



ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: AUGUST 30, 2021 NEW BUSINESS

SUBJECT: REQUEST BY CARLO PARENTE ARCHITECTURE, INC., ON BEHALF OF BOB FAUST, FOR A MAJOR ARCHITECTURAL APPLICATION TO CONSTRUCT A 1,025-SQUARE-FOOT SINGLE-FAMILY RESIDENCE WITH THE MAXIMUM BUILDING HEIGHT OF 17.3 FEET ON A 5,755-SQUARE-FOOT HILLSIDE PARCEL LOCATED AT 2265 RIM ROAD (APN: 510-223-016), ZONE R-1-B, SECTION 25 (CASE 3.4274 MAJ & CASE 7.1637 AMM). (NK)

FROM: Development Services Department – Planning Division

PROJECT DESCRIPTION:

This is a request for approval of an Architectural Review Application for the construction of a 1,025-square-foot single-family residence with the maximum building height of 17.3 feet on a 5,755-square-foot undeveloped hillside lot. In conjunction with this application, the applicant has submitted an Administrative Minor Modification (AMM) application for a 10-foot front yard setback, the maximum building height of 17.3 feet, and the lot coverage of 41.8% in accordance with Palm Springs Zoning Code Sections 94.06.01(A)(5) and 94.06.01(A)(10). The project site is substandard in lot size and dimension requirements of the R-1-B Zone.

ISSUES:

1. The application of Brimstone gravel along the west property line does not allow smooth visual transition to the adjacent landscape.
2. The proposed steps project into the required north side yard setback by 26 inches.
3. The proposed 6-foot fence in the front north side yard does not meet the minimum setback requirement of 15 feet.
4. The proposed project requires AMM approval for the 10-foot front yard setback, 17.3-foot building height, and the lot coverage of 41.8%.

RECOMMENDATION:

That the Architectural Review Committee recommend approval to the Planning Commission subject to the following conditions:

1. Omit the Brimstone gravel along the west property line and retain the existing natural landscape for smoother visual transition to the adjacent landscape.
2. Omit the steps in the north side yard from the plan or obtain Variance approval. As an alternative, consider installing a gate on Rim Road to provide access to the equipment instead of the steps for maintenance purposes.
3. Push back the proposed fence in the front north side yard by 1.5 feet.

BACKGROUND INFORMATION:

<i>Related Relevant City Actions</i>	
10/12/2005	Planning Commission approved Cases 3.2735 and 6.484 VAR for the construction of a 1,447-SQ. FT. single-family residence with reduced yard setbacks and dwelling size.

<i>Neighborhood Meeting/Neighborhood Notice</i>	
07/07/21	Notice mailed by staff to adjacent property owners notifying that the subject application had been filed with the Planning Division, in accordance with 93.13.00 of the Zoning Code. In response, the Planning Division has received one response letter as this report is being prepared (Attachment #6).
08/17/21	Notice mailed by staff to adjacent property owners notifying that the subject project would be reviewed by the Architectural Review Committee on August 30, 2021.
08/26/21	The surrounding neighborhood organizations within a mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on August 30, 2021.

STAFF ANALYSIS:

<i>Site Area</i>	
Net Acres	0.13 Acre (5,755 SQ. FT.)

<i>General Plan and Zoning Designations</i>		
<i>General Plan Designation</i>	<i>Permitted Density</i>	<i>Compliance</i>
Estate Residential (ER)	0 – 2.0 DU/AC	Y
<i>Zoning Designation</i>		
R-1-B		

Development Standards:

Pursuant to PSZC Section 92.01.03, the following development standards apply:

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks			

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
<ul style="list-style-type: none"> • Front (east) • Side (south) • Side (north) • Rear (west) 	<p>25 Feet</p> <p>10 Feet</p> <p>10 Feet</p> <p>15 Feet</p>	<p>10 Feet</p> <p>25 Feet</p> <p>10 Feet</p> <p>15 Feet</p>	<p>Yes, with AMM approval</p> <p>Y</p> <p>Y</p> <p>Y</p>
Architectural Projection (Steps)	Max. 40 Inches	66 Inches	N
Max. Lot Coverage	35 %	41.8 %*	Yes, with AMM approval
Max. Building Height	12 ~ 18 Feet; Max. 12 at setback	17.3 Feet at north side yard setback	Yes, with AMM approval
Building Separation	6 Feet	N/A	N/A
Perimeter Wall Height <ul style="list-style-type: none"> • North • South • East • West 	<p>Max. 4.5 ~ 6 Feet</p> <p>Max. 4.5 ~ 6 Feet</p> <p>Max. 4.5 ~ 6 Feet</p> <p>Max. 6 Feet</p>	<p>6 Feet</p> <p>6 Feet</p> <p>6 Feet</p> <p>6 Feet</p>	<p>Y</p> <p>Y</p> <p>N**</p> <p>Y</p>
Parking	2 spaces (covered)	2 spaces	Y

*Calculations include the covered deck area.

**6-foot-high fence on Rim Road (north side yard) requires a 15-foot-minimum setback while the proposed setback is 13.5 feet.

Hillside Review Criteria:

PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
1.	<p><i>Rock and soil exposure;</i></p> <p>The project site is currently undeveloped. There are multiple exposed boulders in varying sizes; however, this condition appears to be very similar to other undeveloped hillside lots in the City; there is no rock or soil exposure that is particularly unique to the site. The project proposes to retain and utilize the existing boulders as a part of the landscape design.</p>	Y
2.	<p><i>Size of building pad;</i></p> <p>The proposed residence consists of 1,025 sq. ft. of living space, 594-sq. ft. carport, and a 788-sq. ft. deck on a 5,755-sq-ft lot. The proposed building pad is mainly located where the proposed residence and carport are located, which is approximately 28% of the lot.</p>	Y

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
3.	<p><i>Design considerations, such as supporting stilts, colors and building arrangement;</i></p> <p>The project proposes deep footing over slope area to minimize development impact. The structural supports will not be visible from public view. The placement of the residence generally follows the site's topography.</p>	Y
4.	<p><i>Screening of parking areas;</i></p> <p>The street-facing (east) elevation of the proposed residence will be constructed of board formed concrete, which will extend to the parking area. The vehicles will be parked on the interior side of the board formed concrete wall, and the Corten steel gate/wall along the south (access road) and a portion of the west (rear) elevations will screen the view of the parking area from public view.</p>	Y
5.	<p><i>Landscaping plans;</i></p> <p>The project proposes the installation of drought-tolerant plant materials in limited areas for accent. The existing hillside landscape and boulders will be retained in most of the open areas. The application of Brimstone gravel along the west property line defines the hillside property boundary too acutely.</p>	N
6.	<p><i>Continuity with surrounding development;</i></p> <p>The project proposes a 1,025-square-foot residence. The size of the residences immediately adjacent to the site ranges from 1,300 SQ. FT. to 3,772 SQ. FT. The proposed residence is smaller than other existing residences, and it is compatible with other residences in the neighborhood. The project will not disrupt the development pattern of the site's vicinity.</p>	Y
7.	<p><i>Sensitivity to existing view corridors.</i></p> <p>The site's topography slopes down from its southeast corner to northwest corner with the elevation difference of 13 feet. Sharp mountainous terrain expands on the opposite side of Rim Road, and the proposed residence will not line up with the existing residences to the south (2255 & 2275 Rim Road). The existing A-framed two-story residence to the north (2233 Rim Road) is located along the north side of the lot. The proposed residence generally retains the building height of 11.5 feet, and there will be sufficient separation distance provided from the adjacent properties.</p>	Y

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<p><i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i></p>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The project proposes architectural treatment that is consistent on all four sides as exemplified by the expansive glazing area with black anodized aluminum framing system and the use of board formed concrete wall on the east and west elevations of the residence.	
2.	<i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i>	N/A
	Accessory structure is not being proposed as a part of this project.	
3.	<i>The façade elements and fenestration are composed in a harmonious manner;</i>	Y
	The project proposes harmonious façade elements and fenestration as exemplified by the treatment of the east elevation. The board formed concrete wall is topped with recessed clerestory windows to reduce the heavy and bulky appearance of the concrete wall. The grid of black anodized aluminum window panel frame adds a sense of scale.	
4.	<i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i>	Y
	The proposed materials are commonly observed construction materials in the City. The simplistic material palette and its application complement the mountainous terrain across the street on Rim Road and nearby existing buildings.	
5.	<i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i>	Y
	The proposed color palette consists of desert-neutral colors such as black, brown, and light gray, which are contextually appropriate for the site and its surroundings.	
6.	<i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i>	Y
	The proposed design incorporates a prominent roof overhang for shade and comfort for the outdoor living space. Clerestory windows are proposed on the south elevation for minimized sun exposure.	
7.	<i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i>	Y
	The proposed plant palette consists of plant materials that are included in the Lush and Efficient Landscape Guidelines. No turf is proposed for the project.	
8.	<i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	See #7 above.	
9.	<i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i> The proposed design incorporates a prominent roof overhang over the parking area, which is adequate to provide shading for the path of travel for the future residents.	Y
10.	<i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i> The project proposes the installation of two wall-mounted light fixtures by the entrance door and gate. The fixtures are fully shielded and meet the requirement of PSZC Section 93.21.00(A).	Y
11.	<i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i> Signage is not proposed for this project.	N/A
12.	<i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i> The project proposes screening of the pool equipment which will be installed below the deck on the north side of the property. The equipment will be screened by the proposed stepped fence from the view of the adjacent property to the north.	Y
13.	<i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i> The project site is located neither within a Specific Plan Area nor a Planned Development District.	N/A

PUBLIC COMMENTS:

As of August 16, 2021, the Planning Division has received one (1) letter, which is attached to this report (Attachment #6). The letter notes concerns pertaining to the project impact on the surrounding properties during the construction phase and the impact of the proposed fence/wall along the west property line on the natural path of runoff flow, in addition to site access. The applicant has submitted a letter which responds to the concerns mentioned in the public comments (Attachment #7).

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the

California Environmental Quality Act (“CEQA”), and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Single-Family Residence).

CONCLUSION:

The application proposes a project that generally conforms to the applicable development standards, hillside review criteria, and architectural criteria and findings. Although there are a few features which do not fully conform to the development standards (e.g. fence height, projection of steps into the north side yard), staff finds that these are very minor issues which can be easily corrected and do not affect the nature or design of the overall project. As for design element, staff recommends the proposed Bimstone gravel along the west property line to be omitted to achieve smoother visual transition to the adjacent hillside landscape. Considering these findings, staff recommends the Architectural Review Committee recommend approval of the project to the Planning Commission subject to the conditions recommended by staff.

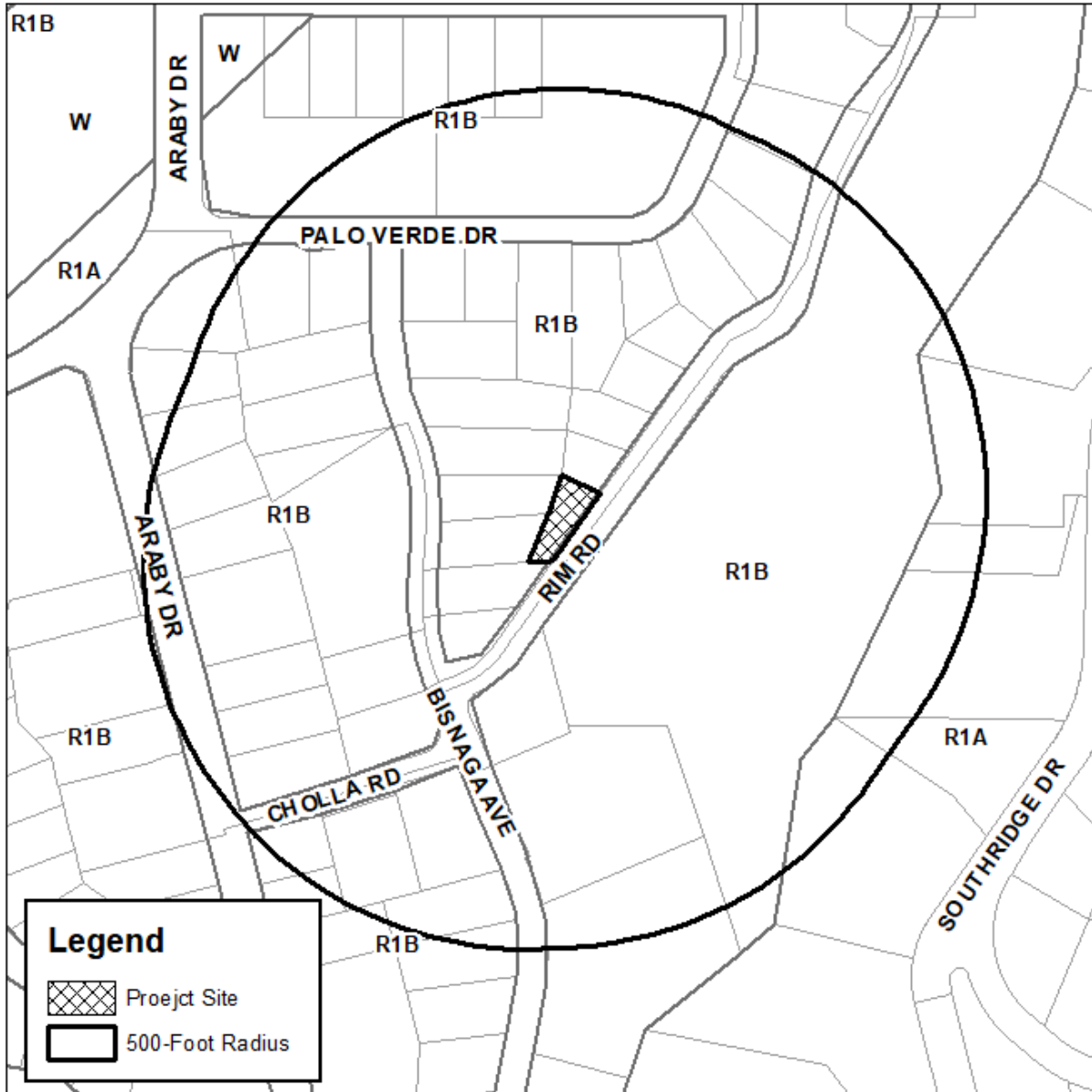
PREPARED BY:	Noriko Kikuchi, Associate Planner
REVIEWED BY:	Flinn Fagg, AICP, Development Services Director

ATTACHMENTS:

1. Vicinity Map
2. Aerial View
3. Site photographs
4. Justification Letter
5. Light fixture specifications
6. Public comments
7. Applicant’s response to public comments
8. Plans



Department of Planning Services Vicinity Map

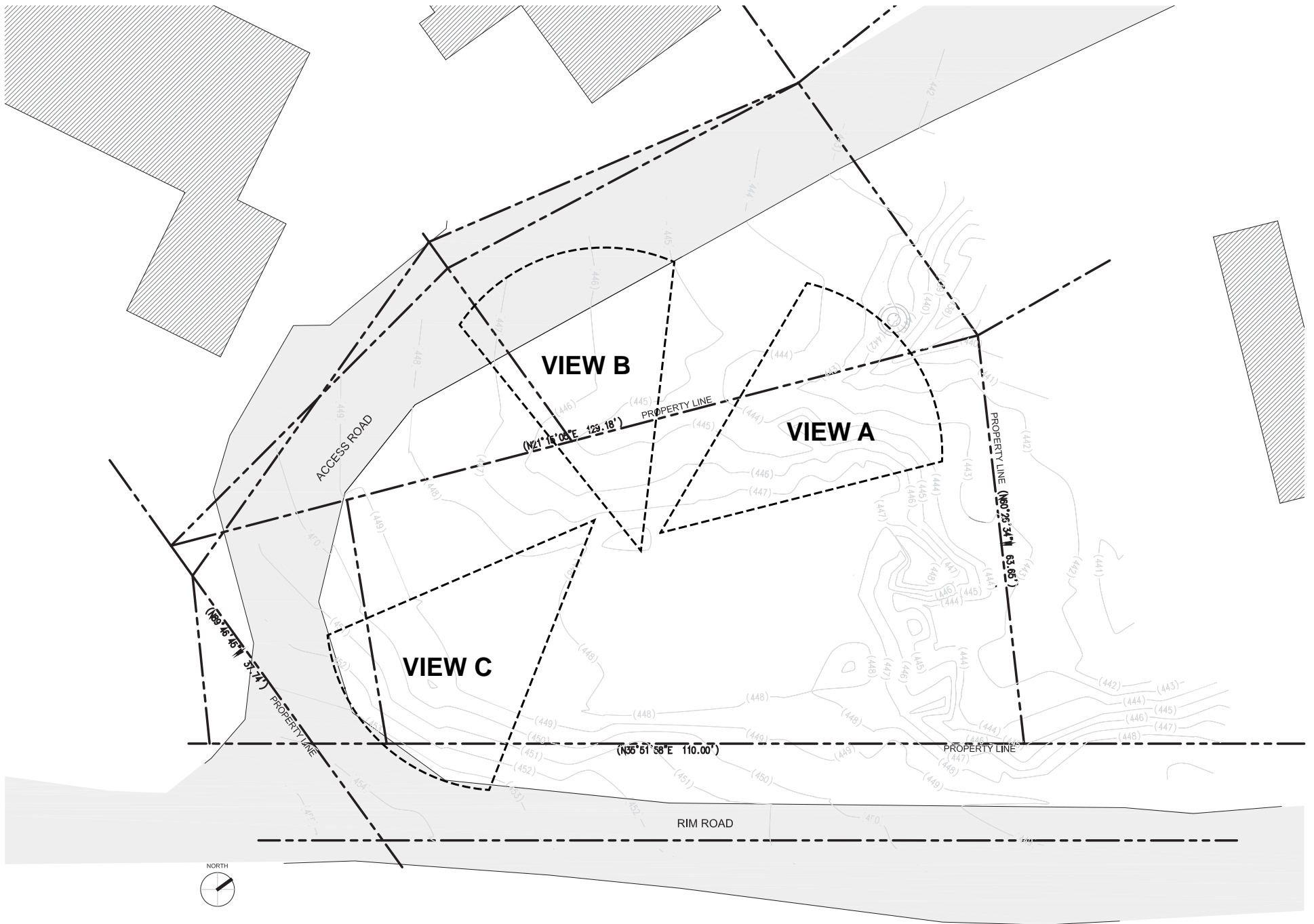


CITY OF PALM SPRINGS

Case 3.4274 MAJ & Case 7.1637 AMM
2265 Rim Road
Faust Residence
(APN: 510-223-016)



Project Site 



6:30 AM



VIEW A



VIEW B



VIEW C

8:00 AM



VIEW A



VIEW B



VIEW C

PHOTOGRAPHS TAKEN ON
FEBRUARY 16, 2021

Carlo Parente Architecture Inc.

SITE PHOTOGRAPHS

LOT 18 RIM ROAD

319 - 493 - 3419
www.carloparente.com

JUNE 21, 2021

9:30 AM



VIEW A



VIEW B



VIEW C

1:00 PM



VIEW A



VIEW B



VIEW C

PHOTOGRAPHS TAKEN ON
FEBRUARY 16, 2021

Carlo Parente Architecture Inc.

SITE PHOTOGRAPHS

LOT 18 RIM ROAD

319 - 493 - 3419
www.carloparente.com

JUNE 21, 2021

2:00 PM



VIEW A



VIEW B



VIEW C

5:30 PM



VIEW A



VIEW B



VIEW C

PHOTOGRAPHS TAKEN ON
FEBRUARY 16, 2021

Carlo Parente Architecture Inc.

SITE PHOTOGRAPHS

LOT 18 RIM ROAD

319 - 493 - 3419
www.carloparente.com

JUNE 21, 2021

August 9th, 2021

City of Palm Springs
Department of Planning Services
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Re: Major Architectural Application/Administrative Minor Modifications Justification Letter

Dear City of Palm Springs Planning Department:

This letter provides the background, project description and justification for 2265 Rim Road, a new single-family residence known as RoCliff, proposed for Lot 18, Block B, Araby Tract.

PROJECT DESCRIPTION *Written by Bob Faust, Owner/client & Carlo Parente, Architect*

At its core and as a driving tenant, RoCliff aims to become the newest (and likely the smallest) significant contribution to Palm Springs' deep history of architectural excellence and modernist-driven innovation. This proposed project consists of a new, 12-foot high, single-story single-family residence. The residence will have a habitable area of 1025 square feet and will be constructed on 0.1 acres (5755 square feet) at 2265 Rim Road. Sited in the shadow of the historic Southridge homes with expansive views across the valley to the iconic wind turbines, RoCliff will consist of:

- a cantilevered roof reflective of its quadrilateral site
- a minimal yet monumental architecturally-formed concrete wall to house all of the home's services and storage
- an operable wrap-around glazed wall to celebrate – and simultaneously keep at bay – the awesomeness of Mother Nature.

Named in celebration of the owner's parents, Rochelle and Cliff Faust, RoCliff will be a home/studio for acclaimed artists Bob Faust and Nick Cave. You can learn more about Faust and Cave in this profile in New City (<https://design.newcity.com/2020/02/26/designers-of-the-moment-2020-bob-faust-and-nick-cave/>), this article in the New York Times (<https://www.nytimes.com/2018/11/01/arts/design/nick-cave-chicago.html>), and this SoHo House piece (<https://www.sohohouse.com/en-us/projects/digital-events/art-and-design/performance-art-and-activism-nick-cave-bob-faust>).

Faust and Cave live and work out of their studio/home in Chicago called Facility, also designed by architect Carlo Parente. (Please see more about Facility in Dwell Magazine: <https://www.dwell.com/article/facility-nick-cave-bob-faust-carlo-parente-architecture-1c0a9f3b>.) Facility's design was driven by its function and the artists' organic way of living and working with art; these factors will shape the design of RoCliff as well. Where it will differ is in every other way. RoCliff will be designed and built from the ground up, but humble in scale and in all requirements. Most importantly, it will be unapologetically authentic to its site, its materials, and its owners.

RoCliff was inspired by Frey House II and all design decisions have been shaped by the following prompts by the artists/owners:

- A studio we can live in as our home
- No applied surfaces, just materials and architecture
- Consider the house as a roommate—not every need of ours must be met...sometimes we need to compromise to it
- Create a new Palm Springs icon that respects its context
- Designed to encourage us to live in an equal, but opposite way to Chicago

- North/West view is primary. South/East view is secondary. Must have view to East mountain rocks.
- Do not get caught up in the idea of luxury. Guide design by humility and design excellence.
- Final project should be as intelligently built as designed and push all parties to make their best work.

MAJOR ARCHITECTURAL (MAJ) JUSTIFICATION

The design of RoCliff was shaped by the prompts listed above, along with an intent to knit the architecture with its surroundings and context. The design reflects a scale appropriate to the site, a humble program, and the use of materials that blend with the home's context. The site is smaller than surrounding sites and has an irregular quadrilateral shape. These characteristics complicate the accommodation of the house program as well as the exterior requirements of an enclosed carport for two vehicles. The proposed design rationalizes those requirements and, at the same time, allows for an environmentally-attuned siting that leverages views, daylight, and solar absorption for the generation of energy. The tectonics of the structure allow for self-shading through an extended canopied roof. The operable west façade permits an inside-outside relationship and natural ventilation when the season and weather are suitable. The siting also allows the home to sit on the land gently, altering the existing geology only minimally where necessary for water management in order not to burden the city's water infrastructure.

In consultation with planning officials, local requirements such as a covered carport have been seamlessly integrated into the architecture, maintaining an unobtrusive, low-profile architecture that blends with the surroundings. Since Rim Road is elevated approximately three to four feet from the proposed front setback, the 12-foot high (from grade) east elevation of the home is perceived as much lower, allowing the house and integrated carport to have much less visual impact on the landscape and surrounding homes.

The landscaping plan – which emphasizes native plants – aims to further unify the property with its built and natural surroundings, creating an indoor/outdoor living environment that celebrates the existing context. A lap pool will be tucked at the edge of the roof canopy. Plantings, including groundcover, hedges, flowering plants, cacti, and an olive tree, will create a harmonious, integrated landscape that brings together the inside and outside. The landscaping will help create transitions between the architecture, the street and access road, and the terrain of the surrounding area. It will provide screening and privacy between RoCliff, the street, and neighboring houses while simultaneously mitigating erosion and creating a holistic architecture that blends with the surroundings.

ADMINISTRATIVE MINOR MODIFICATIONS (AMM) JUSTIFICATION

We are seeking two Administrative Minor Modifications:

1. A 10-foot front yard setback
2. Increase in the lot coverage to 42%
3. Increase in allowable height to 17'-3"

We seek the above modifications in order to relieve the challenges of an atypical site that is smaller than the surrounding sites, irregularly shaped and sloping. These attributes make it challenging to maintain existing requirements even for a 1025-square foot residence.

As noted in our application, the constrained nature of the site requires the building to be pushed further north/east in order to provide the requisite habitable space. Note that the proposed residence is consistent with the General Plan and the proposed setback aligns with that of many neighboring properties. As noted in the MAJ Justification above, due to the sloping topography of the hillside property, the grade difference between Rim Road means that a reduced setback and increase in maximum height of the structure will not make the house more prominent. The house will only project approximately 8 feet above Rim Road proper, creating a low-profile architecture that blends seamlessly into the existing landscape and has no adverse effect on neighboring properties.

Carlo Parente Architecture Inc.

The requested increase in lot coverage would compensate for the inclusion of the carport canopy in the coverage calculation as it is attached to the main house. The connected carport was necessary due to the small lot dimensions, irregular shape of the site, and the existing access road right-of-way that provides entry to neighboring properties. The carport's light, open design means that the minimal coverage increase will have very little visual impact. The carport is open on two sides, which (in combination with the materiality of architecture, hard and soft landscape surfaces, and the native landscaping) will lend the build form a light presence and will blend with the surrounding landscape.

The enclosed drawings and diagrams illustrate a project that we believe is consistent with the City of Palm Springs' MAJ and AMM intent and one that we hope will add to the rich architectural heritage and diversity of the area. We look forward to your response and welcome any questions.

Sincerely,

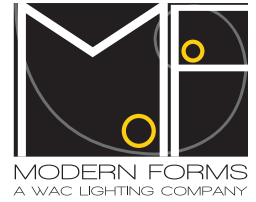
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Carlo Parente, AIA, OAA, MRAIC, NCARB

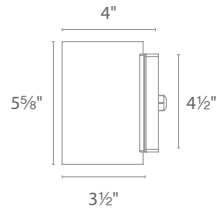
Carlo Parente Architecture Inc.
312-493-3419
carlo@carloparente.com

VESSEL- model: WS-W91

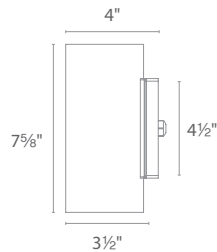
LED Outdoor



Dark Sky Friendly
WS-W9101



Up & Down
WS-W9102



Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

Precise engineering using the latest energy efficient LED technology with a built-in reflector for superior optics; An appealing cylindrical profile perfect for accent and wall wash lighting.

FEATURES

- Universal driver (120V-220V-277V)
- **Color Temp: 3000K** 2700K and 4000K available special order
- **CRI: 90**

SPECIFICATIONS

Construction: Die cast aluminium construction with silk-screened glass


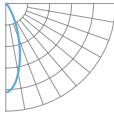
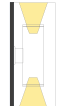
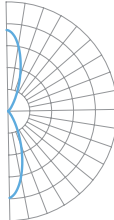
Light Source: High output LED.

Dimming: Dims to 10% with an electronic low voltage (ELV) dimmer.

Mounting: Mounts directly to junction box.

Finish: Brushed Aluminum (AL), Black (BK), Bronze (BZ), Graphite (GH), White (WT)

Standards: ETL & cETL Wet location listed. IP-66 rated, ADA compliant.

Type	Model	Wattage	LED Lumens	Delivered Lumens	Rated Life	Photometric	Finish
 Dark Sky Friendly	WS-W9101	16.5W	1167	860	60,000 hr		AL Brushed Aluminum BK Black BZ Bronze GH Graphite WT White
 Up & Down Light	WS-W9102	29W	2334	1613	60,000 hr		

Example: **WS-W9101-AL**

For 2700K add "-27"; 4000K add "-40" before the finish: **WS-W9202-27-WT**

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Lithia Springs, GA 30122

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1750 Archibald Avenue
Ontario, CA 91760

Daniel E. Fast & Thomas E. O'Brien
2245 Rim Road
Palm Springs CA 92264-4931
310-650-0246 (DEF), 310-729-1931 (TEO)
DanEFast@aol.com, TomEOBrien@aol.com

July 16, 2021

Noriko Kikuchi, Associate Planner
Development Services Department, Planning Division
3200 E Tahquitz Canyon Way
Palm Springs CA 92262
Noriko.kikuchi@palmspringsca.gov, 7760-323-8245 x8755

Re: Proposed New Hillside Single Family Residence
2265 Rim Road, Palm Springs CA 92264
APN 510-223-016

To whom it may concern:

We live adjacent to the project referenced above, which abuts our property (APN 510-223-028) to the east (approximately). We have no specific objection or concern as to the scope, size, elevation or design of this project. We do have concerns about placement and access.

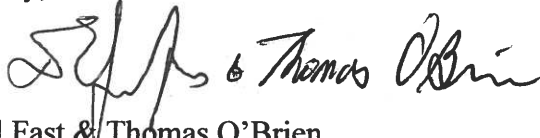
1. The property line, labelled [N 21 degrees15'06", E129.18'] on the submitted drawing, runs down the middle of an "arroyo"/wash/natural hillside drainage, as well as through native desert shrubbery. There is a fence proposed along this line. Please ensure that nothing is done to impede or divert the natural flow of rain-water during winter storms, such that water or debris is diverted from its natural course or onto our property.
2. There is to be no access through or across our property during any phase of development, planning or execution. 2220 – 2255 Rim Road is a Private Road, an easement co-owned by 5 parties. The owners, developers and contractors and/or workers must stay on the site or public roads. There shall be no debris left at the property line. Any construction of a fence at the property line shall be performed from the side of the project and may not intrude onto our property.

We request that any deviation from these requests be submitted to us in writing or by email at least 48 (forty-eight) hours before such deviation and be specifically agreed to by one or both us (DEF or TEO) in writing or by email.

We look forward to your feedback on these issues. Whom would we contact during construction of the issues raised above (or others) should arise? Are there specific legal rights or remedies available to us?

Thank you for your consideration.

Cordially,

A handwritten signature in black ink, appearing to read "Daniel Fast & Thomas O'Brien". The signature is written in a cursive, flowing style.

Daniel Fast & Thomas O'Brien
2245 Rim Rd
Palm Springs CA 92264

cc: Paul Linder & Sharon Chandler, 2220 Rim Road
David Levine & Linda Ragin, 2235 Rim Road
Shawn Farnsworth, 2249 Rim Road
Mark & Lois Mitchel, 2255 Rim Road
Christopher Taha, 2275 Rim Road

Carlo Parente Architecture Inc.

August 16th, 2021

Noriko Kikuchi, Associate Planner
City of Palm Springs
Development Services Department – Planning Division
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Re: Case 3.4274 MAA Public Comments Letter

Dear Noriko Kikuchi:

We have reviewed the letter from Dan Fast and Tom O'Brian and appreciate that they have no specific objections or concerns as to the scope, size, elevation and design of the project—We've worked carefully with the owner and the city to produce a project that we strongly believe is in keeping with the intent of the City of Palm Springs planning objectives to produce an architecture that will not only be a welcome addition to Southridge/Araby Cove, but also a good and conscientious neighbor. We acknowledge the neighbors' concerns and offer the following clarifications referencing their itemized comments that will hopefully address all concerns:

1. We are aware of the existing natural drainage along the property line labeled [N21 degrees15'06", E129.18'] and the intent is to maintain this area as a drainage area. The proposed slight re-grading at the fence is to accommodate the redirection of the water along the south end of the lap pool allowing for the existing swale and drainage patterns to remain.
2. For the duration of the project, we will coordinate with the contractors and ensure that access is limited to public roads and that all construction stays within the constraints of the owner's property. We do note that a portion of the access road is part and parcel of the owner's property (Lot 18, Block B Araby Tract MB13/61-62) as referenced in the attached *Boundary & Topographic Survey Exhibit*. This portion will be utilized during construction but will be kept free of debris and safe and accessible for the 5 parties that share the Private Access Road.

We also appreciate the neighbors being amenable to requests that deviate from the above and will ensure that if such requests are required, a letter in writing or by email at least 48 hours prior will be to Dan Fast and/or Tom O'Brian. We will share the Contractor and Site-Super information upon final selection.

Sincerely,

A handwritten signature in black ink, consisting of a stylized, overlapping loop followed by a horizontal line extending to the right.

Carlo Parente, AIA, OAA, MRAIC, NCARB

Carlo Parente Architecture Inc.
312-493-3419
carlo@carloparente.com

TITLE REPORT EXCEPTIONS:

AT THE DATE HEREOF EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS CONTAINED IN SAID POLICY FORM WOULD BE AS FOLLOWS:

ITEMS 1 TO 3 REFER TO TAX MATTERS, SEE REPORT FOR DETAILS.

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TITLE REPORT EXCEPTIONS (CONTINUED):

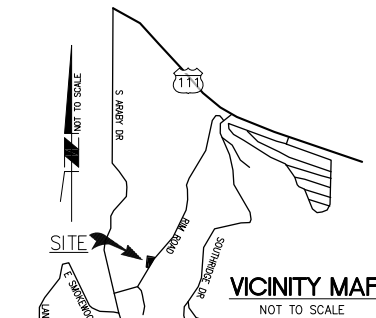
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AND RE-RECORDED 2/13/1974, AS INSTRUMENT NO. 1974-16974, OFFICIAL RECORDS.

TITLE REPORT EXCEPTIONS (CONTINUED):

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- AN EASEMENT FOR PURPOSES HEREIN STATED, AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN AN INSTRUMENT RECORDED: 4/30/1979, AS INSTRUMENT NO. 1979-86686, OF OFFICIAL RECORDS. FOR: INGRESS AND EGRESS AND INCIDENTAL PURPOSES AFFECTS: BEGINNING AT THE NORTHEASTERLY CORNER OF LOT 16 IN BLOCK "B" OF ARABY TRACT AS SHOWN BY MAP ON FILE IN BOOK 13, PAGES 62 AND 63 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA; THENCE SOUTH 35° 51' 58" WEST A DISTANCE OF 16.00 FEET; THENCE NORTHWESTERLY IN A DIRECT LINE TO A POINT ON THE NORTHERLY LINE OF SAID LOT, SAID POINT BEING 32.00 FEET WESTERLY FROM THE NORTHEAST CORNER OF SAID LOT 16; THENCE NORTHWESTERLY IN A DIRECT LINE TO A POINT ON THE NORTHERLY LINE OF LOT 15 IN BLOCK "B" OF ARABY TRACT, SAID POINT BEING 38.00 FEET WESTERLY FROM THE NORTHEASTERLY CORNER OF SAID LOT 15; THENCE NORTHERLY IN A DIRECT LINE TO A POINT ON THE NORTHERLY LINE OF LOT 14 IN BLOCK "B" OF ARABY TRACT, SAID POINT BEING 48.00 FEET WESTERLY FROM THE NORTHEAST CORNER OF SAID LOT 14; THENCE NORTHERLY IN A DIRECT LINE A DISTANCE OF 60.00 FEET TO A POINT ON THE NORTHERLY LINE OF LOT 13 IN BLOCK "B" OF ARABY TRACT, SAID POINT BEING 57.50 FEET WESTERLY FROM THE NORTHEAST CORNER OF SAID LOT 13; THENCE NORTHERLY IN A DIRECT LINE A DISTANCE OF 70.00 FEET TO A POINT IN THE NORTH LINE OF LOT 12 BLOCK "B" ARABY TRACT, SAID POINT BEING 25.00 FEET WESTERLY FROM THE SOUTHEAST CORNER OF LOT 11 BLOCK "D" OR ARABY TRACT; THENCE SOUTH 89° 25' 47" EAST A DISTANCE OF 1.00 FOOT TO A POINT WHICH IS 24.00 FEET WESTERLY FROM THE SOUTHEAST CORNER OF SAID LOT 11; THENCE IN A DIRECT LINE NORTHWESTERLY TO THE SOUTHEAST CORNER OF LOT 10 BLOCK "B" OF ARABY TRACT; THENCE SOUTH 89° 44' 55" EAST A DISTANCE OF 70.00 FEET TO THE SOUTHEAST CORNER OF LOT 9 IN BLOCK "B" OF ARABY TRACT; THENCE SOUTH 0° 15' 05" WEST ALONG THE WESTERLY LINE OF LOT 8 BLOCK "B" OF ARABY TRACT TO A POINT ON SAID WESTERLY LINE WHICH IS 71.82 FEET DISTANT FROM THE SOUTHWEST CORNER OF SAID LOT 8; THENCE FROM THAT POINT ALONG A CURVE CONCAVE WESTERLY WITH A RADIUS OF 36.00 FEET AND TO WHICH POINT A RADIAL LINE BEARS SOUTH 5° 48' 17" EAST; THENCE NORTHWESTERLY AND NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 173° 26' 28" AN ARC DISTANCE OF 108.98 FEET TO A POINT ON THE WESTERLY LINE OF SAID LOT 8, SAID POINT BEING 0.22 FEET NORTHERLY FROM THE SOUTHWEST CORNER OF SAID LOT 8; THENCE SOUTH 0° 15' 05" WEST 0.22 FEET TO THE SOUTHWEST CORNER OF SAID LOT 8; THENCE SOUTH 79° 42' 09" EAST A DISTANCE OF 71.09 FEET TO THE SOUTHEAST CORNER OF SAID LOT 8; THENCE SOUTH 6° 15' 05" WEST A DISTANCE OF 53.00 FEET TO THE SOUTHEAST CORNER OF LOT 12 IN BLOCK "B" OF ARABY TRACT; THENCE SOUTH 6° 15' 05" WEST A DISTANCE OF 60.00 FEET TO THE SOUTHEAST CORNER OF LOT 13 BLOCK "B" OF ARABY TRACT; THENCE SOUTH 21° 45' 05" WEST A DISTANCE OF 65.00 FEET TO THE SOUTHEAST CORNER OF LOT 14 BLOCK "B" OF ARABY TRACT; THENCE SOUTH 21° 45' 05" WEST ALONG THE EASTERLY LINE OF LOT 15 BLOCK "B" OF ARABY TRACT TO A POINT WHICH IS 28.00 FEET DISTANT FROM THE SOUTHWEST CORNER OF LOT 18 BLOCK "B" OF ARABY TRACT; THENCE EASTERLY IN A DIRECT LINE TO A POINT IN THE EASTERLY LINE OF SAID LOT 18, SAID POINT BEING THE NORTHERLY 11.25 FEET FROM THE SOUTHEASTERLY CORNER OF SAID LOT; THENCE 11.25 FEET SOUTHERLY ALONG THE EASTERLY LINE OF SAID LOT 18, A DISTANCE OF 11.25 FEET TO THE NORTHEAST CORNER OF LOT 16, BLOCK "B" OF ARABY TRACT AND THE POINT OF BEGINNING.
- COVENANTS, CONDITIONS AND RESTRICTIONS IN AN INSTRUMENT RECORDED 4/25/2007, AS INSTRUMENT NO. 2007-278580, OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3604 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS. "NOTE: SECTION 12955 OF THE GOVERNMENT CODE PROVIDE THE FOLLOWING: IF THIS DOCUMENT CONTAINS ANY RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, NATIONAL ORIGIN, OR ANCESTRY, THAT RESTRICTION VIOLATES STATE AND FEDERAL FAIR HOUSING LAWS AND IS VOID, AND MAY BE REMOVED PURSUANT TO SECTION 12955 OF THE GOVERNMENT CODE. LAWFUL RESTRICTION UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTION BASED ON FAMILIAL STATUS."
- COVENANTS, CONDITIONS AND RESTRICTIONS IN AN INSTRUMENT RECORDED 4/25/2007, AS INSTRUMENT NO. 2007-278599, OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3604 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS. "NOTE: SECTION 12955 OF THE GOVERNMENT CODE PROVIDE THE FOLLOWING: IF THIS DOCUMENT CONTAINS ANY RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, NATIONAL ORIGIN, OR ANCESTRY, THAT RESTRICTION VIOLATES STATE AND FEDERAL FAIR HOUSING LAWS AND IS VOID, AND MAY BE REMOVED PURSUANT TO SECTION 12955 OF THE GOVERNMENT CODE. LAWFUL RESTRICTION UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTION BASED ON FAMILIAL STATUS."
- A LIEN FOR UNSECURED PROPERTY TAXES IN FAVOR OF THE TAX COLLECTOR, COUNTY OF RIVERSIDE AMOUNT: \$826.29 TAXPAYER: KUCHTEY RICHARD TR YEAR/ACCOUNT NO.: 2015-2016/053470961-7 RECORDED: 4/5/2018, AS INSTRUMENT NO. 2018-131090, OFFICIAL RECORDS RIGHTS OF PARTIES IN POSSESSION OF SAID LAND BY REASON OF UNRECORDED LEASES, IF ANY. PLEASE FORWARD SAID LEASES FOR OUR EXAMINATION.

IN THE CITY OF PALM SPRINGS,
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
**BOUNDARY AND TOPOGRAPHIC
SURVEY EXHIBIT**
LOT 18 OF BLOCK B OF ARABY TRACT
(MB 13/61-62)
RIM ROAD, PALM SPRINGS, CA 92264



BENCHMARK:

BENCHMARK: C.P.S. BM 25-14
ELEVATION: 426.091 DATUM: NAVD29

DESCRIPTION: 2" BRONZE DISC. SET IN MOC OF THE WEST CONCRETE FLOOD CHANNEL WALL ON THE WEST SIDE OF ARABY DR. ON THE NORTH SIDE OF PALM CANYON WASH, AS SHOWN BY FB 81 PAGE 33 ON FILE IN THE DEPARTMENT OF PUBLIC WORKS IN THE CITY OF PALM SPRINGS.

BASIS OF BEARINGS:

BEARING SHOWN HEREON ARE BASED ON THE CENTERLINE OF CHOLLA PLACE, ARABY TRACT, AS SHOWN BY A MAP ON FILE IN BOOK 13, PAGES 61 THROUGH 62 INCLUSIVE OF MAPS, RECORDS OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA. BEING:
NORTH 72°52'05" EAST.

LEGAL DESCRIPTION:

LOT 18 OF BLOCK B OF ARABY TRACT, AS SHOWN BY A MAP ON FILE IN BOOK 13, PAGES 61 THROUGH 62 OF MAPS, INCLUSIVE, RECORDS OF COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

PROPERTY ADDRESS:

RIM ROAD
PALM SPRINGS, CA 92264

PREPARED FOR:

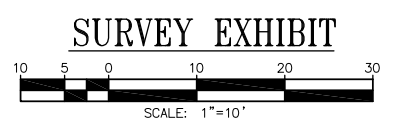
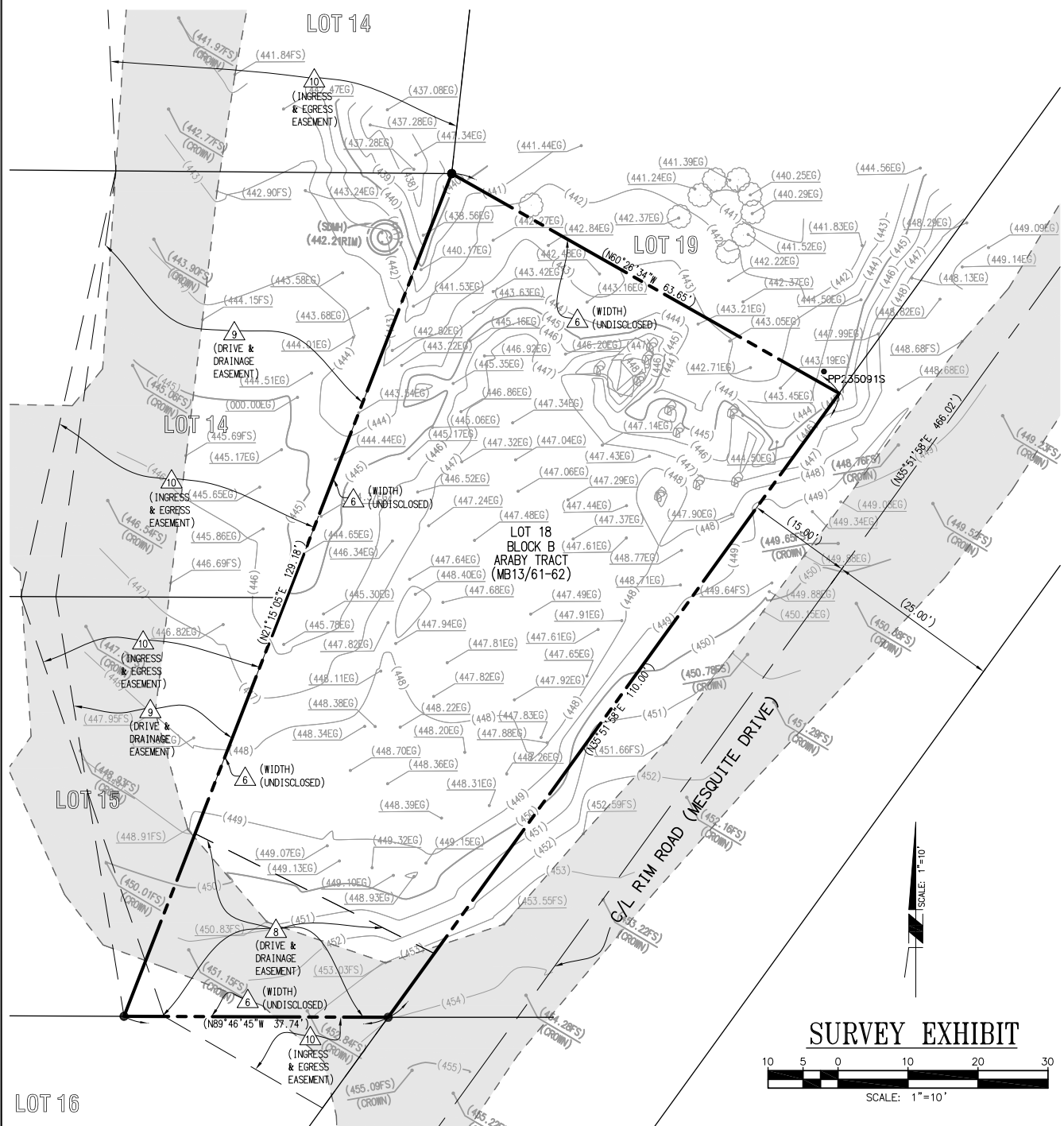
ESSI ENGINEERING
77-570 SPRINGFIELD LANE, STE C
PALM DESERT, CA 92211

RECORD DATA:

() DENOTES RECORD DATA PER ARABY TRACT, (MB 13/61-62), AND MEASURED.

SURVEY NOTES:

● INDICATES FOUND IRON PIPE, TAG ILLEGIBLE, ACCEPTED AS CORNER PER MB 13/61-62



<p>DISCLAIMER: INFORMATION SHOWN IS COMPILED STRICTLY FROM THE FIELD SURVEY. GRANDE COAST TITLE COMPANY PRELIMINARY REPORT, ORDER NO. 210-196602-10 AND PUBLIC RECORDS LIMITED TO OFFICIAL MAPS FILED IN THE COUNTY SURVEYORS OFFICE. THE ABOVE MENTIONED SOURCES ARE THE BASIS FOR ALL CONSTRAINTS PLOTTED HEREON. THIS MAY NOT BE EXHAUSTIVE AND ADDITIONAL CONSTRAINTS MAY EXIST WHICH ARE NOT DISCLOSED IN THE ABOVE. THE CLIENT IS ADVISED TO CONTACT THE CITY FOR ADDITIONAL INFORMATION ON BUILDING DESIGN REGULATIONS.</p>	
<p>STORY DRAIN MANHOLE STORY MANHOLE TOP OF CURB TOP OF COLUMN TOP OF WALL VALVE WEST WATER METER EXISTING ELEVATION CALLOUT</p>	<p>DATE: 5/09/2019 PLS: 09/56</p>
<p>FROM PIPE MAP BOOK MONUMENT NORTH REFERENCE RIGHT-OF-WAY RECORD OF SURVEY PARCEL MAP BOOK SOUTH</p>	<p>DATE: 5/09/2019 PLS: 09/56</p>
<p>APPROXIMATIONS: CORNERS EXISTING GROUND FLOW LINE FINISH SURFACE GLOBAL POS. SYSTEM INTER CONTUR</p>	<p>DATE: 5/09/2019 PLS: 09/56</p>
<p>LANDSCAPING AND TERRAIN SINGLE TREE PALM INTER CONTUR INTER CONTUR</p>	<p>DATE: 5/09/2019 PLS: 09/56</p>
<p>UTILITY (MET) CULVERT PIPE VALVE MANHOLE STAMP TANK DRAIN</p>	<p>DATE: 5/09/2019 PLS: 09/56</p>
<p>PAVEMENT MARKINGS AND SURFAGE PARKING STRIPS ROAD STRIPING SIGN</p>	<p>DATE: 5/09/2019 PLS: 09/56</p>
<p>ROADWAYS EDGE OF DIRT EDGE OF CONC. EDGE OF ASPH. SIDEWALK GUTTER AND CURB</p>	<p>DATE: 5/09/2019 PLS: 09/56</p>
<p>SYMBOL LEGEND: CONTROL ANVING BUILDING POOL</p>	<p>DATE: 5/09/2019 PLS: 09/56</p>
<p>IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA LOT 18 OF BLOCK B OF ARBY TRACT (MB 13/61-62) BOUNDARY & TOPOGRAPHIC SURVEY EXHIBIT RIM ROAD, PALM SPRINGS, CA 92264</p>	
<p>FIELD CREW: NC MAPPING: BDE SCALE: 1" = 10' JOB NUMBER: 20190318 DATE: MAY 8, 2019</p>	<p>FOR: ESSI ENGINEERING</p>
<p>SHEET 1 OF 1 SHEETS</p>	<p>FILE NO. 20190318</p>

DATES OF FIELD SURVEY: 4/23/2019 & 5/7/2019
DATE EXHIBIT PREPARED: 5/8/2019

RoCliff (Faust Residence) 2265 RIM ROAD

PALM SPRINGS, CALIFORNIA
ISSUED FOR MAJOR ARCHITECTURAL REVIEW
22 JUNE 2021



RoCliff (Faust Residence) 2265 RIM ROAD

PALM SPRINGS, CALIFORNIA
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CLIENT

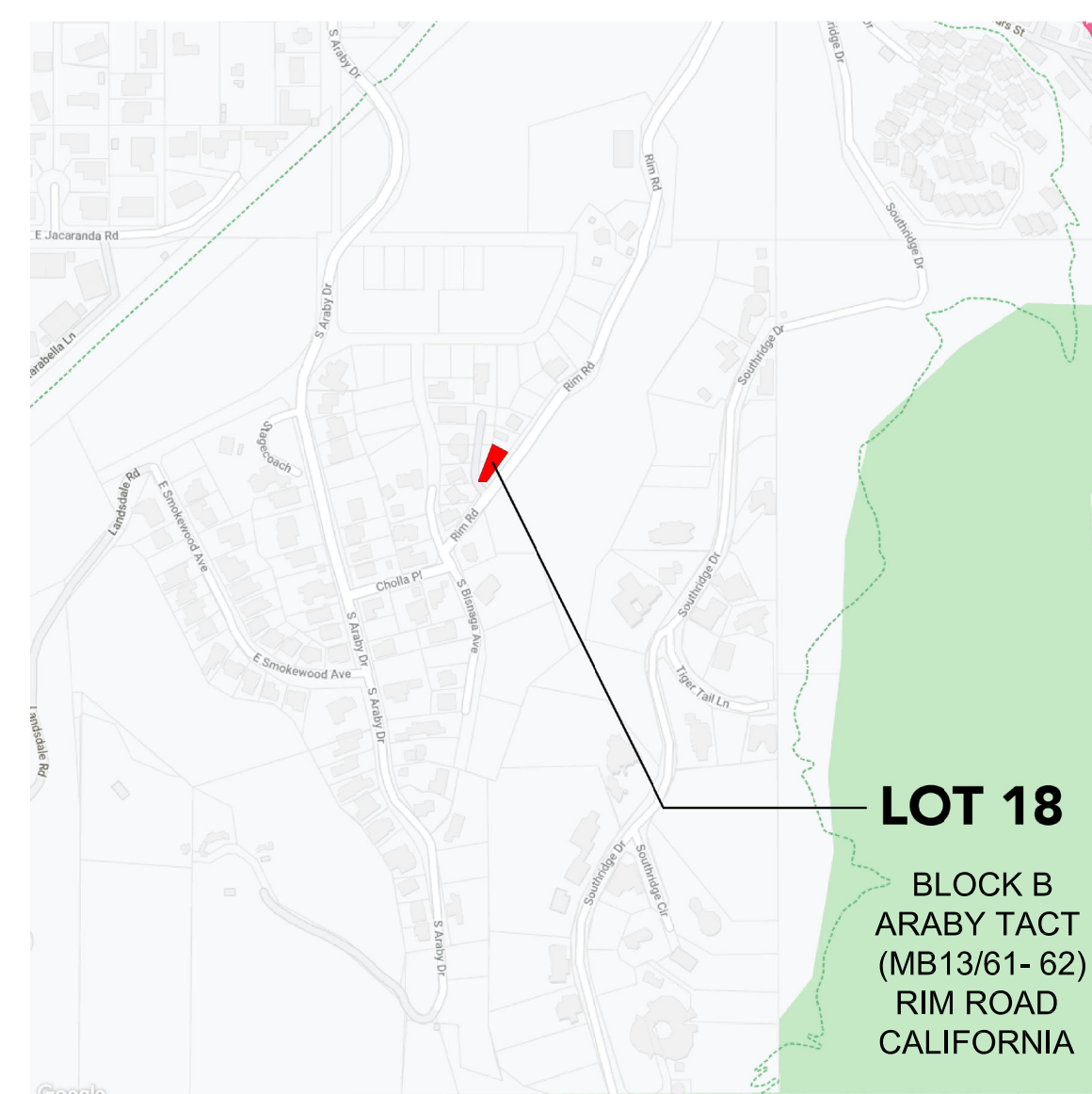
BOB FAUST
3616 N. Milwaukee Ave,
Chicago IL
60641

ARCHITECT

CARLO PARENTE
P.A. DBA: NCAARD
CARLO PARENTE
ARCHITECTURE INC.

312-493-3419
www.carloparente.com
carlo@carloparente.com

LOCATION MAP



PROJECT SHEETS

ARCHITECTURAL

COVER SHEET

SURVEY
SHEET 1 BOUNDARY AND TOPOGRAPHIC
SURVEY EXHIBIT

SITE

A101 SITE PLAN
A102 LANDSCAPE PLAN
LANDSCAPE LEGEND
A104 GRADING & DRAINAGE PLAN
A105 EXTERIOR LIGHTING PLAN
A106 SITE SECTION
A107 SITE SECTION
A108 SITE ELEVATIONS
A109 SITE ELEVATIONS

PLANS

A201 FLOOR PLANS
A202 ROOF PLAN

ELEVATIONS

A401 BUILDING ELEVATIONS
A402 BUILDING ELEVATIONS

3D PERSPECTIVES

A801 3D PERSPECTIVE VIEWS
A802 3D PERSPECTIVE VIEWS

PHOTOGRAPHS

A901 SITE PHOTOGRAPHS

REFERENCE

A1001 COLOR MATERIAL SAMPLE BOARD

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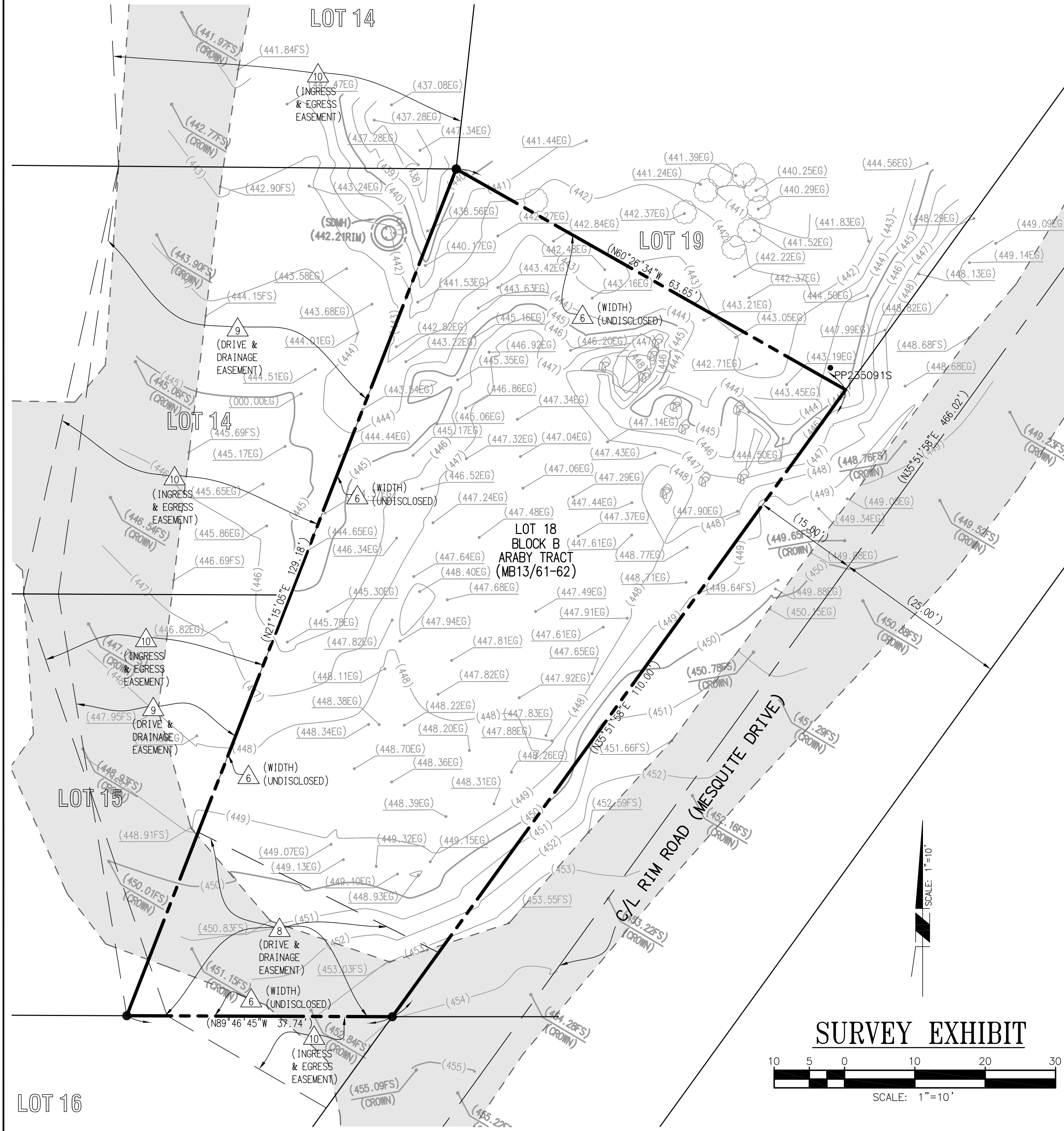
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TITLE REPORT EXCEPTIONS (CONTINUED):

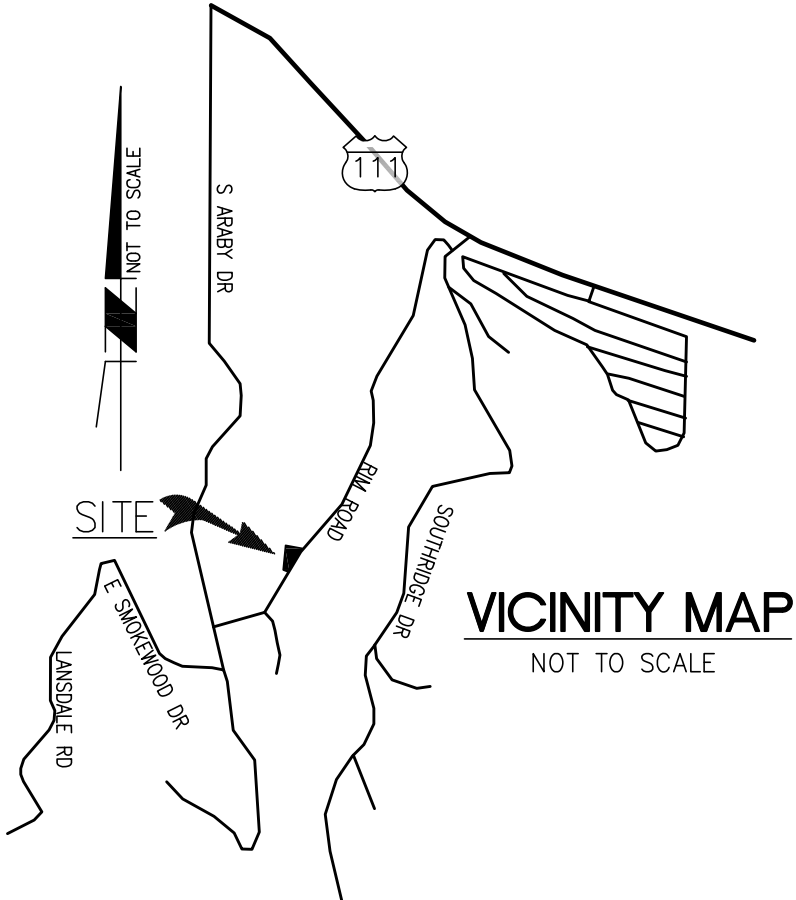
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TITLE REPORT EXCEPTIONS (CONTINUED):

- AN EASEMENT FOR PURPOSES HEREIN STATED, AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN AN INSTRUMENT RECORDED: 1/23/1959, AS INSTRUMENT NO. 1959-6019, OF OFFICIAL RECORDS. FOR: DRIVE AND DRAINAGE PURPOSE AND INCIDENTAL PURPOSES AFFECTS: BEGINNING AT THE SOUTHEASTERLY CORNER OF SAID LOT 16; THENCE NORTHWESTERLY TO A POINT ON THE NORTHERLY LINE OF SAID LOT 15, A DISTANCE OF 33 FEET WESTERLY FROM THE NORTHEASTERLY CORNER THEREOF; THENCE NORTHERLY TO A POINT ON THE NORTHERLY LINE OF SAID LOT 14, DISTANT THEREOF 43 FEET WESTERLY FROM THE NORTHEASTERLY CORNER OF SAID LOT 14; THENCE EASTERLY ALONG THE NORTHERLY LINE OF SAID LOT 14, A DISTANCE OF 48 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 14; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID LOTS 14 AND 15, 129.18 FEET TO THE POINT OF BEGINNING.
- AN EASEMENT FOR PURPOSES HEREIN STATED, AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN AN INSTRUMENT RECORDED: 4/30/1979, AS INSTRUMENT NO. 1979-86686, OF OFFICIAL RECORDS. FOR: INGRESS AND EGRESS AND INCIDENTAL PURPOSES AFFECTS: BEGINNING AT THE NORTHEASTERLY CORNER OF LOT 16 IN BLOCK "B" OF ARABY TRACT AS SHOWN BY MAP ON FILE IN BOOK 13, PAGES 62 AND 63 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA; THENCE SOUTH 35° 51' 58" WEST A DISTANCE OF 16.00 FEET; THENCE NORTHWESTERLY IN A DIRECT LINE TO A POINT ON THE NORTHERLY LINE OF SAID LOT, SAID POINT BEING 32.00 FEET WESTERLY FROM THE NORTHEAST CORNER OF SAID LOT 16; THENCE NORTHWESTERLY IN A DIRECT LINE TO A POINT ON THE NORTHERLY LINE OF LOT 15 IN BLOCK "B" OF ARABY TRACT, SAID POINT BEING 38.00 FEET WESTERLY FROM THE NORTHEASTERLY CORNER OF SAID LOT 15; THENCE NORTHERLY IN A DIRECT LINE TO A POINT ON THE NORTHERLY LINE OF LOT 14 IN BLOCK "B" OF ARABY TRACT, SAID POINT BEING 48.00 FEET WESTERLY FROM THE NORTHEAST CORNER OF SAID LOT 14; THENCE NORTHERLY IN A DIRECT LINE A DISTANCE OF 60.00 FEET TO A POINT ON THE NORTHERLY LINE OF LOT 13 IN BLOCK "B" OF ARABY TRACT, SAID POINT BEING 57.50 FEET WESTERLY FROM THE SOUTHEAST CORNER OF SAID LOT 13; THENCE NORTHERLY IN A DIRECT LINE A DISTANCE OF 70.00 FEET TO A POINT IN THE NORTH LINE OF LOT 12 BLOCK "B" ARABY TRACT, SAID POINT BEING 25.00 FEET WESTERLY FROM THE SOUTHEAST CORNER OF LOT 11 BLOCK "D" OR ARABY TRACT; THENCE SOUTH 89° 25' 47" EAST A DISTANCE OF 1.00 FOOT TO A POINT WHICH IS 24.00 FEET WESTERLY FROM THE SOUTHEAST CORNER OF SAID LOT 11; THENCE IN A DIRECT LINE NORTHWESTERLY TO THE SOUTHEAST CORNER OF LOT 10 BLOCK "B" OF ARABY TRACT; THENCE SOUTH 89° 44' 55" EAST A DISTANCE OF 70.00 FEET TO THE SOUTHEAST CORNER OF LOT 9 IN BLOCK "B" OF ARABY TRACT; THENCE SOUTH 0° 15' 05" WEST ALONG THE WESTERLY LINE OF LOT 8 BLOCK "B" OF ARABY TRACT TO A POINT ON SAID WESTERLY LINE WHICH IS 71.82 FEET DISTANT FROM THE SOUTHWEST CORNER OF SAID LOT 8; THENCE FROM THAT POINT ALONG A CURVE CONCAVE WESTERLY WITH A RADIUS OF 36.00 FEET AND TO WHICH POINT A RADIAL LINE BEARS SOUTH 5° 48' 17" EAST; THENCE NORTHWESTERLY AND NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 173° 26' 28" AN ARC DISTANCE OF 108.98 FEET TO A POINT ON THE WESTERLY LINE OF SAID LOT 8, SAID POINT BEING 0.22 FEET NORTHERLY FROM THE SOUTHWEST CORNER OF SAID LOT 8; THENCE SOUTH 0° 15' 05" WEST 0.22 FEET TO THE SOUTHWEST CORNER OF SAID LOT 8; THENCE SOUTH 79° 42' 09" EAST A DISTANCE OF 71.09 FEET TO THE SOUTHEAST CORNER OF SAID LOT 8; THENCE SOUTH 6° 15' 05" WEST A DISTANCE OF 53.00 FEET TO THE SOUTHEAST CORNER OF LOT 12 IN BLOCK "B" OF ARABY TRACT; THENCE SOUTH 6° 15' 05" WEST A DISTANCE OF 60.00 FEET TO THE SOUTHEAST CORNER OF LOT 13 BLOCK "B" OF ARABY TRACT; THENCE SOUTH 21° 45' 05" WEST A DISTANCE OF 65.00 FEET TO THE SOUTHEAST CORNER OF LOT 14 BLOCK "B" OF ARABY TRACT; THENCE SOUTH 21° 45' 05" WEST ALONG THE EASTERLY LINE OF LOT 15 BLOCK "B" OF ARABY TRACT TO A POINT WHICH IS 28.00 FEET DISTANT FROM THE SOUTHWEST CORNER OF LOT 18 BLOCK "B" OF ARABY TRACT; THENCE EASTERLY IN A DIRECT LINE TO A POINT IN THE EASTERLY LINE OF SAID LOT 18, SAID POINT BEING THE NORTHERLY 11.25 FEET FROM THE SOUTHEASTERLY CORNER OF SAID LOT; THENCE 11.25 FEET SOUTHERLY ALONG THE EASTERLY LINE OF SAID LOT 18, A DISTANCE OF 11.25 FEET TO THE NORTHEAST CORNER OF LOT 16, BLOCK "B" OF ARABY TRACT AND THE POINT OF BEGINNING.
- COVENANTS, CONDITIONS AND RESTRICTIONS IN AN INSTRUMENT RECORDED 4/25/2007, AS INSTRUMENT NO. 2007-278580, OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3604 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS."NOTE: SECTION 12955 OF THE GOVERNMENT CODE PROVIDE THE FOLLOWING: IF THIS DOCUMENT CONTAINS ANY RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, NATIONAL ORIGIN, OR ANCESTRY, THAT RESTRICTION VIOLATES STATE AND FEDERAL FAIR HOUSING LAWS AND IS VOID, AND MAY BE REMOVED PURSUANT TO SECTION 12955 OF THE GOVERNMENT CODE. LAWFUL RESTRICTION UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTION BASED ON FAMILIAL STATUS."
- COVENANTS, CONDITIONS AND RESTRICTIONS IN AN INSTRUMENT RECORDED 4/25/2007, AS INSTRUMENT NO. 2007-278599, OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER CHAPTER 42, SECTION 3604 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS."NOTE: SECTION 12955 OF THE GOVERNMENT CODE PROVIDE THE FOLLOWING: IF THIS DOCUMENT CONTAINS ANY RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, NATIONAL ORIGIN, OR ANCESTRY, THAT RESTRICTION VIOLATES STATE AND FEDERAL FAIR HOUSING LAWS AND IS VOID, AND MAY BE REMOVED PURSUANT TO SECTION 12955 OF THE GOVERNMENT CODE. LAWFUL RESTRICTION UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTION BASED ON FAMILIAL STATUS."
- A LIEN FOR UNSECURED PROPERTY TAXES IN FAVOR OF THE TAX COLLECTOR, COUNTY OF RIVERSIDE AMOUNT: \$826.29 TAXPAYER: KUCHTEY RICHARD TR YEAR/ACCOUNT NO.: 2015-2016/053470961-7 RECORDED: 4/5/2018, AS INSTRUMENT NO. 2018-131090, OFFICIAL RECORDS
- RIGHTS OF PARTIES IN POSSESSION OF SAID LAND BY REASON OF UNRECORDED LEASES, IF ANY. PLEASE FORWARD SAID LEASES FOR OUR EXAMINATION.



IN THE CITY OF PALM SPRINGS,
 COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
**BOUNDARY AND TOPOGRAPHIC
 SURVEY EXHIBIT**
**LOT 18 OF BLOCK B OF ARABY TRACT
 (MB 13/61-62)**
 RIM ROAD, PALM SPRINGS, CA 92264



BENCHMARK:

BENCHMARK: C.P.S. BM 25-14
 ELEVATION: 426.091 DATUM: NVD29
 DESCRIPTION: 2" BRONZE DISC. SET IN MOC OF THE WEST CONCRETE FLOOD CHANNEL WALL ON THE WEST SIDE OF ARABY DR. ON THE NORTH SIDE OF PALM CANYON WASH, AS SHOWN BY FB 81 PAGE 33 ON FILE IN THE DEPARTMENT OF PUBLIC WORKS IN THE CITY OF PALM SPRINGS.

BASIS OF BEARINGS:

BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF CHOLLA PLACE, ARABY TRACT, AS SHOWN BY A MAP ON FILE IN BOOK 13, PAGES 61 THROUGH 62 INCLUSIVE OF MAPS, RECORDS OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, BEING: NORTH 72°52'05" EAST.

LEGAL DESCRIPTION:

LOT 18 OF BLOCK B OF ARABY TRACT, AS SHOWN BY A MAP ON FILE IN BOOK 13, PAGES 61 THROUGH 62 OF MAPS, INCLUSIVE, RECORDS OF COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

PROPERTY ADDRESS:

RIM ROAD
 PALM SPRINGS, CA 92264

PREPARED FOR:

ESSI ENGINEERING
 77-570 SPRINGFIELD LANE, STE C
 PALM DESERT, CA 92211

RECORD DATA:

() DENOTES RECORD DATA PER ARABY TRACT, (MB 13/61-62), AND MEASURED.

SURVEY NOTES:

● INDICATES FOUND IRON PIPE, TAG ILLEGIBLE, ACCEPTED AS CORNER PER MB 13/61-62

NO.	DATE	DESCRIPTION	BY	APP'D	DATE

DISCLAIMER: INFORMATION SHOWN IS COMPILED STRICTLY FROM THE FIELD SURVEY. ORANGE COUNTY TITLE COMPANY HAS CONDUCTED PRELIMINARY TITLE SEARCHES AND HAS FILED THE COUNTY SURVEYORS OFFICE. THE ABOVE MENTIONED SOURCES ARE THE BASIS FOR ALL CONSTRAINTS PLOTTED HEREON. THIS MAY NOT BE EXHAUSTIVE AND ADDITIONAL CONSTRAINTS MAY EXIST WHICH ARE NOT DISCLOSED IN THE ABOVE. THE CLIENT IS ADVISED TO CONTACT THE CITY FOR ADDITIONAL INFORMATION ON BUILDING DESIGN REGULATIONS.

ABBREVIATIONS:
 C/L CENTERLINE
 COR. CORNER
 E. EAST
 EG. EXISTING GROUND
 F.S. FINISH SURFACE
 GPS GLOBAL POSITIONING SYSTEM
 H.D. FIRE HYDRANT
 IP IRON PIPE
 MB MAP BOOK
 MON. MONUMENT
 REF. REFERENCE
 R/W RIGHT-OF-WAY
 REC. RECORD OF SURVEY
 PMS PARCEL MAP BOOK
 S. SOUTH
 SEC. SECTION

IRON PIPE: MAP BOOK, MONUMENT, REFERENCE, RIGHT-OF-WAY, RECORD OF SURVEY, PARCEL MAP BOOK, SOUTH, SECTION

STORM DRAIN MANHOLE: SAN, SEWER, MANHOLE, TOP OF CURB, TOP OF COLUMN, TOP OF WALL, VALVE, WEST, WATER METER, EXISTING ELEVATION (XX.XX) CALLOUT

LANDSCAPING AND TERRAIN: TREES, SINGLE TREE, PALM, INDEX CONTOUR, INTER CONTOUR

UTILITY (OR): POWER POLE, GUY WIRE, POWER POLE W/ STREET LIGHT, TRAFFIC SIGNAL, MISCELLANEOUS, VAULT

RAILROAD AND TRANSIT: RAILROAD, RAIL SIGNAL, BARRIERS, FENCE, WALL, RETAINING WALL, GUARD RAIL

FAVORABLE MARKINGS AND SIGNAGE: PARKING, ROAD STRIPES, SIDEWALK CURB AND GUTTER

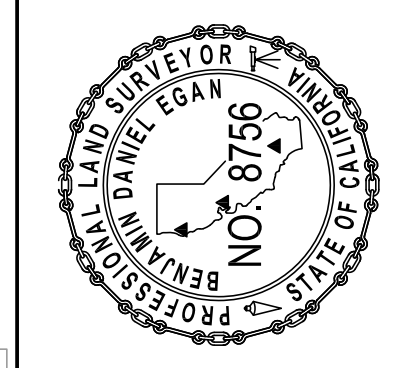
ROADWAYS: EDGE OF DIRT, EDGE OF CONC., EDGE OF ASPH., SIDEWALK CURB AND GUTTER

SYMBOL LEGEND: HV-1, HV-2, CONTROL, AWNING, BUILDING, POOL

EGAN CIVIL, INC.
 1000 S. GARDEN ST., SUITE 100
 PALM SPRINGS, CA 92264
 (760) 404-6663 WWW.EGANCIVIL.COM

DATE: 5/08/2019
 PLS. #756

BERNARD DANIEL EGAN, P.E., PLS.



IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
LOT 18 OF BLOCK B OF ARABY TRACT (MB 13/61-62)
BOUNDARY & TOPOGRAPHIC SURVEY EXHIBIT
 RIM ROAD, PALMSPRINGS, CA 92264

FOR: ESSI ENGINEERING

FIELD CREW: NC
 MAPPING: BDE
 SCALE: 1" = 10'
 JOB NUMBER: 20190318
 DATE: MAY 8, 2019

SHEET 1 OF 1 SHEETS
 FILE NO. 20190318

DATES OF FIELD SURVEY: 4/23/2019 & 5/7/2019
 DATE EXHIBIT PREPARED: 5/8/2019

BUILDING INFORMATION:
LOT 18 RIM ROAD
PALM SPRINGS CALIFORNIA

ZONING REFERENCE
PALM SPRING MUNICIPAL CODE

SITE INFORMATION
ZONING: R1-B
SITE AREA: 5760 SF

BUILDING HEIGHT:
BUILDING HEIGHT 12'

BUILDING DEPTH & LENGTH
BUILDING DEPTH 20'-6"
BUILDING LENGTH 48'-9"

GROSS FLOOR AREA
GROUND FL GFA 1025 SF

SITE STATS
LOT AREA 5755 SF
BUILDING GFA 1025 SF
COVERED CARPORT/
ENTRANCE AREA 594 SF
SHOWERS/GARDEN WALLS 53 SF
COVERED DECK AREA 788 SF
POOL 376 SF

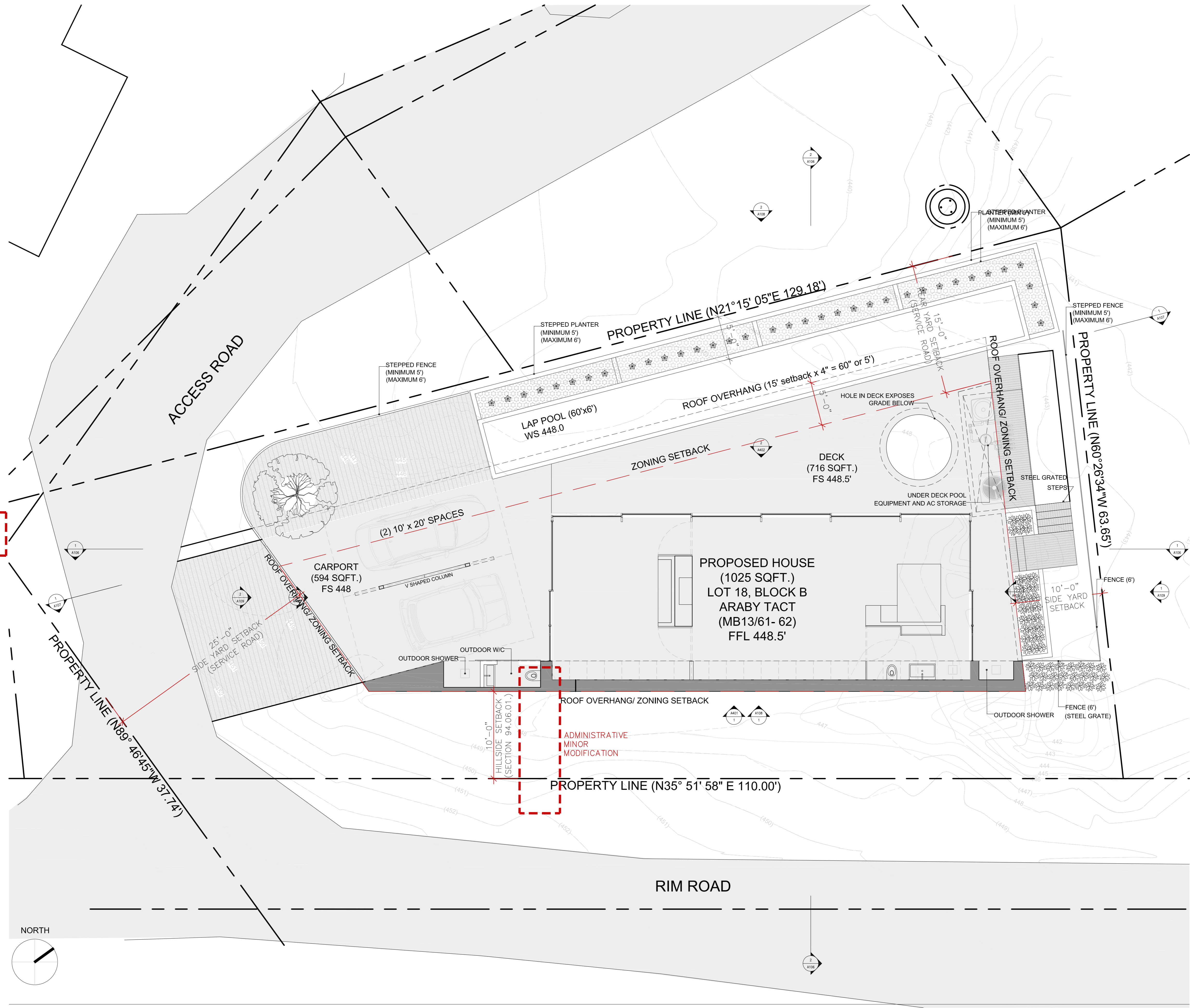
COVERAGE
ALLOWABLE COVERAGE = 35%
(5755 SF X .35 = MAX 2014 SF)

PROPOSED LOT COVERAGE = RESIDENCE 1025SF +
CARPORT (594 SQFT) + COVERED DECK (788SQFT)
=2407 SQFT / 5755 = 41.8%

ADMINISTRATIVE MINOR MODIFICATION

SURVEY NOTE
THE SURVEY IS PROVIDED BY THE OWNER
AND IS TAKEN FROM:
BOUNDARY AND TOPOGRAPHIC SURVEY
EXHIBIT LOT 18 OF BLOCK B OF ARABY
TRACT (MB 13/61-62) RIM RD, PALM
SPRINGS, CA 92266. PREPARED BY EGAN
CIVIL INC. DATED 05/08/2019

LEGEND:
WALL/ GARDEN WALL
[M8] STEEL GRATING
CONCRETE SITE WORK
ROOF ABOVE
ZONING SETBACK



ISSUE RECORD		
NO.	DESCRIPTION	DATE
3	SUBMITTED FOR MAJOR ARCH. REVIEW (REV1)	2021/07/27
2	SUBMITTED: ADMINISTRATIVE MINOR MODIFICATION	2021/06/24
1	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021/06/22

CLIENT:
Bob Faust
3616 N. Milwaukee Ave,
Chicago IL
60641

PROJECT NAME
RoCliff
(FAUST RESIDENCE)
2265 RIM ROAD

SHEET NAME:
SITE PLAN

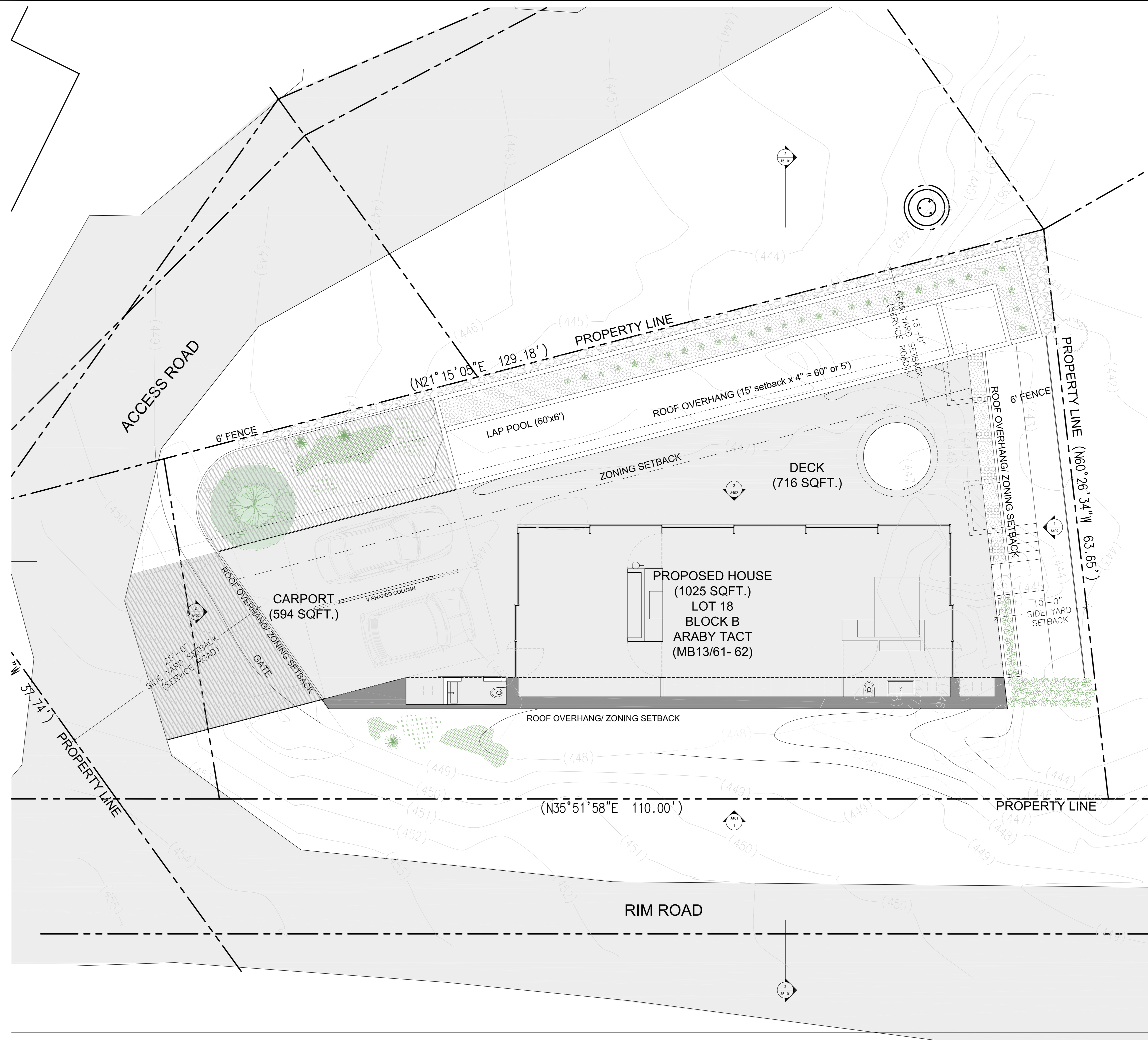
PROJECT #: 21003
DRAWN BY: CPAI
SCALE: AS NOTED
DATE: JUNE 22, 2021

SHEET NUMBER:

A-101

1 SITE PLAN
A101 3/16" = 1'-0"

LANDSCAPE LEGEND			
TYPE	SIZE	QUANTITY	
FENCEPOST CACTUS (LOPHOCEREUS MARGINATUS)	15 GALLON 1x1ft	30	☆☆☆☆☆
TRAILING ROSEMARY (SALVIA ROSMARINUS)	1 GALLON 2x60 ft	50	□□□□□□□□
FUCHSIA (BOUGAINVILLEA)	15 GALLON 2(2x6) ft	50	□□□□□□□□
OLIVE TREE (OLEA EUROPAEA)	TBD 2(2x6) ft	1	○
TEXAS RANGER BUSH (LEUCOPHYLLUM FRUTESCENS)	15 GALLON (3) 4x4 ft	3	□□□
SMALL LEAF MYOPORUM (MYOPORUM PARVIFOLIUM)	1 GALLON (2) 8x15 ft	48	□□□□□□□□
PERUVIAN VERBENA (GLANDULARIA PERUVIAN)	1 GALLON (3) 4x8 ft	36	□□□□□□□□
BRIMSTONE GRAVEL IRONWOOD ROCK	TBD	TBD	□□□□□□□□



NOTE: REFER TO LANDSCAPE PLAN (11X17) BY FAUST DATED 05-14-21

ARCHITECT OF RECORD

CONSULTANTS

ISSUE RECORD		
NO.	DESCRIPTION	DATE
3	SUBMITTED FOR MAJOR ARCH. REVIEW (REV1)	2021 / 07 / 27
2	SUBMITTED FOR MINOR ARCHITECTURAL REVIEW	2021 / 06 / 22
1	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021 / 06 / 22

CLIENT:
Bob Faust
3616 N. Milwaukee Ave,
Chicago IL
60641

PROJECT NAME:
RoCliff
(FAUST RESIDENCE)
2265 RIM ROAD

SHEET NAME:
LANDSCAPE PLAN

PROJECT #: 21003
DRAWN BY: CPAI
SCALE: AS NOTED
DATE: JUNE 21, 2021

SHEET NUMBER:

NOTE: DRAINAGE AND GRADING PLAN TO BE READ IN CONJUNCTION WITH SHEET 1 BOUNDARY AND TOPOGRAPHIC SURVEY EXHIBIT

LEGEND:

- CONCRETE SITE WORK
- DECK ABOVE
- EXISTING CONTOUR
- EXISTING ELEVATION CONTOUR
- NEW ELEVATION CONTOUR
- DRAIN PIPE
- DRAINAGE FLOW LINE

ABBREVIATIONS:

- T.O.W. TOP OF WALL
- T.O.F. TOP OF FENCE
- F.G. FINISH GRADE
- F.S. FINISH SURFACE
- F.F. FINISH FLOOR
- A.D. AREA DRAIN
- R.D. ROOF DRAIN
- D.CH. DRAIN CHANNEL

BUILDING INFORMATION:

LOT 18 RIM ROAD
PALM SPRINGS CALIFORNIA

ZONING REFERENCE

PALM SPRING MUNICIPAL CODE

SITE INFORMATION

ZONING: R1-B
SITE AREA: 5760 SF

BUILDING HEIGHT:

BUILDING HEIGHT 12'

BUILDING DEPTH & LENGTH

BUILDING DEPTH 20'-6"
BUILDING LENGTH 48'-9"

GROSS FLOOR AREA

GROUND FL GFA 1025 SF

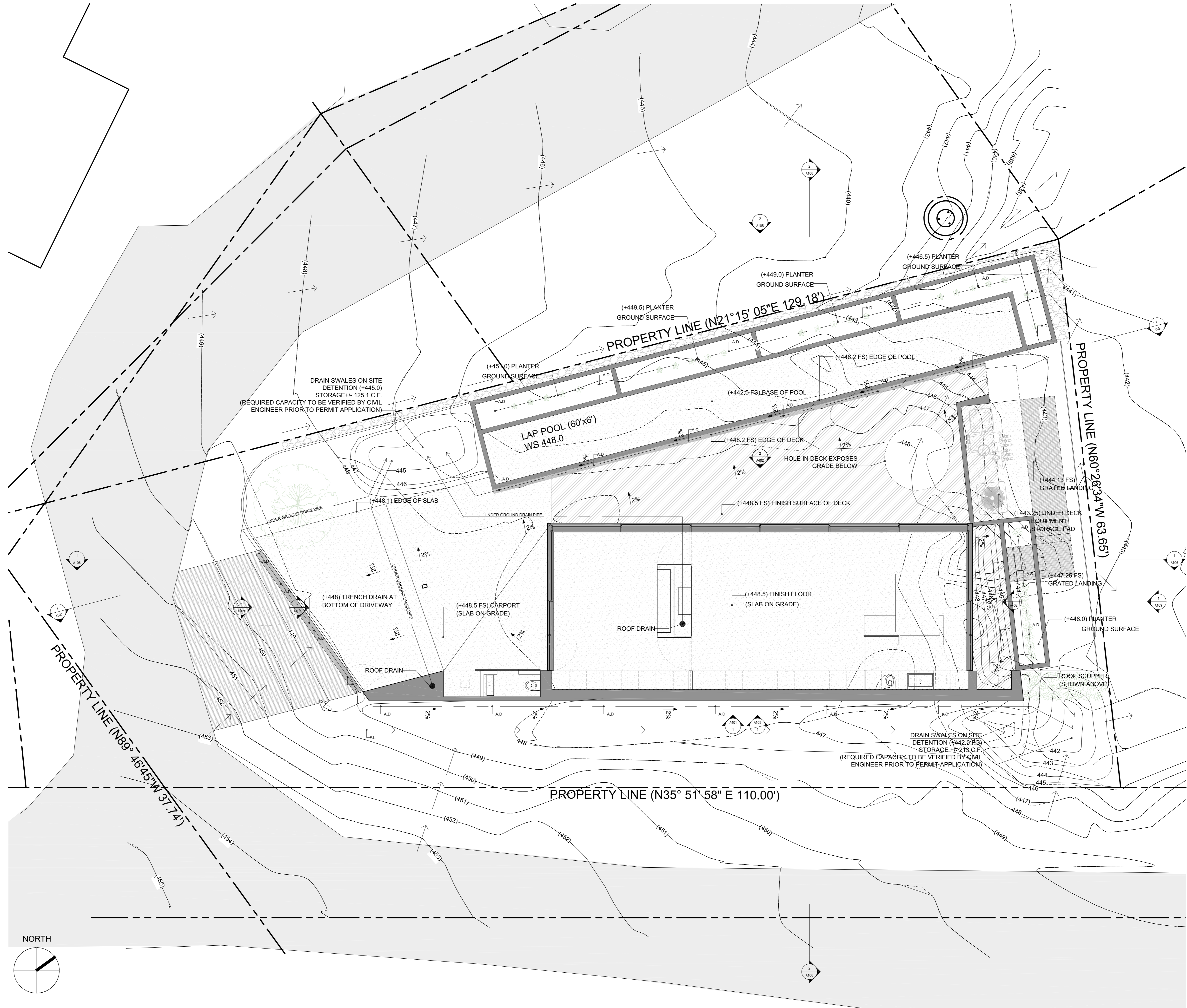
SITE STATS

LOT AREA 5755 SF
BUILDING GFA 1025 SF
COVERED CARPORT/
ENTRANCE AREA 594 SF
SHOWERS/GARDEN WALLS 53 SF
COVERED DECK AREA 788 SF
POOL 376 SF

COVERAGE

ALLOWABLE COVERAGE = 35%
(5755 SF X .35 = MAX 2014 SF)

PROPOSED LOT COVERAGE = RESIDENCE 1025SF+
CARPORT (594 SQFT) + COVERED DECK (788SQFT)
=2407 SQFT / 5755 = 41.8%



ARCHITECT OF RECORD

CONSULTANTS

ISSUE RECORD

NO.	DESCRIPTION	DATE
2	SUBMITTED FOR MAJOR ARCH. REVIEW (REV1)	2021/07/27
1	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021/06/22

CLIENT:

Bob Faust
3616 N. Milwaukee Ave,
Chicago IL
60641

PROJECT NAME

RoCliff
(FAUST RESIDENCE)
2265 RIM ROAD

SHEET NAME:

NEW GRADING
&
DRAINAGE PLAN

PROJECT #:

21003

DRAWN BY:

CPAI

SCALE:

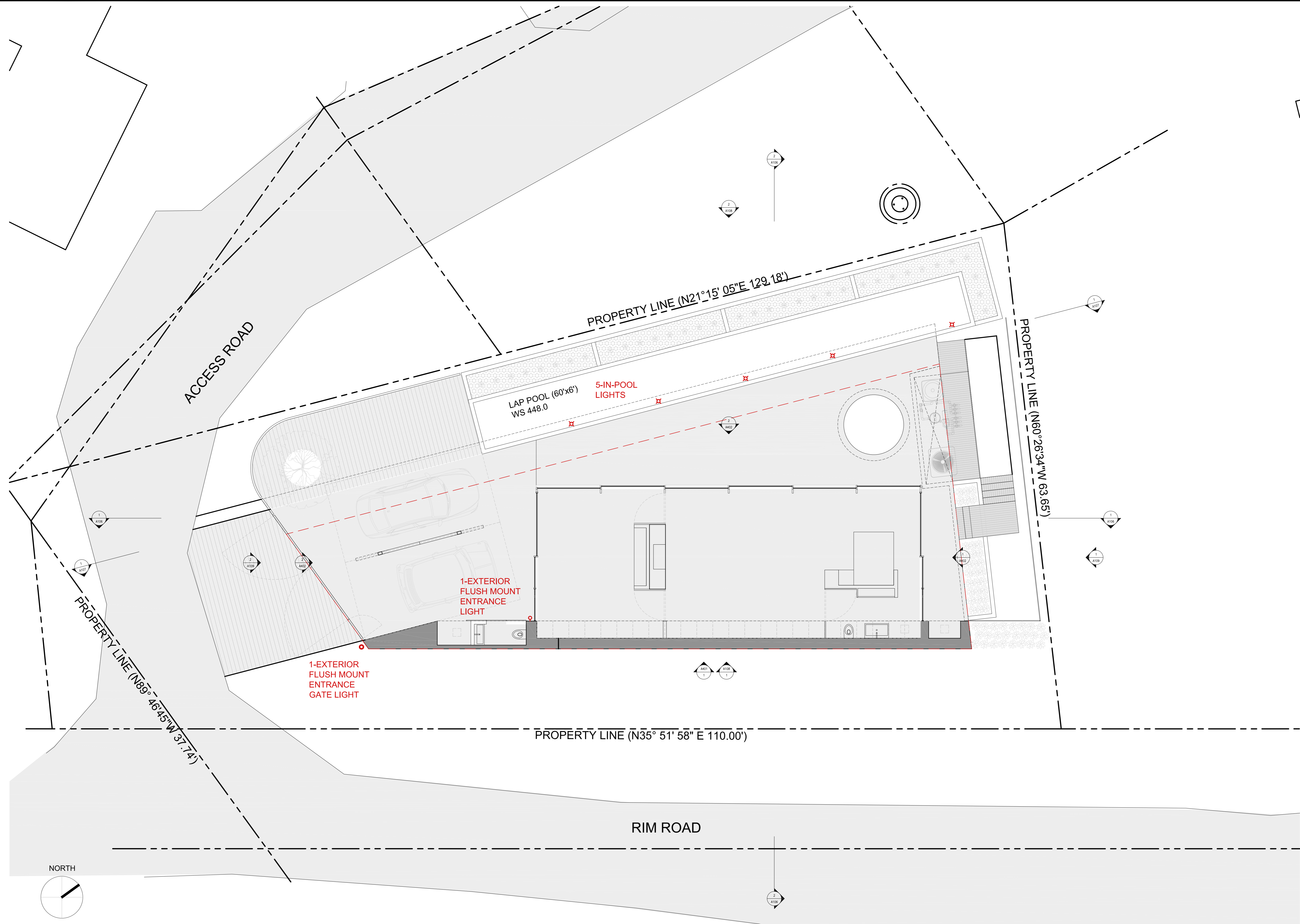
AS NOTED

DATE:

JUNE 22, 2021

SHEET NUMBER:

A-104



ISSUE RECORD		
NO.	DESCRIPTION	DATE
2	SUBMITTED FOR MAJOR ARCH. REVIEW (REV1)	2021/07/27
1	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021/06/22

CLIENT:
Bob Faust
3616 N. Milwaukee Ave,
Chicago IL
60641

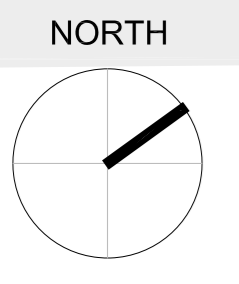
PROJECT NAME
RoCliff
(FAUST RESIDENCE)
2265 RIM ROAD

SHEET NAME:
EXTERIOR LIGHTING PLAN

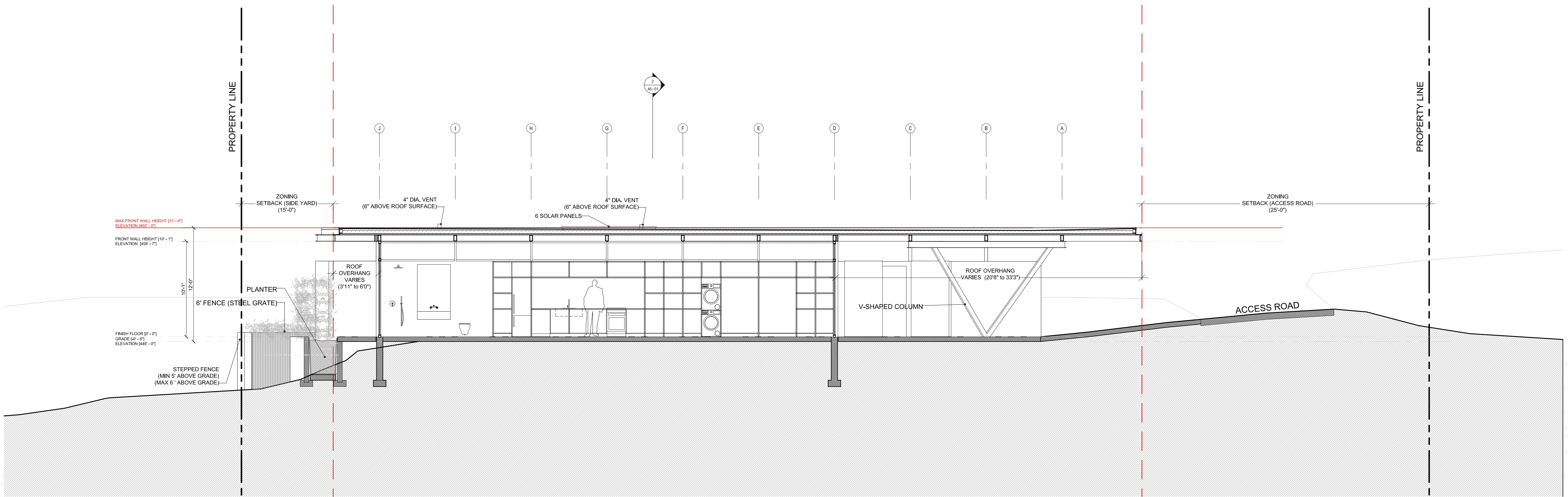
PROJECT #: 21003
DRAWN BY: CPN
SCALE: AS NOTED
DATE: JUNE 22, 2021

SHEET NUMBER:

A-105

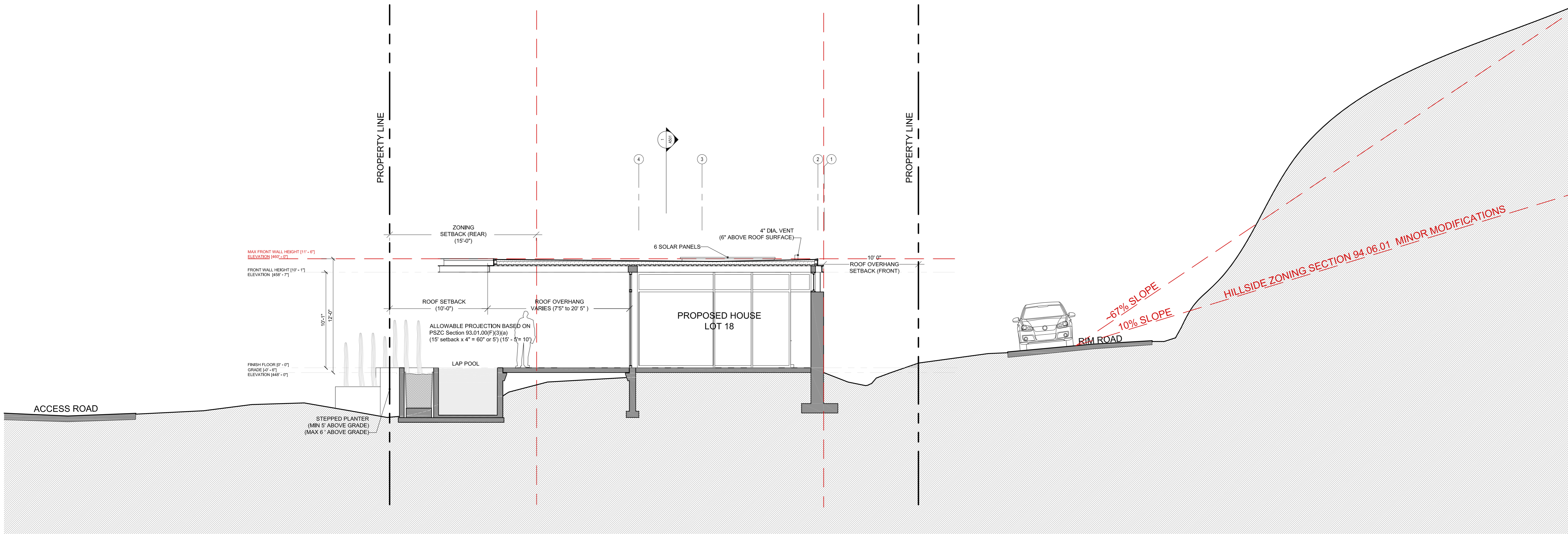


1 EXTERIOR LIGHTING PLAN
A105 3/16" = 1'-0"



1 SITE SECTION

A106 3/16" = 1'-0"



2 SITE SECTION

A106 3/16" = 1'-0"

ISSUE RECORD		
NO.	DESCRIPTION	DATE
3	SUBMITTED FOR MAJOR ARCH. REVIEW (REV1)	2021/07/27
2	SUBMITTED ADMINISTRATIVE MINOR MODIFICATION	2021/06/24
1	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021/06/22

CLIENT: Bob Faust
3616 N. Milwaukee Ave,
Chicago IL
60641

PROJECT NAME: RoCliff
(FAUST RESIDENCE)
2265 RIM ROAD

SITE SECTIONS

PROJECT #: 21093
DRAWN BY: CPA
SCALE: AS NOTED
DATE: JUNE 22, 2021

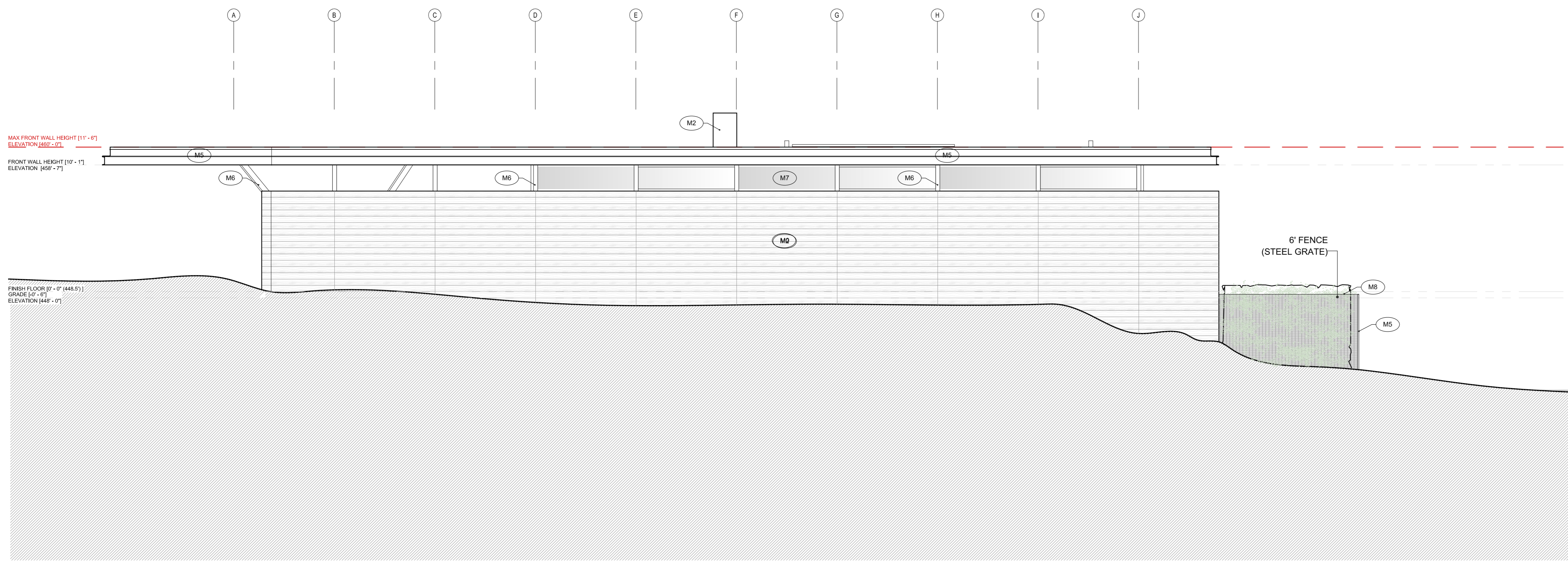
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A-106

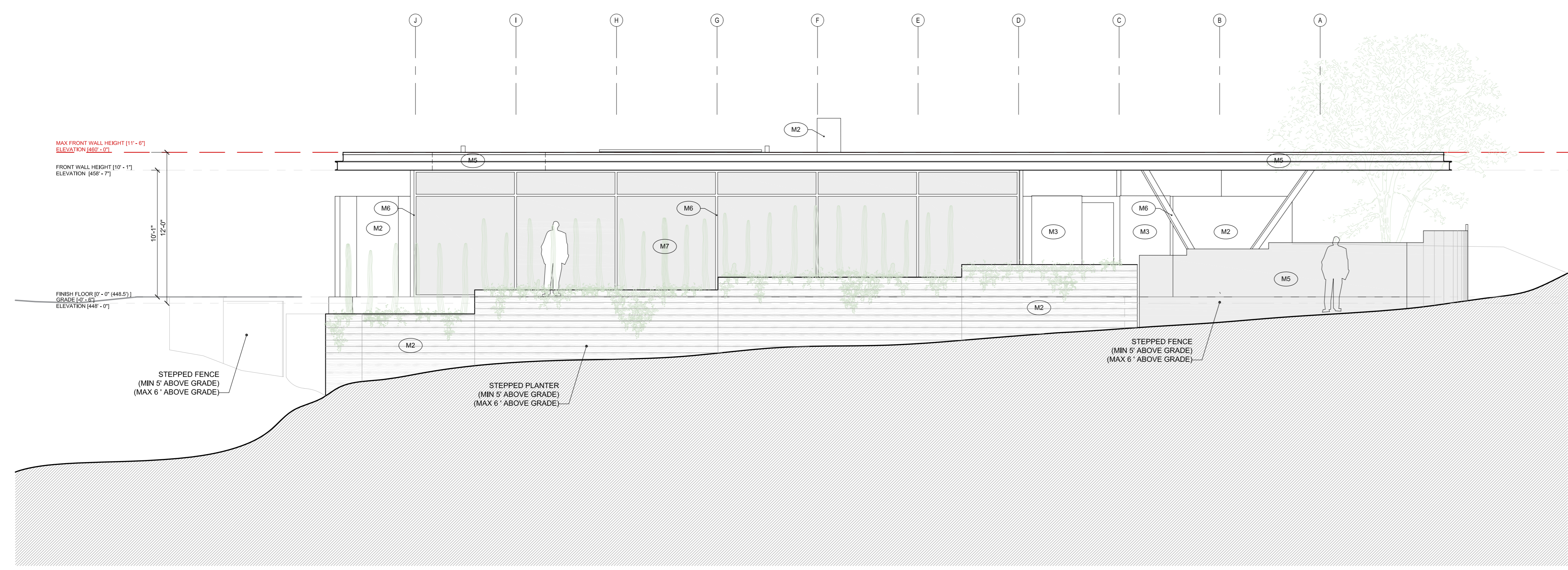
MATERIAL LEGEND	
M1	CONCRETE HARDSCAPE
M2	BOARD FORMED CONCRETE
M3	AC PLYWOOD
M4	INTERIOR WOOD SOFFIT
M5	CORTAN STEEL
M6	ANODIZED ALUMINIUM - BLACK
M7	CLEAR GLASS, LOW 'E'
M8	GALVANIZED STEEL GRATING

Carlo Parente Architecture Inc.

312-493-3419
www.carloparente.com



1 EAST ELEVATION
3/16" = 1'-0"



2 WEST ELEVATION
3/16" = 1'-0"

ARCHITECT OF RECORD

CONSULTANTS

ISSUE RECORD		
NO.	DESCRIPTION	DATE
3	SUBMITTED FOR MAJOR ARCH. REVIEW (REV1)	2021 / 07 / 27
2	SUBMITTED: ADMINISTRATIVE MINOR MODIFICATION	2021 / 06 / 24
1	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021 / 06 / 22

CLIENT:
Bob Faust
3616 N. Milwaukee Ave,
Chicago IL
60641

PROJECT NAME:
**RoCliff
(FAUST RESIDENCE)
2265 RIM ROAD**

SHEET NAME:
SITE ELEVATIONS

PROJECT #: 21003
DRAWN BY: CPN
SCALE: AS NOTED
DATE: JULY 22, 2020

SHEET NUMBER:

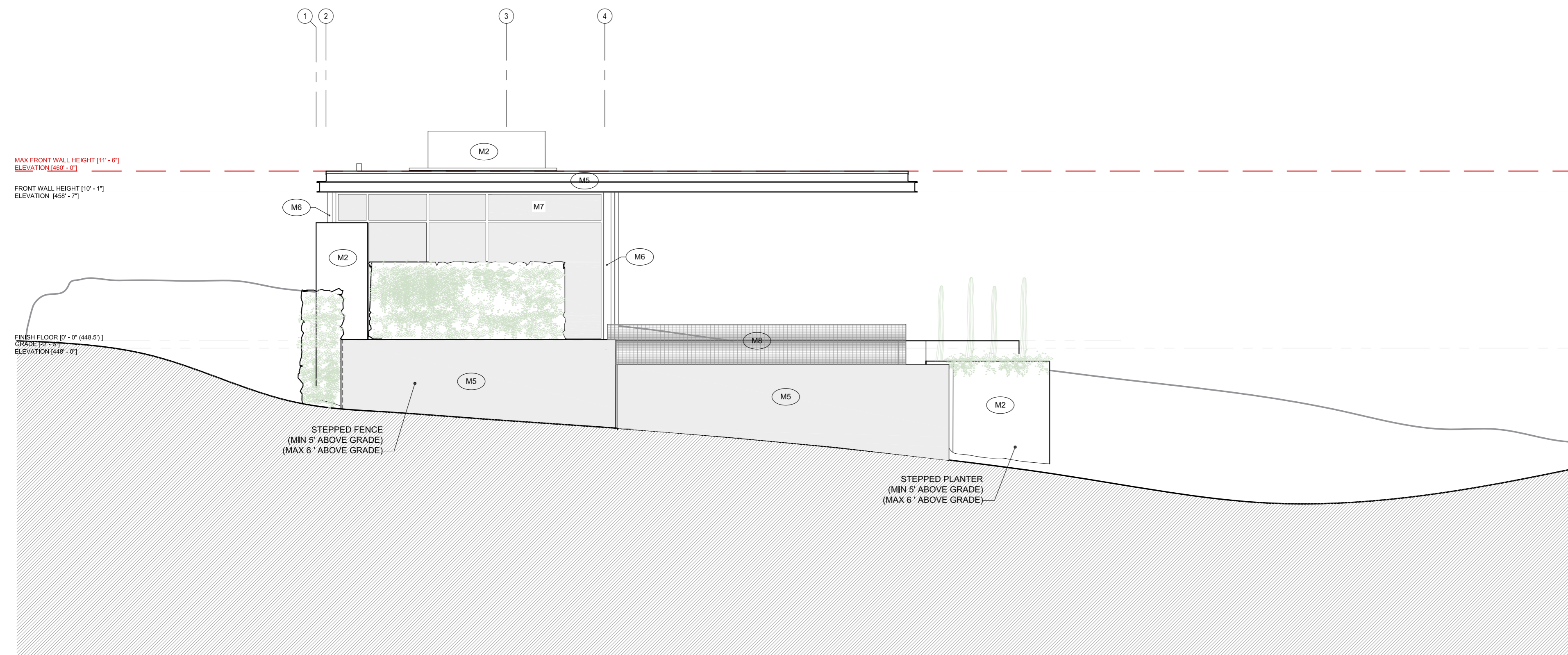
A-108

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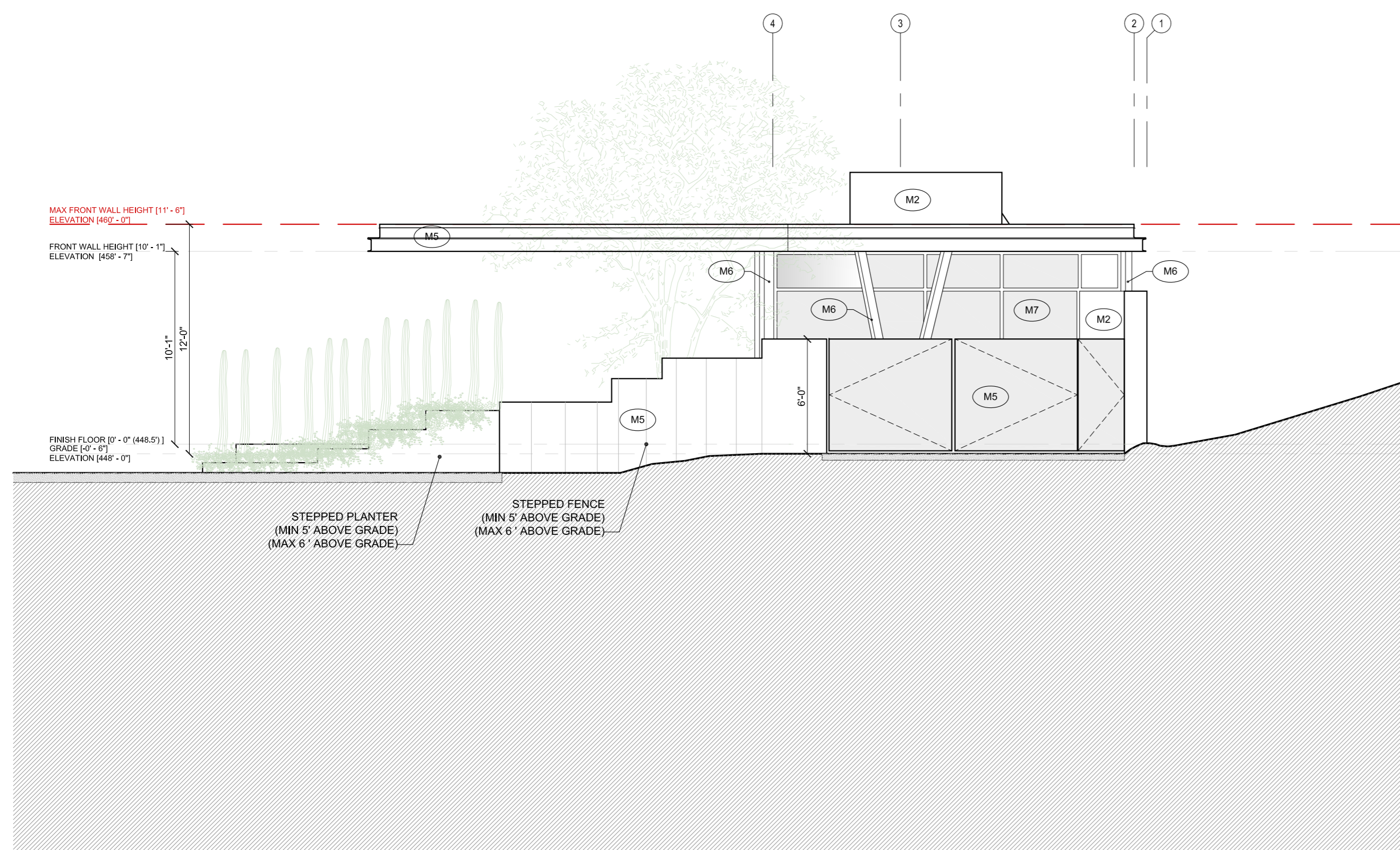
MATERIAL LEGEND	
M1	CONCRETE HARDSCAPE
M2	BOARD FORMED CONCRETE
M3	AC PLYWOOD
M4	INTERIOR WOOD SOFFIT
M5	CORTAN STEEL
M6	ANODIZED ALUMINIUM - BLACK
M7	CLEAR GLASS, LOW 'E'
M8	GALVANIZED STEEL GRATING

Carlo Parente Architecture Inc.

312-493-3419
www.carloparente.com



1 NORTH ELEVATION
A109 3/16" = 1'-0"



2 SOUTH ELEVATION
A109 3/16" = 1'-0"

ARCHITECT OF RECORD

CONSULTANTS

ISSUE RECORD

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CLIENT:

Bob Faust
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60641

PROJECT NAME:

RoCliff
(FAUST RESIDENCE)
2265 RIM ROAD

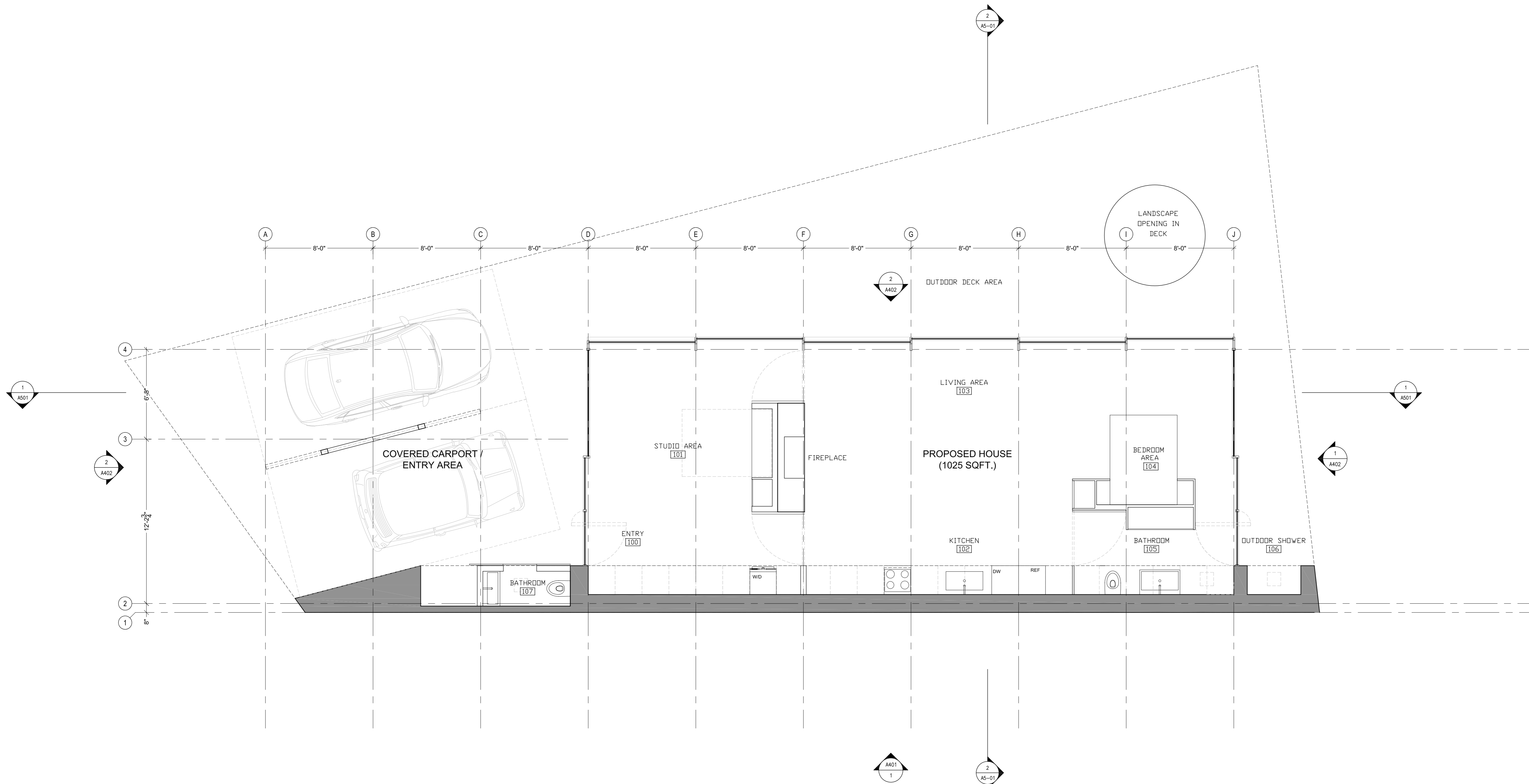
SHEET NAME:

SITE ELEVATIONS

PROJECT #: 21003
DRAWN BY: CPN
SCALE: AS NOTED
DATE: JULY 22, 2020

SHEET NUMBER:

A-109



ISSUE RECORD

NO.	DESCRIPTION	DATE
3	SUBMITTED FOR MAJOR ARCH. REVIEW (REV1)	2021 / 07 / 27
2	SUBMITTED FOR MINOR ARCHITECTURAL REVIEW	2021 / 06 / 22
1	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021 / 06 / 22

CLIENT:

Bob Faust
3616 N. Milwaukee Ave,
Chicago IL
60641

PROJECT NAME:

RoCliff
(FAUST RESIDENCE)
2265 RIM ROAD

SHEET NAME:

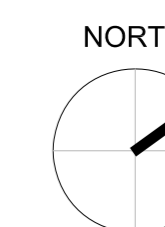
FLOOR PLANS

PROJECT #:

21003
DRAWN BY: CPAI
SCALE: AS NOTED
DATE: JUNE 21, 2021

SHEET NUMBER:

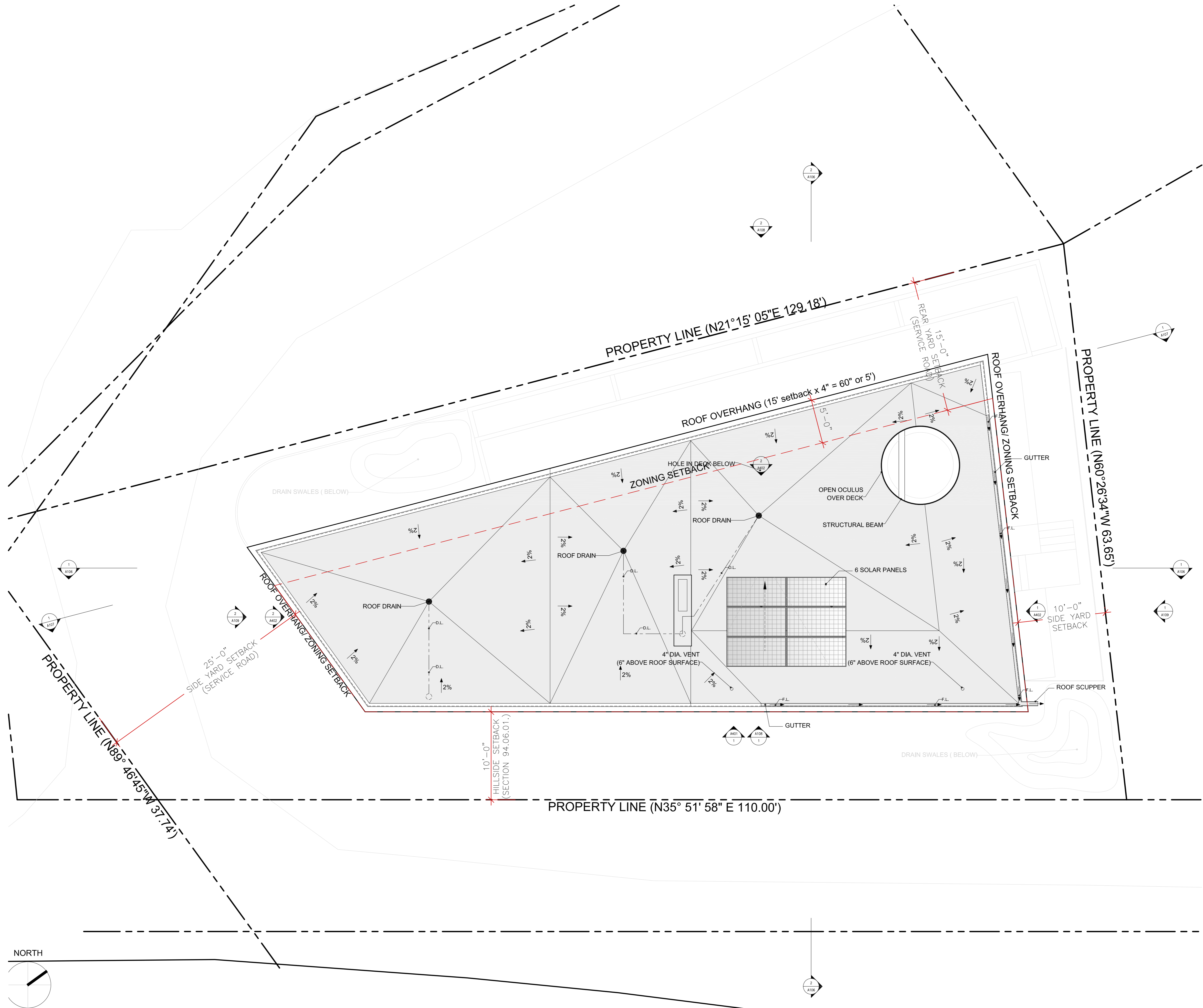
A-201



NORTH

ABBREVIATIONS:

T.O.W.	TOP OF WALL
T.O.F.	TOP OF FENCE
F.G.	FINISH GRADE
F.S.	FINISH SURFACE
F.F.	FINISH FLOOR
A.D.	AREA DRAIN
R.D.	ROOF DRAIN
D.CH.	DRAIN CHANNEL
F.L.	FLOW LINE



ISSUE RECORD

NO.	DESCRIPTION	DATE
2	SUBMITTED FOR MAJOR ARCH. REVIEW (REV1)	2021/07/27
1	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021/06/22

CLIENT:

Bob Faust
3616 N. Milwaukee Ave,
Chicago IL
60641

PROJECT NAME

RoCliff
(FAUST RESIDENCE)
2265 RIM ROAD

SHEET NAME:

ROOF PLAN

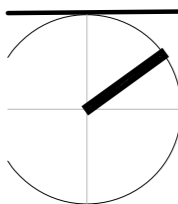
PROJECT #:

21093
DRAWN BY: CPN
SCALE: AS NOTED
DATE: JUNE 22, 2021

SHEET NUMBER:

A-202

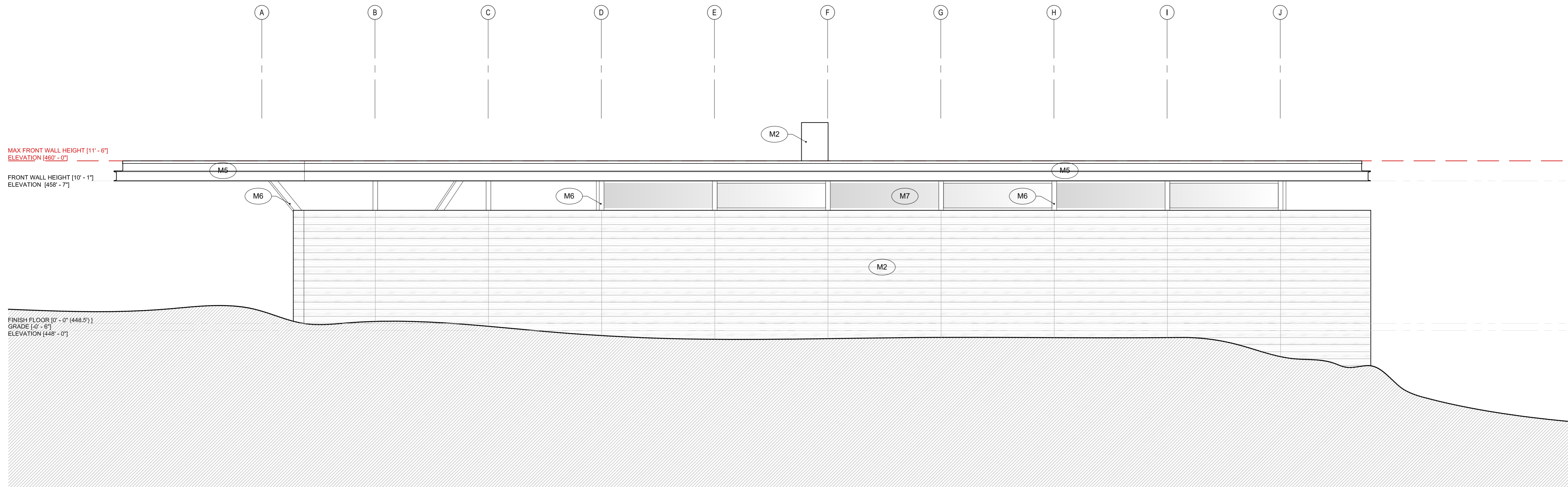
NORTH



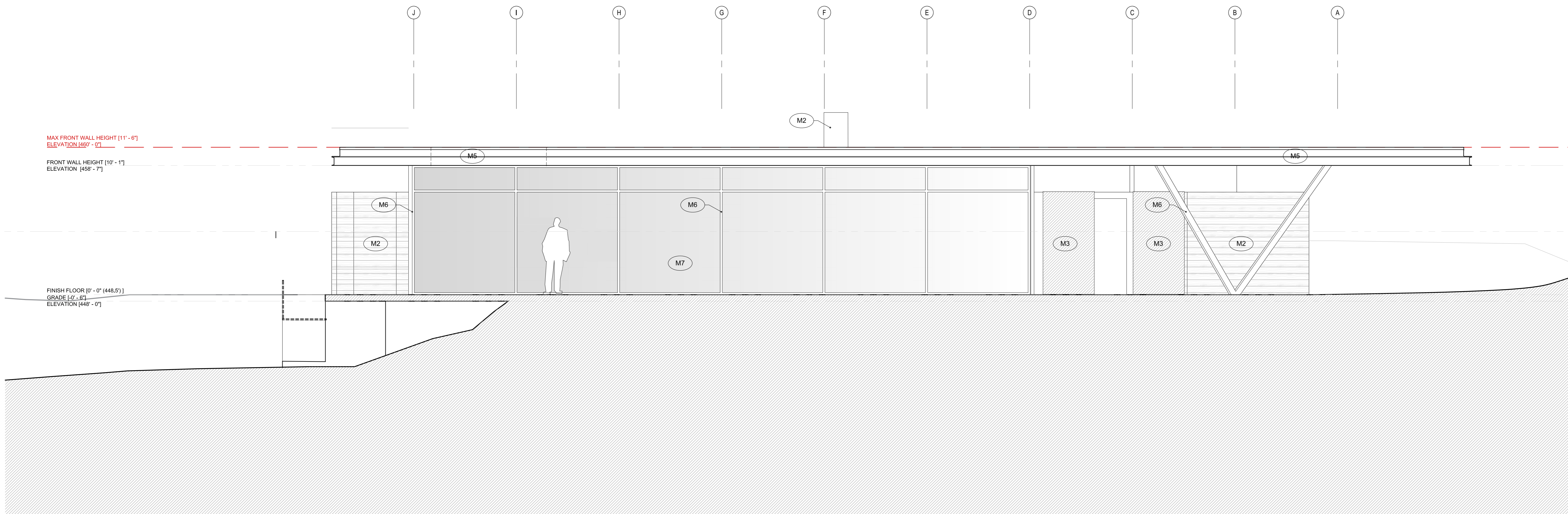
MATERIAL LEGEND	
M1	LARGE AGGREGATE CONCRETE
M2	BOARD FORMED CONCRETE
M3	AC PLYWOOD
M4	WOOD SOFFIT
M5	CORTAN STEEL
M6	ANODIZED ALUMINIUM - BLACK
M7	GLASS
M8	GALVANIZED STEEL GRATING

Carlo Parente Architecture Inc.

312-493-3419
www.carloparente.com



1 EAST ELEVATION
A401 1/4" = 1'-0"



2 WEST ELEVATION
A401 1/4" = 1'-0"

ARCHITECT OF RECORD

CONSULTANTS

ISSUE RECORD		
NO.	DESCRIPTION	DATE
3	SUBMITTED FOR MAJOR ARCH. REVIEW (REV1)	2021 / 07 / 27
2	SUBMITTED: ADMINISTRATIVE MINOR MODIFICATION	2021 / 06 / 24
1	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021 / 06 / 22

CLIENT:
Bob Faust
3616 N. Milwaukee Ave,
Chicago IL
60641

PROJECT NAME
RoCliff
(FAUST RESIDENCE)
2265 RIM ROAD

SHEET NAME:
BUILDING ELEVATIONS

PROJECT #: 21003
DRAWN BY: CPN
SCALE: AS NOTED
DATE: JULY 22, 2020

SHEET NUMBER:

A-401

FILE PATH:



1
A801
LOOKING EAST



2
A801
LOOKING NORTH



3
A801
LOOKING SOUTH-EAST



4
A801
LOOKING NORTH (GATE OPEN)

ARCHITECT OF RECORD

CONSULTANTS

ISSUE RECORD

NO.	DESCRIPTION	DATE
2	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021/06/22
1	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021/06/22

CLIENT:

Bob Faust
 3616 N. Milwaukee Ave,
 Chicago IL,
 60641

PROJECT NAME

RoCliff
 (FAUST RESIDENCE)
 2265 RIM ROAD

SHEET NAME:

3D PERSPECTIVE VIEWS

PROJECT #: 20004
 DRAWN BY: CPAJ
 SCALE: AS NOTED
 DATE: JUNE 21, 2021

SHEET NUMBER:

A-801

MATERIAL LEGEND	
M1	CONCRETE HARDSCAPE
M2	BOARD FORMED CONCRETE
M3	AC PLYWOOD
M4	INTERIOR WOOD SOFFIT
M5	CORTAN STEEL
M6	ANODIZED ALUMINIUM - BLACK
M7	CLEAR GLASS, LOW 'E'
M8	GALVANIZED STEEL GRATING

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ARCHITECT OF RECORD

CONSULTANTS



1 LOOKING SOUTH WEST (ABOVE)
A802



2 LOOKING NORTH-WEST (ABOVE)
A802

ISSUE RECORD		
NO.	DESCRIPTION	DATE
3	SUBMITTED FOR MAJOR ARCH. REVIEW (R1)	2021/07/27
2	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021/06/22
1	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021/06/22

CLIENT:
Bob Faust
3616 N. Milwaukee Ave,
Chicago IL
60641

PROJECT NAME
**RoCliff
(FAUST RESIDENCE)
2265 RIM ROAD**

SHEET NAME:
3D PERSPECTIVE VIEWS

PROJECT #: 21003
DRAWN BY: CPAJ
SCALE: AS NOTED
DATE: JULY 22, 2021

SHEET NUMBER:

A-802

ARCHITECT OF RECORD

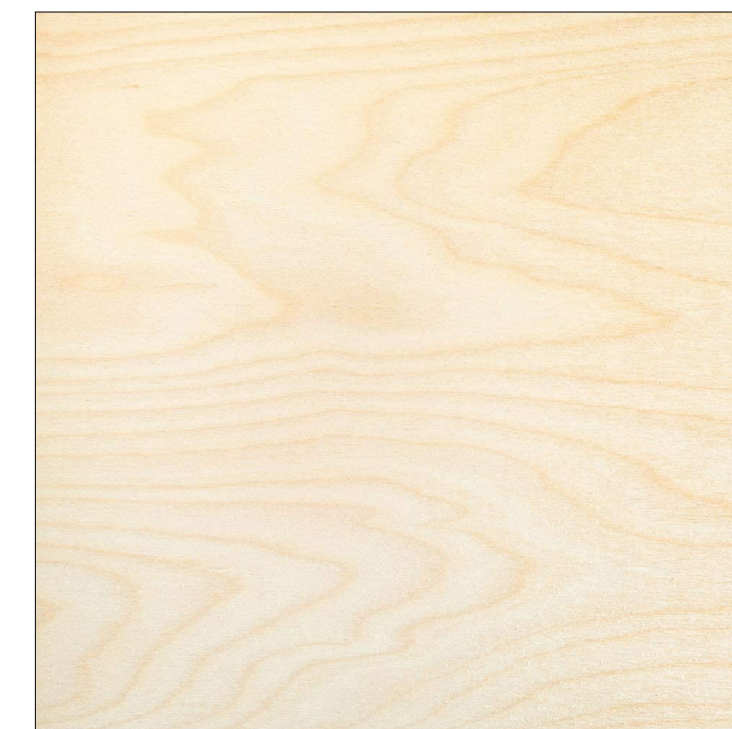
CONSULTANTS



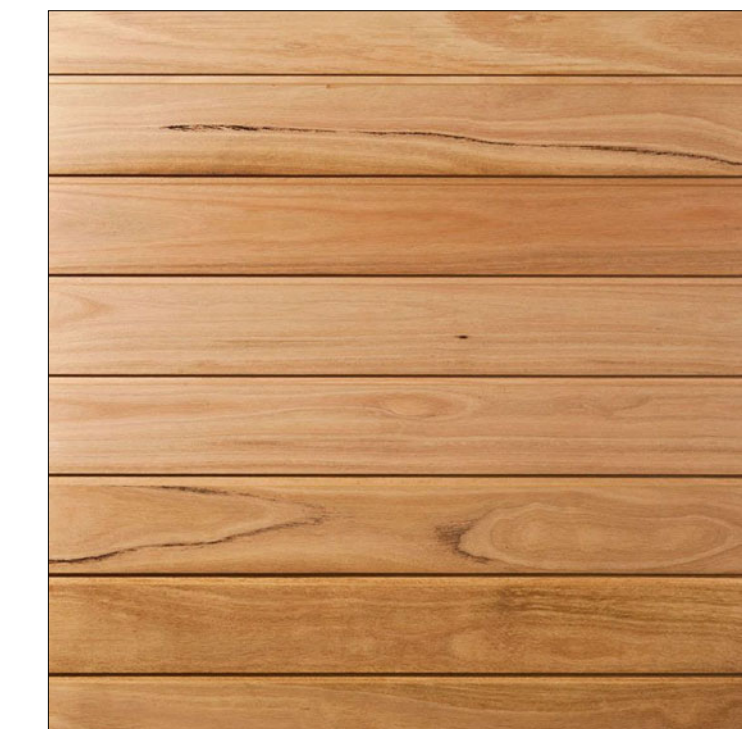
1 [M1] CONCRETE HARDSCAPE
A1001



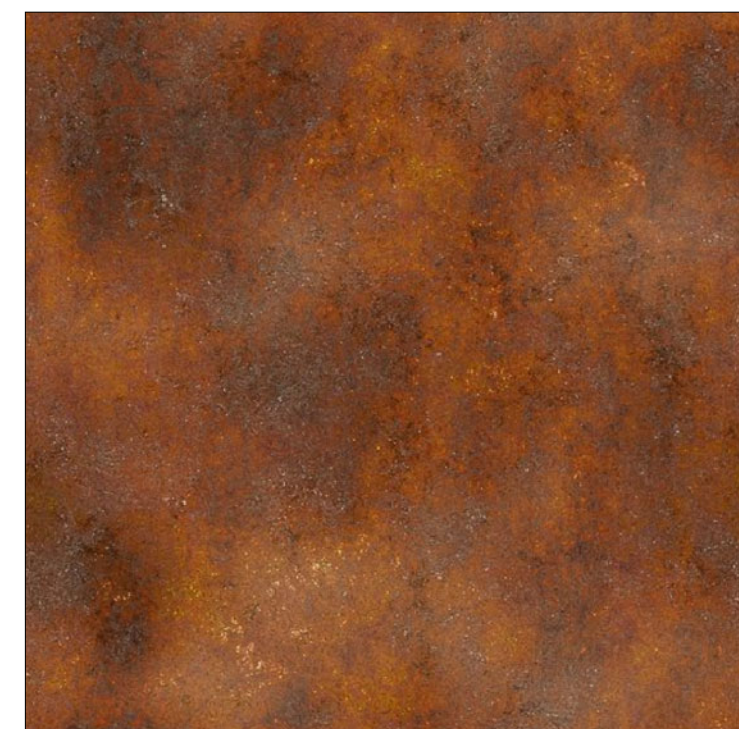
2 [M2] BOARD FORMED CONCRETE
A1001



3 [M3] AC PLYWOOD
A1001



4 [M4] WOOD SOFFIT
A1001



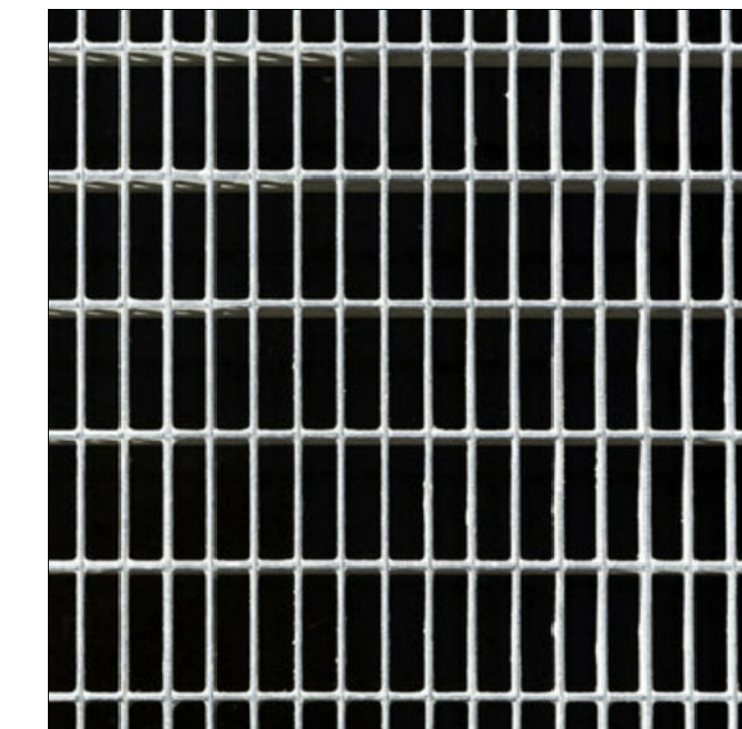
5 [M5] CORTAN STEEL
A1001



6 [M6] ANODIZED ALUMINIUM - BLACK
A1001



7 [M7] CLEAR GLASS, LOW 'E'
A1001



8 [M8] GALVANIZED STEEL GRATING
A1001

ISSUE RECORD		
NO.	DESCRIPTION	DATE
2	SUBMITTED: ADMINISTRATIVE MINOR MODIFICATION	2021/06/24
1	SUBMITTED FOR MAJOR ARCHITECTURAL REVIEW	2021/06/22

CLIENT: Bob Faust
3616 N. Milwaukee Ave,
Chicago IL
60641

PROJECT NAME: RoCliff
(FAUST RESIDENCE)
2265 RIM ROAD

SHEET NAME: COLOR & MATERIAL
SAMPLE BOARD

PROJECT #: 2004
DRAWN BY: CPAJ
SCALE: AS NOTED
DATE: JUNE 21, 2021

SHEET NUMBER:

A-1001