



HISTORIC SITE PRESERVATION BOARD STAFF REPORT

DATE: June 1, 2021

NEW BUSINESS

SUBJECT: REVIEW FOR POTENTIAL RE-DESIGNATION OF A CLASS 3 HISTORIC SITE TO A CLASS 1 OR 2 HISTORIC RESOURCE INITIATED BY AN APPLICATION BY WALTER AND KATE DRIVER, OWNERS, FOR APPROVAL OF ALTERATIONS TO A CLASS 3 HISTORIC SITE, LOCATED AT 688 EAST VEREDA SUR (APN# 507-091-002), CASE 3.4226 MAA. (KL).

FROM: Department of Planning Services

SUMMARY

The property owners are requesting approval for alterations to a single family dwelling built in 1937. The property is listed as a Class 3 historic site.

Pursuant to Municipal Code Section 8.05.130 (Demolition or Alteration to Class 3 and 4 sites), the Board must determine whether the site possesses sufficient historic significance to warrant possible re-designation to a Class 1 or Class 2 historic resource and thereby issue a stay on demolition or alteration permits on the site.

The property owners are not seeking historic designation of the site.

RECOMMENDATION:

That the HSPB take no action and allow the processing of building permits for the proposed alterations.

BACKGROUND AND SETTING:

The dwelling at 688 East Vereda Sur was built in 1937 according to permit records. The City's Class 3 list notes that the home is not visible from the street but was owned by the Florsheim family (of the Florsheim Shoe company) from 1945 to 1963. The application materials note that among the other 15 or so owners, Jim and Tammy Faye Bakker (of PTL Club) owned the home for less than a year in 1987.

The application notes that the design of the Spanish Revival home is credited to Los Angeles-based architect W.C. Pennell, but the applicant has been unable to verify this.

BELOW AN AERIAL VIEW OF 688 EAST VEREDA SUR



The home is located on a 0.91-acre parcel and includes a detached accessory dwelling unit and a pool house.

<i>Related Relevant City Actions by HSPB, Planning, Fire, Building, etc...</i>	
May, 2021	Site inspection by HSPB accompanied by City Staff.

<i>Ownership Status</i>	
December 2020	Purchase by the current owner.

ANALYSIS:

Requests for alterations of Class 3 sites are processed according to Municipal Code Section 8.05.130.

Criteria and Findings for Possible Re-designation of a Class 3 Building.

If the HSPB finds that the site warrants possible re-designation, it may direct and authorize the processing of an application to re-designate the site as a Class 1 or Class 2 historic resource, which will then be considered by the HSPB and the City Council as provided in Chapter 8.05 of the Municipal Code. Any demolition/alteration permit shall be automatically stayed for a period of up to one-hundred twenty (120) days pending a re-designation decision. In making its review, the HSPB must make the following findings:

1. *That the Class 3 or Class 4 building possesses exceptional historic, architectural, archaeological, cultural or aesthetic significance to warrant redesignation as a Class 1 or Class 2 historic resource in accordance with the criteria set forth in Section 8.05.070 above; and*
2. *That the Class 3 or Class 4 building retains sufficient historical integrity relative to its original configuration, architectural features, or character.*

If the HSPB cannot affirmatively make these findings, then it shall take no action and refer the permit to the Director of Planning who shall thereafter approve the application for submittal to the Building Department for appropriate demolition or building permits.

Staff analyzed the site relative to the criteria in 8.05.070 as follows:

- a. *The site, structure, building or object exhibits exceptional historic significance and meets one or more of the criteria listed below:*

The property at 688 East Vereda Sur does not appear to exhibit exceptional historic significance. It is further evaluated below.

- (i) *The resource is associated with events that have made a meaningful contribution to the nation, state or community; or*

The information provided by the applicant does not indicate that any significant event is associated with the site.

- (ii) *The resource is associated with the lives of persons who made a meaningful contribution to national, state or local history; or*

The information provided by the applicant asserts that the home was owned by the Irving Florsheim from 1945 until 1963. Irving Florsheim (1893 – 1959) was one of two

sons of Milton S. Florsheim, the founder of the Florsheim Shoe Company. Although Irving Florsheim was active in the leadership of the company, his productive period and significant achievements at Florsheim Shoes was not associated with the home on Vereda Sur.

The application also notes that Jim and Tammy Faye Bakker of PTL Club fame owned the home. The Bakkers owned the home for less than one year, in 1987. Their ownership of the Vereda Sur home does not represent a significant association with the property.

- (iii) *The resource reflects or exemplifies a particular period of national, state or local history; or*

The dwelling at 688 East Vereda Sur was built in 1937 in the Spanish Colonial Revival style. The application materials explain that there were several alterations made to the home over time, including one in the 50's alleged to have been designed by Albert Frey, however the applicant was unable to substantiate this. Although reflective of the period between the wars (1919 to 1941), staff would assert that there are other large homes from that period that have already been designated (Casa Adair, Invernada, and the Charlie Farrell Residence) that possess greater historic significance than this one.

- (iv) *The resource embodies the distinctive characteristics of a type, period or method of construction; or*

The home at 688 Vereda Sur appears to have been constructed of conventional frame and stucco with clay tile roof and does not exhibit any particularly distinctive construction characteristics.

- (v) *The resource presents the work of a master builder, designer, artist, or architect whose individual genius influenced his or her age, or that possesses high artistic value; or*

The applicant notes that in the City's survey information, the design of the home is credited to W.C.Pennell with an addition by Albert Frey, however they have been unable to substantiate this assertion.

- (vi) *The resource represents a significant and distinguishable entity whose components may lack individual distinction, as used in evaluating applications for designation of historic districts, for parcels on which more than one entity exists; or*

The property does not qualify under Criterion vi.

- (vii) *The resource has yielded or may be likely to yield information important to national, state or local history or prehistory.*

There is no known information associated with the property relative to the pre-historic period.

Evaluation of Historic Integrity.

Historic Integrity is evaluated based on seven qualities: location, design, setting, materials, workmanship, feeling and association in accordance with guidelines of the United States Department of the Interior, National Park Service's National Register Bulletin titled: "How to apply the National Register Criteria for Evaluation" as revised from time to time.

Staff evaluated the property's integrity as follows:

Location.

The house remains in its original location on the property.

Design.

The home is designed in the Spanish Colonial Revival style. Additions appear to have been added to the home over time, some of which do not reflect the traditional architecture of the home.

Setting.

The setting of the home is intact. The front yard is maintained in mostly drought tolerant plantings with numerous fruit trees. The rear yard of the home includes generous amounts of turf and a swimming pool. A front courtyard is walled in with Saltillo tile pavers. Although no documents have been provided to denote the original landscape, it appears the setting is similar to other homes of similar vintage in the vicinity.

Materials.

Most of the material integrity of the property remains, however there have been numerous additions and alterations made to the home. The roofs are generally consistently clad in two-piece clay barrel tile. The walls are white painted stucco and the rafter tails that extend beyond the outer walls are mostly unpainted natural wood color. Numerous French doors and windows with a natural clear stain finish appear to be newer, and not original to the home.

Workmanship.

As a custom-designed and built home the workmanship of the home appears consistent with custom homes from the same era.

Feeling.

The home's traditional architecture and expansive yards and lawn areas convey a feeling of a large custom-built home.

Association.

No specific information has been provided to suggest any particular association with persons, events, etc. The home conveys the typical type of development in large, private homes from the era of the 1930's.

ENVIRONMENTAL ASSESSMENT

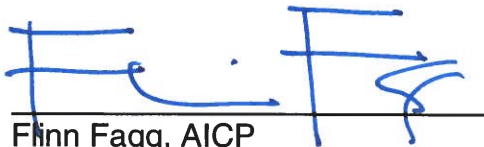
Although the proposed alteration is considered a project pursuant to the guidelines of the California Environmental Quality Act ("CEQA"), the possible action of the HSPB to initiate a re-designation application and to place a stay of demolition/alteration on the property is not subject to review under CEQA pursuant to Sections 15060 (c)(2) (the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment), and Section 15060(c)(3) (the activity is not a project as defined in Section 15378) of the CEQA Guidelines, California Code of Regulations, Title 15, Chapter 3, because it has no potential for resulting in physical changes to the environment, directly or indirectly.

CONCLUSION:

The property at 688 East Vereda Sur is a typical example of a large custom-built home from the 1930's designed and constructed in traditional Spanish Colonial Revival style. The home is in very good condition overall. While it may be concluded that the home is reflective of the period between the wars (1919 to 1941), and a fairly good representation of a Spanish Colonial Revival home, it does not appear to be particularly noteworthy or "exemplary" in terms of the criteria necessary for re-designation from a Class 3 site to a Class 1 (Landmark) or Class 2 (Historic Merit) historic resource. The work that the applicant is proposing will improve the overall condition of the home, and remove extraneous surface mounted conduit and other "clutter" from the home's exterior. Therefore, Staff recommends that the HSPB take no action and direct staff to administratively process the permits for alteration of the home.



Ken Lyon, RA, Associate Planner
Historic Preservation Officer



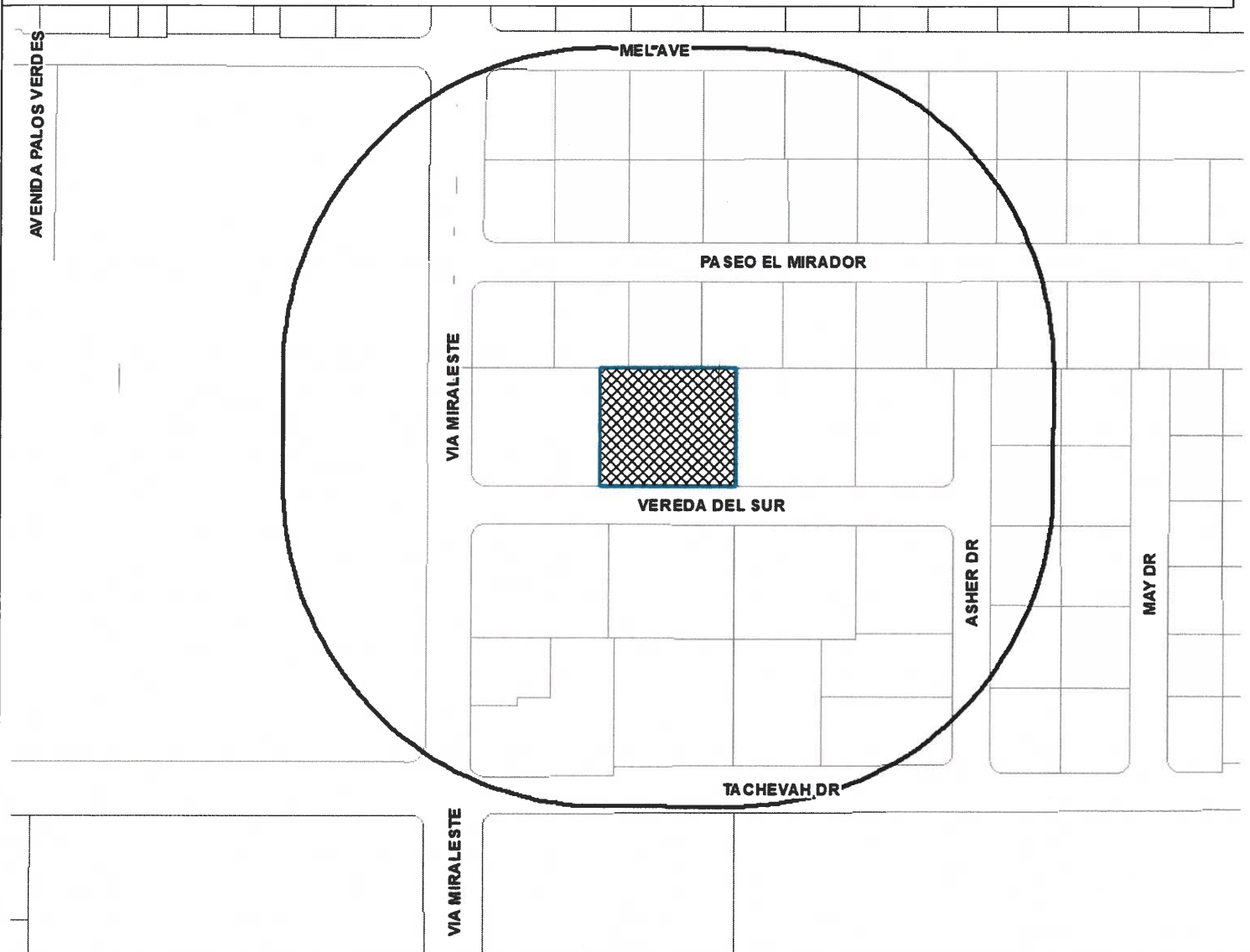
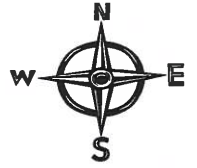
Flinn Fagg, AICP
Development Services Director

Attachments:

1. Vicinity Map.
2. Application, related background materials, photos.



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS

Case 3.4216 Alterations to Class 3
688 Vereda Sur



4/26/21

Ken Lyon, Historic Preservation Officer
Department of Planning Services
City of Palm Springs, California
3200 Tahquitz Canyon Way
Palm Springs, California 92263

RE: Historic review of proposed renovation to 688 E Vereda Sur

Dear Ken,

I am enclosing an application for the review of our proposed renovation and addition to the single-family residence located at 688 E Vereda Sur on behalf of the owners, Walter and Kate Driver. Their intention is to respect the original aesthetics of the home while correcting a number of structural, mechanical and special issues with the home, and improving the energy efficiency. They want the renovated home to feel as if it was the original architect's intent.

Existing Home

This Spanish Revival-style home was built in 1937 in the El Mirador Estates tract. The design is attributed to Los Angeles-based architect W.C. Pennell in the city's inventory, but our research cannot confirm this. The previous owner attributed a 1950's renovation to Albert Frey, but our research has also not confirmed this. None of the building permits on record with the city identify any architects' names.

It's currently listed as a class 3 site in the Palm Springs historic resource inventory with a 7R designation. The property consists of a 3862 SF main home including attached garage, 774 SF ADU, and 100 SF pool house. The ADU, pool house, and (we believe) approximately 1350 SF of the main house and garage are not part of the original design due to their differing rooflines and construction methods, and were added at various stages beginning with a permit issued in 1955. Permit research shows a number of renovations from 1955-1959 that included the addition of the pool and "guest house" as well as other more vague construction work (scope and square footages are missing from those permit records). I've enclosed our permit research for your reference. One renovation to note included addition of sliding doors that have since been changed to French doors, so the exact sizes and style of the original doors are unknown.

Proposed Scope of Work

Our proposed scope of work includes:

- modifications to approximately 35% of the street-facing elevation (25% of the total perimeter linear footage) of the main house & garage in order to correct a number of issues with the existing construction (sagging roofs, leaking roof deck, inefficient HVAC) as well as increase the habitable area. We believe none of the structure that we are modifying is of the original design as evidenced by stucco-clad interior spaces that were once exterior walls, and boarded-up windows inside some rooms. The existing kitchen, pantry, and laundry room all have a flat roof that would not have been of the original design, and a roof deck seems to have been added above the laundry room after the original construction as it's poorly integrated. The existing east bedroom is a step down from the rest of the house and is only accessible from outside, so we believe this was also a later addition. Our proposed modifications to this portion of the main home include: renovation of the kitchen including rebuilding the roof to integrate with the original gable roofline; rebuilding the existing east bedroom (same size and location) to better integrate with the home and roofline; addition of a pantry, powder room, owners' bedroom suite (replacing existing garage), and a family/media room; and the addition of a subterranean basement for mechanical, storage and playroom. The basement mechanical space will allow us to eliminate current unsightly mechanicals on the roof above the kitchen and to improve the energy efficiency of the home without distracting from the exterior aesthetics. We will also rebuild the existing roof deck in the same size and location but improve the structure, waterproofing, and increase the safety with stairs and railings to code. The proposed owners' suite mimics the street-facing elevation and gable roofline of the existing garage but extends it toward the street about 17'. The existing plan and street-facing elevation of bedroom 5 is replicated in the proposed design. The proposed street facing elevation of the main home will not change in size and will not be a departure from the current design with the exception of new windows in the bedroom suite.
- addition to the south side (street side) of the existing ADU; this addition will modify 100% of the street-facing elevation in that the existing ADU will no longer be visible from the street, but the proposed addition simply abuts the ADU and retains 76% of the perimeter linear footage of the existing structure. The addition will include an additional guest bedroom suite, a home office and gym, and a 2-car garage to replace the original under-sized garage. The proposed ADU addition has a gable roof line, mimicking the original house design, which will be carried along the full length of the addition toward the



street. This gable roof elevation facing the street will be similar in size and aesthetic to the existing garage street-facing elevation. The existing ADU has a flat roof and parapet with a clay tile covered patio. This covered patio will be repeated along portions of the ADU, contributing to the Spanish Revival aesthetic and authenticity of the addition. The roofline along the length of the addition is stepped in and out to break up the mass and also mimic the roof design of the original house.

- replacement of the existing pool house with a new pool bath and covered patio. We do not believe the existing pool house (consisting of a bathroom and sauna) are original. The existing structure also extends beyond the setback and is systemically and structurally not sound, so demolition is imminent.
- addition of a hot tub within the existing pool footprint
- modification to the existing south courtyard wall to relocate the gate from the east side to the south side

Square footages:

Existing main house: 3393 SF plus 371 SF garage

Existing ADU: 774 SF

Existing pool house: 100 SF

Total: 4638 SF

Proposed main house: 5199 SF plus 2264 basement

Proposed ADU: 2137 SF plus 867 SF garage

Proposed pool bath: 113 SF

Total: 10580 SF

You can see from the enclosed plans and elevations that our proposed renovations are extremely sensitive to the Spanish Revival style and original elevations of the house, but will correct a number of poorly integrated and poorly designed additions in order to bring the exterior of the home back to a more authentic representation of the original home's style. Even though we are proposing an increase in the habitable area and major reconstruction work to a portion of the home, our goal is to have the completed renovation feel as if it were an integral part of the original structure.

There are only a few remaining original windows in the home, so we have used these as the basis for custom replacement windows and doors throughout from Loewen Windows and Doors with historically accurate mullion patterns. Windows and doors will be a historically accurate "moss" green, with a typical mission-finish white stucco on all exterior walls and dark brown wood trim.



The exposed rafter tails and thin eave profile will be replicated in the reconstruction and additions, while also bringing the roof construction up to today's structural and energy requirements.

History

Between July 2020 and April 2021, we have conducted research on the home, address and previous owners through the following resources:

- PS Historical Society online database & with Renee Brown directly
- PS City Hall building department permit records
- PS Library "Accessing the Past" archives
- CA digital news archive, including Desert Sun and LA Times archives
- Chain of Title records
- Pacific Coast Architecture Database
- UCSB archives

Our research did not reveal any record of the home in architectural archives in the state. W.C. Pennell established his own practice in 1936, but focused primarily on commercial projects, such as schools and theatres. Our permit research did not find the original building permit so we have not been able to confirm that he designed the home.

The title history begins with the first owners Lillian Leue and Bernita Neusteter taking possession in 1937. It is unclear if they contracted the architect directly or if they purchased the home from the builder.

Since being built, the home has changed ownership more than 15 times. Most owners have been part-time Palm Springs residents, some of whom appeared in various archived newspaper articles about social events in the 1940s-1960s, but our research did not reveal any significant events that were hosted by any of the owners at this residence. Of the more than 15 owners, the only owners of note from our research have been Irving Florsheim of the Florsheim Shoe company, and Jim and Tammy Faye Bakker of PTL Club fame.

Florsheim owned the home from 1945 to 1963. He was already a prominent business man when he purchased the home and our research did not reveal any significant achievements or productive period linked to this home during his ownership. During his ownership, he did some permitted renovation work (possibly designed by Albert Frey) and contracted interior designer Billy Haines to renovate the interiors. None of this interior design work is evident today.



The Bakkers were already significant media figures when they purchased the home in February, 1987. It was during their short period of ownership that the Bakker's scandalous activities came to light, so the home was not associated with them during their productive period. They owned the home for less than a year – it was sold to Samuel Apodaca in August 1987 prior to Jim Bakker being indicted.

Summary

As a founding member of the Palm Springs Architecture Alliance and a past presenter at the PSPF Preservation Matters symposium, I am a shepherd of Palm Springs' architectural heritage and understand the value of preserving historically significant properties. The owner, Kate Driver, is an interior designer and has emphasized how much she wants the finished home to feel as original and authentic as possible; this will not be generic modern renovation of a Spanish Revival. The project can be an example of how preservation and restoration can coexist with modernization.

We do believe the home has some authentic Spanish Revival characteristics that can be restored and celebrated. However, after reviewing the home's history outlined above against Palm Springs' and the National Park Service's evaluation guidelines, I don't believe that this home qualifies for Class 1 or 2 designation:

- A) The home is not associated with events that have made a meaningful contribution to the nation, state or community, and
- B) The home is not associated with the lives of persons who made a meaningful contribution to the national, state or local history at the time of the ownership.

Therefore, we are requesting that the home remain as a Class 3 designation and that the board allow us to proceed with the renovation and addition in a sensitive manner as proposed.

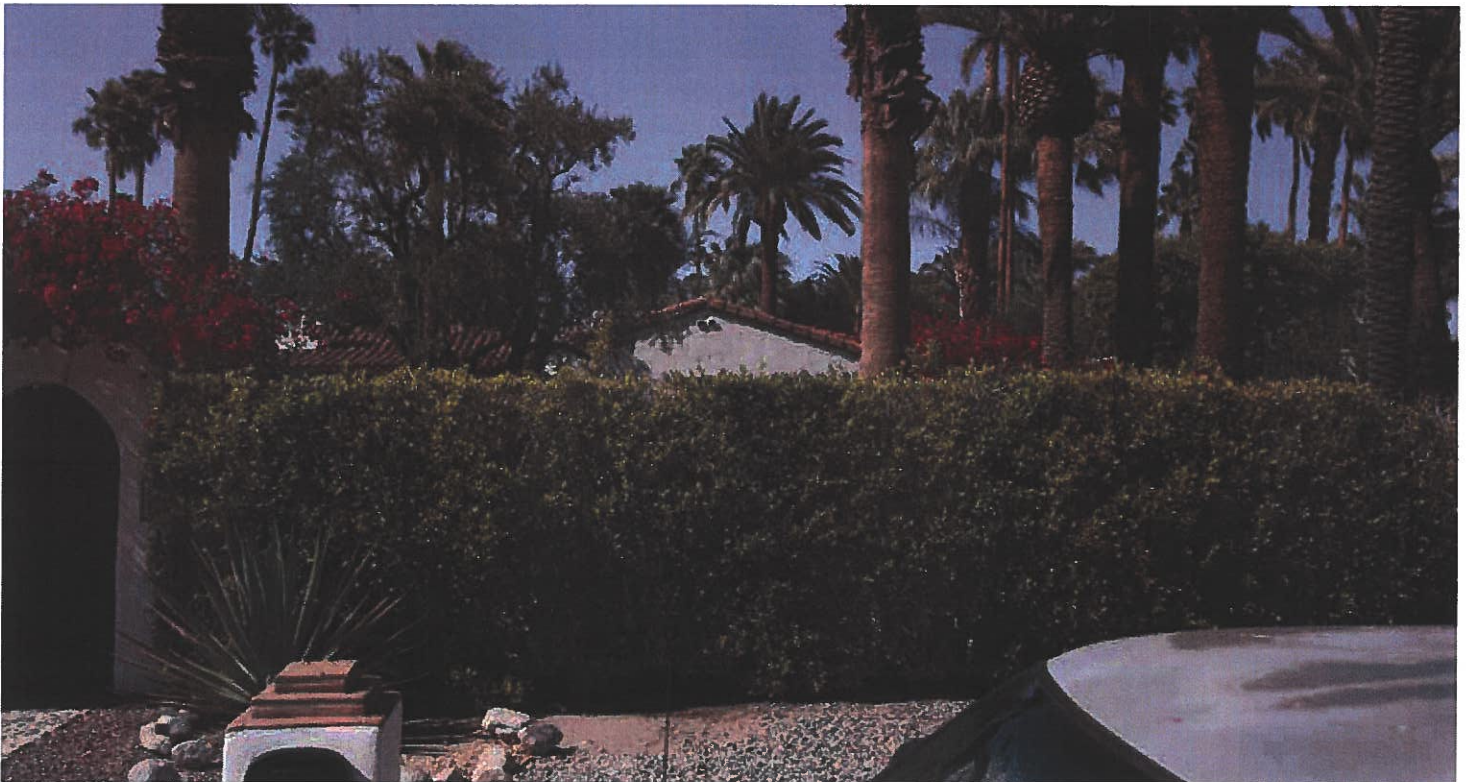
Please don't hesitate to ask if there are additional materials or information that would help in your review and determination.

Sincerely,

Duane Smith
Principal Designer, HMM
duane@hundredmile.house



1 street view of south property line and main gate



2 street view with existing garage visible over hedge

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AS-BUILT PHOTOS



3 view at open driveway gate



4 view from driveway inside gate, with existing garage on left

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5 view west from driveway of garden between PL wall and interior courtyard wall



6 view north from front yard of interior courtyard wall (proposed courtyard entry gate will be in this wall)

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7 view north from inside front pedestrian gate toward garage



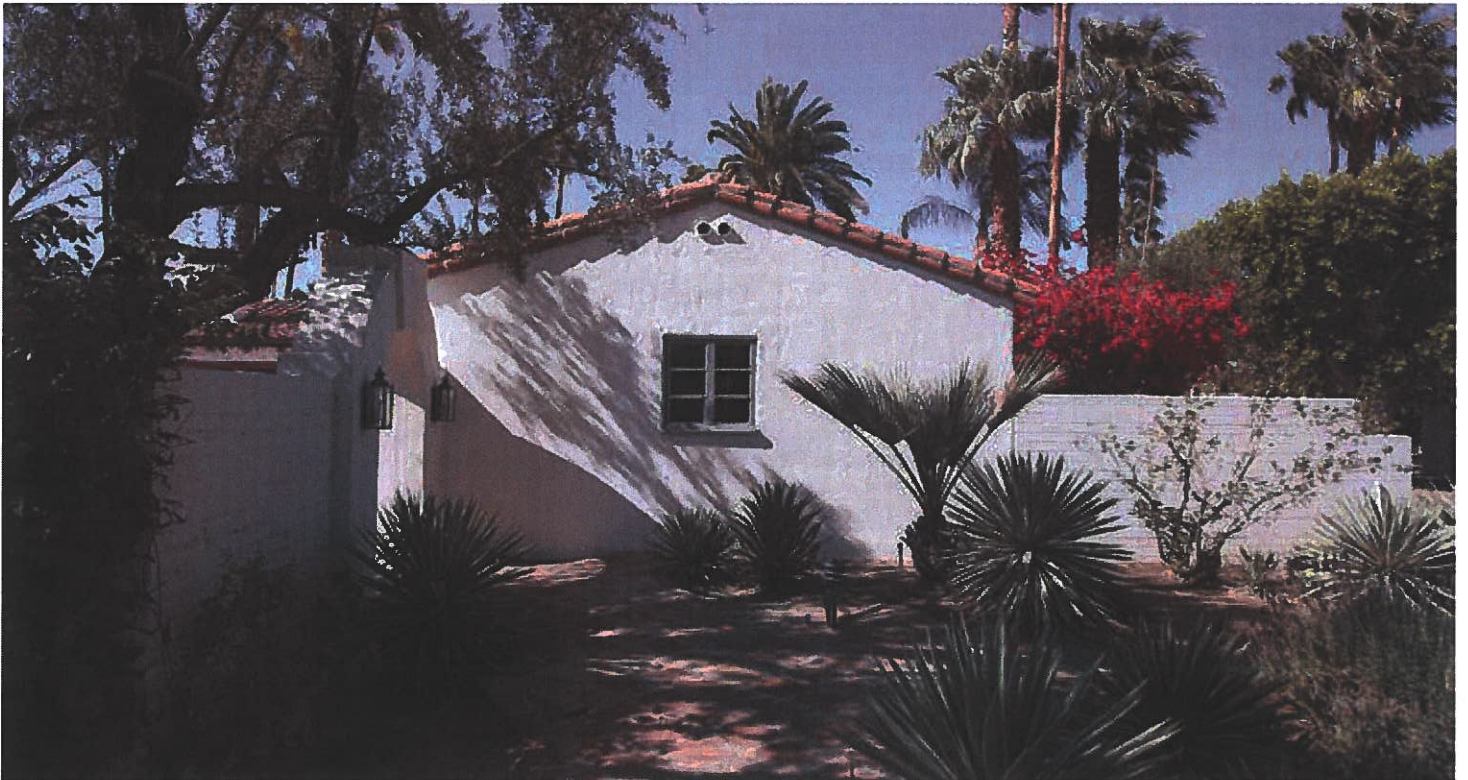
8 view west from driveway toward garage (left) and bedroom 5 (right)

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9 view west from driveway toward entrance arch to central courtyard (left) and garage



10 view north from pathway toward garage and entrance archway (on left); proposed owners' suite will replace the garage and replicate this elevation and gable roofline

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11 view northwest from pathway toward entrance arch to central courtyard; proposed archway would be relocated to middle of south courtyard wall



12 view west from driveway toward bedroom 5 (left) and kitchen (right); note the flat roof over kitchen

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13 view west toward kitchen; note the flat roof and wing wall on right – details not more common in mid-century rather than Spanish revival



14 view southwest from backyard toward bedroom 5 (left) and kitchen (right); note the different roofline of bedroom and kitchen

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15 view southwest from back yard toward kitchen; note the flat roof and mechanical equipment on kitchen roof



16 view northeast in central courtyard toward garage (right) and stairs to roofdeck; note the different roofline of garage and the poor integration of the roofdeck

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17 view east from courtyard toward garage; proposed owners' suite will replace the garage but replicate the gable roofline; owner's suite will have doors onto the courtyard



18 view north in the central courtyard with garage on right; this will be the view from the proposed new entrance gate into the courtyard

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19 view south from back yard toward kitchen



20 view south from back yard toward dining area; note the awkward integration of the kitchen roof visible between the bougainvillea

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21 view south from backyard toward living room



22 view southeast from backyard toward bedroom 3 (right) and living room

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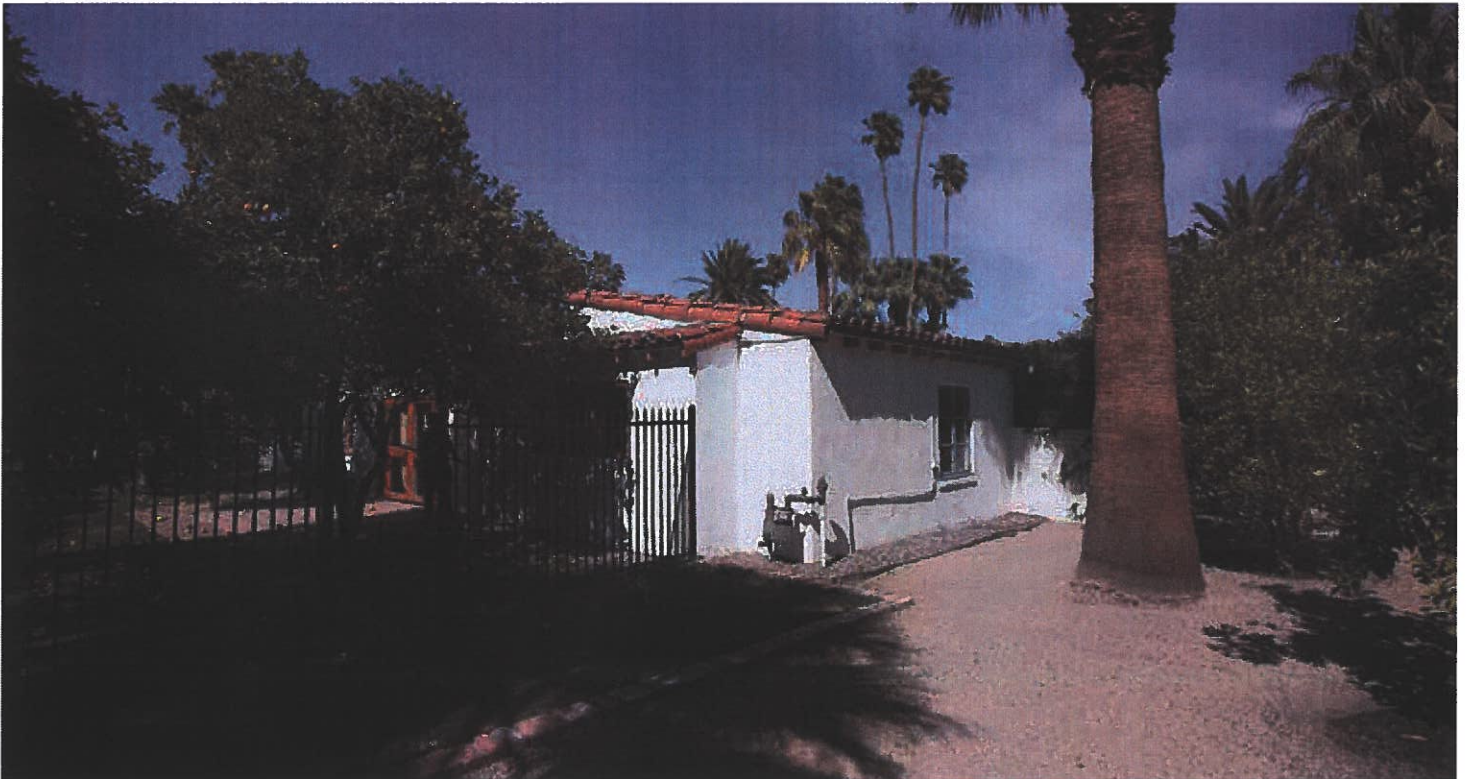
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23 view east from west side yard toward bedroom 2



24 view northeast from southwest front yard toward bedroom 1

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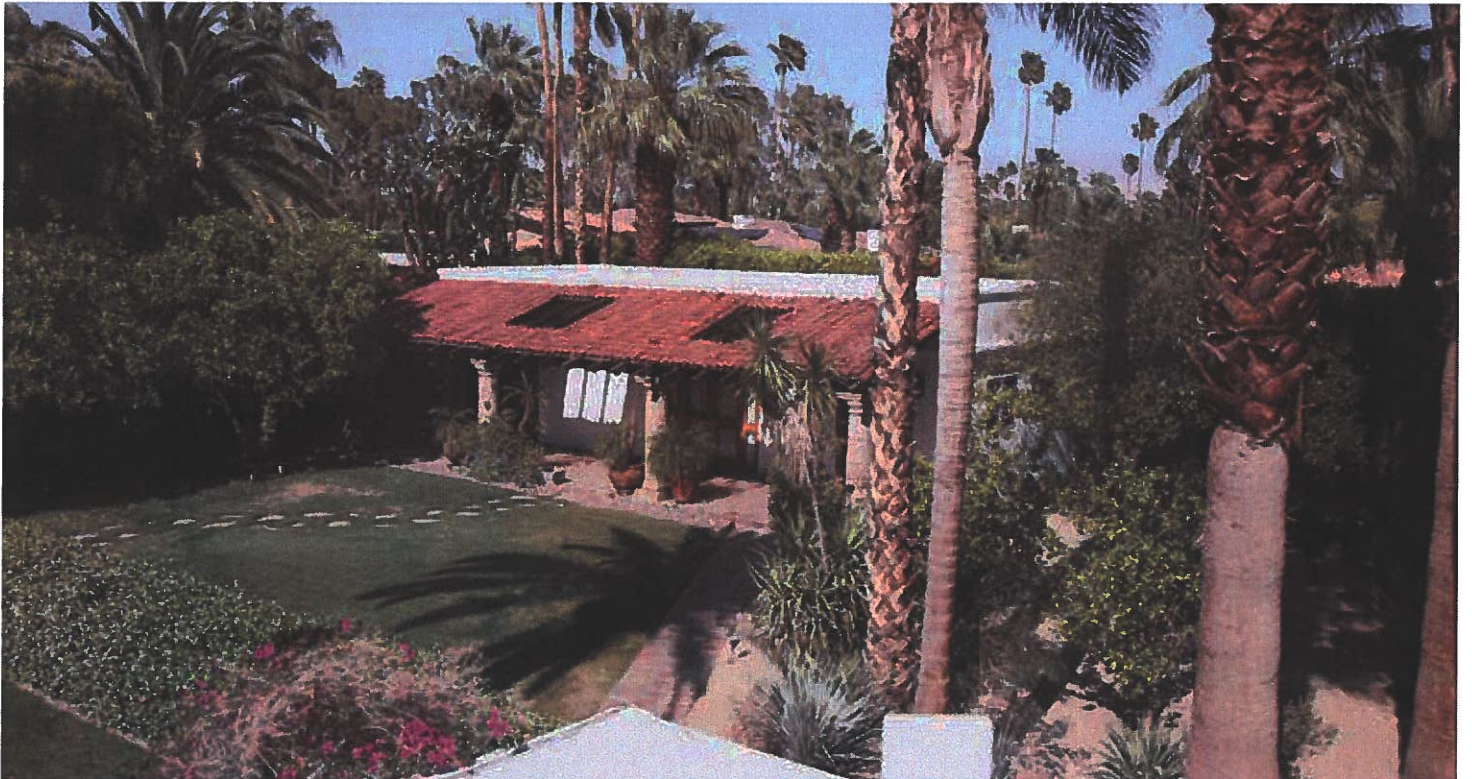
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25 view northeast from backyard toward casita west elevation; note different covered patio style, and taller parapet wall with rounded stucco detail that was not common in the era of the original house



26 view of casita from roof deck

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27 view north from driveway toward casita with archway along path



28 view west from pool of entrance to pool house

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29 view inside poolhouse; shower on right and sauna at back



30 view west from roofdeck; not various rooflines that suggest a number of additions and renovations at various time periods

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31 view west from roof deck across living room roof with kitchen roof on right (white BUR)



32 view south from roofdeck over garage roof

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33 view southeast from roofdeck over bedroom 5 roof; red highlighted area was an exterior space at one time and was enclosed to create a mechanical room



34 view south from roofdeck over bedroom 5 (left) and garage (in distance)

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35 view northeast from roof deck over kitchen roof; note mechanical equipment and poor drainage



36 view north from roofdeck over kitchen roof

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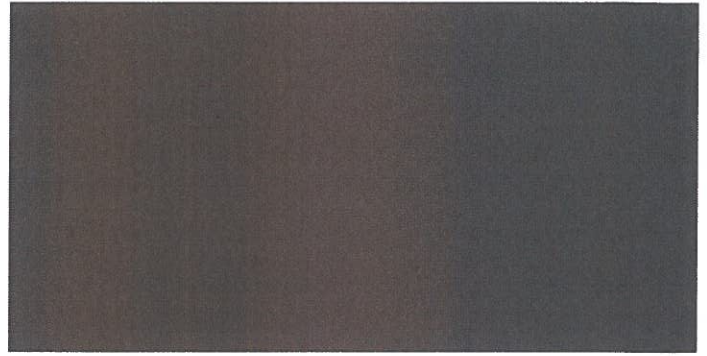
37 view north of roofdeck; note unsafe railings and awkward construction at northeast corner suggestion this was an addition that was not well integrated with existing construction

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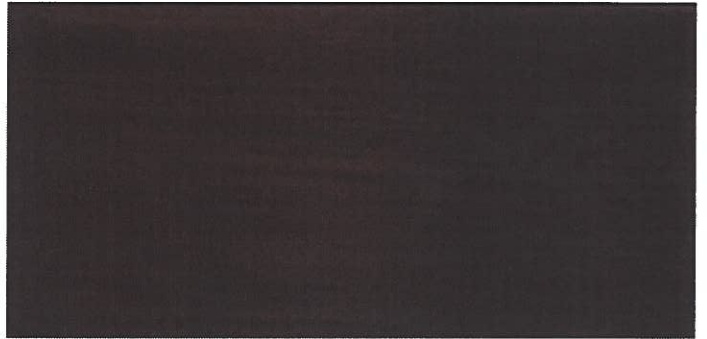
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EX3: clay barrel tile



EX7: window and door frames - Loewen Moss



EX3: wood stain; Behr "Slate"



EX1: stucco, smooth white



EX4: painted metal flashing to match existing
Dunn Edwards DET634 Downing To Earth



Existing french casement window style to be replicated by Loewen in aluminum-clad wood

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688 E VEREDA SUR, PALM SPRINGS
MATERIALS

Place of Death: Dist. No. 3358 STATE OF CALIFORNIA 72
 County of Riverside, DEPARTMENT OF PUBLIC HEALTH
 City, Town or Rural VITAL STATISTICS Local Registered No. 18
 District of West Riverside. STANDARD CERTIFICATE OF DEATH
 Full Name: HARRY STONER, Street and No. 130 Twining St.
 Residence: No. 130 Twining St.
 Sex: Male Color or Race: White. Single, Married, Widowed or Divorced? Married.
 Husband of: Irene Stoner.
 Date of Birth: April 10, 1895.
 Age: 37 yr. 11 mo. 23 days.
 Occupation: None.
 Birthplace: Kansas.
 Father: Name, Charles J. Stoner, Birthplace: Pa.
 Mother: Maicen Name, Carrie Mitchell Birthplace: Illinois.
 Length of Residence: City, Town or Rural District of Death: 8 yrs.
 In California..... 8 yrs.
 Informant: Irene Stoner,
 Address: West Riverside, Calif.

Burial, Cremation or Removal? Burial
 Place: Evergreen Cem. Date: 4-5-23
 Embalmer: License No. 1966
 Signature C. B. Whiser,
 Funeral Director: M. H. Simons & Co.
 Address: Riverside, Calif.
 Date of Death: April 5, 1933.

MEDICAL CERTIFICATE OF DEATH

I HEREBY CERTIFY that I attended deceased from April 3, 1933 to April 3, 1933 that I last saw him alive on April 3, 1933, and that death occurred on the above stated date at the hour of 11:15 A. M.

The principal cause of death and related causes of importance, in order of onset, were as follows:

Acute Dilatation of heart.

Was there an Autopsy? No.

Signature: Harrison K. Pierce, M. D.

Address: 3619 12th St. Riverside, Calif.

Received for Record Jan 7, 1937, at 9 o'clock A. M. at request of Security Title #279
 Ins & Trus. Co. Copied in Book no. 308 of Official Records, page 208 et seq, Records of
 Riverside County, California.
 Fees \$1.00 Jack A. Ross, Recorder,

Compared: Copyist J. Ferrand; Comparer L. Hyde.

SECURITY-FIRST NAT. BK. OF L. A.) GRANT DEED
 TO)
 LILLIAN N. LEVIE ET AL)

SECURITY-FIRST NATIONAL BANK OF LOS ANGELES, a National Banking Association, with its principal place of business in the City of Los Angeles, California, as Trustee under its Declaration of Trust No. D-6984, in consideration of Ten and No/100 (\$10.00) Dollars, the receipt of which is hereby acknowledged, does hereby grant to LILLIAN N. LEVIE, a married woman, and BERNITA NEWSTETER, A married woman, as joint tenants, and as their separate property, all that real property situate in the County of Riverside, State of California, described as follows:

LOT EIGHT (8) of El Mirador Estates, as shown by Map on file in Book 19, page 76 of Maps, records of Riverside County, California.

EXCEPTING AND RESERVING unto the Grantor, its successors or assigns, easements and rights of way for the laying and maintaining conduits and pipe lines for gas, water, electricity, telephone and for other public utility purposes, together with the right of ingress and egress for the purpose of erecting, constructing, laying, maintaining, repairing and operating the same, over, under, along across, all of the area within five (5) feet of the exterior boundaries of the property hereby conveyed, together with the further right to convey or lease the whole or any portion of such easements and rights of way and right of ingress and egress to any firm, corporation, municipal body, person or persons.

ALSO EXCEPTING AND RESERVING unto the Grantor, its successors or assigns, the right to any deposits of oil, gas or other hydro-carbon substances, and water underlying said land, provided, however, that such reservation shall not be deemed to give the Grantor, its successors or assigns, any right to enter upon said premises for the development of any such water, oil, gas, or other hydro-carbon substances.

The herein described land lies within the boundaries of Coachella Valley County Water District, Palm Springs Cemetery District, Palm Springs Police Protection District, Palm Springs Fire Protection District, Palm Springs Sanitary District.

SUBJECT TO ALL TAXES for fiscal year 1936-37; and to all assessments, bonds and liens for street improvements of all kinds and other public improvements, and to all existing restrictions, reservations, conditions, easements, rights of way and encumbrances of record.

ALSO SUBJECT to restrictions, reservations, and conditions as set out in Declaration of Restrictions recorded April 27, 1934, in Book 171 page 385 of Official Records of Riverside County, California.

ALSO SUBJECT to a right of way granted to the Southern Sierras Power Company, a corporation, its successors or assigns, by Deed recorded November 6, 1935, in Book 256, page 515 of Official Records of Riverside County, California.

This conveyance is made and accepted and said realty is hereby granted subject to such of the following express conditions, provisions, restrictions and covenants, hereinafter referred to as the "conditions", as may, by their terms, be applicable to said realty, which conditions are for the benefit of said realty and of said Tract, and of each and every lot therein, and shall inure to and pass with said Tract, and each and every lot therein, and shall apply to and bind every successor in interest of the parties hereto, and are imposed upon the realty hereby conveyed as a servitude in favor of said Tract and each and every lot therein, as the dominant tenement or tenements, and which are as follows, to-wit:

1. That said property shall be used for residence purposes only, and no buildings or structures other than one single one-family residence, with the customary outbuildings, including a private garage, shall be erected, placed or maintained thereon, and said buildings or structures shall be located on said property according to the plans and specifications referred to hereinafter in paragraph 8, and shall not exceed one story in height.

2. That any residence building erected, placed or maintained on Lots 2 to 9 inclusive, of said El Mirador Estates, shall cost and be fairly worth not less than \$6,000, and that any residence building erected, placed or maintained on the remainder of the lots in said El Mirador Estates shall cost and be fairly worth not less than \$4,000, including reasonable architect's and contractor's fees.

3. No building, or any part thereof, shall be erected, placed, permitted or maintained nearer than twenty-five (25) feet to the front lot line, nor fifteen (15) feet to the side lines of any lot. For the purpose of determining the set back of buildings, all lot lines contiguous to any street shall be deemed to be front lot lines.

4. That no temporary building shall be erected, placed or maintained on said property.

5. That all buildings erected, placed or maintained on said property shall be erected thereon from new material, and no old building shall be moved thereon from elsewhere.

6. That all sanitary conveniences shall be within the walls of the house or building and connected with underground drainage, which drainage shall consist of private cesspool, septic tank or other sewage receptacle; provided, however, that whenever a sewer line is constructed to within 80 feet of any portion of the front line of said property said sanitary conveniences shall be connected with said sewer line if it is possible to connect therewith.

7. That no derrick or other structure designed for use in boring for water, oil or natural gas, shall be erected, placed or maintained upon said property, nor shall any water, oil, natural gas, petroleum, asphaltum or hydro-carbon products or substances be produced or extracted therefrom.

8. No building or structure of any kind shall be erected on any of the property hereby conveyed until plans for such building or structure, accompanied by specifications therefor, shall have been submitted to and approved by a committee of three to be known as the "Building Committee" and to consist in the first instance of the following persons: Sallie Stevens Nichols, Culver Nichols and John Porter Clark, subject to powers hereinafter conferred on Security-First National Bank of Los Angeles. A majority of the members of the Committee as it exists from time to time shall have full power to make appointments to fill any vacancy in the membership of said Committee, such power to be exercised by duly recorded written instrument. Provided, however, that Security-First National Bank of Los Angeles, a National Banking Association, with its principal place of business in Los Angeles, California, during

such time as it may be the record owner of any property in said "El Mirador Estates", may, by duly executed and recorded written instrument, remove any or all of the members of said Building Committee and/or appoint any person or persons to fill vacancies in the membership of said Committee caused by such removal or otherwise, such power in Security-First National Bank of Los Angeles to appoint members of said Committee shall be a continuing power exercisable at its option at any time any vacancy or vacancies shall for any reason whatsoever occur in the membership of said Committee, but in the absence of the exercise of such power by said Bank evidenced as aforesaid by duly executed and recorded written instrument, said Committee shall have power, as above stated, acting through a majority of its members, to fill vacancies in its own membership. Said building or structure shall be erected in strict compliance with the plans and specifications as approved by said Committee.

9. That no intoxicating liquor or liquors of any kind or nature shall be sold on said property.

10. That no part of said property shall ever at any time be sold, conveyed, leased or rented to any person other than one of the white or Caucasian race.

11. That no part of said property shall ever at any time be used or occupied or be permitted to be used or occupied by any person other than one of the white or Caucasian race, except such as are employed as servants upon said property by the owners or tenants of said property actually residing thereon.

PROVIDED, that each and all of the foregoing conditions and restrictions contained in paragraphs 1 to 8 inclusive, shall in all respects terminate and end and be of no further effect, either legal or equitable, after January 1st, A. D. 1960, and that the conditions and restrictions contained in paragraphs 9, 10, and 11 shall be perpetual and binding forever upon the Grantees or the survivor of them, her heirs devisees, executors, devisees, successors, administrators or assigns.

The covenants and restrictions hereby adopted and established for and on the above described tract, are entirely and solely for the benefit of the tract above described, and each and every lot therein contained, and the owners thereof, and binding upon the owners thereof, and shall pass with each and every parcel of said tract and shall apply, bind and inure to the benefit of the respective successors in interest of the present owner or owners thereof; and are, and each thereof is, imposed on said tract as a servitude in favor of each and every such parcel of land therein, as the dominant tenement or tenements. Any violation of any covenant or restriction may be enjoined, or abated at the instance of any lot owner in said tract. The covenants and restrictions hereby adopted and established do not, and shall not be so construed nor shall a breach or violation thereof be so construed as to create, vest or reserve in Security-First National Bank of Los Angeles any reversionary right, title or interest in or to the land above described or any part thereof.

IT IS EXPRESSLY AGREED and understood by and between the parties hereto that in the event any covenant or condition herein contained is invalid or is held to be invalid or void by any court or competent jurisdiction such invalidity or voidness shall in no way affect any valid covenant or condition herein contained.

It is an express condition of this conveyance that the Grantor herein shall not be responsible or liable for any promise, representation, agreement, condition or stipulation not set forth herein.

It is expressly understood that the streets shown on the map of said "El Mirador Estates" have not been accepted by the County of Riverside as public streets.

IN WITNESS WHEREOF, said Security-First National Bank of Los Angeles, as Trustee under its Declaration of Trust D-6984, has hereunto affixed its name by its Vice President and Assistant Secretary, thereunto duly authorized, this 19th day of December, 1936.

SECURITY FIRST NATIONAL BANK OF LOS ANGELES,
As Trustee under its Declaration of Trust
D-6984.

By R. F. Church, Vice President,
Attest: J. H. Griffin, Asst. Secretary.

U.S.I.R.S. 32.50 Cancelled.

C.B.H.
F.R.H.

State of California,)
County of Los Angeles, ss.

On this 20th day of December, A. D. 1936, before me, Elsie Unger, a Notary Public in and for said County of Los Angeles, State of California, residing therein, duly commissioned and qualified, personally appeared R. F. Church, known to me to be the Vice President, and J. H. Griffin, known to me to be the Assistant Secretary of the Security-First National Bank of Los Angeles, the National Banking Association that executed the within instrument, as Trustee under its Declaration of Trust D-6984, known to me to be the persons who executed the within instrument on behalf of the association therein named, and acknowledged to me that such association executed the same as Trustee.

WITNESS my hand and Official Seal.

(NOTARIAL SEAL)

Elsie Unger,
Notary Public in and for Los Angeles
County, California.

My commission expires Sept. 29, 1940.

#308

Received for Record Jan 7, 1937, at 10 Min past 4 o'clock P. M. at request of
Grantee. Copied in Book No. 308 of Official Records, page 209 et seq, Records of
Riverside County, California.

Fees \$2.60

Jack A. Ross, Recorder
By F. B. Row, Deputy Recorder.

Compared: Copyist J. Ferrand; Comparer L. Hyde.

IRA M. CHURCH ET AL)
TO)
AMOS CHURCHILL ET AL)

IN CONSIDERATION of Ten and No/100 (\$10.00) Dollars, IRA M. CHURCH, and
JENNIE CHURCH, husband and wife, of Winchester, Riverside County, State of California,
do hereby grant to AMOS CHURCHILL and VIOLET CHURCHILL, his wife, of Hemet, Riverside
County, State of California, as joint tenants all that real property situate in the
City of Hemet, County of Riverside, State of California, described as follows:
"Lot Eighteen (18) in Block Fifteen (15) of the City of Hemet, as shown by
Map of Hemet on file in the office of the County Recorder of the County of San Diego,
State of California, in Book 15 of Maps, at page 702 thereof."

WITNESS our hands this 5th day of January, 1937.

Ira M. Church,
Jennie Church,

U.S.I.R.S. \$1.50 Canceled.

State of California,)
County of Riverside) ss.

On this 5th day of January, in the year one thousand nine hundred thirty-seven,
(1937) before me, Oliver P. Ensley a Notary Public in and for said County and State,
personally appeared Ira M. Church, and Jennie Church, husband and wife, known to me
to be the persons described in and whose names are subscribed to the within instru-
ment, and acknowledged that they executed the same.

WITNESS my hand and Official Seal, the day and year in this certificate first
above written.

Oliver P. Ensley,
Notary Public in and for said
County and State.

(NOTARIAL SEAL)

#362

Received for Record Jan 8, 1937, at 45 Min past 1 o'clock P. M. at request of
Security Title Ins & Gtee. Co. Copied in Book No. 308 of Official Records, page 212
Records of Riverside County, California.

Fees \$1.00

Jack A. Ross, Recorder,
By F. B. Row, Deputy Recorder.

Compared: Copyist J. Ferrand; Comparer L. Hyde.

proceeds of sale to payment of: all sums expended under the terms hereof, not then repaid, with accrued interest at seven per cent per annum; all other sums then secured hereby; and the remainder, if any, to the person or persons legally entitled thereto.

7. Trustor, or if said property shall have been transferred, the then record owner, together with Beneficiary, may from time to time, by instrument in writing, substitute a successor or successors to any Trustee named hereinafter acting hereunder, which instrument, executed and acknowledged by each and recorded in the office of the recorder of the county or counties where said property is situated, shall be conclusive proof of proper substitution of such successor Trustee or Trustees, who shall, without conveyance from the Trustee predecessor, succeed to all its title, estate, rights, powers and duties. Said instrument must contain the name of the original Trustor, Trustee and Beneficiary hereunder, the book and page where this Deed is recorded, and the name and address of the new Trustee. If notice of default shall have been recorded, this power of substitution cannot be exercised until after the costs, fees and expenses of the then acting Trustee shall have been paid to such Trustee, who shall endorse receipt thereof upon such instrument of substitution. The procedure herein provided for substitution of Trustee shall be exclusive of all other provisions for substitution, statutory or otherwise.

8. This Deed applies to, inures to the benefit of, and binds all parties hereto, their heirs, legatees, devisees, administrators, executors, successors and assigns. The term Beneficiary shall include not only the original beneficiary hereunder but also any future owner and holder, including pledgees, of the note secured hereby. In this Deed, whenever the context so requires, the masculine gender includes the feminine and/or neuter, and the singular number includes the plural.

9. Trustee accepts this Trust when this Deed, duly executed and acknowledged, is made a public record as provided by law. Trustee is not obligated to notify any party hereto of pending sale under any other Deed of Trust or of any action or proceeding in which Trustor, Beneficiary or Trustee shall be a party unless brought by Trustee.

10. THE UNDERSIGNED TRUSTOR REQUESTS that a copy of any notice of default and of any notice of sale hereunder be mailed to him at his mailing address opposite his signature hereto. Failure to insert such address shall be deemed a waiver of any request hereunder for a copy of such notices.

Mailing Address for Notices		
Street and Number	City	State
1270 Indian Ave.	Palm Springs, Calif.	
		Signature of Trustor
		C. King Charney
		Mae Charney

STATE OF CALIFORNIA)
County of Riverside) ss.

On this 8 day of April, 1943, before me the undersigned, a Notary Public in and for said county, personally appeared C. King Charney and Mae Charney, his wife, known to me to be the persons whose names are subscribed to the within instrument, and acknowledged that they executed the same.

WITNESS my hand and official seal.

(NOTARIAL SEAL)	M. C. Ingram,
My Commission Expires October 7, 1945.	Notary Public in and for the County of Riverside, State of California.

Received for record Apr 21, 1943 at 9 o'clock A.M. at request of Riverside Title Company, United in Book No. 579 of Official Records, page 249, et seq., Records of Riverside County, California. #1925

Fees \$3.00
Jack A. Ross, Recorder.
By O.A. Wheat, Deputy Recorder.

Compared: Copyist L. Barron; Comparer K. Whitman

LILLIAN N. LEVIE ET AL)	
TO)	GRANT DEED
MILTON EARLE JOSEPH ET AL)	Joint Tenants

In consideration of \$10.00, receipt of which is acknowledged, LILLIAN N. LEVIE and BERNITA NEWSTETER, also known as Bernita Newsteter, whose permanent address is Palm Springs California and Denver Colorado respectively, do hereby grant to MILTON EARLE JOSEPH and JANE JOSEPH, his wife, as Joint Tenants, whose permanent address in Long Island, - the real property in the City of Palm Springs, County of Riverside, State of California, described as:

Lot 3 of El Mirador Estates, as shown by map on file in Book 18 Page 76 of Maps, records of Riverside County, California.

SUBJECT TO: Taxes for the fiscal year 1943-44.

ements, conditions, restrictions, reservations, rights, rights of way and easements of record.
 Dated this 15th day of April, 1943.

U.S.I.R.B. 118.15 cancelled. Lillian N. Lewis
 Bernita Neusteter

STATE OF CALIFORNIA,)
 County of Riverside) ss.

On this 15th day of April, 1943, before me, the undersigned, a Notary Public in and for said County, personally appeared Lillian N. Lewis, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged that she executed the same.

IN WITNESS my hand and official seal.

(NOTARIAL SEAL) F.G. Ingram,
 Notary Public in and for the County of
 My Commission Expires October 7, 1945. Riverside, State of California.

STATE OF CALIFORNIA-COLORADO)
 County of Denver) ss.

On this 20th day of April, in the year one thousand nine hundred and forty-three, before me, the undersigned, a Notary Public in and for the County of Denver, State of California-COLORADO residing therein, duly commissioned and sworn, personally appeared Bernita Neusteter, known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, in the county of - the day and year in this certificate first above written.

(NOTARIAL SEAL) Helen D. Maloney
 Notary Public in and for the County of
 My Commission Expires December 19, 1949. Denver, State of California-COLORADO.

11932

Received for record Apr 27, 1943 at 9 o'clock A.M. at request of Riverside Title Company. Copied in Book No. 579 of Official Records, page 251, et seq., Records of Riverside County, California.

Fees \$1.20

Jack A. Boss, Recorder.
 By C.A. Wheat, Deputy Recorder.

Compared: Copyist L. Barron; Comparer H. Whitman

IN THE SUPERIOR COURT OF THE STATE OF CALIFORNIA
 IN AND FOR THE COUNTY OF ORANGE

In the Matter of the Estates) No. 7026
 and Guardianships)
 -of-) ORDER CONFIRMING SALE OF REAL
 MARGARET GRACE WHITE and) PROPERTY
 DOROTHY ELIZABETH WHITE,)
 Minors.)

The verified Account and Report of Sale of Real Property having been filed herein by Dorothy M. White, the duly appointed, qualified and acting Guardian of Margaret Grace White and Dorothy Elizabeth White, Minors, and said matter coming on this day regularly to be heard, after due notice given and made in the manner and form provided by law;

And it appearing and the Court finds that all of the matters and things set forth in said Account and Report are true and correct;

That after due notice given and made as provided by law, by publication of Notice of Sale of Real Property at Private Sale published in the Riverside News, a newspaper of general circulation published in the County of Riverside where said real property is situated, an Affidavit of Publication whereof having been heretofore filed in this Court, which publication is full, complete and correct, the Guardian has sold at private sale in escrow at the office of the Security Title Insurance & Guarantee Company at Riverside, California, the undivided two-thirds interest in and to the hereinafter described real property owned by the said Minors, together with an undivided two-thirds interest in sixteen shares of the Capital Stock of the Riverside Water Company appurtenant to the property, for the sum of \$333.73 cash, lawful money of the United States, to be paid to said Guardian for said Minors upon confirmation of said sale by this Court;

And it appearing and the Court finds that it is for the best interests of

J. RALPH MILLS ET AL)
TO) CONSIDERATION LESS THAN \$100.00
GEORGE W. JOHNSON ET AL) NO REVENUE REQUIRED.

IN CONSIDERATION of Ten and no/100 Dollars J. RALPH MILLS AND EDITH SARAH MILLS, his wife do hereby grant to GEORGE W. JOHNSON AND NELLIE MAY JOHNSON, his wife, as joint tenants all that real property situated in the County of Riverside, State of California, described as follows:

The Westerly rectangular 2 1/2 acres of the westerly rectangular 5 acres of the east half of the south half of the northwest quarter of the southwest quarter of Section 22, Township 3 South, Range 2 East.

WITNESS our hands this 29th day of March, 1944.

J. Ralph Mills
Edith Sarah Mills

STATE OF CALIFORNIA)
County of Riverside) ss.

On this 29th day of March, 1944, before me F.E. Dinsmore a Notary Public in and for said County and State, personally appeared J. Ralph Mills and Edith Sarah Mills, his wife, known to me to be the persons described in and whose names are subscribed to the within instrument, and acknowledged that they executed the same.

WITNESS my hand and official seal the day and year in this certificate first above written.

(NOTARIAL SEAL) F.E. Dinsmore,
Notary Public in and for said
County and State.

Received for record Apr 6 1944 at 10 min past 11 o'clock A.M. at request of 611
Grantee. Copied in Book No. 608 of Official Records, page 187, Records of Riverside
County, California.

Fees \$1.00 Jack A. Moss, Recorder
By O.A. Wheat, Deputy Recorder

Compared: Copyist K. Charles, Comparer A. Dunstedt.

MILTON E. JOSEPH ET AL)
TO) GRANT DEED
S.F. KRAEMER ET AL)

MILTON E. JOSEPH AND JANE JOSEPH, husband and wife in consideration of Ten and no/100 Dollars to them in hand paid, receipt of which is hereby acknowledged, do hereby grant to S.F. KRAEMER AND EDNA KRAEMER, husband and wife as joint tenants, the real property in the County of Riverside, State of California, described as follows:

Lot eight (8) of EL MIRADOR ESTABRO, as per map recorded in Book 15, page 79 of Maps, in the office of the County recorder of said County.

SUBJECT TO:

All general and special taxes for the fiscal year 1943-1946.
Covenants, conditions, restrictions, reservations, rights, rights of way and encumbrances of record.

TO HAVE AND TO HOLD to said Grantees, as joint tenants, heirs-of-heirs.
WITNESS our hands this 17th day of March, 1945.

Milton E. Joseph
Jane Joseph

U.S.L.R.C. 235.00 cancelled

STATE OF CALIFORNIA,)
COUNTY OF RIVERSIDE.) ss.

On this 17th day of March, 1945, before me the undersigned, a Notary Public in and for said Riverside County, personally appeared Milton E. Joseph and Jane Joseph known to me to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same.

WITNESS my hand and official seal.

(NOTARIAL SEAL) F.C. Ingram, Notary Public in and for
Riverside County and State.
My commission expires October 7 1945

Received for record Apr 6 1945 at 10 min past 1 o'clock P.M. at request of 628
Riverside Title Company. Copied in Book No. 608 of Official Records, page 157, Records
of Riverside County, California.

Fees \$1.00 Jack A. Moss, Recorder

Compared: Copyist K. Charles, Comparer A. Dunstedt.

S. P. KRAEMER ET AL)
TO) GRANT DEED
IRVING S. FLORESHEIM)

S. P. KRAEMER and EDNA KRAEMER, husband and wife, in consideration of TEN AND NO/100 DOLLARS, to us in hand paid, receipt of which is hereby acknowledged, do hereby GRANT TO IRVING S. FLORESHEIM, a married man, the real property in the City of Palm Springs County of Riverside, State of California, described as follows:
Lot Eight (8) of EL MIRADOR ESTATES, as shown by Map on file in Book 18, page 76 of Maps, records of Riverside County, California.

SUBJECT TO:
1. Taxes for the fiscal year of 1945-46, including any special district levies, payments for which are included therein and collected therewith.
2. Covenants, conditions, restrictions, reservations, rights, rights of way and easements of record.

WE HAVE AND TO HOLD to said Grantee his heirs and assigns.
WITNESS our hands this 8th day of November, 1945.

S. P. Kraemer,
Edna Kraemer

U.S.I.R.S. 193.90 Cancelled.

STATE OF CALIFORNIA,)
County of Orange) ss.

On this 13 day of November, 1945, before me, Mary A. Coons, a Notary Public in and for said Orange County, personally appeared S. P. Kraemer, & Edna Kraemer, known to me to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same.

WITNESS my hand and official seal.

Mary A. Coons,
Notary Public in and for said
Orange County and State.

(NOTARIAL SEAL)

My Com. expires 11/17/48.

Received for record Dec 7, 1945 at 30 Min. past 9 o'clock A.M., at request of Riverside Title Company. Copied in Book No. 720 of official Records, Page 116, Records of Riverside County, California.

Fees. \$1.00

Jack A. Ross, Recorder
By O. A. Wheat, Deputy Recorder

Computed: Cop. 1st J. Hale; Computer W. Newcomb

No. 5032 = 1017-L

See

ERNEST W. WRIGHT ET AL)
TO) GRANT DEED
DAN W. MINES ET AL)

IN CONSIDERATION of TEN Dollars ERNEST W. WRIGHT and RUTH R. WRIGHT, his wife, do hereby GRANT to DAN A. MINES and SARAH A. MINES, husband and wife, as joint tenants all that real Property situated in the City of Riverside, County of Riverside, State of California, described as follows:

Lot 8 of HOLT'S M'BILOUX TRACT, as shown by map recorded in Book 6 page 2 of maps, San Bernardino County Records.

SUBJECT TO:

(1) Second installment of taxes for the fiscal year 1945-46.
(2) Conditions, reservations, restrictions, rights and rights of way of record.

WITNESS our hands this 13th day of October, 1945.

Ernest W. Wright
Ruth R. Wright

U.S.I.R.S. 33.50 Cancelled.

STATE OF CALIFORNIA,)
County of Riverside) ss.

On this 13 day of October, 1945, before me, the undersigned, a Notary Public,

LILLIAN M. FLORSHEIM)
TO)
IRVING S. FLORSHEIM) QUIT-CLAIM DEED

LILLIAN M. FLORSHEIM, divorced and not remarried, of the City of Las Vegas, County of Clark and State of Nevada, in consideration of \$20.00 to her in hand paid, the receipt of which is hereby acknowledged, does hereby remise, release and forever quit-claim unto IRVING S. FLORSHEIM, of the City of Chicago, County of Cook, and State of Illinois, all that real property situated in the City of Palm Springs, County of Riverside and State of California, described as follows:

Lot Eight (8) in Mirador Estates, as shown by Map on file in book 14, page 76 of Maps, Records of Riverside County, California.

SUBJECT to taxes for the fiscal year 1943, and to roads and pipe lines of record.

TO HAVE AND TO HOLD unto the said Grantee, his heirs and assigns, subject to the matters set forth above.

WITNESS my hand and seal this 9th day of February, A.D. 1946.
Lillian M. Florsheim (L.M.F.)

STATE OF LOUISIANA,)
PARISH OF ORLEANS) ss.

On this 11th day of February, 1946, before me, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared LILLIAN M. FLORSHEIM, divorced and not remarried, known to me to be the same person whose name is subscribed to the within instrument, and acknowledged to me that she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

(NOTARIAL SEAL)
My Commission Expires at my death.

Watts K. Leverich
Notary Public in and for
said County and State.

Received for record MAR 18 1946 at 9 o'clock A.M. at request of Meyer, Meyer, #2537
Austrian & Platt. Copied in book No. 734 of official records, page 393, records of Riverside County, California.
Fees \$1.00

Jack A. Ross, Recorder
By Agnes Burch, Deputy Recorder

Compared: Copyist D. Merritt; Computer J. White.

I, Blanche Cresse, of legal age, being first sworn depose and say:
That Charles L. Cresse, named as one of the parties in that certain Grant Deed, dated the 26th day of August, 1935, by the C. Evelin Realty Corporation to Charles L. Cresse and Blanche Cresse, husband and wife, as joint tenants with the right of survivorship, died on November the 9th, 1943, as shown on Death Certificate Number 24610, issued on November the 12th, 1943, by George M. Uhl, M.D., Registrar of vital statistics.

Blanche Cresse
224 West 117th Street
Los Angeles, 5, California.

(NOTARIAL SEAL)

Cicopatria D. Spute
My Commission Expires Feb. 24, 1947

Received for record MAR 15 1946 at 9 o'clock A.M. at request of Roy M. Bender. #2538
Copied in book No. 734 of official records, page 393, records of Riverside County, California.

Fees \$1.00

Jack A. Ross, Recorder
By Agnes Burch, Deputy Recorder

Compared: Copyist D. Merritt; Computer J. White.

BLANCHE CRESSE)
TO)
ROY MORRELLE BENDER.) QUITCLAIM DEED

IN CONSIDERATION of \$100, receipt of which is hereby acknowledged, - do I her by remise, release and forever quitclaim to ROY MORRELLE BENDER the real property in and to the Lake Mead area County of Riverside, State of California, described as:

317291
Best Copy

BOOK 3574 PAGE 23

1 THOMPSON & COLEGATE
2 Attorneys at Law
3 444 North Palm Canyon Drive
4 Palm Springs, California
5 Telephone PA 5-2511
6
7
8
9
10
11
12
13
14

FILED
RIVERSIDE COUNTY
DEC 27 1963
DONALD D. SULLIVAN
M. G. Garcia

IN THE SUPERIOR COURT OF THE STATE OF CALIFORNIA
IN AND FOR THE COUNTY OF RIVERSIDE

In the Matter of the Estate of
IRVING S. FLORENZIN,
Deceased.

NO. 18810 625
ORDER AUTHORIZING SALE OF
CORPUS OF TESTAMENTARY TRUST

15 The Petition of SECURITY FIRST NATIONAL BANK, a national
16 banking association, as Trustee of the Estate of IRVING S.
17 FLORENZIN, Deceased, for authorization to sell corpus of testa-
18 mentary trust came on regularly for hearing before the above
19 entitled Court, Department Indie A thereof, the Honorable MILTON
20 H. McCABE, Judge presiding, at its Courtroom in the City of Indio,
21 in the above named County and State on the 27th day of December
22 1963. Proof was made to the Court that due and legal notice had
23 been given to the filing of said Petition and the hearing thereon
24 and that it was to the best interest and advantage of the Estate
25 and of those interested therein that the corpus of the testamentary
26 trust be sold to HELEN F. WELSH for the sum of Forty-Nine
27 Thousand Seven Hundred Eighty Dollars and Eighty Cents (\$49,780.00)
28 cash. Proof was further made to the Court that the sum of
29 Forty-Nine Thousand Seven Hundred Eighty Dollars and Eighty Cents
30 (\$49,780.00) is a fair, reasonable and equitable consideration for
31 said improved real property. Proof was further made to the Court
32 that the Will of IRVING S. FLORENZIN, Deceased contains a provision

1 authorizing the petitioner, as Trustee, to sell or otherwise
2 dispose of any or all of the Trust Estate herein. The Court
3 being fully satisfied in the premises:

4 IT IS ORDERED, ADJUDGED AND DECREED that SECURITY FIRST
5 NATIONAL BANK, a national banking association, as Trustee of the
6 ESTATE OF EDWIN S. FLORENCE, Deceased be, and it is hereby
7 authorized and directed to sell the hereinafter described improved
8 real property to HENRY T. JENSEN for the sum of Forty-Nine
9 Thousand Seven Hundred and Eighty Dollars and Eighty Cents
10 (\$49,700.00) cash and that the said Trustee is authorized and
11 directed to execute any and all documents as may be necessary to
12 effect said transfer.

13 IT IS FURTHER ORDERED, ADJUDGED AND DECREED that the
14 SECURITY FIRST NATIONAL BANK, as Trustee herein be authorized and
15 directed to pay the normal sellers fees and expenses in connection
16 with said transfer.

17 IT IS FURTHER ORDERED, ADJUDGED AND DECREED that the
18 improved real property which is the subject of this Order is more
19 particularly described as:

20 Lots 7 and 8 of El Mirador Estates as per map
21 on file in Book 18 at page 76 of Maps Records
22 of Riverside County California.

23 DATED: December 27, 1963.

26 EACH DOCUMENT TO WHICH THIS CERTIFICATE
27 IS ATTACHED IS CERTIFIED TO BE A FULL TRUE
28 AND CORRECT COPY OF THE ORIGINAL ON
29 FILE AND OF RECORD IN MY OFFICE.

30 Date: December 27, 1963
31 DONALD W. SMITH, COUNTY CLERK
32 Clerk of the Superior Court
County of Riverside, California
By W. G. [Signature], Deputy

McCabi
Judge of the Superior Court

RECEIVED FOR RECORD
DEC 31 1963
AT 440, CUCKOOR AVE.
SECURITY TITLE INSURANCE CO.
In Contact with Title Co. Records
Book 3571, page 23
W. G. [Signature]
FEE \$ 2.80
2.80

319291

BOOK 3571 PAGE 25

TRUSTEE'S DEED

For valuable consideration, receipt of which is hereby acknowledged, the Grantor, SECURITY FIRST NATIONAL BANK, a national banking association, as substitute Trustee in lieu of THE FIRST NATIONAL BANK OF CHICAGO, under the Will of IRVING S. FLORSHEIM, Deceased, does hereby grant to HELEN T. KELTNER formerly HELEN T. FLORSHEIM, a married woman, as her sole and separate property, the Grantee, the real property in the City of Palm Springs, County of Riverside, State of California, described as follows:

Lots 7 and 8 of El Mirador estates per map on file in Book 18, page 76 of Maps, Records of Riverside County California.

SUBJECT TO covenants, conditions, restrictions, reservations, rights, rights of way and easements of record and the rights of HELEN T. KELTNER to occupy said property as her home.

SUBJECT to all accrued taxes.

EXCEPTING therefrom all oil, gas or other hydro carbon substances and water underlying said property as reserved in Deed from Sallie Stevens Nichols recorded May 31, 1945 in Book 682, page 111 of Official Records, Riverside County California.

DATED: December 30, 1963.

SECURITY FIRST NATIONAL BANK, a national banking association

By: *[Signature]*
Vice President

By: *[Signature]*
Trust Officer

137715

RECEIVED FOR RECORD
DEC 31 1963
AT 9:00 O'CLOCK A.M.
SECURITY TITLE INSURANCE CO
RECORDED IN OFFICE RECORDS
BOOK 3571 PAGE 25
W. W. [Signature]
FEE \$ 2.80

7.00

BOOK 3571 PAGE 26

State of California) as
County of Riverside)

On December 30, 1961, the undersigned, a Notary Public in and for the County of Riverside, California, did execute and deliver to R. C. SCHULZ and T. A. BELL, Trust Officers, a certain instrument of title, to-wit: a certain deed of trust, the contents of which are set forth in the foregoing instrument, and the same is hereby recorded in the office of the Recorder of the County of Riverside, California, in Book 3571, Page 26.



Margarete L. Geddes
MARGARETE L. GEDDES, Notary Public
in and for the State of California
My Commission Expires August 26, 1967

WHEN RECORDED MAIL TO
Leonard Fite
39282 De Anza Drive
San Jacinto, California

Title Order No. 459200-0
Escrow Loan No. _____

RECEIVED FOR RECORD
DEC 31 1963
AT 9:00 O'CLOCK A.M.
An Agent of
WEST AMERICAN TITLE COMPANY
Recorder of Official Records
Book 3571 p. 26
W.A. [Signature]
FEE \$ 2.00 Recorder

FULL RECONVEYANCE

No. 1030

ESCROWS, INC., a California corporation, as Trustee under Deed of Trust, dated June 17th, 1963 made by LEONARD FITE AND SYLVIA R. FITE, husband and wife, No. 69227 on July 3, 1963 Trustor, and recorded as Instrument Official Records in the office of the recorder of Riverside County, California, having received from holder of the obligations thereunder a written request to reconvey, reciting that all sums secured by said Deed of Trust have been fully paid, and said Deed of Trust and the note or notes secured thereby having been surrendered to said Trustee for cancellation, does hereby RECONVEY, without warranty, to the person or persons legally entitled thereto, the estate now held by it thereunder.

IN WITNESS WHEREOF, ESCROWS, INC., as Trustee, has caused its corporate name and seal to be hereto affixed by its Secretary thereunto duly authorized.

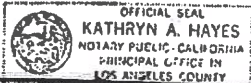
Dated: December 19, 1963

ESCROWS, INC., as Trustee
By: *[Signature]*
MARY McLAUGHLIN, Secretary

STATE OF CALIFORNIA }
COUNTY OF LOS ANGELES } ss

On December 19, 1963 before me, the undersigned, a Notary Public in and for said County and State personally appeared Mary McLaughlin, known to me to be the Secretary of ESCROWS, INC., the corporation that executed the foregoing instrument as Trustee, and knows to me to be the person who executed said instrument on behalf of the corporation therein named, and acknowledged to me that such corporation executed the same as Trustee.

Witness my hand and official seal.



Kathryn A. Hayes
Kathryn A. Hayes
Notary Public in and for said County and State

ESCROWS, INC., TRUSTEE • 1150 So. Beverly Drive • Los Angeles 35, California

Order Number 331-4785
 Record Number 331-4785
RECORDING REQUESTED BY
CHICAGO TITLE INSURANCE COMPANY
 AND WHEN RECORDED MAIL THIS DEED AND, UNLESS OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO:
 Mr. Ralph Globus
 686 E. Varada St.
 Palm Springs, California 92262
17331-R

RECORDED MAY 17 1974
 W.D. BALOGH
 COUNTY RECORDER
 RIVERSIDE COUNTY, CALIFORNIA
 SPACE ABOVE THIS LINE FOR RECORDER'S USE

City of Palm Springs
 (City or "Unincorporated")

Grant Deed

THE UNDERSIGNED GRANTOR(S) DECLARE(S)
 DOCUMENTARY TRANSFER TAX is \$165.00
 computed on full value of property conveyed, or
 computed on full value less value of liens or encumbrances remaining at time of sale, and

HELEN T. KRITNER, a married woman, (who acquired title as Helen T. Florabain.)

For a Valuable Consideration, the receipt of which is hereby acknowledged, hereby GRANT(S)
 To RALPH GLOBUS, a married man.

all that real property situated in the County of Riverside, State of California, described as follows:

Lots 7, 8 and 9 of EL MIRADOR ESTATES, as shown by Map on file in Book 18 page 76 Maps, Riverside County Records.

Dated May 8, 1974
 STATE OF CALIFORNIA }
 COUNTY OF Riverside } ss.
 On May 10, 1974 before me, the undersigned, a Notary Public in and for said State, personally appeared Helen T. Kritner

Helen T. Kritner
 Helen T. Kritner

_____ knows to me to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same. WITNESS my hand and official seal.

Signature Janet Sigler



(This area for official notarial seal)

MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE; IF NO PARTY SHOWN, MAIL AS DIRECTED ABOVE

(Name)

3423
 SEC 2504 a-71 P.S.

(Address - Number, Street, City, State and Zip Code)

END RECORDED DOCUMENT W. D. BALOGH, COUNTY RECORDER

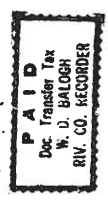
62107
59961

Order Number _____ Escrow Number 331-4705

RECORDING REQUESTED BY
CHICAGO TITLE INSURANCE COMPANY

AND WHEN RECORDED MAIL THIS DEED AND, UNLESS OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO:

17331-R
Mr. Ralph Globus
688 E. Veranda Sur
Palm Springs, California 92262



RECEIVED FOR RECORD
MAY 17 1974

CHICAGO TITLE INS. CO.
Map 1974, Page 59961
Presented to Office of Assessor of Riverside County, California
W.D. Balogh

INDEX

SPACE ABOVE THIS LINE FOR RECORDER'S USE

City of Palm Springs
(City or Unincorporated)

Grant Deed

THE UNDERSIGNED GRANTOR(S) DECLARE(S)
DOCUMENTARY TRANSFER TAX is \$165.00
 computed on full value of property conveyed, or
 computed on full value less value of liens or encumbrances remaining at time of sale, and

HELEN T. KELTNER, s. married woman, (who acquired title as Helen T. Florsheim)

For a Valuable Consideration, the receipt of which is hereby acknowledged, hereby GRANT(S)
To RALPH GLOBUS, an unmarried man

all that real property situated in the County of Riverside, State of California, described as follows:

Lots 7, 8 and 9 of EL MIRADOR ESTATES, as shown by Map on file in Book 18 page 76 of Maps, Riverside County Records.

This Grant Deed is being re-recorded to correct the status of grantee.

Dated May 8, 1974

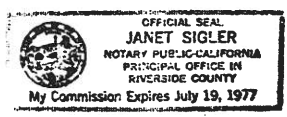
Helen T. Keltner
Helen T. Keltner

STATE OF CALIFORNIA }
COUNTY OF Riverside } ss.

On May 8, 1974 before me, the undersigned, a Notary Public in and for said State, personally appeared Helen T. Keltner

known to me to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same. WITNESS my hand and official seal.

Signature *Janet Sigler*



(This area for official notarial seal)

MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE; IF NO PARTY SHOWN, MAIL AS DIRECTED ABOVE

(Name)

3423 ESC 2564 3/1* P.S.

(Address - Number, Street, City, State, and Zip Code)

62107

RECEIVED FOR RECORD

MAY 23 1974

AT 9:00 O'CLOCK A.M.

AT Request of

CHICAGO TITLE INS. CO.

62107

Book 1974, Page

of Riverside County, California

W.D. Balogh, Recorder

FEE \$ 3

END RECORDED DOCUMENT W. D. BALOGH, COUNTY RECORDER

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL TO

171991

Name: Paula Stewart
Street Address: 2315 Gloaming Way
City & State: Beverly Hills, Calif. 90210

MAIL TAX PAYER(S) TO

Name: Same as above
Street Address: Same as above
City & State: Same as above

RECEIVED FOR RECORD
NOV 9 1976
AT 9:00 O'CLOCK A.M.
As Agent of
TITLE INS. & TRUST CO.
Book 1974, Page 171991
of Records, County, California
W.M. Deady, Recorder
FEB 6 4

PAID
Doc Transfer Tax
RIVERSIDE

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Individual Grant Deed
THIS FORM FURNISHED BY TIGOR TITLE INSURERS A.P.N.

359415-2

The undersigned grantor(s) declare(s):
Documentary transfer tax is \$ 220.00
(X) computed on full value of property conveyed, or
() computed on full value less value of liens and encumbrances remaining at time of sale.
() Unincorporated area: (X) City of Palm Springs and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
RALPH GLOBUS,

hereby GRANT(S) to

PAULA STEWART, a married woman, as her separate property,
the following described real property in the
County of Riverside, State of California:

Lots 7, 8, and 9 of El Mirador Estates, as per map recorded in
Book 18 Page 76 of Maps, in the office of the County Recorder
of said county, as more particularly described in Exhibit 'A'
attached hereto and made a part hereof.

Dated October 27, 1976

Ralph Globus
Ralph Globus

STATE OF CALIFORNIA
COUNTY OF San Francisco } ss.
On October 27, 1976 before me, the under-
signed, a Notary Public in and for said State, personally appeared
RALPH GLOBUS

known to me
to be the person whose name is subscribed to the within
instrument and acknowledged that he executed the same.
WITNESS my hand and official seal.

Gloria Jean Rizzo
Signature

(This area for official notarial seal)

Title Order No. _____ Escrow or Loan No. _____

MAIL TAX STATEMENTS AS DIRECTED ABOVE

171991

DESCRIPTION

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 7, 8 AND 9 OF EL MIRADOR ESTATES IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 18 PAGE 76 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

EXCEPT THE RIGHT TO ANY DEPOSITS OF OIL, GAS OR OTHER HYDROCARBON SUBSTANCES UNDERLYING SAID LAND, PROVIDED HOWEVER, THAT SUCH RESERVATION SHALL NOT BE DEEMED TO GIVE THE GRANTOR, ITS SUCCESSORS OR ASSIGNS, ANY RIGHT TO ENTER UPON SAID PREMISES FOR THE DEVELOPMENT OF ANY SUCH WATER, OIL, GAS OR OTHER HYDROCARBON SUBSTANCES, AS RESERVED IN THE DEED FROM SALLIE STEVENS NICHOLS, RECORDED MARCH 13, 1945 IN BOOK 664 PAGE 340 OF OFFICIAL RECORDS, AS TO LOT 9 AND ALL OIL, GAS OR OTHER HYDROCARBON SUBSTANCES AND WATER UNDERLYING SAID PROPERTY AS RESERVED IN DEED FROM SALLIE STEVENS NICHOLS, RECORDED MAY 31, 1945 IN BOOK 682 PAGE 111 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS, AS TO LOTS 7 AND 8

EXHIBIT "A"

END RECORDED DOCUMENT

W. D. BALOGH, COUNTY RECORDER

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL TO

Name: Paula Stewart
Street Address: 2315 Gloaming Way
City & State: Beverly Hills, Calif. 90210

MAIL TAX STATEMENTS TO

Name: same as above
Street Address: same as above
City & State: same as above

RECEIVED FOR RECORD
NOV 9 1976
AT 9:00 O'CLOCK A.M.
Title Office of
TITLE INS. & TRUST CO.
Book 1774, Page 171992
Recorded in Official Records
of Riverside County, California
W.M. Doyle, Recorder

171992

4

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Individual Grant Deed

THIS FORM FURNISHED BY FICOR TITLE INSURERS

19 1921 CA 112 741

A. P. N.

359415-21

The undersigned grantor(s) declare(s):
 Documentary transfer tax is \$ NONE, as consideration is less than \$100.00.
 computed on full value of property conveyed, or
 computed on full value less value of liens and encumbrances remaining at time of sale.
 Unincorporated area: () City of _____ and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

CHARLES G. COLLINS, husband of the Grantee herein,

hereby GRANT(S) to

PAULA STEWART, a married woman, as her separate property,

the following described real property in the
County of Riverside, State of California:

Lots 7, 8, and 9 of El Mirador Estates, as per map recorded in Book 18 Page 76 of Maps, in the office of the County Recorder of said county, as more particularly described in Exhibit "A" attached hereto and made a part hereof.

This deed is given to carry out the mutual desire and agreement of the parties that subject property become vested in the Grantee herein as her separate property.

Dated October 22, 1976

Charles G. Collins
Charles G. Collins

STATE OF CALIFORNIA }
 COUNTY OF Los Angeles } ss.
 On October 25, 1976 before me, the undersigned, a Notary Public in and for said State, personally appeared Charles G. Collins

_____ known to me to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same.
 WITNESS my hand and official seal.

Signature Joann A. Danaha



Title Order No. _____ Escrow or Loan No. _____

MAIL TAX STATEMENTS AS DIRECTED ABOVE

171992

DESCRIPTION

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 7, 8 AND 9 OF EL MIRADOR ESTATES IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 18 PAGE 76 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

EXCEPT THE RIGHT TO ANY DEPOSITS OF OIL, GAS OR OTHER HYDROCARBON SUBSTANCES UNDERLYING SAID LAND, PROVIDED HOWEVER, THAT SUCH RESERVATION SHALL NOT BE DEEMED TO GIVE THE GRANTOR, ITS SUCCESSORS OR ASSIGNS, ANY RIGHT TO ENTER UPON SAID PREMISES FOR THE DEVELOPMENT OF ANY SUCH WATER, OIL, GAS OR OTHER HYDROCARBON SUBSTANCES, AS RESERVED IN THE DEED FROM SALLIE STEVENS NICHOLS, RECORDED MARCH 13, 1945 IN BOOK 664 PAGE 340 OF OFFICIAL RECORDS, AS TO LOT 9 AND ALL OIL, GAS OR OTHER HYDROCARBON SUBSTANCES AND WATER UNDERLYING SAID PROPERTY AS RESERVED IN DEED FROM SALLIE STEVENS NICHOLS, RECORDED MAY 31, 1945 IN BOOK 682 PAGE 111 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS, AS TO LOTS 7 AND 8

EXHIBIT "A"

END RECORDED DOCUMENT

W. D. BALOGH, COUNTY RECORDER

<p>33682 RECORDING REQUESTED BY T.D. SERVICE COMPANY AND WHEN RECORDED MAIL TO MITSUI MANUFACTURERS BANK 135 E. 9th Street Los Angeles, CA. 90015 Attn: Irene Iwamoto</p>	<p>RECEIVED FOR RECORD AT 400 CYCLOPSA N. RIVERSIDE, CALIF. 92503 FEB 23 1983 33682 T.D. SERVICE COMPANY RECORDED</p>
--	---

456030-164

SPACE ABOVE THIS LINE FOR RECORDER'S USE _____

The undersigned declares under penalty of perjury that the following declaration is true and correct:

- 1) The grantee herein (was) ~~not~~ the foreclosing beneficiary
- 2) The amount of the unpaid debt together with costs was \$ 501,678.12
- 3) The amount paid by the grantee at the trustee's sale was \$ 450,000.00
- 4) The documentary transfer tax is \$ 0
- 5) Said property is in () unincorporated area; City of Palm Springs
county of Riverside

PARCEL NO. 507-91-1-7 Date February 16, 1983 by *Maureen Quate* T. D. SERVICE COMPANY

TRUSTEE'S DEED UPON SALE

Loan No.: 0505200
T.S. No.: 72341-2

This indenture is made with reference to the Deed of Trust hereinafter described and is made between
T.D. SERVICE COMPANY
(herein called Trustee), and the Grantee hereinafter named.

TRUSTOR: PAULA STEWART, a married woman, as her sole and separate property, also known as PAULA STEWART COLLINS

BENEFICIARY: MITSUI BANK OF CALIFORNIA, a State Chartered Banking corporation

Recorded June 26, 1979 as instr. No. 132582 in book 1979
page 132582 of Official Records in the office of the Recorder of Riverside County;
said deed of trust describes the following property:
Lots 7, 8 and 9 of El Mirador Estates as per map recorded in book 18, page 76 of maps, in the office of the county recorder of said county.

This instrument filed for record by American Title Company, as an accommodation only. It has not been examined as to its effect or as to its effect upon the

Whereas, the above named trustor did, by the trust deed referred to above, grant and convey to the trustee named therein, the property heretofore described to secure, among other obligations, payment of a note or notes with interest according to the terms thereof; and Whereas, the holder of said note did execute and deliver to trustee written declaration of default and demand for sale and notice of default and election to cause the undersigned to sell said property which notice was

Recorded November 12, 1981 as instr. No. 211231 in book 1981
page 211231 of said Official Records.

Thereafter, a notice of trustee's sale, stating that said trustee would sell the above described property at public auction to the highest bidder for cash on

Monday, January 24, 1983 at 1:00 P.M. at the Main Street entrance to the County Courthouse, 4050 Main St., Riverside, CA

MAIL TAX STATUTES TO THE RECORDERS OFFICE

33682

said notice was posted for not less than twenty days before the date of sale therein fixed, as follows in one public place in the said city of

Riverside

wherein said property was to be sold to wit on a public place

located inside the Main Street entrance to the County Courthouse

and also in a conspicuous place on said property to be sold; and said Trustee did cause a copy of said Notice to be published once a week for twenty days before the date of sale therein fixed in

DESERT SUN PUBLISHING COMPANY

a newspaper of general circulation printed and published in the city or district in which said real property is situated, the first date of such publication being ; and

January 3, 1983

Said notice was also recorded at least 14 days prior to the sale in the office of the county recorder of the county in which the property heretofore described is located.

Whereas, copies of said recorded Notice of Default and of said Notice of Sale were mailed, served or published in accordance with Section 2924b of the Civil Code to or upon all those who were entitled in compliance with all requirements of law; and

Whereas, all applicable statutory provisions of the state of California and all of the provisions of said Deed of Trust have been complied with as to acts to be performed and notices to be given; and

Whereas Trustee did at the time and place of sale fixed as aforesaid, then and there sell, at public auction, to said Grantee, being the highest bidder therefor, the property hereinafter described, for the sum of \$, **450,000.00** ~~LESS THAN THE AMOUNT OF THE DEBT SECURED BY THE SATISFACTION~~ **Pro-tanto** of the indebtedness then secured by said Deed of Trust.

Now, therefore, Trustee in consideration of the premises recited and of the sum above mentioned but and paid by Grantee, the receipt whereof is hereby acknowledged, and by virtue of the authority vested in it by said Deed of Trust, does, by these presents **GRANT AND CONVEY** without any covenant or warranty, express or implied all that certain property herein before described, to

MITSUI MANUFACTURERS BANK, a California Corp.

In Witness Whereof, the undersigned caused its corporate name and seal to be hereunto affixed

T.D. SERVICE COMPANY

Dated .. **February 18, 1983**

Linda S. Mayes
Linda S. Mayes, Assistant Vice President
Wanda McMillion
Wanda McMillion, Assistant Secretary

STATE OF CALIFORNIA
COUNTY OF **Orange**

On .. **February 18, 1983**
Linda S. Mayes
Wanda McMillion
Ass't Secretary

before me, the undersigned a Notary Public in and for said State, personally appeared known to me to be the **Assistant Vice** President, and known to me to be the **Ass't** Secretary of the corporation that executed the within instrument, known to me to be the persons who executed the within instrument on behalf of the corporation therein named and acknowledged to me that such corporation executed the within instrument pursuant to its by laws or resolution of its Board of directors.

WITNESS my hand and official seal

Sharon M. DePietro

Sharon M. DePietro
Name (Typed or Printed)



(This area for official notarial seal)

TRUSTEE'S DEED UPON SALE

225394

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL THIS DEED AND, UNLESS OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO:

NAME: K. Walter Haake and Linda M Haake, Trustees
ADDRESS: P. O. Box 1155
CITY, STATE, ZIP: Ross, California 94957

PAID
Doc. Transfer Tax
WILLIAM E. CONERY
Riv. Co. Recorder

RECEIVED FOR RECORD
AT 9:00 O'CLOCK A.M.
At Request of
AMERICAN TITLE COMPANY
Book 1984, Page 225394

OCT 18 1984
Notarized in Official Records
of Riverside County, California
William E. Conery
Recorder

SURVEYORS
Monument Fund
\$10.00

SPACE ABOVE THIS LINE FOR RECORDER'S USE

ALL
FIN.

38-15505

CORPORATION GRANT DEED

APN 507-091-002-8

THE UNDERSIGNED GRANTOR(S) DECLARE(S)
DOCUMENTARY TRANSFER TAX is \$ 231.00
 computed on full value of property conveyed, or
 computed on full value less value of liens or encumbrances remaining at time of sale, and

By this instrument dated Oct. 5, 1984, for a valuable consideration,

MITSUI MANUFACTURERS BANK, a California Corporation

a corporation organized under the laws of the State of California
hereby GRANTS to

K. WALTER HAAKE and LINDA M. HAAKE, Trustees under that Trust dated April 23, 1982

the following described real property in the State of California, County of Riverside

Lot 8 and the Easterly-10 feet of Lot 7 of El Mirador Estates, as shown by Map on file in Book 18, Page 76 of Maps, Records of Riverside County, California.

EXCEPT all oil, gas or other hydrocarbon substances and water underlying said property as reserved in Deed from Sallie Stevens Nichols, recorded May 31, 1945, in Book 682, Page 111 of Official Records of Riverside County, California.

Dated October 5, 1984

STATE OF CALIFORNIA } ss
COUNTY OF Los Angeles
On this 5 day of October 19 84,
before me, the undersigned, a Notary Public in and for said County and State,
personally appeared S. P. Scott
and John F. Vander Zee
personally known to me (or proved to me on the basis of satisfactory evidence)
to be the persons who executed the within instrument as Sec. Vice
President, and Assistant Secretary on behalf of the corporation
therein named, and acknowledged to me that such corporation executed the
same, pursuant to its laws, or a resolution of its Board of Directors.
WITNESS my hand and official seal

MITSUI MANUFACTURERS BANK, a California Corporation

S. P. Scott President
John F. Vander Zee Secretary

Signature: *Torrie L. Young*
TORRIE L. YOUNG
Name (Typed or Printed)



(This area for official notarial seal)

Title Order No. 38-15505

Escrow or Loan No. 13-4174 E

MAIL TAX STATEMENTS AS DIRECTED ABOVE.

NO COR FILED

STEWART TITLE CO.
 Order No. 4385
 Escrow No.
 Loan No.

48163

WHEN RECORDED MAIL TO:
 Benchmark Properties Inc.
 Philip H. Stoermer, Pres.
 Blum, Kay & Mer.le
 2030 Franklin St., 4th Floor
 Oakland, Ca. 94612

RECEIVED FOR RECORD
 AT 2:00 O'CLOCK P.M.

FEB 20 1987
 Presented to Official Records
 of Riverside County, California
 William E. Conerly
 Recorder

PAID
 Doc. Transfer Tax
 WILLIAM E. CONERLY
 Riv. Co. Recorder

SPACE ABOVE THIS LINE FOR RECORDERS

MAIL TAX STATEMENTS TO:
 address above

DOCUMENTARY TRANSFER TAX \$ 660.00
 * Computed on the consideration or value of property conveyed; OR
 * Computed on the consideration or value less liens or encumbrances
 remaining at time of sale.
The Escrow Connection
 Signature of Declarant or Agent determining tax - Firm Name

507-091-002-8

GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
 K. WALTER HAAKE AND LINDA M. HAAKE, TRUSTEES UNDER TRUST DATED APRIL 23, 1982

hereby GRANT(S) to

BENCHMARK PROPERTIES INC., a California corporation
 the real property in the City of Palm Springs, State of California, described as
 County of Riverside

Lot 8 and the Easterly 10 feet of Lot 7 of El Mirador Estates as per map
 on file in book 18 page 76 of maps, records of said county.

EXCEPT all oil, gas or other hydrocarbon substances and water underlying said
 property as reserved in deed from Sallie Stevens Nichols, recorded May 31, 1944
 in Book 682 page 111 of Official Records of Riverside County, California

75351-6

Dated February 13, 1987

STATE OF CALIFORNIA
 COUNTY OF Riverside

On February 19, 1987

before me, the undersigned, a Notary Public in and for said State, personally appeared K. Walter Haake
Trustee & Linda M. Haake
Trustee

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same.

WITNESS my hand and official seal.

Signature Kathy Kleindienst

K. Walter Haake, Trustee
 K. Walter Haake, Trustee
Linda M. Haake, Trustee
 Linda M. Haake, Trustee

OFFICIAL SEAL
 KATHY KLEINDIENST
 Notary Public - California
 My Commission Expires January 15, 1989

(This area for official notarial seal)

1002 (6/82)

MAIL TAX STATEMENTS AS DIRECTED ABOVE

411668

Order No.
Escrow No.
Loan No.
RECORDING REQUESTED BY:
ATTORNEY
WHEN RECORDED MAIL TO:
ROBERT ALLEN ROSE, ESQ.
400 S. Farrell Dr., B-102
Palm Springs, CA 92262

RECEIVED FOR RECORD
AT 2:30 O'CLOCK A.M.

NOV - 9 1990

Notary Public
for Riverside County, California
Joan L. Rose
Page 2

SPACE ABOVE THIS LINE FOR RECORDER'S USE

MAIL TAX STATEMENT TO:
MR. & MRS. ARTHUR MOGULL
688 East Vereda Sur
Palm Springs, CA 92262

No tax due - change of title only
DOCUMENTARY TRANSFER TAXS
Computed on the consideration or value of property conveyed OR
Computed on the consideration or value less liens or encumbrances
remaining at time of sale

Signature of Declarant or Agent Determining Tax - Firm Name
ROBERT ALLEN ROSE

QUITCLAIM DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, ARTHUR MOGULL and KATHLEEN J. VAN STRALEN MOGULL, husband and wife as community property

do hereby REMISE, RELEASE AND FOREVER QUITCLAIM to ARTHUR MOGULL and KATHLEEN JANET MOGULL, Trustees of THE ARTHUR MOGULL & KATHLEEN JANET MOGULL INTER VIVOS REVOCABLE TRUST DECLARATION OF 1990, or their successors in interest

the real property in the City of Palm Springs, State of California, described as County of Riverside

Lot 8 and the Easterly 10 feet of Lot 7 of El Mirador Estates as per map on file in Book 18, page 76 of Maps, Records of said County

THIS IS A TRANSFER UNDER SECTION 63 OF THE TAX & REVENUE CODE AND DOES NOT CAUSE AN INCREASE IN PROPERTY TAX UNDER PROPOSITION 13

Dated November 3, 1990

STATE OF CALIFORNIA)
COUNTY OF CALIFORNIA) ss.

On November 3, 1990

before me, the undersigned, a Notary Public in and for said State, personally appeared ARTHUR MOGULL and KATHLEEN JANET MOGULL

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same

WITNESS my hand and official seal.

Signature Joan L. Rose

Arthur Mogull
ARTHUR MOGULL

Kathleen Janet Mogull
KATHLEEN JANET MOGULL



(This area for official notarial seal)

MAIL TAX STATEMENTS AS DIRECTED ABOVE

1085 (6/82)

Stewart Title

RECORDING REQUESTED BY
T.D. SERVICE COMPANY
AND WHEN RECORDED MAIL TO

331475

RECEIVED FOR RECORD
AT 2:00 O'CLOCK

OCT - 9 1995

Samuel Apodaca
Luv-Ly Fruit Pies, Inc.
1211 Azusa Canyon Rd.
West Covina, CA 91790

Recorded in Official Records
of Riverside County, California
Page 6

608450

SPACE ABOVE THIS LINE FOR RECORDERS USE
TRUSTEE'S DEED UPON SALE

The undersigned declares under penalty of perjury that the following declaration is true and correct:

- 1) The Grantee herein was the foreclosing beneficiary \$ 437,532.27
- 2) The amount of the unpaid debt together with costs was--- \$ 437,532.27
- 3) The amount paid by the Grantee at the Trustee's Sale was \$ 0.00
- 4) The documentary transfer tax is----- \$ 0.00
- 5) The city transfer tax is----- \$ 0.00
- 6) The monument preservation tax is----- \$ 0.00
- 7) Said property is in Palm Springs, County of Riverside

TRAF 011021
AP# 507 091 002 B
Dated September 28, 1995

T.D. SERVICE COMPANY
By Kan Benoit

T.S. No. M214542
Unit Code M
Loan No. MOGULL

T.D. SERVICE COMPANY
(herein called Trustee),
does hereby GRANT AND CONVEY, without any covenant or warranty, express or implied to

LUV-LY FRUIT PIES, INC., A CALIFORNIA CORPORATION

(herein called Grantee), such interest as Trustee has in that certain property described as follows:

LOT 8 AND THE EASTERLY 10 FEET OF LOT 7 OF EL MIRADOR ESTATES AS PER MAP ON FILE IN BOOK 18, PAGE 76 OF MAPS, RECORDS OF SAID COUNTY, EXCEPT ALL OIL, GAS OR OTHER HYDROCARBON SUBSTANCES AND WATER UNDERLYING SAID PROPERTY AS RESERVED IN DEED FROM SALLIE STEVENS NICHOLS, RECORDED MAY 31, 1945 IN BOOK 682 PAGE 111 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

This conveyance is made pursuant to the authority vested in said Trustee, as Trustee or as duly appointed Trustee by the Deed of Trust described as follows:

TRUSTOR: ARTHUR MOGULL
KATHLEEN J. VAN STRALEN MOGULL

BENEFICIARY: LUV-LY FRUIT PIES, INC.

Recorded June 23, 1989 as Instr. No. 208340 In Book
Page of Official Records in the office
of the recorder of Riverside County;

MAIL TAX STATEMENTS TO THE ADDRESS SHOWN ABOVE

No. M214542
Unit Code H
Loan No. HOGULL

Whereas, the holder of the note secured by said Deed of Trust delivered to Trustee a written Declaration of Default and, pursuant thereto, a Notice of Default was Recorded January 5, 1995 as Instr. No. 3164 in Book _____ Page _____ of Official Records in the office _____ of the recorder of Riverside County;

Whereas, Trustee complied with all applicable statutory provisions of California Civil Code Sections 2924 et seq., and of the described Deed of Trust, including the mailing, publication, personal delivery, and posting of the Notice of Default and Notice of Sale, as respectively appropriate.

Said Notice of Trustee's Sale stated the time and place that Trustee would sell its interest in the described property at public auction. On September 27, 1995, the date set forth in the Notice of Trustee's Sale or the properly postponed sale date, Trustee sold the described property to Grantee, the highest qualified bidder present, for the sum of \$ 437,532.27

In Witness Whereof, the undersigned caused its corporate name and seal to be hereunto affixed.

Dated September 27, 1995 T.D. SERVICE COMPANY

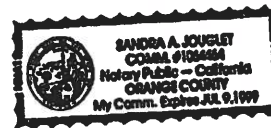
By *Sandra M. Armenta* Asst. Secretary
By *Karen Benanti* Asst. Secretary

STATE OF CALIFORNIA
COUNTY OF Orange

On 9-27-95 before me, Sandra A. Jouglet
personally appeared Sandra M. Armenta Asst. Secretary
Karen Benanti Asst. Secretary

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.
Signature *Sandra A. Jouglet* (Seal)



RECORDING REQUESTED BY

AND WHEN RECORDED MAIL THE DEED AND, UNLESS OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO:

Name SAMTRA CORP
Street Address P O BOX 415
City BELL, CA 90201

PAID
Exc. Transfer Tax
FRANK JOHNSON
Riv. Co. Recorder

404385

RECEIVED FOR RECORD
AT 8:00 O'CLOCK

OCT 22 1996

Recorded in Official Records
of Riverside County, California
Recorder

Fee \$

ORDER NO.
ESCROW NO. 6741-CM

RECORDERS USE ONLY
CORPORATION GRANT DEED
TAX PARCEL NO. 507 091 002

The undersigned declares that the documentary transfer tax is \$ 616.00 and is computed on the full value of the interest of the property conveyed, or is computed on the full value less the value of liens or encumbrances remaining thereon at the time of sale. The land, tenements or realty is located in unincorporated area city of PALM SPRINGS and FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, LUV-LY FRUIT PIES, INC., A California Corporation

hereby GRANT(S) to
SAMTRA CORP, A California Corporation

the following described real property in the City of PALM SPRINGS
County of RIVERSIDE, State of California:
LOT 8 AND THE EASTERLY 10 FEET OF LOT 7 OF EL MIRADOR ESTATES AS PER MAP ON
FILE IN BOOK 18, PAGE 76 OF MAPS, RECORDS OF SAID COUNTY.

Dated OCTOBER 10, 1996

STATE OF CALIFORNIA,
COUNTY OF RIVERSIDE

On Oct 10, 1996 before me,
C. Martin

(insert name/title of the officer), personally appeared

LUV-LY FRUIT PIES, INC.
BY: Samuel L. Apodaca
SAMUEL L. APODACA, PRES.
Teresa Holguin
TERESA HOLGUIN, SEC. TREAS.

Samuel L. Apodaca
and Teresa Holguin

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted executed the instrument.
WITNESS my hand and official seal.



Signature: C. Martin

(Notary Seal)

MAIL TAX STATEMENTS TO PARTY SHOWN BELOW: IF NO PARTY SO SHOWN, MAIL AS DIRECTED ABOVE.

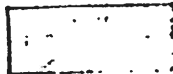
SAMTRA CORP, 688 VEREDA SUR, PALM SPRINGS, CA 92262

RECORDING REQUESTED BY
Recording Requested By
First American Title Insurance Company
 AND WHEN RECORDED MAIL THIS DEED AND
 UNLESS OTHERWISE SHOWN BELOW, MAIL TAX
 STATEMENTS TO:

CRAIG BLAU
 KATHLEEN O'NEAL
 1408 S.W. Vista Ave.
 Portland, OR 97201

162198

T



RECEIVED FOR RECORD
AT 2:00 O'CLOCK

PAID
 Doc. Trans'or Tax
 FRANK K. JOHNSON
 Riv. Co. Recorder

MAY - 9 1997

Recorder of Deeds
 of Riverside County, California
 Recorder

ESCROW NO. 21178-JB
 TITLE ORDER NO.
 A.P.N. 507-091-002
 TRA #011-021

SPACE ABOVE THIS LINE FOR RECORDER'S USES

CORPORATION GRANT DEED

The undersigned grantor(s) declare(s):
 Documentary transfer tax is \$ 577,50
 (X) computed on full value of property conveyed, or
 () computed on full value less value of liens and encumbrances remaining at time of sale.
 () Unincorporated area: (X) City of PALM SPRINGS and
 By this instrument dated ELEVENTH DAY OF MARCH, 1997 , for a valuable consideration

2070370-3

SAMTRA CORP., A CALIFORNIA CORPORATION

a corporation organized under the laws of the State of hereby GRANTS to

M.
 CRAIG/BLAU AND
 AND KATHLEEN A. O'NEAL, HUSBAND AND WIFE AS JOINT TENANTS

the following described real property in the CITY OF PALM SPRINGS
 County of RIVERSIDE , State of CALIFORNIA
LOT 8 AND THE EASTERLY 10 FEET OF LOT 7 OF EL MIRADOR ESTATES AS PER MAP ON
FILE IN BOOK 18, PAGE 76 OF MAPS, RECORDS OF SAID COUNTY.

In Witness Whereof, said corporation has caused its corporate name and seal to be affixed hereto and this instrument to be executed by its _____ President and _____ Secretary thereunto duly authorized.

STATE OF CALIFORNIA,
 COUNTY OF LOS ANGELES }

On MARCH 18 - 97 ELYRA R. RIVERA before me,
SAMUEL L. APODACA personally appeared

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he (she) executed the same in his (her) authorized capacity(ies) and that by his (her) signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.
 WITNESS my hand and official seal

SAMTRA CORP.
 A CALIFORNIA CORPORATION

By: Samtra Corp.

By: Samuel L. Apodaca Pres.



Signature Craig Blau
 MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE; IF NO PARTY IS SHOWN, MAIL AS DIRECTED ABOVE.
 CRAIG BLAU

5445715.94 (Name) (Street Address) (City & State)

FORNIA ALL-PURPOSE ACKNOWLEDGMENT

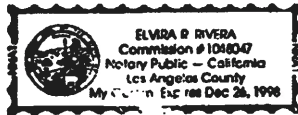
State of CALIFORNIA

County of LOS ANGELES

On MARCH 15 1997 before me, ELVIRA R RIVERA

personally appeared SAMUEL A HIDALGO

personally known to me - OR - proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

Elvira R Rivera

NOTARY PUBLIC

OPTIONAL

Though the data below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent reattachment of this form

CAPACITY CLAIMED BY SIGNER

- INDIVIDUAL
- CORPORATE OFFICER
- PARTNER(S) LIMITED GENERAL
- ATTORNEY-IN-FACT
- TRUSTEE(S)
- GUARDIAN CONSERVATOR
- OTHER

DESCRIPTION OF ATTACHED DOCUMENT

GRANT DEED
TITLE OR TYPE OF DOCUMENT

NUMBER OF PAGES

MARCH - 11 - 1997
DATE OF DOCUMENT

SIGNER IS REPRESENTING:

SIGNER(S) OTHER THAN NAMED ABOVE

DOC # 2020-0209571
05/18/2020 08:20 AM Fees: \$27.00
Page 1 of 2
Recorded in Official Records
County of Riverside
Peter Aldana
Assessor-County Clerk-Recorder

PLEASE COMPLETE THIS INFORMATION
RECORDING REQUESTED BY:

FIRST AMERICAN TITLE

AND WHEN RECORDED MAIL TO:
AND MAIL TAX STATEMENTS TO:

Mara Hofman, Trustee
11444 W Olympic Blvd 11th Floor
Los Angeles CA 90064

**This document was electronically submitted
to the County of Riverside for recording**
Received by: ALCIA #778

Space above this line for recorder's use only

GRANT DEED

Title of Document

TRA: 011-021

DTT: \$2,200.00

Exemption reason declared pursuant to Government Code 27388.1

- This document is a transfer that is subject to the imposition of documentary transfer tax.
- This is a document recorded in connection with a transfer that is subject to the imposition of documentary transfer tax.
Document reference: _____
- This document is a transfer of real property that is a residential dwelling to an owner-occupier.
- This is a document recorded in connection with a transfer of real property that is a residential dwelling to an owner-occupier.
Document reference: _____

**THIS PAGE ADDED TO PROVIDE ADEQUATE SPACE FOR RECORDING INFORMATION
(\$3.00 Additional Recording Fee Applies)**

Recording Requested By

DOC #2020-0209571 Page 2 of 2

First American Title Company

RECORDING REQUESTED BY:
The Escrow Connection

AND WHEN RECORDED MAIL TO:

Mara Hofman, Trustee of The Palm Trust
11444 W. Olympic Blvd., 11th Floor
Los Angeles, CA 90064

Order No. 6183383
Escrow No. 43463-KK
Parcel No. 507-091-022

SPACE ABOVE THIS LINE FOR RECORDER'S USE

TADU11021

GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S) THAT DOCUMENTARY TRANSFER TAX IS \$2,200.00

- computed on full value of property conveyed, or
- computed on full value less liens or encumbrances remaining at the time of sale.
- unincorporated area: City of Palm Springs, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
Craig M. Blau and Kathleen A. O'Neal, Husband and Wife as Joint Tenants

Hereby grants to Mara Hofman, Trustee of The Palm Trust dated May 1, 2020

the following described real property in the County of Riverside, State of California:

LOT 8 AND THE EASTERLY 10 FEET OF LOT 7 OF EL MIRADOR ESTATES AS SHOWN BY MAP ON FILE IN BOOK 18 PAGE 76 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA; EXCEPT ALL OIL, GAS OR OTHER HYDROCARBON SUBSTANCES AND WATER UNDERLYING SAID PROPERTY AS RESERVED IN DEED FROM SALLIE STEVENS NICHOLS, RECORDED MAY 31, 1945 IN BOOK 682 PAGE 111 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

Date April 29, 2020

Craig M. Blau

Craig M. Blau

Kathleen A. O'Neal

Kathleen A. O'Neal

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

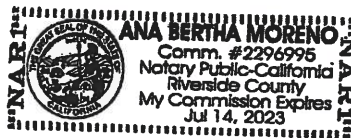
STATE OF CALIFORNIA
COUNTY OF Riverside }s.s.

On 4-30-2020, before me, Ana Bertha Moreno, notary public,
Personally appeared Craig M. Blau and Kathleen A. O'Neal, who
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature *[Signature]* (Seal)



Mail Tax Statement to: SAME AS ABOVE or Address Noted Below

RECORDING REQUESTED BY
T.D. SERVICE COMPANY

AND WHEN RECORDED MAIL TO
MITSUI MANUFACTURERS BANK
135 E. 9th Street
Los Angeles, CA. 90015
Attn: Irene Iwamoto

RECEIVED FOR RECORD
AT 900 O'CELANA, N.
LOS ANGELES, CALIF.
FEB 23 1983

33682
FEB 23 1983

156090-164

5

The undersigned declares under penalty of perjury that the following declaration is true and correct:

1) The grantee herein (was) ~~(was)~~ the foreclosing beneficiary

2) The amount of the unpaid debt together with costs was \$ 501,678.12

3) The amount paid by the grantee at the trustee's sale was \$ 450,000.00

4) The documentary transfer tax is \$ 0

5) Said property is in () unincorporated area; City of Palm Springs
county of Riverside

PARCEL NO. 507-91-1-7 Date February 16, 1983 By Maurice D. White

TRUSTEE'S DEED UPON SALE

Loan No.: 0505200
T.S. No.: 72341-2

This indenture is made with reference to the Deed of Trust hereinafter described and is made between
T.D. SERVICE COMPANY
(herein called Trustee), and the Grantee hereinafter named.

TRUSTOR: PAULA STEWART, a married woman, as her sole and separate property, also known as PAULA STEWART COLLINS

BENEFICIARY: MITSUI BANK OF CALIFORNIA, a State Chartered Banking corporation

Recorded June 26, 1979 as instr. No. 132582 in book 1979
page 132582 of Official Records in the office of the Recorder of Riverside County;

said deed of trust describes the following property:
Lots 7, 8 and 9 of El Mirador Estates as per map recorded in book 18, page 76 of maps, in the office of the county recorder of said county.

This instrument filed for record by American Title Company, as an accommodation only. It has not been examined as to its effect upon the...

Whereas, the above named trustor did, by the trust deed referred to above, grant and convey to the trustee named therein, the property heretofore described to secure, among other obligations, payment of a note or notes with interest according to the terms thereof; and Whereas, the holder of said note did execute and deliver to trustee written declaration of default and demand for sale and notice of default and election to cause the undersigned to sell said property which notice was
Recorded November 12, 1981 as instr. No. 211231 in book 1981
page 211231 of said Official Records.

Thereafter, a notice of trustee's sale, stating that said trustee would sell the above described property at public auction to the highest bidder for cash on
Monday, January 24, 1983 at 1:00 P.M. at the Main Street entrance to the County Courthouse, 4050 Main St., Riverside, CA

MAIL TAX STATEMENTS TO THE RECORDERS OFFICE

33682

said notice was posted for not less than twenty days before the date of sale therein fixed, as follows in one public place in the said city of

Riverside

wherein said property was to be sold to wit on a bulletin board

located inside the Main Street entrance to the County Courthouse

and also in a conspicuous place on said property to be sold; and said Trustee did cause a copy of said Notice to be published once a week for twenty days before the date of sale therein fixed in

DESERT SUN PUBLISHING COMPANY

a newspaper of general circulation printed and published in the city or district in which said real property is situated, the first date of such publication being ; and

January 3, 1983

Said notice was also recorded at least 14 days prior to the sale in the office of the county recorder of the county in which the property heretofore described is located.

Whereas, copies of said recorded Notice of Default and of said Notice of Sale were mailed, served or published in accordance with Section 2924b of the Civil Code to or upon all those who were entitled in compliance with all requirements of law; and

Whereas, all applicable statutory provisions of the state of California and all of the provisions of said Deed of Trust have been complied with as to acts to be performed and notices to be given; and

Whereas Trustee did at the time and place of sale fixed as aforesaid, then and there sell, at public auction, to said Grantee, being the highest bidder therefor, the property hereinafter described, for the sum of \$, **450,000.00** by the satisfaction **Pro-tanto** of the indebtedness then secured by said Deed of Trust.

Now, therefore, Trustee in consideration of the premises recited and of the sum above mentioned bid and paid by Grantee, the receipt whereof is hereby acknowledged, and by virtue of the authority vested in it by said Deed of Trust, does, by these presents **GRANT AND CONVEY** without any covenant or warranty, express or implied all that certain property herein before described, to

MITSUI MANUFACTURERS BANK, a California Corp.

In Witness Whereof, the undersigned caused its corporate name and seal to be hereunto affixed

T.D. SERVICE COMPANY

Dated .. **February 18, 1983**

Linda S. Mayes
Linda S. Mayes, Assistant Vice President
Wanda McMillion
Wanda McMillion, Assistant Secretary

STATE OF CALIFORNIA
COUNTY OF **Orange**

On .. **February 18, 1983**
Linda S. Mayes
Wanda McMillion

before me, the undersigned a Notary Public in and for said State, personally appeared known to me to be the **Assistant Vice** President, and

to be **Ass'nt** Secretary of the corporation that executed the within instrument, known to me to be the persons who executed the within instrument on behalf of the corporation therein named and acknowledged to me that such corporation executed the within instrument pursuant to its by laws or a resolution of its Board of directors.

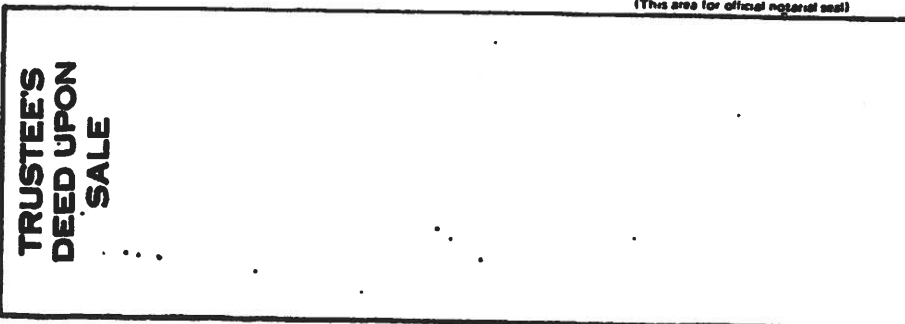
WITNESS my hand and official seal

Sharon M. DePietro

Sharon M. DePietro
Name (Typed or Printed)



(This area for official notarial seal)



State: CA
County: RIVERSIDE
Doc Type: DD
Description: 1984.225394
Status: Not Online

This document is not available online.

Submit a Discrepancy request and Datatree will attempt to fulfill request from media library.

NO COR FILED

STEWART TITLE CO.
 Order No. 4385
 Escrow No.
 Loan No.

48163

WHEN RECORDED MAIL TO:
 Benchmark Properties Inc.
 Philip H. Stoermer, Pres.
 Blum, Kay & Merle
 2030 Franklin St., 4th Floor
 Oakland, Ca. 94612

RECEIVED FOR RECORD AT 2:00 O'CLOCK P.M.

FEB 20 1987
 Recorder's Office
 of Riverside County
 William F. Conerly
 Recorder

PAID
 Doc. Transfer Tax
 WILLIAM E. CONERLY
 Riv. Co. Recorder

SPACE ABOVE THIS LINE FOR RECORDERS

MAIL TAX STATEMENTS TO:
 address above

DOCUMENTARY TRANSFER TAX \$ 660.00
 Computed on the consideration or value of property conveyed; OR
 Computed on the consideration or value less liens or encumbrances
 remaining at time of sale.
The Escrow Connection
 Signature of Declarant or Agent determining tax - Firm Name

507-091-002-8

GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
K. WALTER HAAKE AND LINDA M. HAAKE, TRUSTEES UNDER TRUST DATED APRIL 23, 1982

hereby GRANT(S) to

BENCHMARK PROPERTIES INC., a California corporation
 the real property in the City of **Palm Springs**, State of California, described as
 County of **Riverside**

**Lot 8 and the Easterly 10 feet of Lot 7 of El Mirador Estates as per map
 on file in book 18 page 76 of maps, records of said county.**

EXCEPT all oil, gas or other hydrocarbon substances and water underlying said
 property as reserved in deed from Sallie Stevens Nichols, recorded May 11, 1944
 in Book 682 page 111 of Official Records of Riverside County, California

75351-6

Dated February 13, 1987

STATE OF CALIFORNIA
 COUNTY OF Riverside

On February 19, 1987

before me, the undersigned, a Notary Public in and for said State, personally appeared K. Walter Haake,
Trustee + Linda M. Haake,
Trustee

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same.

WITNESS my hand and official seal.

Signature Kathy Kleindienst

Walter Haake, Trustee
 K. Walter Haake, Trustee

Linda M. Haake, Trustee
 Linda M. Haake, Trustee

OFFICIAL SEAL
KATHY KLEINDIENST
 Notary Public - California
 My Commission Expires January 15, 1989

(This area for official notarial seal)

1002 (4/82)

MAIL TAX STATEMENTS AS DIRECTED ABOVE

STEWART TITLE CO.
RECORDING REQUESTED BY

The Escrow Connection

AND WHEN RECORDED MAIL THIS DEED AND, UNLESS OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO.

48166 NAME: Howard L. Sanger, Trustee of the F.S.C.O. Trust
ADDRESS: 400 S. Farrell Ste. B-102
CITY & STATE ZIP: Palm Springs, Ca. 92262

Title Order No. _____ Escrow No. 4453

NO COR FILED

RECEIVED FOR RECORD
AT 2:00 O'CLOCK P.M.

FEB 20 1987
Recorded in Official Records of Riverside County, California
William E. Conerly
Recorder
Fees \$ _____

PAID
Doc. Transfer Tax
WILLIAM E. CONERLY
Riv. Co. Recorder

507-091-002-8

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Corporation Grant Deed

The undersigned declares that the documentary transfer tax is \$ 660.00 and is
 computed on the full value of the interest or property conveyed, or is
 computed on the full value less the value of liens or encumbrances remaining thereon at the time of sale. The land, tenements or realty is located in
 unincorporated area city of Palm Springs and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged.

BENCHMARK PROPERTIES INC., a California corporation

a corporation organized under the laws of the State of California
 hereby GRANT(S) to **HOWARD L. SANGER, TRUSTEE OF THE F.S.C.O. TRUST**
 DATED FEBRUARY 13, 1987

the following described real property in the City of Palm Springs
 County of Riverside state of California:

Lot 8 and the Easterly 10 feet of Lot 7 of El Mirador Estates as per map on file in book 18 page 76 of maps, Records of said county.

EXCEPT all oil, gas or other hydrocarbon substances and water underlying said property as reserved in deed from Sallie Stevens Nichols, recorded May 31, 1945 in Book 682 page 111 of Official Records of Riverside County, California.

75351-7

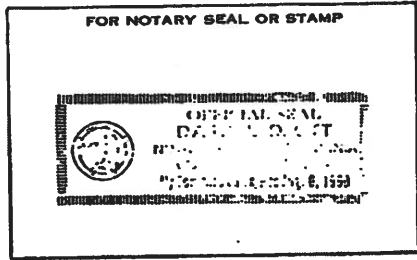
Dated February 13, 1987

STATE OF CALIFORNIA
 COUNTY OF Alameda SS
 On this the 18th day of February 1987
 before me, the undersigned, a Notary Public in and for said County and State, personally appeared Phillip H. Stoerner

Benchmark Properties Inc.
 BY: *Phillip H. Stoerner*

personally known to me or proved to me on the basis of satisfactory evidence to be the _____ President, and
 personally known to me or proved to me on the basis of satisfactory evidence to be _____ Secretary of the corporation that executed the within instrument, personally known to me or proved to me on the basis of satisfactory evidence to be the persons who executed the within instrument on behalf of the corporation therein named, and acknowledged to me that such corporation executed the within instrument pursuant to its by-laws or a resolution of its board of directors

Phillip H. Stoerner
 Signature of Notary



MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE: IF NO PARTY SO SHOWN, MAIL AS DIRECTED ABOVE

Name _____ Street Address _____ City & State _____
 CAL-2 (Rev 9-82)

257198

RECORDING REQUESTED BY
The Escrow Connection

DO NOT SIGN UNTIL YOU HAVE READ THIS DEED AND ALL OTHER INSTRUMENTS WHICH MAY BE REFERRED TO HEREIN.

Name _____
Street Address **Luv-ly Fruit Pies, Inc.**
City & State **4381 E. Gage Ave.
Bell, Ca. 90201**

MAIL TAX STATEMENTS TO _____

Name _____
Street Address **address above**
City & State _____

TITLE ORDER NO _____ ESCROW NO **5589**

RECEIVED FOR RECORD
AT 8:30 O'CLOCK A.M.
AS REQUESTED BY
FIRST AMERICAN TITLE COMPANY
OF RIVERSIDE
SEP 3 1987
Recorded in Official Records
of Riverside County, California
William E. Gandy
Recorder

PAID
P.C. TRUST CO. OF CALIF.
RIVERSIDE, CALIF.

SPACE ABOVE THIS LINE FOR RECORDERS USE

GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S)
DOCUMENTARY TRANSFER TAX is \$ **385.00**
computed on full value of property conveyed, or
 computed on full value less value of liens or encumbrances remaining at time of sale.
 unincorporated area
 city of Palm Springs . AND

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
James Orsen Bakker and Tammy Faye Bakker, Co-Trustees of the F.S.C.O.
Trust dated February 13, 1987.

1773247-5

hereby GRANT(s) to
Luv-ly Fruit Pies, Inc., a California Corporation

the following described real property in the City of Palm Springs
County of Riverside . State of California:

Lot 8 and the Easterly 10 feet of Lot 7 of El Mirador Estates as per
map on file in Book 18, Page 76 of maps, records of said county.

Dated Aug. 19, 1987

STATE OF ~~CALIFORNIA~~ North Carolina } SS
COUNTY OF RIVERSIDE }
On this 1 day of September in the year 19 87
before me, the undersigned, a Notary Public in and for said State
personally appeared James Orsen Bakker, Trustee
and Tammy Faye Bakker, Trustee

_____ personally known to me
(as proved to me on the basis of satisfactory evidence) to be the
person(s) whose name(s) are subscribed to the within
instrument, and acknowledged to me that they executed it

WITNESS my hand and official seal

Signature James H. Toms
NOTARY PUBLIC IN AND FOR SAID STATE My commission expires: Apr 3, 1989

CO-441 (REV 4/85) MAIL TAX STATEMENTS AS DIRECTED ABOVE.

208339

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL TO

NAME | ARTHUR MOGULL
 ADDRESS | KATHLEEN J. VAN STRALRN MOGULL
 CITY & STATE | 688 VEREDA SUR
 ZIP | PALM SPRINGS, CA 92262

Title Order No. 183451R Escrow No. 10-9862

MAIL TAX STATEMENTS TO

NAME | ABOVE
 STREET ADDRESS |
 CITY & STATE |
 ZIP |

PAID
 Doc. Transfer Tax
 WILLIAM E. CONERLY
 Rte. Co. Recorder

RECEIVED FOR RECORD
 AT 8:30 O'CLOCK A.M.
 AT REQUEST OF
 FIRST AMERICAN TITLE COMPANY
 OF RIVERSIDE
 JUN 23 1989
 Recorded in Official Records
 of Riverside County, California
 William E. Conerly
 Recorder

SPACE ABOVE THIS LINE IS FOR RECORDER'S USE

DOCUMENTARY TRANSFER TAX \$770.00
 COMPUTED ON FULL VALUE OF PROPERTY CONVEYED,
 OR COMPUTED ON FULL VALUE LESS LIENS AND
 ENCUMBRANCES REMAINING AT TIME OF SALE.

General Escrow Company
 Signature of Deedman or Agent determining tax. Firm Name

CORPORATION GRANT DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
 LUV-LY FRUIT PIES, INC.,

a California Corporation hereby GRANT(S) to

ARTHUR MOGULL AND
 KATHLEEN J. VAN STRALRN MOGULL, HUSBAND AND WIFE AS COMMUNITY PROPERTY

the following described real property in the City of Palm Springs
 county of Riverside, state of California:

LOT 8 AND THE EASTERLY 10 FEET OF LOT 7 OF EL MIRADOR ESTATES AS PER MAP ON FILE
 IN BOOK 18, PAGE 76 OF MAPS, RECORDS OF SAID COUNTY.

183451R-3

LUV-LY FRUIT PIES, INC., a California Corporation
 BY: Sam Apodaca President
 SAM APODACA

Dated JUNE 8, 1989
 STATE OF CALIFORNIA }
 COUNTY OF Los Angeles } ss.

On 6-19-89 before me,
 the undersigned, a Notary Public in and for said County and
 State, personally appeared Sam Apodaca
 known to me to be the _____ President, and
 _____, known to me to be
 _____ Secretary of the corporation that executed
 the within Instrument, and acknowledged to me that such
 corporation executed the within instrument pursuant to its by-
 laws or a resolution of its board of directors.

Signature Elvira R. Rivera
 ELVIRA R. RIVERA
 Name (Typed or Printed)
 Notary Public in and for said County and State

OFFICIAL SEAL
 ELVIRA R RIVERA
 NOTARY PUBLIC - CALIFORNIA
 LOS ANGELES COUNTY
 My Comm. expires OCT 1, 1990

(This area for official notarial seal)

MAIL TAX STATEMENT AS DIRECTED ABOVE Form No. 2988

411668

Order No.
Escrow No.
Loan No.
RECORDING REQUESTED BY:
ATTORNEY
WHEN RECORDED MAIL TO:
ROBERT ALLEN ROSE, ESQ.
400 S. Farrell Dr., B-102
Palm Springs, CA 92262

RECEIVED FOR RECORD
AT 2:30 O'CLOCK AM
NOV - 9 1990
Pursuant to Official Notice
of Intention to Change Ownership
of Real Property
Page 8

SPACE ABOVE THIS LINE FOR RECORDER'S USE

MAIL TAX STATEMENT TO:
MR. & MRS. ARTHUR MOGULL
688 East Vereda Sur
Palm Springs, CA 92262

No tax due - change of title only
DOCUMENTARY TRANSFER TAXS
Computed on the consideration or value of property conveyed OR
Computed on the consideration or value less liens or encumbrances
remaining at time of sale

Signature of Declarant or Agent determining tax - Firm Name
ROBERT ALLEN ROSE

QUITCLAIM DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, ARTHUR MOGULL and KATHLEEN J. VAN STRALEN MOGULL, husband and wife as community property

do hereby REMISE, RELEASE AND FOREVER QUITCLAIM to ARTHUR MOGULL and KATHLEEN JANET MOGULL, Trustees of THE ARTHUR MOGULL & KATHLEEN JANET MOGULL INTER VIVOS REVOCABLE TRUST DECLARATION OF 1990, or their successors in interest

the real property in the City of Palm Springs, State of California, described as County of Riverside

Lot 8 and the Easterly 10 feet of Lot 7 of El Mirador Estates as per map on file in Book 18, page 76 of Maps, Records of said County

THIS IS A TRANSFER UNDER SECTION 63 OF THE TAX & REVENUE CODE AND DOES NOT CAUSE AN INCREASE IN PROPERTY TAX UNDER PROPOSITION 13

Dated November 3, 1990

Arthur Mogull
ARTHUR MOGULL

STATE OF CALIFORNIA
COUNTY OF CALIFORNIA

On November 3, 1990

Kathleen Janet Mogull
KATHLEEN JANET MOGULL

before me, the undersigned, a Notary Public in and for said State, personally appeared ARTHUR MOGULL and KATHLEEN JANET MOGULL

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same



WITNESS my hand and official seal.
Signature Joan L. Rose

(This area for official notarial seal)

MAIL TAX STATEMENTS AS DIRECTED ABOVE

1088 (6/82)

Stewart Title

331475

RECORDING REQUESTED BY
T.D. SERVICE COMPANY
AND WHEN RECORDED MAIL TO

RECEIVED FOR RECORD
AT 2:00 O'CLOCK

OCT - 9 1995

Samuel Apodaca
Luv-Ly Fruit Pies, Inc.
1211 Azusa Canyon Rd.
West Covina, CA 91790

Recorded in Official Records
of Riverside County, California
Page 6

68450

SPACE ABOVE THIS LINE FOR RECORDERS USE
TRUSTEE'S DEED UPON SALE

The undersigned declares under penalty of perjury that the following declaration is true and correct:

- 1) The Grantee herein was the foreclosing beneficiary
- 2) The amount of the unpaid debt together with costs was--- 437,532.27
- 3) The amount paid by the Grantee at the Trustee's Sale was 437,532.27
- 4) The documentary transfer tax is----- 0.00
- 5) The city transfer tax is----- 0.00
- 6) The monument preservation tax is----- 0.00
- 7) Said property is in Palm Springs, County of Riverside

TRAN# 011021
AP# 507 091 002 B
Dated September 28, 1995

T.D. SERVICE COMPANY
By Kan Benoit

T.S. No. M214542
Unit Code M
Loan No. MOGULL

T.D. SERVICE COMPANY
(herein called Trustee),
does hereby GRANT AND CONVEY, without any covenant or warranty, express or implied to
LUV-LY FRUIT PIES, INC., A CALIFORNIA CORPORATION

(herein called Grantee), such interest as Trustee has in that certain property described as follows:

LOT 8 AND THE EASTERLY 10 FEET OF LOT 7 OF EL MIRADOR ESTATES AS PER MAP ON FILE IN BOOK 18, PAGE 76 OF MAPS, RECORDS OF SAID COUNTY, EXCEPT ALL OIL, GAS OR OTHER HYDROCARBON SUBSTANCES AND WATER UNDERLYING SAID PROPERTY AS RESERVED IN DEED FROM SALLIE STEVENS NICHOLS, RECORDED MAY 31, 1945 IN BOOK 682 PAGE 111 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

This conveyance is made pursuant to the authority vested in said Trustee, as Trustee or as duly appointed Trustee by the Deed of Trust described as follows:

TRUSTOR: ARTHUR MOGULL
KATHLEEN J. VAN STRALEN MOGULL

BENEFICIARY: LUV-LY FRUIT PIES, INC.

Recorded June 23, 1989 as Instr. No. 208340 In Book
Page of Official Records in the office
of the recorder of Riverside County;

MAIL TAX STATEMENTS TO THE ADDRESS SHOWN ABOVE

No. M214542
Unit Code M
Loan No. MOGULL

Whereas, the holder of the note secured by said Deed of Trust delivered to Trustee a written Declaration of Default and, pursuant thereto, a Notice of Default was Recorded January 5, 1995 as Instr. No. 3164 In Book _____ Page _____ of Official Records in the office _____ of the recorder of Riverside County;

Whereas, Trustee complied with all applicable statutory provisions of California Civil Code Sections 2924 et seq., and of the described Deed of Trust, including the mailing, publication, personal delivery, and posting of the Notice of Default and Notice of Sale, as respectively appropriate.

Said Notice of Trustee's Sale stated the time and place that Trustee would sell its interest in the described property at public auction. On September 27, 1995, the date set forth in the Notice of Trustee's Sale or the properly postponed sale date, Trustee sold the described property to Grantee, the highest qualified bidder present, for the sum of \$ 437,532.27

In Witness Whereof, the undersigned caused its corporate name and seal to be hereunto affixed.

Dated September 27, 1995 T.D. SERVICE COMPANY

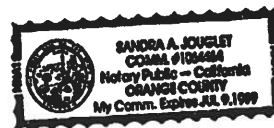
By *Sandra M. Armenta* Asst. Secretary
By *Karen Benanti* Asst. Secretary

STATE OF CALIFORNIA
COUNTY OF Orange

On 9-27-95 before me, Sandra A. Jouglet
personally appeared Sandra M. Armenta Asst. Secretary
Karen Benanti Asst. Secretary

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

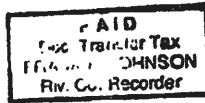
WITNESS my hand and official seal.
Signature *Sandra A. Jouglet* (Seal)



RECORDING REQUESTED BY

AND WHEN RECORDED MAIL THIS DEED AND, UNLESS OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO:

Name SAMTRA CORP
Street Address P O BOX 415
City State Zip BELL, CA 90201



404385
RECEIVED FOR RECORD
AT 8:00 O'CLOCK

OCT 22 1996

Recorded in Official Records
of Riverside County, California
Recorder
Fees \$ 6

ORDER NO.
ESCROW NO. 6741-CM

RECORDERS USE ONLY
CORPORATION GRANT DEED
TAX PARCEL NO. 507 091 002 F

The undersigned declares that the documentary transfer tax is \$ 616.00 and is computed on the full value of the interest of the property conveyed, or is computed on the full value less the value of liens or encumbrances remaining thereon at the time of sale. The land, tenements or realty is located in unincorporated area city of PALM SPRINGS and FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, LUV-LY FRUIT PIES, INC., A California Corporation

hereby GRANT(S) to
SAMTRA CORP, A California Corporation

the following described real property in the City of PALM SPRINGS
County of RIVERSIDE, State of California:
LOT 8 AND THE EASTERLY 10 FEET OF LOT 7 OF EL MIRADOR ESTATES AS PER MAP ON
FILE IN BOOK 18, PAGE 76 OF MAPS, RECORDS OF SAID COUNTY.

Dated OCTOBER 10, 1996
STATE OF CALIFORNIA,
COUNTY OF RIVERSIDE
On Day 10, 1996
C. Martin before me.
(insert name/title of the officer), personally appeared

LUV-LY FRUIT PIES, INC.
BY: Samuel L. Apodaca
SAMUEL L. APODACA, PRES.
Teresa Holguin
TERESA HOLGUIN, SVP/TREAS.

Samuel L. Apodaca
and Teresa Holguin



personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted executed the instrument.
WITNESS my hand and official seal.

Signature: C. Martin (Notary Seal)

MAIL TAX STATEMENTS TO PARTY SHOWN BELOW. IF NO PARTY SO SHOWN, MAIL AS DIRECTED ABOVE.
SAMTRA CORP, 688 VEREDA SUR, PALM SPRINGS, CA 92262
Name Street Address City & State ZIP

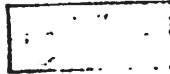
RECORDING REQUESTED BY
Recording Requested By
First American Title Insurance Company

AND WHEN RECORDED MAIL THIS DEED AND
UNLESS OTHERWISE SHOWN BELOW, MAIL TAX
STATEMENTS TO:

CRAIG BLAU
KATHLEEN O'NEAL
1408 S.W. Vista Ave.
Portland, OR 97201

162198

(T)



RECEIVED FOR RECORD
AT 2:00 O'CLOCK

PAID
Doc. Trans'er Tax
FRANK K. JOHNSON
Riv. Co. Recorder

MAY - 9 1997

Recorder in Office Records
of Riverside County California
Recorder

ESCROW NO. 21178-JB
TITLE ORDER NO.
A.P.N. 507-091-002
TRA #011-021

SPACE ABOVE THIS LINE FOR RECORDER'S USES

CORPORATION GRANT DEED

The undersigned grantor(s) declare(s):

Documentary transfer tax is \$ 577,50

(X) computed on full value of property conveyed, or

() computed on full value less value of liens and encumbrances remaining at time of sale.

() Unincorporated area: (X) City of PALM SPRINGS and

By this instrument dated ELEVENTH DAY OF MARCH, 1997, for a valuable consideration

SAMTRA CORP., A CALIFORNIA CORPORATION

a corporation organized under the laws of the State of
hereby GRANTS to

M.
CRAIG/BLAU AND
AND KATHLEEN A. O'NEAL, HUSBAND AND WIFE AS JOINT TENANTS

the following described real property in the CITY OF PALM SPRINGS
County of RIVERSIDE, State of CALIFORNIA
LOT 8 AND THE EASTERLY 10 FEET OF LOT 7 OF EL MIRADOR ESTATES AS PER MAP ON
FILE IN BOOK 18, PAGE 76 OF MAPS, RECORDS OF SAID COUNTY.

In Witness Whereof, said corporation has caused its corporate name and seal to be affixed hereto and this
instrument to be executed by its _____ President and _____ Secretary
thereunto duly authorized.

STATE OF CALIFORNIA,
COUNTY OF LOS ANGELES } ss

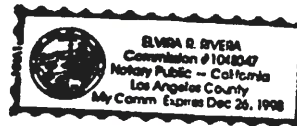
On MARCH 18, 1997 ELVIRA R. RIVERA before me,
SAMUEL L. APODACA personally appeared

SAMTRA CORP.
A CALIFORNIA CORPORATION

By: Samuel L. Apodaca Pres.

By: Samuel L. Apodaca Pres.

personally known to me (or proved to me on the basis of satisfactory
evidence) to be the person(s) whose name(s) is are subscribed to the
within instrument and acknowledged to me that he/she/they executed
the same in his/her/their authorized capacity(ies) and that by his/her/their
signature(s) on the instrument the person(s), or the entity upon behalf
of which the person(s) acted, executed the instrument.
WITNESS my hand and official seal



Signature _____
MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE; IF NO PARTY IS SHOWN, MAIL AS DIRECTED ABOVE.
CRAIG BLAU

545715/94

(Name)

(Street Address)

(City & State)

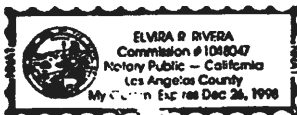
2070370-3

FORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of CALIFORNIA
County of SAN BERNARDINO

On MARCH 15 1997 before me, ELVIRA R RIVERA
personally appeared SAMUEL A HIDALGO

personally known to me - OR - proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

Elvira R Rivera

NOTARY PUBLIC

OPTIONAL

Though the data below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent reattachment of this form

CAPACITY CLAIMED BY SIGNER

- INDIVIDUAL
- CORPORATE OFFICER
- PARTNER(S)
 - LIMITED
 - GENERAL
- ATTORNEY-IN-FACT
- TRUSTEE(S)
- GUARDIAN CONSERVATOR
- OTHER

DESCRIPTION OF ATTACHED DOCUMENT

GRANT DEED
TITLE OR TYPE OF DOCUMENT

NUMBER OF PAGES

MARCH - 11 - 1997
DATE OF DOCUMENT

SIGNER IS REPRESENTING:

SIGNER(S) OTHER THAN NAMED ABOVE

DOC # 2020-0209571
05/18/2020 08:20 AM Fees: \$27.00
Page 1 of 2
Recorded in Official Records
County of Riverside
Peter Aldana
Assessor-County Clerk-Recorder

PLEASE COMPLETE THIS INFORMATION
RECORDING REQUESTED BY:

FIRST AMERICAN TITLE

AND WHEN RECORDED MAIL TO:
AND MAIL TAX STATEMENTS TO:

Mara Hofman, Trustee
11444 W Olympic Blvd 11th Floor
Los Angeles CA 90064

**This document was electronically submitted
to the County of Riverside for recording**
Received by: ALYCIA #778

Space above this line for recorder's use only

GRANT DEED

Title of Document

TRA: 011-021

DTT: \$2,200.00

Exemption reason declared pursuant to Government Code 27388.1

- This document is a transfer that is subject to the imposition of documentary transfer tax.
- This is a document recorded in connection with a transfer that is subject to the imposition of documentary transfer tax.
Document reference: _____
- This document is a transfer of real property that is a residential dwelling to an owner-occupier.
- This is a document recorded in connection with a transfer of real property that is a residential dwelling to an owner-occupier.
Document reference: _____

THIS PAGE ADDED TO PROVIDE ADEQUATE SPACE FOR RECORDING INFORMATION
(\$3.00 Additional Recording Fee Applies)

Recording Requested By

First American Title Company

DOC #2020-0209571 Page 2 of 2

RECORDING REQUESTED BY:
The Escrow Connection

AND WHEN RECORDED MAIL TO:

Mara Hofman, Trustee of The Palm Trust
11444 W. Olympic Blvd., 11th Floor
Los Angeles, CA 90064

Order No. 6183383
Escrow No. 43463-KK
Parcel No. 507-091-022

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Tut 011071

GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S) THAT DOCUMENTARY TRANSFER TAX IS \$2,200.00

- computed on full value of property conveyed, or
- computed on full value less liens or encumbrances remaining at the time of sale.
- unincorporated area: City of Palm Springs, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
Craig M. Blau and Kathleen A. O'Neal, Husband and Wife as Joint Tenants

Hereby grants to Mara Hofman, Trustee of The Palm Trust dated May 1, 2020

the following described real property in the County of Riverside, State of California:

LOT 8 AND THE EASTERLY 10 FEET OF LOT 7 OF EL MIRADOR ESTATES AS SHOWN BY MAP ON FILE IN BOOK 18 PAGE 76 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA; EXCEPT ALL OIL, GAS OR OTHER HYDROCARBON SUBSTANCES AND WATER UNDERLYING SAID PROPERTY AS RESERVED IN DEED FROM SALLIE STEVENS NICHOLS, RECORDED MAY 31, 1945 IN BOOK 682 PAGE 111 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

Date April 29, 2020

Craig M. Blau

Craig M. Blau

Kathleen A. O'Neal

Kathleen A. O'Neal

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

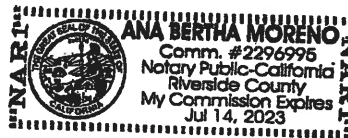
STATE OF CALIFORNIA
COUNTY OF Riverside } s.s.

On 4-30-2020, before me, Ana Bertha Moreno, notary public,
Personally appeared Craig M. Blau and Kathleen A. O'Neal, who
proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature *[Signature]* (Seal)

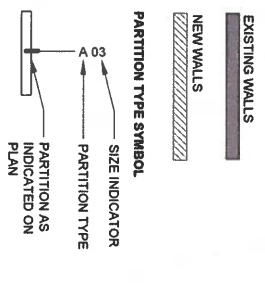


Mail Tax Statement to: SAME AS ABOVE or Address Noted Below

CONSTRUCTION KEY NOTES

- 1 2" ROUND ROD
- 2 4" CONCRETE BOWL, SINK
- 3 4" RANGE
- 4 4" REFRIGERATOR
- 5 4" REFRIGERATOR ABOVE SEE M101
- 6 CONCRETE PATIO
- 7 3" REVERSE FRIDGE
- 8 3" REVERSE FRIDGE
- 9 3" REFRIGERATOR
- 10 WASHER
- 11 DRYER
- 12 EXIST 100 AMP SUB PANEL
- 13 3" RANGE
- 14 3" RANGE
- 15 3" RANGE
- 16 SHELVES
- 17 PAINTER
- 18 WATER SHUTOFF
- 19 WATER SHUTOFF
- 20 RAISED PLANTER BED
- 21 BASEMENT LINE BELOW
- 22 OUTDOOR HEATER
- 23 1" SHOWER BENCH
- 24 BASEMENT WINDOW WELL
- 25 BRYER VENT
- 26 WHOLE HOUSE WATER CHILLER
- 27 WHOLE HOUSE WATER CHILLER
- 28 WHOLE HOUSE WATER CHILLER
- 29 WHOLE HOUSE WATER CHILLER
- 30 WHOLE HOUSE WATER CHILLER
- 31 WHOLE HOUSE WATER CHILLER
- 32 ALIHO VISUAL EQUIP
- 33 AIR CONDITIONER SEE M101
- 34 AIR CONDITIONER SEE M101
- 35 ELEC EQUIPMENT SEE X.3" P
- 36 SALINA, INFRARED MED 6
- 37 LEDGE @ 4" J/F
- 38 ICE LOCKBOX
- 39 POOL EQUIPMENT INT ELEVATIONS
- 40 POOL EQUIPMENT INT ELEVATIONS
- 41 EXIST ELEC SUB PANEL TO BE RELOCATED
- 42 WHOLE HOUSE WATER FILTER SOUTHERN
- 43 WHOLE HOUSE WATER FILTER SOUTHERN
- 44 3" PANEL AIRWORK

LEGEND



PARTITION TYPE

CODE DESCRIPTION

A TYPE A - FULL HEIGHT NON-RATED EXTERIOR WALL. SEE DETAIL 21A01

B TYPE B - FULL HEIGHT INTERIOR. SEE DETAIL

C TYPE C - FULL HEIGHT CONCRETE WALL. SEE DETAIL 41A01

D TYPE D - CMU WALL, STUCCO FINISH, TYPE E - FULL HEIGHT ATTENUATED INTERIOR

STUD SIZES

INDICATOR DESCRIPTION

4 2X4" WOOD

6 2X6" WOOD

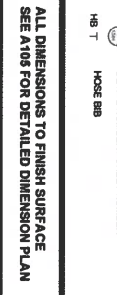
CMU SIZES

INDICATOR DESCRIPTION

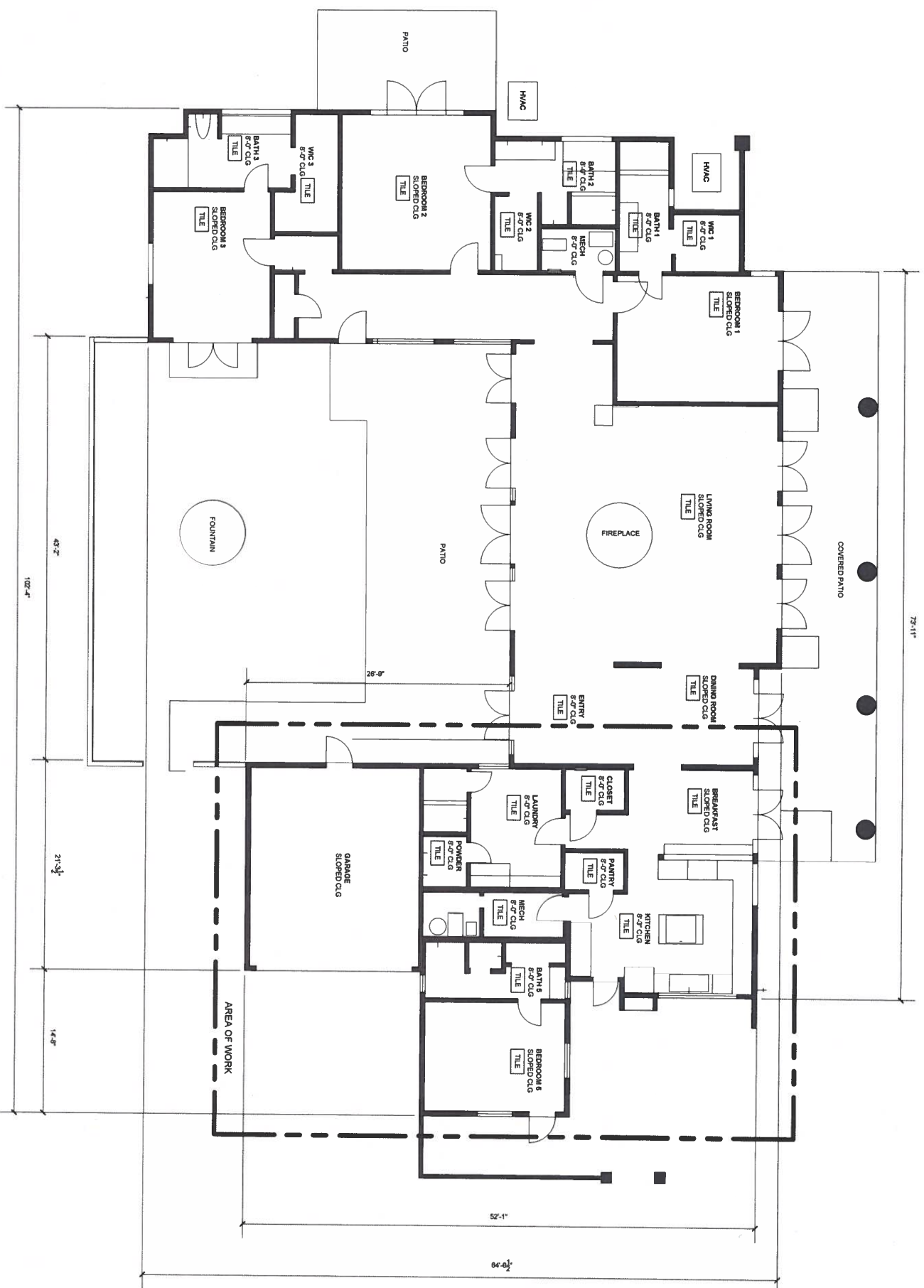
6 8X8X16" CMU BLOCK

8 8X8X16" CMU BLOCK

12 12X8X16" CMU BLOCK



ALL DIMENSIONS TO FINISH SURFACE
SEE A106 FOR DETAILED DIMENSION PLAN



1 AS-BUILT FLOOR PLAN
Scale: 3/16" = 1'-0"



Residential Design
2000 North Vista Grande Ave
Palm Springs, CA 92262
P: 760.328.1111
E: design@hundredmilehouse.com
W: hundredmilehouse.com
Drewen Smith, Principal Designer

General Notes
NOTE: Drawings for Design Intent.
Proprietary. Only 7/16/11 is not responsible for construction or installation for all related trades participating on the project. All work shall be reviewed and approved by the architect prior to construction. All work shall be reviewed and approved by the architect prior to construction. All work shall be reviewed and approved by the architect prior to construction.

DRIVER RESIDENCE
688 VEREDA SUR,
PALM SPRINGS CA 92262

DATE	REVISION
4/20/11	ARCHITECT REVIEW

AS-BUILT FLOOR PLAN

04/26/21
3/16" = 1'-0"

A100

CONSTRUCTION KEY NOTES

- 1 2" FINISHES
- 2 2" CONSOLE SINK
- 3 4" RANGE
- 4 4" REFRIGERATOR ABOVE, SEE M101
- 5 CONCRETE PATIO
- 6 2" REVERSE FINISH
- 7 2" REVERSE FINISH
- 8 3" REFRIGERATOR
- 9 3" REFRIGERATOR
- 10 WASHER
- 11 EXIST 100 AMP SUB PANEL
- 12 3" RANGE
- 13 3" RANGE
- 14 3" RANGE
- 15 3" RANGE
- 16 SHELVES
- 17 PANTRY
- 18 PANTRY
- 19 WATER SHUTOFF
- 20 RAISED PLANTER BED
- 21 BASEMENT LINE BELOW
- 22 OUTDOOR HEATER
- 23 1" SHOWER BENCH
- 24 BASEMENT WINDOW WELL
- 25 1" SHOWER BENCH
- 26 1" SHOWER BENCH
- 27 1" SHOWER BENCH
- 28 1" SHOWER BENCH
- 29 WHOLE HOUSE WATER CHILLER
- 30 WHOLE HOUSE WATER HEATER SEE M101
- 31 WHOLE HOUSE WATER HEATER SEE M101
- 32 ALMO VISUAL EQUIP
- 33 AIR CONDITIONERS SEE M101
- 34 AIR CONDITIONERS SEE M101
- 35 ELEC EQUIPMENT SEE M101
- 36 SALINA, INFURRED MED 8
- 37 5/16" LEDGE @ 4" AFF
- 38 SCEL LOCKBOX
- 39 SCEL LOCKBOX
- 40 POOL EQUIPMENT
- 41 POOL EQUIPMENT
- 42 EXIST ELEC SUB PANEL TO BE RELOCATED
- 43 WHOLE HOUSE WATER FILTER SPLITTER
- 44 3" PANEL WORK

LEGEND

EXISTING WALLS



NEW WALLS

PARTITION TYPE SYMBOL

SIZE INDICATOR

PARTITION TYPE

PARTITION AS INDICATED ON PLAN

PARTITION TYPE

- | CODE | DESCRIPTION |
|------|---|
| A | TYPE A - FULL HEIGHT NON-RATED EXTERIOR WALL. SEE DETAIL 21A/01 |
| B | TYPE B - FULL HEIGHT INTERIOR. SEE DETAIL |
| C | TYPE C - FULL HEIGHT CONCRETE WALL. SEE DETAIL 41A/01 |
| D | TYPE D - CMU WALL, STUCCO FINISH, GARDEN. SEE DETAIL |
| E | TYPE E - FULL HEIGHT SOUND ATTENUATED INTERIOR |

STUD SIZES

- | INDICATOR | DESCRIPTION |
|-----------|-------------|
| 4 | 2X4 WOOD |
| 6 | 2X6 WOOD |

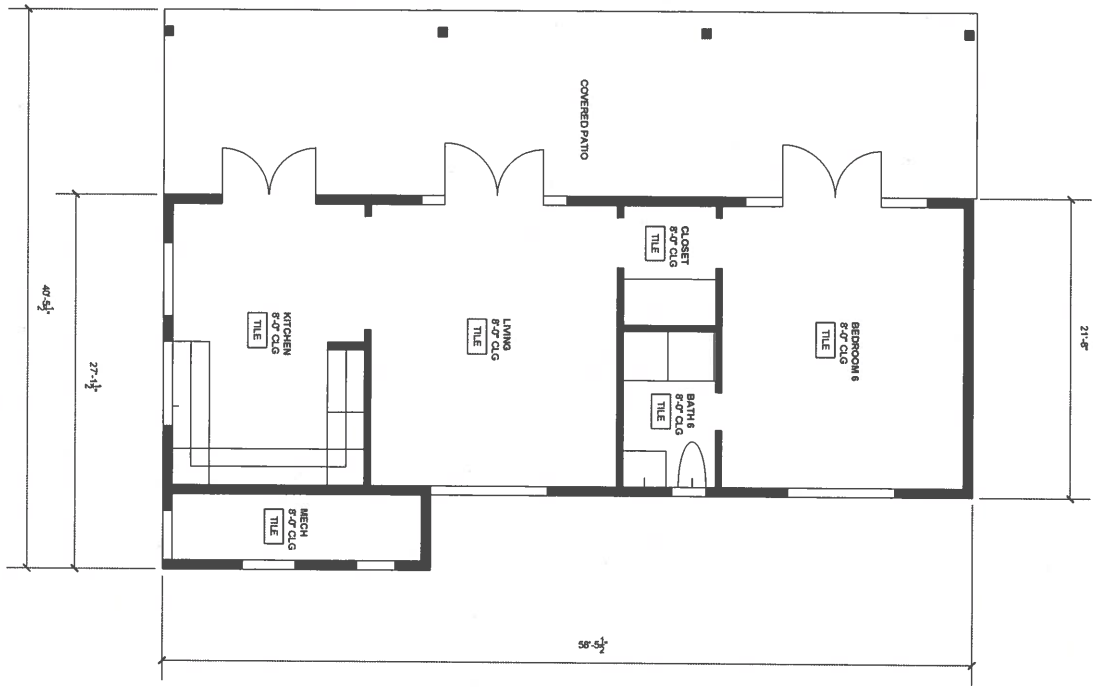
CMU SIZES

- | INDICATOR | DESCRIPTION |
|-----------|-------------------|
| 6 | 6X8X16 CMU BLOCK |
| 8 | 8X8X16 CMU BLOCK |
| 12 | 12X8X16 CMU BLOCK |

SYMBOL LEGEND

- 1 WINDOW NUMBER
- DOOR NUMBER
- KEY NOTE NUMBER
- ROOM NUMBER
- SECTION NUMBER / SHEET NUMBER
- SPOT ELEVATION
- COLUMN LINE
- DETAIL NUMBER / SHEET NUMBER
- HOSE BB

ALL DIMENSIONS TO FINISH SURFACE
SEE A105 FOR DETAILED DIMENSION PLAN



1 ADU AS-BUILT FLOOR PLAN 1
Scale: 1/8" = 1'-0"



HUNDRED MILE HOUSE
Residential Design
2800 Vera Vista Drive
Palm Springs, CA 92262
P: 310.991.4002
E: adam@hundredmilehouse.co
W: hundredmilehouse.co
Diana Smith, Principal Designer

General Notes
NOTE: Drawings for Design Intent. The Designer is not responsible for the construction of the project. The contractor shall be responsible for the coordination of installation for all related engineering and design drawings. The contractor shall be responsible for the submission of all drawings to the authority having jurisdiction. The contractor shall be responsible for the coordination of all related engineering and design drawings. The contractor shall be responsible for the submission of all drawings to the authority having jurisdiction.

DRIVER RESIDENCE
688 VEREDA SUR,
PALM SPRINGS CA 92262

DATE: 04/26/21
REVISION: 1
A: MORTGAGE REVIEW

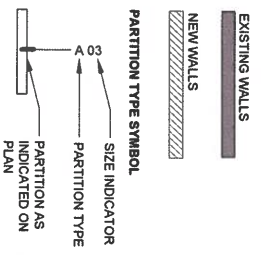
ADU AS-BUILT FLOOR PLAN
04/26/21
Scale: 3/16" = 1'-0"

A101

CONSTRUCTION KEY NOTES

- 1 2" FINISHES
- 2 2" CONCRETE SINK
- 3 4" RANGE
- 4 4" REFRIGERATOR
- 5 4" REFRIGERATOR ABOVE SEE M101
- 6 CONCRETE PATIO
- 7 2" REVERSE FINISH
- 8 2" REVERSE FINISH SEE CALLS
- 9 3" REFRIGERATOR
- 10 WASHER
- 11 EXIST 100 AMP SUB PANEL
- 12 3" FLOOR
- 13 3" FLOOR
- 14 3" FLOOR
- 15 3" FLOOR
- 16 3" FLOOR
- 17 PAINTER
- 18 WATER SHUTOFF
- 19 RAISED PLANTER BED
- 20 BASEMENT LINE BELOW
- 21 OUTDOOR HEATER
- 22 17" SHOWER BENCH
- 23 BASEMENT WINDOW WELL
- 24 2" RISE
- 25 WHOLE HOUSE WATER CHILLER
- 26 WHOLE HOUSE WATER HEATER SEE M101
- 27 WHOLE HOUSE WATER HEATER SEE M101
- 28 WHOLE HOUSE WATER HEATER SEE M101
- 29 WHOLE HOUSE WATER HEATER SEE M101
- 30 WHOLE HOUSE WATER HEATER SEE M101
- 31 WHOLE HOUSE WATER HEATER SEE M101
- 32 WHOLE HOUSE WATER HEATER SEE M101
- 33 WHOLE HOUSE WATER HEATER SEE M101
- 34 WHOLE HOUSE WATER HEATER SEE M101
- 35 WHOLE HOUSE WATER HEATER SEE M101
- 36 WHOLE HOUSE WATER HEATER SEE M101
- 37 WHOLE HOUSE WATER HEATER SEE M101
- 38 WHOLE HOUSE WATER HEATER SEE M101
- 39 WHOLE HOUSE WATER HEATER SEE M101
- 40 WHOLE HOUSE WATER HEATER SEE M101
- 41 WHOLE HOUSE WATER HEATER SEE M101
- 42 WHOLE HOUSE WATER HEATER SEE M101
- 43 WHOLE HOUSE WATER HEATER SEE M101
- 44 WHOLE HOUSE WATER HEATER SEE M101

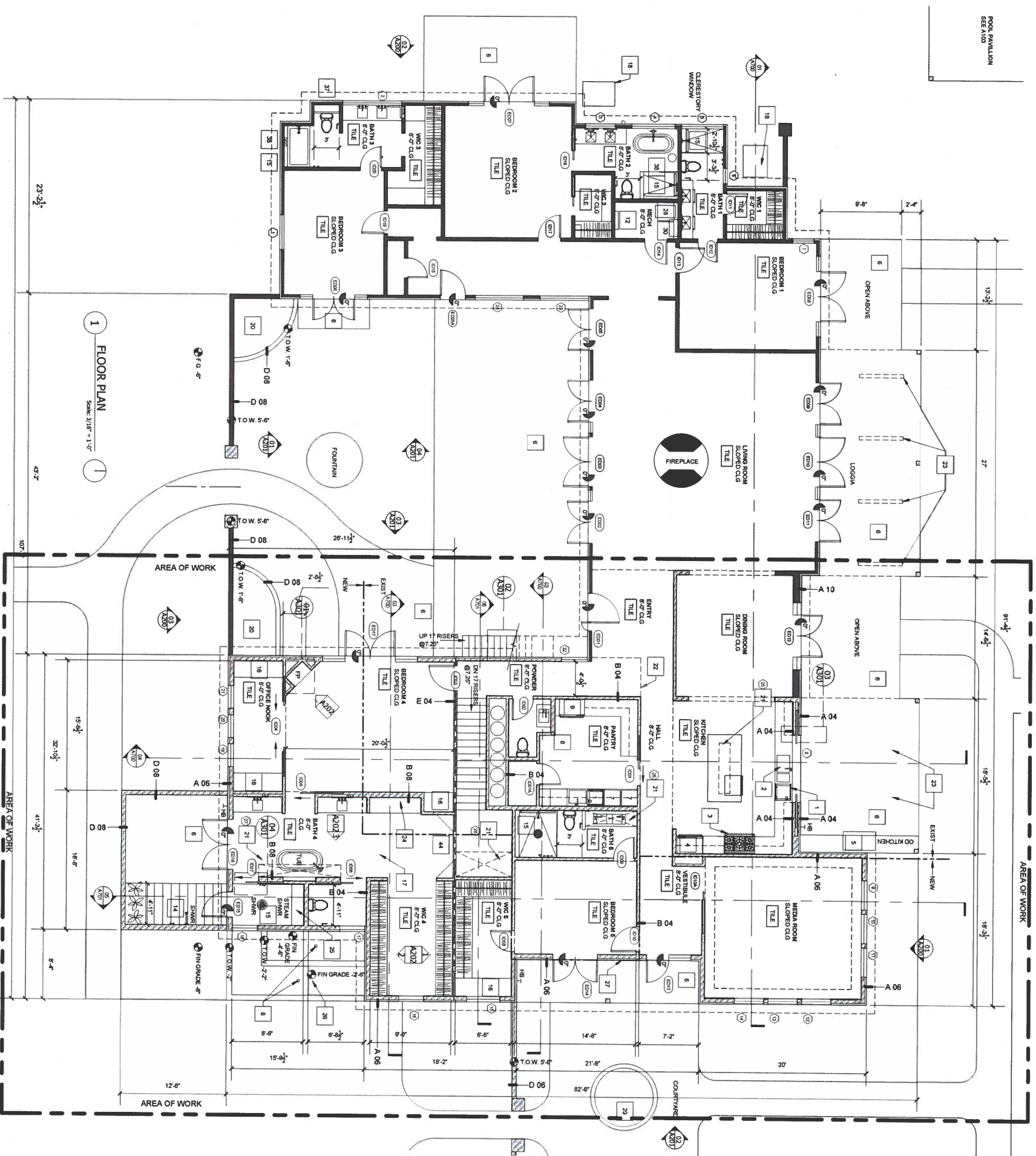
LEGEND



- PARTITION TYPE**
- CODE DESCRIPTION
- A TYPE A - FULL HEIGHT NON-RATED EXTERIOR WALL. SEE DETAIL Z1A01
- B TYPE B - FULL HEIGHT INTERIOR. SEE DETAIL
- C TYPE C - FULL HEIGHT CONCRETE WALL. SEE DETAIL A1A01
- D TYPE D - CMU WALL, STUCCO FINISH, GARDEN. SEE DETAIL
- E TYPE E - FULL HEIGHT SOUND ATTENUATED INTERIOR
- STUD SIZES**
- INDICATOR DESCRIPTION
- 4 2X4 WOOD
- 6 2X6 WOOD
- CMU SIZES**
- INDICATOR DESCRIPTION
- 6 6X8X16 CMU BLOCK
- 8 8X8X16 CMU BLOCK
- 12 12X8X16 CMU BLOCK
- SYMBOL LEGEND**
- 1 WINDOW NUMBER
- 2 DOOR NUMBER
- 3 KEY NOTE NUMBER
- 4 ROOM NUMBER
- 5 SECTION NUMBER / SHEET NUMBER
- 6 SPOT ELEVATION
- 7 COLUMN LINE
- 8 DETAIL NUMBER / SHEET NUMBER
- 9 HOSE BB

ALL DIMENSIONS TO FINISH SURFACE

SEE A108 FOR DETAILED DIMENSION PLAN



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"



HUNDRED MILE HOUSE
Residential Design
2800 North Vista Grande Ave
Palm Springs, CA 92262
P: 310.891.4202
E: design@hundredmilehouse.com
W: hundredmilehouse.com
Diana Smith, Principal Designer

General Notes

NOTE: Designer for Design team

Professional Only: H101 is not responsible for construction of this project. The contractor is responsible for all related construction and shall be held liable for any errors or omissions. The contractor shall be held liable for any errors or omissions. The contractor shall be held liable for any errors or omissions.

DRIVER RESIDENCE

688 VEREDA SUR,
PALM SPRINGS CA 92262

DATE: 04/26/21
REVISION: A102
A102

PROPOSED FLOOR PLAN

DATE: 04/26/21

SCALE: 3/16" = 1'-0"

A102

LEGEND

EXISTING WALLS

NEW WALLS

PARTITION TYPE SYMBOL

SIZE INDICATOR
PARTITION TYPE
PARTITION TYPE
INDICATED ON
PLAN

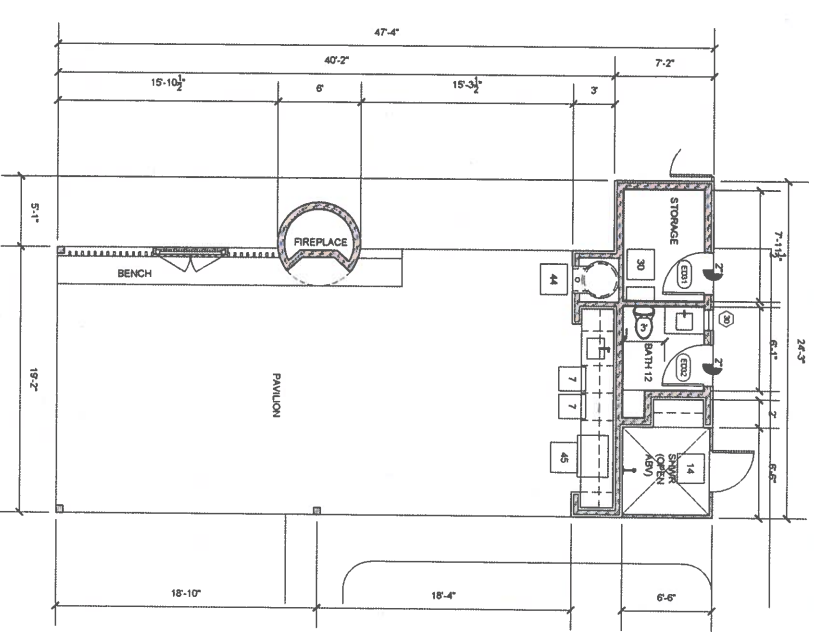
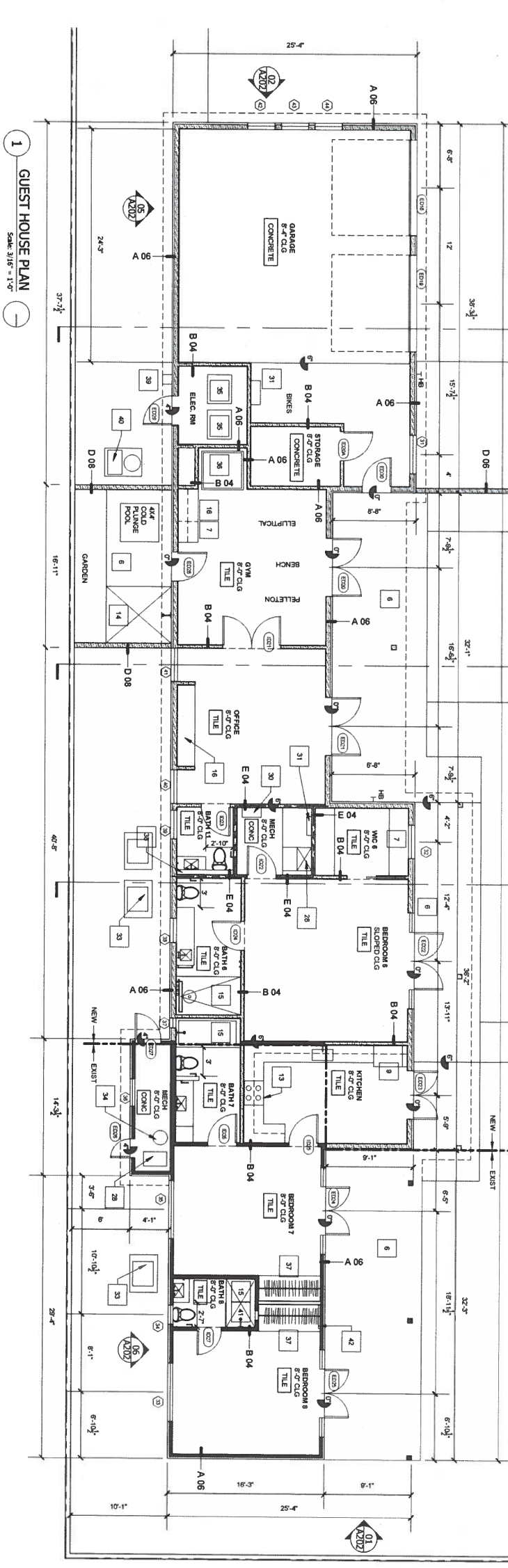
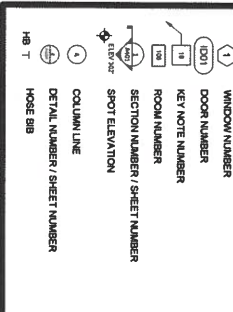
PARTITION TYPE
CODE DESCRIPTION

A TYPE A - FULL HEIGHT NON-RATED EXTERIOR WALL. SEE DETAIL 2/A-01
B TYPE B - FULL HEIGHT INTERIOR. SEE DETAIL
C TYPE C - FULL HEIGHT CONCRETE WALL. SEE DETAIL 4/A-01
D TYPE D - CMU WALL, STUCCO FINISH, GYPSUM CORE. SEE DETAIL 5/A-01
E ATTENUATED INTERIOR

STUD SIZES
INDICATOR DESCRIPTION
4 2x4 WOOD
6 2x6 WOOD

CMU SIZES
INDICATOR DESCRIPTION
8 8X8X16 CMU BLOCK
9 8X8X16 CMU BLOCK
12 12X8X16 CMU BLOCK

- CONSTRUCTION KEY NOTES**
- 2" POLYURETHANE
 - 4" DOUBLE BOWL SINK
 - 4" REFERENCE ABOVE. SEE M101
 - CONCRETE PATIO
 - 2" REINFORCED CONCRETE
 - 3" REFRIGERATOR
 - WASHER
 - EXIST 100 MIP SLAB PANEL
 - 3" RANGE
 - WATER PUMP TO BE SET ON GREENBOARD
 - SHOWER
 - WATER SHUT-OFF
 - HAIRER
 - WATER SHUT-OFF
 - RAISED FLOOR RED
 - BASEMENT LINE BELOW
 - OUTDOOR HEATER
 - 1" SHOWER BENCH
 - BASEMENT WINDOW WELL
 - DRYER VENT
 - WHOLE HOUSE WATER CHILLER
 - TANKLESS WATER HEATER SEE M101
 - TYPE D - CMU WALL, STUCCO FINISH, GYPSUM CORE. SEE DETAIL 5/A-01
 - AIR CONDITIONER SEE M101
 - ALDO VISUAL EQUIP
 - ELEC. EQUIPMENT SEE M101
 - SALINA, INFANTRY MED 6
 - 5" SUPPLY @ 4" AFF
 - SCS LOCKBOX
 - POOL EQUIPMENT
 - EXIST 100 MIP SLAB PANEL TO BE RELOCATED
 - WHOLE HOUSE WATER FILTER SOFTENER
 - EXIST ELEC SLAB PANEL TO BE RELOCATED
 - 3" GRILL EXHAUST ABOVE. SEE M101



DRIVER RESIDENCE
688 VEREDA SUR,
PALM SPRINGS CA 92262

DATE REVISION
FRENCH A. HITCHCOCK ARCHITECT

PROPOSED ADU & PAVILLION PLAN
04/26/21
Scale: 3/16" = 1'-0"
A103

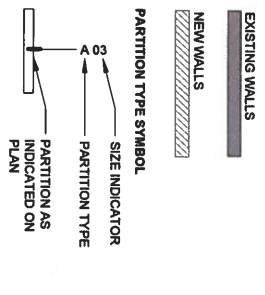
HUNDRED MILE HOUSE
Residential Design
2800 North Vista Grande Ave
Palm Springs, CA 92262
P: 310.691.4202
E: adam@hundredmilehouse.com
W: hundredmilehouse.com
Chris Green, Principal Designer

General Notes
NOTE: Drawings for Design Intent
Program Only. Make a site reconnaissance
before construction. Verify all conditions
and materials for all related
engineering and design. All drawings
submitted by 10/1/17 for final review.
All drawings are subject to change
with the architect.

CONSTRUCTION KEY NOTES

- 1 2" DRAINWASHER
- 2 4" DOUBLE BOWL SINK
- 3 4" REFRIGERATOR
- 4 4" REFRIGERATOR
- 5 4" ORILL EXHAUST ABOVE SEE M101
- 6 2" REFRIGERATOR
- 7 2" REFRIGERATOR
- 8 RAINWATER DRAIN; SEE CALCS
- 9 3" REFRIGERATOR
- 10 3" REFRIGERATOR
- 11 DRYER
- 12 EXIST. 100 AMP SUB PANEL
- 13 2" SHOWER DRAIN
- 14 O.O. SHOWER DRAIN TO SEWER
- 15 SHOWER & TUB SURROUND TO BE 3" GREENBOARD
- 16 1" SHOWER BENCH
- 17 HAMPER
- 18 CONDENSER LANT
- 19 2" WATER SHUTTER
- 20 2" WATER SHUTTER
- 21 SPLIT LIGHT
- 22 BARRIERS LINE BELOW
- 23 2" SHOWER BENCH
- 24 VALVE 3" HIGH
- 25 1" SHOWER BENCH
- 26 2" SHOWER BENCH
- 27 DRYER VENT
- 28 FAIL SEE M101
- 29 1" SHOWER BENCH
- 30 1" SHOWER BENCH
- 31 200 AMP SUB-PANEL SEE E101
- 32 200 AMP SUB-PANEL SEE E101
- 33 200 AMP SUB-PANEL SEE E101
- 34 WATER HEATER SEE M101
- 35 WATER HEATER SEE M101
- 36 5 1/2" LEDGE @ 4" AFF
- 37 CLOSET
- 38 5 1/2" LEDGE @ 4" AFF
- 39 5 1/2" LEDGE @ 4" AFF
- 40 POOL EQUIPMENT
- 41 TILED NICHE SEE INT ELEVATIONS
- 42 2" SHOWER DRAIN TO SEWER
- 43 2" SHOWER DRAIN TO SEWER
- 44 2" SHOWER DRAIN TO SEWER

LEGEND



PARTITION TYPE

CODE	DESCRIPTION
A	TYPE A - FULL HEIGHT NON-RATED EXTERIOR WALL; SEE DETAIL Z1A01
B	TYPE B - FULL HEIGHT INTERIOR; SEE DETAIL
C	TYPE C - FULL HEIGHT CONCRETE WALL; SEE DETAIL A1A01
D	TYPE D - CMU WALL, STUCCO FINISH; TYPE E - SEE HEIGHT SOUND ATTENUATED INTERIOR

STUD SIZES

INDICATOR	DESCRIPTION
4	2X4" WOOD
6	2X6" WOOD

CMU SIZES

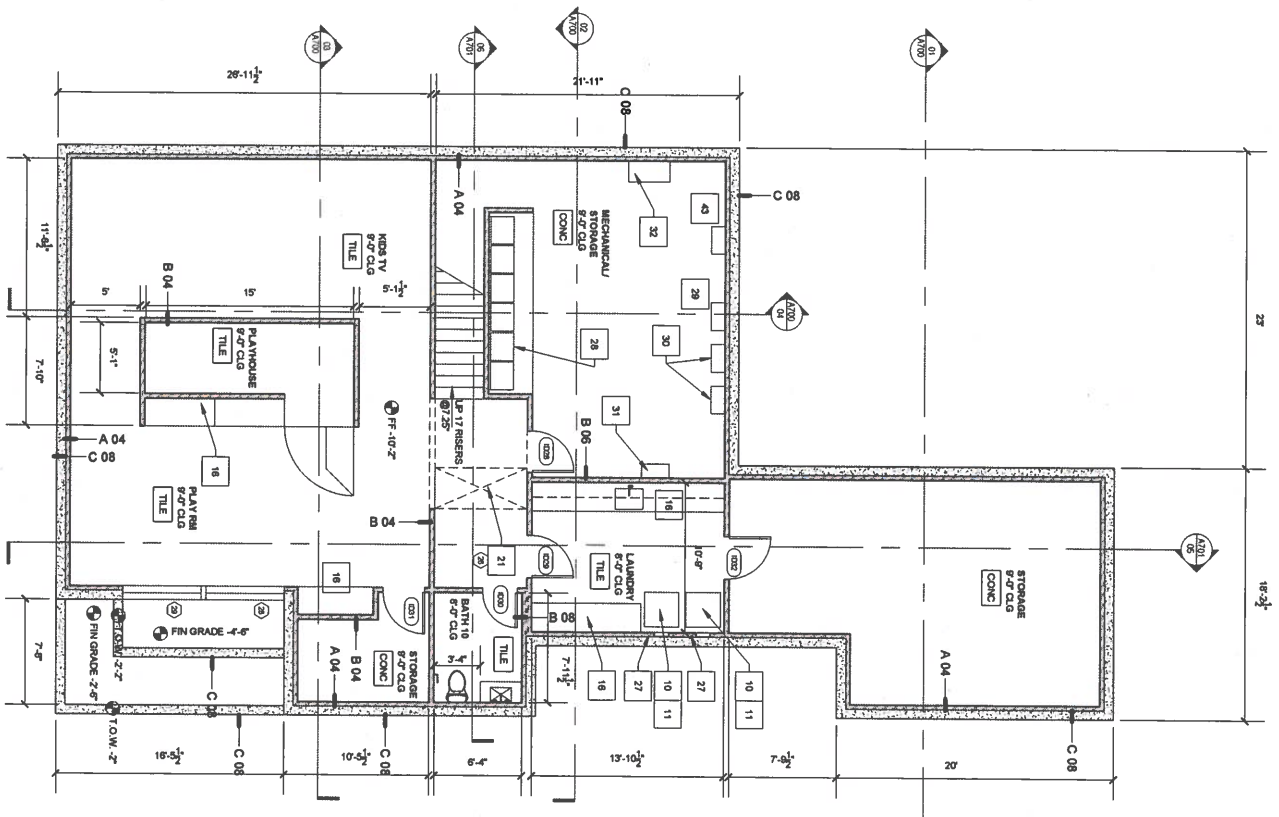
INDICATOR	DESCRIPTION
6	6X8X16" CMU BLOCK
9	8X8X16" CMU BLOCK
12	12X8X16" CMU BLOCK

SYMBOL LEGEND

SYMBOL	DESCRIPTION
1	WINDOW NUMBER
100	DOOR NUMBER
1	KEY NOTE NUMBER
1	ROOM NUMBER
1	SECTION NUMBER / SHEET NUMBER
1	SPOT ELEVATION
1	COLUMN LINE
1	DETAIL NUMBER / SHEET NUMBER
1	HOSE BB

ALL DIMENSIONS TO FINISH SURFACE
SEE A105 FOR DETAILED DIMENSION PLAN

1 BASEMENT PLAN
Scale: 3/16" = 1'-0"



Residential Design
 2500 N. Palm Springs Blvd.
 Palm Springs, CA 92262
 P-310.981.4202
 E-Adam@hundredmilehouse.com
 W-hundredmilehouse.com
 Dave Smith, Principal Designer

General Notes
 NOTE: Drawings for Design Issues
 for the owner. The owner is responsible
 for the design and construction of all
 construction or installation of all related
 engineering and design drawings to be
 submitted to and for their review
 and approval. The contractor is responsible
 for the construction of the project
 with the architect.

DRIVER RESIDENCE

688 VEREDA SUR,
PALM SPRINGS CA 92262

DATE	REVISION
4/26/21	ARCHITECT REVIEW

PROPOSED
BASEMENT
FLOOR PLAN
4/26/21
Scale: 3/16" = 1'-0"

A104

General Notes

NOTE: Drawings are prepared in accordance with the applicable building codes for the applicable jurisdiction. The contractor shall be responsible for obtaining all necessary permits and for ensuring that the work is completed in accordance with the applicable codes, ordinances or regulations.

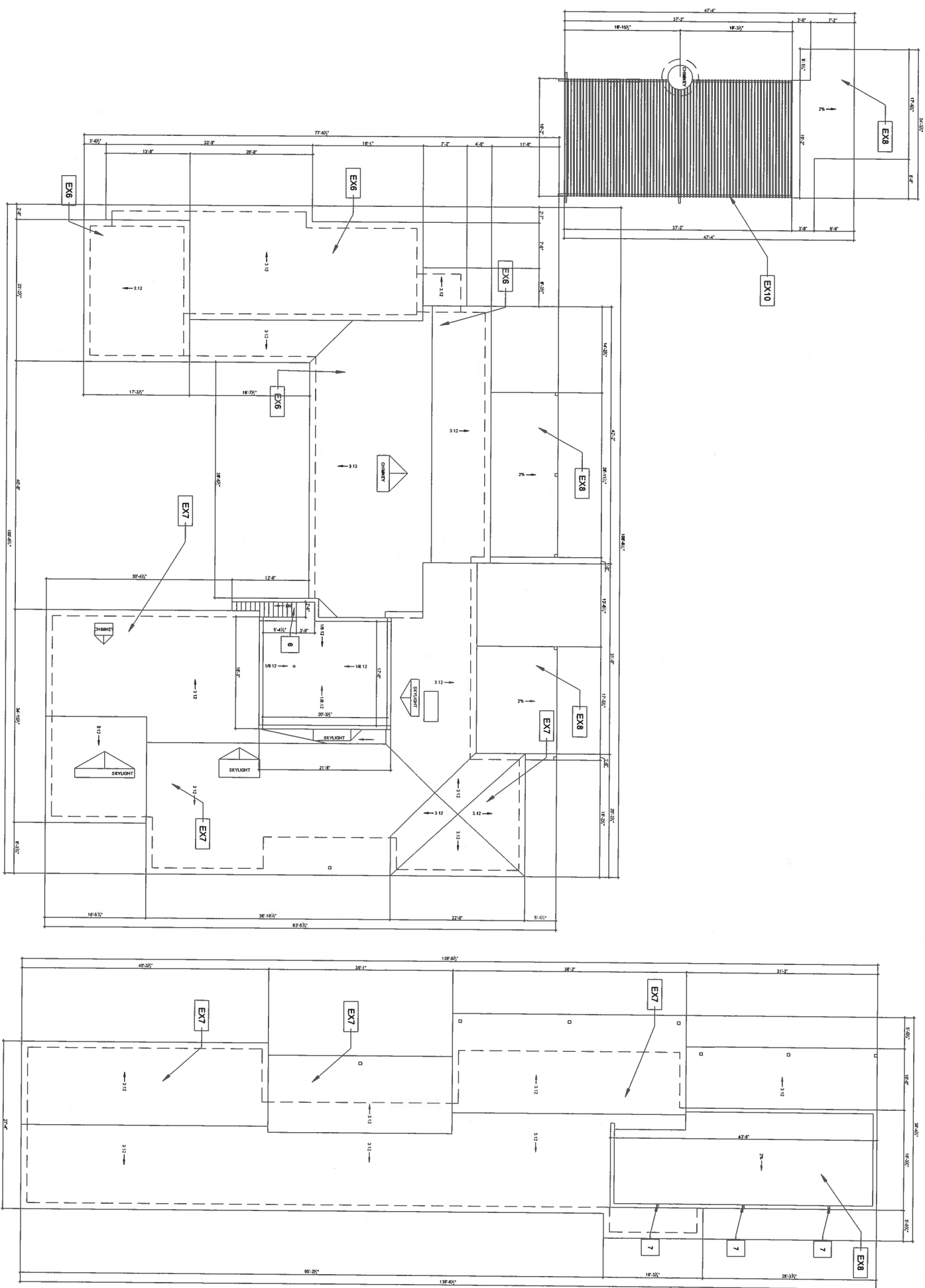
DRIVER RESIDENCE
688 E VEREDA SUR,
PALM SPRINGS CA 92262

DATE: REVISION:
REVISION:
REVISION:

**PROPOSED
ROOF PLAN**

AS NOTED

A109



- NOTES:**
1. ALL FLASHING, VENTS, STACKS AND PIPES TO BE PAINTED TO MATCH ADJACENT SURFACES.
 2. ALL VENTS AND OTHER OPENINGS TO BE COVERED WITH 1/2" MESH.
 3. ALL WINDOW HEADERS AND SILLS TO PROVIDE A POSITIVE PITCH TO ASSURE WATER DRAINS AWAY FROM WALL SURFACES.
 4. SAMPLES OF ALL MATERIALS AND FINISHES TO BE PROVIDED TO DESIGNER FOR APPROVAL PRIOR TO INSTALLATION.
 5. ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS (705A.4, R317.5.4)
 6. 2" DIA VERTICAL DRAIN PIPE.
 7. EXIST. 4"x8" SCUPPERS

- MATERIALS:**
- EX6: EXISTING CLAY BARREL TILE
 - EX7: NEW CLAY BARREL TILE
 - EX8: TILE TBD
 - EX10: WOOD TRELLIS

ROOF PLAN
Scale: 1/8" = 1'-0"

ROOF DRAIN SIZING:
ROOF DECK
17' X 20' = 340 SF
TOTAL RUNOFF:
Q=1.5 INMIN X 340 SF 96.23 = 5.3 G.P.M
PER IPC 1106.6 USE MIN. 2" DIA DRAIN SLOPED 1/8" PER FT

General Notes

NOTE: Designer for Design Team
Proposes Only. Field is not responsible
for the engineering, construction,
contract administration, or other
tasks relating to the project. All
work shall be subject to the
contract, or modifications in conjunction
with the field.

DRIVER RESIDENCE
688 E VEREDA SUR,
PALM SPRINGS CA 92262

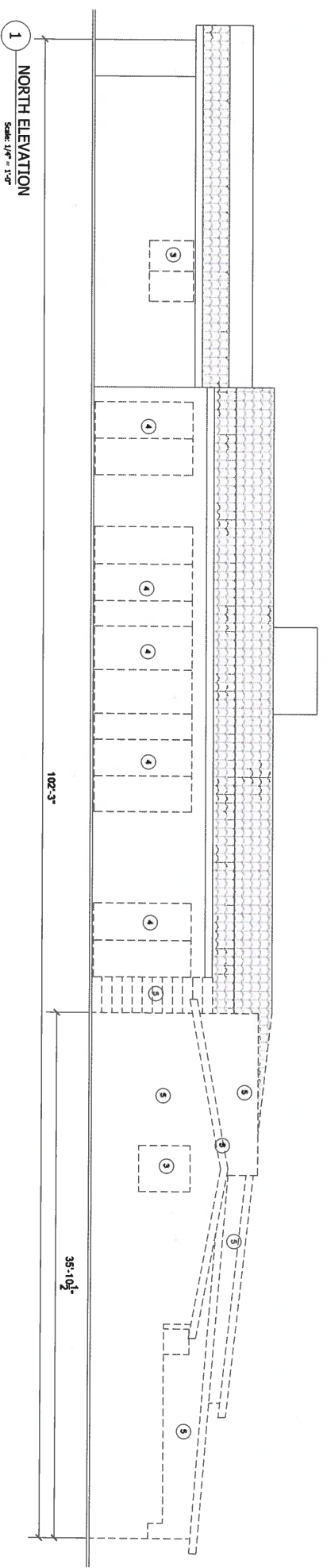
DATE: 04/26/21
REVISION:
DRAWN: A. HERRERA REVISOR:

THE
DEMOLITION
ELEVATIONS

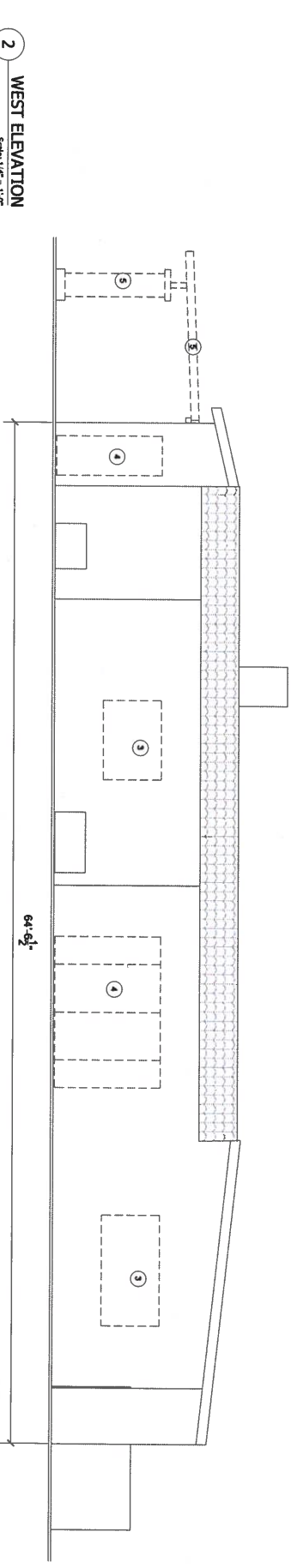
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04/26/21

AS NOTED

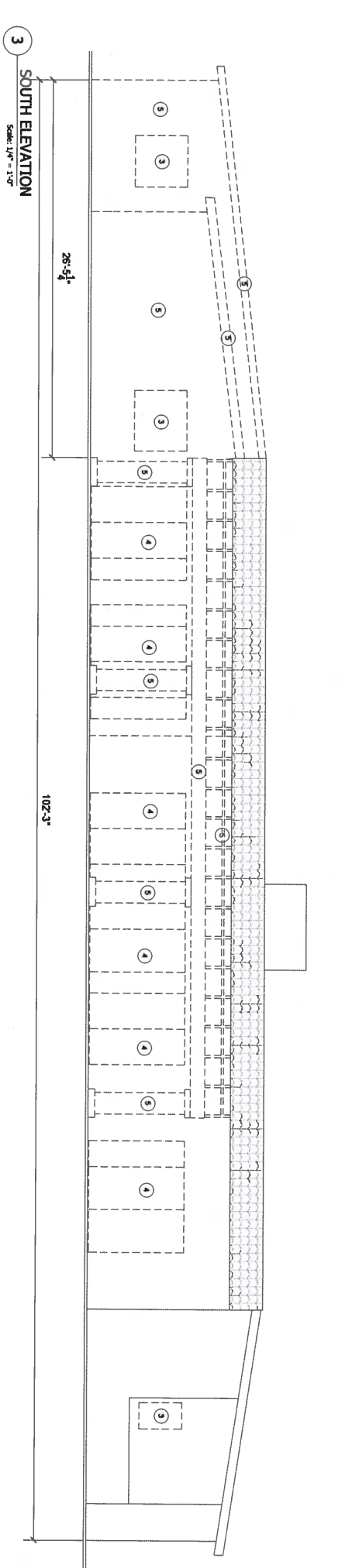
A200



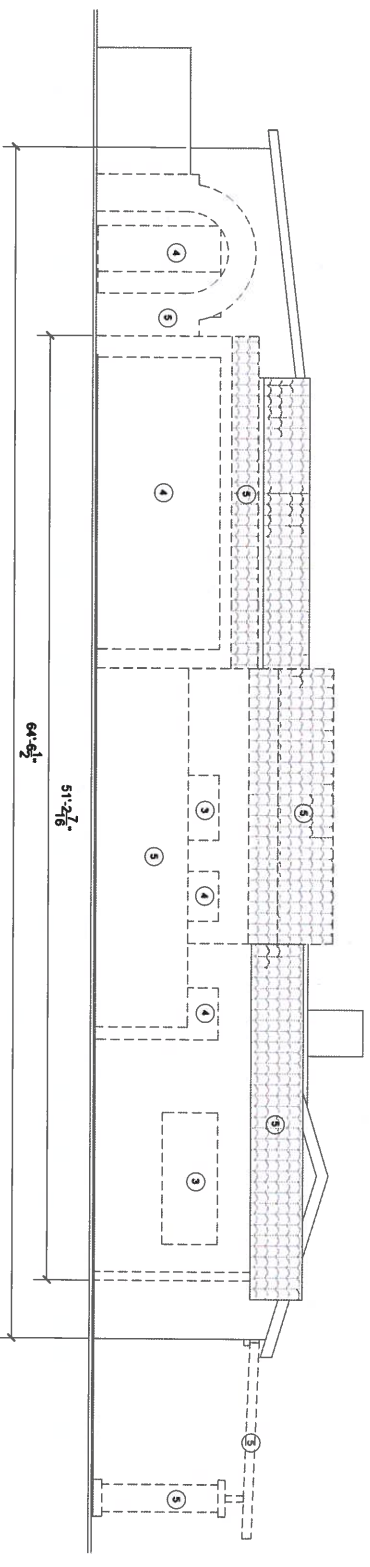
1 NORTH ELEVATION
Scale: 1/4" = 1'-0"



2 WEST ELEVATION
Scale: 1/4" = 1'-0"



3 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



4 EAST ELEVATION
Scale: 1/4" = 1'-0"

- DEMOLITION LEGEND:**
- 1 EXISTING WINDOW TO REMAIN. PROTECT DURING CONSTRUCTION
 - 2 EXISTING DOOR TO REMAIN. SEE HARDWARE SCHEDULE FOR NEW HARDWARE
 - 3 EXISTING WINDOW TO BE REMOVED. SEE NEW FLOOR PLAN FOR NOTES ON REPLACEMENT OR PATCH AND REPAIR
 - 4 EXISTING DOOR TO BE REMOVED. SEE NEW FLOOR PLAN FOR NOTES ON REPLACEMENT OR PATCH AND REPAIR OR PATCH AND REPAIR OR PATCH AND REPAIR
 - 5 EXISTING WALL TO BE REMOVED. SEE NEW FLOOR PLAN
- LEGEND: DEMO** - - - - -

General Notes

NOTE: Designer/Contractor shall be responsible for obtaining all necessary permits and approvals for all work. The Designer/Contractor shall be responsible for all work. The Designer/Contractor shall be responsible for all work. The Designer/Contractor shall be responsible for all work.

DRIVER RESIDENCE
688 E VEREDA SUR,
PALM SPRINGS CA 92262

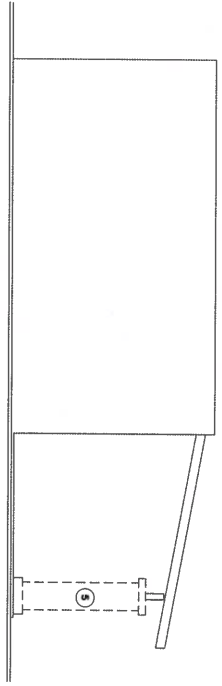
DATE	REVISION
08/20/23	ARCHITECT REVIEW

ADU DEMOLITION ELEVATIONS

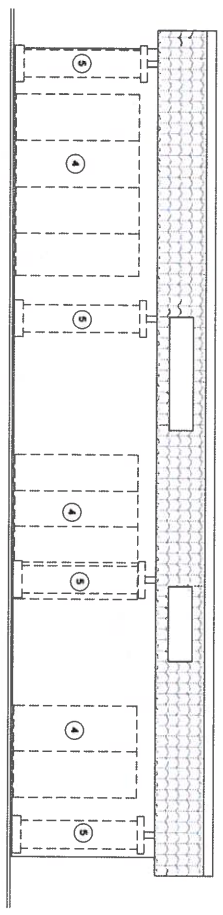
AS NOTED

A201

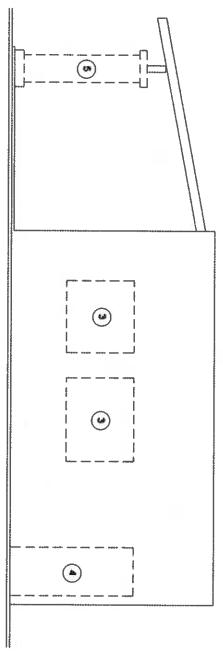
1 NORTH ELEVATION
Scale: 1/4" = 1'-0"



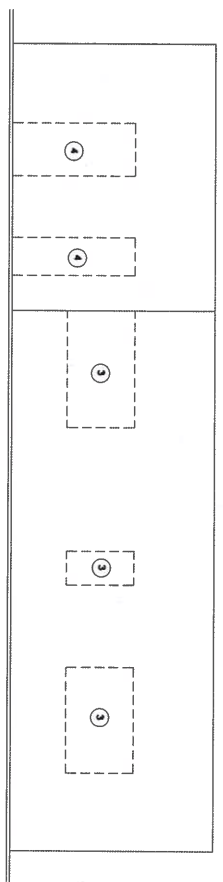
2 WEST ELEVATION
Scale: 1/4" = 1'-0"



3 SOUTH (STREET) ELEVATION
Scale: 1/4" = 1'-0"



4 EAST ELEVATION
Scale: 1/4" = 1'-0"



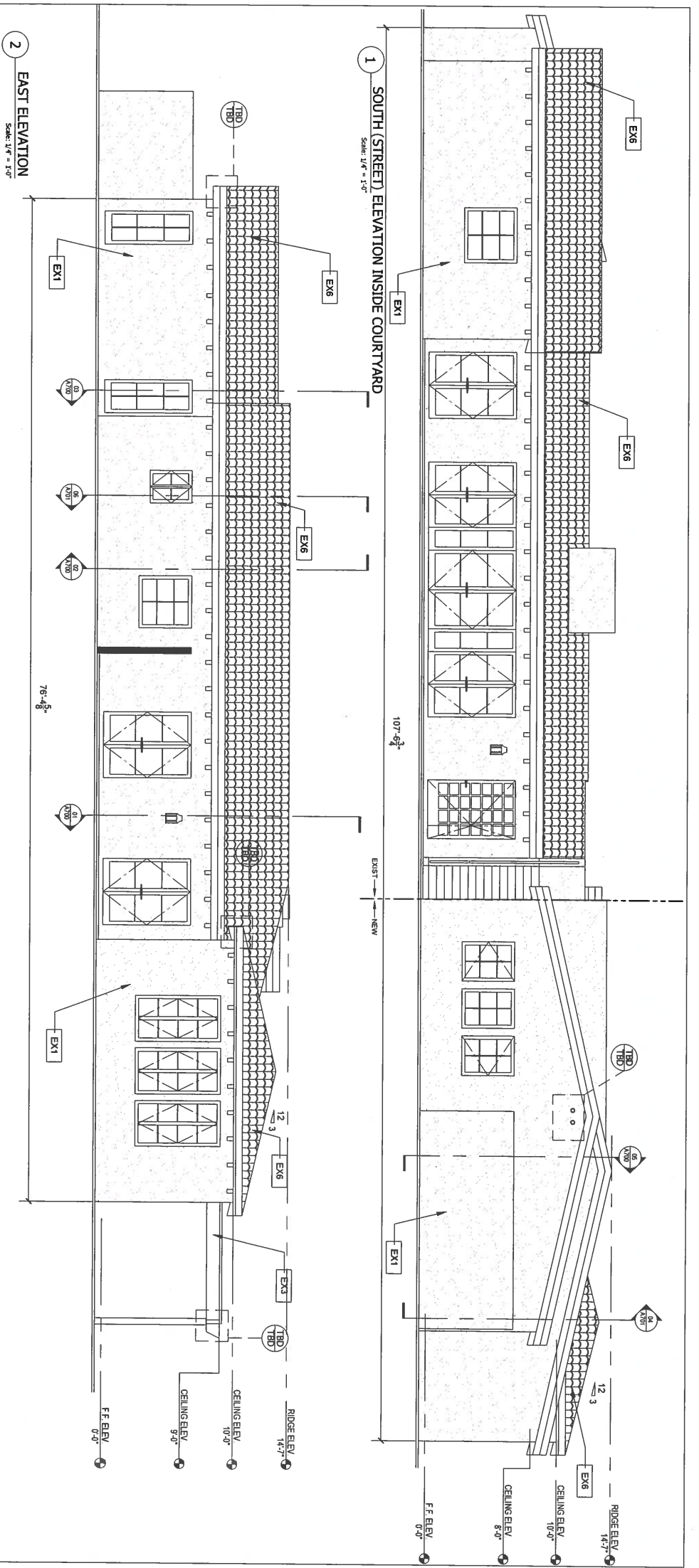
- DEMOLITION LEGEND:**
- EXISTING WINDOW TO REMAIN; PROTECT DURING CONSTRUCTION
 - EXISTING DOOR TO REMAIN; SEE HARDWARE SCHEDULE FOR NEW HARDWARE
 - EXISTING WINDOW TO BE REMOVED; SEE NEW FLOOR PLAN FOR NOTES ON REPLACEMENT OR PATCH AND REPAIR
 - EXISTING DOOR TO BE REMOVED; SEE NEW FLOOR PLAN FOR NOTES ON REPLACEMENT OR PATCH AND REPAIR OR PATCH AND REPAIR
 - EXISTING WALL/FEATURE TO BE REMOVED; SEE NEW FLOOR PLAN
- LEGEND: DEMO** - - - - -

DRIVER RESIDENCE
688 E VEREDA SUR,
PALM SPRINGS CA 92262

DATE	REVISION
04/26/21	1. HISTORIC REVIEW

PROPOSED
ELEVATIONS
DATE
04/26/21
AS NOTED

A201



- NOTES:**
1. ALL FLASHING, VENTS, STACKS AND PIPES TO BE PAINTED TO MATCH ADJACENT SURFACES.
 2. ALL VENTS AND OTHER OPENINGS TO BE COVERED WITH 1/2" MESH.
 3. ALL WINDOW HEADERS AND SILLS TO PROVIDE A POSITIVE PITCH TO ASSURE WATER DRAINS AWAY FROM WALL SURFACES.
 4. ALL WINDOW AND DOOR JAMBS AND SILLS TO BE FINISHED ON ALL SURFACES PRIOR TO INSTALLATION.
 5. ALL STUCCO TO BE MATCH EXIST' 2X2" SAMPLE TO BE INSTALLED ON SITE AND APPROVED BY DESIGNER PRIOR TO INSTALLATION.
 6. SAMPLES OF ALL MATERIALS AND FINISHES TO BE PROVIDED TO DESIGNER FOR APPROVAL PRIOR TO INSTALLATION.
 7. ALL EXTERIOR WINDOW AND DOOR FRAMES TO BE ALUMINUM; FINISH TBD. SAMPLE TO BE PROVIDED TO DESIGNER FOR APPROVAL PRIOR TO ORDERING.

- MATERIALS:**
- EX1: LA HABRA STUCCO, WHITE SMOOTH FINISH
 - EX3: WOOD, BEHR 'SLATE' SEMI-TRANSPARENT STAIN OR EQUIVALENT
 - EX4: METAL FLASHING, PAINT TO MATCH EXIST'
 - EX6: CLAY BARREL TILE, TO MATCH EXISTING
 - EX7: WINDOW AND DOOR FINISH, LOEWEN 'MOSS'

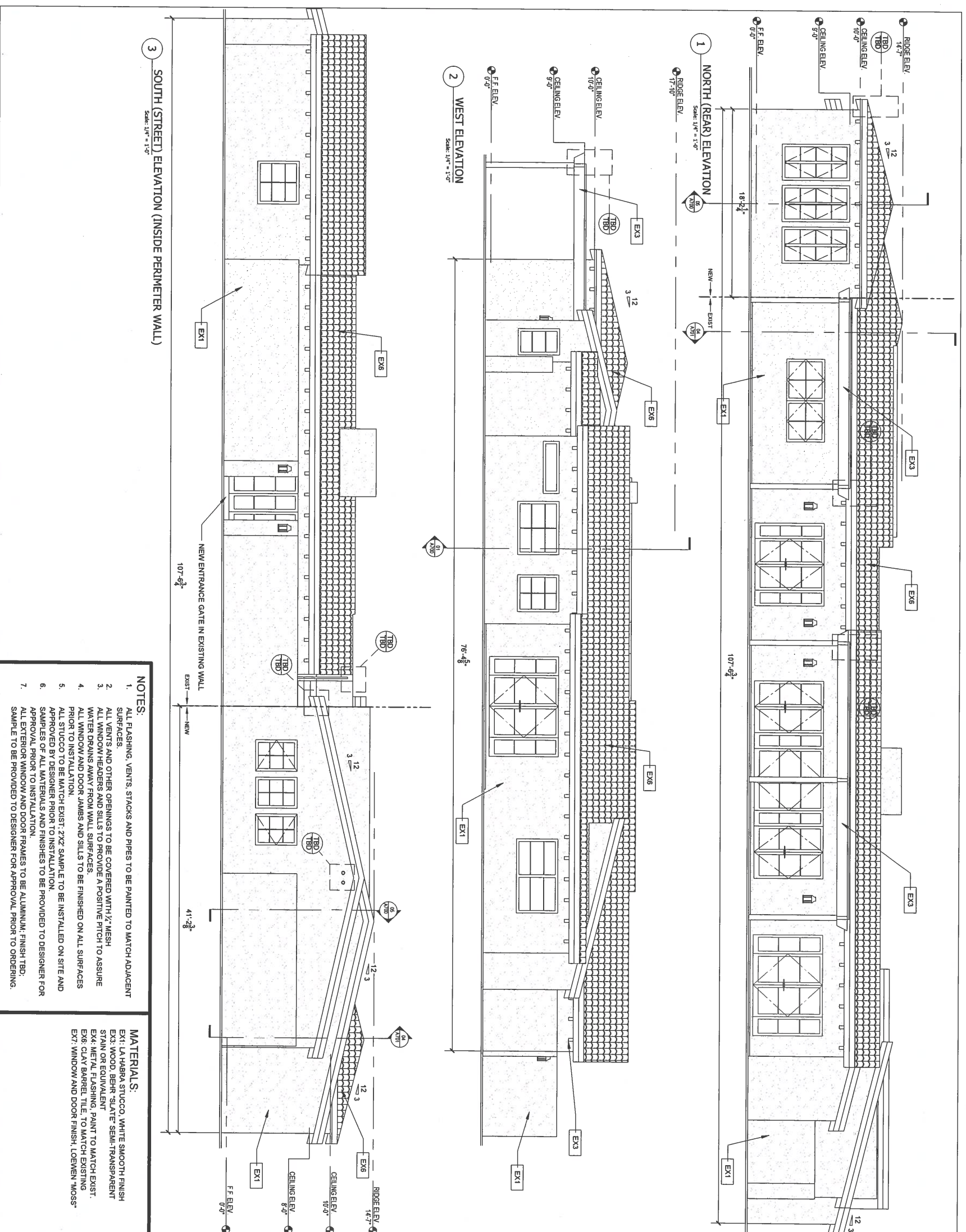
General Notes

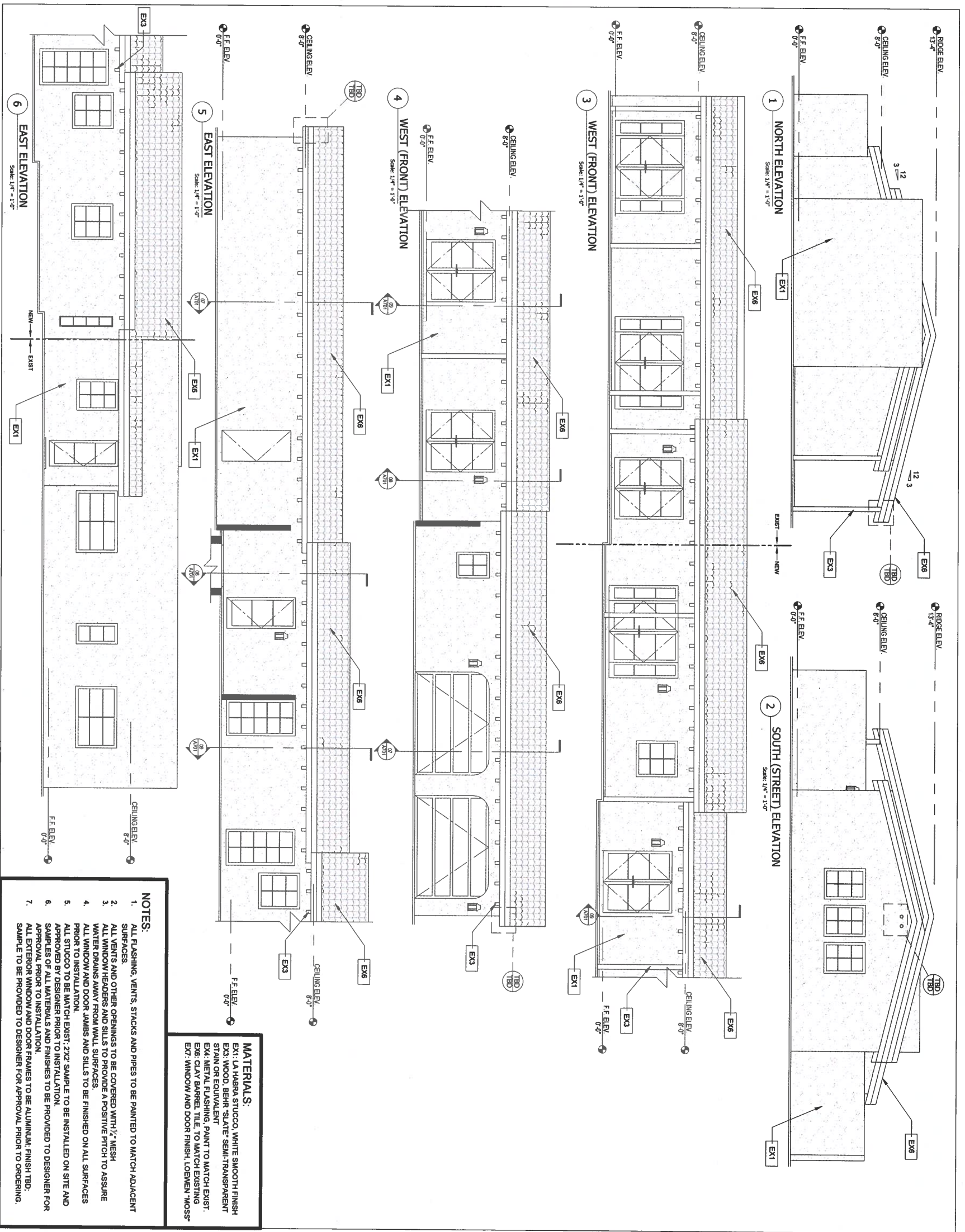
NOTE: Drawings for Design Intent only. Contractor shall be responsible for the engineering. Contractor shall coordinate with the architect for all related engineering and shop drawings to be submitted to the local jurisdiction with the architect.

DRIVER RESIDENCE
688 E VEREDA SUR,
PALM SPRINGS CA 92262

DATE: _____
REVISION: _____
DRAWN: A. STRICK

PROPOSED ELEVATIONS
DATE: 03/17/20
AS NOTED
A202





MATERIALS:
 EX1: LA HABRA STUCCO, WHITE SMOOTH FINISH
 EX3: WOOD, BEHR SLATE-SEMI-TRANSPARENT STAIN OR EQUIVALENT
 EX4: METAL FLASHING, PAINT TO MATCH EXIST.
 EX6: CLAY BARREL TILE TO MATCH EXISTING
 EX7: WINDOW AND DOOR FINISH, LOEWEN "MOSS"

- NOTES:**
1. ALL FLASHING, VENTS, STACKS AND PIPES TO BE PAINTED TO MATCH ADJACENT SURFACES.
 2. ALL VENTS AND OTHER OPENINGS TO BE COVERED WITH 1/2" MESH.
 3. ALL WINDOW HEADERS AND SILLS TO PROVIDE A POSITIVE PITCH TO ASSURE WATER DRAINS AWAY FROM WALL SURFACES.
 4. ALL WINDOW AND DOOR JAMBS AND SILLS TO BE FINISHED ON ALL SURFACES PRIOR TO INSTALLATION.
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 6. SAMPLES OF ALL MATERIALS AND FINISHES TO BE PROVIDED TO DESIGNER FOR APPROVAL PRIOR TO INSTALLATION.
 7. ALL EXTERIOR WINDOW AND DOOR FRAMES TO BE ALUMINUM, FINISH TBD. SAMPLE TO BE PROVIDED TO DESIGNER FOR APPROVAL PRIOR TO ORDERING.



Residential Design

3000 North Central Ave
 Palm Springs, CA 92262
 P: 310.887.4292
 E: info@hundredmilehouse.com
 W: www.hundredmilehouse.com
 Andrew Strain, Principal Designer

General Notes
 NOTE: Drawings for Design Intent only. Not for construction. All materials, finishes, and colors are subject to change without notice. All materials, finishes, and colors are subject to change without notice. All materials, finishes, and colors are subject to change without notice.

DRIVER RESIDENCE

688 E VEREDA SUR,
 PALM SPRINGS CA 92262

DATE	REVISION

PROPOSED ADU
 ELEVATIONS
 04/26/21
 AS NOTED
A204

General Notes

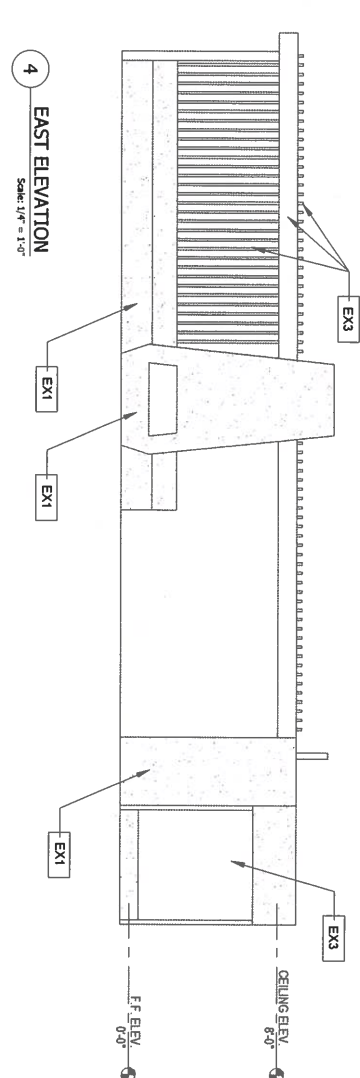
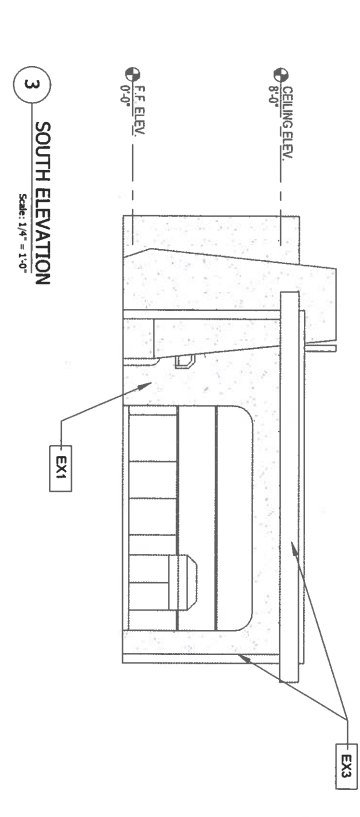
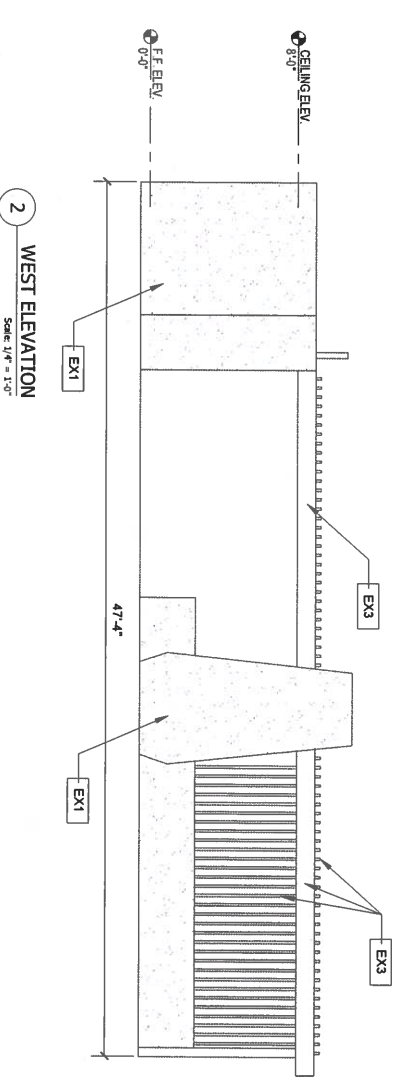
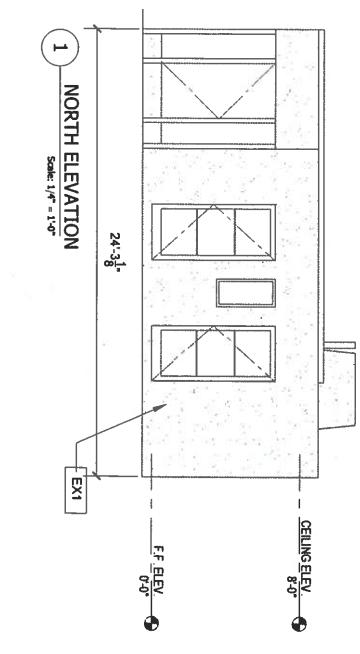
NOTE: Changes for design include:
1. All flashing, vents, stacks and pipes to be painted to match adjacent surfaces.
2. All vents and other openings to be covered with 1/2" mesh.
3. All window headers and sills to provide a positive fit to assure water drains away from wall surfaces.
4. All window and door jambs and sills to be finished on all surfaces prior to installation.
5. All stucco to be smooth finish; 2"x2" sample to be installed on site and approved by designer prior to installation.
6. Samples of all materials and finishes to be provided to designer for approval prior to installation.
7. All exterior window and door frames to be anodized aluminum; finish TBD. Sample to be provided to designer for approval prior to ordering.

DRIVER RESIDENCE
688 E VEREDA SUR,
PALM SPRINGS CA 92262

DATE: 04/26/21
REVISION: AS NOTED
DESIGNER: ANDREW GREEN

PROPOSED
POOLHOUSE
ELEVATIONS
DATE: 04/26/21
AS NOTED

A205



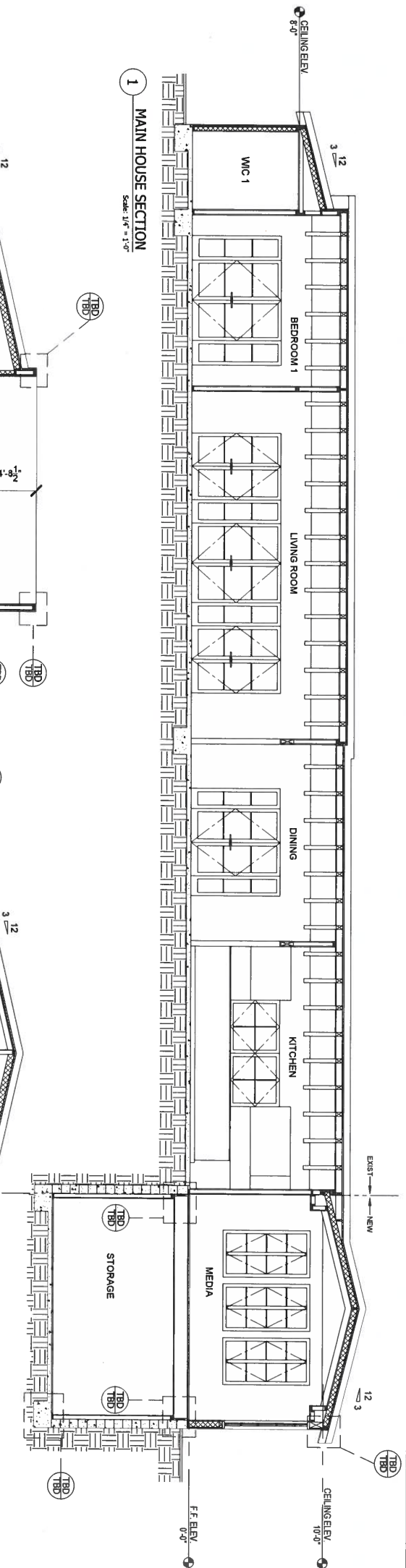
- NOTES:**
1. ALL FLASHING, VENTS, STACKS AND PIPES TO BE PAINTED TO MATCH ADJACENT SURFACES.
 2. ALL VENTS AND OTHER OPENINGS TO BE COVERED WITH 1/2" MESH.
 3. ALL WINDOW HEADERS AND SILLS TO PROVIDE A POSITIVE FIT TO ASSURE WATER DRAINS AWAY FROM WALL SURFACES.
 4. ALL WINDOW AND DOOR JAMBS AND SILLS TO BE FINISHED ON ALL SURFACES PRIOR TO INSTALLATION.
 5. ALL STUCCO TO BE SMOOTH FINISH; 2"x2" SAMPLE TO BE INSTALLED ON SITE AND APPROVED BY DESIGNER PRIOR TO INSTALLATION.
 6. SAMPLES OF ALL MATERIALS AND FINISHES TO BE PROVIDED TO DESIGNER FOR APPROVAL PRIOR TO INSTALLATION.
 7. ALL EXTERIOR WINDOW AND DOOR FRAMES TO BE ANODIZED ALUMINUM; FINISH TBD. SAMPLE TO BE PROVIDED TO DESIGNER FOR APPROVAL PRIOR TO ORDERING.

- MATERIALS:**
- EX1: LA HABRA STUCCO, WHITE SMOOTH FINISH
 - EX3: WOOD, BEHR SLATE SEMI-TRANSPARENT STAIN OR EQUIVALENT
 - EX4: METAL FLASHING, PAINT TO MATCH EXIST.
 - EX6: CLAY BARREL TILE TO MATCH EXISTING
 - EX7: WINDOW AND DOOR FINISH, LOEWEN MOSS

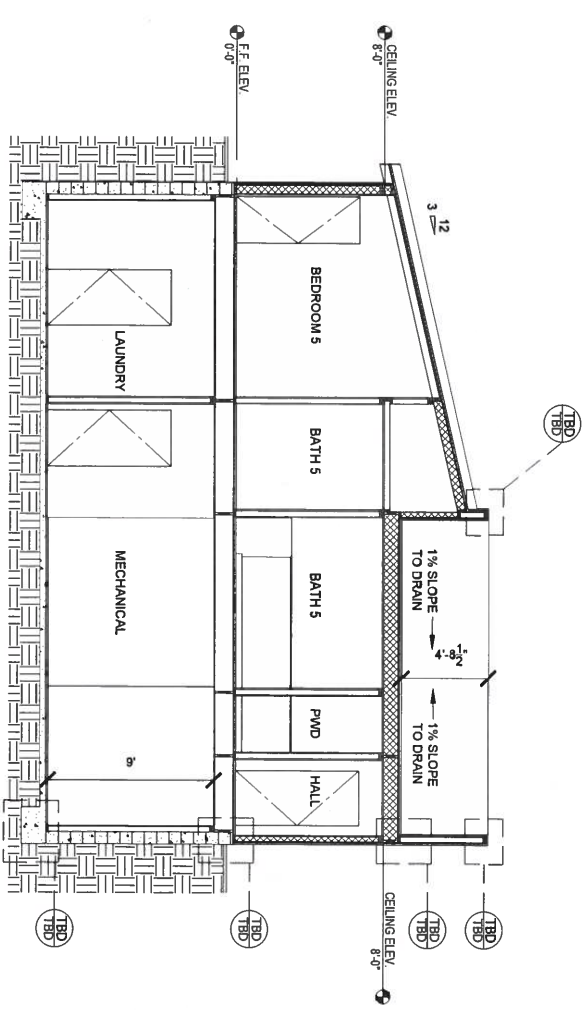
General Notes

NOTE: Designer is not responsible for the engineering, construction, or installation of any mechanical, electrical, plumbing, or other systems. All engineering and shop drawings to be prepared by the respective trades and approved by the architect.

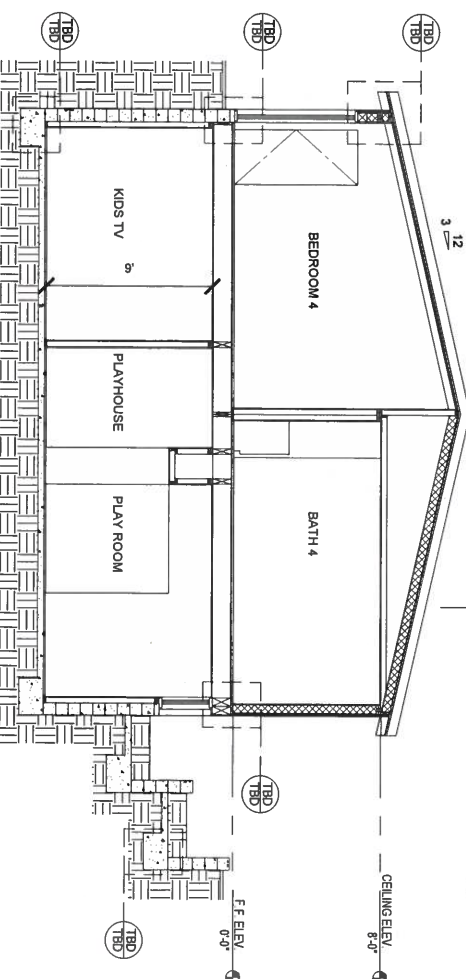
1 MAIN HOUSE SECTION
Scale: 1/4" = 1'-0"



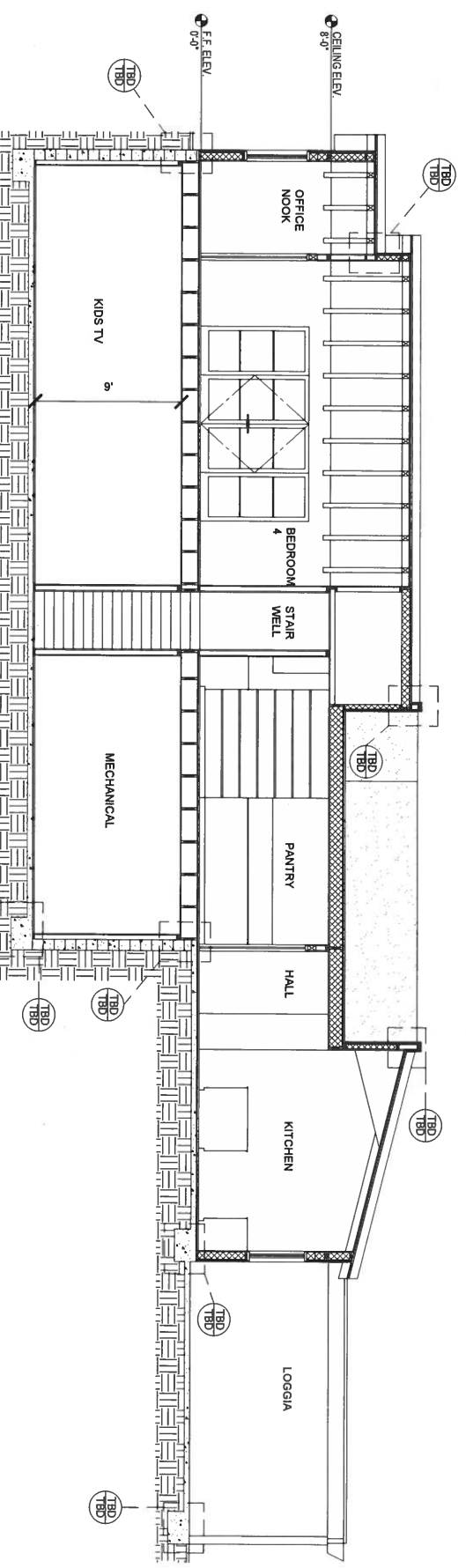
2 MAIN HOUSE SECTION
Scale: 1/4" = 1'-0"



3 MAIN HOUSE SECTION
Scale: 1/4" = 1'-0"



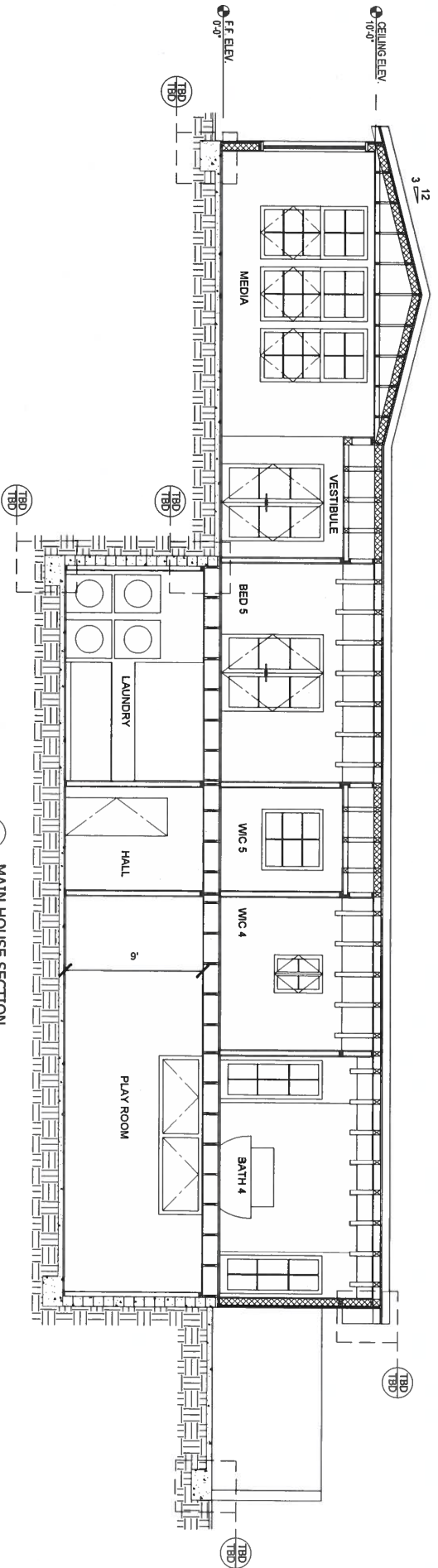
4 MAIN HOUSE SECTION
Scale: 1/4" = 1'-0"



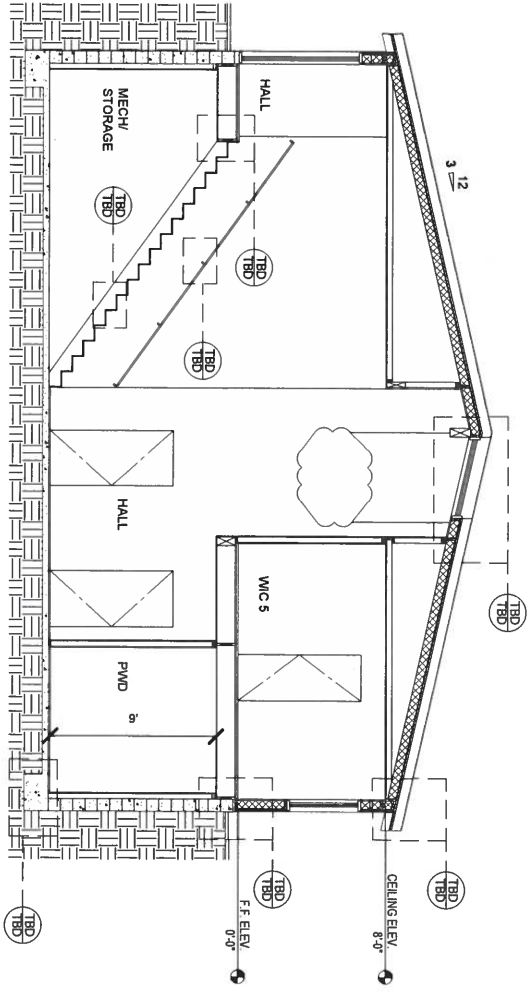
DRIVER RESIDENCE
688 E VEREDA SUR,
PALM SPRINGS CA 92262

DATE	REVISION
AS NOTED	AS NOTED

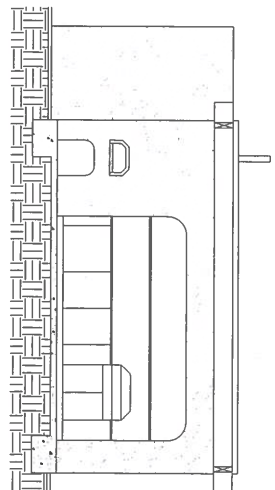
SECTIONS
04/26/21
AS NOTED
A300



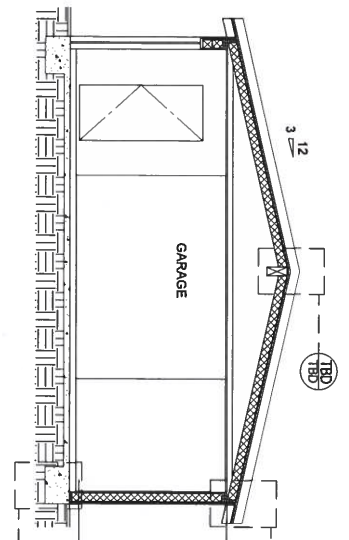
5 MAIN HOUSE SECTION
Scale: 1/4" = 1'-0"



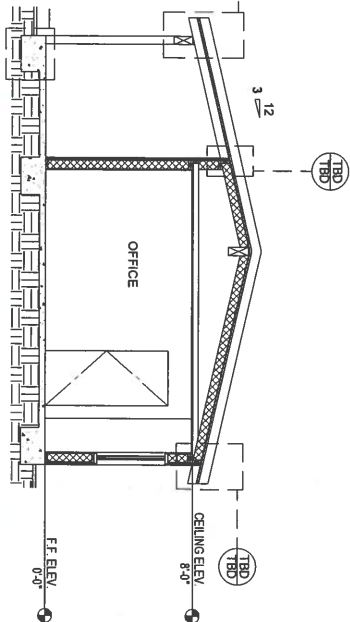
6 MAIN HOUSE SECTION
Scale: 1/4" = 1'-0"



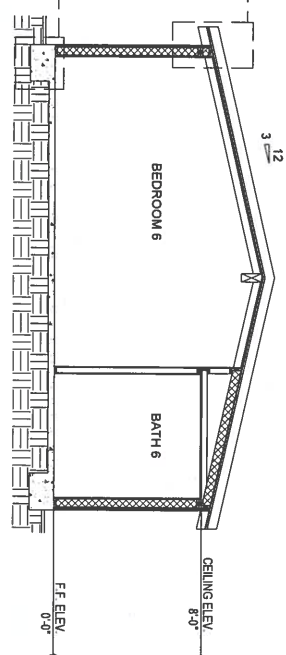
6A PAVILION SECTION
Scale: 1/4" = 1'-0"



7 GUEST HOUSE SECTION
Scale: 1/4" = 1'-0"



8 GUEST HOUSE SECTION
Scale: 1/4" = 1'-0"



9 GUEST HOUSE SECTION
Scale: 1/4" = 1'-0"

DRIVER RESIDENCE
688 E VEREDA SUR,
PALM SPRINGS CA 92262

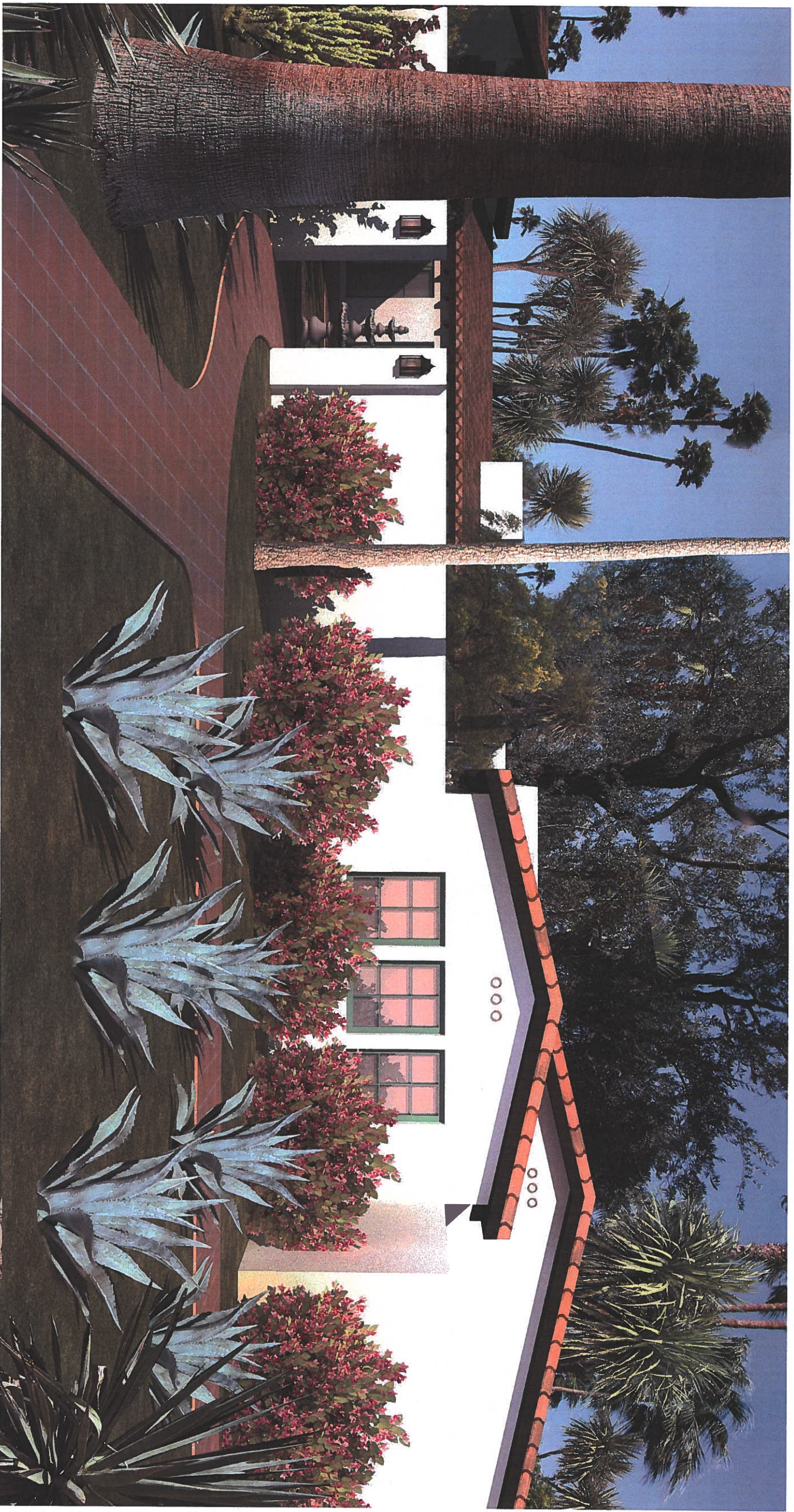
DATE: REVISION:
2/20/21 1/1/2021

SECTIONS

04/26/21

AS NOTED

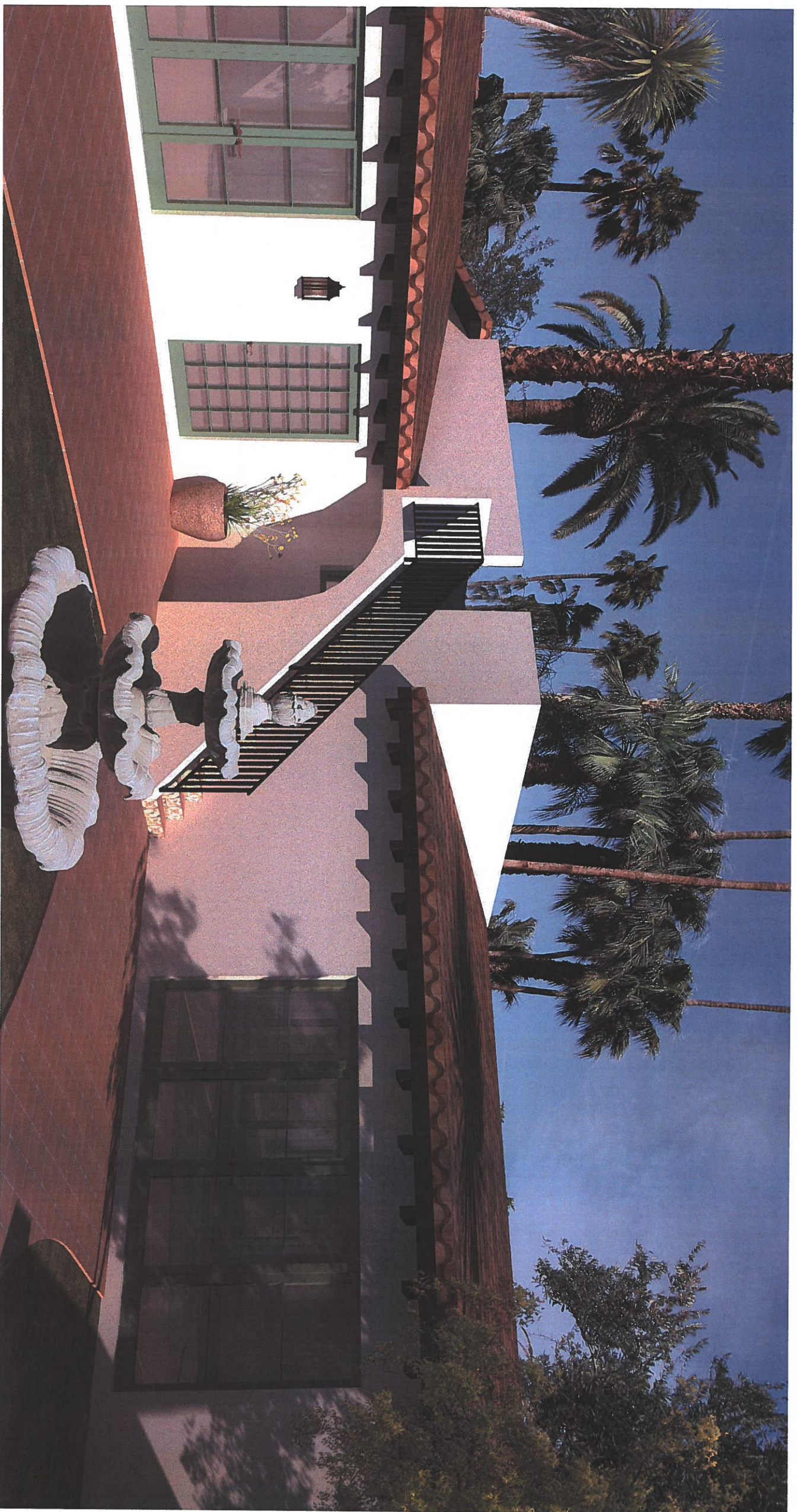
A301



1 SOUTH (FRONT) ELEVATION INSIDE PERIMETER WALL TOWARD PROPOSED BEDROOM 4 ADDITION (MIDDLE) @ ORIGINAL GARAGE
COMPARE TO VIEW 7 IN AS-BUILT PHOTOS

HUNDRED MILE HOUSE
2800 North Vista Grande Ave
Palm Springs, CA 92262
P: 310.991.4202
E: duane@hundredmlehouse.co
Duane Smith, Principal Designer

DRIVER RESIDENCE
688 E VEREDA SUR, PALM SPRINGS
RENDERINGS OF PROPOSED ALTERATIONS



2 VIEW OF ENTRYWAY AND STAIRS TO ROOFDECK AT ENTRY COURTYARD
COMPARE TO VIEW 16 IN AS-BUILT PHOTOS

HUNDRED MILE HOUSE
2800 North Vista Grande Ave
Palm Springs, CA 92262
P: 310.991.4202
E: duane@hundredmlehouse.co
Duane Smith, Principal Designer

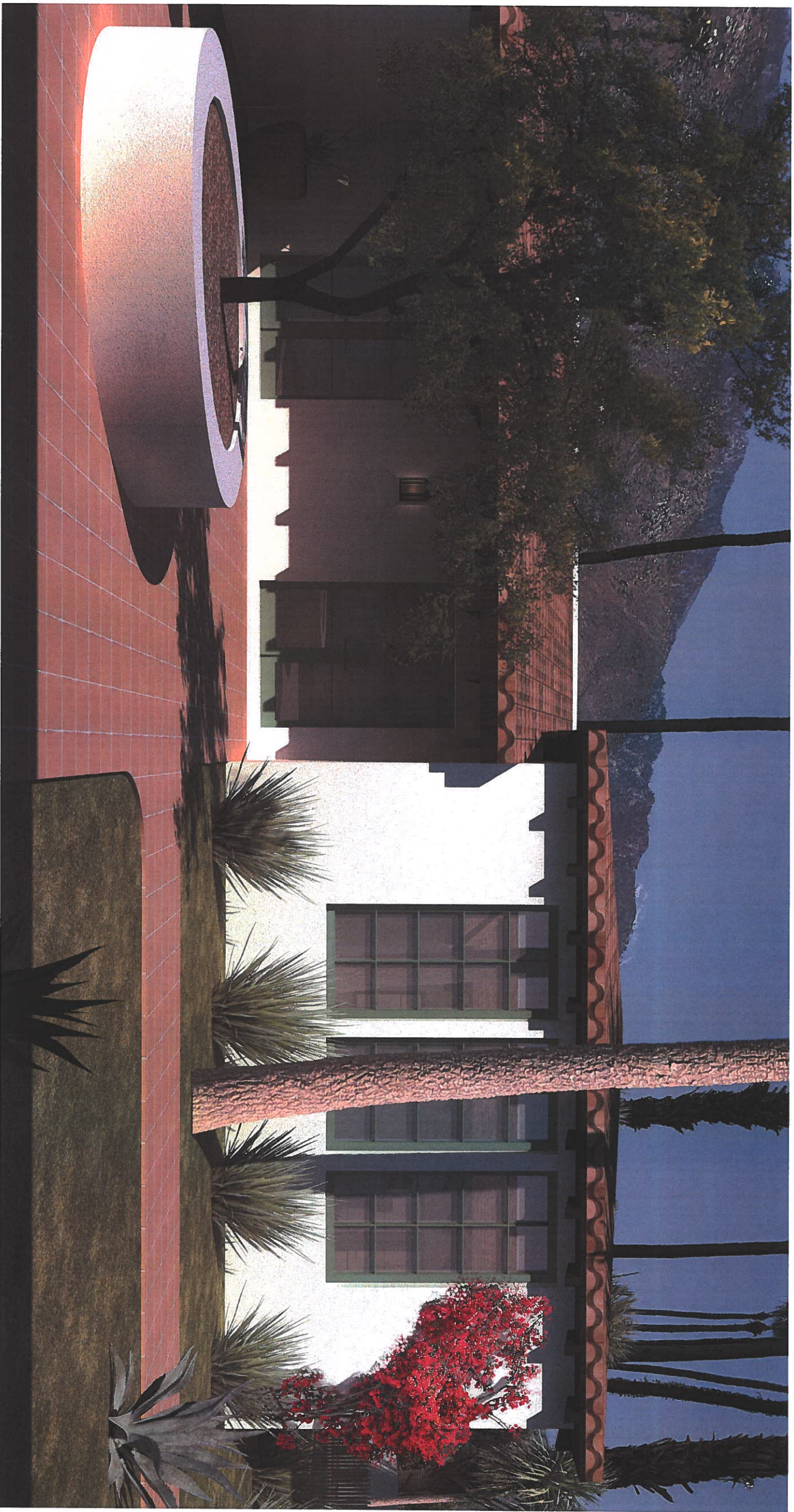
DRIVER RESIDENCE
688 E VEREDA SUR, PALM SPRINGS
RENDERINGS OF PROPOSED ALTERATIONS



3 VIEW NORTH FROM DRIVEWAY TOWARD HOUSE ADDITION (LEFT) AND GARAGE ADDITION/ADU (RIGHT)
COMPARE TO VIEW 4 IN AS-BUILT PHOTOS

HUNDRED MILE HOUSE
2800 North Vista Grande Ave
Palm Springs, CA, 92262
P: 310.991.4202
E: duane@hundredmilehouse.co
Duane Smith, Principal Designer

DRIVER RESIDENCE
688 E VEREDA SUR, PALM SPRINGS
RENDERINGS OF PROPOSED ALTERATIONS



4 VIEW WEST FROM COURTYARD BETWEEN HOUSE AND ADU, TOWARD MEDIA ROOM (RIGHT) AND REAR ENTRANCE (MIDDLE)
COMPARE TO VIEW 12 IN AS-BUILT PHOTOS

HUNDRED MILE HOUSE

2800 North Vista Grande Ave
Palm Springs, CA, 92262
P: 310.991.4202
E: duane@hundredmilehouse.co
Duane Smith, Principal Designer

DRIVER RESIDENCE

688 E VEREDA SUR, PALM SPRINGS
RENDERINGS OF PROPOSED ALTERATIONS



5 VIEW SOUTHWEST FROM BACK YARD (IN FRONT OF ADU) TOWARD MEDIA ROOM ADDITION (MIDDLE), BEDROOM 5 (LEFT) AND NEW COVERED PATIOS OUTSIDE LIVING AREA (RIGHT)
COMPARE TO VIEW 19 IN AS-BUILT PHOTOS

HUNDRED MILE HOUSE
2800 North Vista Grande Ave
Palm Springs, CA 92262
P: 310.991.4202
E: duane@hundredmilehouse.co
Duane Smith, Principal Designer

DRIVER RESIDENCE
688 E VEREDA SUR, PALM SPRINGS
RENDERINGS OF PROPOSED ALTERATIONS



6 VIEW NORTHEAST TOWARD ADU ADDITION BEDROOM 8 (MIDDLE) AND OFFICE (RIGHT)
COMPARE TO VIEW 25 IN AS-BUILT PHOTOS

HUNDRED MILE HOUSE
2800 North Vista Grande Ave
Palm Springs, CA 92262
P: 310.991.4202
E: duane@hundredmlehouse.co
Duane Smith, Principal Designer

DRIVER RESIDENCE
688 E VEREDA SUR, PALM SPRINGS
RENDERINGS OF PROPOSED ALTERATIONS



7 VIEW WEST TOWARD NEW POOL PAVILLION AND COVERED PATIO
COMPARE TO VIEW 28 IN AS-BUILT PHOTOS

HUNDRED MILE HOUSE
2800 North Vista Grande Ave
Palm Springs, CA, 92262
P: 310.991.4202
E: duane@jhundredmilehouse.co
Duane Smith, Principal Designer

DRIVER RESIDENCE
688 E VEREDA SUR, PALM SPRINGS
RENDERINGS OF PROPOSED ALTERATIONS

City of Palm Springs, California - Department of Planning Services
CITYWIDE HISTORIC RESOURCE INVENTORY - ELIGIBLE

Contact the Planning Department for more info at 760 323 8245
 Last date revised: January 2019.

ADDRESS	DIR	STREET	SURF.	YEAR BUILT PER COUNTY CITY	AGUA CALIENTE INDIAN RESERVATION	2016 HRG LOCAL STATUS CODE	Statement of Significance	NOTES
688	E	Vereda Sur		1950		7R	<p>This property was re-evaluated during the 2015 survey as part of an update to the City of Palm Springs' list of potential historic resources (Citywide-Historic Resource Database). This property may be significant as an example of pre-World War II residential development in Palm Springs, reflecting an important period of growth and transition in the city. However, it is not fully visible from the public right-of-way, therefore, additional information about its integrity is needed to complete the evaluation.</p>	<p>The first residential subdivisions were recorded in the early 1920s on tracts largely concentrated on land immediately surrounding the existing village and the resorts. In the 1920s, business tycoons, industrialists, and other wealthy businessmen, along with the Hollywood elite, discovered the desert and began to transform Palm Springs into an international resort. While the movie stars primarily stayed at the resort hotels when visiting Palm Springs through the 1920s, other wealthy residents and seasonal visitors started building architect-designed estates and drawing increased attention to the growing resort town. The 1930s saw Palm Springs blossom, as increasing numbers of celebrities made it their winter weekend getaway, and more development sprang up to house and entertain them. The popularity of Palm Springs with the Depression-proof movie industry surely provided more economic stability for real estate than in most other cities in the United States, and new subdivision development resumed in earnest in the mid-1930s. Following the Depression-era demise of the golf course at El Mirador, El Mirador Estates (1935-36) was subdivided by Prescott Stevens' daughter Sallie Stevens Nichols and her maitre d' husband Culver Nichols, along with local developer Ernest Dief. These large parcels continued the elite residential development agenda for the area around the El Mirador Hotel. Given its prime location and large parcels, the tract quickly became home to prominent villagers who built architecturally significant homes. Individual examples of early residences remain scattered throughout the pre-World War II subdivisions. The Florheims owned this house from at least the mid-1940s. In 1955, they engaged famed interior designer William "Billy" Haines to redecorate the house.</p>



CITY OF PALM SPRINGS BUILDING PERMIT

DATE	SUBMITTED 10/26/98	PLAN CHECK NUMBER	PLAN CHECK FEE 0.00	CASE NUMBER	PERMIT#
------	--------------------	-------------------	---------------------	-------------	---------

OWNER Carl Coyan	ADDRESS same	PHONE 416-2800	STATE CA	LIC. NUMBER
CONTRACTOR Palm Desert Cont.	ADDRESS P.O. Box 2695, P.D. Ca 92261	PHONE 346-2420	STATE CA	LIC. NUMBER 477507

LOT #	18	BLOCK #	+	TRACT	MERITOVISTA	BUILDING ADDRESS	0416 HERMOSA PLACE	TOTAL AREA	75 sqs			
IRR	RIA	Height	Occupancy	R3	Parcel Number	505-252-013	SMIP Tax	0.00	Plan Check	111-3807	0.00	
Setbacks As Constructed	Front	Side	Side	Rear	Parcel Number	505-252-013	SMIP Tax	0.00	Plan Check	111-3807	0.00	
Square Footage	Building	Garages/Carports	Roofted Patio/Porch	Microfilm	111-3431	2.60	Permit Issuance	111-3218	15.00	Construction Tax	111-3130	0.00
Use of building	SMIP Type	Permit Type	Const. Type	Fire Sprinkler	Units	New Saw Cn	0	0	0	Permit Issuance	111-3218	15.00
Describe work in detail:	single family											

Remove existing wood shake roof and reroof with new 1/2" plywood, comp. shingles per UBC and UL.	Min. class C.	Special Conditions:	4:12 pitch.	DO NOT CONCEAL OR COVER ANY CONSTRUCTION UNTIL THE WORK IS INSPECTED	
Construction Tax	111-3130	0.00	Dbl. Fee/Rmw/Misc.	111-3298	0.00
Const. Permit	111-3218	0.00	Sewer Inspection	111-3214	0.00
Sewer Main	342-3842	0.00	Sewer Agreement	T&A	0.00
Sewer Connection Fee	342-3841	0.00	Drainage Fee	111-3214	0.00
TUMF Fee	134-3728	0.00	Misc. Filing Fee	590-3834	0.00
Public Arts Fee	590-3834	0.00	Planning Fee	111-3808	0.00
TOTAL FEE		206.60			

IMPORTANT

The issuance of this permit shall not be held to be an approval of the violation of any provisions of any city or county ordinance or state law.

Inspections of work are subject to an approved set of plans being on the job. Changes to plans are not to be made without permission of the Building and Safety Divisions.

The owner and/or contractor is responsible for establishing all property lines. All utilities must be underground.

This permit will expire if work is not started in 120 days or if more than 180 days elapses between inspections.

I certify that I am familiar with all requirements of the City of Palm Springs as they apply to this permit and understand that these requirements must be completed prior to final inspection and that no certification of occupancy will be issued until such time as these requirements are met. I certify that I have read this application and state that the information is true and correct.

OWNER/CONTRACTOR/AGENT _____ DATE _____ ISSUED BY _____

This is a Building Permit when properly filled out, signed and validated, and is not transferable.

BUILDING DEPT. COPY

PERMIT NUMBER B 35741
Status Unknown