



## **ARCHITECTURAL ADVISORY COMMITTEE MEMORANDUM**

DATE: April 19, 2021 UNFINISHED BUSINESS

SUBJECT: REQUEST BY JAMIE CHISICK, ON BEHALF OF OC COAST, INC., FOR A MINOR ARCHITECTURAL APPLICATION TO ALTER THE EXTERIOR OF AN EXISTING CANNABIS FACILITY, HIGHTEND, LOCATED AT 3395 NORTH INDIAN CANYON DRIVE, SUITE A (APN: 669-452-063), ZONE C-M, SECTION 34 (CASE NO. 3.1292 MAA). (NK)

FROM: Development Services Department

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### **BACKGROUND:**

On October 19, 2020, the Architectural Advisory Committee (AAC) reviewed the applicant's request for Minor Architectural review approval for after-the-fact exterior alterations at an existing cannabis facility, Hightend, located at 3395 North Indian Canyon Drive. At the meeting, the AAC voted unanimously for the project to be continued for further review. A copy of approved minutes from the October 19, 2020 AAC meeting is attached to this report (Attachment #2).

### **ISSUES:**

1. Two (2) horizontal wooden accents have been installed on the primary/south elevation of the building since the last AAC review (Attachment #3).
2. Flood light on the south elevation does not meet the outdoor lighting standard.

### **RECOMMENDATION:**

That the AAC recommend approval of the proposed project to the City Council subject to the following conditions:

1. Remove any unpermitted architectural elements (e.g. battery-powered light fixtures, a flood light directed towards the banner on the south elevation, two horizontal wooden accents) within 14 days of the approval of this application by the City Council.
2. Applicant shall obtain a Building Permit for the installation of new light fixtures.

3. Street and parking-lot facing windows and door in the reception area shall not be opaque.

**ARCHITECTURAL ADVISORY COMMITTEE (AAC) COMMENTS:**

On October 19, 2020, the AAC provided the following comments:

1. Use warmer light fixtures (3,000 kelvin).
2. Address the color of the roll-up doors and ensure that it is complementary with the rest of the paint scheme. This applies to other details around the façade on the south elevation, including the hinges and trims. The color should match or align with the trim color or something complementary.
3. Reduce the quantity of the light fixtures. Light fixtures need to conform to the zoning requirements, including the shielding requirement. Battery-powered light fixtures are discouraged.
4. Consider improving the condition of the landscape.
5. Future signage should complement the exterior light fixtures.

**PROPOSED MODIFICATIONS:**

In response to the comments provided by the AAC above, the applicant has submitted a revised plan to the Planning Division. The proposed changes are summarized in the table below:

<b>Table 1.1 AAC Comments &amp; Proposed Changes</b>		
	<b>AAC Comments</b>	<b>Proposed Changes</b>
1	<i>Use warmer lighting fixtures (3k kelvin)</i>	Actual color temperature of 3000K is proposed (Attachment #4).
2	<i>Address the color of the roll-up doors and ensure they are complementary with the rest of the paint scheme. This applies to other details around the façade on the south elevation, including the hinges and trims. The color should match or align with the trim color or something complementary.</i>	Minor architectural accents such as the security roll-up shutters and garage doors of the adjacent tenant space will be painted in Dunn-Edwards Anchor Gray for consistency.
3	<i>Reduce the quantity of the light fixtures. Light fixtures need to conform to the zoning requirements, including the shielding requirement. Battery-powered light fixtures are discouraged.</i>	Unlike the previously proposed battery-powered light fixtures, the new fixtures will be hardwired. Quantity of the light fixtures will be reduced from 10 to 6 (4

<b>Table 1.1 AAC Comments &amp; Proposed Changes</b>		
	<b>AAC Comments</b>	<b>Proposed Changes</b>
		on the south/primary elevation and 2 on the east elevation).
4	<i>Consider improving the landscape.</i>	There is an approved landscape plan for the property (Attachment #7). According to a site inspection conducted by staff, one of the trees is missing, and all groundcovers depicted on the plan are non-existent. The applicant is a lessee and is not the owner of the property. The matter has been forwarded to the Code Compliance Division to ensure that the site's landscape is installed and maintained according to the approved landscape plan.
5	Future signage should complement the exterior light fixtures.	Sign Permit application has not been submitted as a part of this application.

**CANABIS FACILITY STOREFRONT WINDOW TREATMENT:**

The submitted plan describes the windows on the south and east elevations “solid.” According to the most recent City policy pertaining to the treatment of cannabis facility storefront glazing areas, opaque storefront window/door treatment (e.g. tinted or blacked-out windows/doors) is no longer considered acceptable. An exception to this policy is the storefront window/door treatment of a cannabis lounge which is intended to conceal the visibility of smoking, inhalation, consumption, or ingestion of cannabis products from public view as required by the Zoning Code (Palm Springs Zoning Code Section 93.23.15.F.6.d). While a cannabis lounge is operated at the site, the consumption area is physically separated from the front reception area where the storefront windows and door are located. For these reasons, staff is recommending a condition of approval which requires the windows and door in the reception area to be transparent (Condition #3).

**STAFF ANALYSIS:**

The revised plan addresses the design concerns which were raised by the AAC as summarized in Table 1.1 above. The site's landscape is subject to a landscape plan which was approved on January 7, 2014. Any missing plant materials or inconsistency issues will be addressed via code enforcement. The landscape issue has been forwarded to the City of Palm Springs Code Compliance Division.

CONCLUSION:

As summarized in Table 1.1 above, the applicant has addressed all design concerns which were raised by the AAC on October 19, 2020. However, unpermitted features such as two horizontal wooden accents and outdoor light fixtures still exist. To ensure that the property fully conforms with the Municipal and Zoning Code, staff recommends that the AAC recommend approval of the project to the City Council subject to the conditions of approval included in this report.



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Noriko Kikuchi  
Associate Planner



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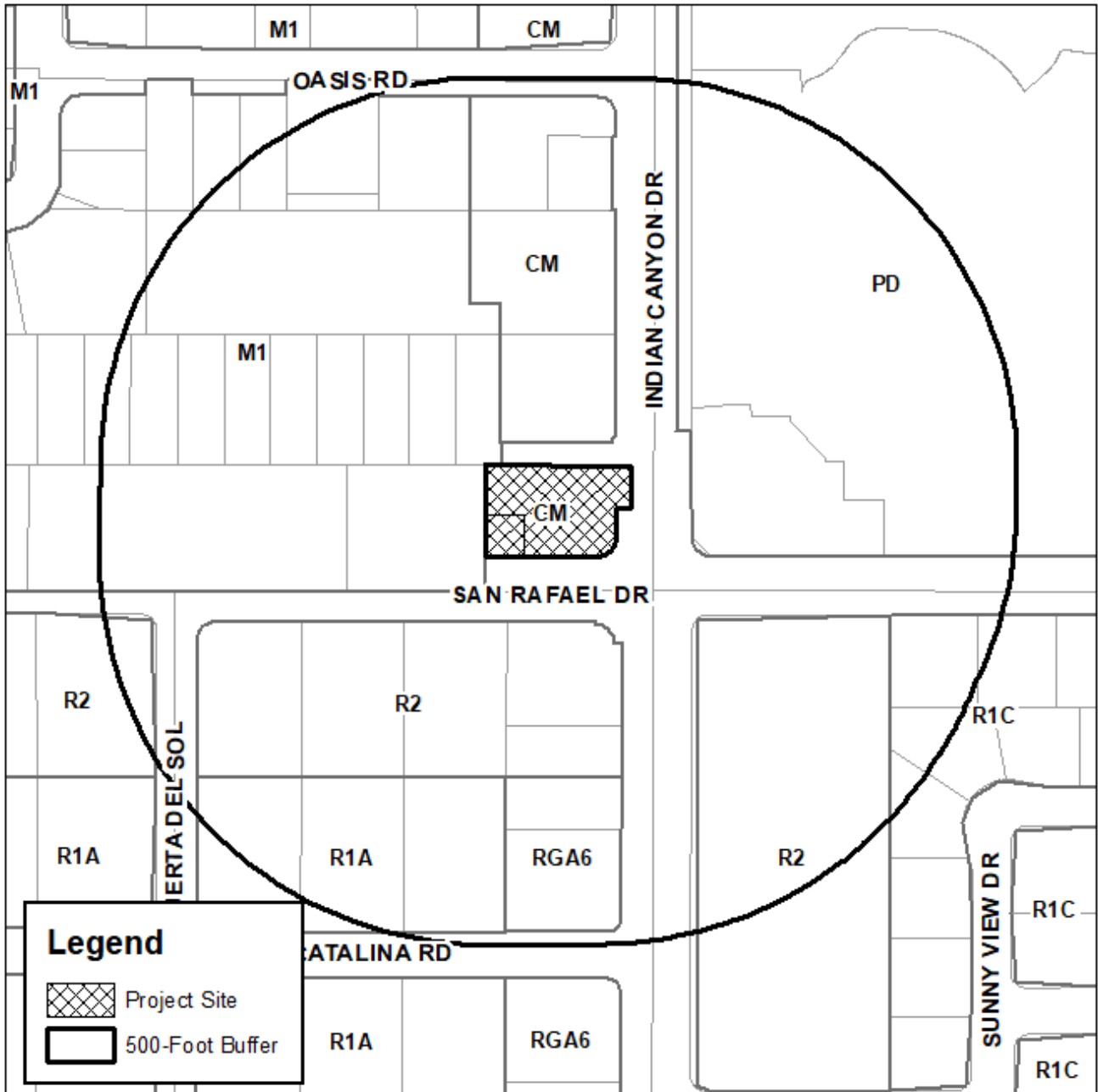
David Newell, AICP  
Assistant Director of Planning

Attachments:

1. Vicinity Map
2. October 19, 2020 AAC Meeting Staff Report
3. October 19, 2020 AAC Meeting Minutes
4. Site Photographs
5. Lighting Fixture Specifications
6. Floor Plans
7. Paint Colors
8. Landscape Plan
9. Revised Plans



# Department of Planning Services Vicinity Map



## CITY OF PALM SPRINGS

3395 North Indian Canyon Drive  
Hightend  
Case 3.1292



## **ARCHITECTURAL ADVISORY COMMITTEE MEMORANDUM**

DATE: October 19, 2020

SUBJECT: REQUEST BY JAMIE CHISICK, ON BEHALF OF OC COAST, INC., FOR MINOR ARCHITECTURAL REVIEW APPROVAL FOR EXTERIOR ALTERATIONS AT A CANNABIS FACILITY, HIGHTEND, LOCATED AT 3395 NORTH INDIAN CANYON DRIVE, SUITE A (APN: 669-452-063), ZONE C-M, SECTION 34 (CASE NO. 3.1292 MAA). (NK)

FROM: Development Services Department

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### SUMMARY:

This is a request for the Architectural Advisory Committee (AAC) to review and approve after-the-fact exterior alterations at an approved cannabis facility. Pursuant to Palm Springs Zoning Code (PSZC) Section 93.23.15(F)(3)(a), exterior alterations to a cannabis facility require review and approval by the Architectural Advisory Committee (AAC) and the City Council. The alterations include re-painting of the exterior building walls and the installation of outdoor lighting fixtures.

### ISSUE:

1. Approval is sought for an after-the-fact project.
2. The exterior lighting fixtures do not comply with the City's outdoor lighting standards.

### RECOMMENDATION:

That the Architectural Advisory Committee (AAC) recommend approval of the project to the City Council subject to the following condition:

1. The applicant shall obtain a building permit for the installation of the exterior wall-mounted lighting fixtures.
2. The wall-mounted lighting fixtures shall conform to the City's outdoor lighting standards (Palm Springs Zoning Code Section 93.21.00).

**BACKGROUND INFORMATION:**

<i>History</i>	
1947	Recorded year of construction.

<i>Related Relevant City Actions</i>	
01/16/2014	Planning Division administratively approved a Minor Architectural Review (MAA) application for re-landscaping and parking lot striping.
08/23/2018	Office of Special Program Compliance issued a Regulatory Permit for the establishment and operation of a cannabis dispensary and lounge.

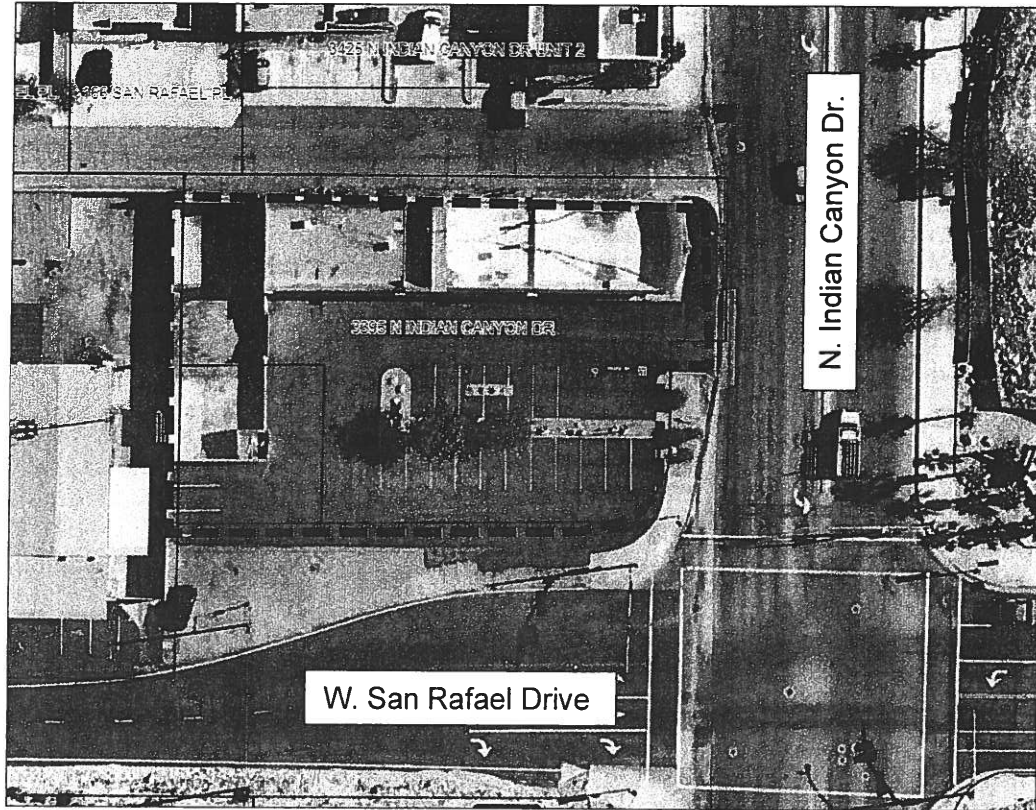
<i>Field Check</i>	
10/09/2020	Staff conducted a site visit to confirm the site conditions.

<i>On-Site Posting</i>	
09/08/2020	Applicant installed an on-site posting in accordance with Palm Springs Zoning Code Section 94.09.00(F)(3)(e).

The project site is a single-story, multi-tenant commercial building located at the northwest corner of North Indian Canyon Drive and West San Rafael Drive.



**Image 1.1 Project Site and Its Vicinity**  
 (  Project Site )



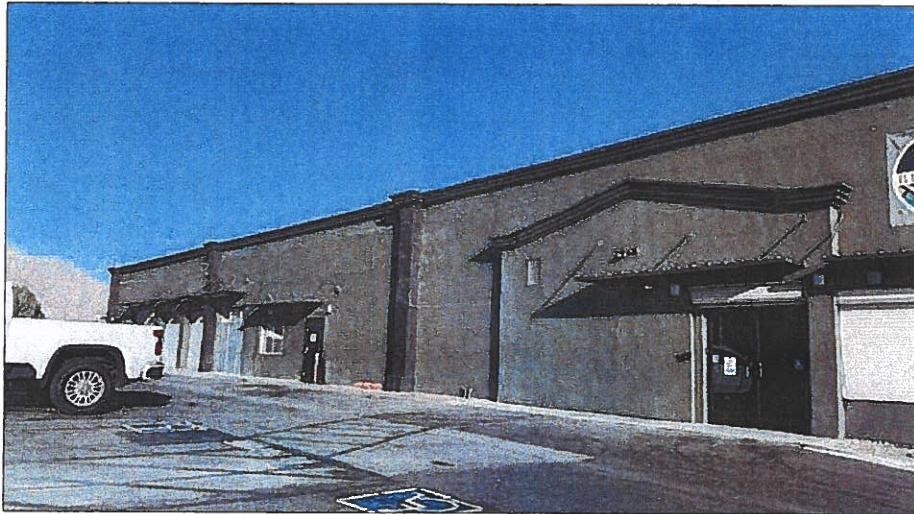
**Image 1.2 Project Site – Close-Up View  
( [ ] Project Site)**

Constructed in 1947, the architectural style of the multi-tenant single-story commercial building is modern. The building is linear in orientation, and its primary elevation faces a parking lot to the south. The building's primary/south elevation, which accommodates an entrance door to the cannabis facility, is slightly projected with a decorative roof element above the entrance. The building is accentuated with cornice, columns, metal canopies, and wall-mounted light fixtures. Roll-up shutters are installed above the entrance doors and windows located at the southeast corner of the building.

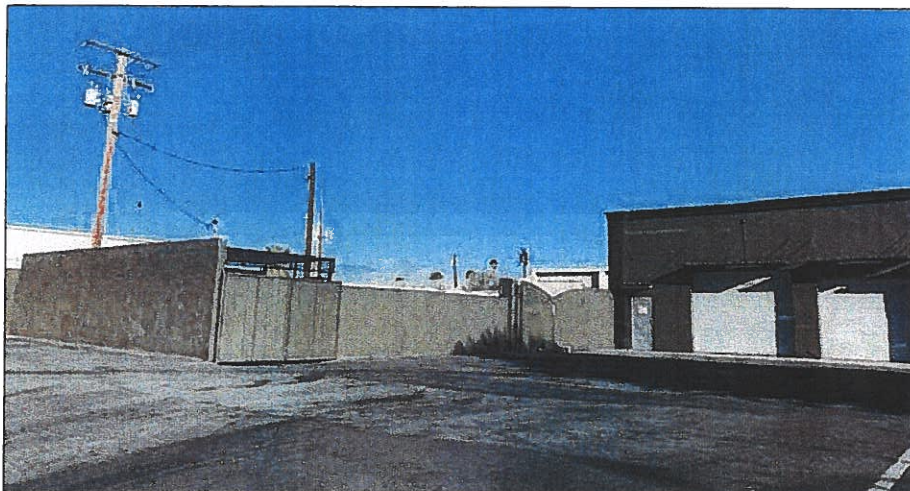




***Image 1.3 South Elevation***



***Image 1.4 South Elevation***

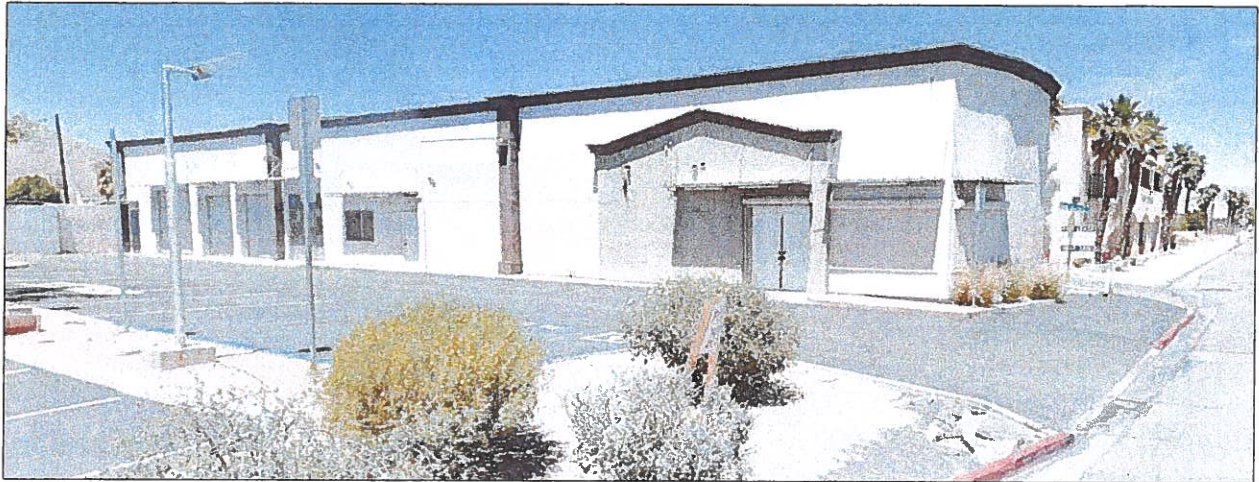


***Image 1.5 South Elevation***

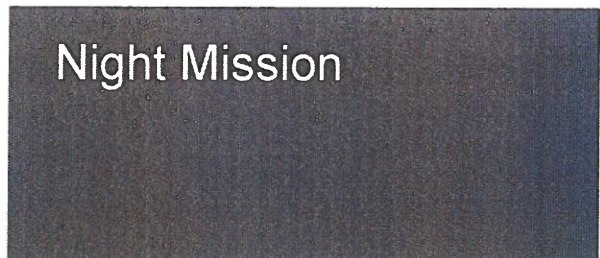
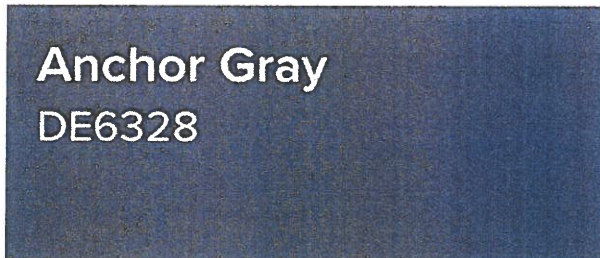
**ANALYSIS:**

**Proposed Paint Scheme:**

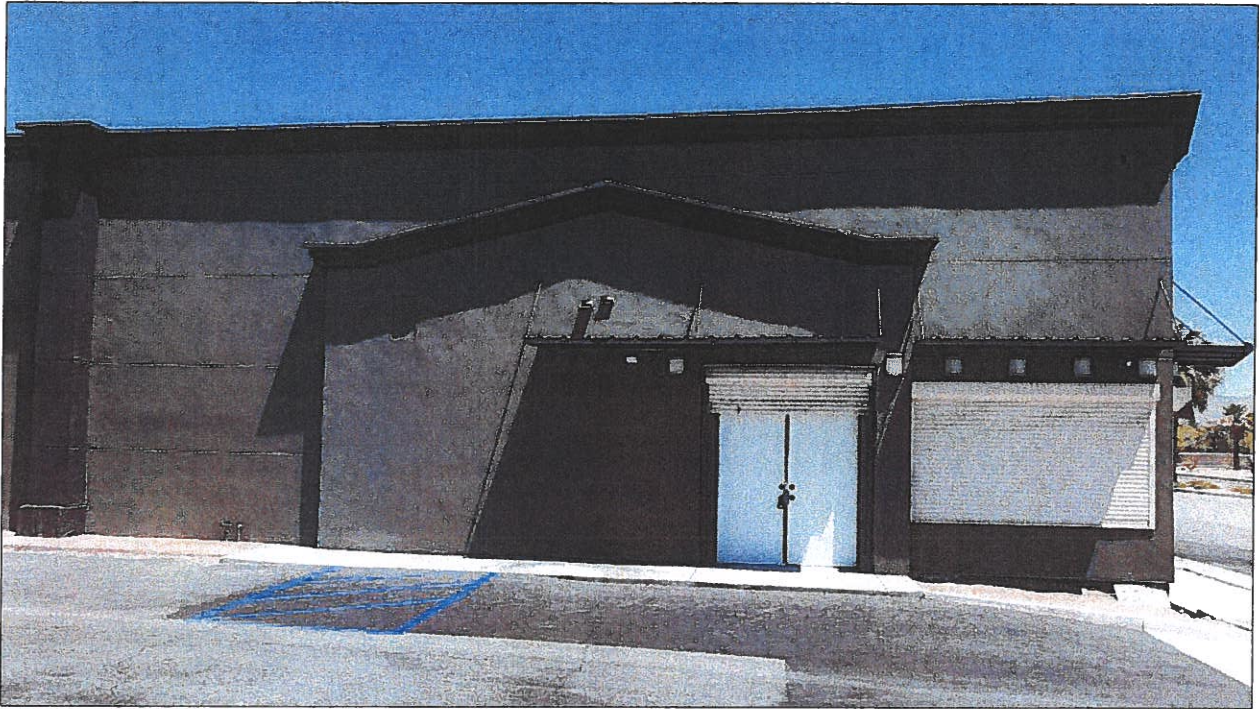
Before the installation of the exterior work, for which the application is seeking approval, the exterior of the building was painted in white and beige with brown cornice and columns (Image 1.6). Today, the exterior stucco building walls are painted in 'Night Mission', and minor architectural features such as the cornice and metal canopies are painted in Dunn-Edwards 'Anchor Gray.' (Image 1.7 – 1.9).



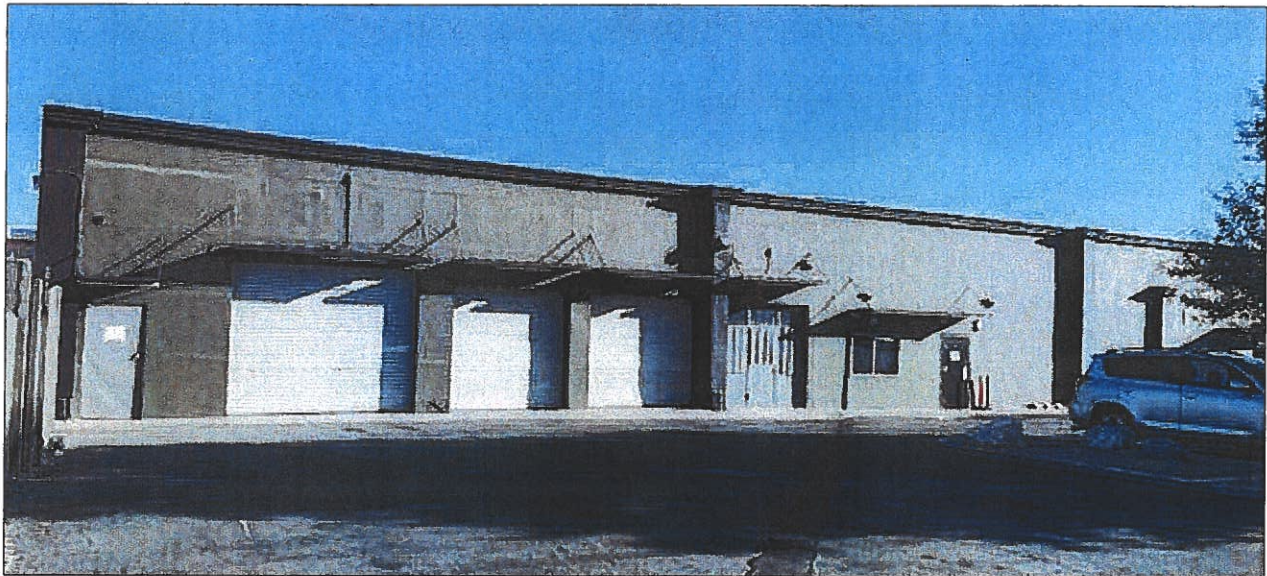
***Image 1.6 Previous Exterior Building Colors***



***Image 1.7 Proposed Paint Colors***



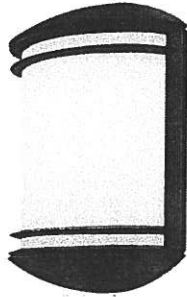
***Image 1.8 Exterior Building Wall Colors***



***Image 1.9 Exterior Building Wall Colors***

Outdoor Light Fixtures:

Several OLCS bronze outdoor LED wall-mounted light fixtures (Image 1.10) are installed on the south and east elevations of the building near the entrance doors and the space between the roll-up shutters and the metal canopies located the southeast corner of the building. The manufacturer’s specifications of the lighting fixtures are attached to this report (Attachment #3). However, these fixtures do not comply to Section 93.21.00 of the Zoning Code, due to the lack of shielding. Staff recommends an alterative fixtures to be selected which comply with the City’s outdoor lighting standards (Palm Springs Zoning Code Section 93.21.00).



**Image 1.10 Wall-Mounted Lighting Fixtures (After-the-Fact)**

Architectural Review Criteria:

PSZC Section 94.04.00(D) requires an evaluation of the proposed modifications to determine compatibility with the character of adjacent and surrounding developments, and whether it is of good composition, textures and colors. Conformance shall be evaluated based on the following applicable criteria:

	Guideline [PSZC 94.04.00(D)]	Compliance
1.	<p><i>Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood/community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;</i></p> <p>The project site is located on a corner lot in an industrial area. The parcels located diagonally southeast to the site and the one directly adjacent to the south are both undeveloped. The site is adjacent to a commercial building to the north which is painted in beige. While the difference in paint colors found at the site and the immediate adjacent building to the north is somewhat acute, the site’s corner location facing a major thoroughfare and being adjacent to vacant parcels reduce the impact of the paint colors. A majority of the industrial buildings found within the site’s vicinity are white, and the gray paint colors will accentuate the pattern of the</p>	Y

	Guideline [PSZC 94.04.00(D)]	Compliance
	industrial neighborhood.	
2.	<i>Building colors to be sympathetic with desert surroundings;</i> Gray is a desert-neutral color, which is commonly applied to commercial façade in the City. Hence, it is sympathetic with desert surroundings.	Y
3.	<i>Harmony of colors and composition relating to the elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously;</i> Lighter 'Night Mission' paint is applied to the stucco wall, and architectural accents are painted in darker 'Anchor Gray' for contrast. The selected paint colors are complementary to each other, and the application of the colors is reasonable for the design of the building. The design of the outdoor light fixtures is compatible with the design of the building.	Y
4.	<i>Consistency of composition and treatment;</i> 'Night Mission' is applied to stucco walls and 'Anchor Gray' is applied to minor architectural features such as the cornice for accent. The composition and application are consistent throughout the site.	Y

**CONCLUSION:**


The applicant is seeking approval for an after-the-fact project. In contrast to the previous paint palette which consisted of white and light beige, the building is currently painted in darker gray colors, 'Night Mission' and 'Anchor Gray.' While dark gray colors are not commonly applied to the exterior of industrial buildings, they are appropriate considering the location of the site and the context of its surroundings. Staff finds that the design of the outdoor lighting fixtures is compatible with the design of the building. To ensure that the after-the-fact outdoor light fixtures fully conform to the Zoning Code requirements, staff recommends that the AAC recommends approval of the project to the City Council subject to the conditions of approval which require the following:

1. The applicant shall obtain a building permit for the installation of the exterior wall-mounted lighting fixtures.
2. The wall-mounted lighting fixtures shall conform to the City's outdoor lighting standards (Palm Springs Zoning Code Section 93.21.00).



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Noriko Kikuchi  
Associate Planner



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David Newell, AICP  
Assistant Director of Planning

**ATTACHMENTS:**

1. Vicinity Map
2. Color samples
3. Outdoor lighting fixture specifications
4. Site plan, elevation plan, floor plan

**2. JAMIE CHISICK, ON BEHALF OF OC COAST, INC., FOR MINOR ARCHITECTURAL REVIEW APPROVAL FOR AFTER-THE-FACT EXTERIOR ALTERATIONS AT A CANNABIS FACILITY, HIGHTEND, LOCATED AT 3395 NORTH INDIAN CANYON DRIVE SUITE A (APN: 669-452-063), ZONE C-M, SECTION 34 (CASE NO. 3.1292 MAA). (NK)**

Associate Planner Kikuchi presented the project as outlined in the staff report.

ANDY KAVER, applicant's legal representation, responded to the following questions presented by the Committee:

Member Rotman questioned the intent of the concentrated placement of wall-mounted lighting fixtures on the south elevation and requested confirmation on the operability of the wall-mounted lighting fixtures. Mr. Kaver responded that the intent of the light fixture placement is to highlight the entrance and confirmed that the lighting fixtures are battery-powered.

Member Doczi questioned the ownership of the building- Mr. Kaver confirmed that all on-site buildings are owned by the same entity.

Member Locker questioned if there is a plan for the business to install a permanent sign. Mr. Kaver confirmed that the business has no intent to keep the existing temporary banner and that the business has a plan to install a permanent sign.

Member Poehlein stated that the entrance door shown in the site photograph appears solid while the elevation drawing shows a glass door. Chair Jakway stated that a glass door is installed at the site.

Member Lockyer questioned whether the roll-up doors still exist at the site or not, and Chair Jakway responded that the roll-up doors are currently in place.

Member McCoy questioned whether the roll-up doors are open while the establishment is open or they are open only during the daytime. Mr. Kaver responded that the roll-up doors are open while the business is open.

Member Poehlein questioned whether the business has a plan to convert the battery-powered light fixtures to line voltage. Member Poehlein also questioned the longevity of the batteries. Mr. Kaver responded that the business currently does not have any plan to change the operability of the light fixtures; however, the business will look into changing the operability of the light fixtures if it is required for the fixtures to conform to the applicable zoning regulations.

Chair Jakway questioned the window covering materials. Mr. Kaver responded that the windows are glass and art murals are painted on the windows inside. Mr. Kaver added that the lounge area is located in the rear and not visible from window.

Chair Jakway questioned staff the process of art mural application review process. Staff responded that if it is installed on the exterior of the building and meets the definition of an art mural, it is reviewed by the Public Arts Commission. If it is installed on a window, it is typically reviewed as a sign.

Member Discussion:

Member Lockyer said the paint application on windows and doors needs to have more continuity. There are too many lights. He suggested instead of battery-powered lighting fixtures, hardwired lighting fixtures would be more appropriate. He thinks the new fixture needs to be more in keeping with the architecture/colors of the building. Member Lockyer thinks the existing landscaping detracts from building; and signage and lighting should be complimentary.

Member Walsh agrees with member Lockyer on roll-up doors being lighter as problematic. He thinks darker colors are acceptable, but the doors need to be addressed. He noted concern with existing landscaping, which could be utilized to make the property appear more attractive. He said that although it appears that the light fixtures are intended to define the entry, the application is not successful.

Member Doczi said the project needs a low wall on the San Rafael side and some landscaping on the building frontage. He thinks potted plants could be used to improve the façade.

Member Poehlein agrees with the previous comments about the color of the roll-up doors.

Member Thompson said that he's okay with the color but the doors should be darker to complement the building. He finds the repeated light fixtures as problematic, and the selected light fixtures are not appropriate.

Vice Chair Rotman is not in favor of the 4k kelvin fixture; he suggested 3,500 or even 3,000 kelvin would be more appropriate.

Member McCoy thinks the number of lights are too much. He said the light fixtures need to be looked as an entry solution. He asked staff to take a closer look at the light fixtures installed above the canopies which illuminate that temporary sign as well.

Lockyer, seconded by Rotman to continue and direct the applicant to revise and resubmit based on AAC comments, including:



1. Use warmer lighting fixture (3k kelvin)
2. Address roll-up door colors and ensure they are complementary with rest of paint scheme. This applies to other details around the façade on the south elevation, including hinges and trims. The color should match or align with the trim color (not the filed color) or something complementary.
3. Reduce lighting quantity. Lighting fixtures need to conform to the zoning requirements, including the shielding requirement. Battery-powered light fixtures are discouraged.
4. Consider improving landscape condition
5. Future signage should complement the exterior light fixtures.

AYES: DOCZI, LOCKYER, MCCOY, POEHLEIN, WALSH, ROTMAN, JAKWAY

~~3. BEST SIGNS, INC., ON BEHALF OF MARGARITAVILLE RESORT, FOR A SIGN PROGRAM AMENDMENT TO INSTALL A MONUMENT SIGN AT THE NORTHEAST CORNER OF NORTH INDIAN CANYON DRIVE AND EAST VISTA CHINO AT 1600 NORTH INDIAN CANYON DRIVE, ZONE R-3, SECTION 2 (CASE NO. 20-003 AMND). (NK)~~

Associate Planner Kikuchi presented the application as outlined in the staff report.

Chair Jakway asked why this application is proposed without other signs that have been installed. (Planner Kikuchi responded that the main sign was the only sign proposed.)

Vice Chair Rotman asked what the height of the existing hedge is. (Planner Kikuchi said about 9 ft.)

Member Walsh noted that the proposed sign is larger than the previous sign.

Chair Jakway questioned the maximum area allowed for this property. (Planner Kikuchi responded the 105-sq. ft. proposed is less than the sign ordinance maximum limitation.)

JOHN CROSS, applicant, clarified that this is a corporate brand sign.

Vice Chair Rotman asked the applicant to describe the sign layers.

Member Discussion:

~~Member Doczi suggested expanding/widening the "wood" base wider to enhance design. In addition, eliminate the stucco background and create floating sign~~



#1 Home Improvement Retailer



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92264

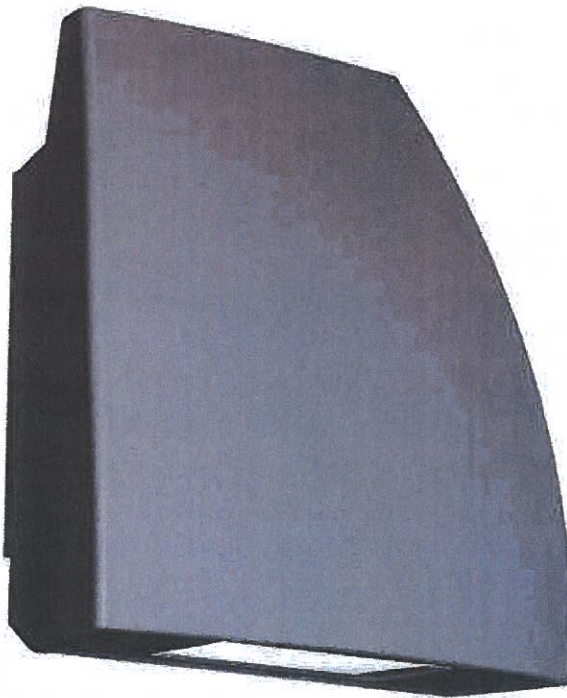
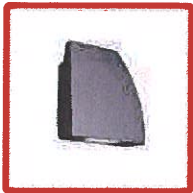
Search



Cart | 0 items

Home / Lighting / Outdoor Lighting / Security Lights / Flood Lights

Internet #313501845 Model #WP-LED119-30-aGH



Live Chat

Feedback

Hover Image to Zoom

Endurance Fin 19-Watt Graphite Outdoor Integrated LED Flood Light,  
3000K



★★★★★ Write the First Review Questions & Answers

## Product Overview

The Endurance Wall Pack collection features a patent pending design for water and dust proofing, encased in an IP66 rated factory sealed light engine. Thermally engineered for up to 100,000-hours of rated life, the Endurance virtually eliminates any need for maintenance once installed. LED technology offers superior alternatives to conventional Halogen and HID sources. With factory sealed die-cast aluminum housings, the Endurance collection is sure to provide lasting worry-free performance for years.

- Factory-sealed LED light engine, die-cast aluminum construction, 20° forward throw illumination
- ENERGY STAR certified and DLC rated
- Photo/motion sensor sold separately, IP66 and ETL and cETL wet location listed
- Universal voltage input (120-Volt - 277-Volt), multi-function dimming: ELV (120-Volt) or 0-Volt to 10-Volt
- Built-in level for easy adjustment, tempered prismatic glass reduces glare while optimizing light distribution
- High powered LED performance: color temperature: 3000K or 5000K options, CRI: 85, rated life: 100,000-hours
- Endurance fin 19-Watt LED outdoor wall light 3000K in graphite

Included

Voltage

Type

[View Product](#)

[View Product](#)

[View Product](#)

[View Product](#)

Key Features 

Specifications

**Dimensions**

Product Depth (in.)	7.75
Product Height (in.)	4
Product Length (in.)	7.75
Product Width (in.)	6.88

 Live Chat

 Feedback

**Details**

Actual Color Temperature (K)	3000
Color Rendering Index (CRI)	90
Color Temperature	Soft White
Detection Range (ft.)	20
Electrical Features	Illuminated,Rust Resistant,Weather Resistant
Exterior Lighting Product Type	Flood and Spot Lights
Fixture Color/Finish	Graphite
Fixture Material	Aluminum
Glass/Lens Type	Frosted
Included	Adjustable Height,Angle Mount Hardware,Bulbs Included,Cap/Plug Included,Hardware Included,Includes Light Kit,Light Bulb(s) Included,Light Kit Included,Mounting Hardware Included,Shade(s) Included

Light Beam Angle	180
Light Bulb Type Included	Integrated LED
Lumens	1460
Number of Lights	1 Light
Outdoor Lighting Features	Adjustable Detection Sensitivity,Adjustable Height,Adjustable Lamp Head,Illuminated,Motion Sensing,Rust Resistant,Water Resistant,Waterproof,Weather Resistant
Pack Size	1 Pack
Power Options	Hardwired
Power Type	Hardwired
Product Weight (lb.)	2.55
Returnable	90-Day
Voltage Type	Line Voltage
Watt Equivalence	160

 Live Chat

 Feedback

### Warranty / Certifications

Certifications and Listings	ADA Compliant,ANSI Certified,CSA Listed,ETL Classified,Energy Star,ISO Certified,Title 24,UL Certified,UL Listed,cETLus,cUL Listed,cULus Listed
Manufacturer Warranty	5 Years Functional, 2 Years Finish

How can we improve our product information? Provide feedback.

## Customers Who Viewed This Also Viewed



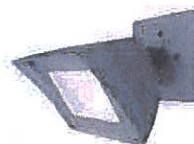
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Watt Graphite



Endurance Fin 35-  
Watt Graphite



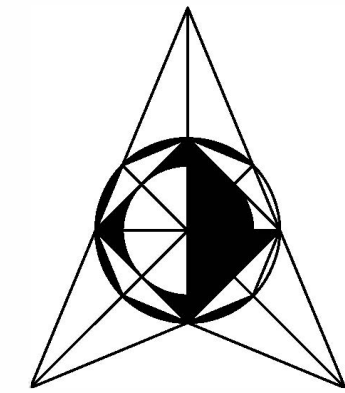
Endurance Fin 19-  
Watt White



Endurance Flood  
Flood Light



Endurance Hawk  
Flood Light



L.P. DESIGN

1201 W. Mission Rd. # 13  
Altamira, Ca. 91803  
Tel. (213) 440 2591  
parra7005@yahoo.es

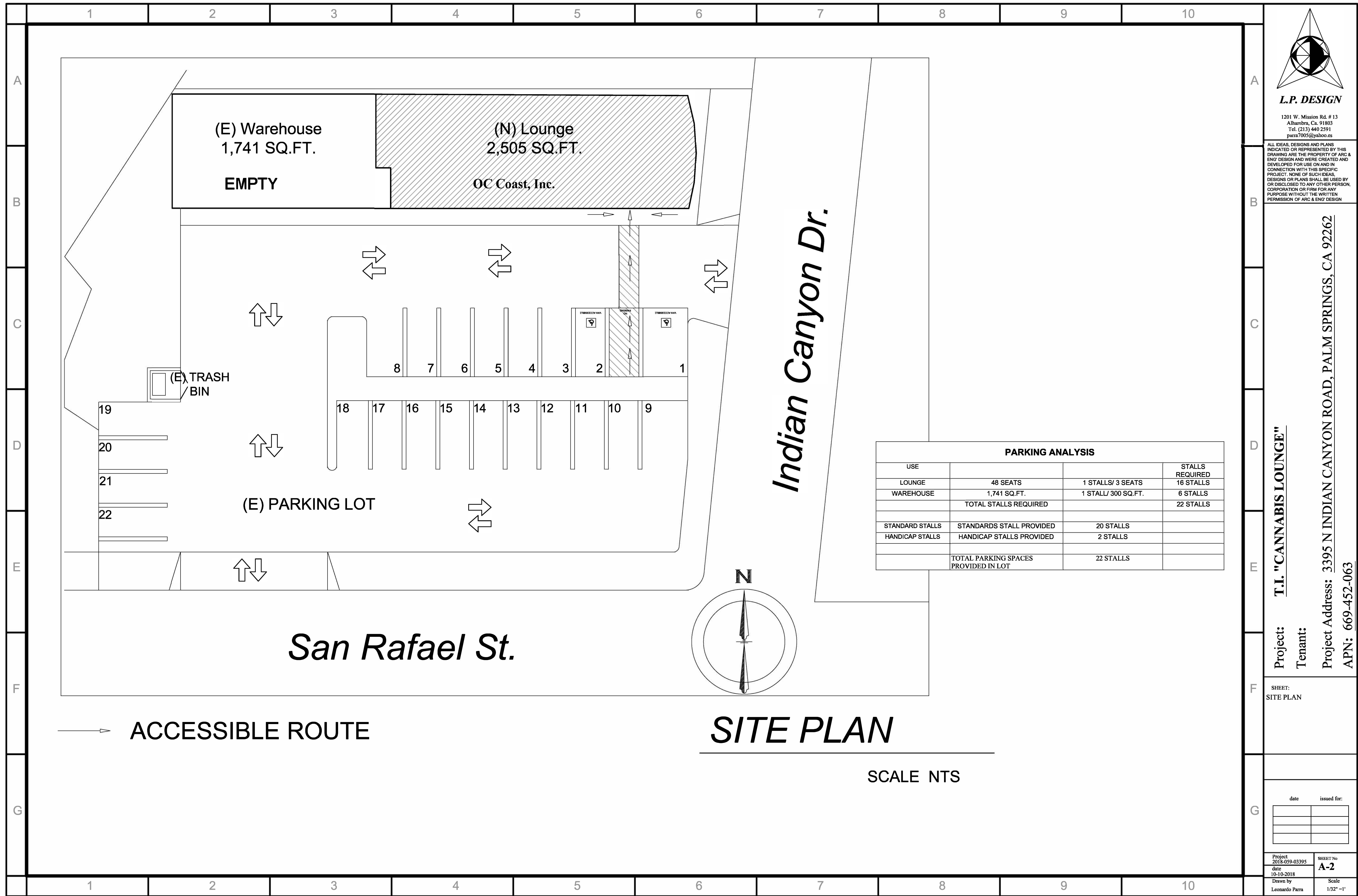
ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF ARC & ENG DESIGN AND WERE CREATED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY OTHER PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF ARC & ENG DESIGN

Project: **T.I. "CANNABIS LOUNGE"**  
Tenant:  
Project Address: 3395 N INDIAN CANYON ROAD, PALM SPRINGS, CA 92262  
APN: 669-452-063

SHEET:  
SITE PLAN

date	issued for:

Project 2018-059-03395	SHEET No <b>A-2</b>
date 10-10-2018	Scale 1/32" = 1'
Drawn by Leonardo Parra	

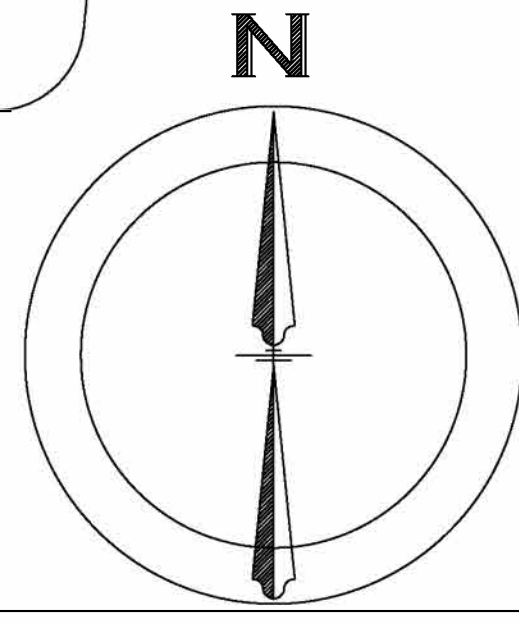


(E) Warehouse  
1,741 SQ.FT.  
EMPTY

(N) Lounge  
2,505 SQ.FT.  
OC Coast, Inc.

Indian Canyon Dr.

San Rafael St.



(E) TRASH BIN

(E) PARKING LOT

19

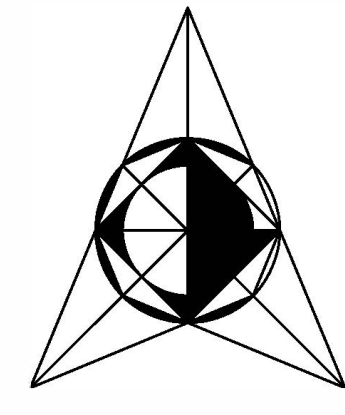
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8 7 6 5 4 3 2 1

18 17 16 15 14 13 12 11 10 9



L.P. DESIGN

1201 W. Mission Rd. # 13  
Altamira, Ca. 91503  
Tel. (213) 440 2591  
parra7005@yaboo.es

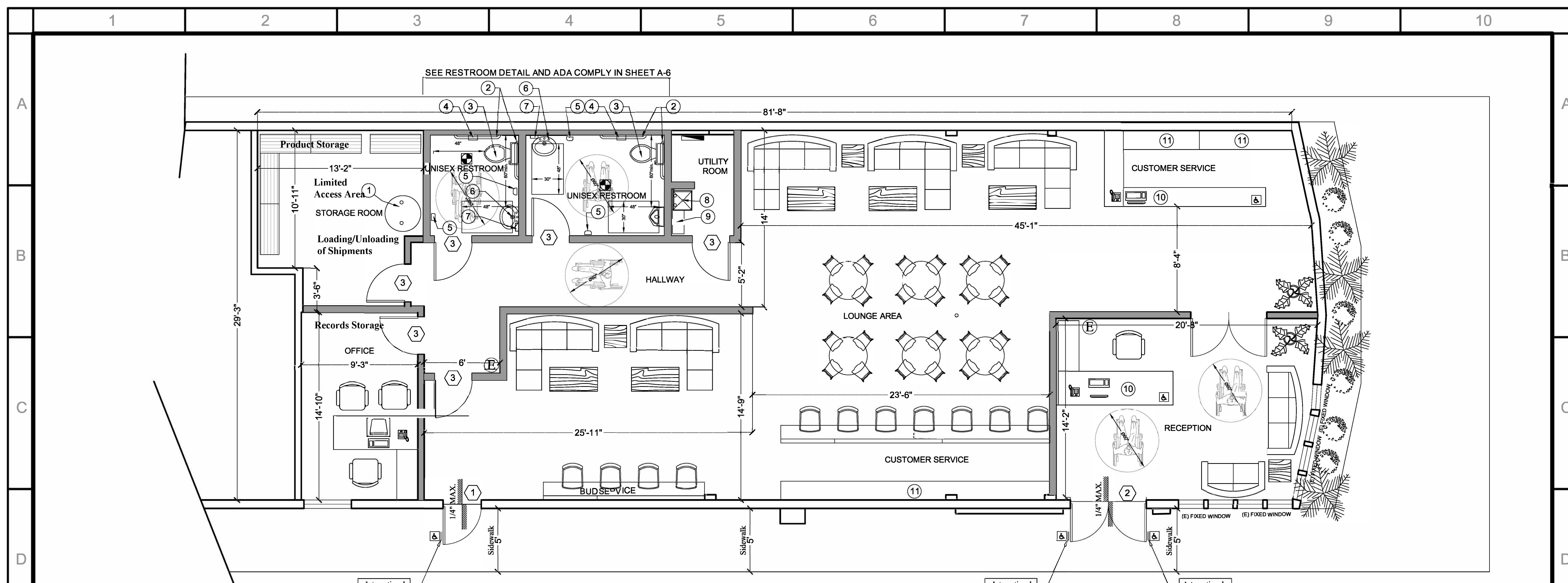
ALL IDEAS, DESIGNS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF ARC & ENG DESIGN AND WERE CREATED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THIS SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY OTHER PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF ARC & ENG DESIGN

Project: T.I. "CANNABIS LOUNGE"  
Tenant:  
Project Address: 3395 N INDIAN CANYON ROAD, PALM SPRINGS, CA 92262  
APN: 669-452-063

SHEET:  
FLOOR PLAN  
DOOR SCHEDULE  
EQUIPMENT SCHEDULE  
PLUMBING FIXTURE ANALYSIS

date issued for:  
Project: 2018-059-03395  
date: 10-10-2018  
Drawn by: Leonardo Parra  
Scale: 1/4" = 1'

SHEET No: A-3



**PROPOSED FLOOR PLAN**  
SCALE 1/4"=1'-0"

**LEGEND**

	EXISTING WALL
	NEW PARTITION WALL 2"X6" WOOD STUDS

International Symbol of Accessibility

International Symbol of Accessibility

International Symbol of Accessibility

EQUIPMENT SCHEDULE							
#	EQUIPMENT	MANUFACTURER MODEL No.	NSF	PLUMBING			COMMENT
				H.W.	C.W.	DIR	
1	(E) ELECTRIC WATER HEATER - BARDFORD WHITE - 30 GL. - WITH 6,000 WATTS MINIMUM. PROVIDE: 208 or 240 volts - 1. Water Heater must be Strapped to Wall. - 2. Provide 6" Concrete Pad W/ 6" high curb with 3/8" radius cove base. - 3. Provide pressure and Temp. Relief valve drain to safe outside location.	BARDFORD WHITE LD-30U3-1	UL	Ø-1"	Ø-1"		NEW
2	GRAB BARS						APPROVED BACKFLOW PREVENTION DEVICE
3	TOILET - Water closet for public use shall be elongated bowl type with open front seat. (2010 CPC, Section 408.1)	A STANDARD 5324.019	NSF		Ø-1/2"	X	Comply with ADA
4	DISPENSER SANITATION PAPER AND DISPENSER FOR TOILET PAPER		NSF				Dry Food Storage
5	HAND DRYER	DYSON AIRBLADE AB14	ETL				Dry Food Storage
6	HAND WASH SINK 15"x17" WITH WATER PROOF PANEL use Fiberglass Reinforced Panel white color. WITH SIDE SPLASH		NFS	Ø-1/2"	Ø-1/2"	X	Back and Side Splash
7	SOAP DISPENSER						
8	MOP/BROOM HANGER						Wall Mounted
9	METALLIC SHELVES FOR CHEMICAL STORAGE 24"x12"	AMCO 2412	NSF				Dry Food Storage
10	CASHIER - COUNTER - COUNTER TOP SHOULD BE LIGHT COLOR AND WASHABLE FINISH. (FORMICA) 48"x24"						
11	DISPLAY SHELVES						

FIRE RESISTIVE CONSTRUCTION - EXISTING BUILDING		
	TYPE VB 2-HR	
	REQUIRED	PROVIDED
BRG WALLS-EXTERIOR	2 HR	2 HR
BRG WALLS-INTERIOR	2 HR	2 HR
NON-BRG WALLS-EXTERIOR	N/A	N/A
PART. PERMANENT	2 HR	2 HR
SHAFT ENCL.	1 HR	1 HR
FLOOR-CEILING	1 HR	1 HR
EXT. DOORS AND WINDOWS	NONE<5'	NONE<5'
STAIRS	NONE	NONE

**INTERIOR FINISHES:**  
1. Interior finish materials applied to wall and ceiling shall be tested as specified in Section 703.

FIRE RESISTIVE CONSTRUCTION IMPROVEMENT WALLS AND CEILING			
	MATERIAL	CLASS (CBC-703)	PROVIDED
NON-BRG WALLS-INTERIOR	DRYWALL TYPE X BOTH SIDES	B - Flame spread index 26-75; smoke developed index 0-450	2 - HR
CEILING	CEILING PANEL - FIRE RATING CLASS A	A - Flame spread index <= 20; smoke developed index < 450	1 HR.
OPEN CEILING	SOLID WOOD	B - Flame spread index 26-75; smoke developed index 0-450	1 HR.
WALL - FIBERGLASS REINFORCED PANEL	GLASSLINER FRP	A - Flame spread index <= 20; smoke developed index < 450	1 HR.
STAIRWAY AND HALLWAY	DRYWALL TYPE X	B - Flame spread index 26-75; smoke developed index 0-450	1 HR.

#	SIZE	DOOR SCHEDULE TYPE	QTY	NOTE
1	3'-6" x 6'-8" x 1 3/8"	DOOR (6-PANEL) S-LABEL, 20 MIN. RATED, SELF-CLOSING w/ PANIC EXIT HARDWARE - ACCESSIBLE HARDWARE	1	EXISTING
2	6'-0" x 6'-8" x 1 3/8"	GLASS DOOR S-LABEL, 20 MIN. RATED, SELF-CLOSING w/ PANIC EXIT HARDWARE - ACCESSIBLE HARDWARE	2	EXISTING
3	3'-0" x 6'-8" x 1 3/8"	WOOD HOLLOW CORE SELF CLOSING w/ ACCESSIBLE HARDWARE	6	NEW

**DOORS HARDWARE**

- Handles, pulls, latches, locks, and other operable parts on doors and gates shall comply with 11B-309.4 Operation. Operable parts of such hardware shall be 34 inches minimum and 44 inches maximum above the finish floor or ground. Where sliding doors are in the fully open position, operating hardware shall be exposed and usable from both sides. §11B-404.2.7
- SEE ADDITIONAL NOTES AT SHEET A-7 FOR ACCESSIBLE DOORS, DOORWAYS AND GATES.

USE & OCCUPANCY CLASSIFICATION				
FLOORSPACE	OCCUPANCY CPC-CHAPTER 4 TABLE A	(A) AREA (SQ FT)	(F) AREA PER OCCUPANT FOR TABLE FOR OCCUPANT LOAD (SQ-FT/MAX)	OCCUPANT LOAD (SQ-FT/MAX)
LOUNGE AREA	A-2	1,115	30	37
CUSTOMERSERVICE	B	218	200	2
RECEPTION	B	215	200	2
STORAGE/OFFICE/HALL	B	465	200	3
TOTAL OCCUPANCY LOAD	A-2	2,063		44

PLUMBING FIXTURE ANALYSIS (22 MALE / 22 FEMALE) CPC Table 422.1						
	MALE			FEMALE		
	W/C 1:1-25	LAV. 1:1-150	URNAL 1:1-200	W/C 1:1-25	LAV. 1:1-150	URNAL 1:1-200
REQUIRED	1	1	1	1	1	1
PROVIDED	1	1	1	1	1	1



**Anchor Gray**

DE6328

**Night Mission**

# LANDSCAPE CONSTRUCTION PLANS

## GRAF-REH LLC

PREPARED FOR: GRAF-REH LLC

CONSULTANTS

*Cm 3.1292 1/7/14*

**STAFF APPROVAL**

*. Approval of Landscape Site Plan*

*- Encroachment license required for work in public right of way*



HERMANN DESIGN GROUP  
77-772 FLORA ROAD  
SUITE A  
PALM DESERT, CA  
92211

LIC# 2754 EXP. 04/30/14  
PH. (760) 777-9131  
FAX (760) 777-9132

### GENERAL NOTES

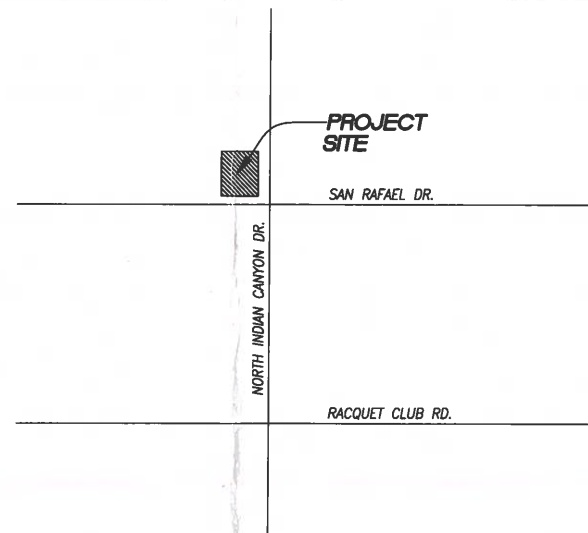
1. BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT HE AND HIS SUBCONTRACTORS HAVE VISITED THE SITE, FAMILIARIZED THEMSELVES WITH ALL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED THEIR OBSERVATIONS WITH THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
2. UNLESS OTHERWISE PROVIDED IN THESE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
3. THE CONTRACTOR SHALL FILE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. IF THE CONTRACTOR OBSERVES THAT ANY OF THE CONTRACT DOCUMENTS ARE AT VARIANCE THEREWITH IN ANY RESPECT, HE SHALL PROMPTLY NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IN WRITING.
4. CONTRACTOR SHALL OBTAIN A CURRENT STRUCTURAL SOILS REPORT. THIS SOILS REPORT SHALL SUPERSEDE THE RECOMMENDATIONS AND DETAILS SHOWN ON THESE PLANS AND SPECIFICATIONS.
5. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGE INCURRED DURING CONSTRUCTION.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
7. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS.
8. THE LOCATION OF FEATURES TO BE CONSTRUCTED, NOT SPECIFICALLY DIMENSIONED MAY BE DETERMINED BY SCALE. VERIFY ALL SUCH CONDITIONS WITH OWNER'S REPRESENTATIVE.
9. ALL CURVE-TO-LINEAR AND CURVE-TO-TANGENT LINES SHALL BE NEAT, TRIM, SMOOTH, AND UNIFORM.
10. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE WORK HE SHALL REMOVE ALL HIS WASTE MATERIALS AND RUBBISH FROM THE SITE AS WELL AS ALL HIS TOOLS, EQUIPMENT, MACHINERY, AND SURPLUS MATERIALS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
12. THE CONTRACTOR SHALL PROMPTLY CORRECT ALL WORK REJECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE AS DEFECTIVE OR AS FAILING TO CONFORM TO THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BEAR ALL COSTS OF CORRECTING SUCH REJECTED WORK.
13. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY WITH THE OWNER'S AUTHORIZED REPRESENTATIVE THAT HE/SHE HAS OBTAINED THE LATEST SET OF CONSTRUCTION DOCUMENTS.

**RECEIVED**

**JAN 06 2014**

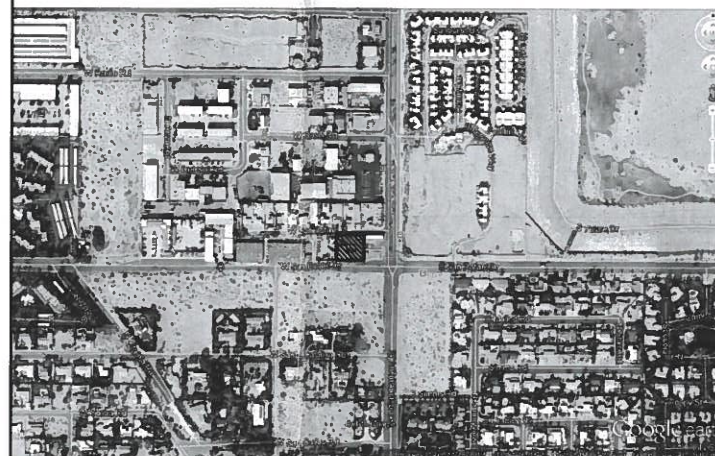
**PLANNING SERVICES  
DEPARTMENT**

### VICINITY MAP



N.T.S.

### SITE MAP



N.T.S.

### SHEET INDEX

SHEET	DESCRIPTION
L0.0	COVER SHEET
L1.0	IRRIGATION PLAN
L1.1	IRRIGATION DETAILS
L2.0	PLANTING PLAN
L2.1	PLANTING DETAILS

### APPROVALS

OWNER:  
**GRAF-REH LLC**  
3395 NORTH INDIAN CANYON DR.  
PALM SPRINGS, CA

PROJECT:  
**GRAF-REH LLC**  
3395 NORTH INDIAN  
CANYON DRIVE  
PALM SPRINGS, CA

REVISIONS	DATE	BY

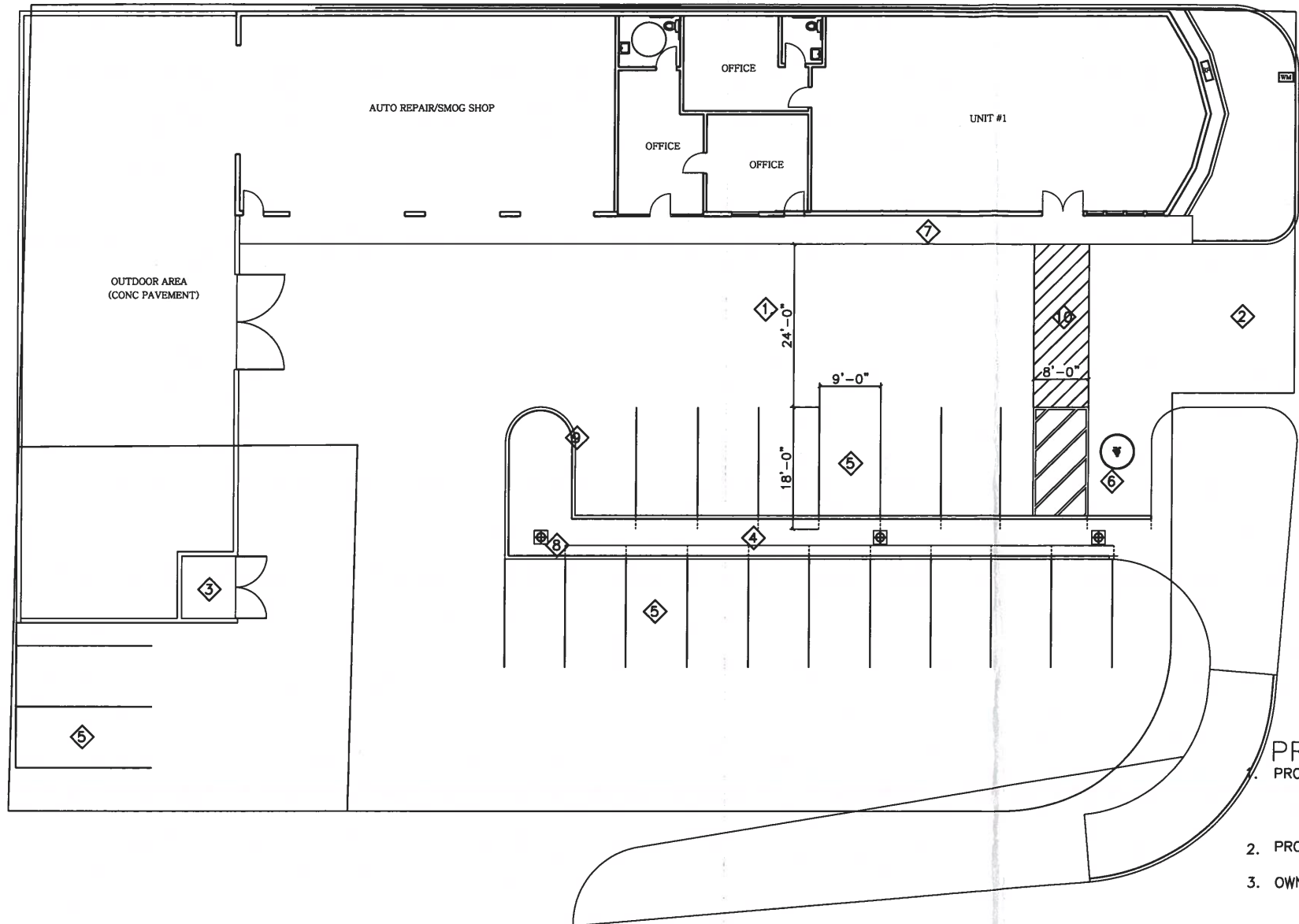


SHEET TITLE  
**COVER SHEET**

DESIGNED	CH
DRAWN	OPUS, J.E.
CHECKED	-
DATE	12/02/14
SCALE	NTS
JOB NO.	-

SHEET  
**L0.0**  
OF 5 SHEETS





N. INDIAN CANYON DR.

W. SAN RAFAEL DR.

1 SITE PLAN  
SCALE: 1" = 10'

RECEIVED  
JAN 06 2014  
PLANNING SERVICES  
DEPARTMENT

SITE PLAN KEYNOTES

- 1. EXISTING PARKING AREA
- 2. EXISTING DRIVEWAY APRON TO REMAIN
- 3. EXISTING TRASH ENCLOSURE TO REMAIN
- 4. EXISTING LANDSCAPED AREA SEE LANDSCAPED PLAN
- 5. RE-STRIP STANDARD PARKING AREA (9'X18')
- 6. RE-STRIP HANDICAPED PARKING (9'X18')
- 7. EXISTING CONC. WALKWAY
- 8. EXISTING LIGHTING POLE TO REMAIN
- 9. EXISTING CONC. CURB TO REMAIN
- 10. RE-STRIP HADICAPED ACCESSIBLE ROUTES OF TRAVEL

PROJECT DESCRIPTION

- 1. PROJECT DESCRIPTION: RESTORE THE EXISTING AUTO REPAIR AND RETAIL/MARKET DUE TO ELECTRICAL WIRE FIRE. THE PERMIT FOR UNIT #1 RETAIL/MARKET IS ONLY FOR SHELL ONLY FUTURE TENANT IMPROVEMENT SHALL SUBMIT TO CITY FOR APPROVAL
- 2. PROJECT ADDRESS: 3395 N. INDIAN CANYON DRIVE  
PALM SPRINGS CA
- 3. OWNER: GREF-REH LLC  
600 S LAKE AVENUE SUE 405  
PASADENA CA 91106
- 4. LOT SIZE: 150.47 x 144.42 = 21730 SF (APPROX.)
- 5. EXISTING FLOOR AREA: UNIT #1 RETAIL/MARKET 1880 SF  
UNIT #2 AUTO REPAIR/SMOG CHECK 2260 SF  
TOTAL FLOOR: 4140 SF
- 6. ZONING: CM
- 7. NO. OF STORY: ONE STORY (EXISTING)
- 8. CODE: 2010 CBC & 2010 CALIFORNIA AMENDMENT CODE  
2010 CEC & 2008 CALIFORNIA AMENDMENT CODE  
2010 CMC & 2009 CALIFORNIA AMENDMENT CODE  
2010 CPC & 2009 CALIFORNIA AMENDMENT CODE  
2008 OF THE CALIFORNIA ENERGY EFFICIENCY STANDARD
- 9. FIRE SPRINKLERS: NO
- 10. MIXED OCCUPANCY BUILDING NONSEPARATED
- 11. BUILDING HEIGHT: 20' (VERIFY)
- 12. OCCUPANCY: M/F1
- 13. CONSTRUCTION TYPE: TYPE V-B (VERIFY)
- 14. PARKING:  
REQUIRED:  
PROVIDED: EXISTING 19 PARKING SPACES (ONE HADICAPED PARKING)

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DATE: 3/10/2013  
DRAWN BY:  
CHECKED BY:  
JOB NUMBER: 2012-11

REVISION	

RETAIL/GARAGE  
RENOVATION

3395 N INDIAN CANYON DR.  
PALM SPRINGS

SITE PLAN



HERMANN DESIGN GROUP  
77-772 FLORA ROAD  
SUITE A  
PALM DESERT, CA  
92271

LIC# 2754 EXP. 04/30/14  
PH. (760) 777-9131  
FAX (760) 777-9132

OWNER: GREF-REH LLC  
3395 NORTH INDIAN CANYON DR.  
PALM SPRINGS, CA

PROJECT: GREF-REH LLC  
3395 NORTH INDIAN CANYON DRIVE  
PALM SPRINGS, CA

REVISIONS	DATE	BY



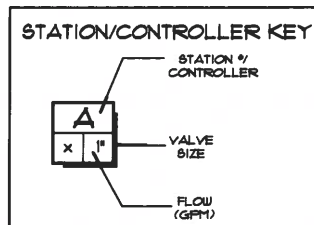
SHEET TITLE  
**IRRIGATION PLAN**

DESIGNED: JIE  
DRAWN: JIE  
CHECKED: -  
DATE: 1/08/14  
SCALE: 1/8" = 1'-0"  
JOB NO.

SHEET  
**L1.0**  
OF 5 SHEETS

**IRRIGATION LEGEND:**

SYMBOL	MFG.	MODEL NO.	DESCRIPTION	RAD.	GPM.	P&I DET.	REF.
■	RANBURD	18R-815-2	DRIP Emitter	N/A	2 - GPM	30	H
▲	RANBURD	18R-815-1	DRIP Emitter	N/A	1 - GPM	30	H
⊗	RANBURD	1401	Subsiler	30		30	K
⊙	RANBURD	1023-15-100	Remote Control Drip Valve (Size Noted)				I
⊕	RANBURD	100-DV-05	Remote Control Valve (Size Noted)				L
⊖	RANBURD	44-RC	Block Coupling Valve				D
⊗	NIBCO	7-200	Line-Size Ball Valve - Full Port				B
⊗	GRUNDFOS	3000	7" Header Valve Normally Closed Install Copper Pipe Between Backflow and Master Valve				J
⊗	RANBURD	1607P	Flow Sensor				G
⊗	ALCO	APV-05H	Automatic Flush Valve				C
⊗	RANBURD	100-L15 - 4	RAIN SENSOR Automatic Wall Mounted Controller Enclosure Contractor to verify power source and location.				F
⊗	RANBURD	RAIN SENSOR - RED-50K	RAIN SENSOR				A
NOT SHOWN			UP DIRECT BURIAL CONTROL WIRE # 12 GALVANNEUM / # 14 GA. PILOT W/ PIPE SLEEVE PVC SCH 40 FOR PIPES 1/2" AND SMALLER, PVC CLASS 305 FOR PIPES 1" AND LARGER, PRESSURE MANLINE - 3" DRIP.				A
---			3/4" PVC CLASS 305 NON-PRESSURE LATERAL LINE 1" DRIP. (SIZE NOTED)				A
---			PVC SCH 40 WIRE AND PIPE SLEEVES - SIZE 2 TIMES DIAMETER OF PIPE				B

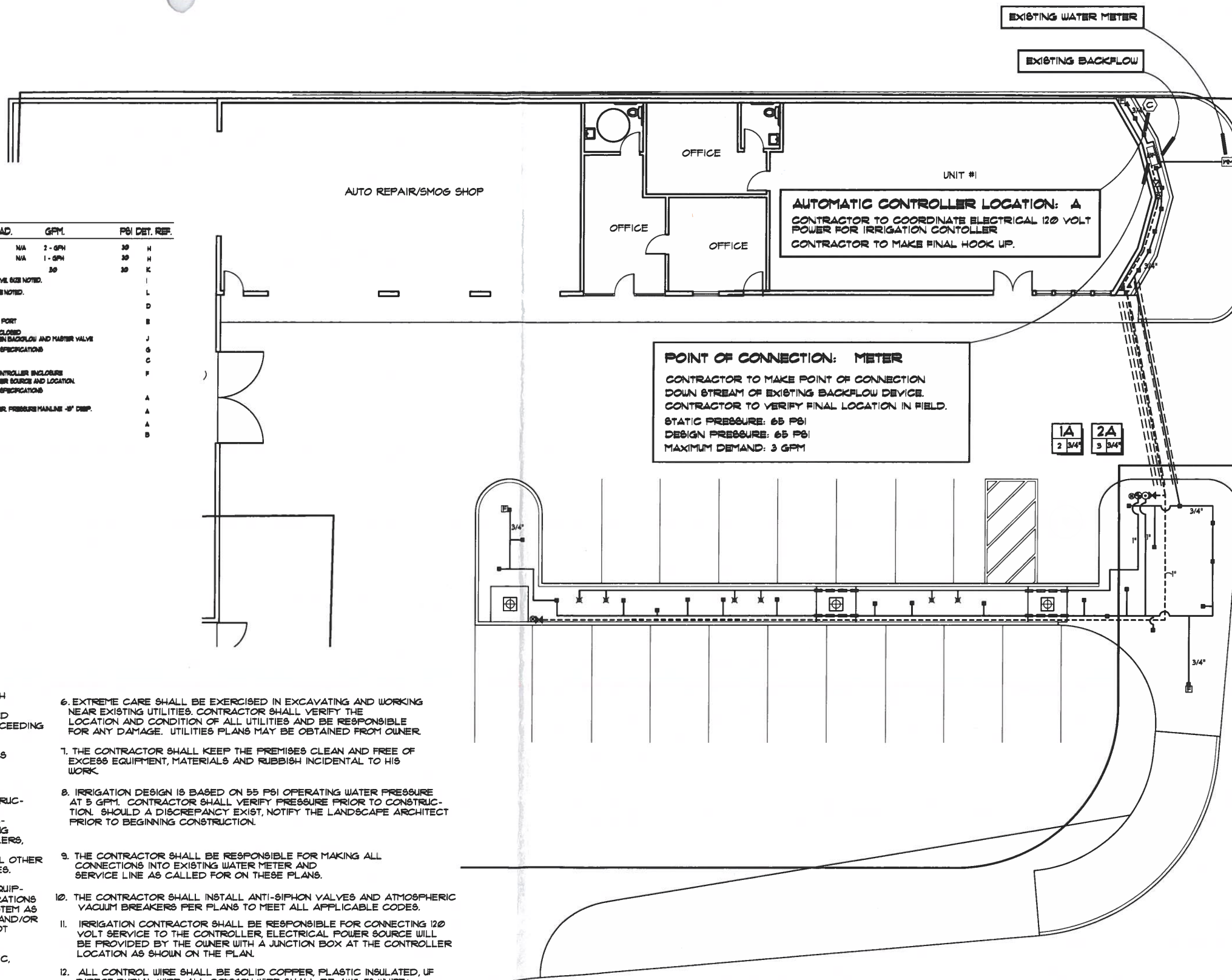


**IRRIGATION NOTES**

- GENERAL - ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CITY CODES, AND THESE PLANS.
  - THE CONTRACTOR SHALL CAREFULLY REVIEW THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK UNDER THIS CONTRACT.
  - THE CONTRACTOR SHALL CARRY ALL WORKERS PUBLIC LIABILITY, AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY OWNER.
  - THE CONTRACTOR SHALL APPLY FOR ALL PERMITS AND PAY FOR SAME.
- SCOPE OF WORK - UNLESS OTHERWISE SPECIFIED, THE CONSTRUCTION OF IRRIGATION SYSTEMS SHALL INCLUDE THE FURNISHING, INSTALLING AND TESTING OF ALL MAIN LINE, POINT OF CONNECTION, LATERAL LINE, RISERS AND FITTINGS; AND THE FURNISHING AND INSTALLING OF SPRINKLER HEADS, AUTOMATIC CONTROLLERS, CONTROL WIRES (TO VALVES), ELECTRICAL CONTROL VALVES, BACKFLOW PROTECTION, EXCAVATION AND BACKFILL AND ALL OTHER WORK IN ACCORDANCE WITH THESE PLANS, DETAILS AND NOTES.
 

THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, PROPERTY, TRANSPORTATION AND PERFORM ALL OPERATIONS REQUIRED FOR A COMPLETE AND OPERABLE IRRIGATION SYSTEM AS INDICATED ON, OR REASONABLY IMPLIED BY THE DRAWINGS AND/OR NOTES, INCLUDED AS A PART OF THE IRRIGATION WORK, BUT NOT LIMITED BY IT, ARE THE FOLLOWING ITEMS:

  - INSTALL COMPLETE OPERABLE INDEPENDENT, AUTOMATIC, IRRIGATION SYSTEMS PER THE PLANS, DETAILS, LEGEND AND NOTES.
  - ALL IRRIGATION WORK SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIALS AND WORKMANSHIP, INCLUDING SETTLEMENT OF BACKFILLED TRENCHES BELOW GRADE FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE WORK.
- THE LANDSCAPE ARCHITECT SHALL DECIDE ALL QUESTIONS RELATING TO INTERPRETATION OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT.
- PIPING SHOWN ON THE PLANS IS ESSENTIALLY DIAGRAMMATIC. CONTRACTOR SHALL ROUTE PIPING TO AVOID CONFLICT WITH STATIONARY ELEMENTS AND IN SUCH A MANNER AS TO CONFORM WITH THE VARIOUS DETAILS.
- THE CONTRACTOR SHALL AT ALL TIMES PROTECT HIS WORK FROM DAMAGE AND THEFT AND REPLACE ALL DAMAGED OR STOLEN PARTS AT HIS EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING BY THE OWNER.
  - A CONTROLLER CHART FOR EACH CONTROLLER
  - 2 KEYS FOR EACH CONTROLLER
- EXTREME CARE SHALL BE EXERCISED IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR ANY DAMAGE. UTILITIES PLANS MAY BE OBTAINED FROM OWNER.
- THE CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH INCIDENTAL TO HIS WORK.
- IRRIGATION DESIGN IS BASED ON 55 PSI OPERATING WATER PRESSURE AT 5 GPM. CONTRACTOR SHALL VERIFY PRESSURE PRIOR TO CONSTRUCTION. SHOULD A DISCREPANCY EXIST, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL CONNECTIONS INTO EXISTING WATER METER AND SERVICE LINE AS CALLED FOR ON THESE PLANS.
- THE CONTRACTOR SHALL INSTALL ANTI-SIPHON VALVES AND ATMOSPHERIC VACUUM BREAKERS PER PLANS TO MEET ALL APPLICABLE CODES.
- IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTING 120 VOLT SERVICE TO THE CONTROLLER. ELECTRICAL POWER SOURCE WILL BE PROVIDED BY THE OWNER WITH A JUNCTION BOX AT THE CONTROLLER LOCATION AS SHOWN ON THE PLAN.
- ALL CONTROL WIRE SHALL BE SOLID COPPER PLASTIC INSULATED, UP DIRECT BURIAL WIRE. ALL COMMON WIRE SHALL BE AWG #12 WHITE; ALL PILOT WIRE SHALL BE AWG #14 RED OR BLACK.
- ALL CONTROL WIRE AND IRRIGATION LINE RUNS UNDER PAVING SHALL BE ENCASED IN SCH.40 PVC PIPE SLEEVES.
- FINAL LOCATION OF CONTROL VALVES SHALL BE REVIEWED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE. ALL PVC THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.
- ALL PVC SOLVENT-WELD CONNECTIONS SHALL BE MADE WITH SOLVENT-WELD MATERIALS AS SPECIFIED ON PLANS. SOLVENT-WELD PRIMER SHALL BE APPLIED AT ALL CONNECTIONS.
- UPON COMPLETION OF THE PROJECT, CONTRACTOR TO TURN OVER TO OWNER.
  - A CONTROLLER CHART FOR EACH CONTROLLER
  - 2 KEYS FOR EACH CONTROLLER



W. SAN RAFAEL DR.

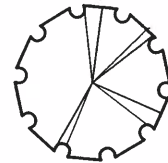
N. INDIAN CANYON DR.



# PLANT LIST

SYMBOL QTY. BOTANICAL NAME COMMON NAME SIZE

## TREES



3 PROSOPIS GLANDULOSA 'MAVERICK' "THORNLESS MESQUITE" 24" BOX

## SHRUBS & ACCENTS



2 CORDIA PARVIFOLIA "LITTLE-LEAF CORDIA" 5 GAL.



2 RUSSELLIA EQUISETIFORMIS "CORAL FOUNTAIN" 5 GAL.



4 CALLISTEMON VIMINALIS 'LITTLE JOHN' 5 GAL.



2 LEUCOPHYLLUM FRUINOSUM 'SIERRA BOUQUET' 5 GAL.



2 SENNA PHYLLODINEA "SILVER LEAF CASSIA" 5 GAL.



8 STIPA TENUISSIMA "MEXICAN FEATHER GRASS" 5 GAL.

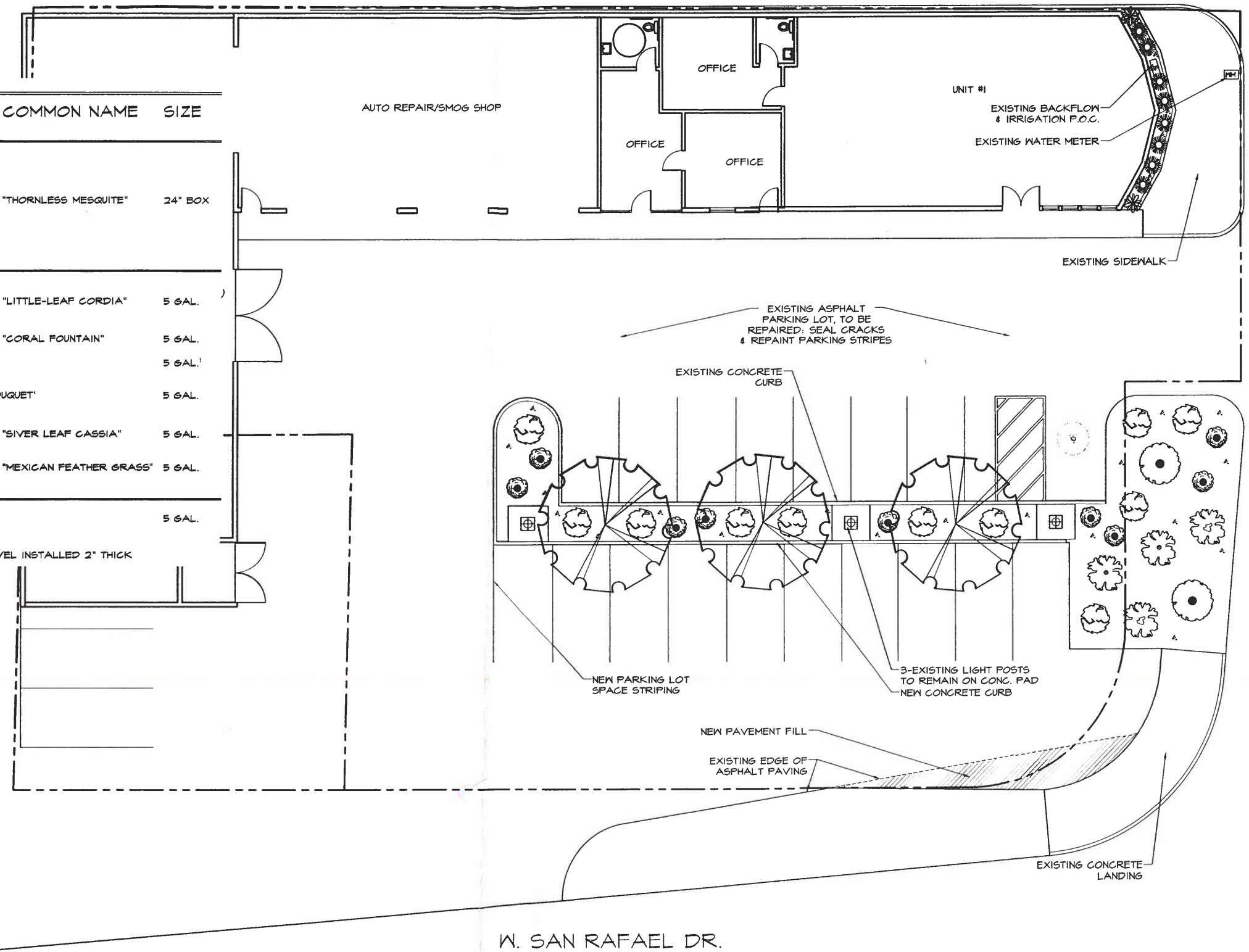
## GROUNDCOVER & GRAVEL



11 CARISSA 'GREEN CARPET' 5 GAL.

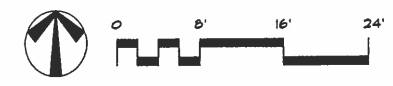


960 S.F. 3/8" DIA. "PALM SPRINGS GOLD" GRAVEL INSTALLED 2" THICK OVER WEED CLOTHE



### NOTES

1. PLANT QUANTITY: LIST IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR/CLIENT AND IS NOT INTENDED FOR BIDDING PURPOSES.
2. PLANT ALLOWANCE: THE CONTRACTOR SHALL PROVIDE A \$300 ALLOWANCE TO BE USED FOR PLANT MATERIAL NOT LISTED ON THE LEGEND, WHICH WILL BE SPECIFIED AND FIELD LOCATED BY THE LANDSCAPE ARCHITECT. IF ALLOWANCE IS NOT USED OR IS ONLY PARTIALLY USED, THE UNUSED PORTION SHALL BE REFUNDED TO THE OWNER BY THE LANDSCAPE CONTRACTOR.
3. LANDSCAPE ARCHITECT SHALL FIELD REVIEW ALL PLANT LOCATIONS PRIOR TO PLANTING. PLANTS SHALL BE PLACED IN THEIR INTENDED LOCATIONS WHILE STILL IN THEIR CONTAINERS/BOXES.
4. UNIT PRICES: LANDSCAPE CONTRACTOR SHALL FURNISH UNIT PRICES FOR ALL PLANT MATERIAL AND IRRIGATION MATERIAL WHEN SUBMITTING BID TO THE OWNER.
5. ALL TREES TO BE INSTALLED WITH ROOT BARRIERS & DEEP ROOT IRRIGATION.



HERMANN DESIGN GROUP  
77-772 FLORA ROAD  
SUITE A  
PALM DESERT, CA  
92211  
LIC# 2754 EXP. 04/30/14  
PH. (760) 777-9131  
FAX (760) 777-9132

OWNER:  
**GREF-REH LLC**  
3395 NORTH INDIAN CANYON DR.  
PALM SPRINGS, CA

PROJECT:  
**GREF-REH LLC**  
3395 NORTH INDIAN  
CANYON DRIVE  
PALM SPRINGS, CA

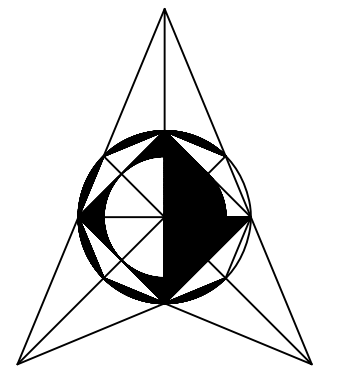
REVISIONS	DATE BY



SHEET TITLE  
**PLANTING PLAN**

DESIGNED	CH
DRAWN	OFUS
CHECKED	-
DATE	01/07/14
SCALE	1/8"=1'-0"
JOB NO.	

SHEET  
**L2.0**  
OF 5 SHEETS



**L.P. DESIGN**

1201 W. Mission Rd. # 13  
Alhambra, Ca. 91803  
Tel. (213) 440 2591  
parra7005@yahoo.es

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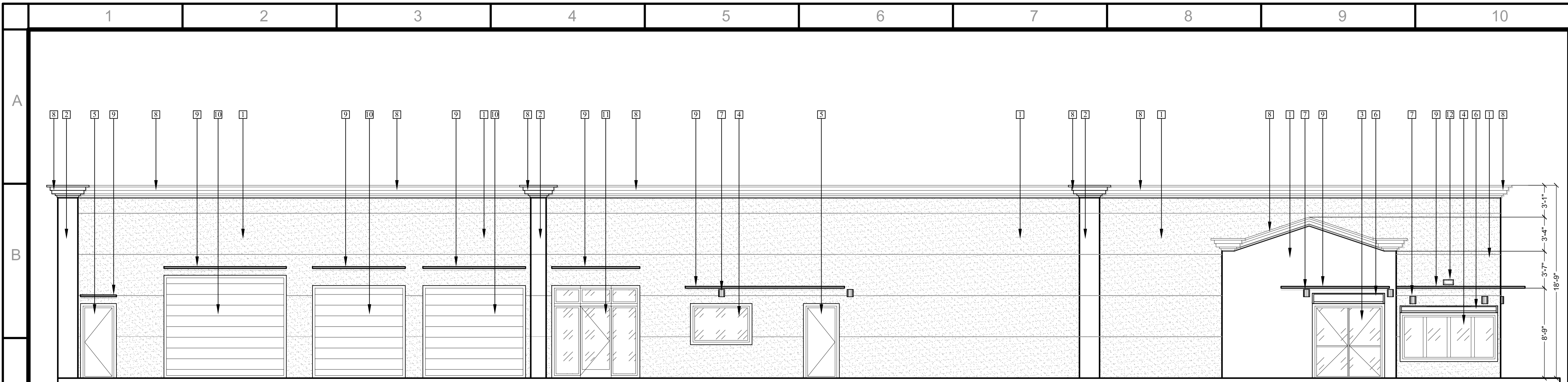
**T.I. "CANNABIS LOUNGE"**  
Project Address: 3395 N INDIAN CANYON ROAD, PALM SPRINGS, CA 92262  
APN: 669-452-063

Project:  
Tenant:

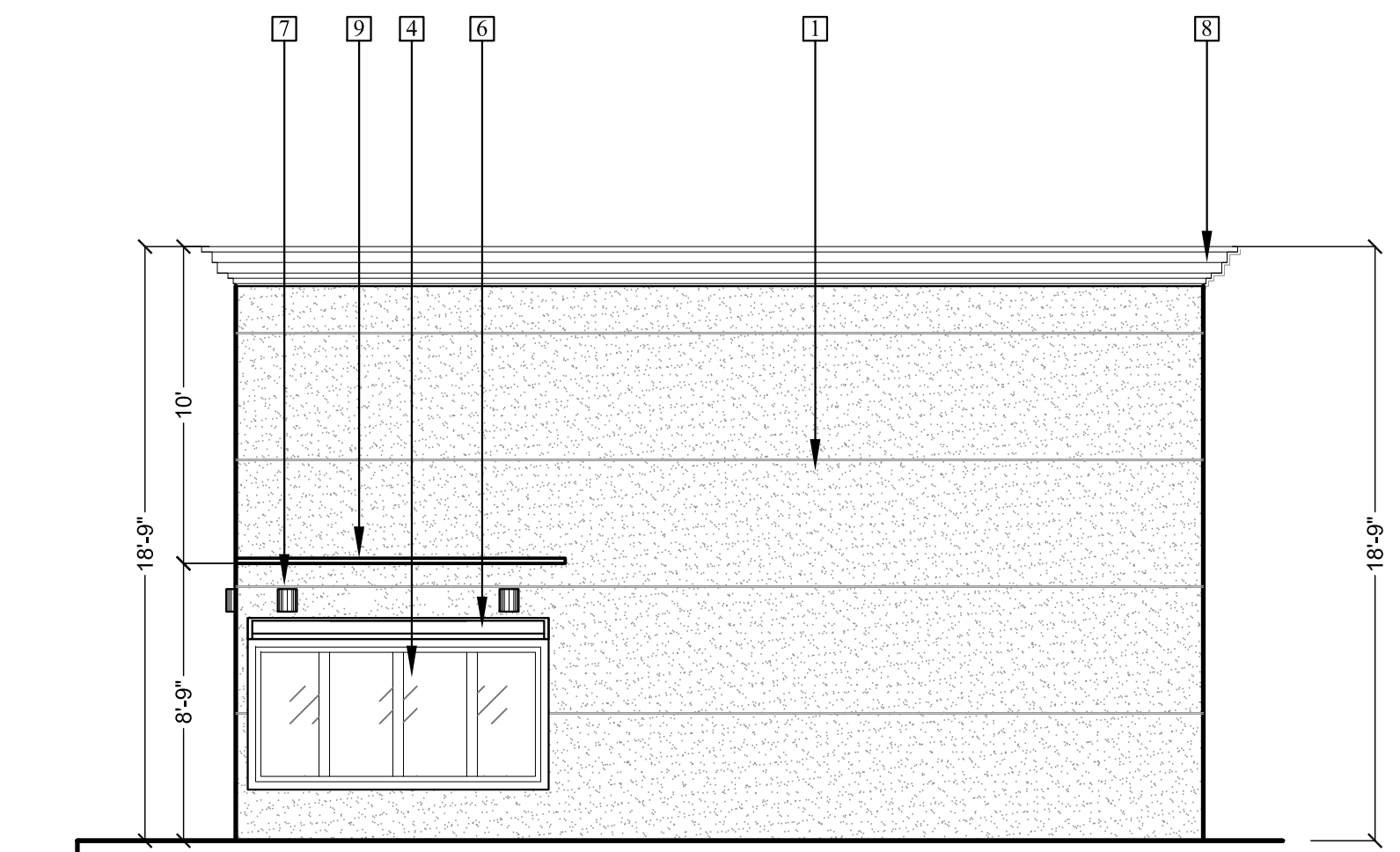
SHEET:  
ELEVATIONS

date	issued for:

Project 2018-05-03-395	SHEET No. <b>ELV-1</b>
date 12-17-2020	Scale 1/4" = 1'
Drawn by Leonardo Parra	

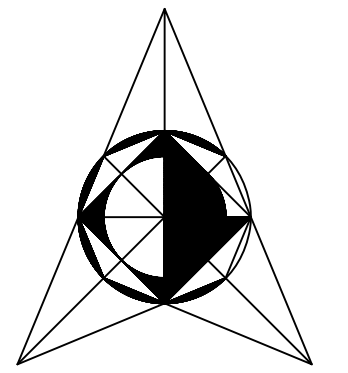


**SOUTH ELEVATION**  
SCALE 3/16"=1'-0"



**EAST ELEVATION**  
SCALE 3/16"=1'-0"

- ELEVATIONS KEYNOTES**
- 1 EXTERIOR SMOOTH STUCCO  
COLOR DARK GREEN - FLAT (Dunn Edwards - Night Mission -SSHL10-0 SPRSHLD EX FLAT)
  - 2 EXTERIOR SMOOTH STUCCO  
COLOR DARK GRAY - FLAT (Dunn Edwards - ANCHOR GRAY- DE5973 - SPRSHLD EX FLAT)
  - 3 EXTERIOR DOUBLE GLASS DOOR
  - 4 EXTERIOR SOLID WINDOW
  - 5 EXTERIOR DOOR - EMERGENCY EXIT
  - 6 SECURITY ROLL UP SHUTTER  
COLOR DARK GRAY - FLAT (Dunn Edwards - ANCHOR GRAY- DE5973 - SPRSHLD EX FLAT)
  - 7 WALL SCONE LIGHTING FIXTURE
  - 8 CROWN MOLDING - DARK GRAY COLOR
  - 9 METAL AWNING - DARK GRAY COLOR
  - 10 ROLL UP DOORS  
COLOR DARK GRAY - FLAT (Dunn Edwards - ANCHOR GRAY- DE5973 - SPRSHLD EX FLAT)
  - 11 STORE FRONT - ALUMINUM - GLASS
  - 12 UP FLOOD LIGHT - SIGN ILLUMINATION



L.P. DESIGN

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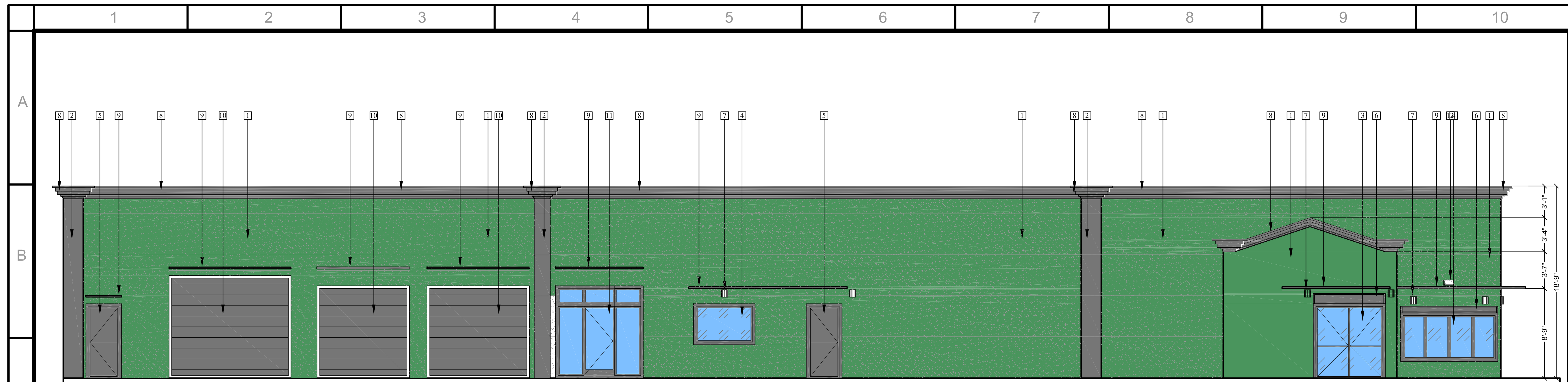
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Project: T.I. "CANNABIS LOUNGE"  
Tenant:  
Project Address: 3395 N INDIAN CANYON ROAD, PALM SPRINGS, CA 92262  
APN: 669-452-063

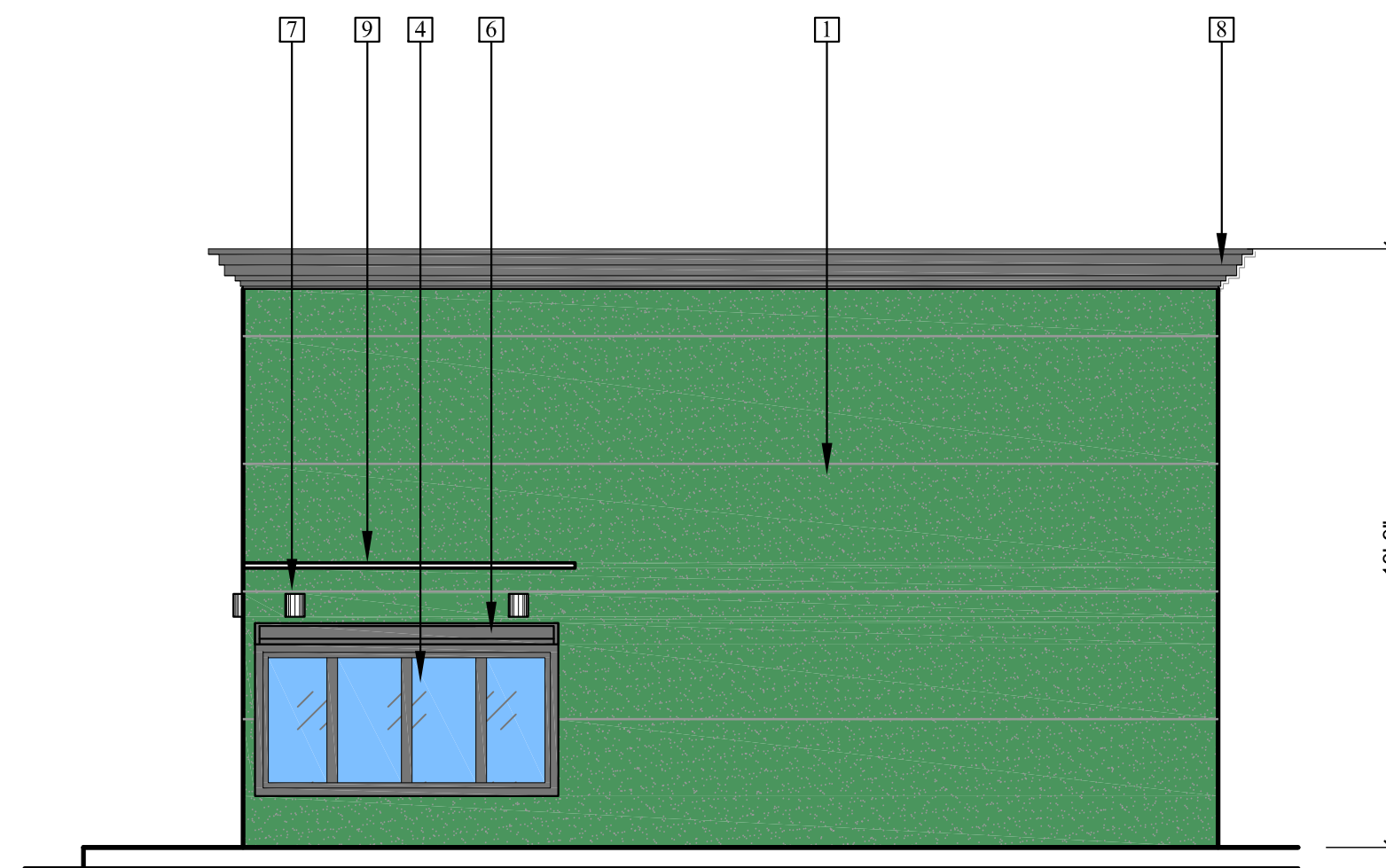
SHEET:  
ELEVATIONS

date	issued for:

Project 2018-05-03-395	SHEET No. <b>ELV-2</b>
date 12-17-2020	Scale 1/4" = 1'
Drawn by Leonardo Parra	



**SOUTH ELEVATION**  
SCALE 3/16"=1'-0"



**EAST ELEVATION**  
SCALE 3/16"=1'-0"

**ELEVATIONS KEYNOTES**

- 1 EXTERIOR SMOOTH STUCCO  
COLOR DARK GREEN - FLAT (Dunn Edwards - Night Mission -SSHL10-0 SPRSHLD EX FLAT)
- 2 EXTERIOR SMOOTH STUCCO  
COLOR DARK GRAY - FLAT (Dunn Edwards - ANCHOR GRAY- DE5973 - SPRSHLD EX FLAT)
- 3 EXTERIOR DOUBLE GLASS DOOR
- 4 EXTERIOR SOLID WINDOW
- 5 EXTERIOR DOOR - EMERGENCY EXIT
- 6 SECURITY ROLL UP SHUTTER  
COLOR DARK GRAY - FLAT (Dunn Edwards - ANCHOR GRAY- DE5973 - SPRSHLD EX FLAT)
- 7 WALL SCONCE LIGHTING FIXTURE
- 8 CROWN MOLDING - DARK GRAY COLOR
- 9 METAL AWNING - DARK GRAY COLOR
- 10 ROLL UP DOORS  
COLOR DARK GRAY - FLAT (Dunn Edwards - ANCHOR GRAY- DE5973 - SPRSHLD EX FLAT)
- 11 STORE FRONT - ALUMINUM - GLASS
- 12 UP FLOOD LIGHT - SIGN ILLUMINATION