



# HISTORIC SITE PRESERVATION BOARD STAFF REPORT

DATE: April 9, 2019

NEW BUSINESS

SUBJECT: EDDIE EDWARDS, ON BEHALF OF WCR HOLDINGS, LLC (DBA AVALON PAIN SOLUTIONS, INC.), OWNER, REQUESTING A CERTIFICATE OF APPROPRIATENESS FOR ALTERATIONS TO "HARLOW HAVEN" (AKA "THE SOLANO COURT APARTMENTS"), A CLASS 1 HISTORIC SITE (HSPB #20), LOCATED AT 175 EAST EL ALAMEDA STREET (APN: 505-285-012) AND "THE VILLAGE INN HOTEL" (AKA "THE CRAWFORD APARTMENTS") A CLASS 3 HISTORIC SITE AND CONTRIBUTOR TO THE LAS PALMAS BUSINESS HISTORIC DISTRICT ("LPBHD"), LOCATED AT 855 NORTH INDIAN CANYON DRIVE, (APN 505-285-011), ZONE R-3, CASE 5,1472 CUP / 3.906 MAA / HSPB #20 / HD-1. (KL)

FROM: Department of Planning Services

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## SUMMARY

Harlow Haven Hotel (aka "Solano Court") was constructed in 1936-37 by Roscoe Campbell and is a Class 1 historic site (HSPB #20) within the Las Palmas Business Historic District ("LPBHD"). The Village Inn Hotel (aka "Crawford Apartments") was constructed in 1945 by William and Alice Crawford and is a Contributing Structure in the LPBHD. Harlow Haven was constructed in a simplified Spanish Colonial Revival style. The Crawford Apartments were built as a non-descript stucco and frame style building. Both properties are examples of the typical small automobile-related tourist hotels that were constructed in Palm Springs in the thirties and forties.

The applicant proposes to renovate the buildings, merge the two parcels and convert the facilities to an assisted living / intermediate care facility providing substance abuse recovery, therapeutic services and pain management treatment to adults. The project is considered a major alteration pursuant the definitions section of the City's Historic Preservation Ordinance (PSMC 8.05) and thus is subject to HSPB review for a Certificate of Appropriateness.

## RECOMMENDATION:

Grant the Certificate of Appropriateness with the following conditions:

1. Replace all roof tile on the Crawford Apartment site with traditional two-piece barrel clay tile with random lifts in colors consistent with that of the Harlow Hotel.
2. All replacement windows proposed with muntins shall have muntins on both outer

surfaces of the glass (not mullions sandwiched between the two layers of glass).

3. Replacement doors at the Crawford Apartments shall match in detail to the existing doors at Harlow Haven but need not have the cast “peep hole” grill.
4. All work to be consistent with the Secretary of the Interior Standards for the treatment of historic structures.

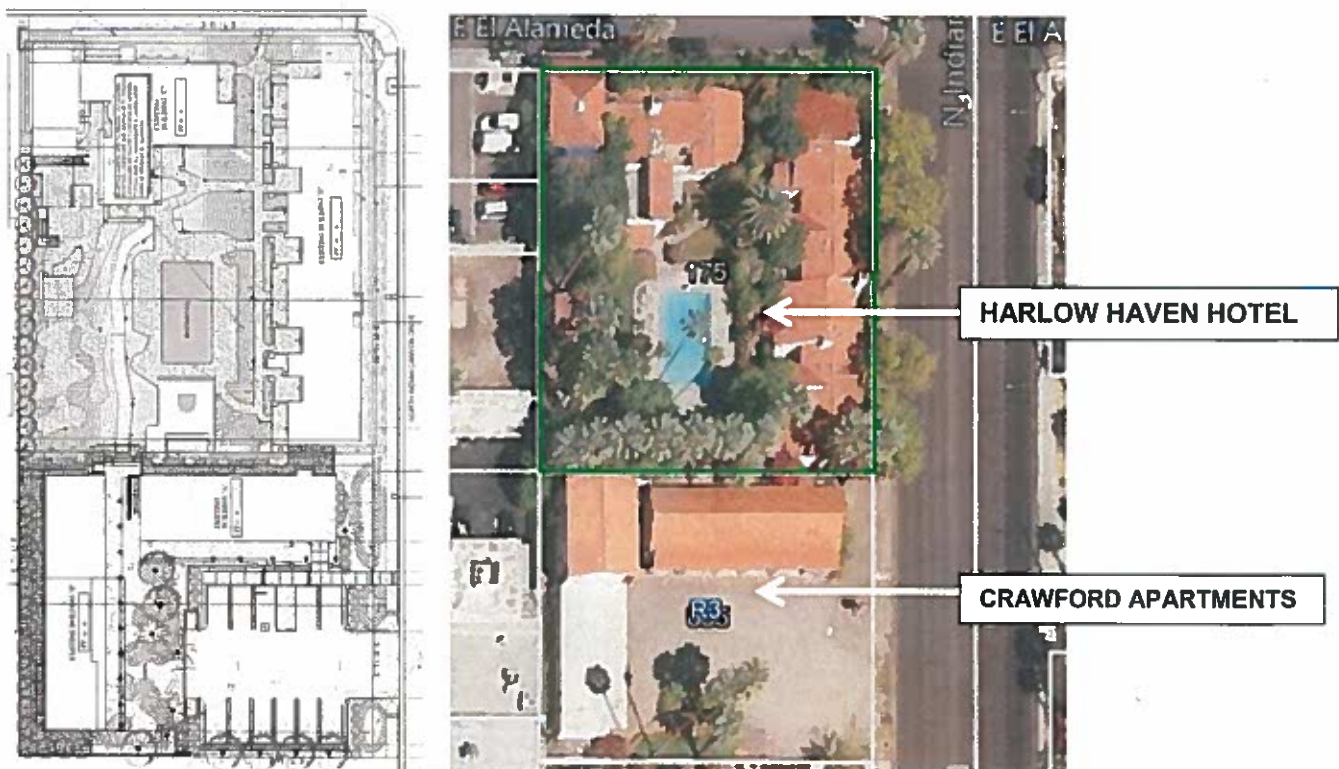
**PRIOR ACTIONS:**

<i>Related Relevant City Actions by Planning, Fire, Building, etc...</i>	
May 7, 1986	City Council designated the Las Palmas Business Historic District (“LPBHD”) by Resolution 15858; Harlow Haven identified as a “Class 4 historic site” (now equivalent to Class 1).
2015	Crawford Apartments Identified in the 2015 Citywide Historic Resource Survey as Contributing to the historic significance of the LPBHD.
February 9, 2016	HSPB voted to recommend the Crawford Apartments be added to the list of contributing parcels in the LPBHD.

**BACKGROUND:**

The proposed project is comprised of two historic sites: The Harlow Haven Hotel located on a 0.53-acre parcel at the southwest corner of El Alameda and North Indian Canyon and the Crawford Apartments, located on a 0.39-acre parcel immediately to the south of Harlow Haven. Both parcels are within the Las Palmas Business Historic District.

**SITE PLAN LEFT AND AERIAL PHOTO RIGHT SHOWING BOTH PARCELS.**



The data sheet compiled by Historic Resources Group as part of the Citywide Historic Resource Inventory characterize the buildings on both sites as being designed in the Spanish Colonial Revival architectural style, however Staff would assert that The Crawford Apartments is simply a non-descript modern era building with inexpensive "S"-type clay roof tiles and lacks any other detailing that would place it in the Spanish Colonial Revival category.

As part of the Citywide Historic Context Statement, the City's consultant provided a brief guide to architectural styles. On page 344 the varieties of Spanish Colonial Revival are described, noting that *"in Palm Springs, the style was often simplified and reduced to its most basic elements, resulting in a more rustic, or vernacular interpretation. These simple structures were usually finished with exterior walls of stucco and designed in simple rectilinear plans, low-pitched roofs clad in barrel tile and often little or no ornamentation"*.

Harlow Haven exhibits numerous architectural details that reflect this architectural style, including two-piece barrel clay roof tiles, ornamental clay tile grills in the gables, heavy wood doors with unique peep hole grills, heavy wood timbers and extended rafter tails, and classic cornice detailing at pilasters and columns.

The Crawford Apartments lack similar detailing. The southern wing (referred to as Building "B" and built in 1952 according to building permits) is merely a simple modern box with a shed roof, a cantilevered eave at the front porch, flat stucco walls, inexpensive doors and replacement windows. It is completely void of any ornament or detail. The northern part of Building "B" is two stories in height with a gable roof clad in inexpensive S-type clay roof tiles<sup>1</sup>, wood posts and railings of standard dimensional lumber, and vinyl replacement windows. Building "A" is one story in height with a gable roof clad in the same inexpensive S-type clay roof tile and has a covered front porch with posts of standard dimension lumber, vinyl windows and inexpensive builder's grade doors. Building "A" and the north part of Building "B" were constructed in 1945 according to building permits. Building "A" lies perpendicular to Building "B" along the north side of the site. Photos of both sites are provided at the end of this staff report.

Both properties have been vacant for many years and the structures are deteriorated.

#### DETAILS OF THE APPLICATION.

The proposed project is comprised of three primary parts: (1) Renovation and replacement of portions of the Crawford Apartments, (2) Repair and renovation of the Harlow Haven Hotel, (3) Sitework Improvements including new landscaping and a parking lot.

##### (1) Crawford Apartments (Buildings "A" and "B"):

- Repair & repaint existing stucco walls to remain.
- Repair as required existing S-type clay roof tiles. (Staff recommends replacement with traditional two-piece barrel clay tiles).

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<sup>1</sup> The 1945 building permit denotes "compo(sition) roof". Staff believes the S-type roof tile was added some time later as a means of "sprucing up" the appearance, and was not original.

- Install new windows and doors matching the original doors at Harlow Haven.
- Demolition of the flat-roofed portion of the southern wing of Building “B” and replacement with new gable-roofed structure with 2-piece barrel clay roof tiles.
- New second floor roof deck over a portion of the southern wing of Building “B”.
- New pre-cast masonry column enclosures at front porch of Building “A”
- Demolition of small 84 square foot office area at Building “A”.
- Remove existing wood railing at second floor of Building “B” and replace with wrought iron railing.
- Interior renovation.

The applicant is seeking to introduce a greater amount of architectural detailing in the Spanish Colonial Revival style at the Crawford Apartments. The thin, dimensional lumber porch posts would be replaced with more substantial masonry columns. The builder’s grade windows would be replaced with thermally improved windows with muntins and heavier casing and trim. The existing doors would be replaced with custom doors reflecting the style of the original doors at the Harlow Haven Hotel. Decorative gable grills are also proposed and replacement of the wood railing at the second floor with wrought iron.

**BELOW CURRENT IMAGE OF CRAWFORD APARTMENTS; BLDG “B” AT THE LEFT, BLDG “A” TO THE RIGHT**



**PROPOSED BLDG “A”: W / MASONRY COLUMNS, WINDOW CASING, NEW TWO-PIECE TILE ROOF, EAVE GRILL**



**PROPOSED BLDG “B” W / NEW SOUTH WING, MASONRY COLUMNS, ADDED COVERED DECK, IRON RAILINGS**



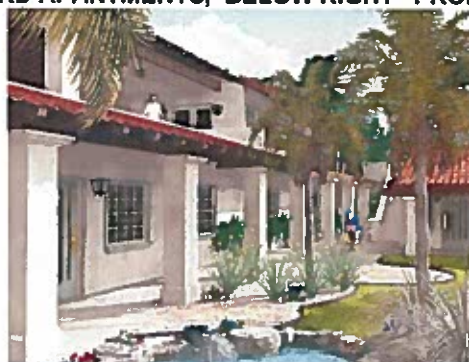
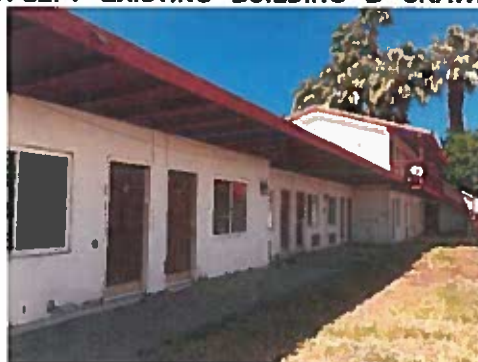
**BELOW ARE “EXISTING AND “PROPOSED” IMAGES OF THE CRAWFORD APARTMENTS**



**BELOW SHOWS PROPOSED PARKING LOT AND LANDSCAPE**



**BELOW LEFT "EXISTING" BUILDING "B" CRAWFORD APARTMENTS, BELOW RIGHT "PROPOSED"**



A new arched portal is proposed where currently a solid wall exists to provide pedestrian linkage between the two properties.

**BELOW LEFT NORTH WALL OF CRAWFORD, RIGHT PROPOSED PEDESTRIAN ARCH CONNECTING THE TWO SITES**

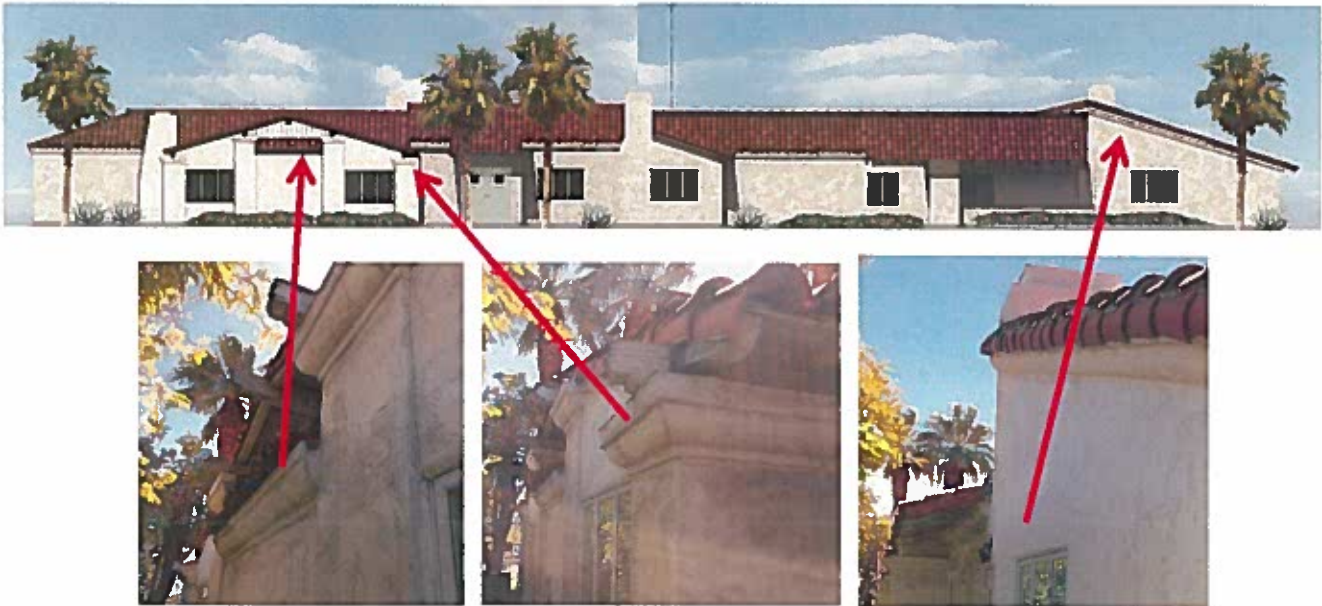


**(2) Harlow Haven Hotel (Buildings "C" and "D"):**

The buildings at Harlow Haven have a higher level of architectural detail as can be seen in the photos at the end of this staff report. Below are some of the existing conditions and proposed improvements.

- Repair & repaint stucco exterior walls, doors, trim, rafter tails, etc.
- Repair as required existing 2-piece barrel clay tile roof.
- Existing doors & windows to remain – repaint.
- Replace wrought iron railings.
- Interior renovation.

**BELOW BUILDING "D" EAST ELEVATION SHOWING DETAILS TO BE RESTORED.**



**BELOW BUILDING "D" WEST ELEVATION SHOWING DETAILS TO BE RESTORED**



**BELOW LEFT, HARLOW HAVEN, EXISTING BLDG “C”, AND RIGHT PROPOSED IMPROVEMENTS**



**BELOW LEFT ARE THE EXISTING DOORS AT HARLOW HAVEN. THESE ARE PROPOSED TO BE REPLICATED FOR DOORS AT THE CRAWFORD APARTMENTS. BELOW RIGHT DETAIL OF THE PEEP HOLE GRILL**



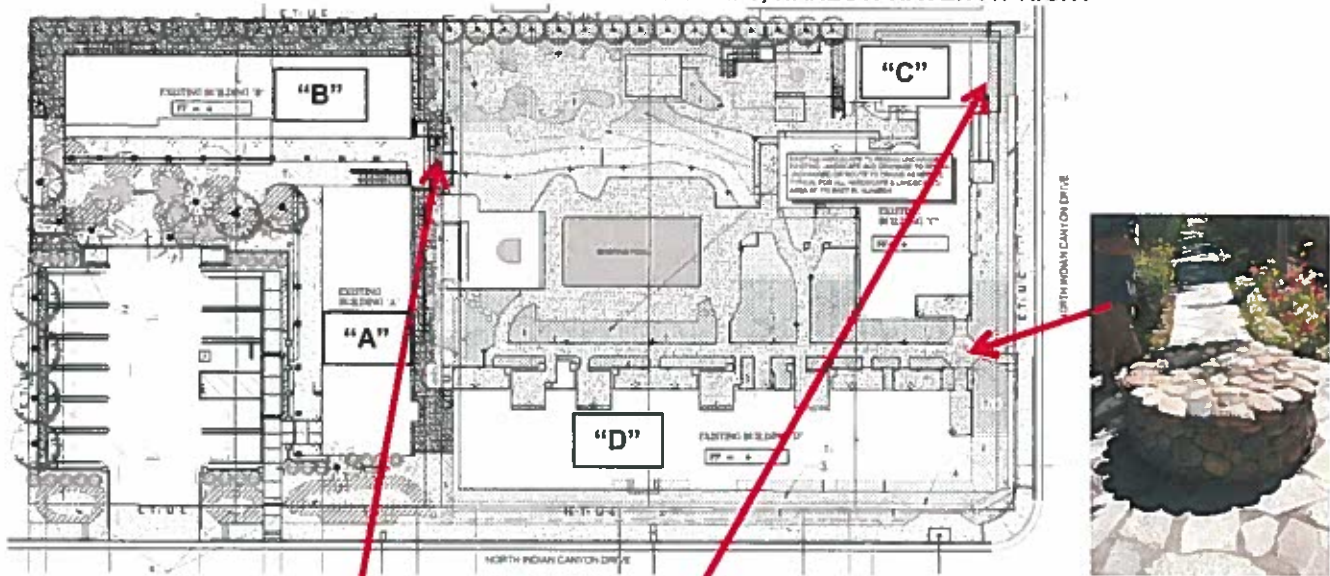
**(3) Sitework:**

- New parking lot and privacy walls at the Crawford Apartments.
- New landscape at the Crawford Apartments.
- New archway connecting the two parcels.
- Pruning, trimming and maintenance of the landscape at Harlow Haven.

**POOL AREA AT HARLOW HOTEL WILL REMAIN WITH GENERAL MAINTENANCE**



OVERALL SITE – CRAWFORD APTS AT LEFT, HARLOW HAVEN AT RIGHT



PROPOSED NEW PORTAL



NORTH ELEVATION BUILDING "C"



**ANALYSIS:**

**(1.) Analysis of proposed alterations to the Crawford Apartments.**

Pursuant to Palm Springs Municipal Code ("PSMC") 8.05.120 ("*Alterations or New Construction within a Historic District*"), part "E"; "*Criteria and Findings for Alteration or New Construction within a Historic District*", in considering a Certificate of Appropriateness application, the approval authority shall evaluate the application and make findings for conformance to the following criteria:

1. *That the proposed demolition or alteration of a contributing resource does not significantly impact the character-defining features of the contributing resource or the historic district, as listed in the resolution for historic designation, or where a character-defining feature may be impacted, the proposed demolition or alteration minimizes that impact as much as possible;*

The Crawford Apartments site has been identified as Contributing to the historic significance of the LPBHD as an example of a typical small hotel from the post-World War II period, however



no character-defining features have been noted. Based on building permits, it appears the Crawford Apartments were built in two phases:

- Phase 1 in October, 1945 (5 unit apartment, architect H. Williams). It is believed that Building “A” and the two-story portion of Building “B” comprise this element.
- Phase 2 in April 1952 (2 apartments 3 hotel rooms. It is believed that this may be the one-story portion of Building “B”.

Staff would assert the following as the character-defining features of this 1945 small apartment-hotel:

- The size and scale of the buildings themselves – The Crawford Apartments is an intact example of the type of small family-operated apartment-hotel property that developed in Palm Springs both during the period between the wars (1919 to 1941) and the post World War II period in response to the dramatic increase in tourism.

Contrary to the HRG listing in the citywide survey, staff would assert that, other than the “S”-type clay roof tiles (which do not appear to be original) there are no Spanish Colonial Revival Details on this building. Rather, it is a simple wood frame and stucco modern building of very conventional design. The proposed project enhances the architectural aesthetic of the building by introducing details that allow it to blend more harmoniously with the Spanish Colonial Revival details of the adjacent Harlow Haven site to which it will be merged.

2. *That the proposed alteration to a contributing resource will assist in restoring it to its original appearance where applicable, or will substantially aid its preservation or enhancement as a historic resource;*

The proposed alterations to the Crawford Apartments will aid in its preservation by adapting it from its original hotel-apartment use to the new use as an assisted living facility. The rather non-descript building will be enhanced with new roof tiles, window and door trim and casing, pre-cast columns, landscaping and a new parking lot that will give it a more integrated appearance with the adjacent Harlow Haven parcel.

3. *That the proposed demolition or alteration to a non-contributing resource is consistent with the design guidelines for the historic district and will not materially impair the preservation or enhancement of character-defining features of a contributing resource of the historic district;*

This finding does not apply because the subject resource is a contributing resource.

4. *That any additions to a contributing resource are consistent with the massing, proportions, materials, and finishes of the existing contributing resource, and: (i) can be distinguished from the existing contributing resource as may be appropriate; or (ii) are indistinguishable from the contributing resource as may be appropriate, and where such alterations are clearly documented in the City’s archival file for the contributing*

*resource as being non-original to the resource;*

Staff recommends a condition of approval to include photo-documentation of all sides of all buildings on the site prior to executing any of the proposed alterations. These photos shall be submitted to the City and made a part of the archival file for the Crawford Apartments. In doing so, this finding shall be satisfied.

5. *That the proposed alteration or new construction is consistent with any design guidelines adopted for the historic district;*

The proposed alterations to the Crawford Apartments are harmonious with the Spanish Colonial Revival detailing of several other older properties in the vicinity and in the historic district. Furthermore, the proposed alterations have been evaluated against the Las Palmas Business Historic District design guidelines and found to be consistent in the following ways:

*LPBHD Design Guideline 1: Maintain the height of other structures in the surrounding area.*

The proposed alterations retain and respect the height of the existing Crawford Apartments.

*LPBHD Design Guideline 4: Maintain the relationship between upper and lower floors of other structures in the surrounding area.*

The Crawford Apartments have apartment units on both first and second floors with general alignment of doors and windows. The arrangement of windows and doors in the proposed alterations maintain the general pattern, size and location of windows and doors on both floors and thus is consistent with this guideline.

*LPBHD Design Guideline 6: Use materials that are similar in texture and finish to those found historically.*

Color, material and texture of the proposed renovated Crawford Apartments will be similar to that found in the adjacent Harlow Haven Hotel, to which it will be combined. Furthermore, new doors at the Crawford Apartments will be custom made to be similar to the historic doors in the adjacent Harlow Hotel.

*LPBHD Design Guideline 7: Use components of similar size and shape to those found historically.*

The scale and overall massing at the Crawford Apartments is respectful and complimentary to that found at the Harlow Haven Hotel.

*Although contemporary designs are encouraged, replicas of historic designs may be considered if they meet these conditions:*

- *The style must be one that did occur in Palm Springs as a typical building form.*

- *The principals of the style must be used correctly (proportion, materials, sense of ornament must be “in character”).*
- *The design must be compatible with existing buildings.*

The proposed alterations at the Crawford Apartments conform with this guideline because the Spanish Colonial Revival Style is common in Palm Springs, the principals of the style and ornament are in keeping with the character of the style, and the design as proposed is compatible with the existing buildings at the adjacent Harlow Haven Hotel, to which it will become a part.

6. *That, in cases where Federal funds are to be utilized in financing the proposed alteration or new construction, the alteration or new construction is consistent with the Standards for the Treatment of Historic Properties, as put forth by the U.S. Secretary of the Interior.*

No federal funds are involved with the financing of the proposed project.

#### (2.) Analysis of proposed alterations to the Harlow Haven Hotel.

Pursuant to Palm Springs Municipal Code (“PSMC”) 8.05.110 (“Alterations to Class 1 and Class 2 Historic Sites”), part “E”; “Criteria and Findings for Alteration of Class 1 and Class 2 Historic Resources”, in considering a Certificate of Appropriateness application, the approval authority shall evaluate the application and make findings for conformance to the following criteria:

1. *That the proposed alteration does not significantly impact or materially impair the character-defining features of the historic resource as listed in the resolution for historic designation, or, where a character-defining feature may be impacted, the proposed alteration minimizes that impact as much as possible.*

The City Council resolution designating Harlow Haven a Class 1 historic site within the LPBHD did not identify the character-defining features of the historic resource. However in evaluating the structures and objects on the site, staff would assert the following as the character-defining features:

- Two-piece barrel clay roof tiles.
- Decorative clay tile gable attic vents.
- Decorative wood doors with distinctive “peep hole” grill.
- Leading walls that form small outdoor patios at each unit.
- Pilasters, rafter tails, ornamental cut “capitals” on the wood posts.
- Meandering walkways and stone flag pole base.

The project proposes to restore and repair the existing exterior conditions at Harlow Haven. Roof tiles repaired, stucco patched and repainted, deteriorated wood beams and rafter tails

filled and repaired. The restoration work at Harlow Haven will restore the character-defining features. Staff recommends a condition of approval be imposed that such work be done in accordance with the Secretary of the Interior Standards.

2. *That the proposed alteration will assist in restoring the historic resource to its original appearance where applicable, or will substantially aid its preservation or enhancement as a historic resource.*

The proposed alterations to Harlow Haven will address many deferred maintenance needs such as painting, stucco repair, new infrastructure, and replacement / repair of deteriorated roof tiles that will aid in the preservation of the resource.

3. *That any additions to the historic resource are consistent with the massing, proportions, materials, and finishes of the existing historic resource, and: (i) can be distinguished from the existing historic resource as may be appropriate; or (ii) are indistinguishable from the historic resource as may be appropriate, and where such alterations are clearly documented in the City's archival file for the historic resource as being non-original to the historic resource.*

There are no proposed additions at Harlow Haven. An existing wrought iron railing will be replaced with a new one in a harmonious architectural style at the proper code-compliant height and will be appropriately documented in the archival file.

4. *That, in cases where Federal funds are to be utilized in financing the proposed alterations, the alterations are consistent with the Standards for the Treatment of Historic Properties, as put forth by the U.S. Secretary of the Interior.*

There are no federal funds associated with the subject project.

## ENVIRONMENTAL ASSESSMENT

The proposed exterior alterations to the Harlow Haven Hotel and Crawford Apartments are deemed a project under the guidelines of the California Environmental Quality Act (CEQA). Pursuant to Section 15064.5 "Determining the Significance of Impacts on Historical and Unique Archeological Resources", both properties are deemed historic resources under CEQA because the Harlow Haven Hotel is a listed Class 1 historic site (HSPB #20) and the Crawford Apartments are identified as a "contributing site" to the Las Palmas Business Historic District in the local register of historic resources.

According to CEQA, a project with an effect that may cause a "substantial adverse change" in the significance of a historical resource is a project that may have a "significant effect" on that resource. "Substantial adverse change" includes alteration of the immediate surroundings of the historic resource such that the significance of the resource would be materially impaired.

The impact of the proposed project is less than significant relative to the historic resources because (1) the work proposed at the Harlow Haven Hotel is primarily restorative and repair-related in nature and does not materially impair any of the character-defining features of the site, and (2) the work proposed at the Crawford Apartments is consistent with the Design Guidelines for the Las Palmas Business Historic District and proposes architectural details that are complementary and harmonious with the adjacent Harlow Haven Hotel to which it will be combined for the adaptive reuse as an assisted living facility.

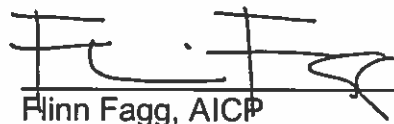
CEQA allows for a Class 31 Categorical Exemption (*Historical Resource Restoration / Rehabilitation*) for projects involving maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995), Weeks and Grimmer. The City has concluded that the project meets this criterion and therefore has determined that the project is Categorical Exempt from further analysis under CEQA.

CONCLUSION:

The proposed alterations will not impact the character-defining features of the historic resources and complies with the guidelines for granting a Certificate of Appropriateness. Staff recommends approval subject to conditions.



Ken Lyon, RA, Associate Planner  
Historic Preservation Officer



Flinn Fagg, AICP  
Director of Planning Services

Attachments:

1. Vicinity Map.
2. Project executive summary.
3. Plans, elevations, sections, photos.
4. City Council resolution designating Harlow Haven as part of the LPBHD.
5. Design guidelines from the LPBHD
6. Data sheets from the 2018 Citywide Historic Resource Survey for Harlow Haven and Crawford Apartments.

**ATTACHMENT 2**

**Project Executive Summary**

## **Avalon Pain Solutions, Inc. Detailed Description of Project:**

Avalon Pain Solutions, Inc. is submitting an application for a Conditional Use Permit, a Minor Architectural Application and a lot merger application for the two properties located at 855 North Indian Canyon Drive - Village Inn and 175 East El Alameda - Harlow Haven Hotel. The sites are zoned R-3 multiple-family residential and hotel. The General Plan Designation is RC - Resort Commercial.

- 1- Application for a Conditional Use Permit to allow the change from existing hotel units to an Assisted Living - Intermediate Care Facility which provides therapeutic services and pain management treatment in a residential setting. The services are provided to adult individuals whose lives have been severely impaired by a pain syndrome, and who have developed secondary psychological disorders as a result of their pain.
- 2- Application for a Minor Architectural Application seeking a certificate of approval from the Historic Site Preservation Board for alterations to exteriors of class 1 historic buildings.

The work would include the following:

### **855 North Indian Canyon Drive - Village Inn**

- Existing exterior cement plaster to be repainted - same color as existing - both building "A" and "B"
- Existing 2-piece barrel clay tile roof - repair as needed - both building "A" and "B"
- New windows and doors - both building "A" and "B"
- New 2-piece barrel clay tile sloped roof at south side of building "B"
- New covered roof deck at south side of building "B"
- New columns with stucco finish at building "B"
- Change existing wood railing to wrought iron railing at 2nd floor of building "B"
- Demolition of existing 84 sq. ft. office area at building "A"
- New columns with stucco finish to support existing roof at building "A"

### **175 East El Alameda - Harlow Haven Hotel**

- Existing exterior cement plaster to be repainted - same color as existing - both building "C" and "D"
- Existing 2-piece barrel clay tile roof - repair as needed - both building "C" and "D"
- Existing doors to remain - repaint same color as existing
- Existing windows to remain - repaint
- Existing wood post, exposed roof rafters and roof beams to remain - repaint same color as existing
- Replace existing wrought iron railing with new one

The interiors of all 4 buildings (A,B,C & D) will be rehabilitated and improved to meet current building codes.

New landscape, new privacy wall, new parking, new monument sign, new walkway and meditative garden with ponds are proposed at 855 North Indian Canyon Drive - Village Inn

A new archway and walkway to connect the two sites are also proposed.

The existing landscape at 175 East El Alameda is to remain.

- 3- Application for a lot merger to merge the two properties



# ATTACHMENT 3

## Plans, Elevations, Photos

Case 5.1472 CUP / 3.906 MAA / HSPB #20 / HD-1 Avalon Pain Solutions April 2019  
Existing Conditions Photos – Harlow Haven and Crawford Apartments

Photo 1: Crawford Apartments: Building B Southern half of east elevation



Photo 2: Crawford Apartments partial view of upper story



Photo 3: Crawford Apartments: Building "A" view of covered front porch looking east.



Photo 4: Crawford Apartments: Building "B" looking south along east façade.



Photo 5: Crawford Apartments: Building "B", stair to second level units, Building "A" at the right.



Photo 6: Crawford Apartments: Building "B" upper balcony



Photo 7: Crawford Apartments: Building "B" West façade.



Photo 8: Crawford Apartments: Building "B" south portion in background, Building "A" covered porch in the foreground.





Photo 9: Crawford Apartments: Building "B" entire east facade



Photo 10: Crawford Apartments: Building "B" Corner of east façade / south façade.



Photo 11: Crawford Apartments: Building "B" detail at upper balcony.



Photo 12 Harlow Haven Bldg "C" North elevation



Photo 13: Harlow Haven Bldg C corner window detail.

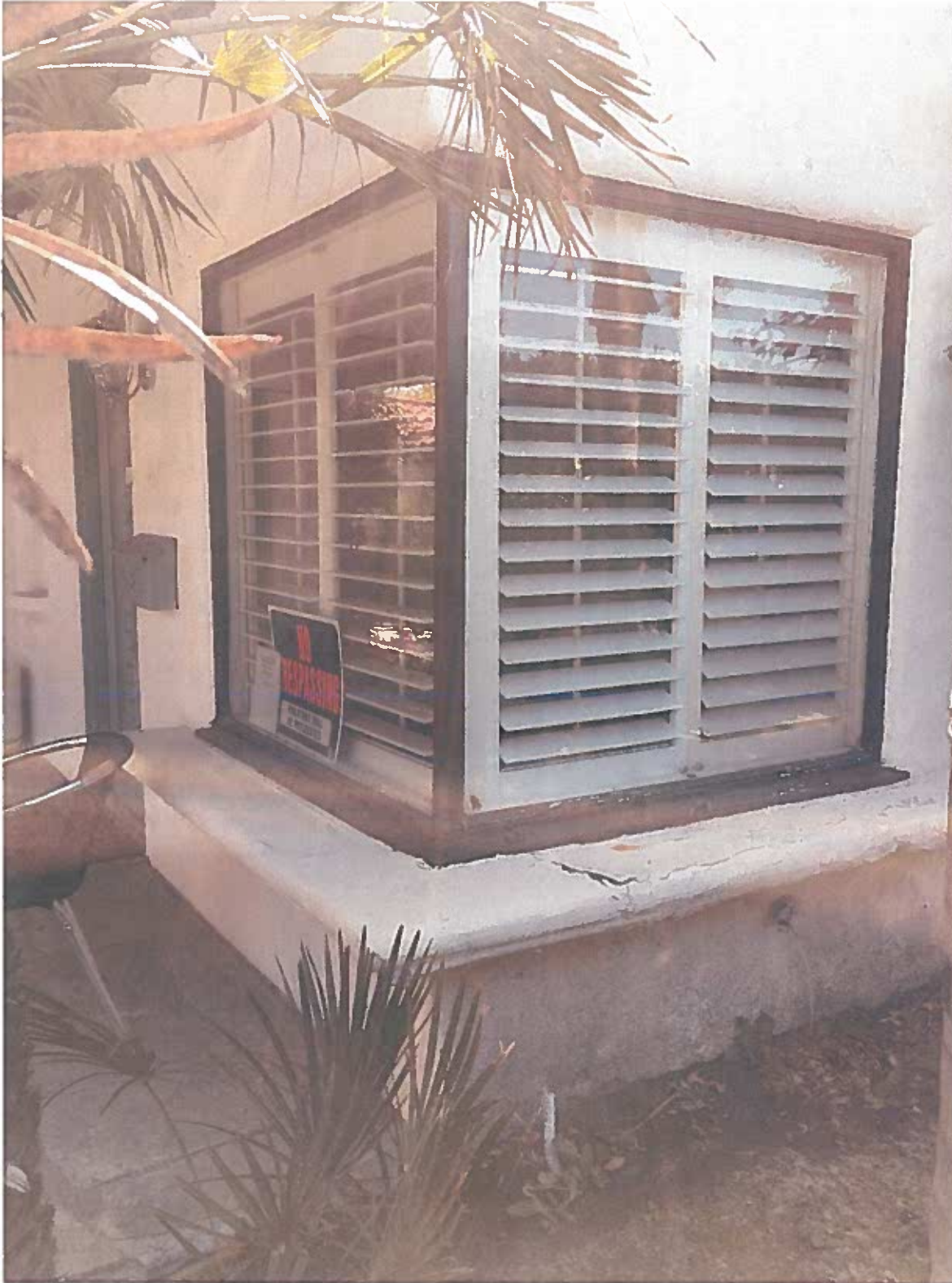


Photo 14 Harlow Haven Bldg C corner window



Photo 15 Harlow Haven – Lawn north side of Bldg D

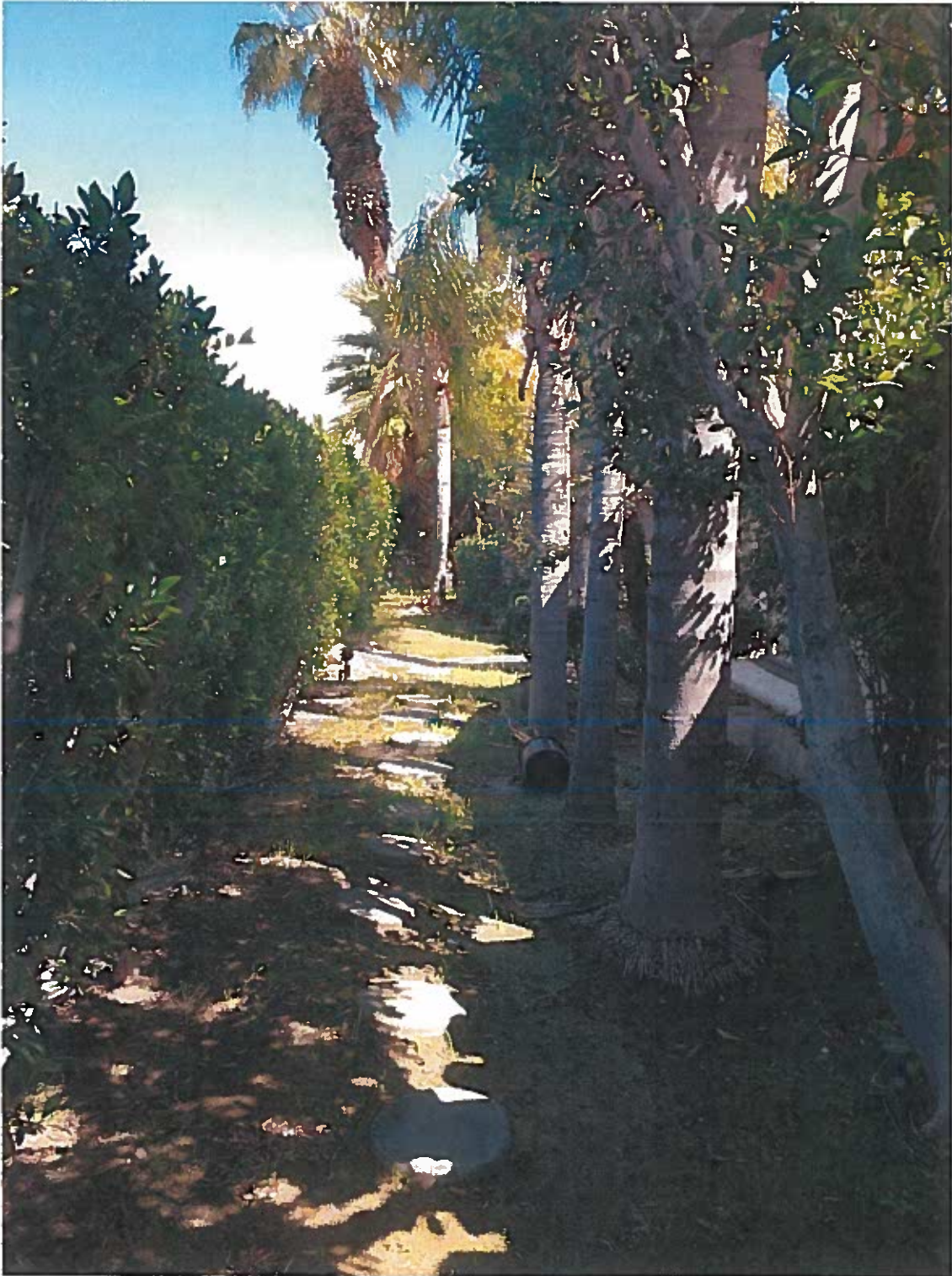


Photo 16 Harlow Haven Roof of Bldg C looking east





Photo 17 Harlow Haven Bldg C West elevation existing windows.



Photo 18 Harlow Haven Bldg C corner window north elevation



Photo 19 Harlow Haven roof of Bldg C



Photo 20 Harlow Haven Bldg C north side second floor balcony



Photo 21 Harlow Haven North side Bldg C stair to second floor balcony



Photo 22 Harlow Haven Bldg C northeast corner window.



Photo 23 Harlow Haven Bldg D west elevation typical courtyard



Photo 24 - Harlow Haven Roof of Bldg C





Photo 25 Harlow Haven Roof of Bldg C



Photo 26 - Harlow Haven Roof of Bldg C

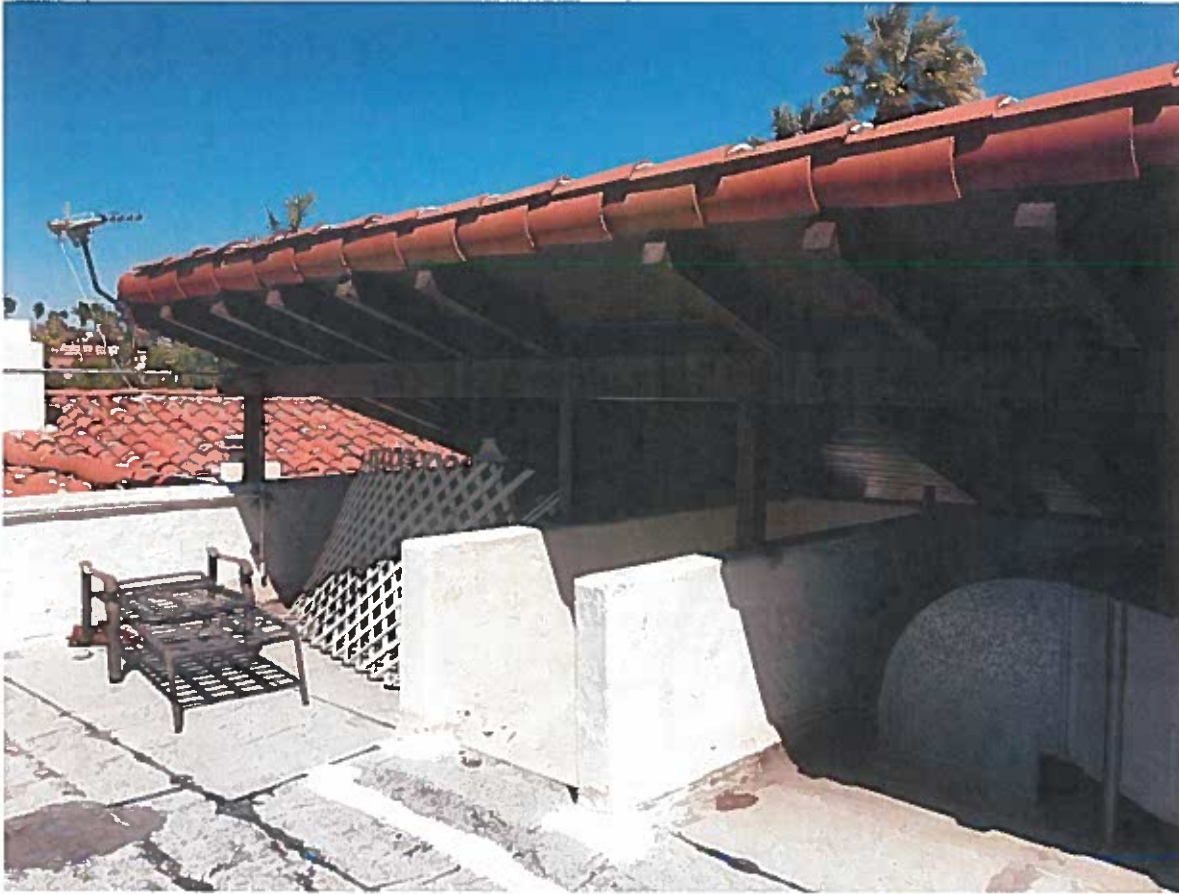


Photo 26 Harlow Haven Building C Roof



Photo 27 Harlow Haven pool and central courtyard



Photo 28 Harlow Haven Bldg C access stair to roof deck / mechanical

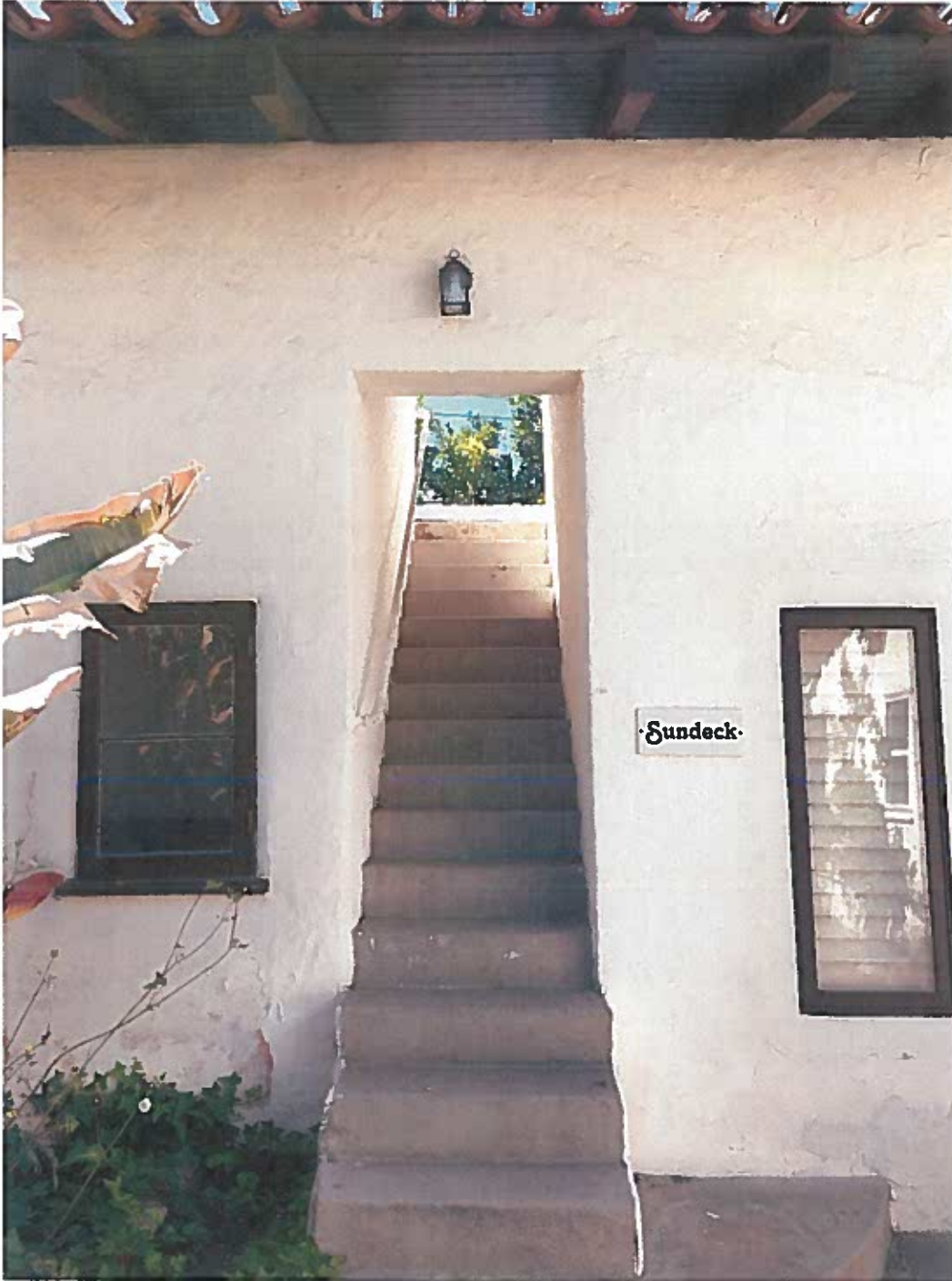


Photo 29 Harlow Haven Bldg D east elevation

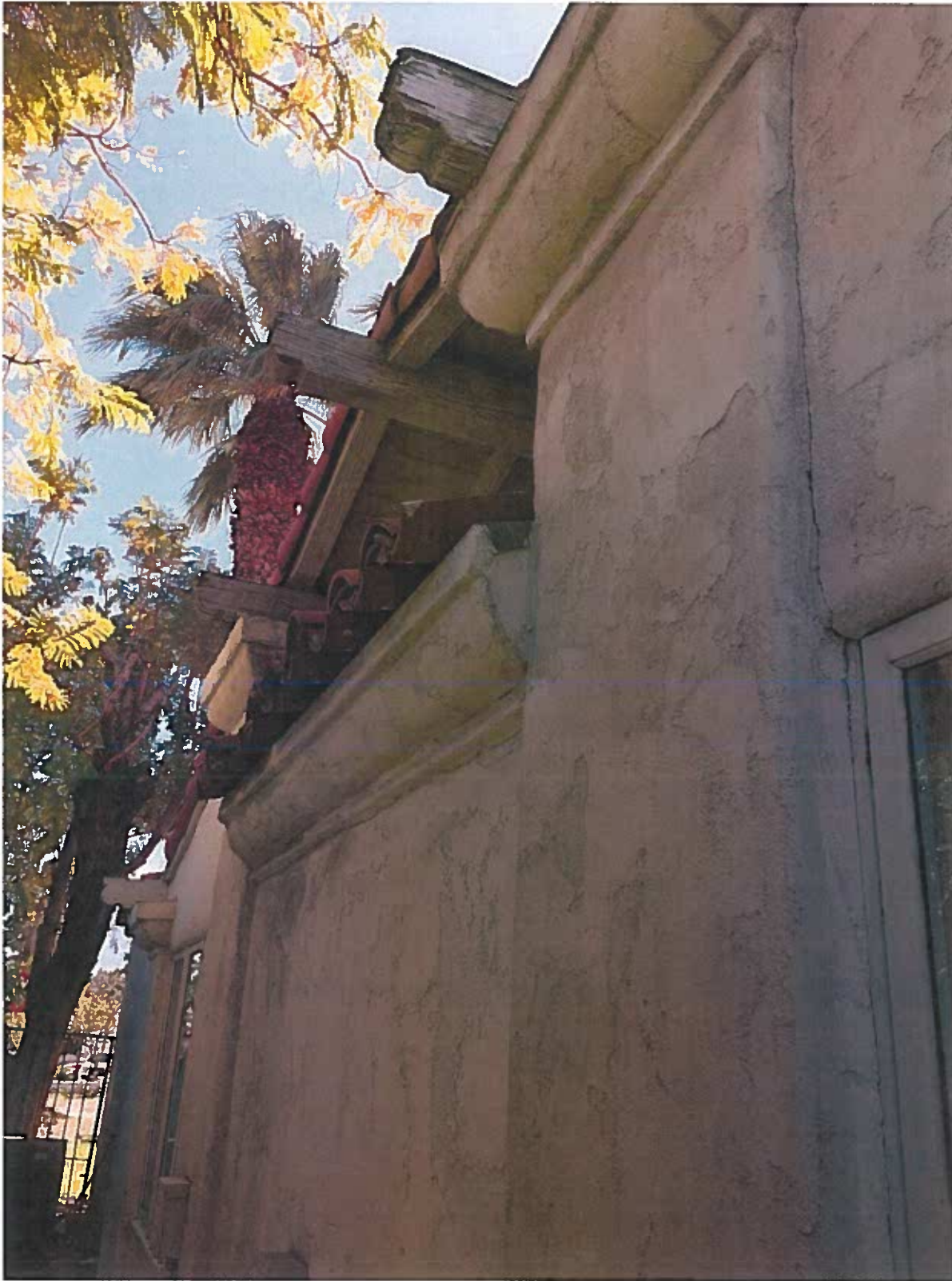


Photo 31 Harlow Haven Bldg D east elevation



Photo 39 Harlow Haven Bldg D west elevation typical patio wall, at left walkway to north gate





Photo 40 Harlow Haven Bldg D gable grill detail west elevation



Photo 32 Harlow Haven east elevation Bldg D

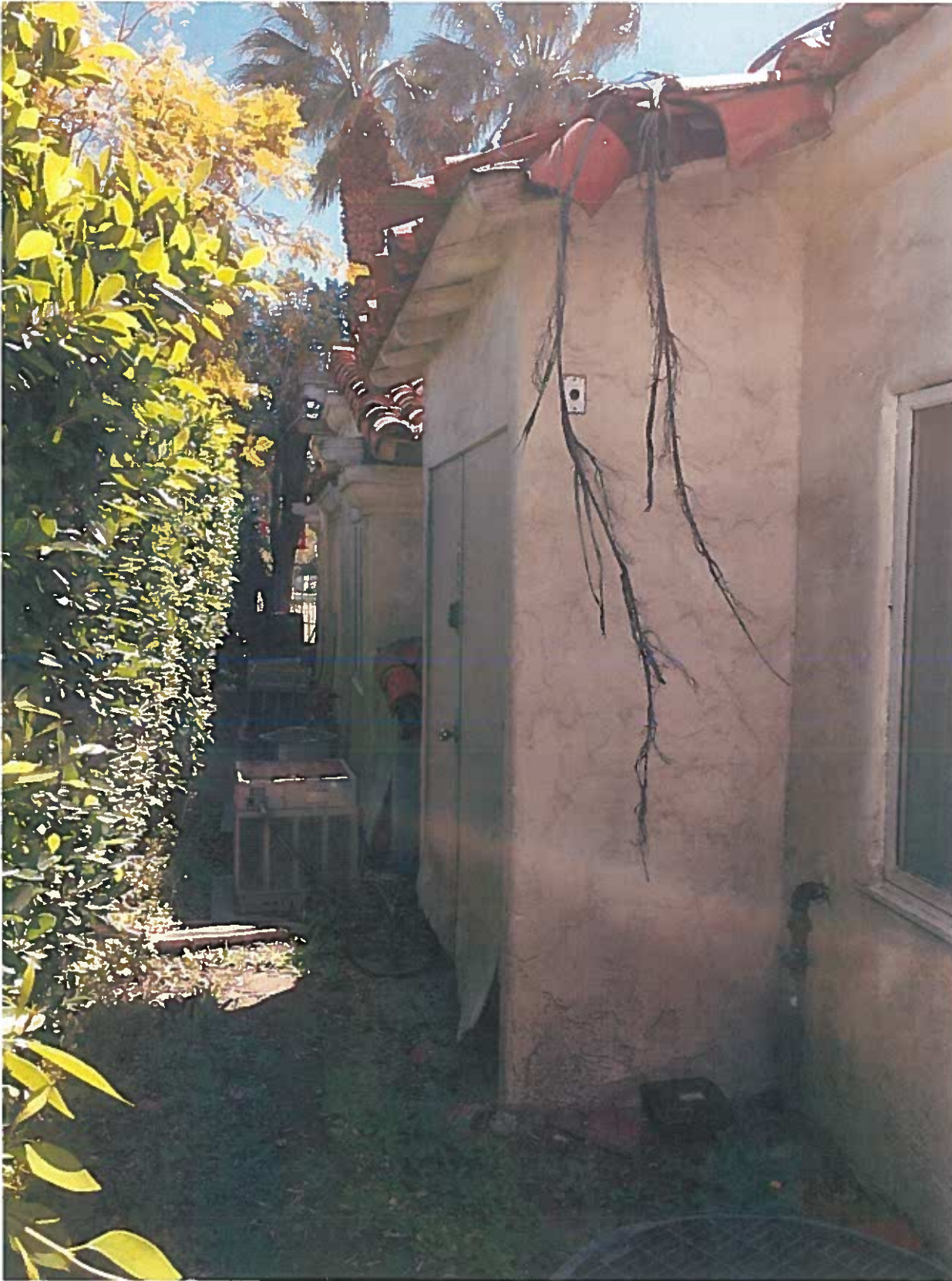


Photo 33 Harlow Haven east elevation Bldg D



Photo 34 Harlow Haven Bldg D east elevation

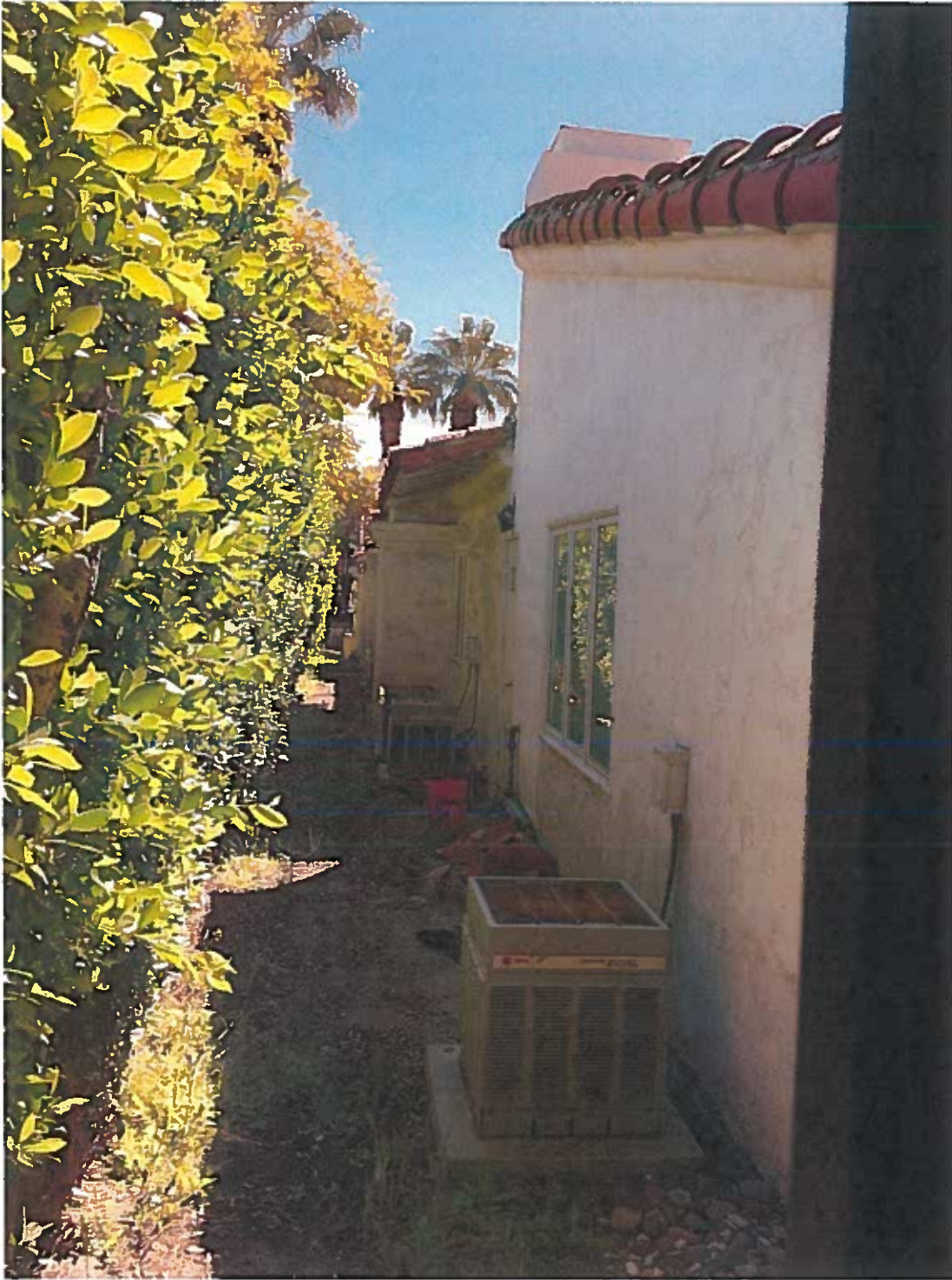


Photo 35 Harlow Haven courtyard path from north side entry, looking south, stone flagpole base. Fieldstone walkway is not believed to be original.



Photo 36 Harlow Haven Bldg D example of covered entry porch, west elevation.



Photo 37 Harlow Haven courtyard, looking north at entry gate and fieldstone flagpole base. Bldg C to the left and Bldg D to the right



Photo 38 Harlow Haven Bldg D west elevation typical covered front porches





Photo 41 Harlow Haven Bldg D west elevation typical covered front porch wood rafter tails, detail at top of wood post and corbelled stucco pilaster



Photo 42 Harlow Haven Bldg D typical patio courtyard and patio walls.



Photo 43 Harlow Haven detail of existing door peep hole grill.



Photo 44 Harlow Haven Bldg D typical front door.



Photo 45 Harlow Haven pool courtyard Bldg C background left, building D background to the right



Photo 46 Harlow Haven poolside barbeque grill cabana



Photo 47 Harlow Haven Bldg C south elevation



Photo 47 Harlow Haven Bldg C south elevation





Photo 48 Harlow Haven central courtyard landscaping and pool



# **ATTACHMENT 4**

## **City Council Resolution Designating the Las Palmas Business Historic District**

RESOLUTION NO. 15858

OF THE CITY COUNCIL OF THE CITY OF PALM SPRINGS,  
CALIFORNIA, DESIGNATING THE LAS PALMAS BUSINESS  
HISTORIC DISTRICT AS AN HISTORIC DISTRICT  
CONTAINING CLASS 3 & 4 HISTORIC SITES SUBJECT TO  
ASSOCIATED DESIGN GUIDELINES.

- - - - -

WHEREAS the Las Palmas Business Historic District and its associated person-  
ages and past events have contributed to the history of the City of Palm  
Springs; and

WHEREAS the Las Palmas Business Historic District has long been an important  
business district for both residents and visitors in the City of Palm Springs;  
and

WHEREAS the Las Palmas Business Historic District contains numerous noteworthy  
structures of historical and architectural importance; and

WHEREAS Ordinance 1140 of the City of Palm Springs allows for the designation  
of historic districts; and

WHEREAS on Sept. 4, 1985, the North Palm Canyon Project Area Committee, after  
reviewing the possibility of using the remaining historic structures as a  
basis for community design, forwarded draft design guidelines to the Historic  
Site Preservation Board for review; and

WHEREAS on October 14, 1985, the Historic Site Preservation Board initiated  
proceedings to designate the Las Palmas Business Historic District as an  
historic district; and

WHEREAS on November 12, 1985, the Historic Site Preservation Board held a  
public hearing on said designation and unanimously recommended to the City  
Council designation of said area as an historic district containing Class 3 &  
4 Historic Sites; and

WHEREAS the Architectural Advisory Committee and the Planning Commission have  
reviewed the associated design guideline and concur in the recommendation of  
the Historic Site Preservation Board; and

WHEREAS the City Council concurs in the recommendation of the Historic Site  
Preservation Board regarding the historic value of the Las Palmas Business  
Historic District and the adoption of associated design guidelines; and

WHEREAS the designation of the Las Palmas Business Historic District shall  
further the purposes and intent of Ordinance 1140; and

WHEREAS the designation of the Las Palmas Business Historic District shall  
promote sensitive development of said area.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Palm  
Springs, California does resolve as follows:

Section 1. Las Palmas Business Historic District shall be designated an  
Historic District pursuant to City Ordinance No. 1140, the  
boundary of said district shall be according to the attached legal  
description and map.

Section 2. The properties indicated on the attached list and map shall be  
designated as Class 4 Historic Sites; the remaining properties  
shall be designated as Class 3 Historic Sites.

RESOLUTION NO. 15858

Section 3. New construction and major remodel projects and commercial renovation projects, as determined by the Planning Division, shall be subject to review by the associated design guidelines.

ADOPTED this 7th day of May, 1986.

AYES: Councilmembers Apfelbaum, Birer, Foster and Smith  
NOES: None  
ABSENT: Mayor Bogert

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

By

[Signature]  
City Clerk

[Signature]  
City Manager

REVIEWED & APPROVED:

[Signature]

LAS PALMAS BUSINESS HISTORIC DISTRICT

LEGAL DESCRIPTION

Containing:

The easterly half of lots 112, 113, and 114; and lots 115, 116, 117, 118, 119, 123, 124 and 125 of Merito Vista, M.B. 12/94, Riverside County; and

The southerly sixteen (16) feet of lot 27; and lots 28 thru 49 of Block A of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; and

Block B of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; and

The block bounded by Palm Canyon Drive, Granvia Valmonte, Indian Avenue, and Alejo Road; and

Lots 5 thru 8 of Block 2 of Las Hacenditas, M.B. 11/5, Riverside County; and

Lots 1, 2, 9, 10 and 11 of Block A; and lots 1 thru 6 of Block C; and Lots 1 thru 6 of Block G; and lots 1 thru 3 of Block J of Palm Springs Estates, M.B. 15/43, Riverside County.

LAS PALMAS BUSINESS HISTORIC DISTRICT

CLASS 4 HISTORIC SITES

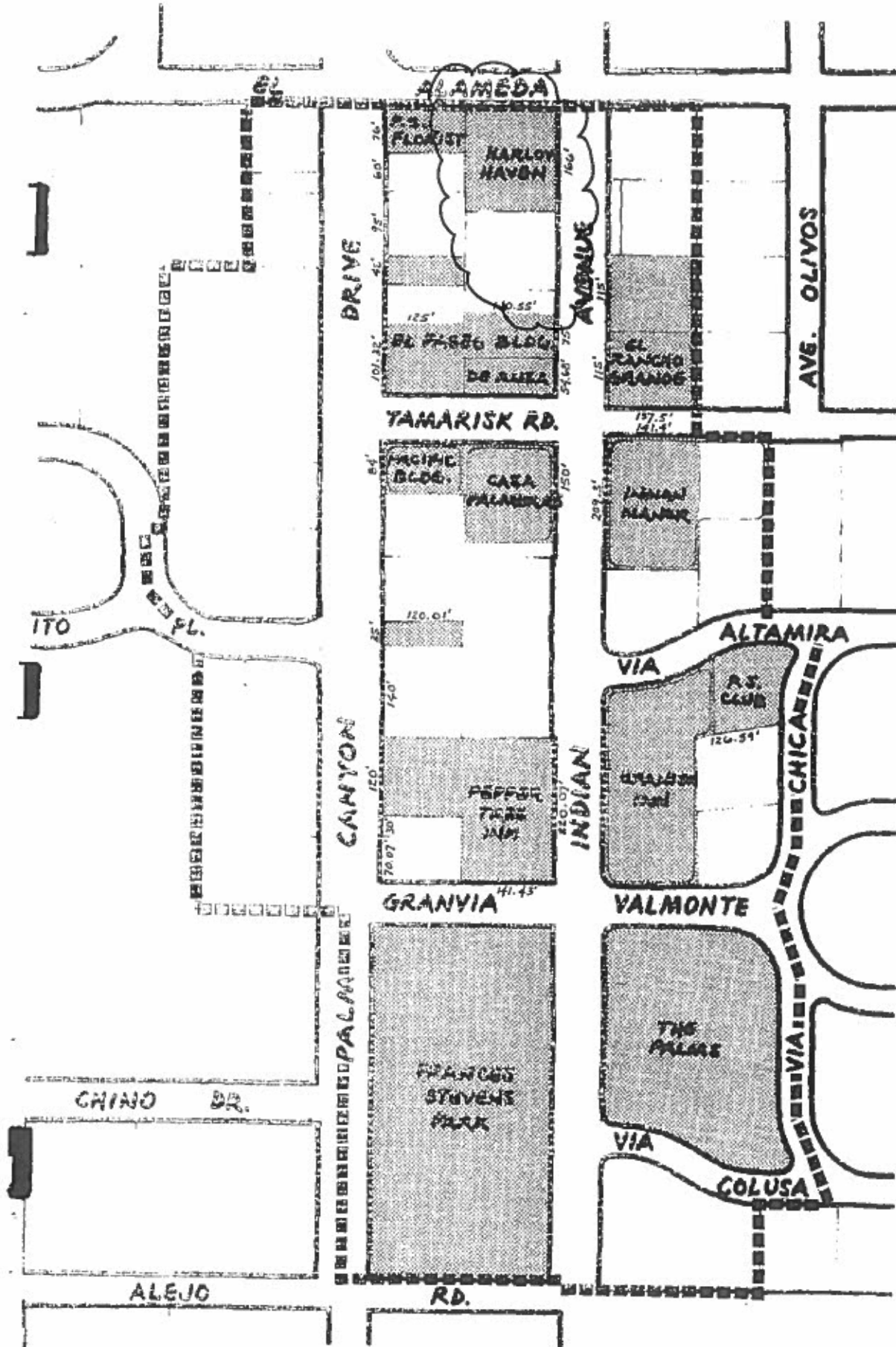
(NOW CLASS 1)

1. The southerly sixteen (16) feet of lot 27; and lots 28 and 29 of Block A of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-285-001, 002; known as Palm Springs Florist, 894 N. Palm Canyon Drive.
2. The southerly 23.5 feet of lot 35; and the northerly 18.5 feet of lot 36 of Block A of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-285-006; known as the Proprietors, 844 N. Palm Canyon Drive.
3. The southerly portion of lot 38; and lots 39, 40 and 41; and the northerly forty-five (45) feet of lot 43; and the southerly half of lot 44 of Block A of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-285-009; known as the Gary Jon Bldg., formerly known as El Paseo Bldg., 800 N. Palm Canyon Drive.
4. Lots 1 and 2; and the northerly twenty-four (24) feet of lot 3 of Block B of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-286-001; known as the Pacific Bldg., 766-798 N. Palm Canyon Drive.
5. The southerly twenty-five (25) feet of lot 10; and the northerly ten (10) feet of lot 11 of Block B of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-303-002; occupied by Dr. Robert S. Bertrand, 700 N. Palm Canyon Drive.
6. Lots 16 thru 19; lots 23, 24, and 25; and the southerly thirty (30) feet of lot 26 of Block B of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-303-004, 007; known as Matthews and Andrea of Palm Springs, et. al., 650-664 N. Palm Canyon Drive; and the Pepper Tree Inn, 645 N. Palm Canyon Drive.
7. 505-325-003; known as Everybody's Village and the Village Center for the Arts (formerly known as Frances Stevens School) along with the surrounding park, 538 N. Palm Canyon Drive.
8. The northerly thirty (30) feet of lot 31; and lots 32 & 33 of Block B of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-286-010; known as Casa Palmeras, 783 N. Indian Avenue.
9. Lot 42; and the southerly fifteen (15) feet of lot 43 of Block A of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-285-008; known as the DeAnza Hotel, at the northeast corner of Indian Avenue and Tamarisk Road.
10. Lots 47, 48 and 49 of Block A of Palm Springs Estates No. 2, M.B. 16/45, Riverside County; APN 505-285-012; known as Harlow Haven, 175 E. El Alameda.
11. Lot 7 of Block 2 of Las Hacenditas, M.B. 11/5, Riverside County; APN 507-161-007; 840 N. Indian Avenue.
12. Lot 8 of of Block 2 of Las Hacenditas, M.B. 11/5, Riverside County; APN 507-161-006; 814 N. Indian Avenue.
13. Lots 1 and 10 of Block A of Palm Springs Estates, M.B. 15/43, Riverside Co.; APN 507-181-001; known as Indian Manor, 784 N. Indian Avenue.

LAS PALMAS HISTORIC BUSINESS DISTRICT

Page 2

14. Lots 1, 2 and 3; and the westerly twenty-five (25) feet of lot 6 of Block C of Palm Springs Estates, M.B. 15/43, Riverside County; APN 507-183-006; known as Alan Ladd's Spanish Inn, 640 N. Indian Avenue.
15. The easterly portion of lot 6 of Block C of Palm Springs Estates, M.B. 15/43, Riverside County; APN 507-183-005; known as the Palm Springs Club, 265 Via Altamira.
16. Lots 1 thru 6 of Block G of Palm Springs Estates, M.B. 15/43, Riverside County; APN 507-192-002; known as the Palms at Palm Springs, 572 N. Indian Avenue.



LAS PALMAS BUSINESS HIST. DIST.

CLASS 4

DIST BOUNDARY



# ATTACHMENT 5

## LPBHD Design Guidelines

1. Maintain the height of other structures in the surrounding area.

The height of new construction should be generally similar to other buildings in the surrounding area. Variety in building heights may be achieved by creating setbacks in the facade, by stepping back upper stories, and by building decks and balconies, when this is appropriate for the design.

Buildings should be designed so that they do not block the westerly view of the mountains from existing buildings to the east. Multi-story buildings on lots which abut an existing residential use should be designed so that windows do not overlook private residential yards.

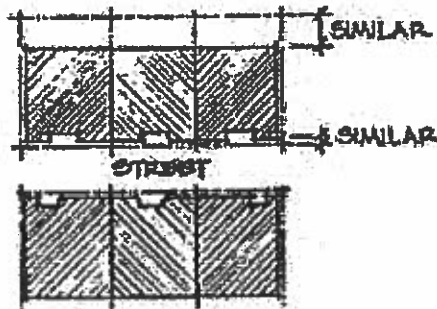
One- and two-story buildings are typical of this area. Towers with additional stories have been used at the corners of some buildings to create interest.

2. Maintain the general alignment of facades at the sidewalk edge.

Most buildings along Palm Canyon Drive are set back away from the sidewalk edge. This provides space for landscaping, pedestrian access, and/or active outdoor uses.

The basic alignment of buildings should be maintained, although some exceptions may be considered if they have an active function such as outdoor dining areas. The effect can be achieved in a number of ways. A wall or fence could be used, allowing the building to be set further back.

Projections over the sidewalk may be acceptable in the form of awnings, balconies and porches, so long as a significant portion of the facade aligns at the sidewalk edge.



3. Maintain the pattern of facade proportions.

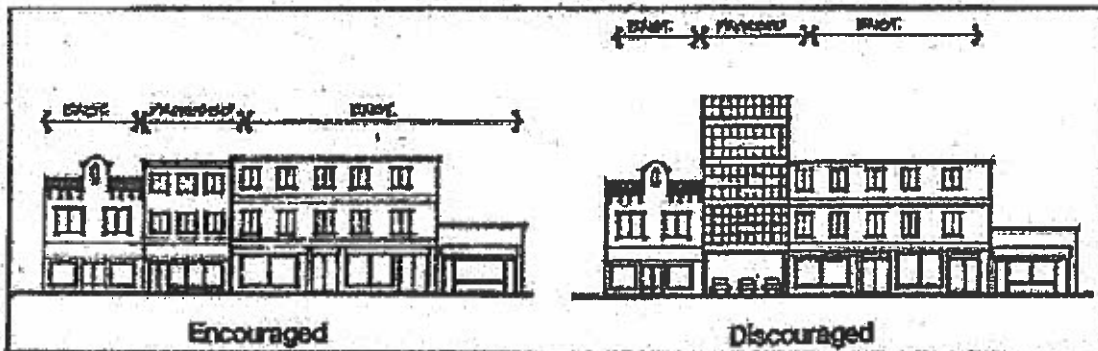
New construction should reinforce the dominant facade pattern of the street.

Where new buildings are to be wider than the dominant dimension, consider subdividing the facade into portions that reflect the pattern. The relationship between the height and width of the facade should be similar to that of other buildings in the surrounding area.

4. Maintain the relationship between upper and lower floors of other structures in the surrounding area.

Typical historic structures have a retail function on the first floor, and offices or residential uses above. This separation of function is shown on the facade: the first floor is predominantly large sheets of display window glass, while the upper levels are mostly solid wall, with small windows cut out.

In new construction, these relationships should be innovatively used.



5. Maintain the spacing pattern of upper-story windows. Avoid shapes that were not typical of the area, and maintain the typical ratio of solid (walls) to void (windows).

Reinforce the existing pattern in new construction by using windows of a similar size, or by using other design features to continue this pattern.

The recurrent alternation of solids and voids in the front facade of a building establishes a pattern which is sensed by a person observing from a distance. A person passing by the building experiences this pattern as a rhythm. By incorporating a similar rhythmic pattern in a new building, a sympathetic relationship between old and new, and even buildings of a similar era, is achieved.

6. Use building materials that are similar in texture and finish to those found historically.

New construction should continue to reinforce the patterns and textures of existing historic buildings. Use of surface materials which were available in the time period of the historic buildings will strengthen the historic identity of the area. Color is both an intrinsic quality of the building material which is used and applied treatment which covers the natural materials. The use of compatible colors will help strengthen historic identity.

Different building materials may be considered as long as the finish and texture reinforce the existing characteristics.

7. Use components of the facade that are similar in size and shape to those found historically.

The design of new buildings and alterations should take into account the presence or absence of such projections as porches, awnings and overhangs on other buildings within the surrounding area. Such components are especially encouraged when they promote an active function such as outdoor dining within the exterior spaces.

Architectural details of new buildings and renovations should be suggestive of the extent and scale of details on other buildings in the surrounding area.

8. Maintain the pattern of roof types.

The roof type and materials should be compatible with existing buildings in the surrounding area. The relationship of a new building to historic buildings, or other buildings, in the surrounding area may be strengthened by repeating a dominant roof type.

Flat roofs are predominate in this area; however, several one-story structures use a simple gable with the ridge line parallel to the street.

9. Maintain the existing site design pattern.

New construction should observe an appropriate spacing, or lack thereof, in terms of the surrounding area. This is an important factor which contributes to the character of an entire group of buildings, and should therefore be respected.

This area is characterized by buildings which are built on the property line. Driveways and pedestrian ways sometimes break this pattern; however, parking areas should not be allowed to intrude into the pedestrian-oriented design of the area. Landscape areas may be appropriate as breaks in this pattern if they are designed for active uses.

10. Although contemporary designs are encouraged, replicas of historic designs may be considered if they meet these conditions:

- The style must be one that did occur in Palm Springs as a typical building form.
- The principles of the style must be used correctly. The rules of proportion, use of materials, and sense of ornamentation must be in character.
- A plaque must be mounted on the building which designates the date of construction.
- The design must be compatible with existing buildings.

### CONCEPTUAL DESIGN GUIDELINES: Commercial Renovation

1. Maintain the original height of storefronts.
2. Maintain original storefront openings.
3. Maintain original storefront components.
4. Maintain original upper-story windows.
5. Preserve the pattern created by entrances.
6. Preserve original door proportions.
7. Preserve the original dimensions of window and door frames.
8. Avoid concealing original facade materials.
9. Replace decoration where it is known to have existed, if feasible.
10. Contemporary interpretation of the historic storefront design may be appropriate where the original is lost.
11. Trim materials should be subordinate to the major facade materials.
12. Preserve the proportions of original window panes.
13. External light fixtures should be simple in design.

**ATTACHMENT 6**  
**Data Sheets from**  
**Citywide Survey**

# CRAWFORD APTS



Historic Photo Source

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1945

Original Owner Crawford, William and Alice

Architect Unknown

Historic Name(s) Crawford Apartments; Crawford Hotel; Crawford's La Reina; Irwin Apartments; Cypress Motor Inn

Builder Samarian, Henry

Common Name(s) Village Inn

Architectural Sty Spanish Colonial Revival

## Local Class

HSPB #

1986 Contributor No

2015 Recommended Contributor Yes

2015 Recommended Non-contributor

Altered - Further Review

## HSPB Notes

Additional Notes (HRG)

Small Spanish-style motel built and operated by William and Alice Crawford. Pool and parking lot demolished in 2006 in anticipation of a rehabilitation project that was never completed.

The property is currently vacant.

## Alterations

## Permit Research

Permits indicate additions to the site over time; all windows replaced; parking lot and pool demolished

Plumbing permit (12/7/1945); Permit 1913 Construction of 5 units of apartments by A. B. Crist (contractor), H(?) Williams (architect) (10/24/45); Permit 5560 addition of 2 apartments, 3 hotel rooms, frame and stucco and composition roof, A. B. Crist (contractor) (4/22/52); Permit 6310 re-roof with Tropicool (7/24/53); Permit for 60 linear feet of concrete block wall in front of Swimming Pool Area (7/26/71); Permit 9436 installation of therapy pool (11/12/75); Permit 10772 replace glass door with French door (6/17/87)

Integrity Despite alterations, retains sufficient historic integrity to convey its historic significance.

Evaluation Represents automobile-related tourism dating to the immediate post-World War II period. Good example of the motor court property type.



# HARLOW HAVEN



Historic Photo Source Palm Springs Historical Society

Current Photo Source Historic Resources Group 2014-2015

Construction Date 1936

Architect Unknown

Builder

Architectural Sty Spanish Colonial Revival

Local Class

1986 Contributor Yes

2015 Recommended Non-contributor

HSPB Notes

Spanish Colonial Revival-style complex around a central courtyard. Shed roof elements and corner steel casement windows.

Alterations

Not fully visible, but appears to retain integrity

Integrity Retains sufficient integrity to convey its historic significance.

Evaluation Identified as a contributor in 1986 Multi-family residential/apartment hotel development in Palm Springs; reflects development of seasonal housing in the 1930s and the growth of the city and the commercial district to the north during this period. Good example of the bungalow court property type and good example of Spanish Colonial Revival architecture.

Original Owner Campbell, Millicent and Roscoe (per Desert Sun, March 23, 1945)

Historic Name(s) Solano Court; Harlow Haven

Common Name(s) Harlow Haven; The Harlow Club Hotel

HSPB #

2015 Recommended Contributor

Altered - Further Review

Additional Notes (HRG)

Per LA Times 12/13/1940, the property was sold in December 1940 to Mr. and Mrs. Harry Harlow who also managed Harlow Haven Motor Lodges in Lake Arrowhead. Ramond Chandler's letters indicate he wrote some of his Marlowe novel Playback here, per book of his letters. Ads for Harlow Haven during the 1980s reference this as Jean Harlow's winter home, however, the property was not associated with Jean Harlow.

Permit Research

Permit 6283 Swimming Pool addition (7/3/53); Permit 3722 for construction of 2 pilasters at Hotel Entry (8/29/80); Permit (illegible) for hotel entry repair due to fire damage (5/10/82). Permit 10266 for exterior and interior remodel (3/13/87), permit issued to Jean Harlow's B&B Richard Lawrence, Owner; Architect William R. Edwards, Darlene Lacombe, and Thomas E. Steinfeld, AIA.

**PERIOD REVIVAL STYLES****Spanish Colonial Revival**

The Spanish Colonial Revival style attained widespread popularity throughout Southern California following the 1915 Panama-California Exposition in San Diego, which was housed in a series of Spanish Baroque-inspired buildings designed by chief architect Bertram Grosvenor Goodhue. The style lent itself to monumental public edifices, churches, and exuberant commercial buildings and theaters, but was less suited to residential or smaller scale commercial architecture. For those, architects drew inspiration from provincial Spain, particularly the arid southern region of Andalusia, where many young American architects were diverted while World War I prevented their traditional post-graduate “grand tour” of Great Britain, France, Italy, and Germany. The resulting style was based on infinitely creative combinations of plaster, tile, wood, and iron, featuring plaster-clad volumes arranged around patios, low-pitched tile roofs, decorative details of iron, wood, and glazed ceramic tile, and a sprawling, horizontal orientation. It was a deliberate attempt to develop a “native” California architectural style and romanticize the area’s colonial past, though it drew directly from Spanish and other Mediterranean precedents and bore little resemblance to the simple missions and rustic adobe ranch houses that comprised the state’s actual colonial-era buildings.

In Palm Springs in the 1920s and 1930s the Spanish Colonial Revival style was often simplified and reduced to its most basic elements for residential, commercial, and institutional buildings. The result was a simpler, more rustic style reminiscent of traditional southwestern adobes and haciendas that was believed to be better suited to the desert climate and casual, resort lifestyle. These tended to be informal one- or two-story buildings finished in plaster, with simple rectilinear plans, low-pitched gable or hipped roofs clad in barrel tile or wood shakes, wood or steel sash windows, and little or no ornamentation. This minimalist Spanish trend continued into the post-World War II years; the city has houses and commercial buildings from the 1940s that feature red clay tile roofing and steel casement windows.

Examples of high-style Spanish Colonial Revival residential architecture in Palm Springs include The Willows (1924, HSPB-34) and *Ojo del Desierto* (1925, HSPB-19). Commercial examples include the El Paseo Building (1930, HSPB-27) and the La Plaza Center and Theatre (1936, HSPB-22). Examples of the more typical simplified Spanish Colonial Revival style include the Crawford Apartments (1945, now the Village Inn) at 855 N. Indian Canyon Drive, and the single-family residence (c. 1930) located at 545 S. Calle Santa Rosa.