeld left the Council Chamber at 2:28 pm.

Associate Planner Mlaker provided an overview of the proposed tennis court lighting.

Commissioner Lowe recalled that the Commission had reached an agreement but continued the project to allow the neighbors to comment.

Chair Klatchko opened the public hearing.

ROB PARKER, RGA Architects, stated that they did not have the opportunity to meet with the neighborhood association because the owner lives out of town. He indicated that the existing hedge height is closer to 14 feet and the light does not project onto the property line.

RICHARD MORAN, Old Las Palmas Neighborhood Organization, vice-chairman, stated that they agree with all of the conditions except that they would like to restrict hours for lights to be turned off between 8 pm - 7:00 am.

The Commission requested the following items:

- Letters from the adjacent HOA's stating if they are in support of this development or their concerns.
- Full-size exhibits are needed to understand this development.
- Provide in writing to the adjacent HOA's what the developer has agreed to do.
- Review standards for ways of maximizing placement of the homes on the lots and placement of swimming pools, etc.
- Updated plans with revisions made.
- Get CVAG's opinion on the CV link.
- A comparison of standards with the proposed Small Lot Ordinance.

**ACTION:** To continue to a date uncertain to a study session.

**Motion:** Commissioner Calerdine, seconded by Commissioner Donenfeld and unanimously carried on a roll call vote.

**AYES:** Commissioner Calerdine, Commissioner Donenfeld, Commissioner Lowe, Commissioner Middleton, Commissioner Weremiuk, Vice-Chair Roberts, Chair Klatchko

A five minute recess was taken at 4:52 pm.

The meeting resumed at 4:58 pm.

## 2. NEW BUSINESS:

**2A. NEW CHURCH II LLC FOR A MAJOR ARCHITECTURAL APPLICATION TO RENOVATE AND MODIFY EXISTING BUILDINGS AND CONSTRUCT A NEW THREE-STORY BUILDING ON AN APPROXIMATELY TWO-ACRE SITE TO OPERATE A 52-ROOM HOTEL LOCATED AT THE NORTHWEST CORNER OF BELARDO ROAD AND BARISTO ROAD (CASE 3.0678 MAJ). (DN)**

Associate Planner Newell presented the proposed renovation, partial demolition and construction as outlined in the staff report.

The Commission commented and/or asked technical questions pertaining to:

- Are the three windows hallways along the Belardo elevation?
- How will the tandem parking be used by the hotel guests?
- Commend the applicant for a beautiful project that fits well into the neighborhood.
- Have the issues been resolved with the AAC in terms of the landscape?
- What will happen to the church in the interim?
- Has the minimum landscape been defined?

RICHARD WEINTRAUB, applicant, stated that they received unanimous support from the surrounding neighborhoods. Mr. Weintraub provided details on the parking, windows along the Belardo elevation, landscaping (including a gray water system to allow very lush, exotic plantings) photovoltaic and restoration of the church.

**ACTION:** Approve, with conditions subject to:

- The landscape to return to the AAC and Planning Commission (consent calendar) with the inclusion if the gray water system can be installed to provide lush landscaping in the interior and xeriscape on the exterior.

Motion: Commissioner Weremiuk, seconded by Commissioner Lowe and unanimously carried on a roll call vote.

AYES: Commissioner Calderline, Commissioner Donenfeld, Commissioner Lowe, Commissioner Middleton, Commissioner Weremiuk, Vice-Chair Roberts, Chair Klatchko



**3. OTHER BUSINESS:**

~~SA. WOODBRIDGE PACIFIC GROUP ON BEHALF OF PALM CANYON 65, LLC FOR THE DEMOLITION OF AN EXISTING COMMERCIAL SITE TO CONSTRUCT A MIXED-USE PROJECT ON 12.4-ACRES CONSISTING OF (60) SINGLE-FAMILY RESIDENCES ON LOTS AVERAGING 5,136-SQUARE FEET IN SIZE, (20) MULTI-FAMILY RESIDENTIAL CONDOMINIUMS AND APPROXIMATELY 17,872-SQUARE FEET OF COMMERCIAL SPACE LOCATED AT 777 SOUTH PALM CANYON DRIVE (CASE NOS. 5.1378 PD-379, ZC 3.3876 MAJ AND TTM 36914). (DN)~~

~~Planning Director Fagg provided a comparison of the proposed small lot ordinance and the proposed development.~~

~~TODD CUNNINGHAM, president, Woodbridge Pacific Group, provided details on the site, floor plans, second-floor element, elevations, open-space, and original concept for the trail. Mr. Cunningham addressed the live-work units and parking spaces; noting that the speed limit is 40 miles per hour on Palm Canyon compared to downtown; emphasizing that this area is not walkable and needs to be treated differently.~~

~~Vice-Chair Roberts commented and/or requested clarification on:~~

- Looks like a great project.
- View impacts.
- Retail use and public benefit.

~~Director Fagg noted that the Cameron project across the street has live/work units and this would saturate the area where there is not a market. He indicated that staff is in~~

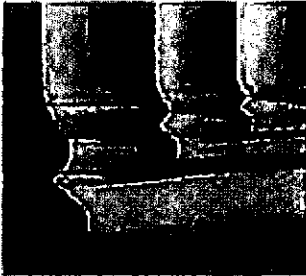


# Attachment 6

**RECEIVED**

MAR 02 2016

**PLANNING SERVICES  
DEPARTMENT**



**Vincent Marsh, Historic Preservation Consultant**

**Marsh and Associates**

**The Garden Villas at the Racquet Club**

**A Class 1 Historic Site**

**360 Cabrillo Road, Unit No. 212**

**Palm Springs, CA 92262-2075**

January 24, 2016

Mr. Gary Johns, Chair  
Historic Site Preservation Board  
Department of Planning Services  
3200 East Tahquitz Canyon Way  
Palm Springs, CA 92262

**RE: Review for Consistency with the Secretary of the Interior's Standards for the Treatment of Historic Properties, The proposed rehabilitation and Adaptive Reuse of the Community Church/Orchid Tree Resort and Spa Project  
A Class 1 Historic Site (HSPB 23), 284 South Cahulla Road, Palm Springs, CA 92262**

Dear Mr. Johns,

I have been asked to commit on the proposed, rehabilitation, adaptive reuse and proposed exterior modifications to the site plan for the subject property by the project sponsor, Weintraub Real Estate Group in Malibu, CA.

**Historical Resources:**

"The subject property contains three designated City of Palm Springs Historic Sites: the Palm Springs Community Church was designated as a Class 1 Historic Site in 1989 and the Orchid Tree Inn and stone arch were designated as Class 1 and Class 2 Historic Sites in 2010. Both properties are historic resources for purposes of CEQA Review. There are no resources on the subject property that are listed in the National Register of Historic Places (National Register) or [the] California Register of Historical Resources (California Register), nor do any other buildings or features appear so eligible." (See the Orchid Tree Resort and Spa Project, Historical Resources Impacts Evaluation Prepared for Weintraub Real Estate Group by Chattel, Inc., Historic Preservation Consultants, Sherman Oaks, CA 91423 on June 6, 2014). The current

proposal has been modified to undertake a project within the existing envelope of the church and associated church hall.

"The Community Church was dedicated on March 15, 1936, replacing the First Community Church. This structure, designed by Charles Tanner, has long been a landmark within the neighborhood. The vernacular brick structure is finished with Gothic Revival features. The Community Church is constructed out of grey concrete block, arranged in a most decorative fashion. The subtle play of light and shadow across these walls must be seen to be appreciated.

Later on, Harry J. Williams, architect of La Plaza and the Camell Building and father of E. Stewart Williams would design the northern addition." (Palm Springs Historical Society, untitled and undated brochure, the resource is identified as #31).

#### **Secretary of the Interior's Standards for the Treatment of Historic Properties**

As a Professionally Qualified Architectural Historian,<sup>1</sup> I have reviewed the project revisions proposed by the sponsor and have determined that the modified and revised project would not cause a "substantial adverse change" to this "historical resource" as it conforms to the footprint/envelope of the building. Additionally, the project as proposed, is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

**Pursuant to the City of Palm Springs Municipal Code under Section 8.05.190, the following: Factors [are] to be considered upon application:**

In reviewing and acting upon each application, the historic site preservation board shall consider:

1. The historic value and significance, or the architectural value and significance or both, of the structure and its relation to the historic value of the surrounding area;
2. The relationship of the exterior architectural features of any structure to the rest of the structure itself.
3. The general compatibility of exterior design, arrangement, texture and material which is proposed by the applicant.
4. Archaeological or ecological significance of the area.

Specifically, the proposal complies with the following treatment standards for rehabilitation:

#### **Standard No. 1**

**A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.**

The project is now proposed as a rehabilitation and adaptive reuse of said structure and minimal changes, except those that require reconstruction and restoration of fire damaged areas and to accommodate ancillary uses associated with the conversion of the church to a full service hotel.

#### **Standard No. 2**

**The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.**

The project restores fire damaged areas utilizing materials which will match existing materials in color, texture, size and proportion. Fenestration and exterior materials, will for the most part be preserved and rehabilitated through a seismic retrofit. Adaptive reuse will result in changes in the former church and assembly halls and classroom space.

#### **Standard No. 5**

**Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.**

The project seeks to respect this standard, in that, the rehabilitation and adaptive reuse will conform to the existing envelope of the building. Reconstruction will occur in fire damaged areas based upon existing physical evidence and historic photographs, designation materials and drawings.

#### **Standard No. 6**

**Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**

Historic materials will be retained where feasible. Historic doors and windows within the Community Church will be retained and rehabilitated as well.

#### **Standard No. 9**

**New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize a property. The new work will be differentiated from the old and will be compatible with the historic materials,**

**features, size, scale and proportions, and massing to protect the integrity of the property and its environment.**

The project proposes to comply with this standard by utilizing materials and construction techniques which repair the roofing systems, cleans and restores decorative features and will be compatible with building's historical architectural features without creating a false sense of history. Any cuts into the building will conform to and respect existing openings.

Only the most relevant of the nine standards are addressed above. Significant analysis of the Standards occurred in the Chattel, Inc. Orchid Tree Resort and Spa Project on file with the Department of Planning Services.

### **Integrity**

**Integrity is the ability of a property to convey its significance. To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register criteria, but it must have integrity. To retain historic integrity a property will always possess several, and usually most of the aspects. The subject property has retained or lacks Integrity from the period of significance noted above.**

The subject property retains the seven aspects of integrity that include location, association, design, workmanship, setting, feeling and materials. The reconstruction of this fire damaged building will utilize appropriate materials to match existing conditions as closely as possible.

### **CEQA Guidelines**

CEQA Guidelines Section 15331, or Class 31, provides for an exemption from environmental review for projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary's Standards. The proposed project would meet the Secretary's Standards for rehabilitation and therefore be exempt under Class 31.

### **Conclusion**

We believe that the revised plans are in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties as well as the National Park Service guidelines for the adaptive reuse of historic structures, and as such, the rehabilitation and adaptive reuse project ) is exempt for Environmental Review as an historic resource.

Thank you in advance for your assistance with the review and findings related to this project.

**Orchid Tree Resort & Spa Project Church Project, Palm Springs, CA**

Sincerely,

VINCENT MARSH

Vincent Marsh, Principal 3/1/16  
Marsh and Associates  
Historic Preservation Consultants  
Palm Springs, CA 92262

#### **FN #1, Vincent Marsh, Biography and Professional Qualifications Standards**

Vincent Marsh, serves as the Principal of Marsh and Associates, a Historic Preservation Planning firm working for private sector clients in the Palm Springs area and formerly in the Bay Area. He is currently on the Architectural, Landscape and Legal Committee at the Garden Villa at the Racquet Club, a Class 1 Historic Site in Palm Springs. In addition, Vincent is a Lead Volunteer with the Palm Springs Modernism Committee and a Volunteer Assistant to the Archivist at the Palm Spring Art Museum, Architecture and Design Center of which he is a member of the Architecture and Design Council. He is also a member of the Palm Springs Preservation Foundation. Previously he served as a consulting Senior Associate with Lerner and Associates, Architects assigned to a number of preservation planning projects, primarily based in San Francisco, CA.

Mr. Marsh was employed with the City of Sacramento from 1999 until 2003 as a Senior Planner position within the Planning and Building Department, where he served as the City's Preservation Director. His accomplishments in Sacramento included a comprehensive update of the City's Preservation program. Under his tenure and leadership the City adopted a new Preservation Element, a Preservation Incentives program, and a new Historic Preservation Ordinance. He also supervised the work of four consultants who are completing a Citywide Cultural Resources Survey, which proposed ten new Historic Districts and fifty new landmarks. In addition, he supervised and managed the workflow and staffing of the City's nine member Design Review and Preservation Board and the nine members Sacramento Heritage appointed by the Sacramento City Council.

Vincent Marsh is registered as a Qualified Architectural Historian with both the Northwest Information Center at Sonoma State University in Rohnert Park and with the North Central Information Center at California State University in Sacramento, CA. Mr. Marsh meets the Professional Qualifications Standards for the Architectural History classification as found in 36 CFR Part 60 of the Federal regulations. In addition, the State Office of Historic Preservation (SOHP) has previously determined that Mr. Marsh meets the professional qualifications as an Historian and as a Preservation Planner during his tenure staffing two existing Certified Local Government (CLG) programs in San Francisco and in Sacramento, CA. Finally, Vincent Marsh

**Orchid Tree Resort & Spa Project Church Project, Palm Springs, CA**

is listed on the Register of Professional Historians (No. 589) which is maintained by the California Council for the Promotion of History (CCPH).

Prior to September of 1999, Vincent was employed as a Preservation Planner within the Citywide Policy and Analysis Division of the San Francisco Planning Department where he drafted a new Preservation Element, Implementation Program Document of the General Plan, and a series of Preservation Briefs for the City of San Francisco. Vincent was assigned General Plan Referrals and a comprehensive review, evaluation and update of the City's Neighborhood Commercial Controls, which were first adopted by the City in 1987. Additionally, he also was involved in major planning efforts and cultural resources assessments for the Presidio National Park, Treasure Island, Golden Gate Park, Mid-Market, Civic Center, and properties under the jurisdiction of the Port of San Francisco and the San Francisco Redevelopment Agency. For eight years, he served as the Secretary and the primary staff to the San Francisco Landmarks Preservation Advisory Board. In that position he worked closely with project sponsors, property owners, neighborhood associations and individuals on thousands of preservation related projects in the Downtown and Citywide. He authored and recommended approvals for four historic district nominations, scores of local landmark nominations, and undertook a major thematic survey of 2,000 Unreinforced Masonry Buildings (UMBs) with the assistance of fifteen A.I.A. volunteers, who also developed a set of Design Guidelines to seismically retrofit UMBs.

In years past, Vincent Marsh served as a Field Representative to the Western Regional Office of the National Trust for Historic Preservation, and as an Agency Relations Associate/ Neighborhood Planner with United Way of the Bay Area. In Boston, Massachusetts he was employed as an Urban Design consultant to a private firm and for six years was employed as Executive Director of a Neighborhood Center in the North End/Waterfront area. Vincent Marsh currently serves as a member of the Board of Directors for the Friends of 1800 Market Street, which helped to save the historic Carmel Fallon Building in San Francisco. He recently completed an eight-year term on the Board of Directors of the National Alliance of Preservation Commissions.

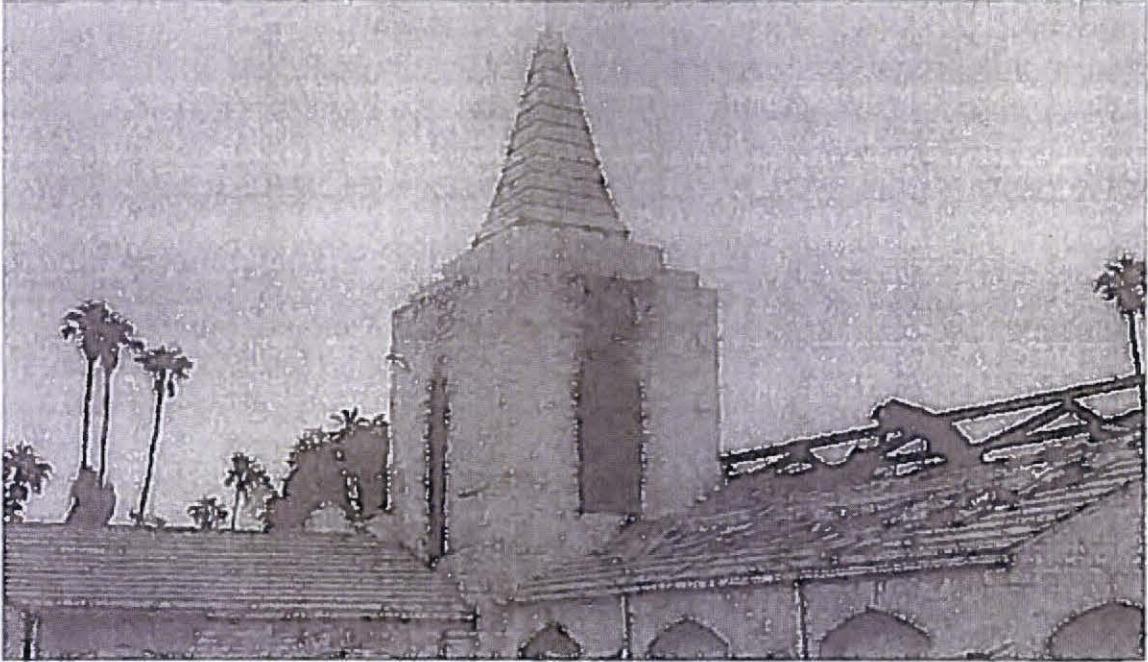
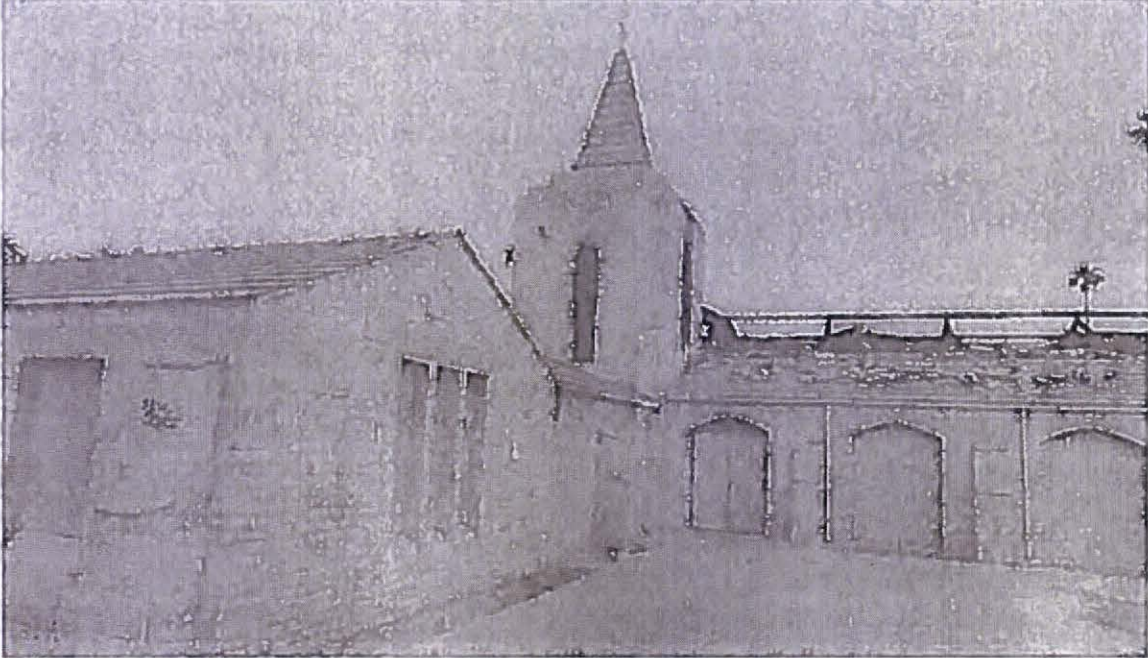
In the recent past, he has served as Treasurer for the Northern California Chapter of the Society of Architectural Historians. Mr. Marsh also served for a period of eight years as a member of the Board of Directors of the California Preservation Foundation (CPF), a statewide nonprofit preservation organization and volunteered for a number of committees and programs of CPF.

Vincent Marsh has an undergraduate degree from S.U.N.Y. at Buffalo, a Master's Degree in Community Organization and Planning from the University of Connecticut and a Master's Degree in City and Regional Planning with a specialization in Historic Preservation from Cornell University in Ithaca, New York. His thesis, *A Preservation Planning Study for the North End Waterfront of Boston, Massachusetts* won an Urban Design Fellowship from the National

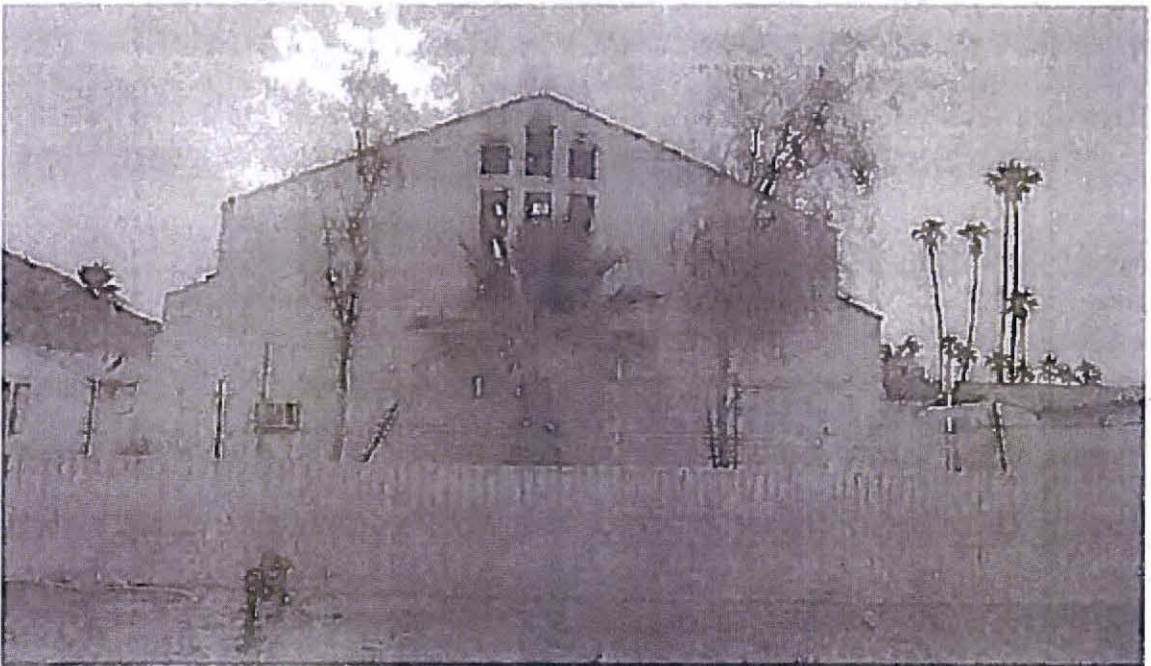
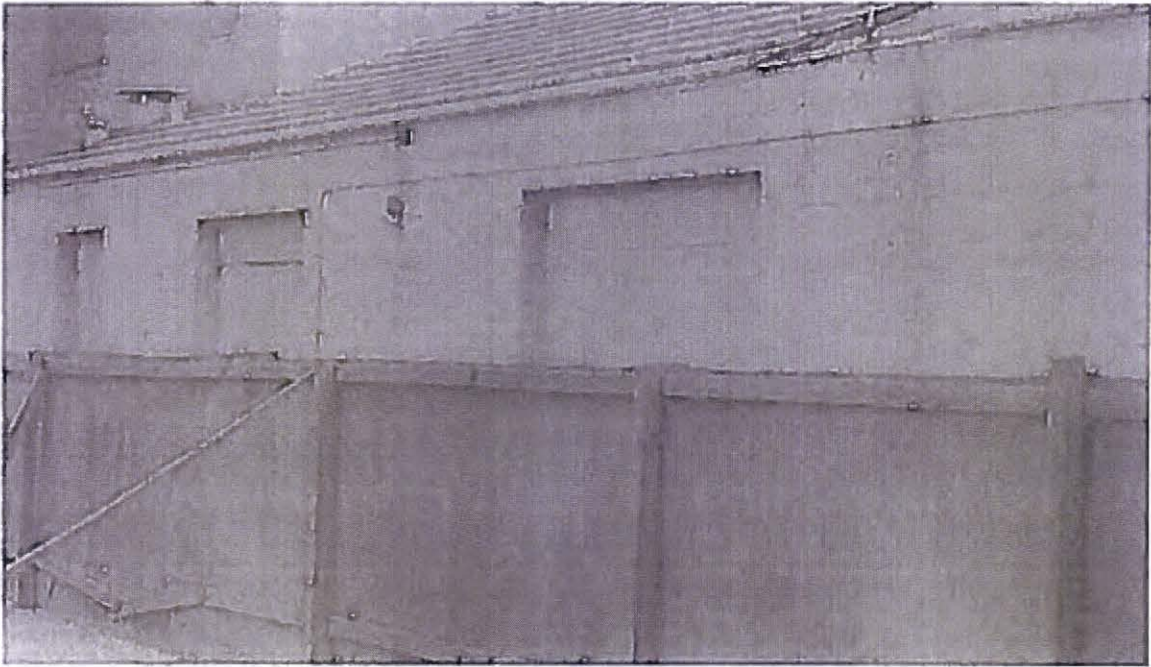
**Orchid Tree Resort & Spa Project Church Project, Palm Springs, CA**

Endowment for the Arts. He also attended the Massachusetts Institute of Technology, Urban Studies Master's Program in Cambridge, MA prior to full time studies at Cornell University.

1 Vincent Marsh, Biography and Professional Qualification Standards attached for your review.

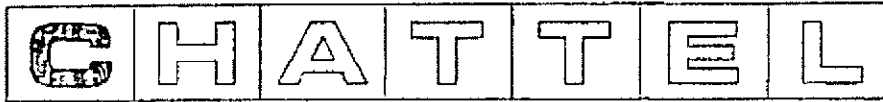






Orchid Tree Resort & Spa Project Church Project, Palm Springs, CA

# Attachment 7



Chattel, Inc. | Historic Preservation Consultants

Memorandum

DATE November 2, 2015

TO Bruce McBride  
Jake Jesson  
New Church II, LLC

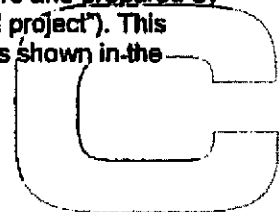
FROM Robert Chattel, AIA, President,  
Gabrielle Harlan, Ph.D., Principal Associate  
Christine Mathieson, Associate  
Chattel Inc.

RE Orchid Tree Resort and Spa Project  
Palm Springs, California

We understand that New Church II, LLC is proposing a development, the Orchid Tree Resort & Spa Project (proposed project), for the property located at 284 S. Cahulla Road in Palm Springs, California (subject property). The proposed project entails rehabilitation and demolition of existing buildings and new construction. The subject property includes previously identified historical resources: the Orchid Tree Inn and a stone arch. Under the California Environmental Quality Act (CEQA), proposed projects that may impact historical resources must be evaluated. Projects that are found in conformance with the *Secretary of the Interior's Standards for the Treatment of Historic Properties (Secretary's Standards)* are generally considered to have a less than significant historical resources impact or be otherwise exempt under CEQA.

Chattel, Inc. (Chattel) is a historic preservation consulting firm based in Los Angeles, and was retained by the developer of the proposed project, New Church II, LLC, to consult on design and evaluate conformance of the proposed project with the *Secretary's Standards*. To this end, Chattel performed research on the history of the subject property and participated in a design collaboration process with the project architect, Gwynne Pugh Urban Studio, to help guide the proposed project design toward conformance with the *Secretary's Standards*. These plans, collectively referred to as the proposed project, are evaluated in detail in a historical resources evaluation report previously prepared by our firm for New Church II, LLC dated June 6, 2014 (hereinafter also referred to as "June 2014 report"—see Attachment 1). This evaluation was based on an architectural drawing set dated March 6, 2014 (62 sheets), landscape plans dated May 29, 2014 (2 sheets), and lighting plans dated May 9, 2014 (2 sheets), and a material board (undated, 1 sheet). There were also civil plans prepared by Nolte Vertical Five (2 sheets).

However, since our report was first issued, the design of the proposed project has undergone several revisions in response to comments provided by the City of Palm Spring (hereinafter also referred to as "City"). Therefore, the following memo describes the most recent revisions to the proposed project as shown in an architectural drawing set dated November 2, 2015 and prepared by Burdge & Associates Architects (hereinafter also referred to as "revised proposed project"). This memo provides a summary of potential impacts of the revised proposed project as shown in the revised drawing set dated November 2, 2015.



1-11-15 Ventura Boulevard, Sherman Oaks, CA 91405-5278 Phone: 818/788-9278 Fax: 818/788-9275 www.chattel.com

In an effort to provide some background for the revised proposed project, this memo also summarizes some of the information provided in our previous June 2014 report, such as the identification of character-defining features and a description of CEQA and Secretary's Standards provisions related to historical resources.

## Qualifications

Chattel is a full service historic preservation consulting firm based in Los Angeles. The firm represents governmental agencies and private ventures, successfully balancing project goals with a myriad of historic preservation regulations without sacrificing principles on either side. Comprised of professionals meeting the Secretary of the Interior's Professional Qualifications Standards (36 CFR Part 61, Appendix A) in architectural history and historic architecture, the firm offers professional services including historic resources evaluation and project effects analysis, and consultation on federal, state and local historic preservation statutes and regulations. Chattel is committed to responsible preservation, but recognizes that we live in a real world. Assessing effects on historic resources requires not only professional expertise, but the ability to work effectively toward consensus and compromise. We invite you to explore our website [www.chattel.us](http://www.chattel.us). This memo was prepared by firm President, Robert Chattel, Principal Associate, Gabrielle Harlan, and Associate Christine Mathieson, all of whom meet the Secretary of the Interior's Professional Qualifications Standards. The subject property was visited by firm President, Robert Chattel on April 5, 2014 and May 3, 2014. Brief biographies follow.

### Robert Chattel, AIA, President/Historic Architect

Both a licensed general contractor and architect in California with more than 30 years' experience in planning, design and construction, Robert Chattel's unique qualifications include meeting the *Secretary of the Interior's Professional Qualifications Standards* in architectural history and historic architecture. Robert has experience working for non-profit, government, and for-profit entities, including the Los Angeles Conservancy, the Community Redevelopment Agency of the City of Los Angeles and a private real estate developer. He holds a B.A. in Architecture from U.C. Berkeley and a M.S. in Historic Preservation from Columbia University. In 1994, he established Chattel, Inc. With offices in Los Angeles and San Francisco, the firm works on design collaboration, environmental review and preservation policy projects in the western United States. As President, Mr. Chattel specializes in applying the *Secretary of the Interior's Standards for the Treatment of Historic Properties* and interpreting federal, state and local historic preservation law and regulations. Mr. Chattel and his firm have received awards from the California Preservation Foundation, Los Angeles Conservancy, American Planning Association and the City of Los Angeles for projects ranging from preservation of the Beverly Hills Waterworks (the subject of his master's thesis) to stabilization of the Breed Street Shul in east Los Angeles and rehabilitation of the downtown Los Angeles Central Library.

### Gabrielle Harlan, Ph.D., Principal Associate/ Architectural Historian

With a Ph.D. in the History of Art and Architecture and an M.A. in Architectural History (both awarded from the University of Virginia), and a B.Arch. in Architecture from the University of Arizona, Gabrielle meets the *Secretary of the Interior's Professional Qualifications Standards* in historic architecture, architecture, history, and architectural history. Gabrielle's role at Chattel includes professional work in preparing Historic Structures Reports, researching and writing historic contexts, and conducting architectural assessments and surveys. Prior to joining Chattel, Gabrielle worked for more than five years as a Historic Architect for the National Park Service at Yosemite National Park. Previously, she also worked as a Project Manager for a Phoenix, Arizona based architectural firm called Metropolis Design Group, where she developed the historic contexts for the nomination of 24

properties to the National Register of Historic Places. She also surveyed areas in Clifton, Arizona and Albuquerque, New Mexico to identify National Register eligible properties. Gabrielle worked as a member of a three-person team to research and develop historic contexts for two early twentieth century neighborhoods for the 2002 Historic Chicago Bungalow Initiative sponsored by Mayor Richard M. Daley, the results of which were submitted in a Chicago Bungalow Multiple Property Nomination to the National Register of Historic Places. Gabrielle's doctoral dissertation investigates late-nineteenth and twentieth century American Southwest regional imagery, while her master's thesis was on the nationally-recognized Arizona architect, Judith Chafee.

#### Christine Mathieson, Associate II / Architectural Historian

Christine Mathieson is an Associate at Chappel with 12 years of diverse experience in historic preservation, interior design, and client-oriented financial services. Before moving to Los Angeles, Christine was the National Register Coordinator for the Tennessee Historical Commission (SHPO) where she was responsible for all aspects of the National Register Program. There, she wrote multiple National Register nominations, collaborated on tax credits projects, and reviewed projects for compliance/Section 108. While living in New York she worked as an Architectural Historian for DMS Consulting where she was responsible for FCC/FAA/NEPA/SHPO filings. Prior to DMS she served as Edward I. Koch Fellow at the Historic House Trust of New York City, and worked for the Greenwich Village Society for Historic Preservation. Christine earned her undergraduate degree from Harvard University, also studying in Florence at the Lorenzo DeMedici School, and at the University of Saint Andrews in Scotland where she documented Scottish castles. She accepted a fellowship to attend graduate school in Charleston, SC, where she earned an MS in Historic Preservation from the Clemson University/College of Charleston program. Her thesis research on the specifics and significance of private art galleries in Charleston and New York was used to inform restoration projects at the Aiken-Rhett house. Her thesis is now published as a book entitled *Ambition's Apex: The Private Art Gallery of the Aiken-Rhett House*. Christine's postgraduate coursework includes National Park Service Historic Preservation Tax Credits workshop for SHPOs, National Preservation Institute (NPI) seminars in Preservation Maintenance and Historic Structures Reports, NPI Section 4(f) Compliance for Historic Properties, and the Section 106 Essentials Course given by the Advisory Council on Historic Preservation. She meets the *Secretary of the Interior's Professional Qualifications Standards in Architectural History*.

#### **Regulatory Setting**

##### Summary

In the "June 2014 report" that described the previously proposed project, the subject property contained three historic resources: the Orchid Tree Inn, a stone arch, and the Palm Springs Community Church. However, the boundaries of the revised proposed project have been revised; therefore, the subject property now only contains two designated City of Palm Springs Historic Sites: the Orchid Tree Inn, designated as both a Class 1 and Class 2 Historic Site in 2010; and the stone arch, designated as a Class 1 Historic Site in 2010. There are no historical resources on the subject property that are listed in the National Register of Historic Places (National Register) or California Register of Historical Resources (California Register), nor do any other buildings or features appear so eligible. However, due to these two designations as City of Palm Springs Historic Sites, they are considered historical resources for purposes of CEQA review.

##### City of Palm Springs

The City of Palm Springs municipal code defines a Historic Site as any real property such as: a building; a structure, including but not limited to archways, tiled areas and similar architectural

elements; an archaeological excavation or object that is unique or significant because of its location, design, setting, materials, workmanship or aesthetic effect and:<sup>1</sup>

- 1) That is associated with events that have made a meaningful contribution to the nation, state or community; or
- 2) That is associated with lives of persons who made meaningful contribution to national, state or local history; or
- 3) That reflects or exemplifies a particular period of the national, state or local history; or
- 4) That embodies the distinctive characteristics of a type, period or method of construction; or
- 5) That presents the work of a master builder, designer, artist, or architect whose individual genius influenced his age; or that possesses high artistic value; or
- 6) That represents a significant and distinguishable entity whose components may lack individual distinction; or
- 7) That has yielded or may be likely to yield information important to national, state or local history or prehistory.

Historic Districts are defined as: any area of the city of Palm Springs containing a number of structures, natural features or sites having historic, architectural, archaeological, cultural or aesthetic significance and designated as an historic district under the provisions of this chapter.

The City Council may designate one or more Historic Sites or Historic Districts by categorizing nominated sites and districts into one of the following classifications and such other categories as may be designated by resolution:<sup>2</sup>

- *Class 1:* Structure/site qualified for city designation; may be qualified at the federal, state and/or county level. Archival file will be maintained. Structure/site may not be modified nor objects removed without the approval of the city council; usage may be limited by the city council to the extent that it may impair the integrity of the site. Site will be plaqued. (Intended for use when the structure or site still exists as it did during the historical period or is restorable).
- *Class 2:* Site qualified for city designation; may be qualified at the federal, state and/or county level. Archival file will be maintained. Site is eligible for plaquing. (Intended for use when the site is not occupied by a modern structure or use which is different than that of the historical period or if structure is unusable, nonconforming, unrestorable or the like).
- *Class 3:* Structure/site was constructed before 1945, or a year to be determined by the city council, or construction date cannot be confirmed. Eligible for a six-month stay of demolition. Action of the HSPB [Historic Site Preservation Board] may include recommendation to reclassify. All structures built prior to the subject date would be automatically so classified.
- *Historic District:* Qualified for city designation; may be qualified at the federal, state and/or county level. Archival file will be maintained and shall contain a map delineating contributing and noncontributing structures or sites. Contributing structures/sites shall be subject to Class 1 regulations until such time that they may be reclassified. Noncontributing structures/sites shall be subject to review by the HSPB before demolition or construction. A specific plan, containing special regulations pertaining to the subject area, may be adopted for each district.

*Relationship to This Report:*

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<sup>1</sup> City of Palm Springs Municipal Code, Ord. 1320 § 1, 1988; Ord. 1140 § 1, 1981.

<sup>2</sup> City of Palm Springs Municipal Code, Ord. 1320 § 5, 1988; Ord. 1140 § 1, 1981.

The subject property contains two previously designated Historic Sites: the Orchid Tree Inn bungalow court (with ten buildings), and the stone arch, both of which were designated as Class 1 Historic Sites in 2010 and are located at 262 S. Cahuilla Road. However, it should also be noted that there are technically four different components of the Orchid Tree Inn designation: the Inn and the stone arch each represent one component, but there were previously two Class 2 Historic Sites also on the subject property. However, these had already been demolished at the time of the designation: one was a Craftsman bungalow, located at 262 S. Cahuilla Road, which was destroyed by fire. The other was the Premiere Apartments building designed by noted architect Albert Frey, located at 292 S. Belardo Road.

#### California Register

The California Register was established to serve as an authoritative guide to the state's significant historical and archaeological resources (PRC §5024.1). State law provides that in order for a property to be considered eligible for listing in the California Register, it must be found by the State Historical Resources Commission to be significant under any of the following four criteria; if the resource:

- 1) is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage; or
- 2) is associated with the lives of persons important in our past; or
- 3) embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual or possesses high artistic values; or
- 4) has yielded, or may be likely to yield, information important in prehistory or history.

The California Register also includes properties which: have been formally *determined eligible for listing in*, or are *listed in* the National Register of Historic Places (National Register); are registered State Historical Landmark Number 770, and all consecutively numbered landmarks above Number 770; points of historical interest, which have been reviewed and recommended to the State Historical Resources Commission for listing; and city and county-designated landmarks or districts (if criteria for designation are determined by OHP to be consistent with California Register criteria). PRC §5024.1 states:

- g) A resource identified as significant in an historical resource survey may be listed in the California Register if the survey meets all of the following criteria:
  - 1) The survey has been or will be included in the State Historical Resources Inventory.
  - 2) The survey and the survey documentation were prepared in accordance with [OHP]... procedures and requirements.
  - 3) The resource is evaluated and determined by the office to have a significance rating of category 1-5 on DPR [Department of Parks and Recreation] form 523.
  - 4) If the survey is five or more years old at the time of its nomination for inclusion in the California Register, the survey is updated to identify historical resources which have become eligible or ineligible due to changed circumstances or further documentation and those which have been demolished or altered in a manner that substantially diminishes the significance of the resource.

#### *Relationship to This Report:*

The subject property is not listed in the California Register, nor does it appear eligible for listing in the California Register.

#### California Environmental Quality Act (CEQA)

According to CEQA,

an historical resource is a resource listed in, or determined eligible for listing in, the California Register of Historical Resources. Historical resources included in a local register of historical resources..., or deemed significant pursuant to criteria set forth in subdivision (g) of Section 5024.1, are presumed to be historically or culturally significant for purposes of this section, unless the preponderance of the evidence demonstrates that the resource is not historically or culturally significant (California Public Resources Code, PRC §21084.1).

If the proposed project were expected to cause *substantial adverse change* in an historical resource, environmental clearance for the project would require mitigation measures to reduce impacts. "Substantial adverse change in the significance of an historical resource means the physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired" (PRC§15084.5 (b)(1)). PRC §15064.5 (b)(2) describes *material impairment* taking place when a project:

- (A) Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register... or
- (B) Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register... or its identification in an historical resources survey... unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
- (C) Demolishes or materially alters those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register... as determined by a lead agency for the purposes of CEQA.

*Relationship to This Report:*

The Orchid Tree Inn bungalows and the stone arch have presumptive significance under the CEQA statute based on substantive evidence contained in Class 1 documentation supporting local designation and in this report. Thus, the subject property contains identified historical resources for purposes of CEQA review. It should be noted, however, that the Class 2 local designations attached to the two buildings now demolished are not historical resources for the purposes of CEQA.

California Historical Building Code (CHBC)

Defined in Sections 18950 to 18961 of Division 13, Part 2.7 of California's Health and Safety Code, the CHBC exists to preserve California's architectural heritage by recognizing unique construction issues inherent in maintaining and rehabilitating historical resources. The CHBC provides alternative building regulations for permitting repairs, alterations, and additions necessary for preservation, rehabilitation, relocation, related construction, change of use, or continued use of a "qualified historical building or structure."

Section 18955 of the CHBC defines such a "qualified historical building or structure" as follows:

Any structure or property, collection of structures, and their associated sites deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction. This shall include structures on existing or future national, state or local historical registers or official inventories, such as the National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and city or county registers or inventories of historical or architecturally significant sites, places, historic districts, or landmarks. This shall also include places, locations, or sites identified on these historical registers or official inventories and deemed of importance to the history, architecture, or culture of an area by an appropriate local or state governmental jurisdiction.



***Relationship to This Report:***

The subject property contains qualified historical buildings and is eligible for use of the CHBC.

**National Register of Historic Places**

The National Register is the nation's official list of historic and cultural resources worthy of preservation. Authorized under the National Historic Preservation Act of 1966, as amended, the National Register is part of a national program to coordinate and support public and private efforts to identify, evaluate, and protect the country's historic and archaeological resources. Properties listed in the National Register include districts, sites, buildings, structures, and objects that are significant in American history, architecture, archaeology, engineering, and culture. The National Register is administered by the National Park Service (NPS), which is part of the U.S. Department of the Interior.

Resources are eligible for the National Register if they:

- A) are associated with events that have made a significant contribution to the broad patterns of our history; or
- B) are associated with the lives of significant persons in or past; or
- C) embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D) have yielded or may be likely to yield, information important in history or prehistory.<sup>3</sup>

Once a resource has been determined to satisfy one of the above-referenced criteria, then it must be assessed for "integrity." Integrity refers to the ability of a property to convey its significance, and the degree to which the property retains the identity, including physical and visual attributes, for which it is significant under the four basic criteria listed above. The National Register recognizes seven aspects or qualities of integrity: location, design, setting, materials, workmanship, feeling, and association. To retain its historic integrity, a property must possess several, and usually most, of these aspects.

The National Register includes only those properties that retain sufficient integrity to accurately convey their physical and visual appearance from their identified period of significance. Period of significance describes the period in time during which a property's importance is established. It can refer simply to the date of construction, or it can span multiple years, depending on the reason the property is important. The period of significance is established based on the property's relevant historic context and as supported by facts contained in the historic context statement.

Evaluation of integrity is founded on "an understanding of a property's physical features and how they relate to its significance."<sup>4</sup> A property significant under criterion A or B may still retain sufficient integrity to convey its significance even if it retains a low degree of integrity of design, materials or workmanship. Conversely, a property that derives its significance exclusively for its architecture under Criterion C must retain a high degree of integrity of design, materials, and workmanship. For some properties, comparison with similar properties is considered during the evaluation of integrity, especially when a property type is particularly rare.

While integrity is important in evaluating and determining significance, a property's physical condition, whether it is in a deteriorated or pristine state, has relatively little influence on its significance. A property that is in good condition may lack the requisite level of integrity to convey its

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<sup>3</sup> National Register Bulletin #15, "How to Apply the National Register Criteria for Evaluation" (National Park Service, 1990, revised 2002).

<sup>4</sup> National Register Bulletin #15, *How to Apply the National Register Criteria for Evaluation* (National Park Service, 1990, revised 2002).

significance due to alterations or other factors. Likewise, a property in extremely poor condition may still retain substantial integrity from its period of significance and clearly convey its significance.

*Relationship to This Report:*

The subject property is not listed in the National Register, nor does it appear eligible for listing in the National Register.

### **Character-Defining Features**

Chattel previously prepared a June 2014 report for New Church II, LLC. Much of the following is summarized from information provided in that document.

The site of the proposed Orchid Tree Resort & Spa Project contains two designated City of Palm Springs Historic Sites: the Orchid Tree Inn (or "Inn") and stone arch, designated as Class 1 and Class 2 Historic Sites in 2010. Both are considered historical resources for purposes of CEQA review. The first historic resource—the Orchid Tree Inn—comprises ten existing Spanish Colonial Revival Style bungalows, which are located in the southeast quadrant of the proposed project site. The second historic resource, the stone arch, is currently located to the north of the the Palm Springs Community Church building. Previously, the Church, a Class 1 Historic Site designated in 1989 which is located to the southwest of the proposed project site, was included in the project site. It has since been omitted from the plan. A more thorough discussion of this change and others is discussed in the below "Revised Proposed Project Review" section.

With respect to the ten existing bungalows that comprise the Orchid Tree Inn and according to Palm Springs City Council Resolution No. 22819 designating the Orchid Tree Inn as a Class 1 Historic Site, the "defining historic characteristics" of the Orchid Tree Inn are as follows:

- The grouping of the cottages around a central courtyard.
- The presence of 10 lodging units.
- One-story with wide overhanging eaves.
- Projecting rafters and an informal plan to the common area.
- Clay barrel tile roof, wooden doors, and casement windows.

With respect to the stone archway located to the north of the Church building, and according to the Palm Springs City Council Resolution No. 22819 which found that it meets the standards for Class 1 Historic Site designation, its defining historic characteristics are as follows:

- Hand cut stone.
- Hand-built mortared and stone archway.
- Remaining example of early twentieth century rural development.

### **Revised Proposed Project Review**

#### Introduction

The proposed project involves redevelopment of the project site as a new hotel that incorporates existing buildings of the Orchid Tree Inn (hereinafter also referred to as "Inn"). Our previous June 2014 report for New Church II, LLC described the proposed changes to the site in detail. Therefore, for the purposes of this memo, only the significant changes between the earlier proposed design and the revised proposed project, as of November 2, 2015 are described here, with a brief summary of the earlier design and the revised proposed design provided for each significant change.

Previously, our report evaluated the construction of a new, five-story, L-shaped hotel building with guest rooms and pool area. However, this plan was significantly revised as of the architectural drawing set dated November 2, 2015, in response to City concerns. The most notable changes from the previously proposed project are:

- the building massing has been substantially reduced to two stories above the parking garage level
- the Palm Springs Community Church parcel has been removed from the plan, resulting in a simpler L-shaped site just incorporating the hotel and bungalow court.
- the rear (northernmost) two bungalows are no longer attached to the hotel units. In the current plan, there is now a breezeway between the two northern units and the hotel to the north.
- A 12'x60' pool and a 12'x12' spa is now located in the center of the bungalow court. The entire bungalow court is enclosed from the street by a 7'-high wall that serves to prevent access from the street to the pool area. Each bungalow patio is enclosed with a 5' high steel post fence that serves to create a physical barrier between each bungalow and the pool, while also allowing the courtyard to retain its historically open appearance. The choice by the design team to utilize a steel post fence, rather than a solid wall, at the location of each of the bungalows also helps the courtyard to retain a visually open quality.
- Bungalow parapets, walls, and chimneys are now topped with Mission tile, in lieu of the less historically appropriate brick shown in previous iterations of the design.
- The stone arch has been relocated to the west of Bungalow #5, where the wall abuts the Church property. This new location is highly appropriate as it will allow the arch to have a continuing functional use, not simply existing as a non-functional decorative element on the landscape as it might if located elsewhere on the project site.
- The solid perimeter wall on Baristo was aligned so that it is now symmetrical with the wall on the opposite side of the entrance; this change will also help tie in the new walls with the existing church wall more gracefully.
- The breezeway between the northern bungalows (#5 and #6 in current plans) was covered with a roof. This is a positive change, as this will give the breezeway space a look that is similar to what was there historically.
- A solid wall was added on the east wall of Bungalow #5 so that it now mirrors the termination of Bungalow #6. Additionally the covered breezeway now continues in an L-shape over the top of Bungalow #5's south patio. Visually this makes Bungalow #5 and #6 more symmetrical on the south elevation.
- The gate with entry to the patio of Bungalow #5 was relocated to support the breezeway roof and altered to a solid wall. This will contribute to making the breezeway roof more similar to its historic appearance. It will also eliminate an awkward and asymmetrical opening where the Breezeway abuts Bungalow #5, and previously was left open. The gate was also moved to the south so that it is located on the east wall of the uncovered portion of the patio, within the steel picket fence. The gate in the previous plan was located in an awkward position opening right into the door to the bungalow.
- The solid patio walls, to the east on Bungalow #6 and to the west on Bungalow #5 were inset from Bungalows #7 and #4, respectively, so that there is greater differentiation and openness between the buildings and the patios.
- On the south elevations of Bungalows #5 and #6, steel picket fences were added instead of solid patio walls facing the bungalow court pool and spa. This will allow for a more open, and historically appropriate, appearance.

The following describes the revisions to the previously proposed project in detail, and evaluates conformance with the *Secretary's Standards*.

### Palm Springs Community Church—Proposed Alterations

The plan has been revised to exclude the Palm Springs Community Church from the project area. The current project area, as described in the revised proposed project, only incorporates the L-shaped Orchid Tree Hotel property.

### Orchid Tree Inn—Proposed Alterations

Previously, our June 2014 report evaluated the proposed addition of second floors to the two rear (northernmost) bungalows in the grouping of ten. All of the ten bungalows that comprise the Orchid Tree Inn are currently one-story. In that report, we described how the new second floor would step back a full bay from the first floor parapet, working to distinguish the new construction from the existing buildings, and interpreting the fact that the buildings were historically only one-story. We also described how the overall mass and scale of the addition would work well in the context of the larger project, as it would provide a visual transition by allowing the bungalows to “step-up” to the new five-story L-shaped hotel building that was proposed at that time. We also described how the second floor addition would be contemporary in style with exterior walls incorporating contemporary, perforated aluminum panels, stainless steel bar railings for terraces, aluminum storefront system doors, and a flat aggregate roof. We also described how the modest intentional opposition would help to integrate the Spanish Colonial Revival style bungalows with the contemporary architecture of the new buildings and additions that were part of the larger proposed project. Finally, we described how we believed that this was an appropriate intervention as these two bungalows had seen the most inappropriate change of the ten in the grouping, as they were substantially altered at some point in time—the northeast bungalow was altered to become the office and reception area for the Inn, and the northwest bungalow had a substantial addition to the north.

Since we issued the June 2014 report, the proposed project has been revised so that there are no longer second-floor additions being proposed to the two rear (northernmost) bungalows, in which the two modified bungalows would then “step-up” to a new five-story L-shaped hotel building. Instead, the massing of the new proposed hotel building is dramatically reduced to two stories over the garage level, making such a transition unnecessary. Like the previous proposed design, the revised proposed design also calls for demolishing these two rear bungalows and rebuilding them, but not as an addition to the hotel building as previously proposed; additionally, the bungalows will be rebuilt on their existing footprints. This treatment is much simpler than previous plans, and has less of an effect on the historic integrity of the bungalow court. As stated in the June 2014 report and in the March 2015 memo, these two bungalows are the most substantially altered of the ten in the grouping, and the demolition and rebuilding of them on the same footprint is acceptable. In our previous report, we described how they were the most altered of the bungalow grouping as they “have seen the most inappropriate change, becoming the office and the reception area for the Inn” (p. 8). The November 2, 2015 plans have opened up the space surrounding these two bungalows, allowing for a breezeway between them that leads to the new hotel building to the north. As designed in the revised proposed project, the building footprint of the Inn will continue to maintain its historic footprint as a grouping of ten bungalows. It will provide hotel units in the same location as they were located historically, while also maintaining the important sense of enclosure and termination to the courtyard that the two modified bungalows have provided historically.

Additionally, a 12'x60' pool and a 12'x12' spa are located in center of the bungalow court. We recommended after the October 15, 2015 drawings that the perimeter fence enclosing the pool be removed from the plan, and in its place there are now steel post fences around each individual bungalow's patio. This visually opens the space surrounding the pool, making the space more akin the openness of the courtyard historically.

Similar to the manner in which the new hotel building relates to the historical resources elsewhere on the site, the contemporary architecture of the new hotel building will provide intentional opposition from the historical style of the Spanish Colonial Revival bungalow court, clearly distinguishing the new from the old. This new south façade of the new hotel building also serves to provide a contemporary interpretation of the historic footprints of the two bungalows it will replace. This south façade is also distinguished from other parts of the new hotel by its stark simplicity, which helps to accentuate the importance of the historic architecture as the focal point of the courtyard setting. The pool located in the courtyard of the new hotel contains a pool and spa, clearly reflecting the historic bungalow court. Similarly, the color scheme will tie in the new hotel from the historic bungalow court, but the more stark modern design of the new construction will allow for clear differentiation from the new to the old.

#### The Existing Stone Arch—Proposed Location

The June 2014 report described how the existing stone arch appears to have been recently reconstructed. Nevertheless, it was identified as a Class 1 Historic Site in 2010. In that report, we described how the proposed project would ensure that it was retained in a manner that would preserve its existing materials by relocating it within the proposed project. Previously, it was proposed to be relocated in front of the center of the south elevation of the east-west arm of the new hotel building. It is our understanding that in subsequent design iteration, the stone arch was proposed to be located in the fire pit area, but that this location was not considered as ideal as other potential locations on the site by the City.

In the revised proposed design dated November 2, 2015, the stone arch has been relocated to the west of Bungalow #5, where the wall abuts the Church property. This new location is highly appropriate as it will allow the arch to have a continuing functional use, not simply existing as a non-functional decorative element on the landscape as it might if located elsewhere on the project site.

#### Conformance

As stated above, the proposed project should conform with the Secretary's Standards. Under CEQA, effects on historical resources resulting from a project found in conformance with the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation* (Secretary's Standards) are generally considered mitigated to a less than significant level or exempt, as provided in CEQA Guidelines §15064.5(b)(3). The Secretary's Standards include four treatments; the appropriate, overarching treatment for this project is rehabilitation, which is defined as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values."<sup>5</sup>

The rehabilitation standards are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

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<sup>5</sup> Kay D. Weeks, "The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings" (National Park Service, 1995).

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

There is currently only one character-defining feature that is somewhat affected by the proposed project. This is in respect to the ten existing bungalows that comprise the Orchid Tree Inn, two of which are proposed to be demolished and rebuilt. One of the identified character defining features of the Orchid Tree Inn is currently "the grouping of the cottages around a central courtyard." Another is "the presence of 10 lodging units." However, as our previous report described, the two northernmost bungalow units are currently the most altered of the grouping, and they will be demolished and rebuilt on their existing footprints. We do not believe this is a significant impact to the property since the two units will be rebuilt on their existing footprints. This will ensure both that "the grouping of the cottages around a central courtyard" and "the presence of 10 lodging locations" is retained.

#### Conclusion

The November 2, 2015 plans, which have been dramatically scaled back and simplified since the last time that we reviewed plans for the proposed project in June 2014, are in conformance with *Secretary's Standards*.

Respectfully submitted,

CHATTEL, INC.

By:

  
Robert Jay Chattel, AIA, President

# Attachment 8

**David Newell**

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**From:** Steve Huffman <sellapartments@gmail.com>  
**Sent:** Thursday, March 03, 2016 6:17 AM  
**To:** David Newell  
**Subject:** Orchid Tree  
**Attachments:** Orchid Tree Public Notice 3.3.2016.pdf

David:

If you remember, I am the HOA President of the St. Baristo Condominiums which is on Cahuilla directly next door to the Orchid Tree parking areas on the west side of the street. Please incorporate the enclosed letter of support into the Planning Commission correspondence. Please note some of the conditions within a maintenance agreement we have with Mr. Weintraub that should be incorporated as conditions of said approval on your end.

Please confirm your receipt. Thank you.

--

**Steve Huffman**  
Mobile: 619-997-7878





March 2, 2016

David Newell, Palm Springs City Planner  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

RE: Orchid Tree Church Development


David:

The Orchid Tree Church and property has a very direct impact on the St. Baristo Condominiums to the west as the parking area along Cahuilla which is part of the church property and is directly in front of many of our homeowners. The parking area abuts the common areas of our community and these spaces were designed similar to the design of St. Baristo. Additionally, our homeowner association has been maintaining these parking spaces for over ten years since the construction of St. Baristo.

The Planning Commission should be aware of the fact that our community has entered into a written maintenance agreement of said parking spaces. In our agreement, Mr. Weintraub has agreed to the following as it relates to these spaces:

"Developer will maintain the parking areas, pavers, asphalt, curbs, gutters, concrete, other hard surfaces or similar features of the Maintenance Area (and street, if required to do so) in a clean and orderly fashion and will undertake its best efforts to minimize noise and nuisances to HOA's homeowners from its use of such areas. Without limiting the generality of the foregoing, Developer will limit use of Maintenance Area to valet parking, if any, and will not allow the Maintenance Area to be used for construction related parking, or for deliveries, or for other non-passenger vehicle parking. Additionally, no bus parking of any size is allowed."

Our community was pleased when the entire Orchid Tree project was scaled down to be a remodel of the existing facilities. We have reviewed the revised plans completed just this week and we are in support of the revised plans in keeping with the original design and theme of the church buildings.

Sincerely,  


Steve Huffman, President, St. Baristo HOA

October 29, 2015

Architectural Advisory Committee

City of Palm Springs

3200 East Tahquitz Canyon Way

Palm Springs, Ca. 92262

Attention: Gary Fredicks Chair, Kenny Cassady Vice Chair

cc: Flinn Fagg AICP

RECEIVED  
NOV 03 2015  
PLANNING SERVICES  
DEPARTMENT

Subject: New Church LLC for major architectural application to renovate and modify existing structures for 52-unit hotel off of Balardo Road and Baristo Road (case3.0678 MAJ)

Reference Palm Springs meeting agenda Oct. 26<sup>th</sup> 2015.

I am an owner of a condominium located at 285 S. Cahuilla Road, Palm Springs, which is part of the St. Baristo condominium complex.

We have been looking at a burnt so-called historic church for 3 years. We have written letters to the City, have attended planning meetings regarding development of the subject property by Mr. Wientraub when he was trying to build 104 units without ample parking and have continued to ask the City as to how long we the owners along Cahuilla and the Tennis Club neighborhood have to look at this burnt church structure.

We were told the City was working with Mr. Wientraub for the redevelopment of this property and when approved (told this year) he would be renovating the burnt church.

Now after reading the latest proposal for Mr. Wientraube, this proposal conveniently leaves out any modifications, improvements' etc to the burnt church. This is unacceptable. Any re-development of this property must include the renovation of the church and if not at least the complete demolition of the existing burnt structure.

Three long years of looking at this burnt mess across the street is enough. We have been told a year ago that the city lawyers were working on placing a limit on how long a structure like this could remain in it's damaged state.

I'm all for renovation and will gladly give my support to the re-development of this property but it must also include plans for the church renovation.

Please let me know that you acknowledge receipt of this letter and it will be entered into the minutes on any further discussions regarding the subject property.

Best regards

A handwritten signature in black ink, appearing to read "R. C. Kasper". The signature is written in a cursive style with a large, looping initial "R" and "K".

R. C. Kasper

Historic Tennis Club Neighborhood Organization  
Palm Springs, California

July 20, 2015

David Ready  
Palm Springs City Manager  
3200 E Tahquitz Canyon Way  
Palm Springs, California

RECEIVED  
JUL 21 2015  
PLANNING SERVICES  
DEPARTMENT

Re: The Orchard Tree Renovation

Dear Mr. Ready,

We are extremely happy with the revised plans of developer Richard Weintraub for the renovation of the Orchard Tree Hotel. His new plans are to restore existing buildings and rebuild ten burned out units along Belardo Road, bringing the total number of units back to the formerly existing 56 units.

It appears that the existing codes do not allow for this, but do allow for an appeal to the Planning Commission. Whatever changes it takes, this renovation is what would not only restore the Orchard Tree to its original glory, but take it to a whole new level. Both our neighborhood and the city at large would greatly benefit from eliminating the present eyesore.

This also draws attention to the unfriendliness of the present ordinances for historic preservation by only allowing an unrealistic time frame for rebuilding burned out buildings and by not allowing any rebuilding of historic properties if more than 50% is destroyed. Thus, if a major earthquake or fire would hit our town, our unique character could never be restored.

We recommend that our ordinances be revised at the earliest possible time to allow for rebuilding of any historic property regardless of how much has been destroyed, eliminating any unrealistic time frame, and allowing the existing density and setbacks to be maintained.

We must also mention that in exercising patience and not tearing down La Serena, we can look forward to a beautifully restored \$6,000,000 project which is now in the planning stage. Meanwhile, we must do everything in our power to assist and facilitate Mr. Weintraub, who is trying to be a public-spirited developer and wishes to do the right thing for our city.

The Historic Tennis Club Neighborhood Board

# Attachment 9



RECEIVED  
NOV 02 2016  
PLANNING SERVICES  
DEPARTMENT

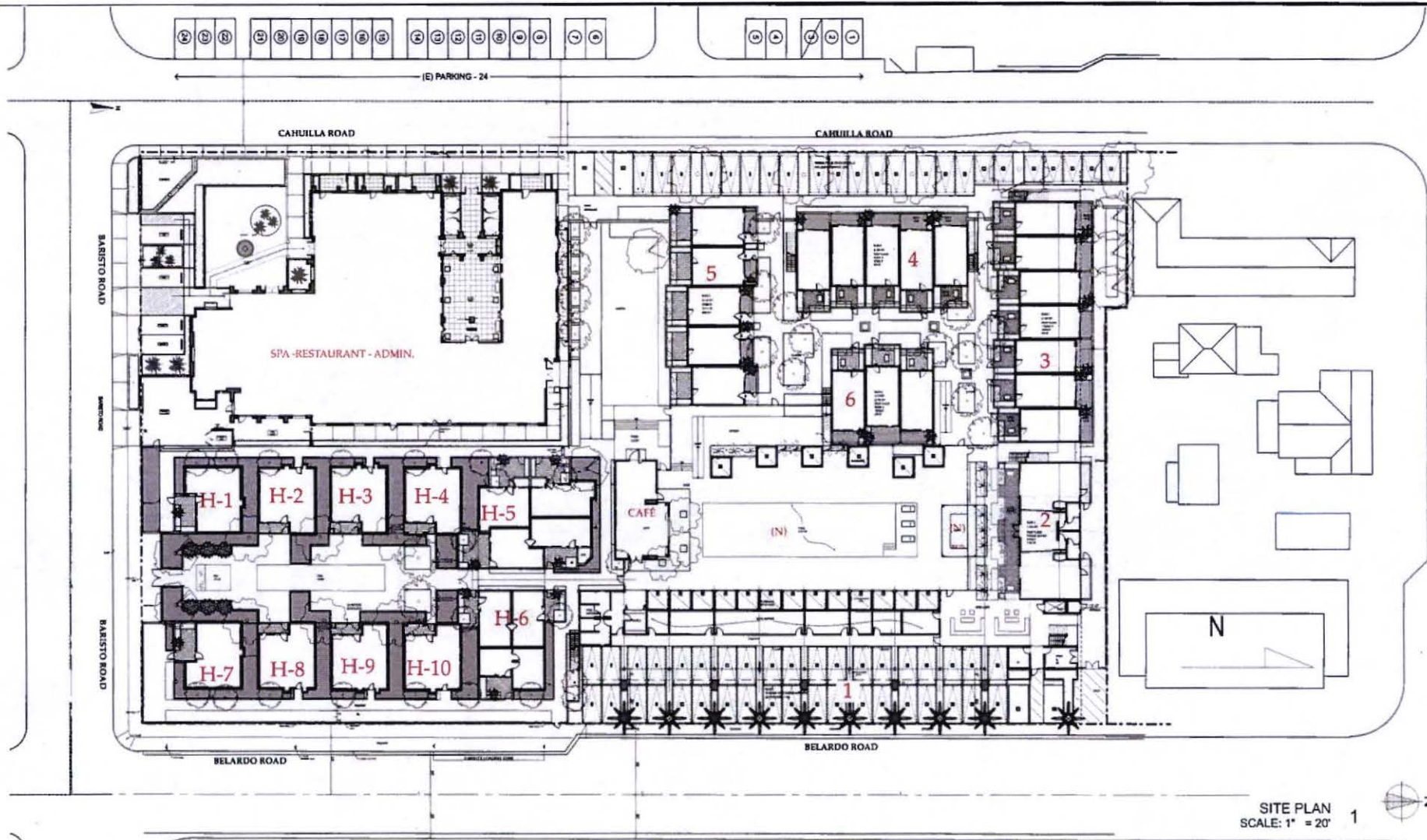
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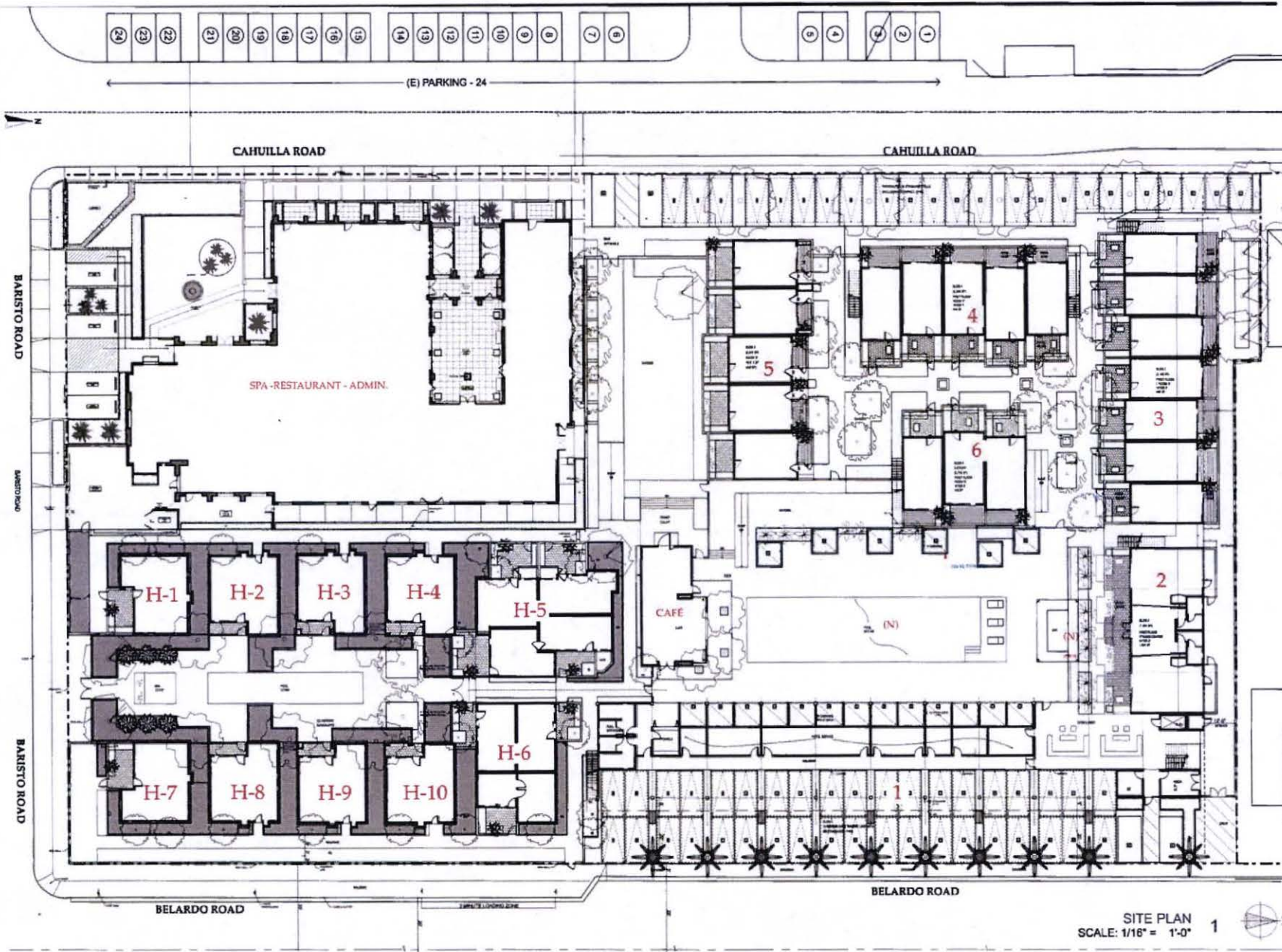




SITE PLAN 1  
SCALE: 1" = 20'



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NO.	DATE	ISSUE																				
1	01/13/16	PC and HC Residential																				



**THE ORCHID TREE INN**

222 S. CAHUILLA RD  
PALM SPRINGS, CA 92262

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NO.	DATE	ISSUE
1	05-01-24	PC and HC Revisions

**BURDGE & Associates**  
ARCHITECTS

2126 PACIFIC COAST HWY  
MALIBU, CA 90265  
TEL: 310-448-8800

140 WASHINGTON AVE  
SUITE 204 C  
HYDRAUL, ID 83604  
TEL: 208-465-3228

WWW.BUAIA.COM

DESCRIPTION:  
SITE PLAN

DRAWING NO.	<b>A-0.2</b>
PROJECT	THE ORCHID TREE
DATE	05/12/24
SCALE	AS NOTED
DRAWN BY	D.W.B., S.D., N.H.A., A.A.

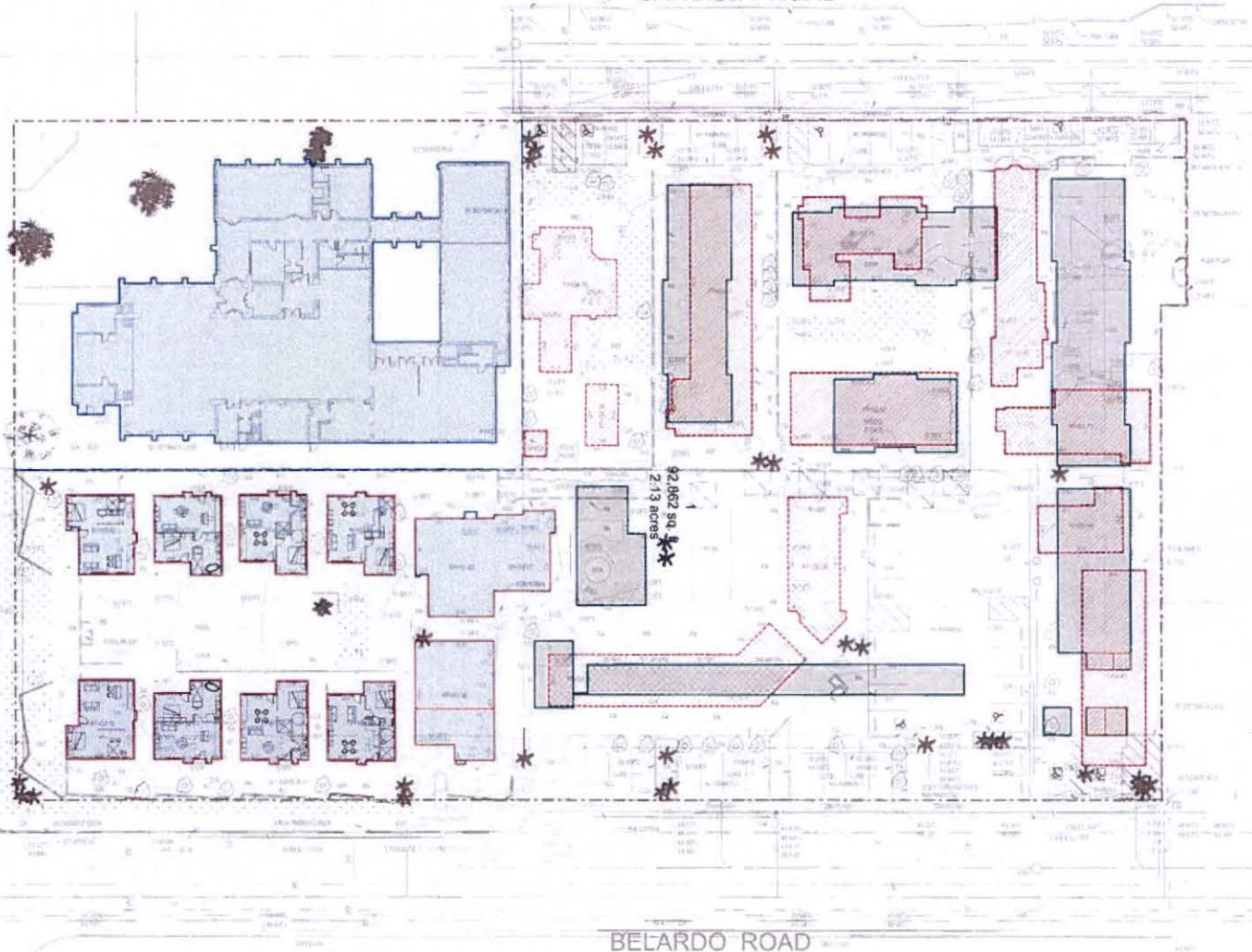
SITE PLAN  
SCALE: 1/16" = 1'-0" 1



BARISIO ROAD

CAHUILLA ROAD

BELARDO ROAD



**LEGEND**

- (E) EXISTING BUILDING TO REMAIN
- (D) EXISTING BUILDING TO BE DEMOLISHED
- (P) OUTLINE PROPOSED NEW BUILDING
- (X) BUILDING ALREADY DEMOLISHED

EXISTING AND PROPOSED PLAN  
SCALE: 1" = 20'

1

# THE ORCHID TREE INN

222 S CAHUILLA RD  
PALM SPRINGS,  
CA 92262

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**NO DATE ISSUE**

1" = 20' - EC and EK - Revampment

## BURDGE & Associates ARCHITECTS

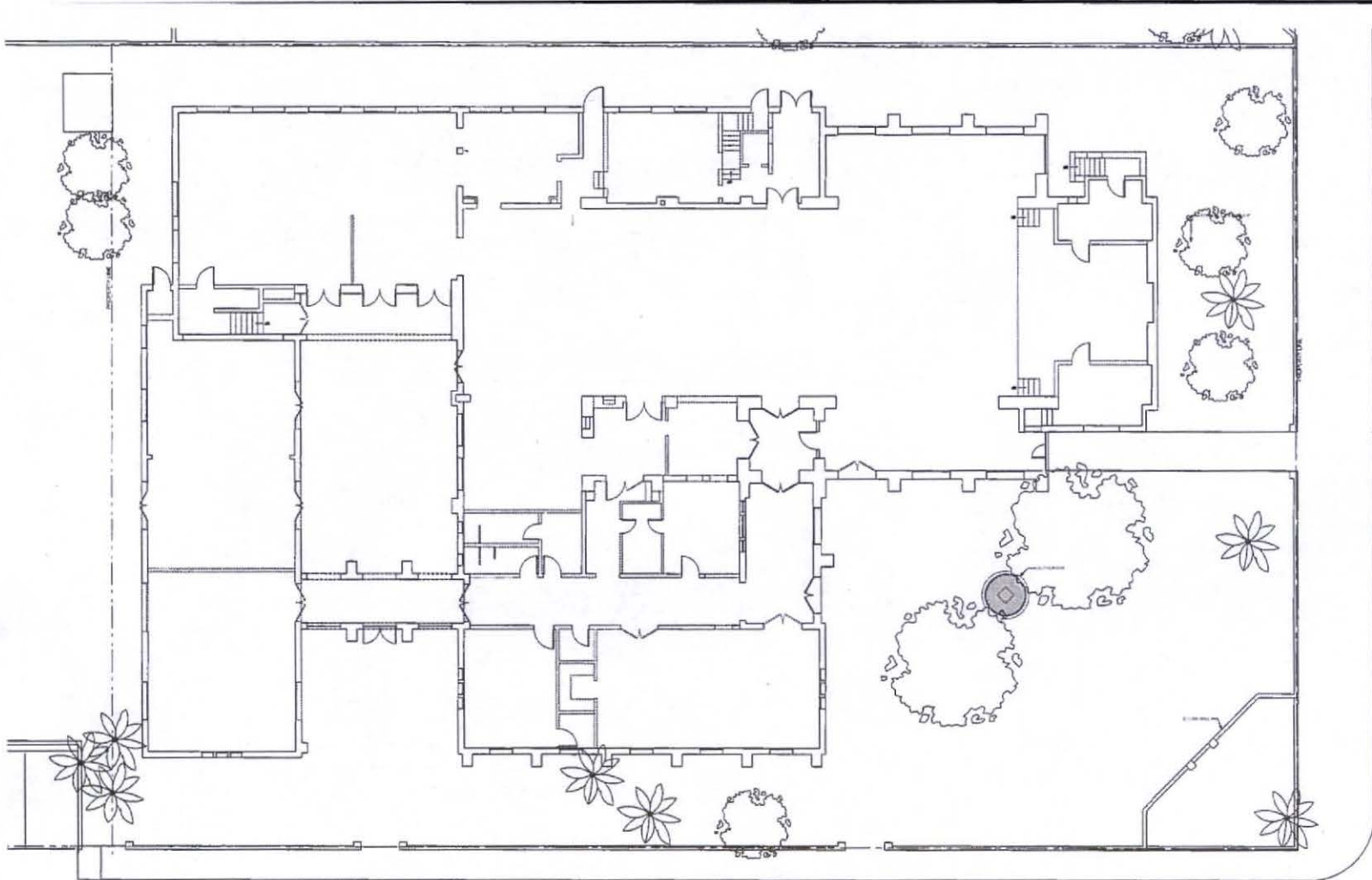
HALISU CIVILLY WWW.BUAIA.COM  
 2128 PACIFIC COAST HWY 440 WASHINGTON AVE  
 PALM SPRINGS, CA 92262 PALM SPRINGS, CA 92262  
 TEL: 760-438-8222 TEL: 760-438-8222  
 FAX: 760-438-8224 FAX: 760-438-8224

**DESCRIPTION:**

SITE PLAN DEMO-PROPOSED



DRAWING NO **A-0.3**

PROJECT THE ORCHID TREE  
 DATE 2/24/10  
 SCALE  
 DRAWN BY D.W.B., S.D., N.M., M.A., A.S.I.



CAHUILLA ROAD

**LEGEND**

-  (E) EXISTING WALL TO REMAIN
-  (D) EXISTING WALL TO BE DEMOLISHED

Church - Extg Floor plan  
SCALE: 1/8" = 1'-0"



**THE ORCHID TREE INN**

222 S. CAHUILLA RD  
PALM SPRINGS,  
CA 92262

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NO.	DATE	ISSUE
1	7-29-06	17% and 10% Developmental

**BURDGE & Associates**  
ARCHITECTS

MALIBU  
SUNAVALLI  
WWW.BURDGE.COM

11750 PACIFIC COAST HWY. #100 WASHINGTON AVE. SUITE 204 C  
MALIBU, CA 90262 MALIBU, CA 90262  
TEL: 310-466-8888 TEL: 310-466-8888  
TEL: 310-466-8888

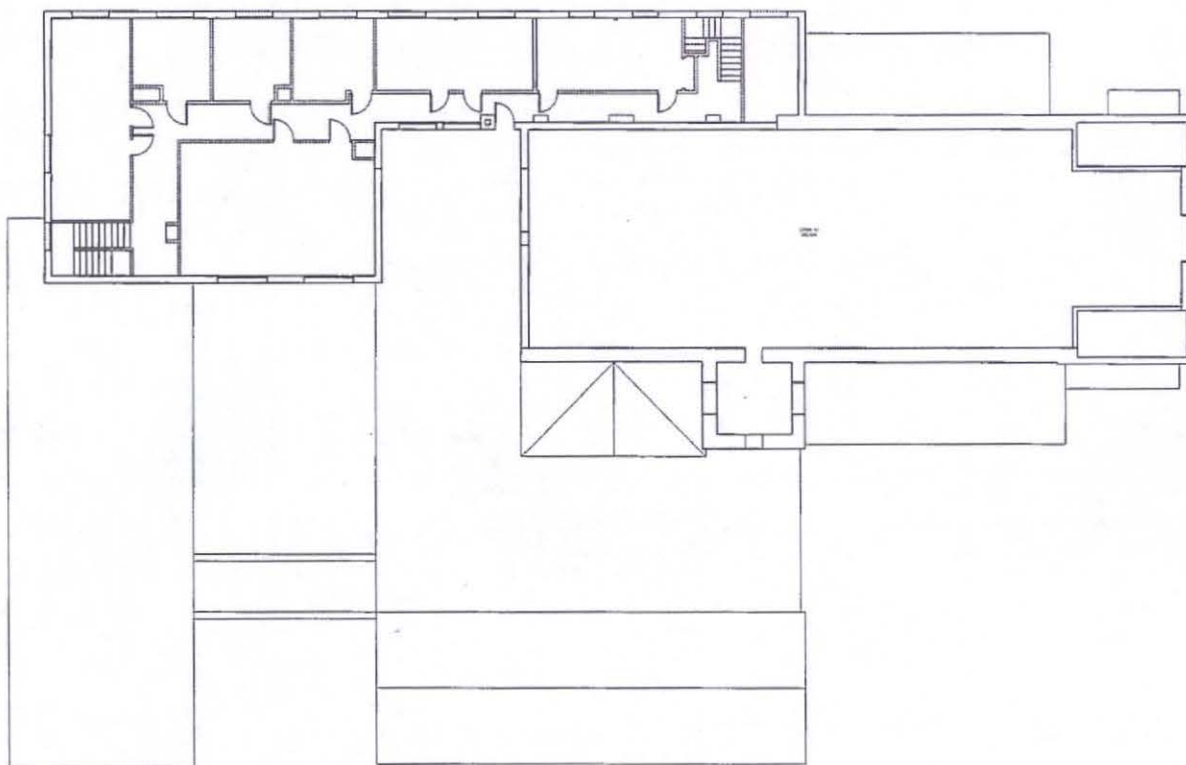
**DESCRIPTION**  
CHURCH DEMO - FIRST FLOOR

**DRAWING NO**  
**A-0.4**



**PROJECT** THE ORCHID TREE  
**DATE** 05/13/06 7-29-06  
**SCALE**  
**DRAWN BY** DRYN, S.D., S.M., M.A., R.S.P.

# THE ORCHID TREE INN

222 S CAHUILLA RD  
PALM SPRINGS,  
CA 92262



**LEGEND**

-  (E) EXISTING WALL TO REMAIN
-  (D) EXISTING WALL TO BE DEMOLISHED

Church - Extg Floor plan  
SCALE: 1/8" = 1'-0"



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**NO DATE ISSUE**

1 7/29/14 PC and JIC Resubmittal

**BURDGE & Associates**  
ARCHITECTS

3170 PACIFIC COAST HWY  
MALIBU, CA 90265  
TEL: 310-480-8800

480 WASHINGTON AVE  
SUITE 204 C  
HERTZOG VALLEY, CA 92543  
TEL: 309-85-3209

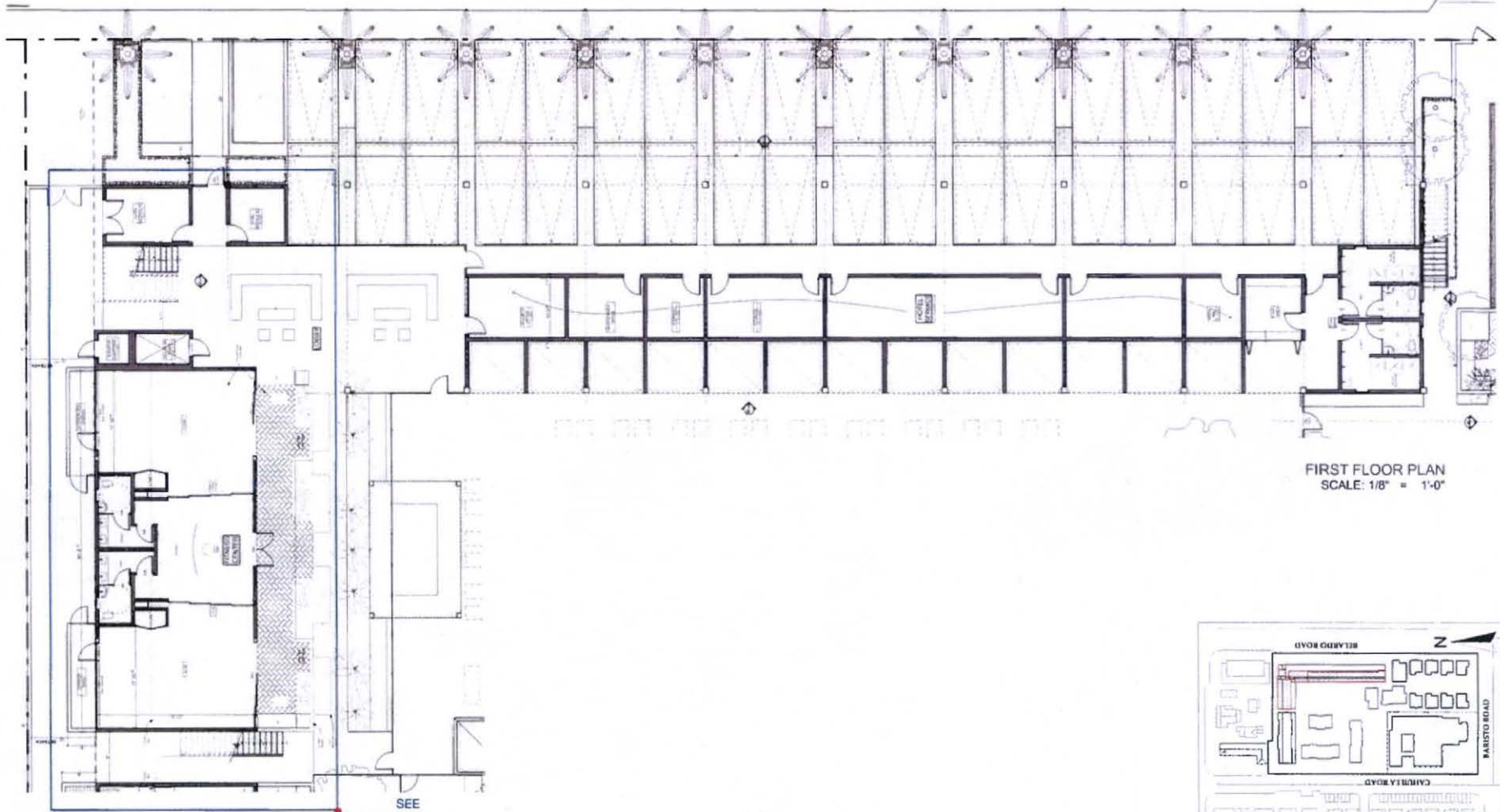
WWW.BUJAIA.COM

**DESCRIPTION:**  
CHURCH DEMO - SECOND FLOOR

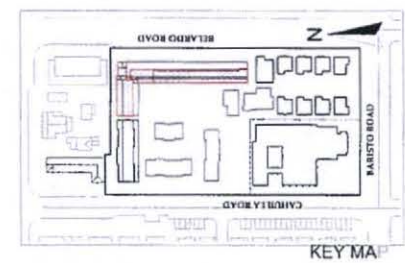
DRAWING NO **A-0.5**

PROJECT THE ORCHID TREE  
DATE 7/29/14  
SCALE  
DRAWN BY D.W.B., S.O., N.B., M.A., A.S.I.

BELARDO ROAD



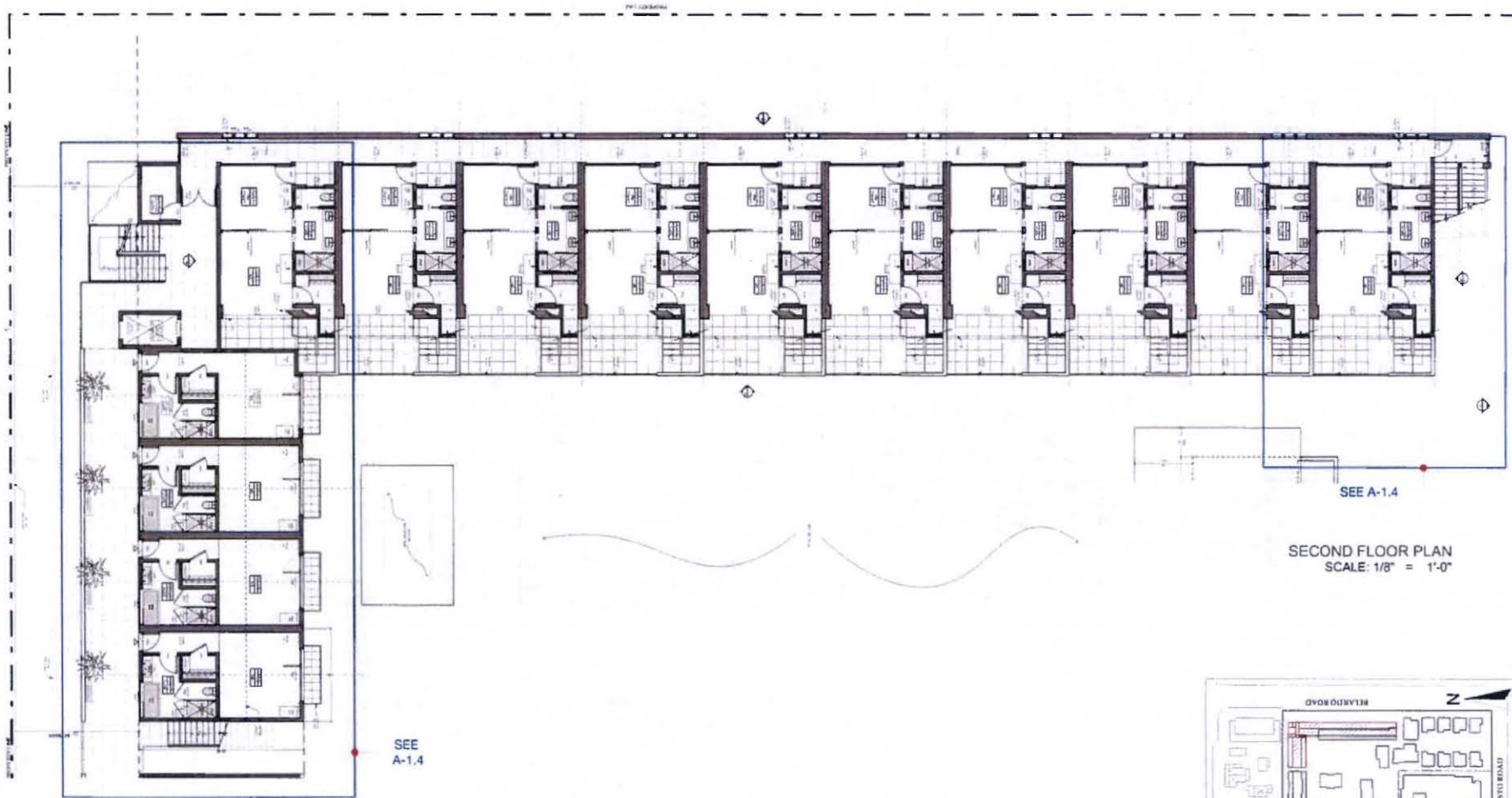
FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



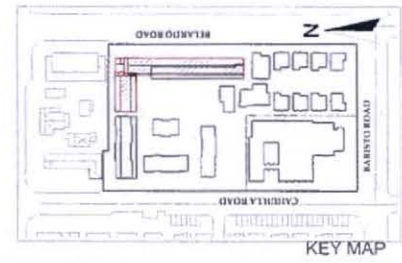
SEE  
A-1.6

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--	---	---	--	---	---

1  
2  
3



SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

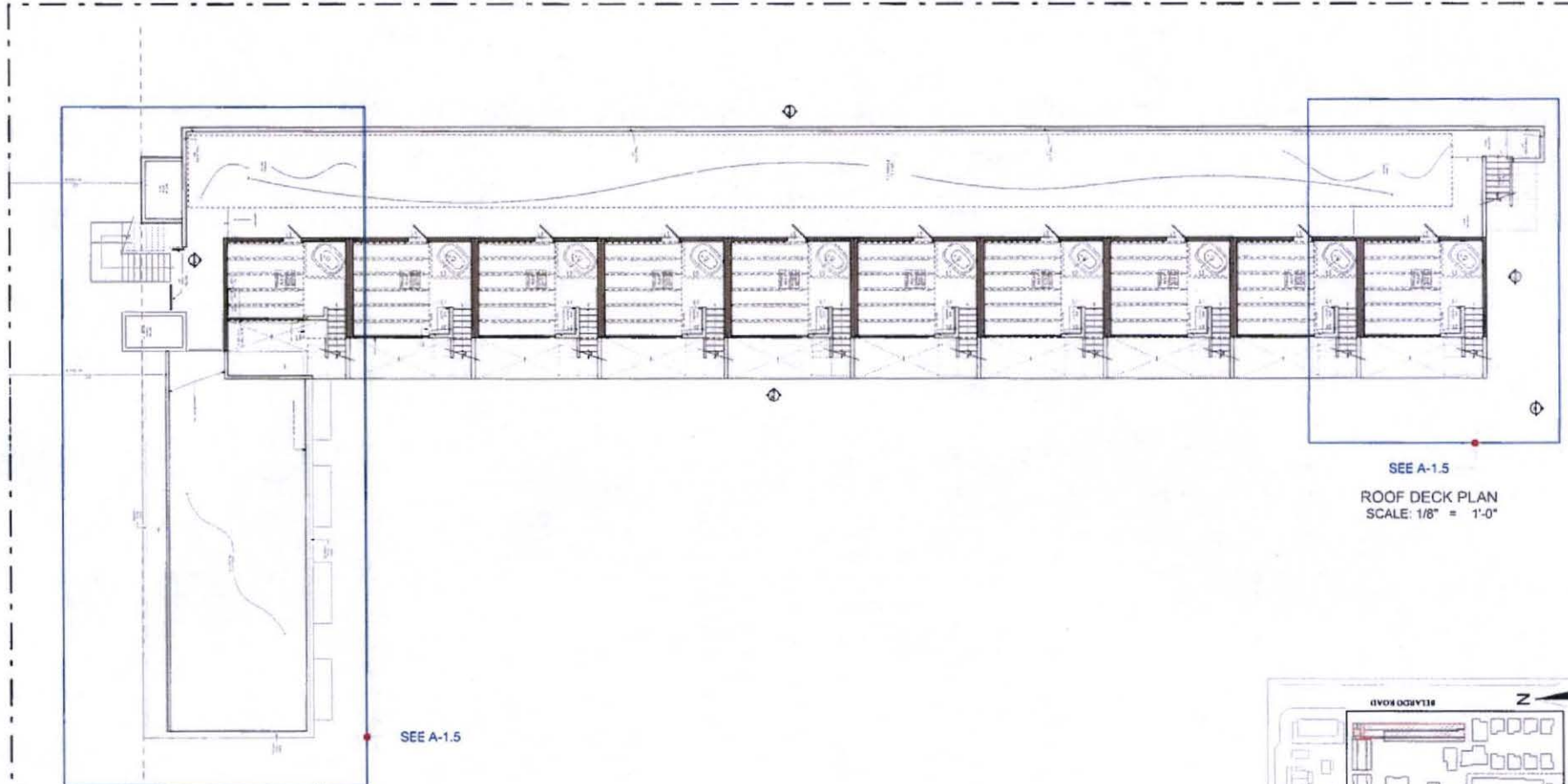


SEE  
A-1.4

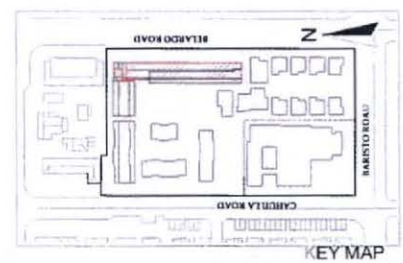
SEE A-1.4

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NO.	DATE	ISSUE																					
1	7-29-16	TC and EIC Revisions																					





SEE A-1.5  
 ROOF DECK PLAN  
 SCALE: 1/8" = 1'-0"

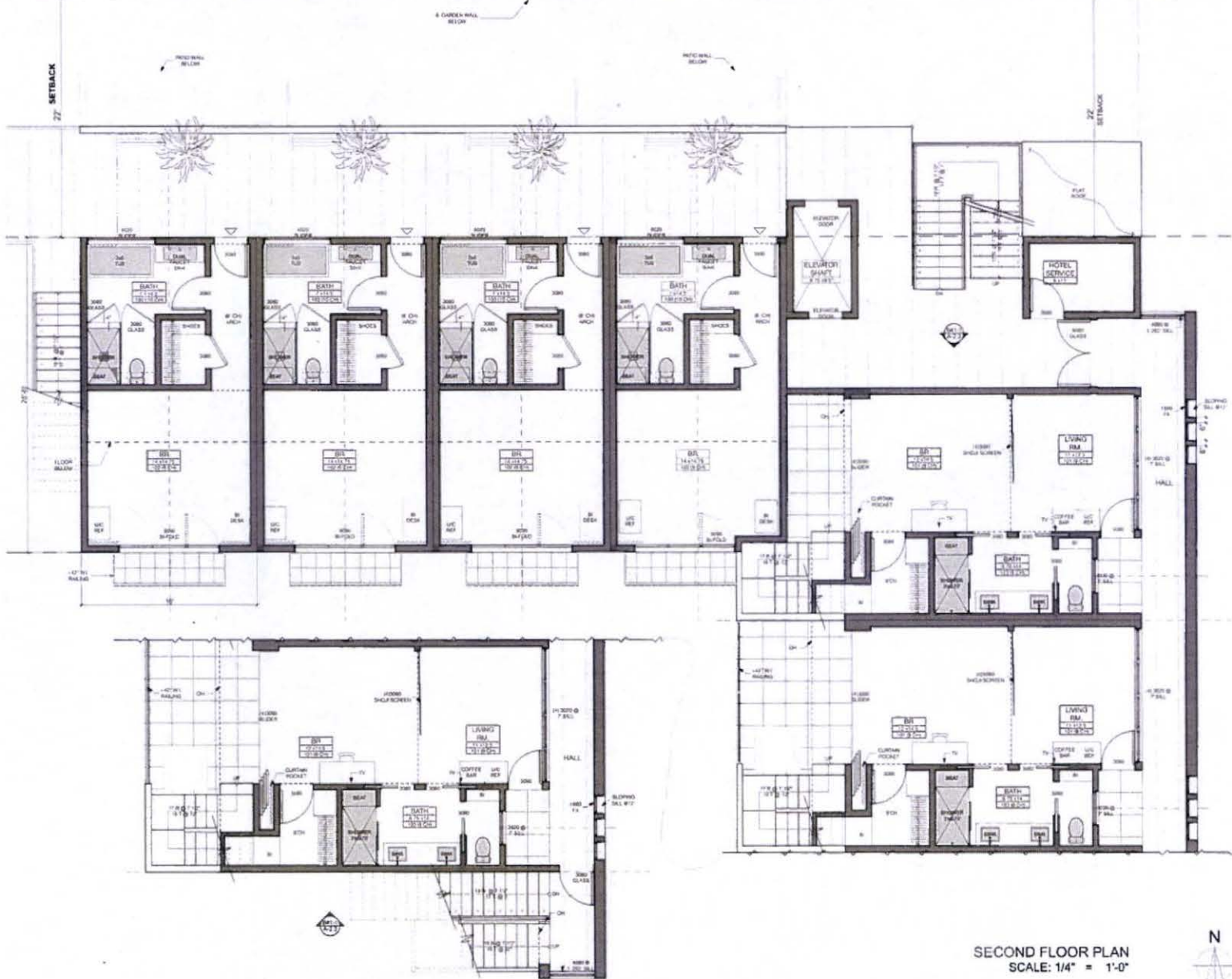


SEE A-1.5

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NO.	DATE	ISSUE																					
1	7/26/18	PC and IIC Revisions																					

RTY LINE

PROPERTY LINE



# THE ORCHID TREE INN

222 S. CAHUILLA RD  
PALM SPRINGS, CA 92262

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NO DATE ISSUE

1 7/17/11 PC and LR Resubmitted

## BURDGE & Associates ARCHITECTS

MALIBU WWW.BUAI.A.COM  
SUN VALLEY

2008 PALM SPRINGS COURTYARD HOTEL  
MAYFIELD, CA 92262  
TEL: 951-434-9800  
WWW.BUAI.A.COM

DESCRIPTION:  
BUILDING 1 & 2 - PARTIAL SECOND FLOOR

Drawing No: **A-1.4**

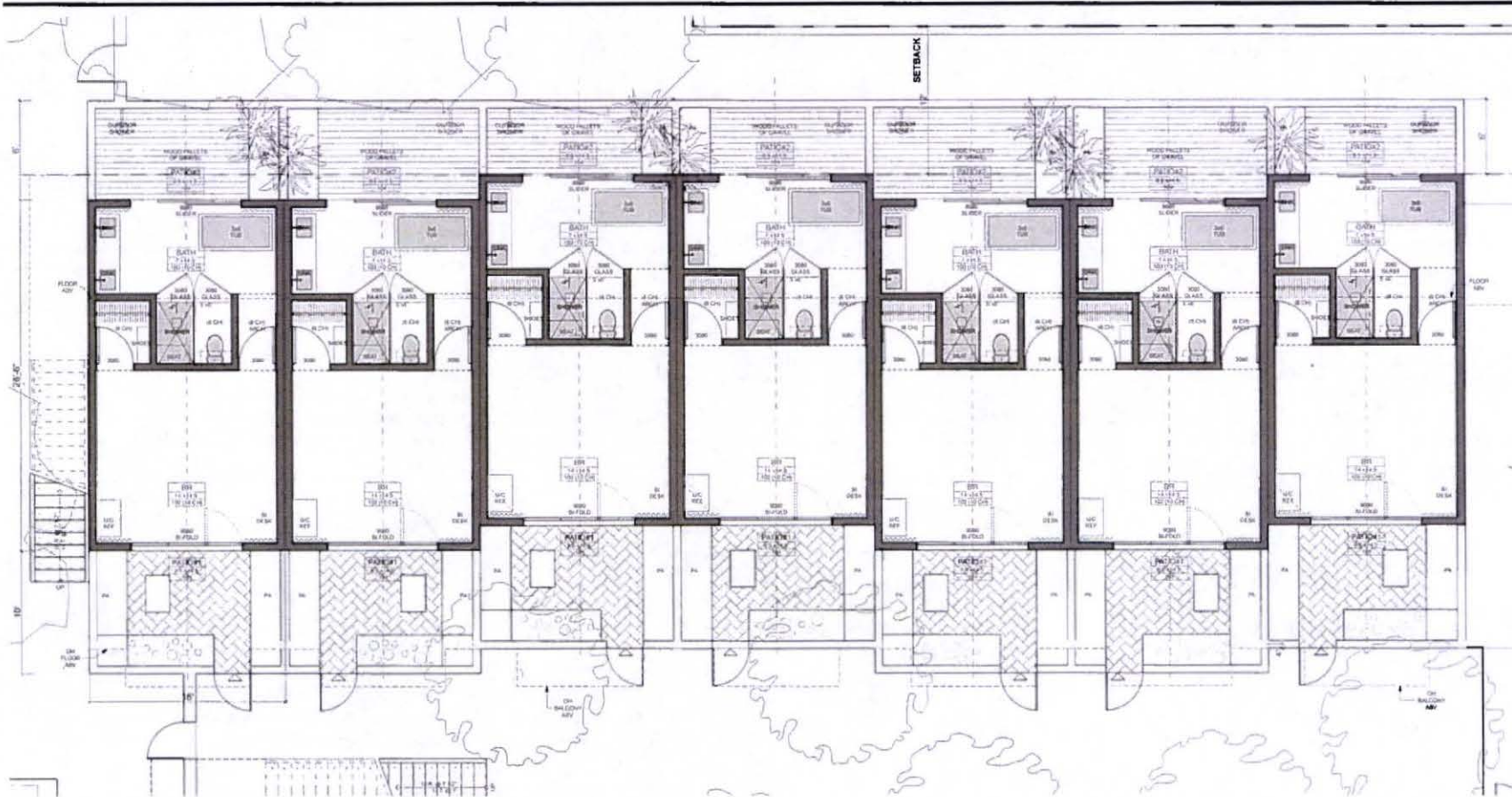
PROJECT: THE ORCHID TREE  
DATE: FEBRUARY 2011  
SCALE:  
DRAWN BY: DWB, SD, N.M., M.A., J.H.

SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

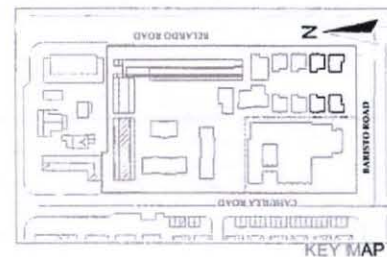








FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



KEY MAP

# THE ORCHID TREE INN

222 S. CAHUILLA RD  
PALM SPRINGS,  
CA 92262

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**NO DATE ISSUE**

7/24/18 BY: and J.E. Revoluti

## BURDGE & Associates ARCHITECTS

MALIBU, CALIFORNIA WWW.BUJA.COM

11228 PACIFIC COAST HWY. MALIBU, CA 90262 TEL: 310-496-5800 FAX: 310-496-5801

**DESCRIPTION:**

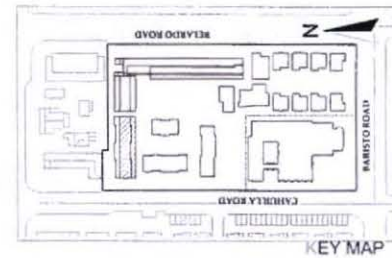
BUILDING 3 - FIRST FLOOR

DRAWING NO. **A-1.7**

PROJECT THE ORCHID TREE  
DATE 10/18/18  
SCALE  
DRAWN BY D.T.B., S.P., N.M., M.A., A.U.



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



# THE ORCHID TREE INN

222 S. CAHUILLARD  
PALM SPRINGS,  
CA 92262

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**NO DATE ISSUE**

1/28/18 PC and IFC Re-submitted

## BURDGE & Associates ARCHITECTS

11410 MARY VALLEY  
WWW.BUANA.COM

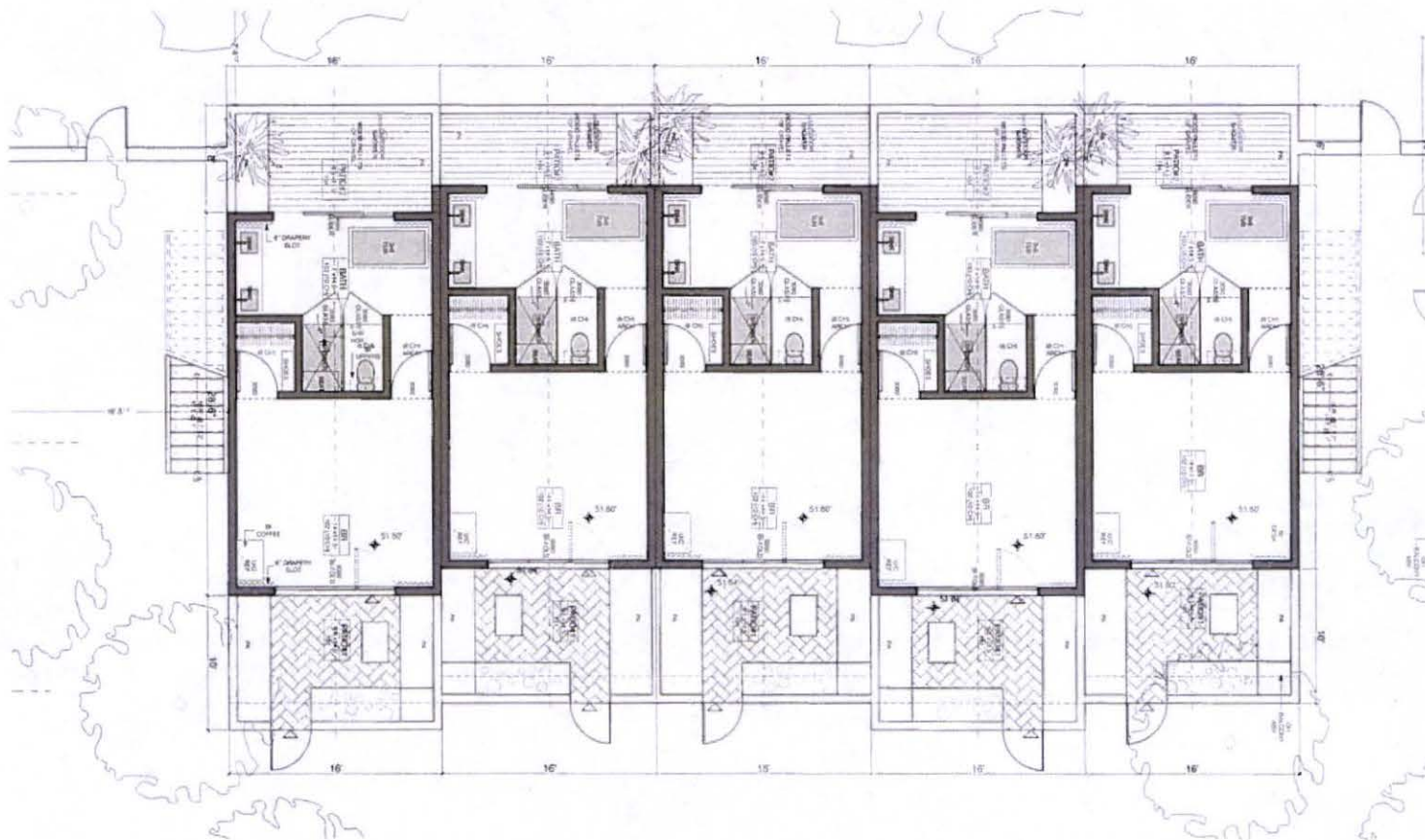
2720 PACIFIC COAST HWY. SUITE 200 C  
MALIBU CA 90265  
TEL: 310-458-5885

880 WASHINGTON AVE. SUITE 200 C  
MORNING STAR RD  
TEL: 281-419-2228

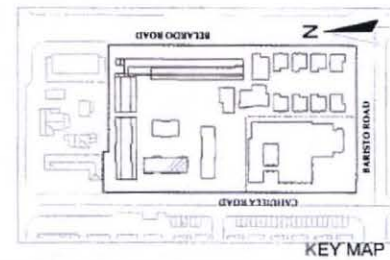
DESCRIPTION:  
**BUILDING 3 - SECOND FLOOR**

DRAWING NO:  
**A-1.8**

PROJECT: THE ORCHID TREE  
DATE: 1/28/18  
SCALE:  
DRAWN BY: DICK, S.D., J.M., M.A., A.S.I.



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



KEY MAP

# THE ORCHID TREE INN

222 S. CAHUILLA RD  
PALM SPRINGS,  
CA 92262

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NO.	DATE	ISSUE
1	7-29-04	PC and IFC Re-submittal

## BURDGE & Associates ARCHITECTS

AAA: BUI  
SUI: CALLEY

WWW:  
BUIA.COM

2725 PINECONE DRIVE, SUITE 100  
PALMDALE, CA 93550  
TEL: 909-498-5600

480 WASHINGTON AVE  
SUITE 204 C  
REVERSHAM, CA 92370  
TEL: 951-485-2229

DESCRIPTION:  
BUILDING 4 - FIRST & SECOND FLOOR

DRAWING NO:  
**A-1.9**

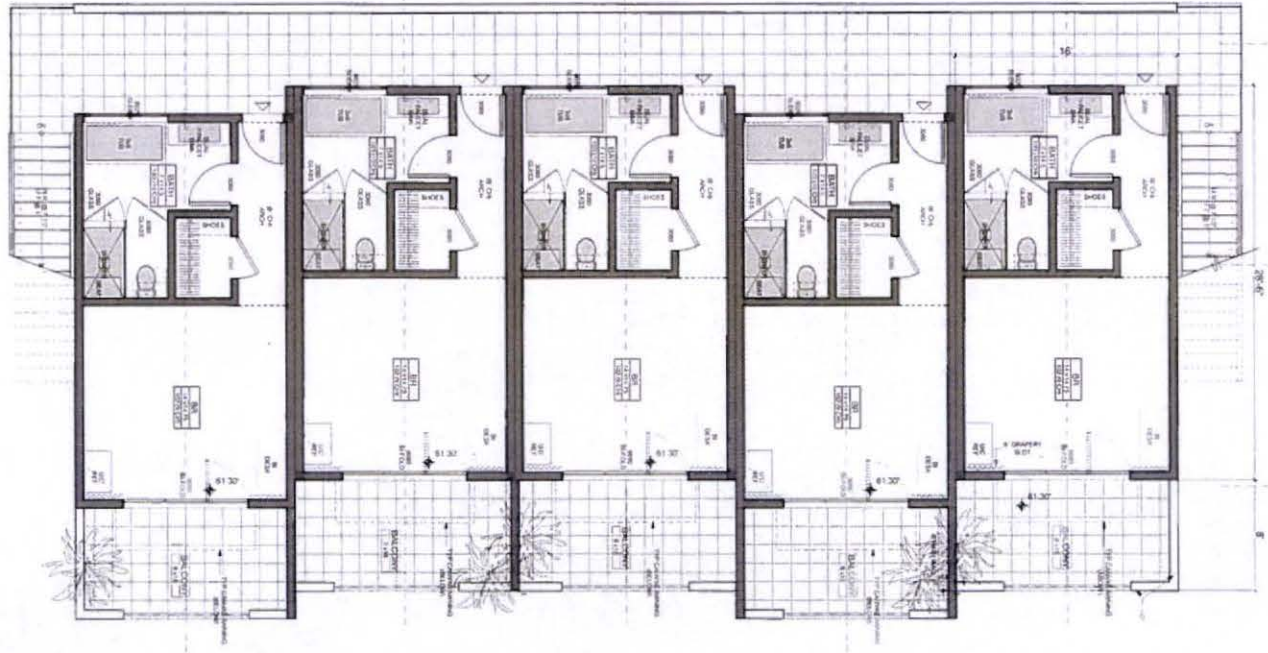
PROJECT: THE ORCHID TREE  
DATE: 04/28/04  
SCALE: 1/4" = 1'-0"  
DRAWN BY: BUI, SD, N.M., M.A., AIA

# THE ORCHID TREE INN

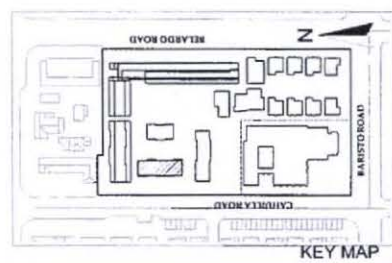
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PALM SPRINGS,  
CA 92262

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NO.	DATE	ISSUE
1	7/27/08	PL and FF; Structural



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0" 1



## BURDGE & Associates ARCHITECTS

MALIBU SUN VALLEY WWW.BUAIA.COM  
17200 PALM CANYON HWY 480 WASHINGTON AVE SUITE 254-C  
MALIBU, CA 90265 KETCHIKAN, ALASKA  
TEL: 310-316-8888 TEL: 208-426-2628

DESCRIPTION:  
BUILDING 4 - SECOND FLOOR

DRAWING NO.	<b>A-1.10</b>
PROJECT	THE ORCHID TREE
DATE	July 27, 2008
SCALE	
DRAWN BY	DIANE S. WILSON, M.A.S.A.







# THE ORCHID TREE INN

222 S. CAHUILLA RD  
PALM SPRINGS, CA 92262

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NO DATE ISSUE

1516-02 PC and HC Rev/initial

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Associates  
ARCHITECTS

MALIBU  
CALIFORNIA

WWW.  
BUAIA.COM

2120 PACIFIC COAST HWY  
MALIBU CA 90265  
TEL: 310-466-1000

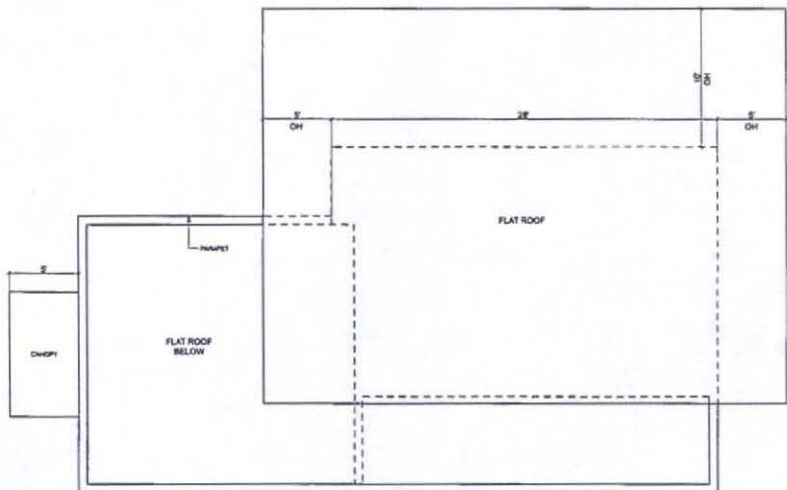
480 WASHINGTON AVE  
SUITE 204 C  
ROCKAWAY, NJ 07866  
TEL: 201-983-3239

DESCRIPTION:

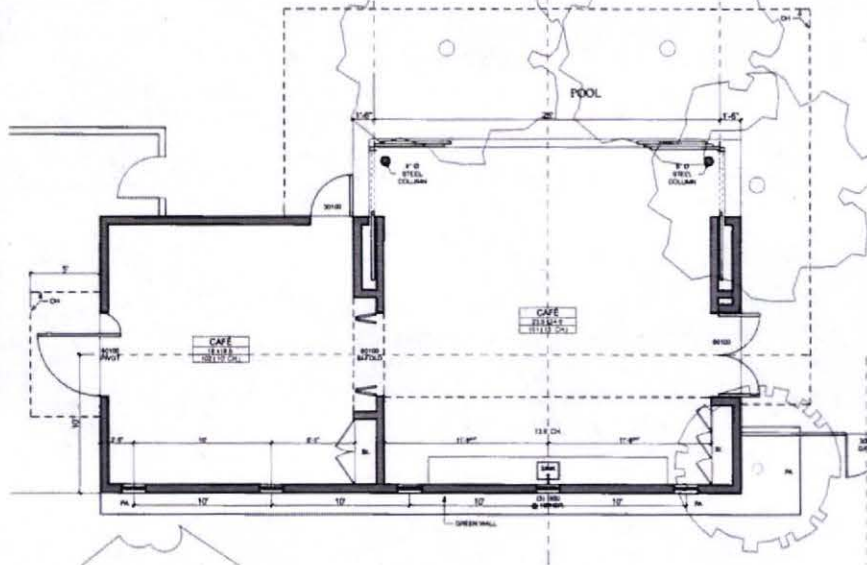
CAFÉ - FIRST FLOOR &  
ROOF PLAN

DRAWING NO  
**A-1.13**

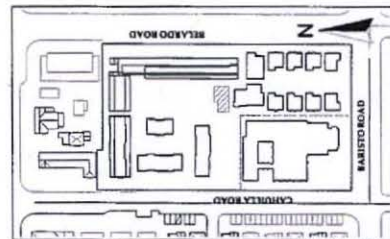
PROJECT THE ORCHID TREE  
DATE 10/17/15  
SCALE AS NOTED  
DRAWN BY D.W.S., S.D., N.M., M.A., A.M.



ROOF PLAN  
SCALE: 1/4" = 1'-0" 2

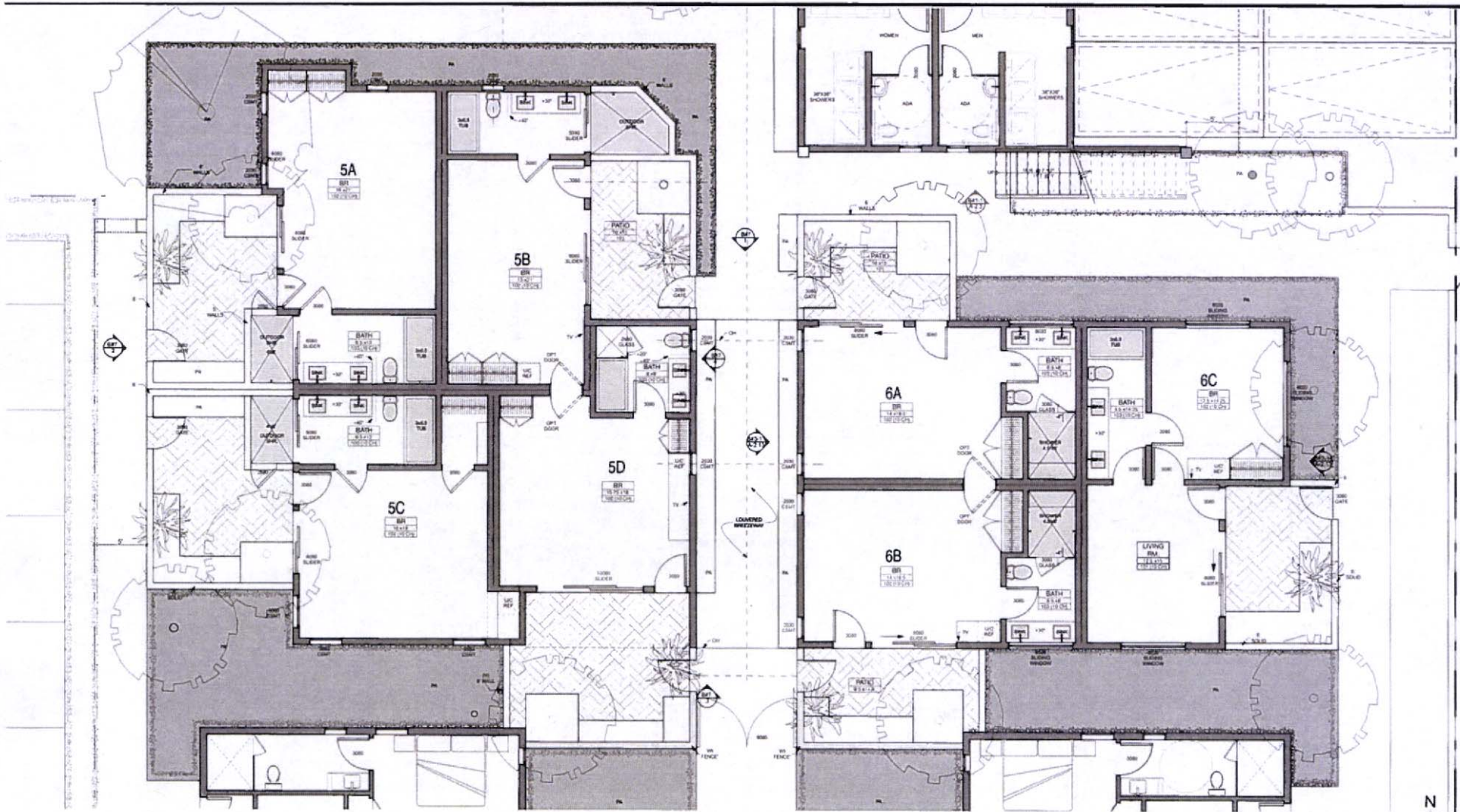


FLOOR PLAN  
SCALE: 1/4" = 1'-0" 1



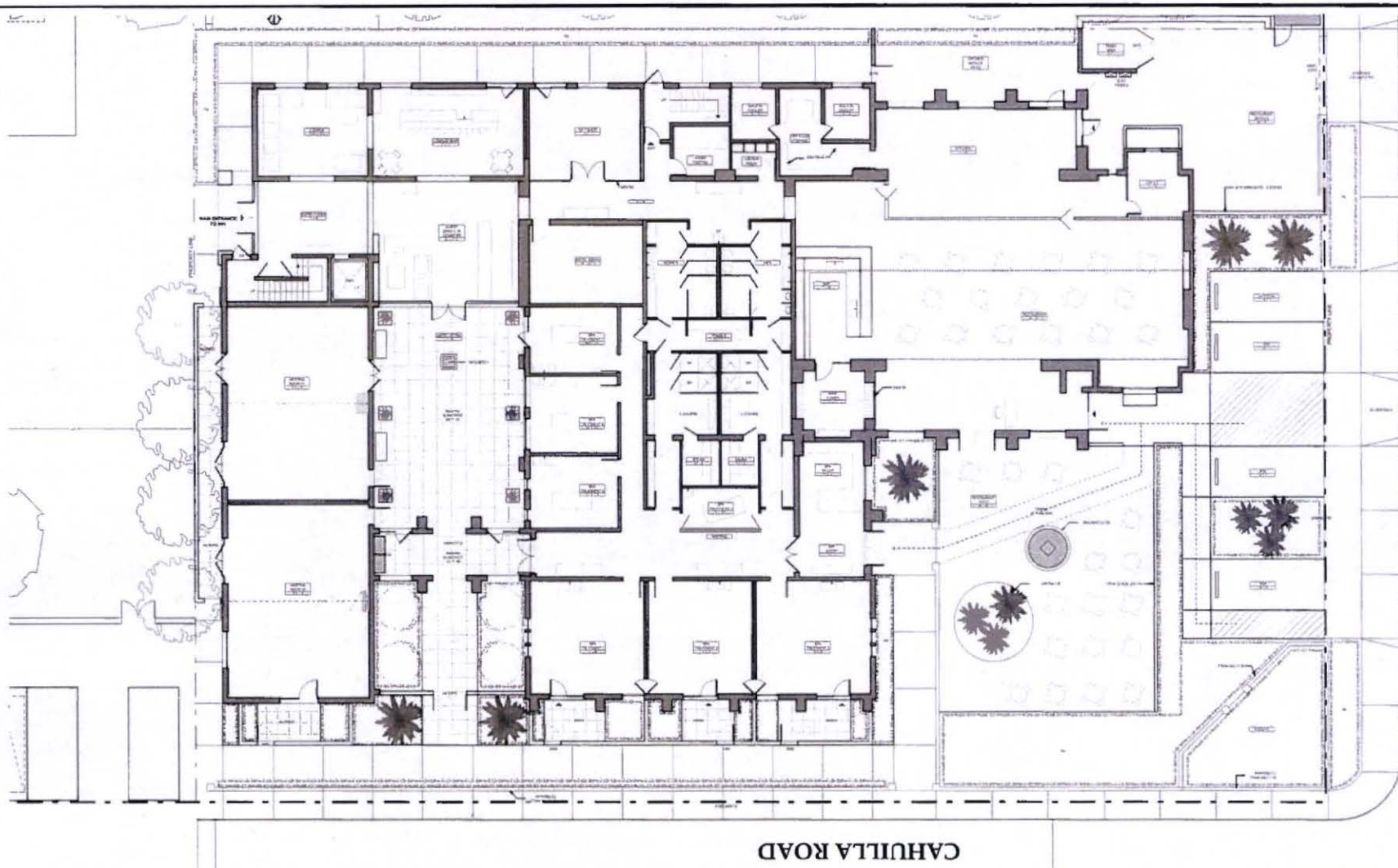
KEY MAP





FLOOR PLAN 1  
SCALE: 1/4" = 1'-0"

<p>THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE LOANED OR ANY OTHER WORKS EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT</p> <p>WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK</p>	<table border="1"> <thead> <tr> <th>NO</th> <th>DATE</th> <th>ISSUE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>7/29/18</td> <td>PC and IFC Re-submittal</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO	DATE	ISSUE	1	7/29/18	PC and IFC Re-submittal													<p><b>THE ORCHID TREE INN</b> 222 S. CAHUILLA RD PALM SPRINGS, CA 92262</p>	<p><b>BURDGE &amp; Associates ARCHITECTS</b> MALIBU SUN VALLEY</p>	<p>1125 PACIFIC COAST HWY MALIBU, CA 90263 TEL: 310-440-9800</p> <p>980 WASHINGTON AVE SUITE 204 C SUN VALLEY, CA 94134 TEL: 650-440-5275</p> <p>PROJECT: ORCHID TREE INN DATE: 7/29/18 WWW: BUJIA.COM DRAWN BY: D.W.B. S.D., N.M., M.A., A.M.</p>	<p>DESCRIPTION: HISTORIC BUNGALOW #5 &amp; #6 - FIRST FLOOR</p> <p>DRAWING NO: <b>A-1.15</b></p> <p>SCALE: 1/4" = 1'-0"</p>
NO	DATE	ISSUE																					
1	7/29/18	PC and IFC Re-submittal																					



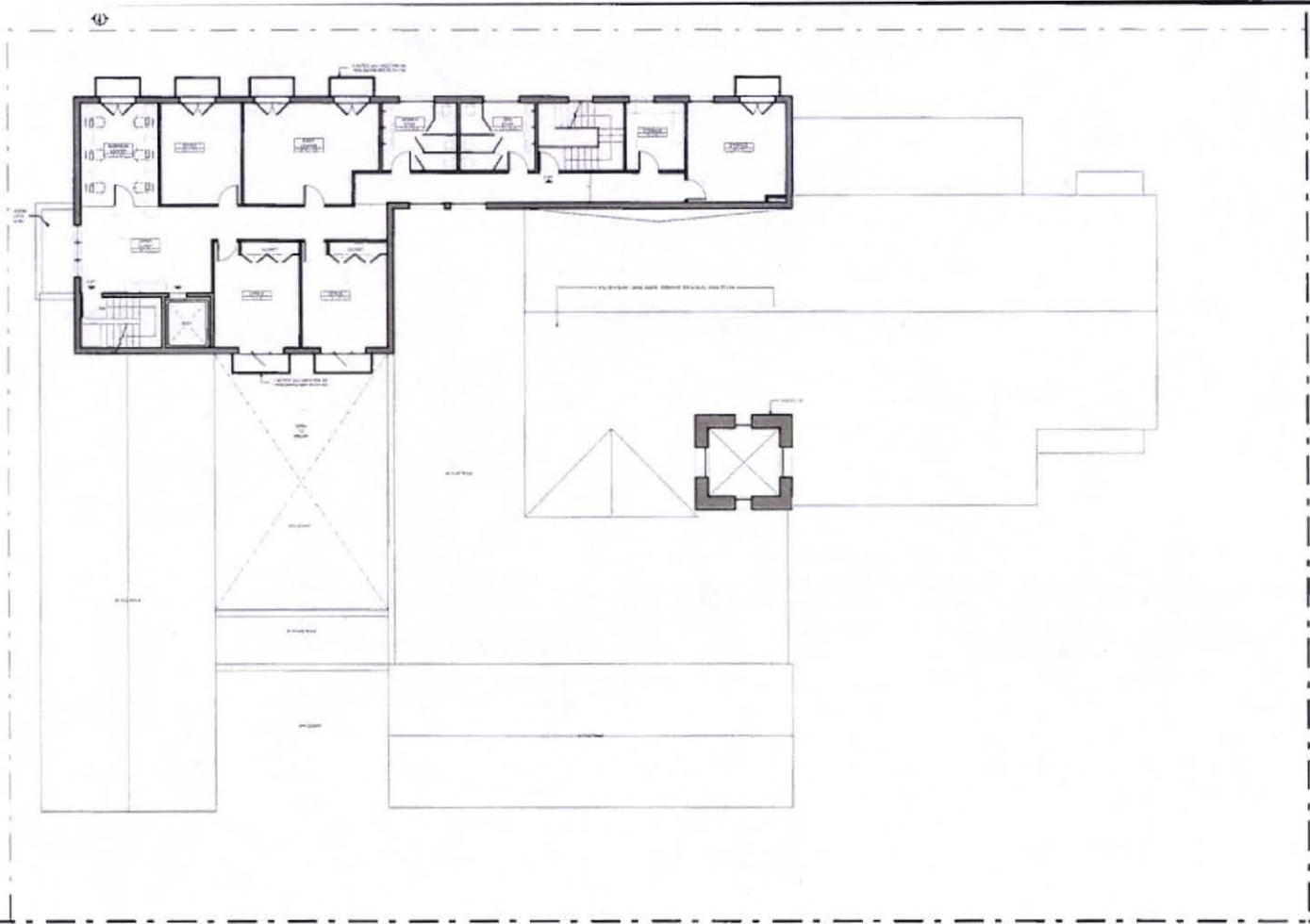
CAHULLA ROAD

BARISTO ROAD

FIRST FIRST FLOOR  
SCALE: 1/8" = 1'-0"



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NO	DATE	ISSUE																																	
1	07/20/18	PC and IIC Re-submittal																																	



CAHUILLA ROAD

BARISTO ROAD

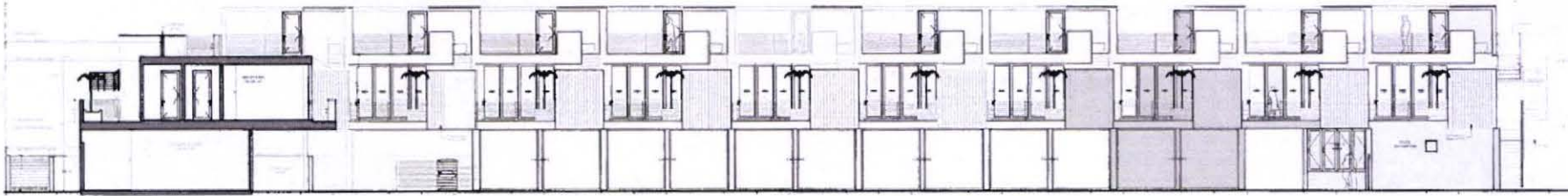
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



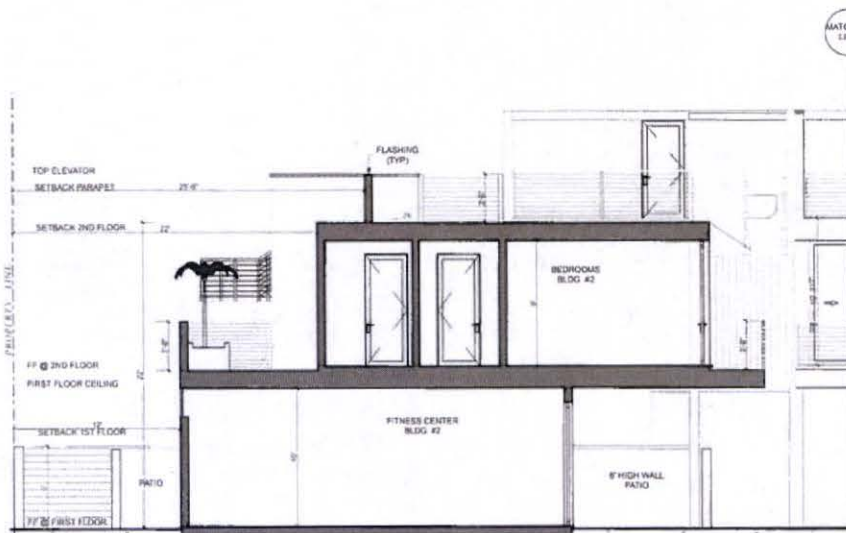
<p>THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.</p> <p>WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DIMENSIONERS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>ISSUE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>7-24-16</td> <td>PC and HC Re-submittal</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	ISSUE	1	7-24-16	PC and HC Re-submittal																<p><b>THE ORCHID TREE INN</b></p> <p>222 S. CAHUILLA RD PALM SPRINGS, CA 92262</p>	<p><b>BURDGE &amp; Associates ARCHITECTS</b></p> <p>21231 PACIFIC COAST HWY HARBUR, CA 92546 TEL: 951-358-3483</p> <p>460 W. 34th ST SUITE 204 C WESTCHAM, NJ 08856 TEL: 908-488-3225</p> <p>MAIL: SUITE 7 VALLEY WWW.BURDGE.COM DRAWN BY: D.W.B., S.D., H.M., M.A., K.M.</p>	<p>DESCRIPTION: CHURCH- PROPOSED SECOND FLOOR</p> <p>DRAWING NO: <b>A-1.17</b></p> <p>PROJECT: ORCHID TREE INN</p> <p>DATE: Feb. 2016</p> <p>SCALE:</p>
NO.	DATE	ISSUE																							
1	7-24-16	PC and HC Re-submittal																							

127



B#1-2 ELEVATION

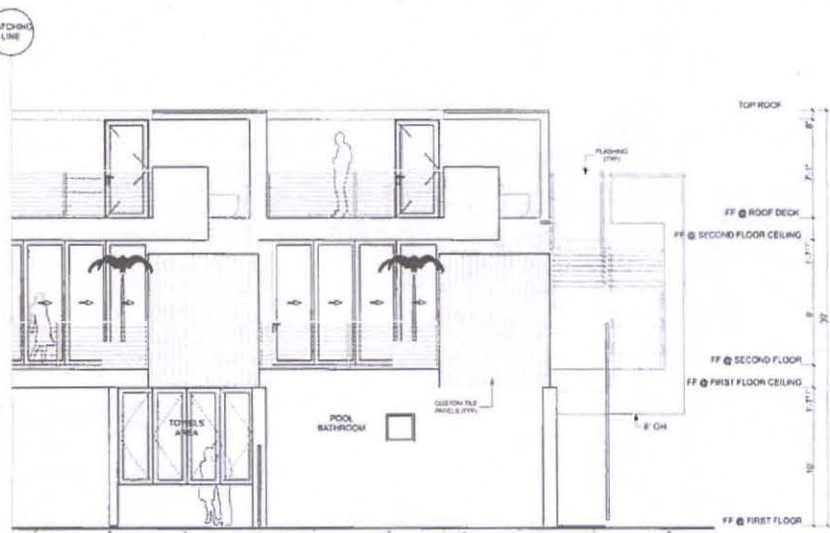
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B#1-2 ELEVATION

3

1/4" = 1'-0"



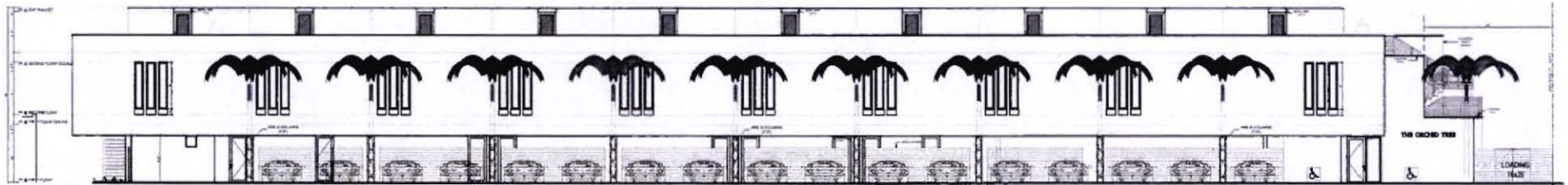
B#1-2 ELEVATION

2

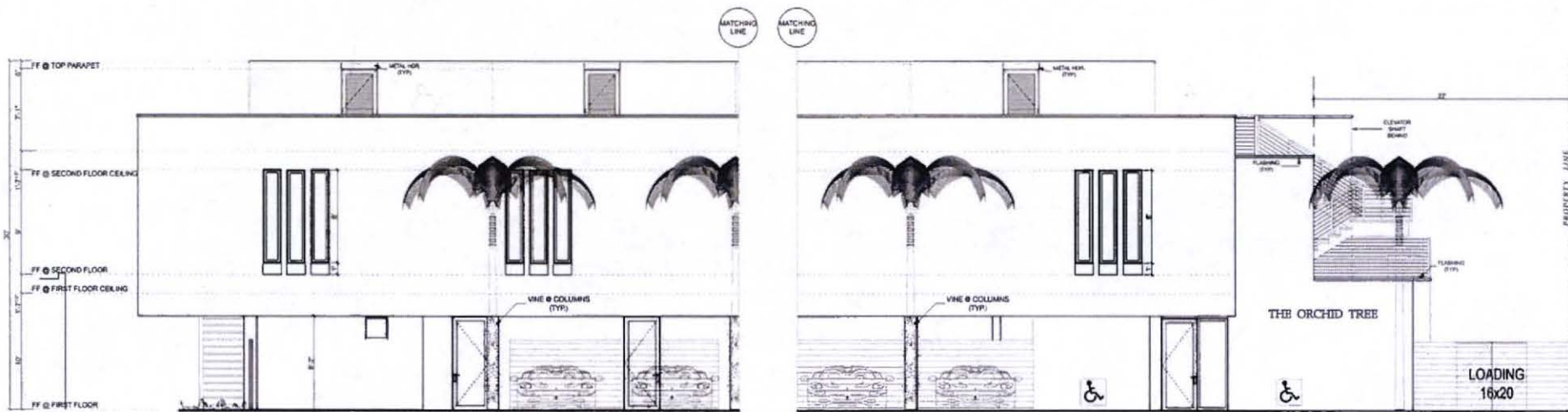
1/4" = 1'-0"

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	<p>PROJECT: ORCHID TREE INN</p> <p>DATE: Pkx Date: 1/25/18</p> <p>SCALE:</p> <p>DRAWN BY: DWB, SD, RHP, M.A., AM</p>			





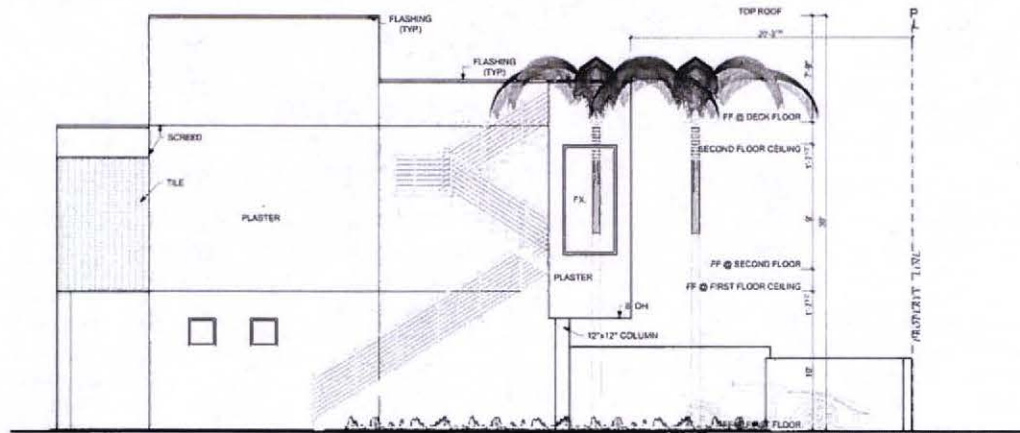
B#1-4 ELEVATION 1  
1/8" = 1'-0"



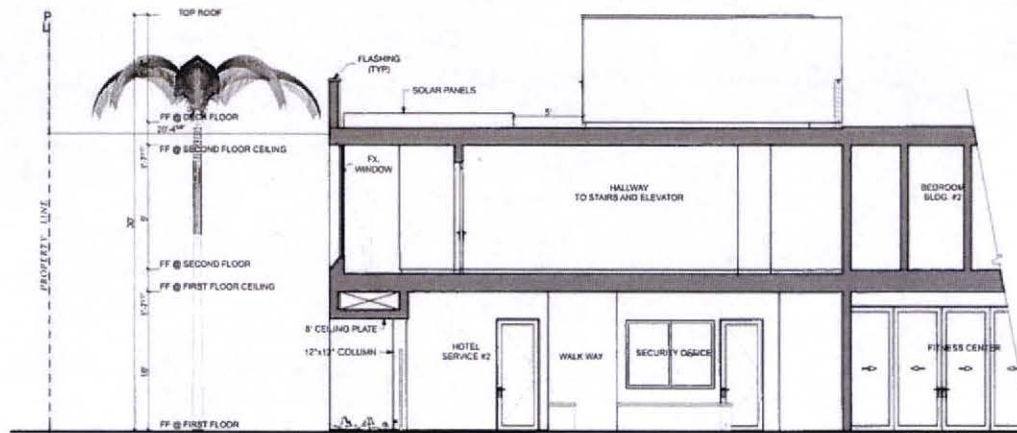
B#1-4 ELEVATION 3  
1/4" = 1'-0"

B#1-4 ELEVATION 2  
1/4" = 1'-0"

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NO	DATE	ISSUE																				
1	7/27/18	FC and HC Revisions																				

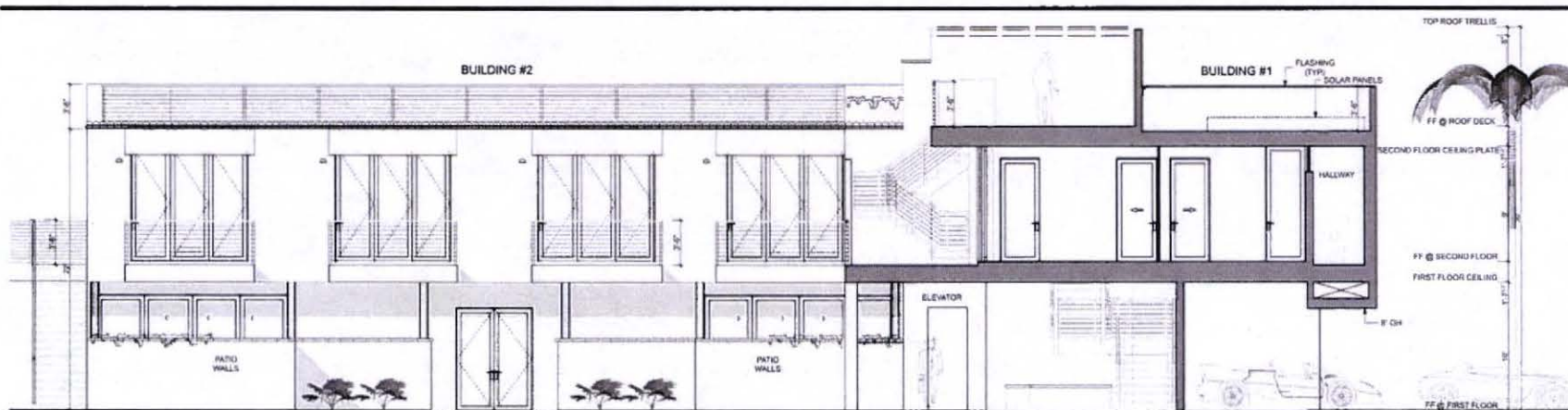


B#1-1 ELEVATION 1  
1/4" = 1'-0"



B#1-3 ELEVATION 2  
1/4" = 1'-0"

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NO.	DATE	ISSUE																				
1	7/29/18	TC and IAC Revisions																				



B#2-1 ELEVATION 1  
1/4" = 1'-0"

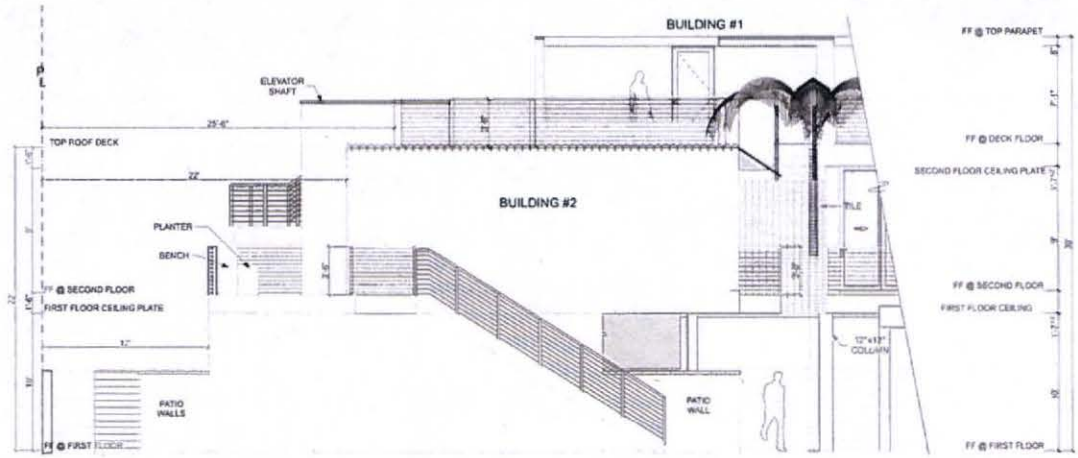
# THE ORCHID TREE INN

222 S. CAHUILLA RD  
PALM SPRINGS,  
CA 92262

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NO.	DATE	ISSUE
1	7/21/18	PC and IR. Resubmitted



B#2-2 ELEVATION 2  
1/4" = 1'-0"

## BURDGE & Associates ARCHITECTS

5540 E. J. SUN VALLEY  
SUN VALLEY, CA 94134  
WWW.BUAJA.COM

DESCRIPTION:

### BUILDING 2 - ELEVATIONS

DRAWING NO.	A-2.4
PROJECT	THE ORCHID TREE
DATE	Final Rev. 7/20/18
SCALE	1/4" = 1'-0"
DRAWN BY	D.M.B., S.D., H.M., M.A., A.S.I.



# THE ORCHID TREE INN

222 S. CAHUILLA RD  
PALM SPRINGS,  
CA 92262

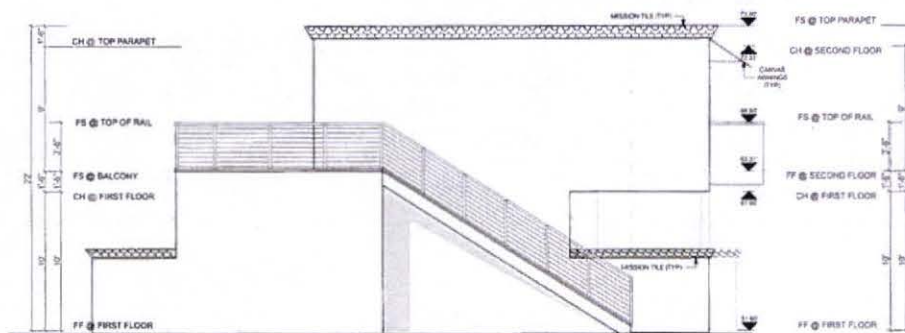
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B#3-1 ELEVATION

1  
1/4" = 1'-0"

NO	DATE	ISSUE
1	7/24/14	100 and 100 1/2 final initial



B#3-2 ELEVATION

2  
1/4" = 1'-0"

**BURDGE**  
& Associates  
ARCHITECTS

222 S. CAHUILLA RD  
PALM SPRINGS, CA 92262  
TEL: 951-495-8888

WWW.BUJAIA.COM  
BUJAIA.COM

2122 PACIFIC COAST HWY  
PALM SPRINGS, CA 92262  
TEL: 951-495-8888

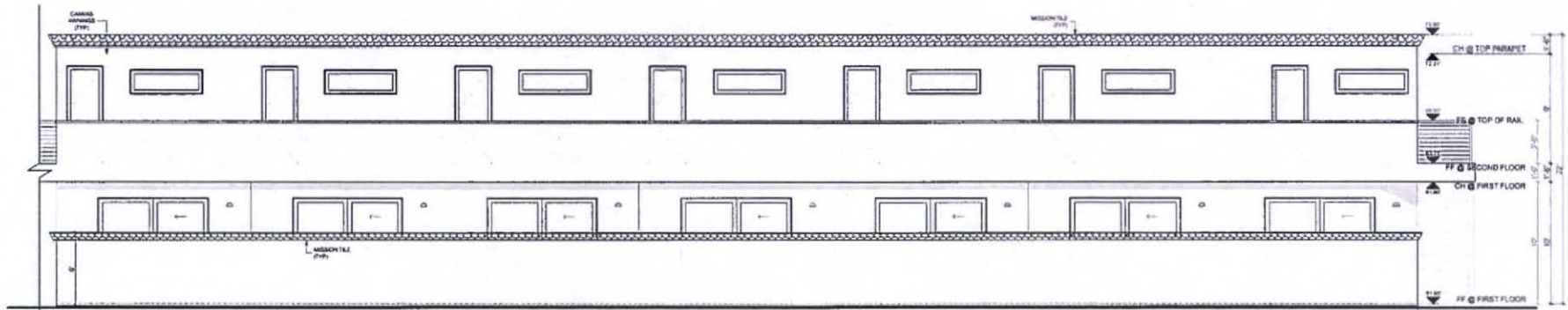
480 HARBINGTON AVE  
PALM SPRINGS, CA 92262  
TEL: 951-495-8888

DESCRIPTION:

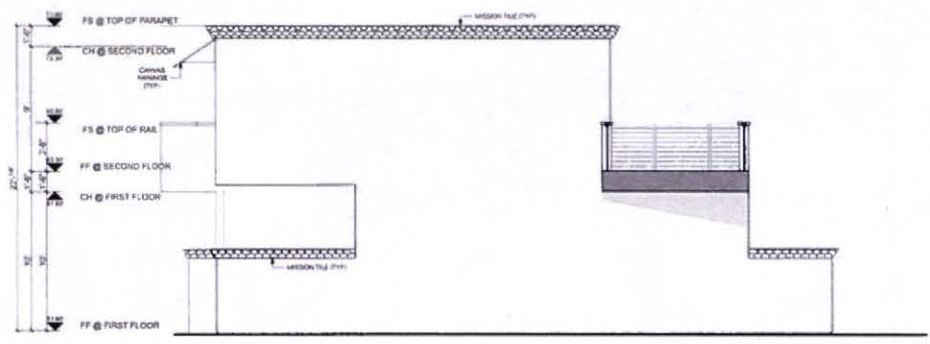
BUILDING 3 -  
ELEVATIONS

DRAWING NO  
**A-2.6**

PROJECT THE ORCHID TREE INN  
DATE July 24, 2014  
SCALE  
DRAWN BY DWB, RDN, MJA, AIA



B#3-3 ELEVATION 1  
1/4" = 1'-0"

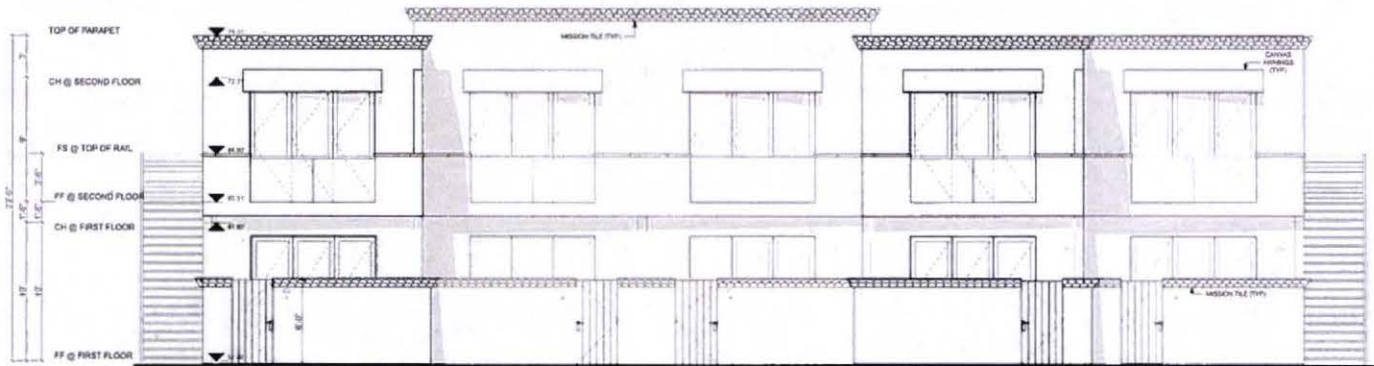


B#3-4 ELEVATION 2  
1/4" = 1'-0"

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NO.	DATE	ISSUE																				
1	07/18	TC and HC Submitted																				

# THE ORCHID TREE INN

222 S. CAHUILLA RD  
PALM SPRINGS,  
CA 92262

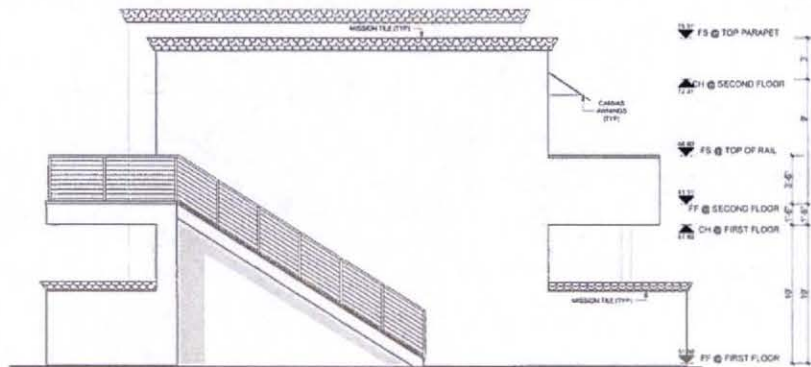


B#4-1 ELEVATION

1  
1/4" = 1'-0"

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NO.	DATE	ISSUE
1	7/29/16	15% and 11% Revisions



B#4-3 ELEVATION

2  
1/4" = 1'-0"

**BURDGE**  
& Associates  
ARCHITECTS

154.000  
SUN VALLEY  
WWW.BUJAA.COM

11200 PINECOPPER HWY. 480 PARKWAY SUITE  
VALLEJO, CA 94589 SUITE 200 C  
TEL: 925-746-8888 KETCHIKAN, ALASKA  
TEL: 907-463-3276

DESCRIPTION:

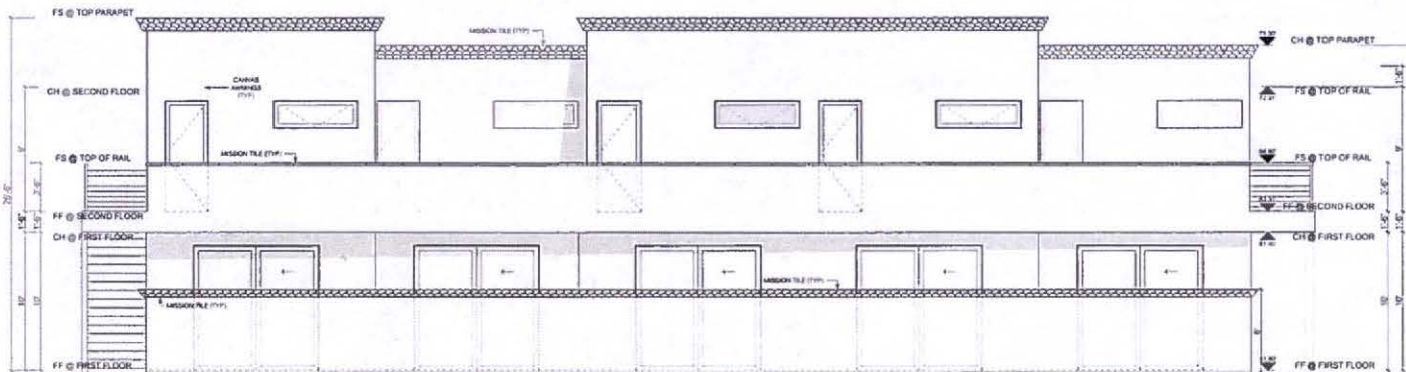
BUILDING 4 -  
ELEVATIONS

DRAWING NO.  
**A-2.8**

PROJECT THE ORCHID TREE  
DATE 15th Dec 2016  
SCALE  
DRAWN BY DVID S.D., D.M., A.M.

# THE ORCHID TREE INN

222 S. CAHUILLA RD  
PALM SPRINGS,  
CA 92262

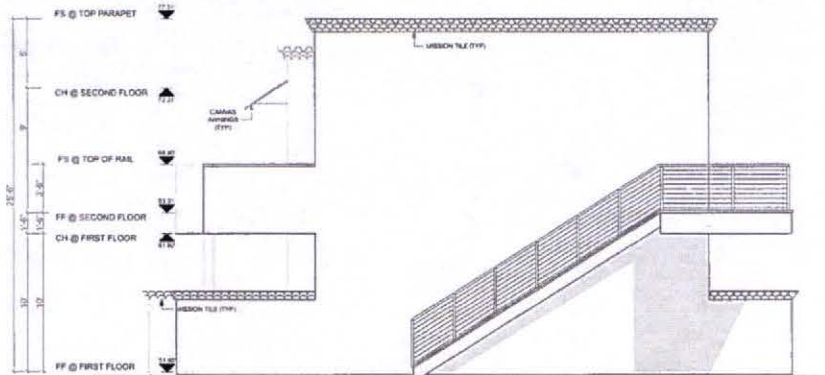


B#4-2 ELEVATION 1  
1/4" = 1'-0"

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NO.	DATE	ISSUE
1	7-29-19	100% and FIC Revamp/submit



B#4-4 ELEVATION 2  
1/4" = 1'-0"

**BURDGE & Associates**  
ARCHITECTS

1311 - 2111  
SUN VALLEY, CA  
WWW.BUAAIA.COM

1728 PACIFIC COAST HWY. SUITE 200 C. PALM SPRINGS, CA 92262  
TEL: 760-498-3880  
480 WASHINGTON AVE. PALM SPRINGS, CA 92262  
TEL: 760-498-3229

DESCRIPTION:  
BUILDING 4 - ELEVATIONS

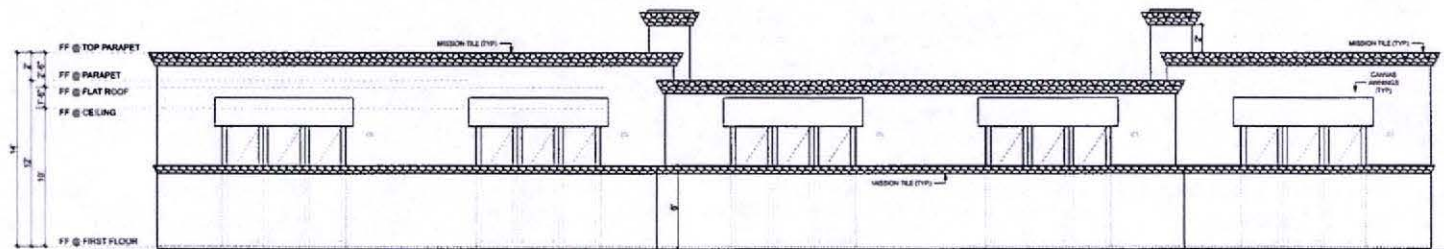
DRAWING NO. **A-2.9**

PROJECT THE ORCHID TREE  
DATE 7/29/19  
SCALE  
DRAWN BY DWR, SD, NNL, MJA, AM



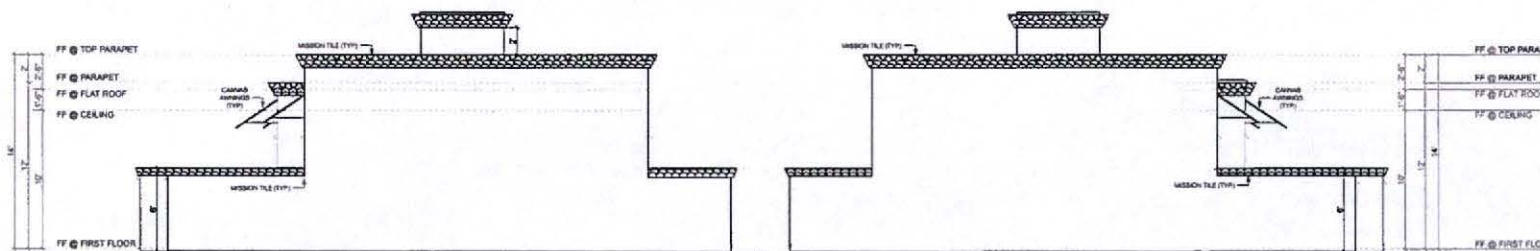
# THE ORCHID TREE INN

222 S. CAHULLA RD  
PALM SPRINGS,  
CA 92262



B#5-1 ELEVATION

1  
1/4" = 1'-0"

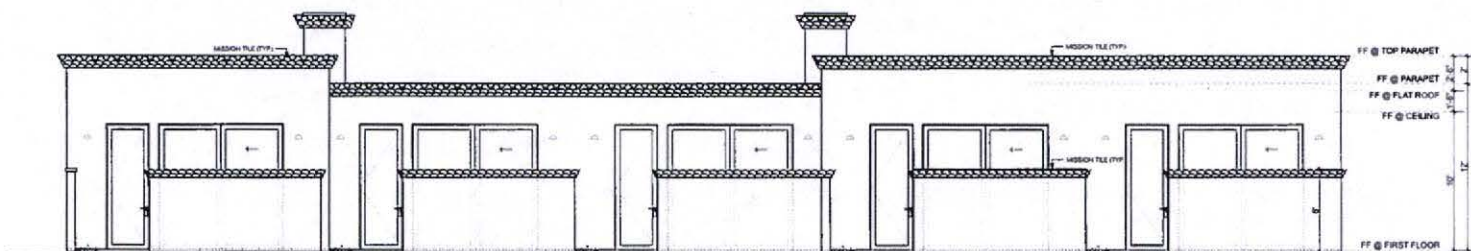


B#5-4 ELEVATION

4  
1/4" = 1'-0"

B#5-2 ELEVATION

2  
1/4" = 1'-0"

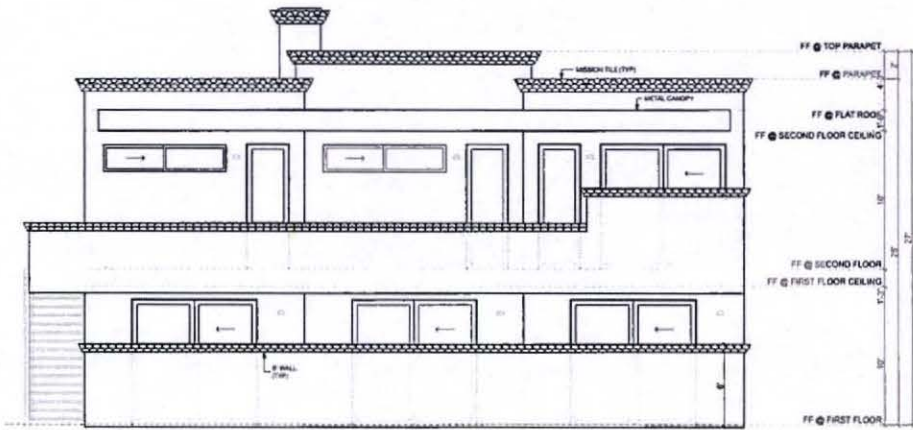


B#5-3 ELEVATION

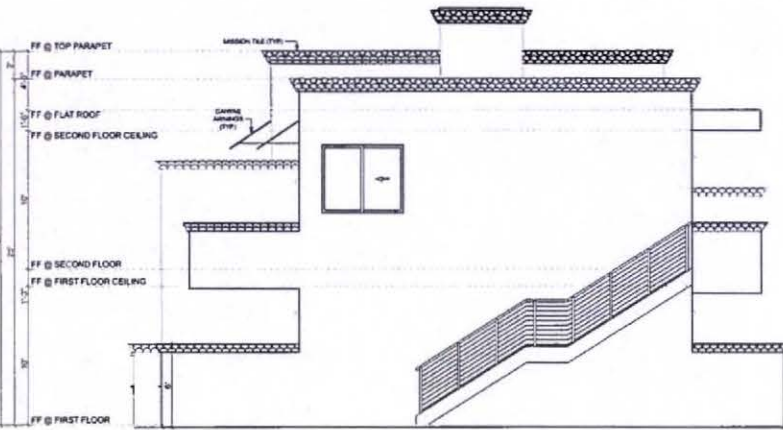
3  
1/4" = 1'-0"

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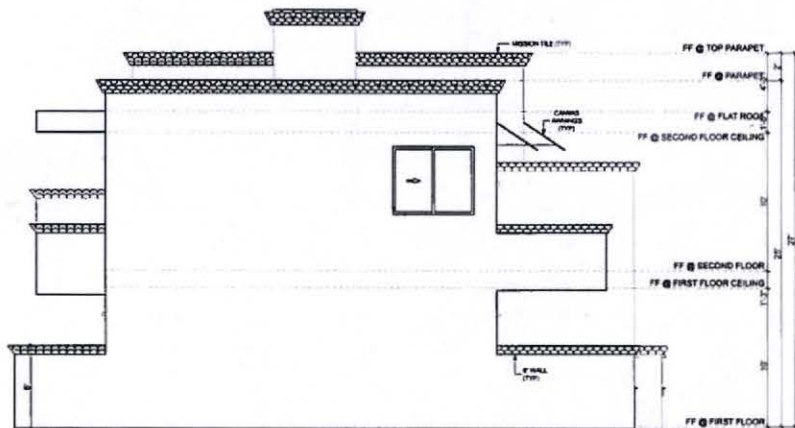
NO.	DATE	ISSUE
1	7/29/16	IPC and IIC Resubmittal



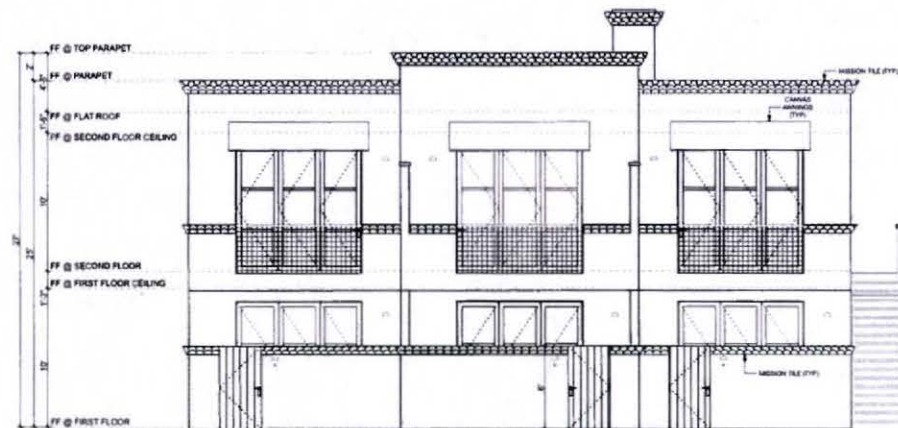
B#6-4 ELEVATION 4  
1/4" = 1'-0"



B#6-1 ELEVATION 1  
1/4" = 1'-0"



B#6-3 ELEVATION 3  
1/4" = 1'-0"



B#6-2 ELEVATION 2  
1/4" = 1'-0"

# THE ORCHID TREE INN

222 S. CAHULLA RD  
PALM SPRINGS,  
CA 92262

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NO.	DATE	ISSUE
1	7/29/18	PC and IIC Resubmittal

**BURDGE & Associates**  
ARCHITECTS

1222 (BU)  
504/2111

WWW.  
BUAIA.COM

1700 PACIFIC COAST HWY. #40 WASHINGTON AVE.  
PALM BEACH, FL 33480 SUITE 204 C  
TEL: 561-848-8888 ATCHAFALAY, LA 70002  
TEL: 504-865-5258

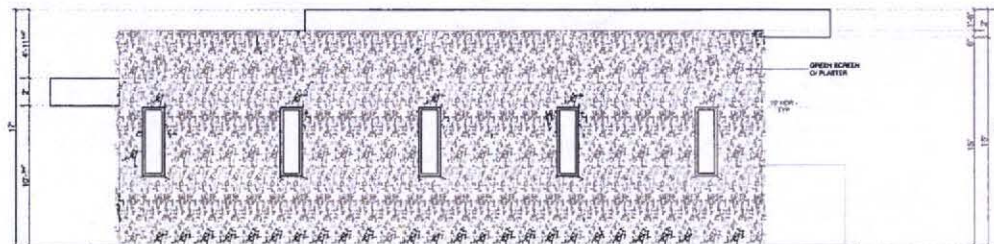
DESCRIPTION:  
**BUILDING 6 - ELEVATIONS**

DRAWING NO. **A-2.11**

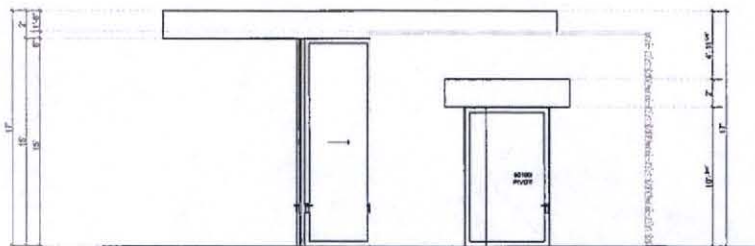
PROJECT	THE ORCHID TREE
DATE	29th Dec 2018
SCALE	AS SHOWN
DRAWN BY	D. W. S. D., P.A.L., M.A., A.A.I.

**THE  
ORCHID  
TREE  
INN**

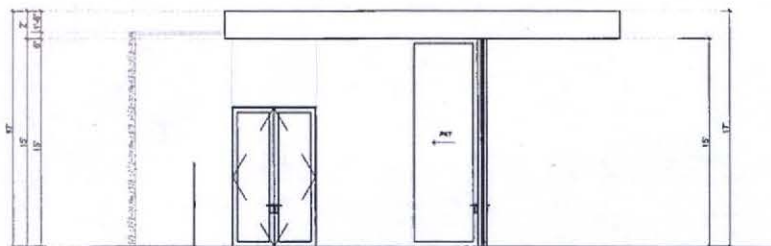
222 S. CAHUILLA RD  
PALM SPRINGS,  
CA 92262



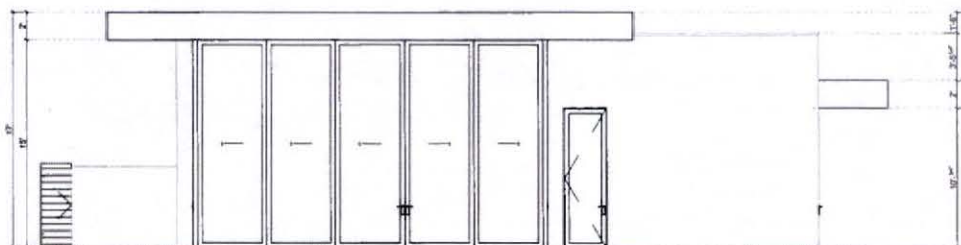
**B#8-1 ELEVATION** 1  
1/4" = 1'-0"



**B#8-2 ELEVATION** 2  
1/4" = 1'-0"



**B#8-4 ELEVATION** 4  
1/4" = 1'-0"



**B#8-3 ELEVATION** 3  
1/4" = 1'-0"

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NO DATE ISSUE

1814-02-29 PC and HC Resubmittal

**BURDGE**  
& Associates  
ARCHITECTS

CALIF. REG. NO. 51924  
WWW.BUAIA.COM

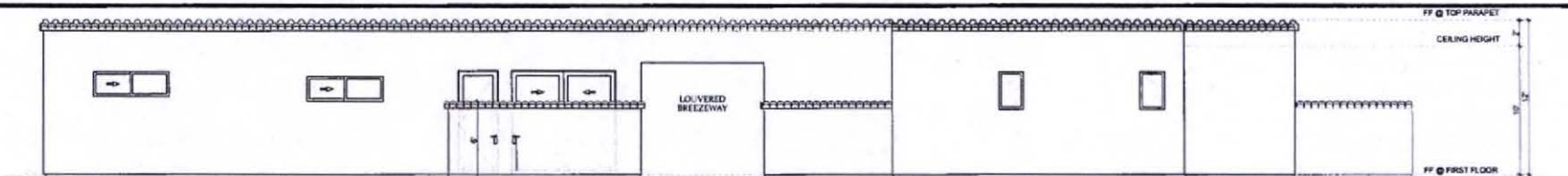
2126 PACIFIC COAST HWY. #40 WASHBURN AVE.  
MALIBU, CALIF. 90262 BURBANK, CALIF. 91502  
TEL. 310-316-9800 TEL. 818-333-1100  
TEL. 310-460-3229

DESCRIPTION

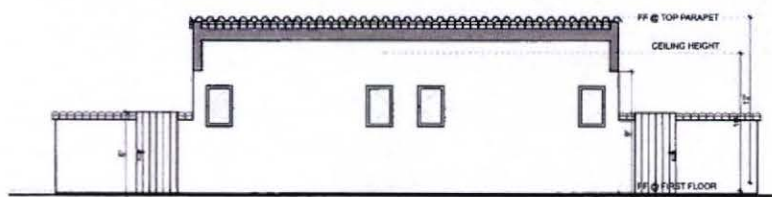
CAFÉ - ELEVATIONS

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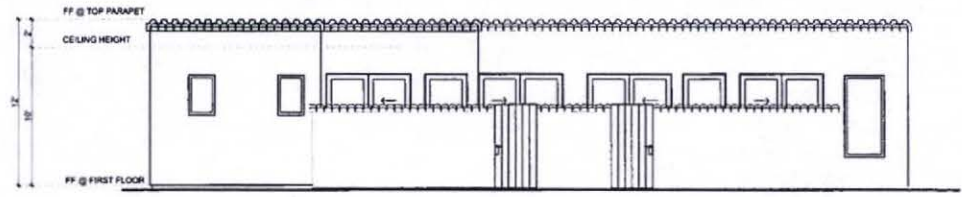
PROJECT: THE ORCHID TREE  
DATE: Rev Date: 10/12/18  
SCALE: AS NOTED  
DRAWN BY: D.W.B., S.D., H.H.L., M.A., A.A.I.



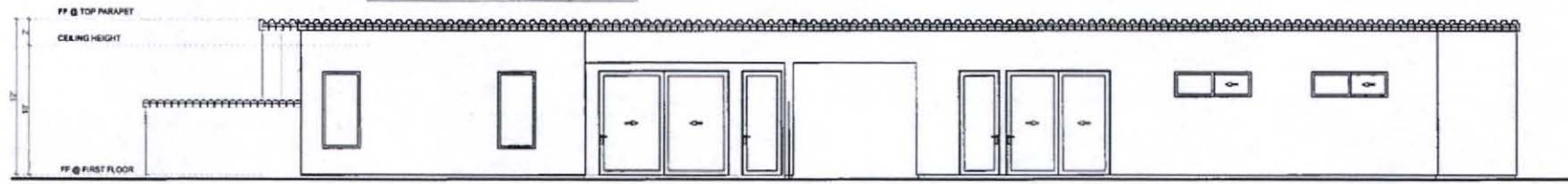
H#5-1 ELEVATION 1  
1/4" = 1'-0"



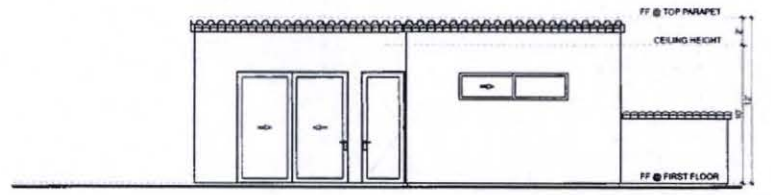
H#5-5 ELEVATION 5  
1/4" = 1'-0"



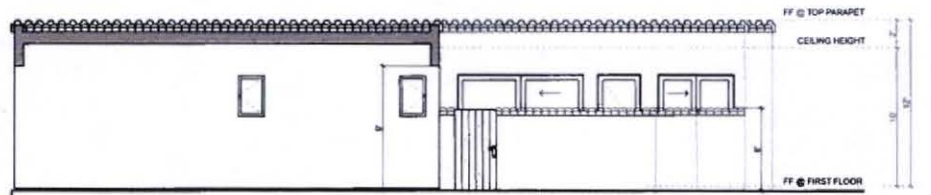
H#5-2 ELEVATION 2  
1/4" = 1'-0"



H#5-3 ELEVATION 3  
1/4" = 1'-0"



H#5-6 ELEVATION 6  
1/4" = 1'-0"



H#5-4 ELEVATION 4  
1/4" = 1'-0"

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NO.	DATE	ISSUE																				
1	7/21/18	TC and HC Revisions																				

**MATERIALS KEY**

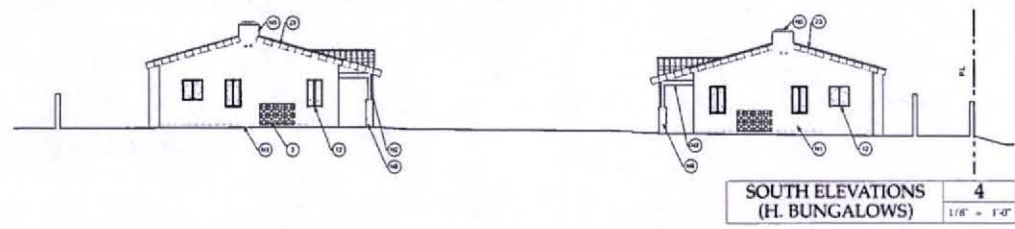
- BUILDING MATERIALS & SCREENS**
- 1 STUCCO PTD SAND, COL. MERLEX OR COTTONEO
  - 2 SPLIT FACE TRAVERTINE
  - 3 PERFORATED ALUMINUM PANEL POWDER COATED, COL. VISTA PAINT #883, CUSTOM PATTERN
  - 4 ALUMINUM PANEL POWDER COATED, COL. VISTA PAINT #883
  - 5 SCREENING STEEL FRAME POWDER COATED, COL. VISTA PAINT #883
  - 6 DECORATIVE CHDNR BLOCK WHITE
  - 7 (E) CONCRETE BLOCK
  - 8 COLD FORMED METAL PANEL

- DOORS & WINDOWS**
- 9 ALUMINUM SLIDING DOOR SYSTEM COL. MEDIUM BRONZE, DOUBLE GLAZED, LOW-E
  - 10 ALUMINUM STOREFRONT SYSTEM COL. MEDIUM BRONZE, DOUBLE GLAZED, LOW-E
  - 11 ALUMINUM ANNA SYSTEM FOLDING WALLS COL. MEDIUM BRONZE, DOUBLE GLAZED, LOW-E
  - 12 PTD. STEEL SASH WINDOW & DOOR COL. DARK GREY, DOUBLE GLAZED, LOW-E
  - 13 ALUMINUM COUNTERWEIGHT WINDOW COL. MEDIUM BRONZE, DOUBLE GLAZED, LOW-E
  - 14 PTD. STEEL DOOR
  - 15 CUSTOM WOOD DOOR STAIN TO MATCH EXISTING
  - 16 PTD. STEEL GATE FAIRBORN & RALL, COL. PIGEON #6 25

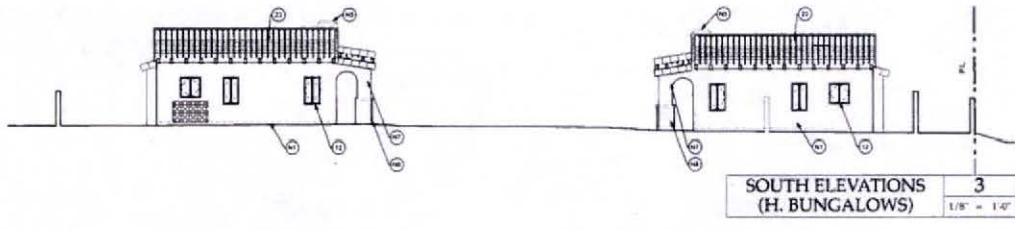
- TERRACES**
- 17 STAINLESS STEEL BAR RAILING 1" FLAT BAR
  - 18 STAINLESS STEEL HANDRAIL 1 1/2" DIAH ROUND BAR
  - 19 WHITE CEDAR CEILING TRIMER CLEAR STAIN, 3" WIDE SLATS
  - 20 FRAMELESS GLASS RAILING 3" THICK CLEAR GLASS

- ROOF, DECK, CHIMNEYS**
- 21 PINE WOOD DECK CLEAR STAIN
  - 22 AGGREGATE SURFACED BUR TERRAZZOTTA, COL. RED (CLAY TONE)
  - 23 MESSINA BARREL TILE TERRAZZOTTA, COL. RED (CLAY TONE)
  - 24 FLAT ROOF TILE TERRAZZOTTA, COL. RED (CLAY TONE)
  - 25 ALUMINUM CLAD CANOPY POWDER COATED, COL. VISTA PAINT #883
  - 26 SOLAR PANEL 80 CELL MULTICRYSTALLINE PANEL

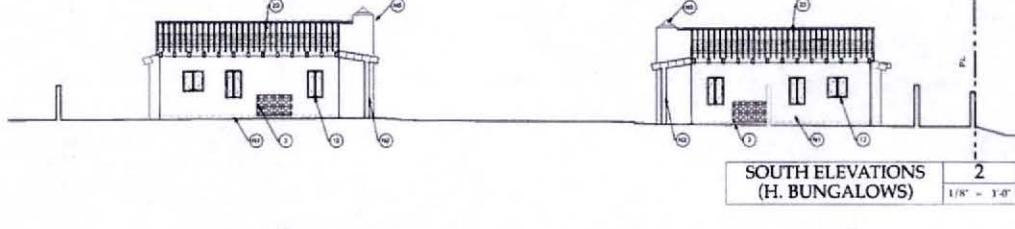
- RESTORATION NOTES**
- M1 EXG PLASTER TO BE CLEANED WITH LOW PRESSURE WATER
  - EXG PAINTED SURFACES TO BE PROPERLY PREPARED, REPAIRED AS REQUIRED AND REPAINTED. PLASTER SHALL TO BE FLUSH TO AND MATCH EXG PLASTER
  - M2 WOOD POST AND BEAM TO BE PAINTED
  - M3 WOOD SIDING TO BE REPAIRED AND PAINTED
  - M4 SALVAGED SHUTTERS TO BE REPAIRED AND PAINTED
  - M5 EXTERIOR PLASTER CHIMNEY
  - M6 MODIFIED EXG OPENING AS REQUIRED
  - M7 PLASTER PLASTER AND BRICK
  - M8 EXPOSED BRICK BASE
  - M9 REMOVE NON HISTORIC ADDITION
  - M10 PATCH WALL WITH SALVAGED BLOCKS
  - M11 PATCH ROOF WITH SALVAGED TERRAZZOTTA TILES



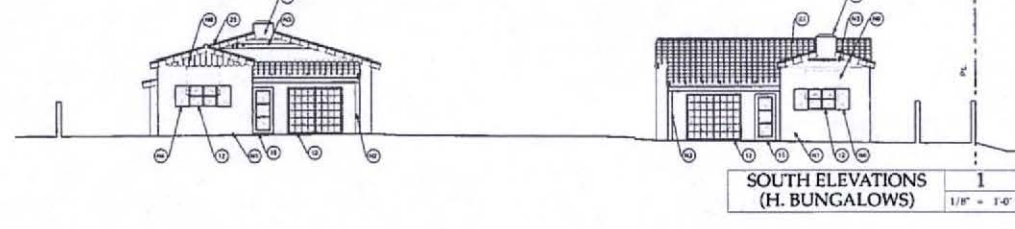
**SOUTH ELEVATIONS (H. BUNGALOWS) 4**  
1/8" = 1'-0"



**SOUTH ELEVATIONS (H. BUNGALOWS) 3**  
1/8" = 1'-0"



**SOUTH ELEVATIONS (H. BUNGALOWS) 2**  
1/8" = 1'-0"



**SOUTH ELEVATIONS (H. BUNGALOWS) 1**  
1/8" = 1'-0"

**THE ORCHID TREE INN**

222 S. CAHUILLA RD  
PALM SPRINGS,  
CA 92262

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NO.	DATE	ISSUE
1	7/21/16	PC and IFC Resubmittal

**BURDGE & Associates ARCHITECTS**

MAILING ADDRESS: 400 WASHINGTON AVE., SUITE 200 C, KETCHIKAN, ALASKA 99901  
WWW.BUAIA.COM

1225 PACIFIC COAST HWY. SUITE 200 C, MALIBU, CA 90265  
TEL: 310-486-3608

400 WASHINGTON AVE., SUITE 200 C, KETCHIKAN, ALASKA 99901  
TEL: 707-486-3629

DESCRIPTION:  
**H 1-4 & 6-9 - SOUTH ELEVATIONS**

DRAWING NO **A-2.14**

PROJECT: THE ORCHID TREE  
DATE: 15th Dec 7/2016  
SCALE: 1/8" = 1'-0"  
DRAWN BY: DWB, S.D., N.M., A.A.L.

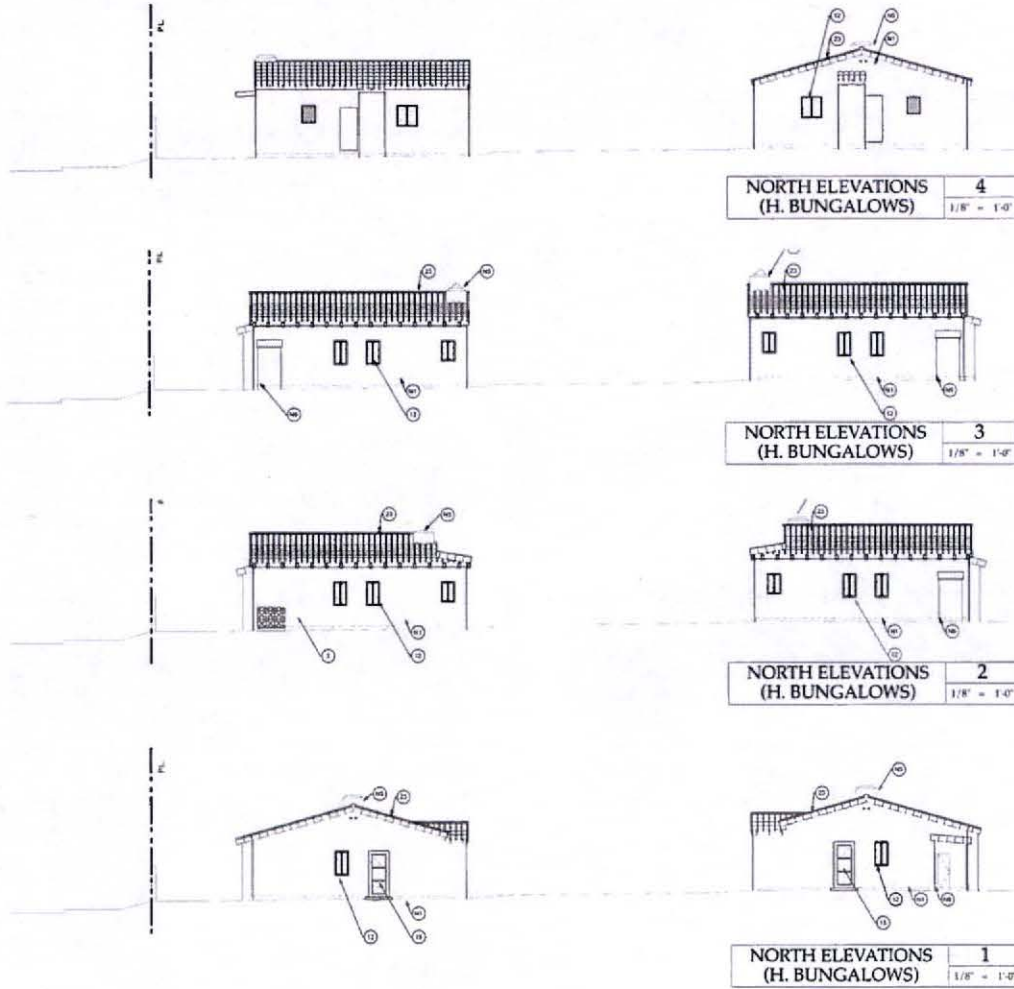
MATERIALS KEY	FINISH - COLOR / NOTES
<b>BUILDING WALLS &amp; SCREENS</b>	
1 STUCCO	PTD SAND, COOL MEXLEX 700, COTTONED
2 SPILT FACE TRAVERTINE	
3 PERFORATED ALUMINUM PANEL	POWDER COATED, COL. VISTA PAINT 8003, CUSTOM PATTERN
4 ALUMINUM PANEL	POWDER COATED, COL. VISTA PAINT 8003
5 REINFORCING STEEL FRAME	POWDER COATED, COL. VISTA PAINT 8003
6 DECORATIVE CINDER BLOCK	WHITE
7 12" CONCRETE BLOCK	
8 COLD FORMED METAL PANEL	

DOORS & WINDOWS	
9 ALUMINUM SLIDING DOOR SYSTEM	COL. MEDIUM BRONZE, DOUBLE GLAZED, LOW-E
10 ALUMINUM STOREFRONT SYSTEM	COL. MEDIUM BRONZE, DOUBLE GLAZED, LOW-E
11 ALUMINUM WANA SYSTEM (SLIDING WALLS)	COL. MEDIUM BRONZE, DOUBLE GLAZED, LOW-E
12 PTD STEEL BASH WINDOW & DOOR	COL. DARK GREY, DOUBLE GLAZED, LOW-E
13 ALUMINUM COUNTERBRIGHT WINDOW	COL. MEDIUM BRONZE, DOUBLE GLAZED, LOW-E
14 PTD STEEL DOOR	
15 CUSTOM WOOD DOOR	STAIN TO MATCH EXISTING
16 PTD STEEL GATE	FAWCON & BALL, COL. PIGEON No. 25

TERRACES	
17 STAINLESS STEEL BAR RAILING	1" FLAT BAR
18 STAINLESS STEEL HANDRAIL	1 1/2" DIAM ROUND BAR
19 WHITE CEDAR CEILING VENEER	CLEAR STAIN, 2" WIDE SLATS
20 FRAMELESS GLASS RAILING	1/2" THICK CLEAR GLASS

ROOF/CEILING/SANITARY	
21 1/2" WOOD DECK	CLEAR STAIN
22 AGGREGATE SURFACED RUB	
23 MESSINA BARREL TILE	TERRAZZOTA, COL. RED (CLAY TONE)
24 FLAT ROOF TILE	TERRAZZOTA, COL. RED (CLAY TONE)
25 ALUMINUM CLAD GANTRY	POWDER COATED, COL. VISTA PAINT 8003
26 SOLAR PANEL	40 CELL MULTICRYSTALLINE PANEL

RESTORATION NOTES	
R01 EXISTING PLASTER TO BE CLEANED WITH LOW PRESSURE WATER	
R02 EXISTING PAINTED SURFACES TO BE PROPERLY PREPARED, REPAIRED AS REQUIRED AND REPAINTED	
R03 PLASTER REPAIR TO BE FLUSH TO AND MATCH EXISTING PLASTER	
R04 WOOD POST AND BEAM TO BE REPAIRED AND PAINTED	
R05 WOOD SIDING TO BE REPAIRED AND PAINTED	
R06 SALVAGED SHAPTERS TO BE REPAIRED AND PAINTED	
R07 EXTERIOR PLASTER CHIMNEY	
R08 MODIFIED EXISTING OPENING AS REQUIRED	
R09 PLASTER REPAIR AND ARCH	
R10 EXPOSED BRICK BASE	
R11 REMOVE NON HISTORIC ADDITION	
R12 PATCH WALL WITH SALVAGED BLOCKS	
R13 PATCH ROOF WITH SALVAGED TERRAZZOTA TILES	



**THE ORCHID TREE INN**

222 S. CAHUILLA RD  
PALM SPRINGS,  
CA 92262

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NO.	DATE	ISSUE
1	7-29-16	PC and AEC Re-submittal

**BURDGE & Associates ARCHITECTS**

2125 PACIFIC COAST HWY. #100 WASHINGTON AVE.  
SAN DIEGO, CA 92108 SAN DIEGO, CA 92108  
TEL: 214-455-3400 TEL: 619-544-1100  
WWW.BUJIA.COM

H 1-4 & 6-9 - NORTH ELEVATIONS

DRAWING NO.	<b>A-2.15</b>
PROJECT	THE ORCHID TREE
DATE	Plus Date 7/29/16
SCALE	1/8" = 1'-0"
DRAWN BY	DWB, S.D., N.M., S.A., A.M.

# THE ORCHID TREE INN

222 S. CAHULLA RD  
PALM SPRINGS,  
CA 92262

### MATERIALS KEY

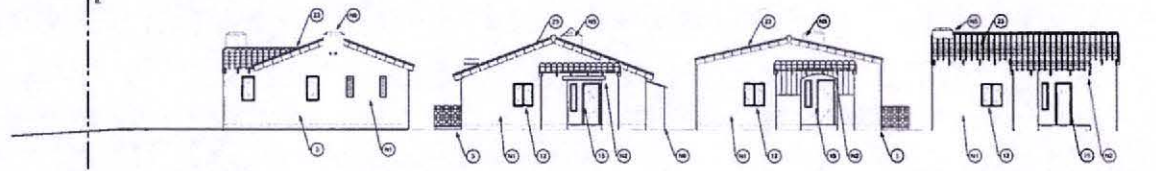
MATERIAL / DESCRIPTION FINISH / COLOR / NOTES

- BUILDING WALLS & SCREENS**
- 1 STUCCO PTD SAND COL. MERLEX 70% COTTONSEED
  - 2 SPLIT FACE TRAVERTINE
  - 3 PERFORATED ALUMINUM PANEL POWDER COATED, COL. VISTA PAINT BRDG. CUSTOM PATTERNS
  - 4 ALUMINUM PANEL POWDER COATED, COL. VISTA PAINT BRDG.
  - 5 SCREENING STEEL FRAME POWDER COATED, COL. VISTA PAINT BRDG.
  - 6 DECORATIVE CONCRETE BLOCK WHITE
  - 7 (2) CONCRETE BLOCK
  - 8 COLE FORMED METAL PANEL
- DOORS & WINDOWS**
- 9 ALUMINUM SLIDING DOOR SYSTEM COL. MEDIUM BRONZE, DOUBLE GLAZED, LOW-E
  - 10 ALUMINUM STOREFRONT SYSTEM COL. MEDIUM BRONZE, DOUBLE GLAZED, LOW-E
  - 11 ALUMINUM HANA SYSTEM FOLDING WALLS COL. MEDIUM BRONZE, DOUBLE GLAZED, LOW-E
  - 12 PTD STEEL BASH WINDOW & DOOR COL. DARK GREY DOUBLE GLAZED, LOW-E
  - 13 ALUMINUM COUNTERWEIGHT WINDOW COL. MEDIUM BRONZE, DOUBLE GLAZED, LOW-E
  - 14 PTD STEEL DOOR
  - 15 CUSTOM WOOD DOOR STAIN TO MATCH EXISTING
  - 16 PTD STEEL GATE FARRON & BALL CO., PROJECT NO 75

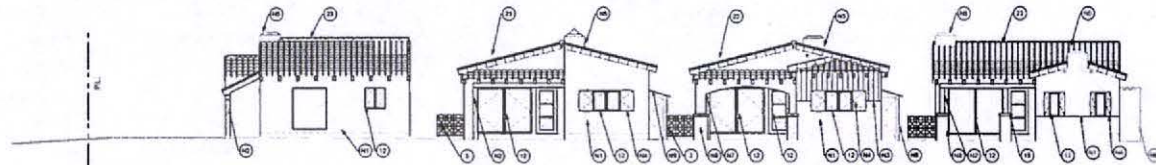
- TERRACES**
- 17 STAINLESS STEEL BAR RAILING 1" FLAT BAR
  - 18 STAINLESS STEEL HANDRAIL 1" DIAM ROUNDED BAR
  - 19 WHITE CEDAR CEILING VENEER CLEAR STAIN, 2" WIDE SLATS
  - 20 FRAMELESS GLASS RAILING 2" THICK CLEAR GLASS

- ROOF/DECK/GAROPES**
- 21 W6 WOOD DECK CLEAR STAIN
  - 22 AGGREGATE SURFACED BUR
  - 23 MEXICAN BARREL TILE TERRAZZOTA, COL. RED (CLAY TONE)
  - 24 FLAT ROOF TILE TERRAZZOTA, COL. RED (CLAY TONE)
  - 25 ALUMINUM CLAD GANTRY POWDER COATED, COL. VISTA PAINT BRDG.
  - 26 SOLAR PANEL 60 CELL MULTICRYSTALLINE PANEL

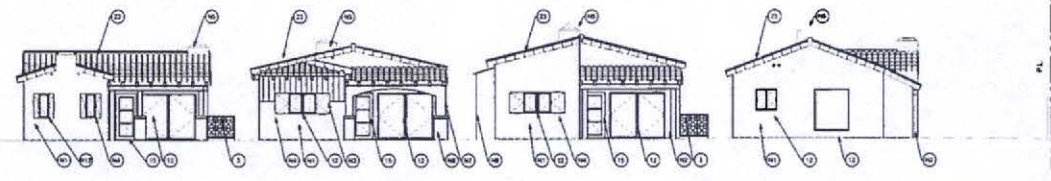
- RESTORATION NOTES**
- N1 EXG PLASTER TO BE CLEANED WITH LOW PRESSURE WATER
  - EXG PAINTED SURFACES TO BE PROPERLY PREPARED, REPAIRED AS REQUIRED AND REPAINTED PLASTER BRILL TO BE FLUSH TO AND MATCH EXG PLASTER
  - N2 WOOD POST AND BEAM TO BE REPAIRED
  - N3 WOOD SIDING TO BE REPAIRED AND PAINTED
  - N4 BALUNAGED SHUTTERS TO BE REPAIRED AND PAINTED
  - N5 EXTENSION PLASTER CHIMNEY
  - N6 MODIFIED EXG OPENING AS REQUIRED
  - N7 PLASTER PLASTER AND ARCH
  - N8 EXPOSED BRICK BASE
  - N9 REMOVE NON HISTORIC ADDITION
  - N10 PATCH WALL WITH BALUNAGED BLOCKS
  - N11 PATCH ROOF WITH BALUNAGED TERRAZZOTA TILES



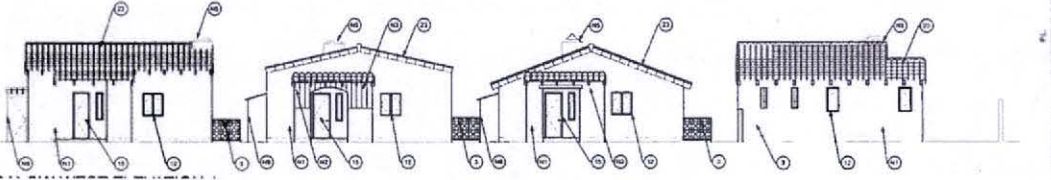
EAST ELEVATIONS (H. BUNGALOWS) 2  
1/8" = 1'-0"



EAST ELEVATIONS (H. BUNGALOWS) 1  
1/8" = 1'-0"



WEST ELEVATIONS (H. BUNGALOWS) 3  
1/8" = 1'-0"



WEST ELEVATIONS (H. BUNGALOWS) 4  
1/8" = 1'-0"

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NO DATE ISSUE

7/29/16 PC and HC Resubmittal

**BURDGE & Associates ARCHITECTS**

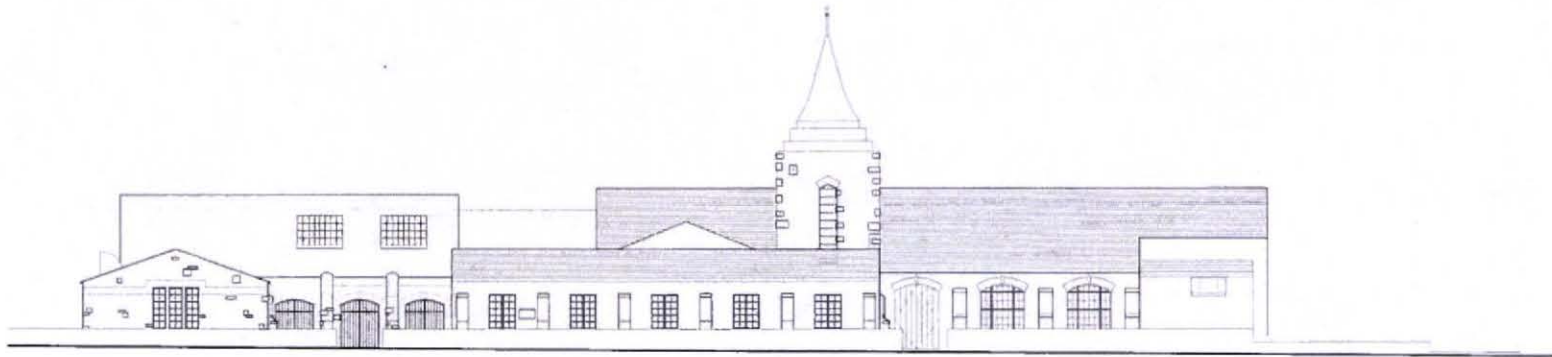
2521 101 ST. #117 PALM SPRINGS, CA 92264 WWW.BUJAA.COM

2525 PACIFIC COAST HWY. #100 WASHINGTON AVE. MALIBU, CA 90263 TEL: 310-596-5905 TEL: 310-596-5905 TEL: 310-486-8229

DESCRIPTION:  
H 1-4 & 6-9 - EAST/WEST ELEVATIONS

DRAWING NO. **A-2.16**

PROJECT: THE ORCHID TREE  
DATE: Plot Date: 7/29/16  
SCALE: 1/8" = 1'-0"  
DRAWING BY: DWB, SD, NM, MJA, AM



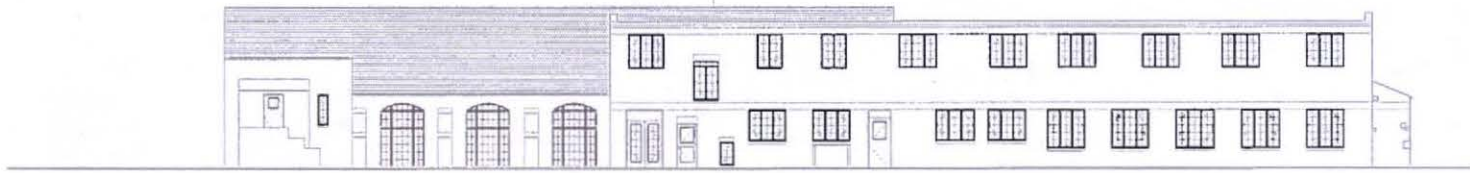
EXISTING WEST ELEVATION	1
	1/8" = 1'-0"



PROPOSED WEST ELEVATION	2
	1/8" = 1'-0"

<p>THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE USED ON ANY OTHER PROJECTS WITHOUT THE WRITTEN AGREEMENT WITH THE ARCHITECT.</p> <p>WRITTEN DIMENSIONS SHALL BE VIEWED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>ISSUE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>7-27-16</td> <td>10% and 15% Developmental</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	ISSUE	1	7-27-16	10% and 15% Developmental													<p><b>THE ORCHID TREE INN</b></p> <p>222 S. CAHUILLA RD PALM SPRINGS, CA 92262</p>	<p><b>BURDGE &amp; Associates ARCHITECTS</b></p> <p>14141/11 SUN VALLEY</p>	<p>31222 PACIFIC COURT HWY PALM SPRINGS, CA 92262 TEL: 951-486-8888</p> <p>480 WASHINGTON AVE SUITE 204 C PALM SPRINGS, CA 92262 TEL: 951-486-8278</p> <p>WWW.BUAIA.COM</p>	<p><b>DESCRIPTION:</b> CHURCH WEST ELEVATION</p> <p><b>DRAWING NO:</b> <b>A-2.17</b></p> <p><b>PROJECT:</b> ORCHID TREE INN <b>DATE:</b> / / <b>Per Date:</b> 7/29/16 <b>DRAWN BY:</b> D.W.B. S.D. N.M. M.A. A.M. <b>SCALE:</b> 1/8" = 1'-0"</p>
NO.	DATE	ISSUE																					
1	7-27-16	10% and 15% Developmental																					





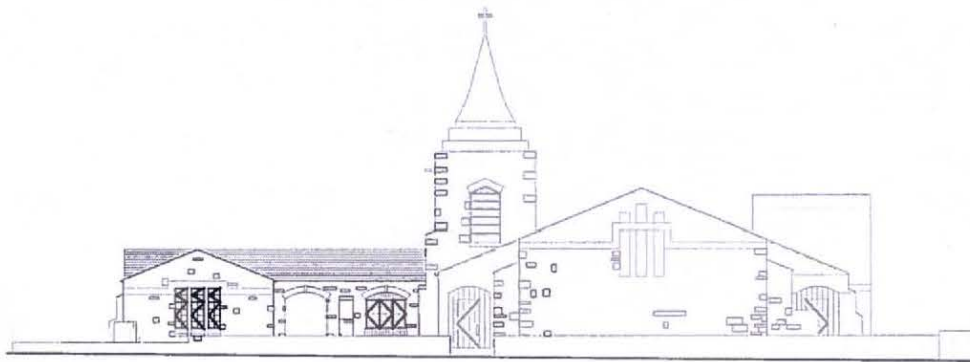
EXISTING EAST ELEVATION 1  
1/8" = 1'-0"



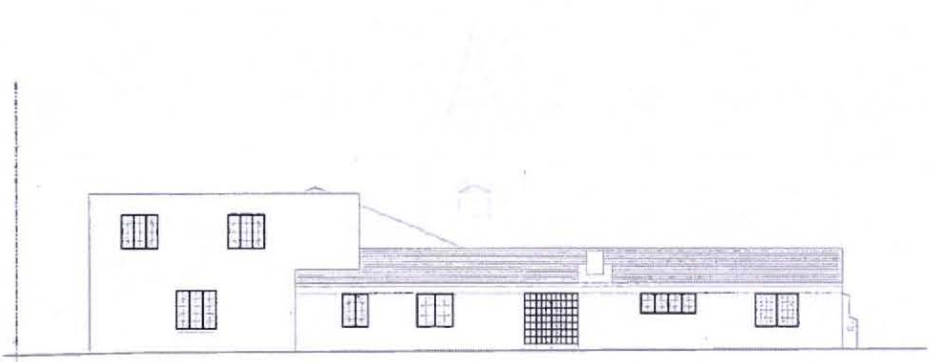
PROPOSED EAST ELEVATION 2  
1/8" = 1'-0"

<p>THE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.</p> <p>WRITTEN DIMENSIONS SHALL BE VIEWED ON THE JOB SITE. UNCORRECTED SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>ISSUE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>07-18</td> <td>PC and IFC Revisions</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	ISSUE	1	07-18	PC and IFC Revisions													<p><b>THE ORCHID TREE INN</b> 222 S. CAHUILLA RD PALM SPRINGS, CA 92262</p>	<p><b>BURDGE &amp; Associates ARCHITECTS</b> CALIFORNIA SAN VALLEY</p>	<p>21228 PACIFIC COAST HWY SAN DIEGO, CA 92111 TEL: 619-446-9800</p> <p>400 WASHINGTON COMMONS SUITE 2000 ALLAMANCO, CA 92008 TEL: 760-465-3028</p> <p>WWW.BUAIA.COM</p>	<p>DESCRIPTION: CHURCH EAST ELEVATION</p> <p>DRAWING NO: <b>A-2.18</b></p> <p>PROJECT: ORCHID TREE INN DATE: Pkg Date: 7/25/18 DRAWN BY: DWG, S.D., H.M., M.A., A.M.</p> <p>SCALE: 1/8" = 1'-0"</p>
	NO.	DATE	ISSUE																				
1	07-18	PC and IFC Revisions																					

145



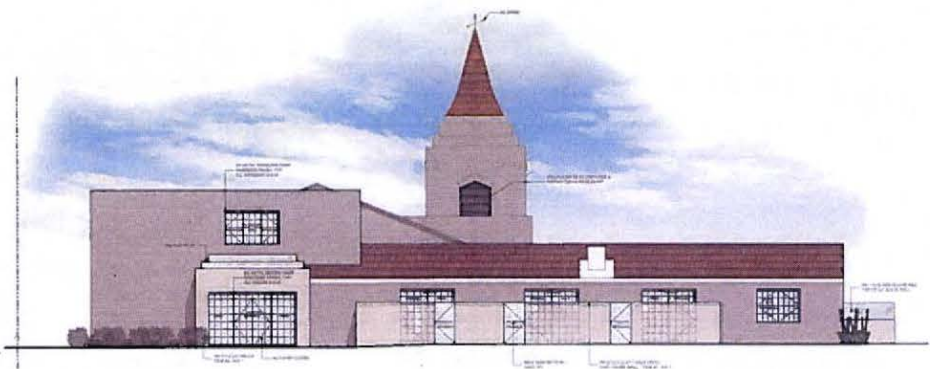
EXISTING SOUTH ELEVATION 3  
1/8" = 1'-0"



EXISTING NORTH ELEVATION 1  
1/8" = 1'-0"

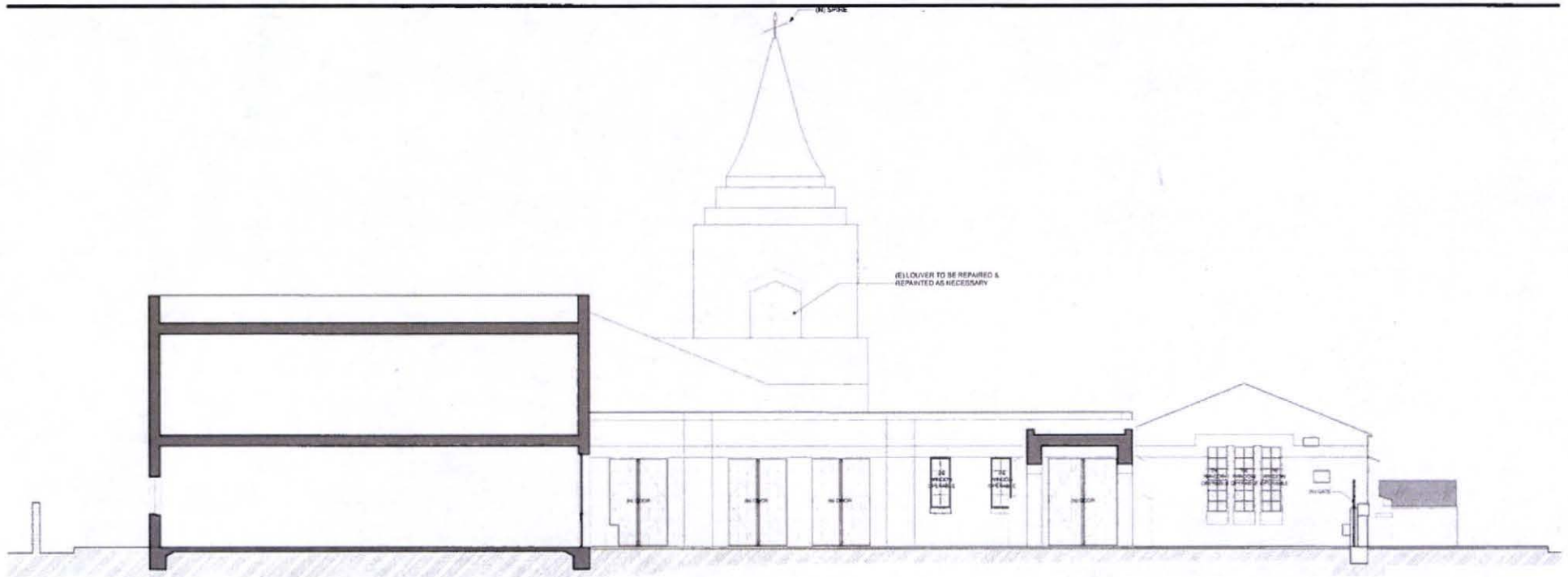


PROPOSED SOUTH ELEVATION 4  
1/8" = 1'-0"

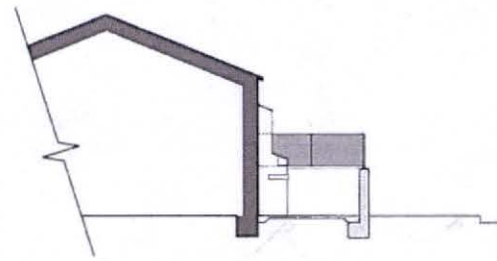


PROPOSED NORTH ELEVATION 2  
1/8" = 1'-0"

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	NO.	DATE	ISSUE																			
1	07.24.14	TC and HC Resubmittal																				



SECTION A 1  
SCALE 1/4" = 1'-0"



SECTION B 2  
SCALE 1/4" = 1'-0"

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**Orchid Tree: Pre-Development & Entitlement Schedule**  
05/30/17

ID	Task Name	Duration	Start	Finish	July 1	October 11	January 21	May 1	August 11	November 21	March 1	June 11	September 21	January 1	April 11	July 21	November 1									
					6/19	8/7	9/25	11/13	1/1	2/19	4/9	5/28	7/16	9/3	10/22	12/10	1/28	3/18	5/6	6/24	8/12	9/30	11/18	1/6	2/24	4/14
1	Operator Negotiations	333 days	Mon 11/14/16	Fri 10/13/17	Operator Negotiations 11/14 → 10/13																					
2	Planning Commission Approval	0 days	Mon 11/14/16	Mon 11/14/16	Planning Commission Approval 11/14 → 11/14																					
3	Operator Explorations	144 days	Mon 11/14/16	Fri 4/7/17	Operator Explorations 11/14 → 4/7																					
4	LOI Negotiations	84 days	Fri 4/7/17	Fri 6/30/17	LOI Negotiations 4/7 → 6/30																					
5	Franchise Agreement Negotiations	122 days	Fri 6/30/17	Mon 10/30/17	Franchise Agreement Negotiations 6/30 → 10/30																					
6	Working Drawings	420 days	Mon 10/30/17	Mon 12/24/18	Working Drawings 10/30 → 12/24																					
7	Operator Design Tweaks	93 days	Mon 10/30/17	Wed 1/31/18	Operator Design Tweaks 10/30 → 1/31																					
8	Schematic Drawings	96 days	Wed 1/31/18	Mon 5/7/18	Schematic Drawings 1/31 → 5/7																					
9	Design Development Drawings	100 days	Mon 5/7/18	Wed 8/15/18	Design Development Drawings 5/7 → 8/15																					
10	Construction Drawings	131 days	Wed 8/15/18	Mon 12/24/18	Construction Drawings 8/15 → 12/24																					
11	Shell and Core Permit & Plan Check	314 days	Tue 12/25/18	Mon 11/4/19	Shell and Core Permit & Plan Check 12/25 → 11/4																					
12	Plan Check	24 days	Tue 12/25/18	Fri 1/18/19	Plan Check 12/25 → 1/18																					
13	Revisions	38 days	Fri 1/18/19	Mon 2/25/19	Revisions 1/18 → 2/25																					
14	Backcheck	21 days	Mon 2/25/19	Mon 3/18/19	Backcheck 2/25 → 3/18																					
15	Revisions	37 days	Mon 3/18/19	Wed 4/24/19	Revisions 3/18 → 4/24																					
16	Backcheck	29 days	Wed 4/24/19	Thu 5/23/19	Backcheck 4/24 → 5/23																					
17	Receive Building Permit	0 days	Thu 5/23/19	Thu 5/23/19	Receive Building Permit 5/23 → 5/23																					
18	Pre Construction Services	161.38 days	Thu 5/23/19	Thu 10/31/19	Pre Construction Services 5/23 → 10/31																					
19	Ground Breaking Ceremony	0 days	Mon 11/4/19	Mon 11/4/19	Ground Breaking Ceremony 11/4 → 11/4																					