



ARCHITECTURAL ADVISORY COMMITTEE MEMORANDUM

DATE: June 21, 2021

CONSENT

SUBJECT: DENISE BERRY, OWNER, REQUESTING A MAJOR ARCHITECTURAL APPLICATION TO CONSTRUCT A NEW 1,611-SQUARE FOOT SINGLE-FAMILY RESIDENCE, AND AN ADMINISTRATIVE MINOR MODIFICATION APPLICATION TO REDUCE ALL SETBACKS OF THE DEVELOPMENT LOCATED AT 105 WEST SAN MARCO WAY, ZONE R-1-C, SECTION 4 (CASE 3.4225 MAJ & 7.1628-AMM). (AP)

FROM: Department of Development Services

SUMMARY:

This is a request for a major architectural review of a new 1,611-square foot single-family residence, which includes a pool, spa and new landscaping, at the corner of West San Marco Way and North Indian Canyon Drive. The applicant is also requesting approval of an Administrative Minor Modification application to reduce the front, side and rear setbacks. The Palm Springs Zoning Code (PSZC) Section 94.04.00 (E)(1)(a) requires architectural review for single-family residences located on major thoroughfares.

RECOMMENDATION:

Recommend approval of the proposed application to the Planning Commission, as submitted.

BACKGROUND INFORMATION:

<i>Neighborhood Meeting/Notification</i>	
06/17/21	Notice sent to neighborhood organizations within a mile of the subject property, notifying that the Architectural Advisory Committee would review the project.

<i>Field Check</i>	
05/11/21	Staff visited the site to observe existing conditions.

DETAILS OF APPLICATION REQUEST:

<i>Site Area</i>	
Net Acres	0.22 Acres

<i>Surrounding Property</i>	<i>Existing Land Use Per Chapter 92</i>	<i>Existing General Plan Designation</i>	<i>Existing Zoning Designation</i>
Subject Property	Vacant	VLDR	R1C
North	Single Family Residence	VLDR	R1C
South	Old Palm Springs Racquet Club	TRC	R2
East	Parkwood Apartments	TRC	R2
West	Single Family Residence	VLDR	R1C

<i>General Plan Areas or Master Plan Areas</i>	<i>Compliance</i>
VLDR (Very Low Density Residential (2.1–4.0 dwelling units per acre))	Y
<i>Specific Plan Area</i>	<i>Compliance</i>
N/A	N/A

ANALYSIS:

Site Plan:

The project includes a new 1,611-square foot single-family residence, a 596-square foot garage and a 351-square foot pool with spa. The proposal also incorporates other features such as, new landscape, a shed roof, and outdoor patio area. The new garage and driveway are proposed to take access off West San Marco Way so that it does not interfere with traffic on the major thoroughfare.

The proposed residence is located at the corner of West San Marco Way and South Indian Canyon Drive. The zone is R-1-C, single family residential and requires a 50-foot front yard setback from Indian Canyon Drive. The applicant has submitted an Administrative Minor Modification application (AMM) to reduce all setbacks in accordance to Section 94.06.01 (A) (5) of the PSZC, which states “single-family dwellings on major and secondary thoroughfares may be allowed reductions of front and side yards to the amounts allowed for single-family dwellings located on local and collector streets in the same zone”. The applicant is also requesting a 20% reduction on the setbacks. With an AMM, the new setbacks will be 18 feet from the north, 8 feet on the south, 12 feet on the west, and 25 feet on the east.

Building Design and Detailing:

The proposed architecture is contemporary in design, with a combination of a flat roof structure and angled shed roof. The building walls will consist of a Dove Grey, smooth stucco finish with an accent black brick finish and wood slates near the front entrance. Black aluminum window trim is proposed along the windows, Fibre Cement redwood is

proposed along the interior of the garage, and a grey CMU stacked block wall around the rear and side perimeter. The roof will consist of a white spray foam and the door will be the focal point with a vibrant Calypso Blue color.

Landscaping and Buffers:

Landscaping is proposed throughout the property and along the exterior property wall. Plant materials include a variety of plants, all of which can be found in the CVWD handbook. The plant materials consist of Mexican Fan Palm, Lemon and Lime trees, Golden Barrel Cactus, Fence Post Cactus, Agave Desmettiana Variegata, Ficus, Yucca Cane, Yellow Trumpetbush and Museum Palo Verde. Decorative ground cover will include small grey gravel, river rock, and white ice rock.

Architectural Review Criteria:

PSZC Section 94.04.00(D) requires an evaluation of the proposed development to determine if it will provide a desirable environment for its occupants, be compatible with the character of adjacent and surrounding developments, and whether it is of good composition, materials, textures and colors. Conformance shall be evaluated based on the following criteria:

	Guidelines [PSZC 94.04.00(D)]	Compliance
1.	<p><i>Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas.</i></p> <p>The proposed site configuration will consist of a new single-family home, new parking and driveway approach and new landscape areas. The proposed residence will have building elevations that are compatible in color and material with adjacent buildings. Parking will take access from West San Marco Way, which will not impede traffic off North Indian Canyon Drive. There are no existing sidewalks on West San Marco Way or North Indian Canyon Drive; however, the applicant will be required to develop sidewalks per the Engineering Department.</p>	Y
2.	<p><i>Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood/community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;</i></p> <p>As a contemporary design, the residence will enhance the currently undeveloped property. The new residence will be harmonious with existing adjoining developments.</p>	Y
3.	<p><i>Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment;</i></p> <p>The height, area, setbacks and overall mass of the structure comply</p>	Y


	Guidelines [PSZC 94.04.00(D)]	Compliance
	with the development standards in the R-1-C zone.	
4.	<i>Building design, materials and colors to be sympathetic with desert surroundings;</i> The project involves white smooth stucco walls, with black brick and grey slat accent walls. The design, materials and colors are sympathetic with the desert surroundings.	Y
5.	<i>Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously;</i> The materials, colors and composition are harmonious with each other and the surrounding properties.	Y
6.	<i>Consistency of composition and treatment;</i> In general, there is consistency with the proposed colors and materials.	Y
7.	<i>Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;</i> The project consists of a variety of drought-tolerant vegetation and trees that require infrequent watering. All of the proposed vegetation can be found in the Coachella Valley Water District Lush and Efficient handbook. The project will be required to irrigate plant materials in accordance with the City's water efficient landscaping ordinance.	Y

CONCLUSION:

The proposed residence will be an enhancement to the undeveloped parcel. Staff recommends approval to Planning Commission, as submitted.



 Alex Perez
 Assistant Planner



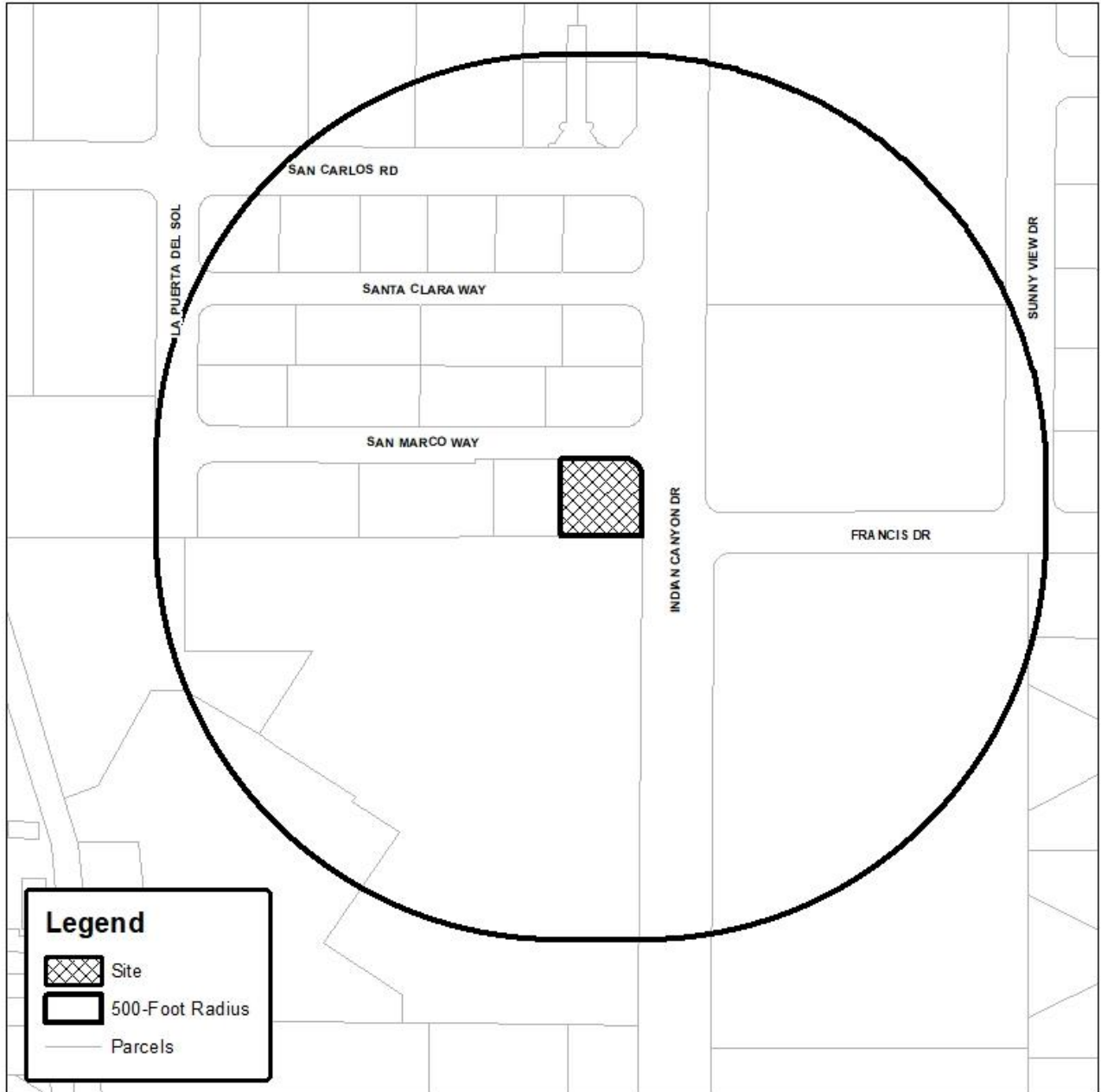
 David Newell, AICP
 Assistant Director of Planning

ATTACHMENTS:




1. Vicinity Map
2. Justification Letter
3. Complete Plans



Department of Planning Services Vicinity Map



Legend

-  Site
-  500-Foot Radius
-  Parcels

CITY OF PALM SPRINGS
105 West San Marco Way

AMPARO

Paul Mostoller
77490 Calle Arroba
La Quinta, CA 92253
310-595-5079
amparousa.com

MAJOR ARCHITECTURAL APPLICATION & ADMINISTRATIVE MINOR MODIFICATION JUSTIFICATION LETTER

Berry Horine Residence
105 W San Marco Way
Palm Springs, CA 92262
APN 504-125-005

PROJECT DESCRIPTION

The proposed project will be a new 1611 square foot single family home, and be built on a vacant lot in the Racquet Club West neighborhood. The home will be 1-story with a maximum height of 13 feet, and consist of 3 bedrooms 2 bathrooms. Year round the property will be used as the primary residence for a local couple. Clerestory windows, a sloped roof, and breezeway are some of the mid century design elements incorporated in the residence, and will help the home blend into the surrounding neighborhood and city. The project will greatly improve the aesthetic of West San Marco by blocking an abandoned building from view, and developing the last vacant lot on the street. The yard facing east will be beautifully landscaped with desert plants, and will positively impact the appearance of Indian Canyon. A sidewalk and ADU ramp will also be provided for the safety and convenience of pedestrians. There will be little to no environmental impact as the project will be constructed on an infill lot in a developed neighborhood. The house will also include several environmentally friendly features like an electric vehicle charging outlet, solar panels, and multi-zone heating & cooling.

PROJECT INFORMATION

We are requesting a minor adjustment to setbacks, as the current setbacks would make the construction of a small home prohibitive. The current standards would only allow for a 30 foot by 51 foot house to be built on the site, including a 2 car garage. That's approximately 1080 square feet of living space which isn't practical for an average single family home. We'd like to ask the Planning Commission consider the special circumstances of the property, and that the lot is substandard, on a corner [(92.01.03(C)(2)B)], and on a major thoroughfare (94.06.01).

Current setbacks:		Proposed setbacks:	
North	25'	North	15'
East	50'	East	25'
South	15'	South	7.5'
West	10'	West	12'

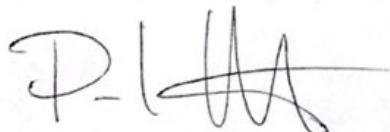
We'd also like to increase the maximum building height from 12' to 13' on the south side of the property. The height conforms on the sides and front, and to the south is a commercial property that is abandoned. The modest increase at the peak of the roof only, would make it possible to have clerestory windows, a feature in keeping with the neighborhood and city. The front and sides of the home are modest in height with only 8' high ceilings.

FINDINGS

With the minor adjustments we are requesting, the building would still meet or exceed the setbacks of most of the existing structures on West San Marco. We are proposing a single family home on a block that only has single family homes, that meets all of the R1C development standards, and is consistent with the general plan.

Thank you for your consideration, and enclosed please find documents pertaining to the project.

Sincerely,



4-9-21

Paul Mostoller
Draftsman

Original copy mailed to city of Palm Springs 4/13/21

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Riverside)

On April 9, 2021 before me, Christina Morin Notary Public,
Date Here Insert Name and Title of the Officer

personally appeared Paul Mastoller
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature _____
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____ Document Date: _____

Number of Pages: _____ Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

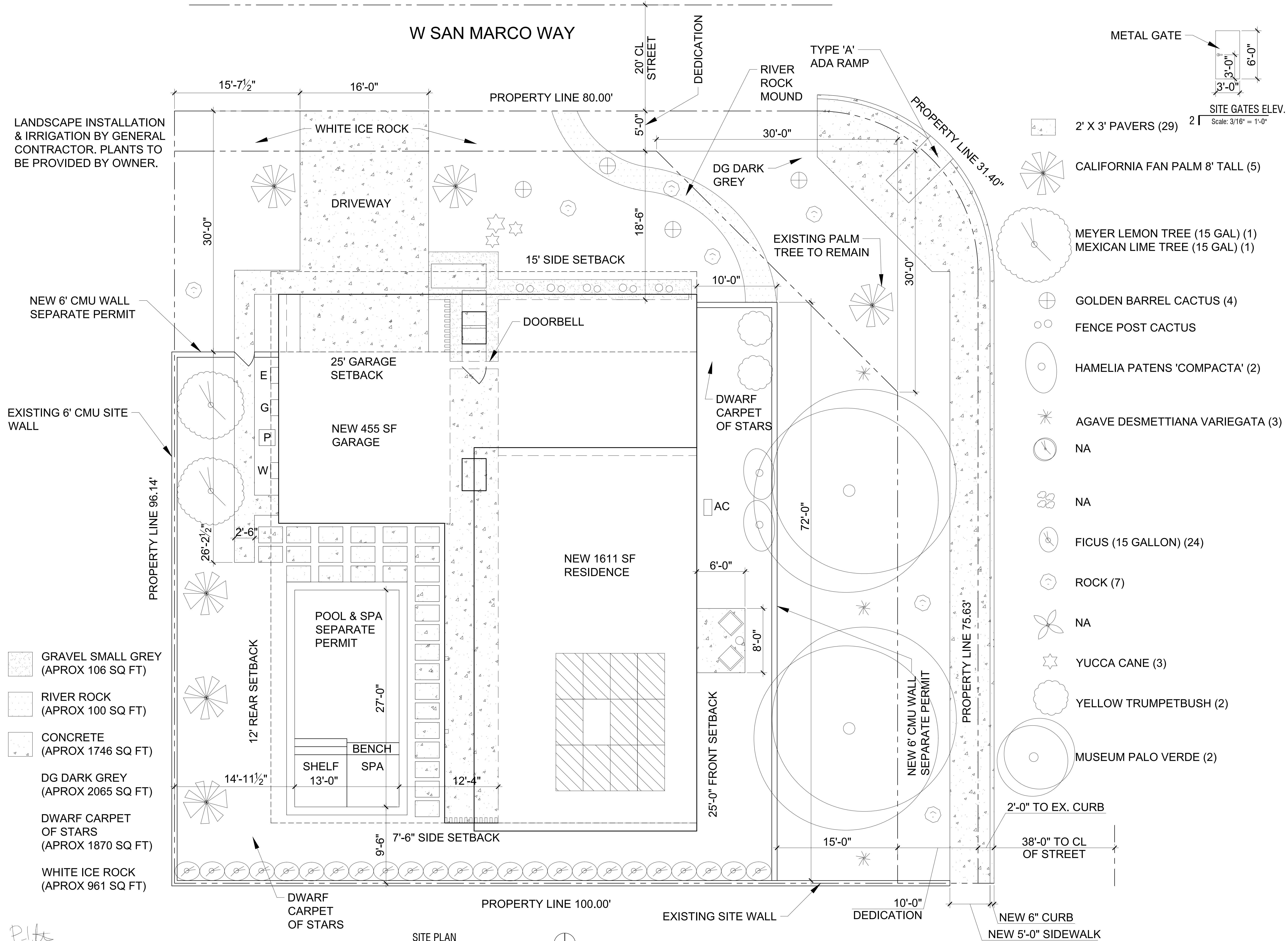
- Corporate Officer — Title(s): _____
- Partner — Limited General
- Individual Attorney in Fact
- Trustee Guardian or Conservator
- Other: _____

Signer Is Representing: _____

Signer's Name: _____

- Corporate Officer — Title(s): _____
- Partner — Limited General
- Individual Attorney in Fact
- Trustee Guardian or Conservator
- Other: _____

Signer Is Representing: _____

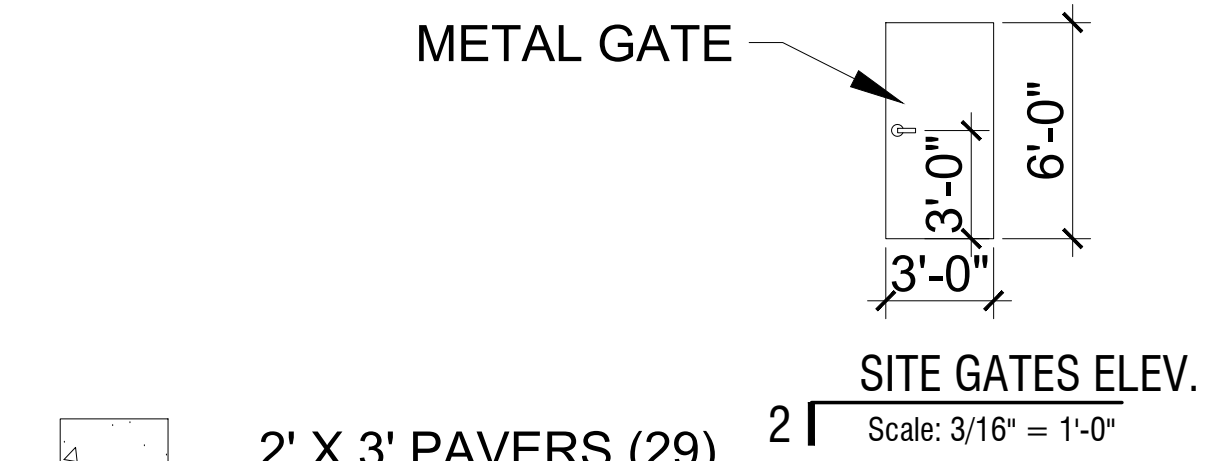


LANDSCAPE INSTALLATION & IRRIGATION BY GENERAL CONTRACTOR. PLANTS TO BE PROVIDED BY OWNER.

NEW 6' CMU WALL SEPARATE PERMIT

EXISTING 6' CMU SITE WALL

- GRAVEL SMALL GREY (APROX 106 SQ FT)
- RIVER ROCK (APROX 100 SQ FT)
- CONCRETE (APROX 1746 SQ FT)
- DG DARK GREY (APROX 2065 SQ FT)
- DWARF CARPET OF STARS (APROX 1870 SQ FT)
- WHITE ICE ROCK (APROX 961 SQ FT)



- 2' X 3' PAVERS (29)
- CALIFORNIA FAN PALM 8' TALL (5)
- MEYER LEMON TREE (15 GAL) (1)
- MEXICAN LIME TREE (15 GAL) (1)
- GOLDEN BARREL CACTUS (4)
- FENCE POST CACTUS
- HAMELIA PATENS 'COMPACTA' (2)
- AGAVE DESMETTIANA VARIEGATA (3)
- NA
- NA
- FICUS (15 GALLON) (24)
- ROCK (7)
- NA
- YUCCA CANE (3)
- YELLOW TRUMPETBUSH (2)
- MUSEUM PALO VERDE (2)

PREPARED BY
 PAUL MOSTOLLER

SITE PLAN
 Scale: 3/16" = 1'-0"

BERRY HORINE RESIDENCE
 105 W SAN MARCO WAY
 PALM SPRINGS, CA 92262

02-17-21
 SITE PLAN

A300



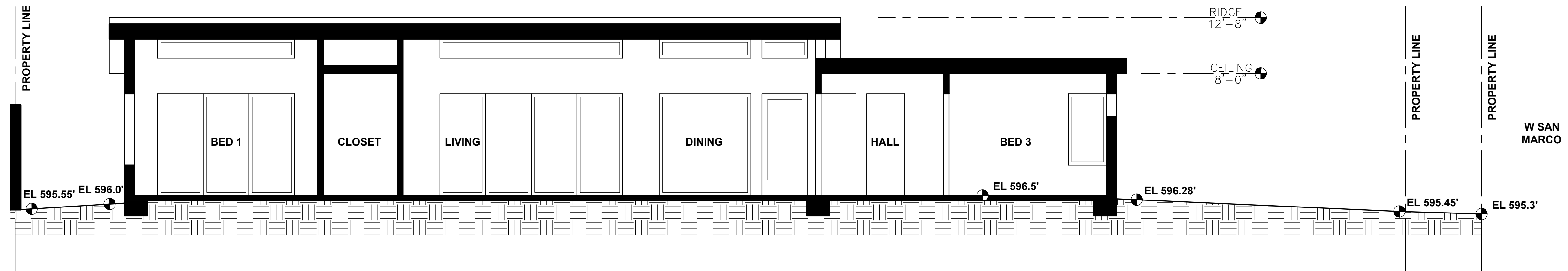
BERRY HORINE RESIDENCE
 105 W SAN MARCO WAY
 PALM SPRINGS, CA 92262

02-17-21
 SITE, LIGHT,
 LANDSCAPE

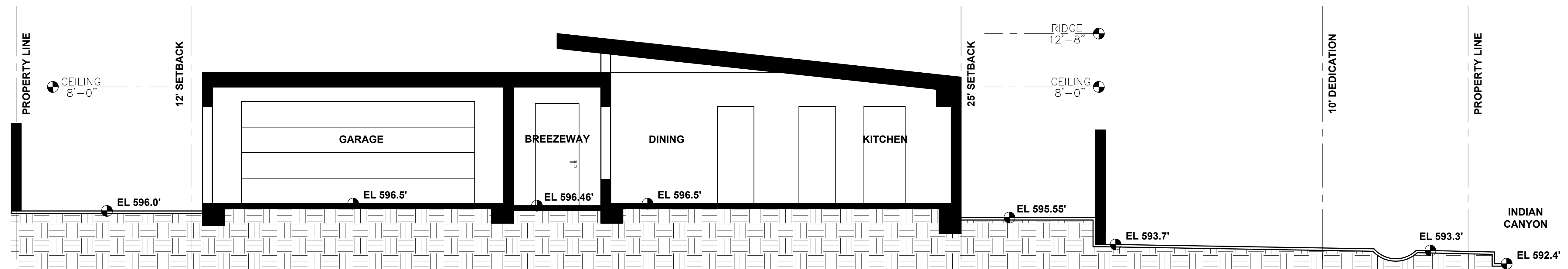
A301

PREPARED BY
 PAUL MOSTOLLER

SITE PLAN
 Scale: 3/16" = 1'-0"



SECTION SOUTH - NORTH
1 | Scale: 1/4" = 1'-0"



SECTION WEST - EAST
2 | Scale: 1/4" = 1'-0"

BERRY HORINE RESIDENCE
105 W SAN MARCO WAY
PALM SPRINGS, CA 92262

02-17-21

SITE
SECTIONS

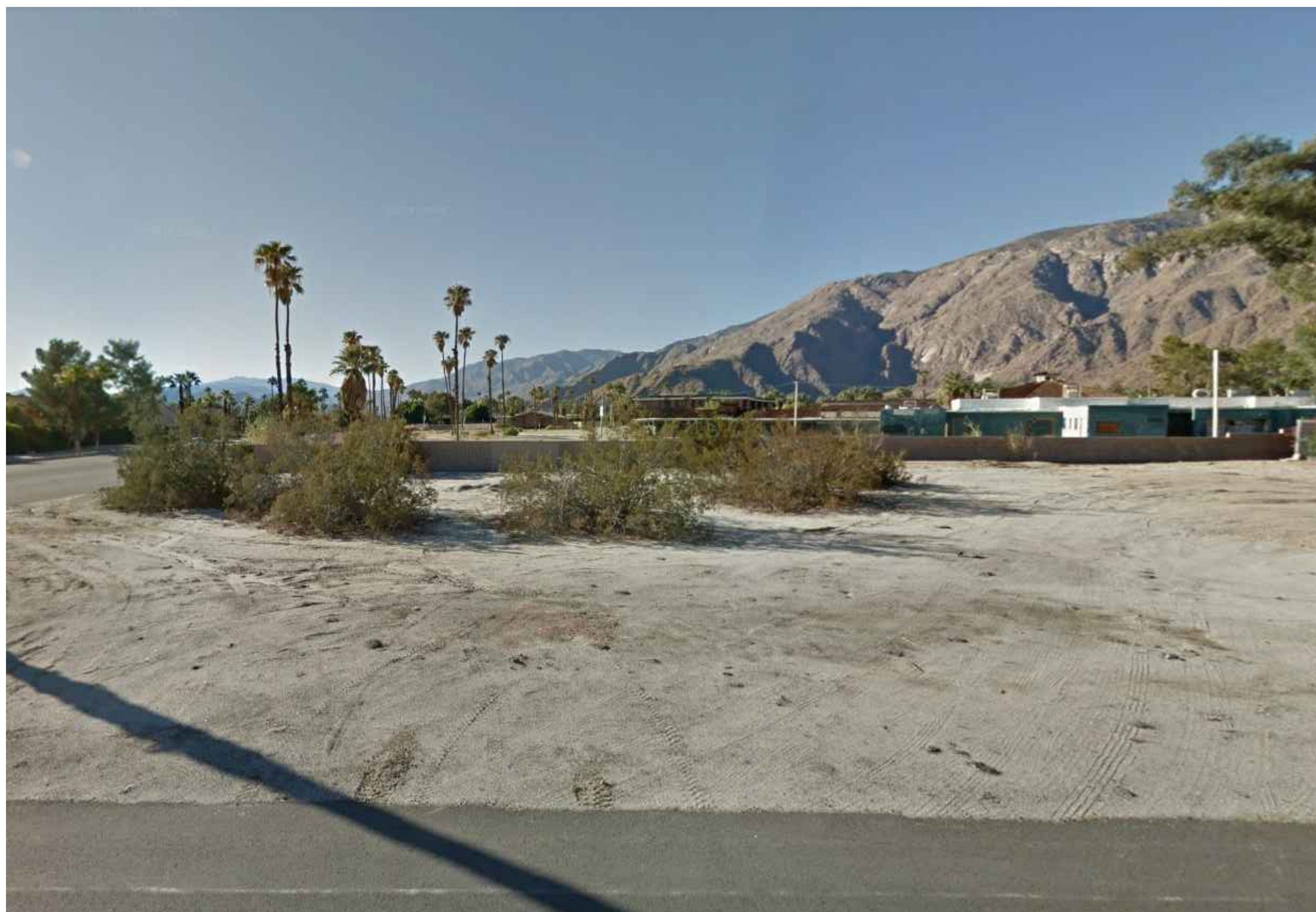
A302



1 | SITE PHOTO NORTH
Scale: NTS



2 | SITE PHOTO WEST
Scale: NTS



3 | SITE PHOTO SOUTH
Scale: NTS



4 | SITE PHOTO EAST
Scale: NTS

AMPARO

PAUL MOSTOLLER
310-595-5079
AMPAROUSA.COM

BERRY HORINE RESIDENCE
105 W SAN MARCO WAY
PALM SPRINGS, CA 92262

02-17-21

SITE
PHOTOS

A303

GRADING PLAN GENERAL NOTES

- The work shall be done in accordance with the Standard Drawings of the City of Palm Springs and the Standard Specifications for Public Works Construction, 2012 Edition.
- The Contractor shall be responsible for providing an effective means of dust control which shall include provisions for adequate watering during the grading process and provisions for containment of dust control until the graded surface presents sufficient cover against wind or water erosion so that special dust control measures are no longer necessary.
- Nothing in these Plans shall relieve the Contractor from obtaining permits as required by Chapter 14.16 of the City of Palm Springs Municipal Code.
- The Contractor shall set an appointment for inspection with the engineering inspector a minimum of 24 hours prior to the date of inspection.
- All grading shall comply with Section 1804 and Appendix J of the 2010 California Building Code.
- The location of existing underground utilities are to be shown in a schematic manner only. Subject to the provisions of Section 4215 of the California Government Code, the Contractor shall determine the exact location of all existing utilities before commencing the Work. Contact Undergroup Service Alert (U.S.A.) at 1-800-227-2600 two working days prior to any excavation.
- Dimensioning to curbs shall be to face of curb.
- Contractor shall remove all debris off-site daily, unless otherwise specified by the City Engineer.
- Contractor shall dispose any abandoned utility facilities and show limits of removals on the record drawings.
- The Contractor shall be responsible for the removal, replacement or relocation of all regulatory, warning and guide signs.
- A "Record Drawing" (formerly called "As-Built" Drawing) of this Plan shall be submitted by the Project Engineer of record to the City Engineer, for approval prior to acceptance of the Work.
- Construction signing, lighting and barricading shall be provided on all projects as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices for Streets and Highways, dated January 13, 2012, or subsequent editions in force at the time of construction.
- The flow line of all curbs and gutters and cross gutters shall be water tested before acceptance of the Work.
- Parking stalls shall be clearly delineated with a 4 to 6 inch stripe "hairpin" or elongated "U" design or other approved striping or stall delineation.
- Final site grading and drainage flow lines shall be certified, in writing, by the Engineer of Record to be in conformance to the approved grading plan PRIOR TO FINAL INSPECTION.
- For projects in excess of 1 acre, a Notice of Intent to comply with California General Construction Stormwater Permit (Water Quality Order 2009-0009-DWQ as modified September 2, 2009), as well as a copy of the executed letter issuing a Waste Discharge Identification (WDI) number is required prior to issuance of Grading or Building Permit, via the California Regional Water Quality Control Board (Phone No. (760) 346-7491). A updated copy of the project-specific Storm Water Pollution Prevention Plan (SWPPP) must be kept at the project site at all times.
- A city approved fugitive dust (PM-10) control plan is required prior to issuance of a grading permit. All dust control measures described in AQMD Rule 403 (BEST AVAILABLE CONTROL MEASURES) and in the city-approved fugitive dust control plan shall be implemented at all times. A wind fence and proper signage, shall be erected, inspected and approved by the City's Dust Control Inspector prior to initiation of clearing, grubbing, grading or import/export of soil, or fill material at the site. Failure to call 760-323-8253, extension 8740 for inspection 72 hours prior to initiating work will result in issuance of citation by the City.
- The block walls, retaining walls, and other structures shown on the grading plan are for location purposes only. Separate permits for the above are required from the Building Department.
- All provisions of the preliminary soils report dated 11/23/16 prepared by Sladden Engineering, report #544-16306 shall be complied with.

STREET PAVEMENT

- The asphalt concrete design shall meet the City of Palm Springs Std. Dwg. No. 110 and Standard Specifications for Public Works Construction, 2012 Edition, use Type B for the base lift and Type C2 for the final 1" cap. The design shall have a HVEEM stability of 35 AND 33 respectively per the California Test method 304 and 366. Performance Grade asphalt (PG-70-10) meeting the 2010 Caltrans Standard Specifications shall be used. The specified miscellaneous base shall be crushed miscellaneous base according to the Standard Specifications for Public Works Construction, 2012 Edition.

TRENCH PAVEMENT

- Street cuts shall be paved with temporary A.C. paving immediately. Major and Secondary Thoroughfares shall be permanently paved with 15 days of initial excavation (30 days on collector and residential streets) per City of Palm Springs Std. Dwg. No. 115. See Ordinance No. 14.16.375.
- Trenches shall be completely backfilled and compacted to support traffic at the end of each work day. The Contractor shall place permanent pavement through intersections at the end of each work day. No trench excavation or pipe laying on highways will be permitted on major and secondary thoroughfares or collector streets without prior approval of the City Engineer. Contractor shall place permanent paving each Friday.
- If, in the opinion of the City Engineer, the trench backfill is unsafe to traffic, the Contractor shall place permanent paving at the end of each work day.
- Steel trench plating shall conform to Caltrans Encroachment Permit Manual Sec. 602.1 as revised July, 2009.
- The specific miscellaneous base shall be crushed miscellaneous base according to the Standard Specification for Public Works Construction, 2012 Edition.

WMP GENERAL NOTES

- Erosion control Best Management Practices (BMPs) shall be implemented and maintained to minimize and/or prevent the entrainment of soil in runoff from disturbed soil areas on construction sites.
- Sediment control BMPs shall be implemented and maintained to prevent and/or minimize the transport of soil from the construction site.
- Stockpiles of soil shall be properly contained to eliminate or reduce sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.
- Appropriate BMPs for construction-related materials, wastes, spills or residues shall be implemented to eliminate or reduce transport from the site to streets, drainage facilities, or adjoining properties by wind or runoff.
- BMPs shall be inspected prior to predicted storm events and following storm events, and shall be properly maintained.
- Runoff from equipment and vehicle washing shall be contained at construction sites and must not be discharged to receiving waters, adjacent roadways, catch basins, or other components of the local storm drain system.
- All construction contractor and subcontractor personnel are to be made aware of the required best management practices and good housekeeping measures for the project site and any associated construction staging areas.
- At the end of each day of construction activity, all construction debris and waste materials shall be collected and properly disposed of in covered trash or recycle bins.
- Construction sites shall be maintained in such a condition that a storm does not carry wastes or pollutants off the site. Discharges other than stormwater (i.e., non-stormwater discharges) are prohibited, except as authorized by an individual National Pollution Discharge Elimination System (NPDES) permit, the General Permit for Stormwater Discharges Associated with Construction Activity, or the General Permit for Stormwater Discharges Associated with Construction Activity from Small Linear Underground/Overhead Projects. Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, solvents, detergents, glues, lime, pesticides, herbicides, fertilizers, wood preservatives, asbestos fibers, paint flakes or slucop fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; concrete and related cutting or curing residues; concrete washout; floatable wastes; wastes from engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning; and super-chlorinated potable water from line flushing and testing. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site, physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
- Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging non-contaminated groundwater produced by dewatering activities may require a National Pollutant Discharge Elimination System (NPDES) permit or Waste Discharge Requirements (WDR) issued by the Colorado River Basin Regional Water Quality Control Board.
- Construction sites shall be managed to minimize the exposure time of disturbed soil areas through phasing and scheduling of grading to the extent feasible and the use of temporary and permanent soil stabilization.

UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

PRIVATE ENGINEERING NOTE: CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO ANY CONTINUOUSLY, AND NOT BE LIMITED TO KNOWING WORKING HOURS, AND CONSTRUCTION CONTRACTOR PARTNER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

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48 HOURS BEFORE YOU DIG CALL UNDERGROUND SERVICE ALERT 811

PROJECT DATA

OWNER/CONTACT:
CLINE RESIDENCE
1265 INDIAN STREET
SAN FRANCISCO, CALIFORNIA 94107

PERMITS REQUIRED:
GRADING PERMIT
P.M. 10
WALL PERMIT

UTILITIES:
ELECTRIC: SO. CALIFORNIA EDISON (760) 202-4291
GAS: SO. CALIFORNIA GAS CO. (760) 324-4217
TELEPHONE: FRONTIER - (760) 778-3601
TELEVISION: TIME WARNER (760) 674-5452
SEWER: VEOLIA WATER (760) 323-8166 x2
WATER: DESERT WATER AGENCY (760) 323-4971

BASIS OF BEARINGS:

CENTERLINE OF SAN MARCOS WAY,
BEING N 89°45'00" W PER M.B. 19/06

TOPOGRAPHY:

SANBORN A/E INC.
DATE OF SURVEY: 4/2016

ASSESSOR'S PARCEL NO.

504-124-009

EARTHWORK QUANTITIES

THESE ARE AN ESTIMATE ONLY. CONTRACTOR IS REQUIRED TO PREPARE HIS OWN ESTIMATES FOR THE PURPOSE OF BIDDING. QUANTITIES DO NOT STRIPPING, SHRINKAGE, COMPACTION OR SUBSIDENCE LOSSES.

NOTE: A RED IMPORTED FIRE ANT CLEARANCE REQUIRED FOR ALL EXPORTED MATERIAL

CUT 20 C.Y. FILL 105 C.Y.

LEGAL DESCRIPTION

POT LOT 8 - THE COLONY TRACT, M.B. 019/006
RIVERSIDE COUNTY RECORDS, SECTION 3, T4S, R4E.

FEMA FLOOD ZONE

ZONE: X
COMMUNITY PANEL NO.: 06065C 1558E
DATED: 08/28/2008

LEGEND

- PE INDICATES PAD ELEVATION
- FL INDICATES FINISH FLOOR
- TC INDICATES TOP OF CONCRETE
- IF INDICATES TOP OF FOOTING
- FS INDICATES FINISH SURFACE HARDSCAPE
- FF INDICATES FINISH FLOOR
- TRW INDICATES TOP OF RETAINING WALL
- TW INDICATES TOP OF WALL
- FG INDICATES FINISH GRADE
- INV. INDICATES INVERT
- B.S.L. INDICATES BUILDING SETBACK LINE
- INDICATES GRAVEL DRIVEWAY
- INDICATES CONCRETE
- INDICATES GRAVEL
- INDICATES CMU WALLS
- INDICATES STEP IN FINISH FLOOR

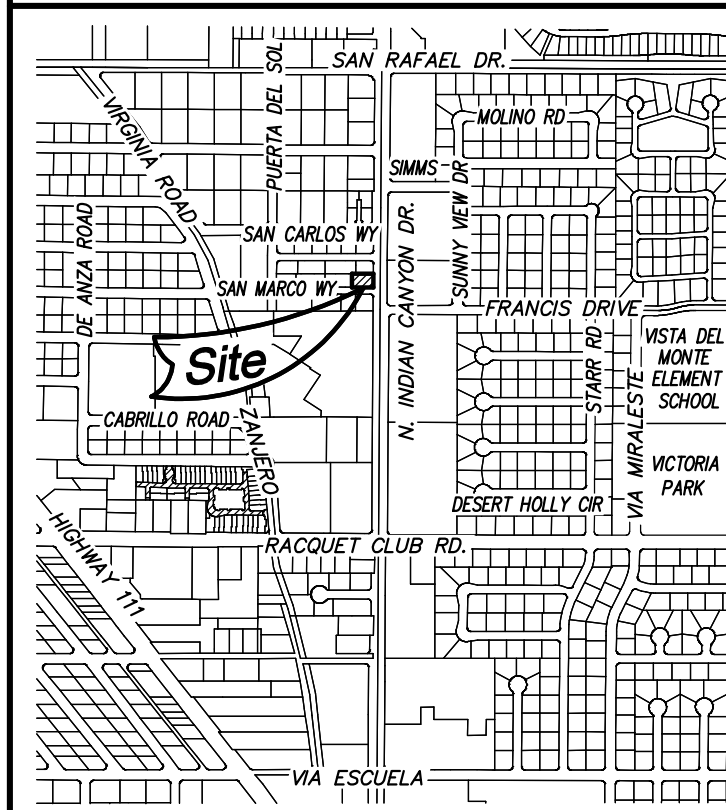
AREA:

GROSS ACRES = 0.20
GROSS SQUARE FEET = 8,914.15
NET ACRES = 0.169
NET SQUARE FEET = 7,374.75

NOTES:

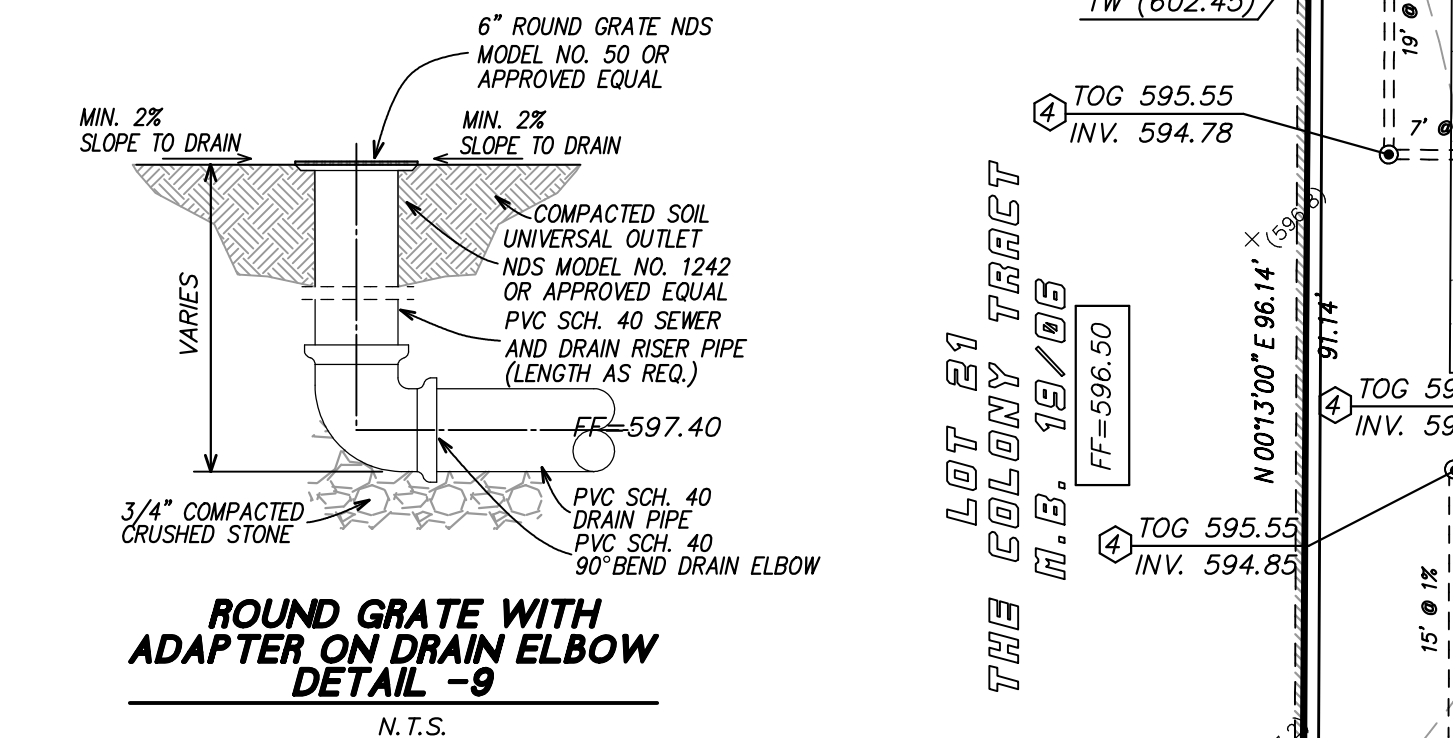
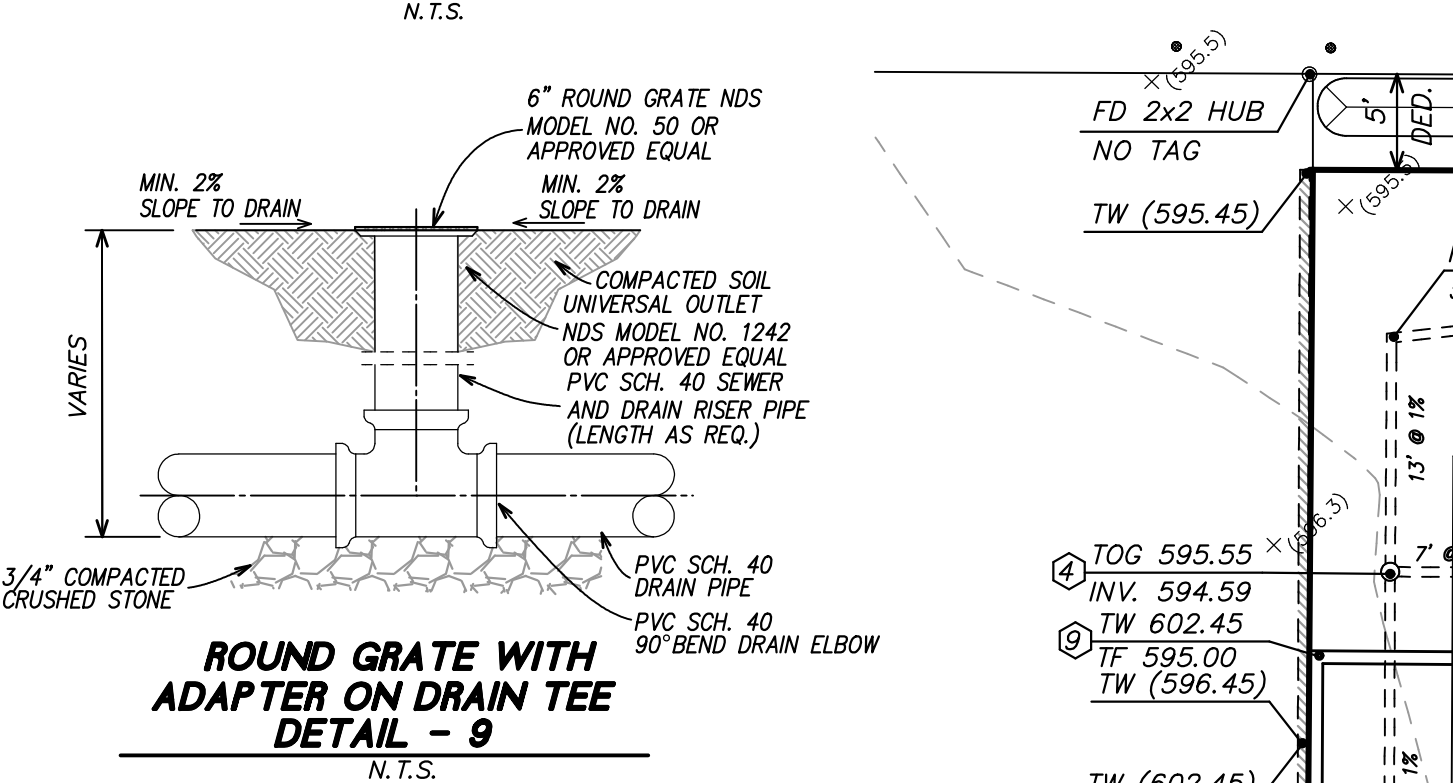
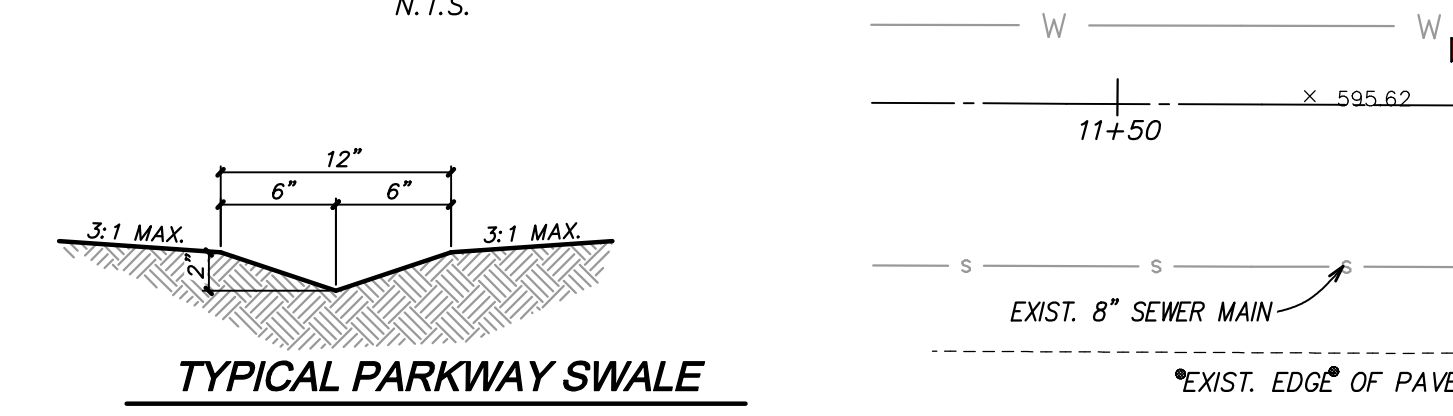
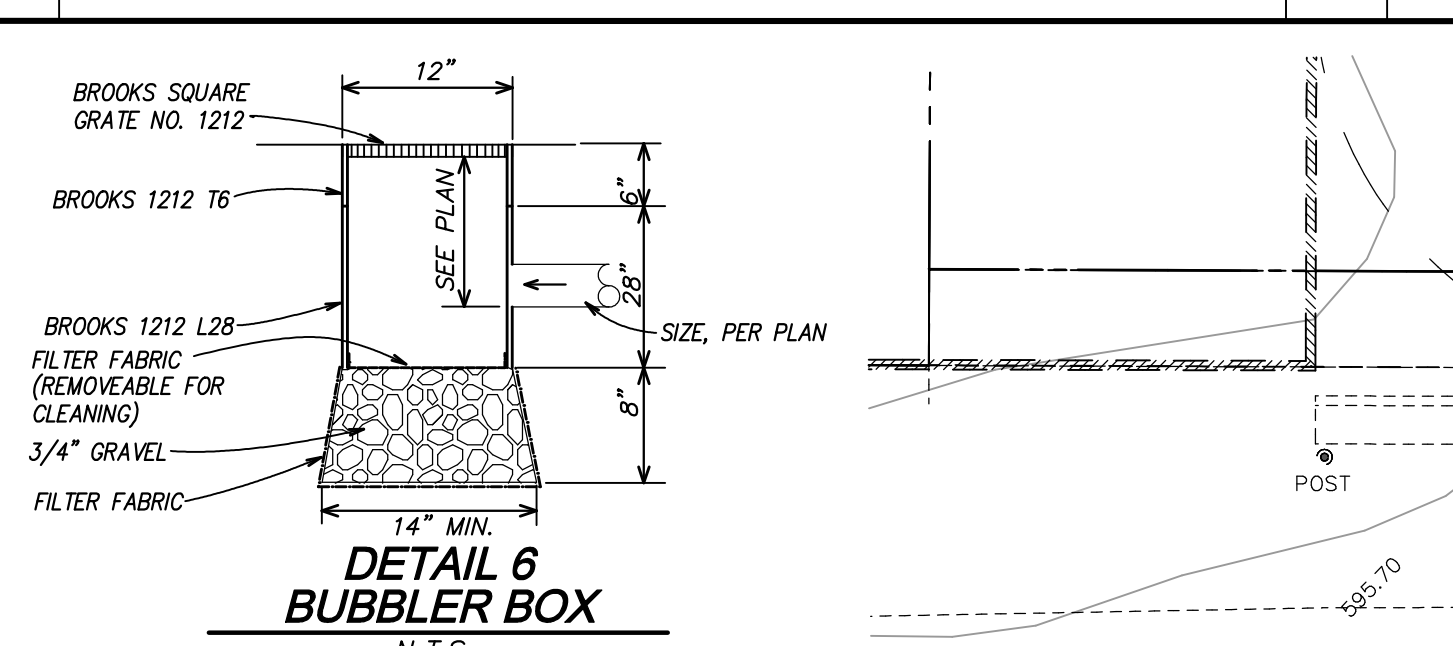
- CONTRACTOR SHALL OVEREXCAVATE OR OTHERWISE PREPARE SUBGRADE FOR PAVING AREAS. PER GEOTECH. ENGINEERS REPORT AND RECOMMENDATIONS
- ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS PLAN.
- SURFACE WATER WILL DRAIN AWAY FROM BUILDING.
- FOR SEWER, WATER & GASLINE CONNECTIONS TO BUILDING - SEE ARCHITECTS PLANS
- ALL FREESTANDING BLOCK WALLS TO BE CONSTRUCTED UNDER SEPARATE PERMIT

VICINITY MAP/LOCATION MAP

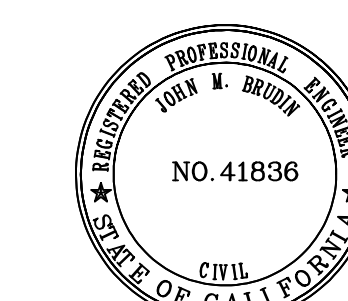
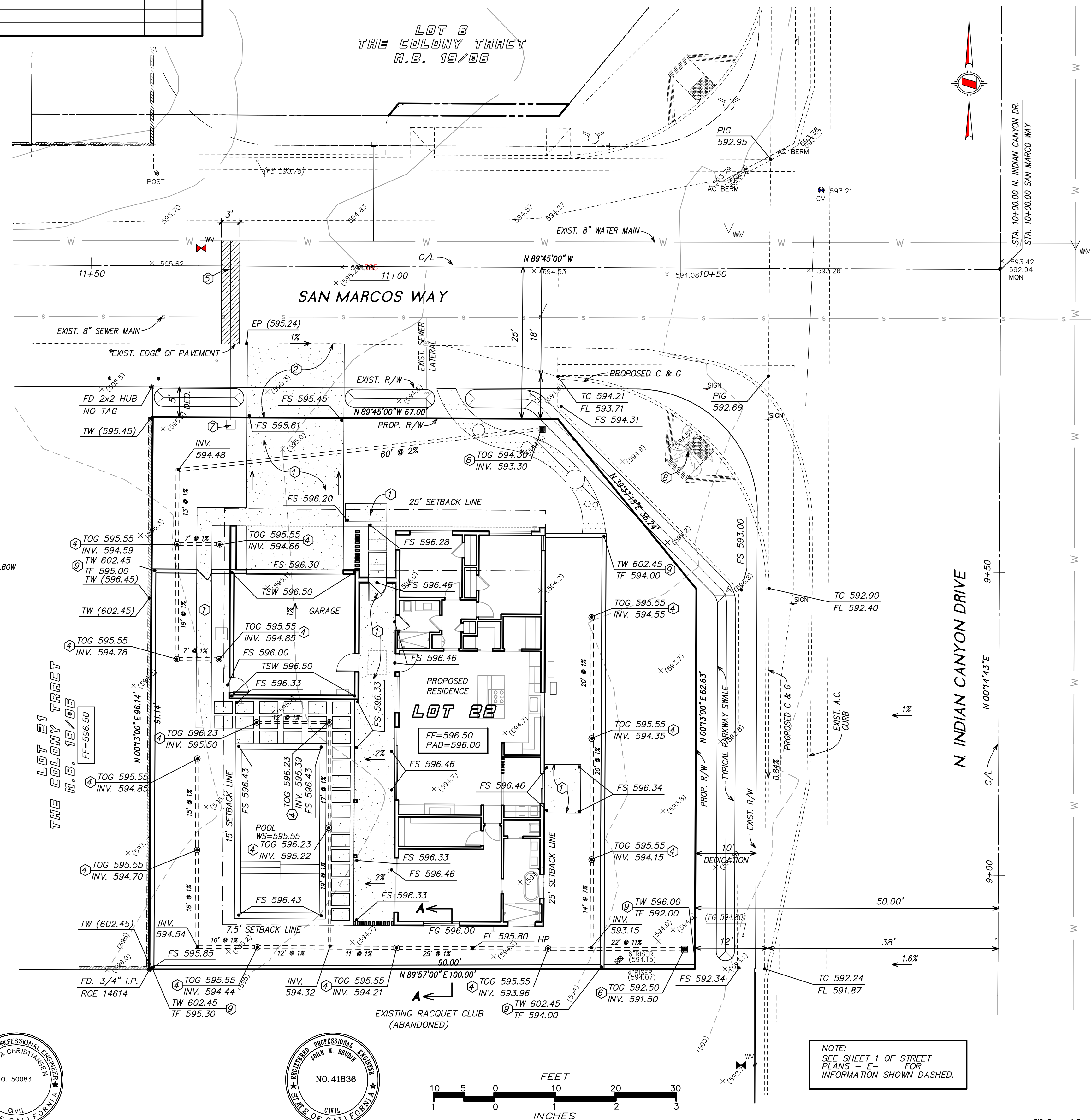


GRADING CONSTRUCTION NOTES AND QUANTITIES:

NO.	DESCRIPTION	QTY	UNIT
1	CONSTRUCT 4" P.C.C. WALKWAY / DRIVEWAY	1,219	S.F.
2	CONSTRUCT 6" P.C.C. IN R/W	190	L.F.
3	INSTALL 4" SCHEDULE 40 PVC DRAIN PIPE	319	L.F.
4	INSTALL 4" ATRIUM GRATE NOS. NO. 785	15	EA.
5	TRENCH AND PAVEMENT REPLACEMENT PER C.P.S. STD. NO. 115	50	S.F.
6	CONSTRUCT BUBBLER BOX PER DETAIL 6	2	EA.
7	WATER METER AND LATERAL PER D.W.A. STD.	1	EA.
8	REMOVE AND RELOCATE (E) PALM TREE PER OWNERS DIRECTION	1	EA.
9	CONSTRUCT CMU WALL UNDER SEPARATE PERMIT	240	L.F.



IN THE CITY OF PALM SPRINGS, CALIFORNIA
PRECISE GRADING PLAN
114 SAN MARCO WAY
IN SECTION 3, T4S, R4E, S.B.M.



NOTE: SEE SHEET 1 OF STREET PLANS - E- FOR INFORMATION SHOWN DASHED.

NO.	REVISION	DATE	APPROVED BY	DATE

BENCH MARK 3-10 RESET ELEV. 591.845

SET 3 BRASS CAP STAMPED "C.P.S. RM 3-10 RESET 1986" ON TOP OF ESE FOR OURS RETURN AT THE INTERSECTION OF INDIAN AVE. AND FRANCES DRIVE.

SANBORN A/E, Inc.
71780 SAN JACINTO DR.
RANCHO MIRAGE, BLDG. 92573
TEL (760) 423-0800
FAX (760) 423-0603

PREPARED UNDER THE DIRECT SUPERVISION OF:
R.C.E. 50083
KEITH A. CHRISTIANSEN
DATE

DESIGN BY: A.M.S.
DRAWN BY: F.J.
CHECKED BY: A.M.S.

REVIEWED BY: JOHN M. BRUDIN
R.C.E. NO. 41836
DATE

APPROVED BY: MARCUS FULLER
R.C.E. NO. 57271
DATE

CITY OF PALM SPRINGS, CALIFORNIA
PRECISE GRADING PLAN for CLINE RESIDENCE
114 SAN MARCO WAY
IN SECTION 3, T4S, R4E, S.B.M.

FILE NO. E-4087
SHEET 1
DWG. NO. 1
OF 1 SHEETS

W.O.: 16-125

KEY NOTES

OWNER PROVIDED GENERAL CONTRACTOR
 INSTALLED (OPGC)

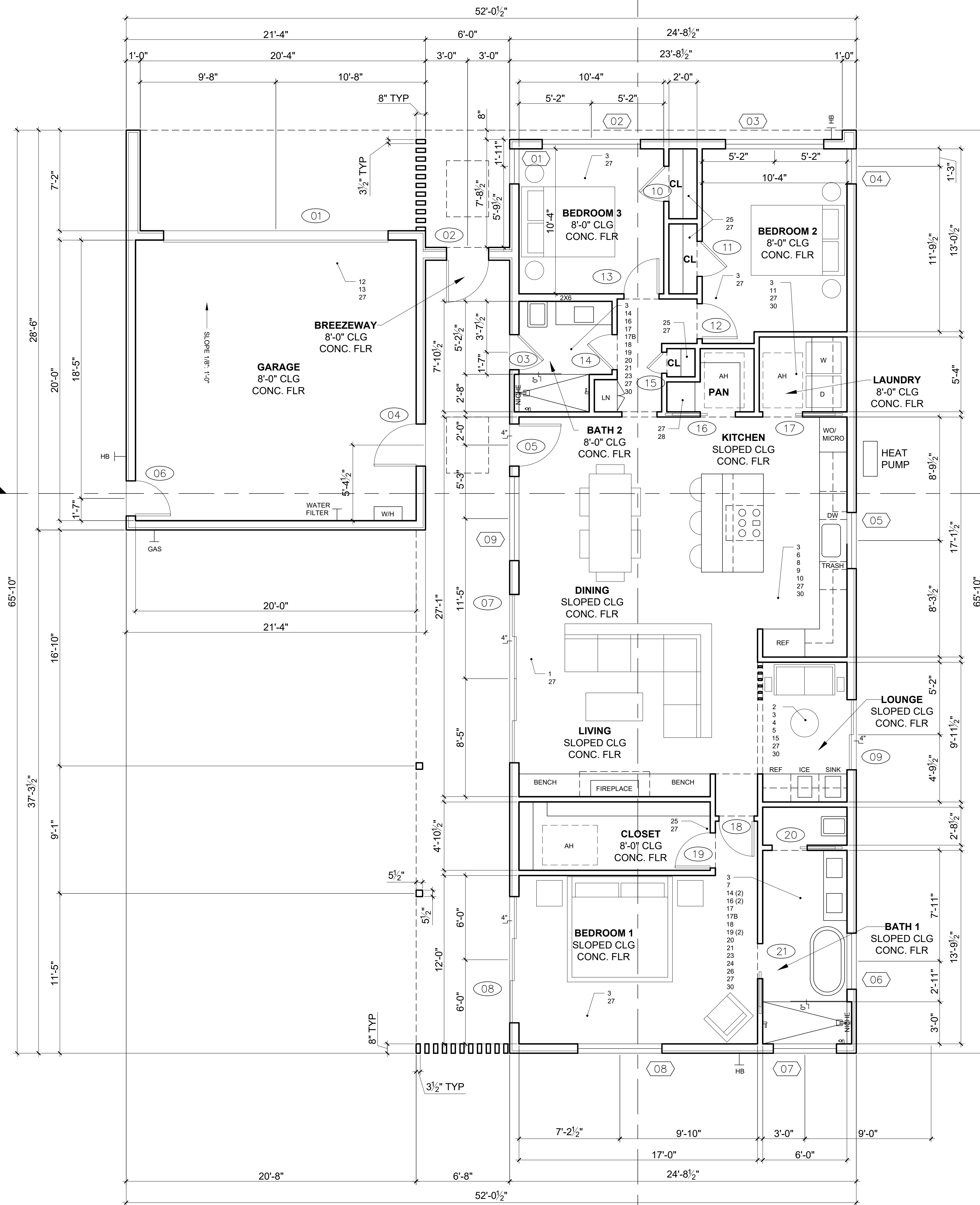
- 1 GAS FIREPLACE
- 2 DROP IN ICE CHEST
- 3 CABINETS
- 4 BAR SINK
- 5 U.C. REFRIGERATOR
- 6 KITCHEN APPLIANCES
- 7 BATHROOM VANITY
- 8 KITCHEN SINK
- 9 KITCHEN FAUCET
- 10 GARBAGE DISPOSAL
- 11 GAS WASHER/ DRYER OPGC
- 12 GAS TANKLESS WATER HEATER
- 13 WHOLE HOUSE WATER FILTER
- 14 BATHROOM SINK
- 15 WALL SLATS BY GC
- 16 SINK FAUCET
- 17 SHOWER HEAD HAND HELD
- 17B SHOWER HEAD
- 18 SHOWER MIXING VALVE
- 19 MIRROR
- 20 TOILET TANKLESS
- 21 TEMPERED SHOWER GLASS BY GC
- 22 FLOOR TILE
- 23 LINEAR TILED SHOWER DRAIN
- 24 BATHTUB
- 25 SHELF & ROD
- 26 FLOOR MOUNTED TUB FILLER
- 27 WHITE INTERIOR PAINT
- 28 ADJUSTABLE SHELVES
- 29 NA
- 30 QUARTZ COUNTER
- 31 NA

GENERAL NOTES

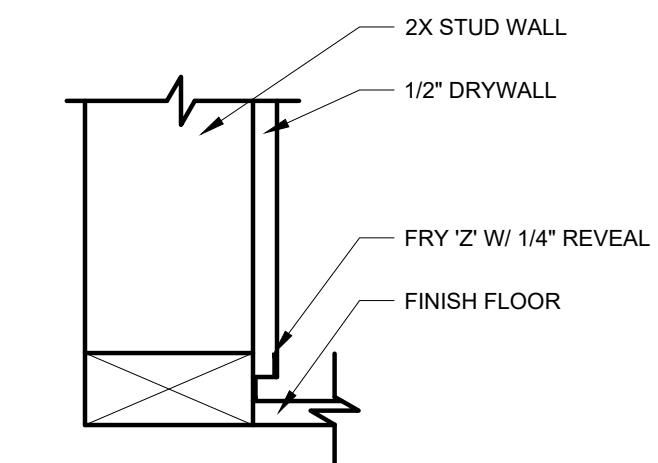
- ALL INTERIOR WALLS TO BE 1/2" DRYWALL SMOOTH LEVEL 5 FINISH, PRIME AND PAINT
- GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE (AT WALLS).
- ALL INTERIOR CEILINGS TO BE 5/8" DRYWALL, PRIME AND PAINT
- ANY DIMENSION DISCREPANCY TO BE COMMUNICATED TO THE DESIGNER.
- ALL WINDOWS AND DOORS TO MEET LOCAL BUILDING CODE REQUIREMENTS.
- ALL PRODUCTS TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- CONTRACTOR TO VERIFY DOOR & WINDOW ROUGH OPENINGS WITH WINDOW SUPPLIER PRIOR TO FRAMING.
- WINDOWS & DOORS MUST MEET MINIMUM EGRESS REQUIREMENTS.
- 1/2" CEMENT BACKERBOARD @ TILE LOCATIONS
- WINDOWS & DOORS TO HAVE DRYWALL RETURN
- NO BASEBOARDS DRYWALL TO EXTEND TO FIN FLR
- NO CROWN MOLDING
- EXTERIOR DOORS TO BE SELF CLOSING PER AV100.2
- APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS CRC SECTION R1003.9.2.
- 2X6 EXTERIOR WALLS 16" O.C.
- 2X4 (U.N.O) INTERIOR WALLS 16" O.C.
- FINISH SAMPLES TO BE PROVIDED TO OWNER FOR APPROVAL
- DOOR HINGE COLOR SATIN NICKEL
- ALL INTERIOR DOORS TO BE FLAT PANEL
- SHOWER HEADS TO BE 7'-0" A.F.F.
- SHOWER ENCLOSURES SHALL BE TEMPERED

PLUMBING NOTES

- SHOWERHEADS AND KITCHEN FAUCETS SHALL BE RATED AT 1.8 GPM OR LESS
- LAVATORY FAUCETS SHALL BE RATED AT 1.2 GPM OR LESS
- WATER CLOSETS SHALL NOT EXCEED 1.28 GPF
- METERING FAUCETS SHALL BE RATED AT 0.25 GALLONS PER CYCLE
- WHEN A SHOWER IS PROVIDED WITH MULTIPLE SHOWER HEADS, THE SUM OF THE FLOW TO ALL THE HEADS SHALL NOT EXCEED 1.8 GPM @ 80 PSI, OR THE SHOWER SHALL BE DESIGNED SO THAT ONLY ONE HEAD IS ON AT A TIME
- LAVATORY FAUCETS SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GPM AT 20 PSI



FLOOR PLAN
 Scale: 1/4" = 1'-0"



WALL BASE DET
 Scale: 3" = 1'-0"

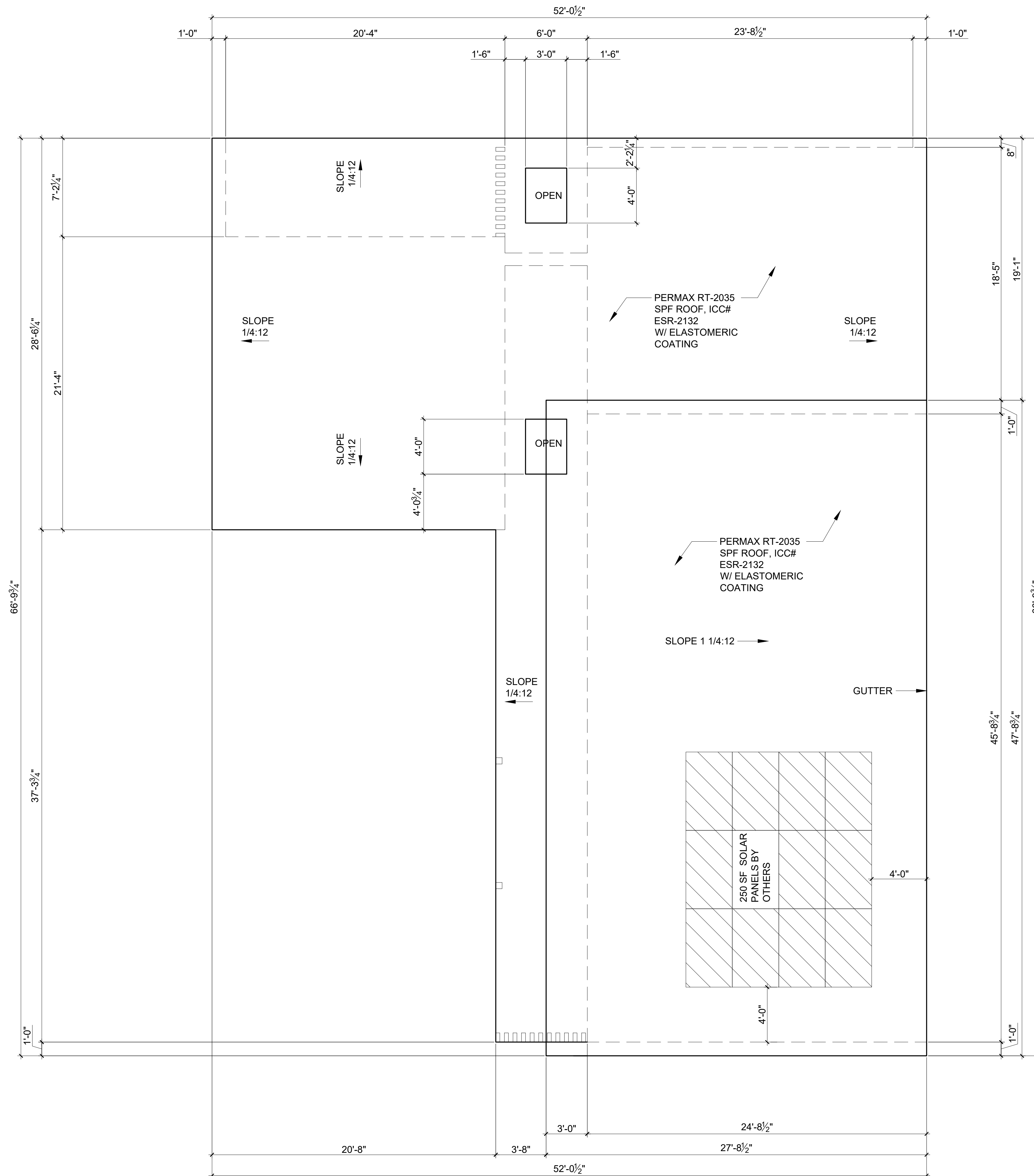
BERRY HORINE RESIDENCE
 105 W SAN MARCO WAY
 PALM SPRINGS, CA 92262

02-17-21
 FLOOR PLAN

A400

PREPARED BY
 PAUL MOSTOLLER

AMPARO
 PAUL MOSTOLLER
 310-595-5079
 AMPAROUSA.COM



NO ATTIC VENTILATION PER SECTIONS R806.5/EM3.9.6. THE INSULATION IS AIR-PERMEABLE AND IT IS INSTALLED DIRECTLY BELOW THE ROOF SHEATHING WITH RIGID BOARD OR SHEET INSULATION WITH A MINIMUM R-5 VALUE INSTALLED ABOVE THE ROOF SHEATHING.

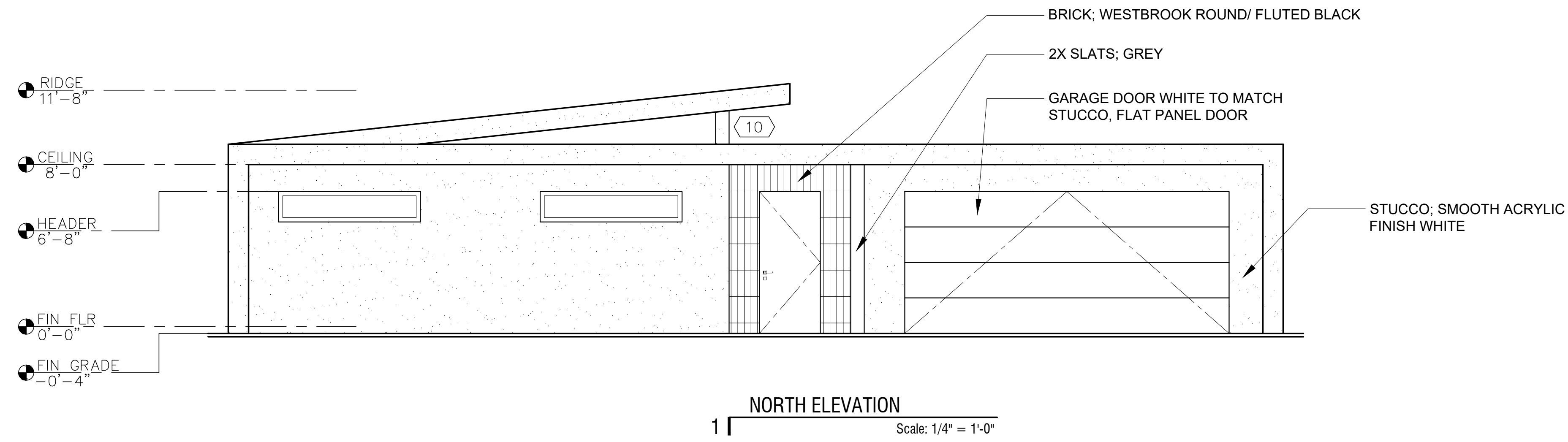
ALL VENTS & OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH 1/16" MINIMUM TO 1/4" MAXIMUM OPENINGS.

BERRY HORINE RESIDENCE
105 W SAN MARCO WAY
PALM SPRINGS, CA 92262

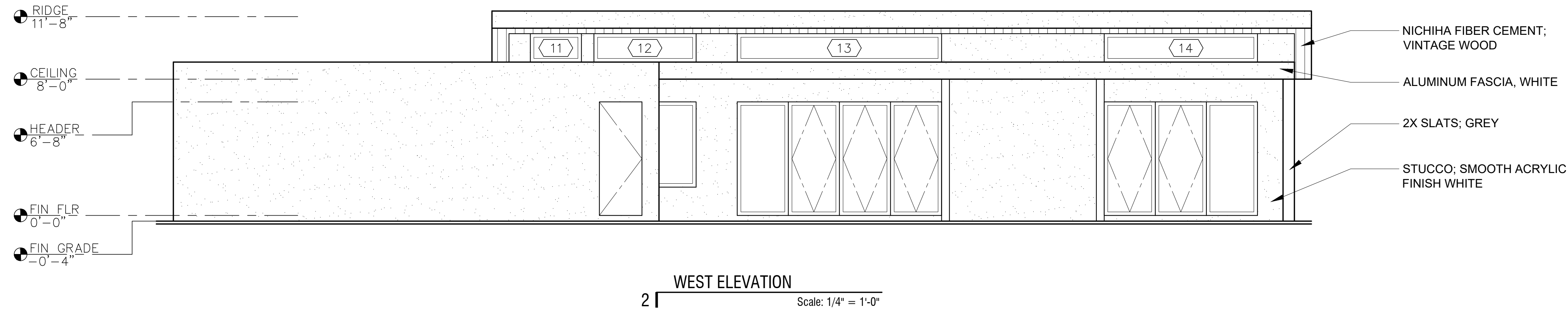
02-17-21

ROOF PLAN

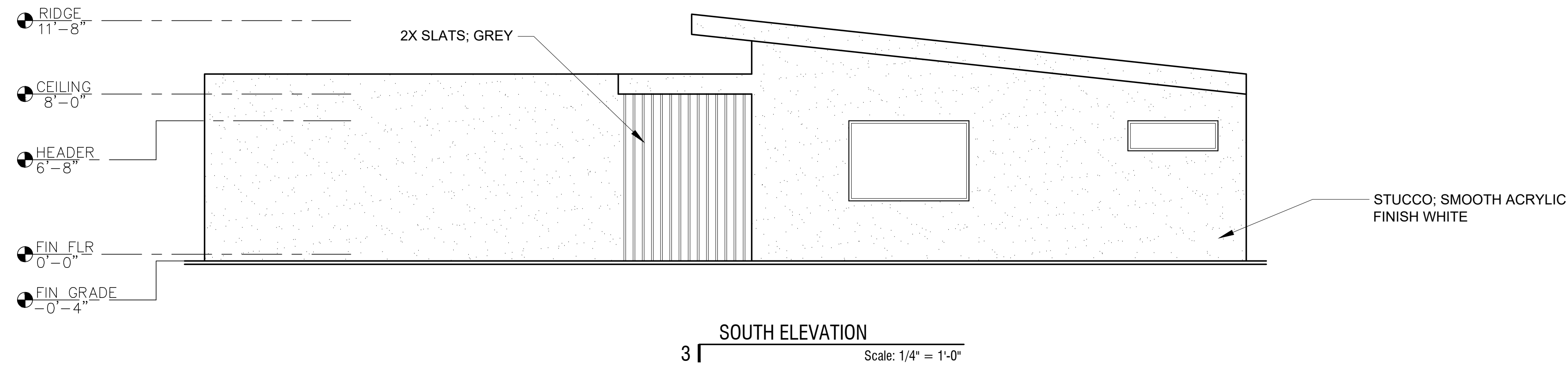
A500



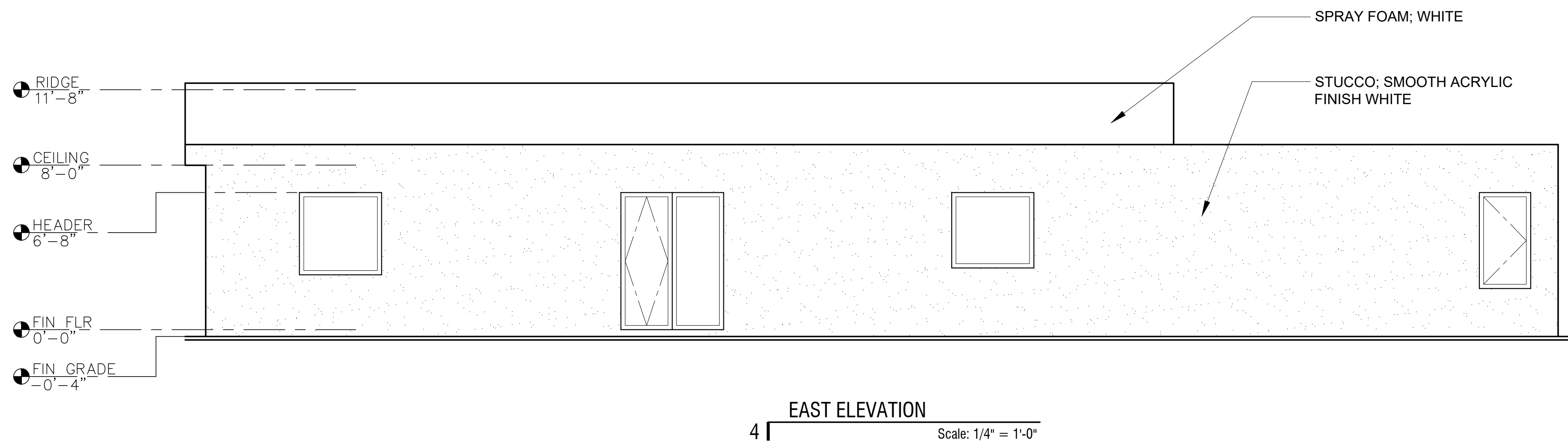
1 NORTH ELEVATION
Scale: 1/4" = 1'-0"



2 WEST ELEVATION
Scale: 1/4" = 1'-0"



3 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



4 EAST ELEVATION
Scale: 1/4" = 1'-0"

NOTES

- 1 ALL FLASHING, VENTS, STACKS AND PIPES TO BE PAINTED TO MATCH ADJACENT SURFACES
- 2 ALL VENTS AND OTHER OPENINGS TO BE COVERED WITH 1/4" MESH
- 3 ALL WINDOW HEADERS AND SILLS TO BE SLOPED FOR DRAINAGE

BERRY HORINE RESIDENCE
105 W SAN MARCO WAY
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02-17-21

EXTERIOR
ELEVATIONS

A600



1 | ELEVATION NORTH EAST
Scale: NTS



2 | ELEVATION NORTH WEST
Scale: NTS



3 | ELEVATION SOUTH WEST
Scale: NTS



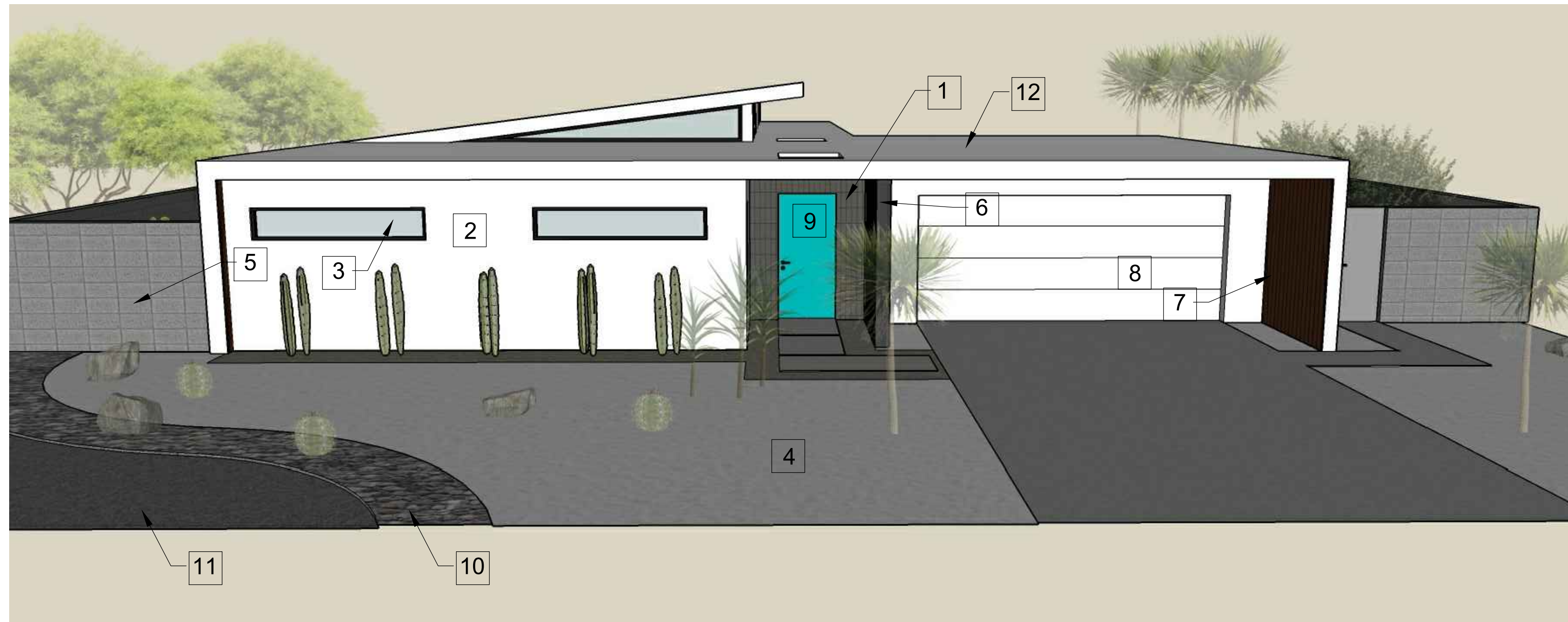
4 | ELEVATION SOUTH EAST
Scale: NTS

BERRY HORINE RESIDENCE
105 W SAN MARCO WAY
PALM SPRINGS, CA 92262

02-17-21

ELEVATIONS
PERSPECTIVE

A601



1 BRICK - FLUTED WESTBROOK 308 BLACK



2 STUCCO SMOOTH LA HABRA DOVE GREY

AMPARO

PAUL MOSTOLLER
310-595-5079
AMPAROUSA.COM

BERRY HORINE RESIDENCE

105 W SAN MARCO WAY
PALM SPRINGS, CA 92262

02-17-21

COLORS &
MATERIALS

A602



3 WINDOW MILGARD BLACK ALUMINUM



4 LANDSCAPE WHITE ICE ROCK



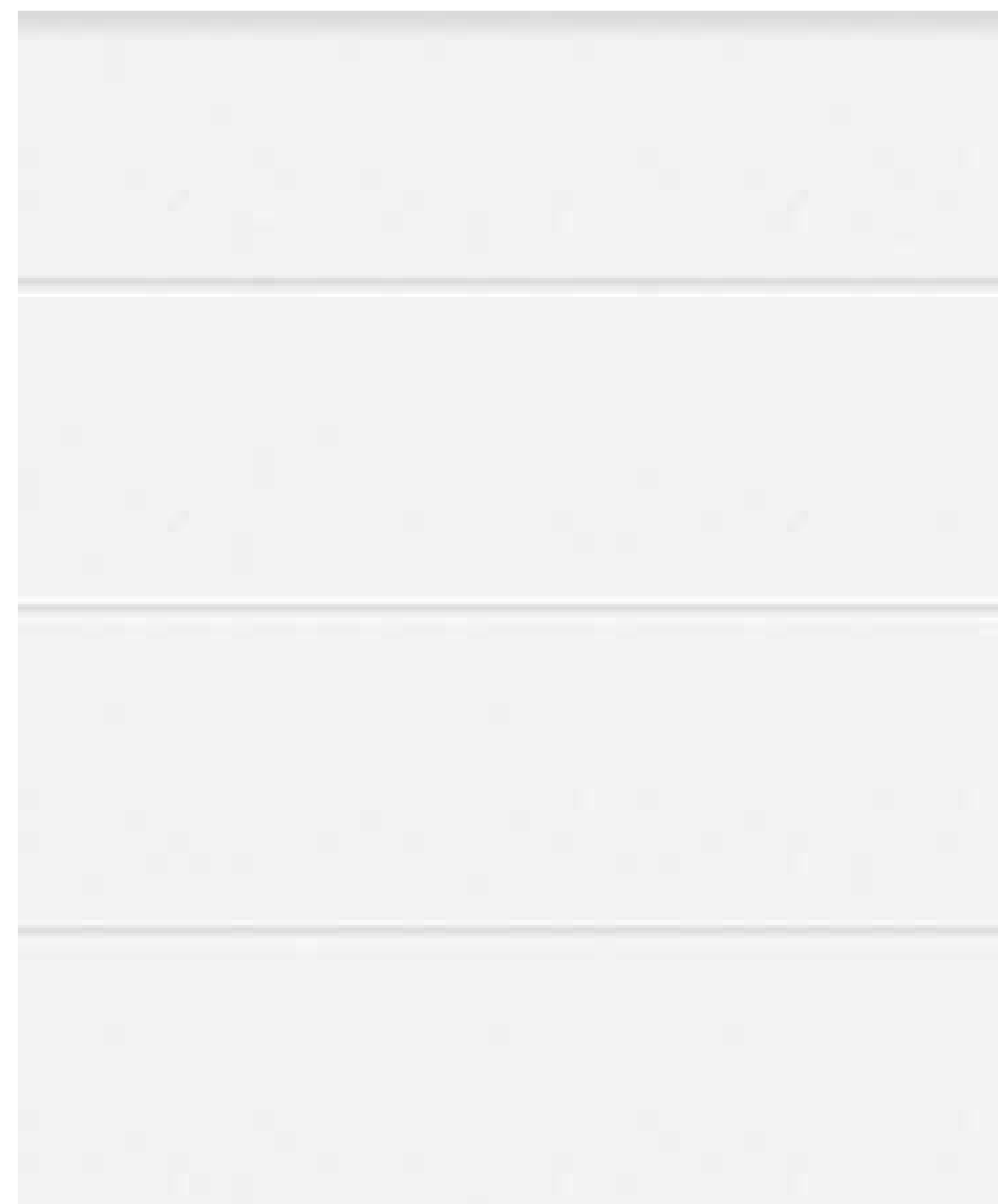
5 SITE WALL STACKED CMU BLOCK



6 WOOD SLATS SW 7076 CYBERSPACE



7 FIBRE CEMENT NICHIIHA REDWOOD



8 GARAGE DR WHITE TO MATCH STUCCO



9 FRONT DOOR SW 6950 CALYPSO



10 LANDSCAPE RIVER ROCK



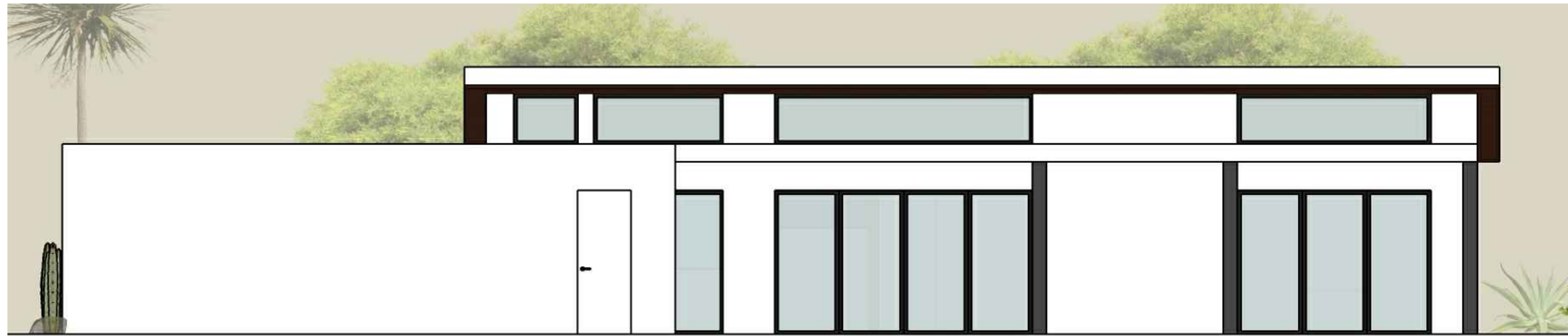
11 LANDSCAPE DG GRAY



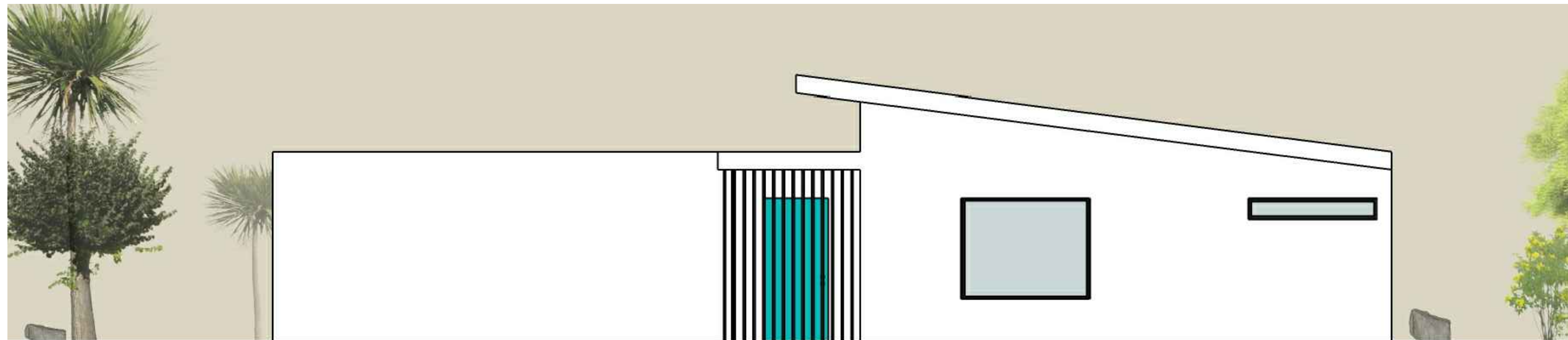
12 ROOF SPRAY FOAM WHITE



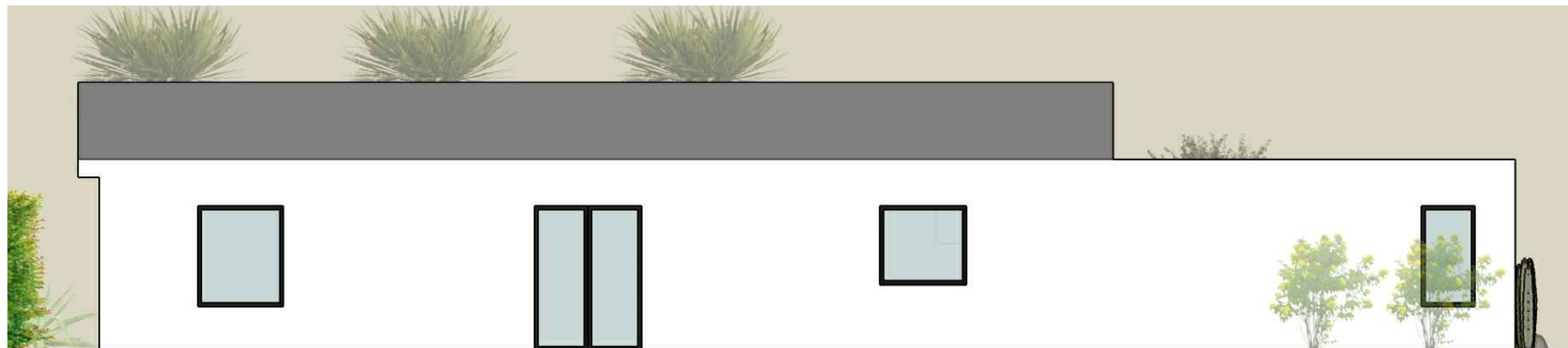
1 | FRONT ELEVATION NORTH
Scale: NTS



2 | SIDE ELEVATION WEST
Scale: NTS



3 | BACK ELEVATION SOUTH
Scale: NTS



4 | SIDE ELEVATION EAST
Scale: NTS

BERRY HORINE RESIDENCE
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02-17-21

ELEVATIONS
COLOR

A603