



ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: August 30, 2021

CONSENT AGENDA

SUBJECT: DANIEL NG, OWNER, REQUESTING A MAJOR ARCHITECTURAL APPLICATION AND ADMINISTRATIVE MINOR MODIFICATION APPLICATION FOR THE CONSTRUCTION OF 3,151-SQUARE FOOT SINGLE-FAMILY RESIDENCE WITH A BASEMENT AREA INCLUSIVE OF A GARAGE AND STORAGE AREA ON A CORNER HILLSIDE LOT LOCATED AT 775 CABRILLO ROAD (CASE 3.4275 MAJ & 7.1636 AMM), ZONE R-1-C, APN 504-052-006 (RB).

FROM: Development Services Department – Planning Division

PROJECT DESCRIPTION:

The applicant is proposing construction of a 3,151-square foot single family residence with a basement area on a 9,147-square foot corner hillside lot. The single-family residence will have a modern design. The building pad will be tiered due to the topography of the lot. An Administrative Minor Application is requested for modifications of the building envelope height standard due to the natural topography of the property, as well as setback reductions to three of the yards due to a sub-standard lot size for the R-1-C zone. (Note these applications were received prior to the new architectural review ordinance and are being processed under the prior ordinance.)

RECOMMENDATION:

Recommend approval by the Planning Commission as presented.

BACKGROUND INFORMATION:

| <i>Neighborhood Meeting/Neighborhood Notice</i> | |
|---|---|
| 07/15/2021 | Notice mailed by staff to adjacent property owners notifying that the subject application had been filed with the Planning Division, in accordance with 93.13.00 of the Zoning Code. |
| 08/19/2021 | Notice mailed by staff to adjacent property owners notifying that the subject project would be reviewed by the Architectural Review Committee on August 30, 2021. |
| 08/26/2021 | The surrounding neighborhood organizations within a mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on August 30, 2021. |

STAFF ANALYSIS:

| <i>Site Area</i> | |
|------------------|------------|
| Net Acres | 0.21 Acres |

| <i>General Plan and Zoning Designations</i> | | |
|---|--------------------------|-------------------|
| <i>General Plan Designation</i> | <i>Permitted Density</i> | <i>Compliance</i> |
| VLDR | 2.1 – 4.0 DU/AC | Y |
| <i>Zoning Designation</i> | | |
| R-1-C | | |

Development Standards:

Pursuant to PSZC Section 92.01.03, the following development standards apply:

| <i>Standard</i> | <i>Required/Allowed</i> | <i>Provided</i> | <i>Compliance</i> |
|-----------------------|-------------------------|-----------------|-------------------|
| Min. Setbacks | | | |
| • Front | 25 Feet | 20 Feet | Y with an AMM |
| • Side Front (east) | 25 Feet | 20 Feet | Y with an AMM |
| • Side (west) | 10 Feet | 10 Feet | Y |
| • Rear | 15 Feet | 12 Feet | Y with an AMM |
| Max. Lot Coverage | 35% | 34% | Y |
| Max. Building Height | 18 Feet | 20.3 Feet | Y with an AMM |
| Building Separation | 6 Feet | N/A | Y |
| Perimeter Wall Height | | | |
| • North | N/A | N/A | N/A |
| • South | N/A | N/A | N/A |
| • East | N/A | N/A | N/A |
| • West | N/A | N/A | N/A |
| Parking | 2 spaces (covered) | 2 spaces | Y |

Hillside Review Criteria:

PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

| | <i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i> | <i>Compliance</i> |
|----|--|---------------------|
| 1. | <i>Rock and soil exposure;</i> The proposed dwelling is nestled into a naturalized desert setting where additional desert landscape is proposed. | Y |
| 2. | <i>Size of building pad;</i> The proposed dwelling is an L-shaped footprint and fits harmoniously on the site, respecting the natural setting. The proposed height and setback requests are complimentary to the setting. | Y, (with an AMM) |
| 3. | <i>Design considerations, such as supporting stilts, colors and building arrangement;</i> The proposed home is modern in its design incorporating neutral overall color with subtle color for design accenting. | Y |
| 4. | <i>Screening of parking areas;</i> Parking is proposed in an enclosed 2-car garage. The garage is partially underground; however, still visible from Girasol Avenue. | Y |
| 5. | <i>Landscaping plans;</i> The project proposes drought-tolerant plant species in a naturalized desert setting. | Y |
| 6. | <i>Continuity with surrounding development;</i> The proposed pad height is consistent with the surrounding development. The pad height is lower than the structure to the west. Size and massing of adjacent properties are approximately 3000 square feet and are comparable to the new structure. | Y |
| 7. | <i>Sensitivity to existing view corridors.</i> The home is nestled into the site such that it respects the easterly views from the homes to the west and the southern views from the homes to the north. | Y |

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(D) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

| | <i>Criteria and Findings [PSZC 94.04.00(D)]</i> | <i>Compliance</i> |
|----|--|-------------------|
| 1. | <i>Site layout, orientation, location of structures and relationship to one another and to open spaces and topography. Definition of pedestrian and vehicular areas; i.e., sidewalks as distinct from parking lot areas.</i> | Y |

| | <i>Criteria and Findings [PSZC 94.04.00(D)]</i> | <i>Compliance</i> |
|----|---|-------------------|
| | The single-family residence will be designed in an L-shape as to orient the rear yard and pool areas for privacy. The structure orientation will help with prevailing winds from the north and east. Proposed construction to consist of a subterranean lower level due to the topography of the site. Distinctive entry way for pedestrians will have an architectural feature, adjacent but separate from vehicular access. | |
| 2. | <i>Harmonious relationship with existing and proposed adjoining developments and in the context of the immediate neighborhood/community, avoiding both excessive variety and monotonous repetition, but allowing similarity of style, if warranted;</i> With the modern design being proposed, the residence will enhance the vacant parcel and contribute to the variety of neighboring structures. Due to topography, the new residence will be harmonious with adjacent development. | Y |
| 3. | <i>Maximum height, area, setbacks and overall mass, as well as parts of any structure (buildings, walls, screens, towers or signs) and effective concealment of all mechanical equipment;</i> The lot is substandard in square footage as such Staff is recommending that the Planning Commission determine building height from adjacent finished grade as defined in PSZC 91.00.10. Additionally, to allow for the proposed square-footage, setback reductions are proposed. The home does exceed the maximum allowable building height at the setbacks for the R-1 zone and requires an AMM application. Mechanical equipment is proposed in the rear yard setback areas and is concealed by masonry walls. | Y (with an AMM) |
| 4. | <i>Building design, materials and colors to be sympathetic with desert surroundings;</i> The project is of modern design with light gray and dark gray plaster cement finish on the exterior walls. Materials to include bronze anodized frame windows, tubular steel entry screen and natural wood veneer will aid in blending into the surrounding desert environment. | Y |
| 5. | <i>Harmony of materials, colors and composition of those elements of a structure, including overhangs, roofs, and substructures which are visible simultaneously;</i> The home is predominantly clad stucco finish with harmonious colors and textures on all elevations. Eave structures and flat roof aid in solar control and protecting interior privacy and view corridors. | Y |
| 6. | <i>Consistency of composition and treatment;</i> In general, there is consistency with the proposed colors and materials. | Y |

| | <i>Criteria and Findings [PSZC 94.04.00(D)]</i> | <i>Compliance</i> |
|----|--|-------------------|
| 7. | <i>Location and type of planting, with regard for desert climate conditions. Preservation of specimen and landmark trees upon a site, with proper irrigation to insure maintenance of all plant materials;</i> | Y |
| | The project consists of a variety of drought tolerant vegetation all of which can be found in the Coachella Valley Water Districts Lush and Efficient handbook. Natural boulders are proposed throughout the site. The project will be required to irrigate plant materials in accordance with the City's water efficient landscape ordinance. | |
| 8. | <i>Signs and graphics, as understood in architectural design including materials and colors.</i> | N/A |
| | N/A | |

Administrative Minor Modification Findings:

PSZC Section 94.04.01(B)(3) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

- *The requested minor modification is consistent with the general plan, applicable specific plan(s) and overall objectives of the zoning ordinance;*

The project as proposed is consistent with the General Plan. With approval of the Administrative Minor Modification overall objective to the zoning code will be met.

- *The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the minor modification;*

The adjacent properties will not be adversely affected by the approval of the minor modification due to the topography of this corner hillside lot. The proposed pad height is consistent and lower than the adjacent property development.

- *The approval or conditional approval of the minor modification will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity; and*

The approval of this modification will not create any health and safety or general welfare challenges to any persons residing or working on the site or vicinity. The new construction will meet all required Building and Safety code standards to ensure public health and safety.

- *The approval of the minor modification is justified by environmental features, site conditions, location of existing improvements, or historic development patterns of the property or neighborhood.*

The approval of this minor modification is justified by the sub-standard condition regarding lot size and topography due the hillside location. The R-1-C lot requires a minimum lot width of 100 feet, lot depth of 100 feet, and lot size of 10,000 square-feet. The home is proposed on a lot 84 feet deep, 89 feet wide and 9,147 square feet in size. Therefore, the approval of the minor modification is justified by site conditions.

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”), and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Single-Family Residence).

CONCLUSION:

The proposed single-family home is designed to integrate with the topography and natural features of the site. The structure conforms to the development standards as outlined with conditions of approval of an Administrative Minor Modification. The proposed development will be compatible with the character of adjacent and surrounding development, and is of good composition, materials, textures, and colors. Staff recommends approval to the Planning Commission.

| | |
|--------------|--|
| PREPARED BY: | Richard Bruno, Planning Technician |
| REVIEWED BY: | David Newell, Assistant Director of Planning |

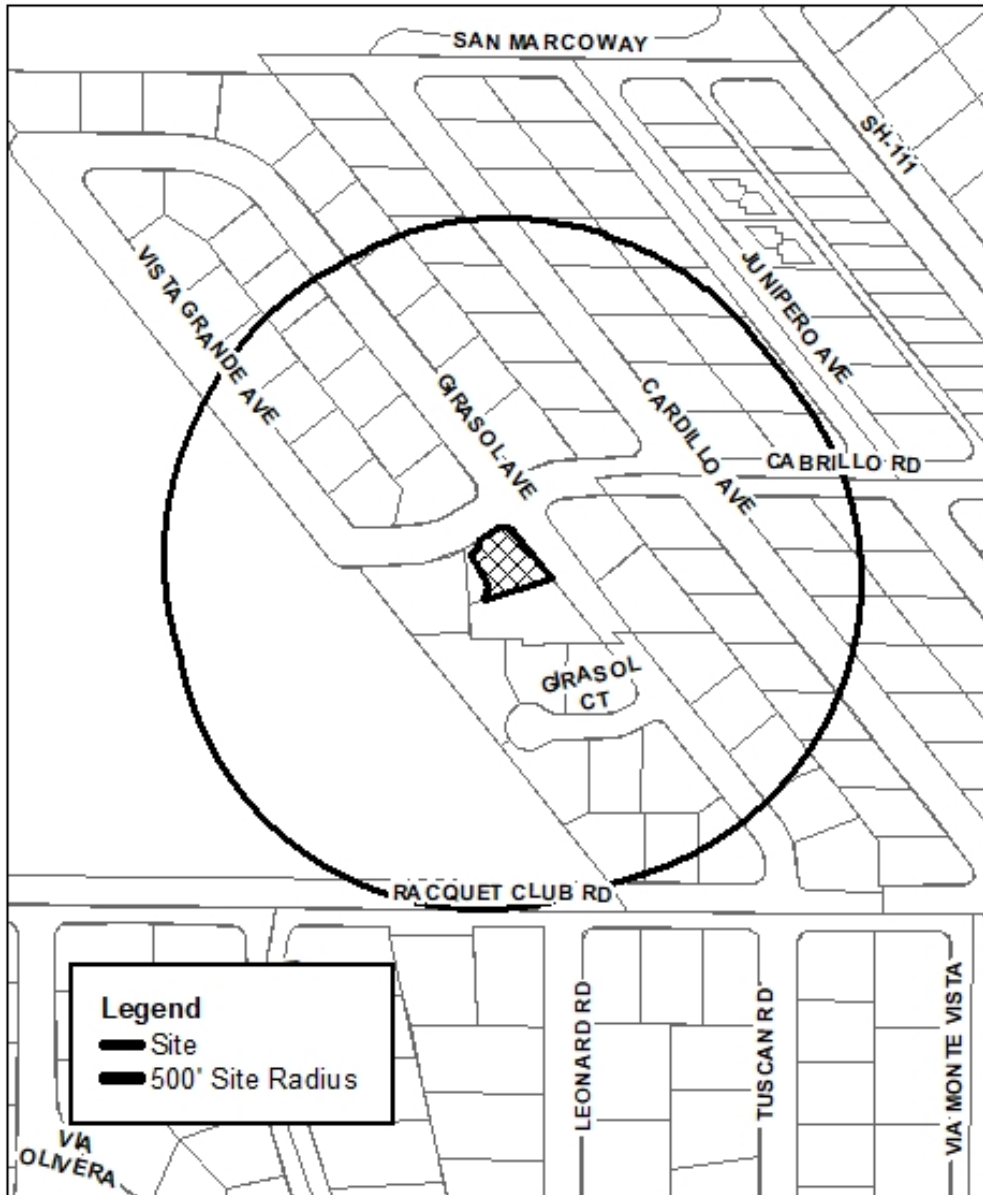
ATTACHMENTS:

- A. Vicinity Map
- B. Project Plans

ATTACHMENT A



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS
3.4275 – MAJ
775 Cabrillo Road – New SFR

ATTACHMENT B



NG RESIDENCE

PALM SPRINGS, CA 92262

VICINITY MAP
SCALE: N.T.S.



SCHEDULE OF DRAWINGS:

- A0.0 COVER SHEET
- A0.1 MATERIALS BOARD
- C1.0 EXISTING TOPOGRAPHIC SURVEY
- L1.0 SITE LANDSCAPE PLAN
- A1.0 SITE GRADING PLAN
- A1.1 FLOOR PLANS
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS
- A3.1 SITE SECTIONS
- A7.1 ROOF PLAN

GENERAL PROJECT INFORMATION:

OWNER:
DANIEL NG
-

ARCHITECT:
o2 ARCHITECTURE
1089 N. PALM CANYON DR.
PALM SPRINGS, CA 92262
P: (760) 778-8165

PROPERTY INFORMATION:

LOT INFO:

LEGAL DESCRIPTION: LOT 14, MB 021/033
TOWNSHIP/RANGE:
APN: 504 052 006
LOT SIZE: 9,147 SF (.21 ACRES)
ZONING / LANDUSE: R-1-C (HILLSIDE PER PSMC 92.01.03)

SETBACKS:

FRONT YARD (NORTH): 25 FEET (20 FEET - REDUCTION PER AMM)
SIDE FRONT YARD (EAST): 25 FEET (20 FEET - REDUCTION PER AMM)
SIDE YARD (WEST): 10 FEET
REAR YARD (SOUTH): 15 FEET (12 FEET - REDUCTION PER AMM)

BUILDING INFORMATION:

TYPE OF CONSTRUCTION: TYPE V-B
SPRINKLERS: YES / PER SECTION R313.2
BUILDING HEIGHT / NUMBER OF STORIES: 20 FEET 3 INCHES, 2 STORY
BUILDING SITE COVERAGE AREA: 2,391 sf / 9,147 sf = 26%

AREA TABULATION:

| | TOTAL |
|-------------|----------|
| MAIN HOUSE | 2,318 sf |
| LOWER LEVEL | 833 sf |
| GRAND TOTAL | 3,151 sf |

EXTERIOR COVERAGE:
COVERED PATIOS AND SHADE STRUCTURES: 533 sf

SCOPE OF WORK:

NEW TWO-STORY, 3-BEDROOM, 3.5-BATHROOM SINGLE FAMILY RESIDENCE WITH ATTACHED 2-CAR GARAGE, POOL, LANDSCAPE, HARDSCAPE, GRADING, DRAINAGE, AND UTILITIES ON A VACANT LOT.





Perspective View - Front



Perspective View - Rear



Material Legend

Site Wall

SW-1 PRECISION CMU, MEDIUM WEIGHT
TYPE: 8" HIGH FINNING SCND
MANUF: ANGELLUS
COLOR: LEGENDARY GRAY DE6369

Hardscape

H-1 CONCRETE FLAT WORK
FINISH: SAND WASHED
COLOR: NATURAL GRAY

Ground Cover

S-1 GRAY RIVER ROCK
TYPE: 3/8" RIVER ROCK
COLOR: GRAPHITE GRAY (SOUTHWEST BOULDER)

Exterior Finishes

EW-1 PLASTER WALL FINISH
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: DOVE GRAY 40

EW-2 PRECISION CMU, MEDIUM WEIGHT
TYPE: 8" HIGH FINNING SCND
MANUF: ANGELLUS
COLOR: LEGENDARY GRAY DE6369
GARAGE DOOR PAINTED TO MATCH

EW-3 NATURAL WOOD VENEER
MANUF: PARKLEX
COLOR: GRAPHITE

EW-4 BRAKE METAL CLADDING
MATERIAL: ALUMINUM BREAK METAL
FINISH: ANODIZED
COLOR: TO MATCH WINDOW FRAMES

EW-5 WINDOW ASSEMBLY
FRAME MATERIAL: ALUMINUM
FRAME COLOR: BRONZE ANODIZED
GLAZING: LOW 'E' CLEAR

EW-6 TUBE STEEL ENTRY SCREEN
FINISH: PAINTED
COLOR: COOL DECEMBER DEW383

Ceiling

EC-1 PLASTER SOFFIT
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: DOVE GRAY 40

Fascia

FC-1 PLASTER FASCIA
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: TUXEDO

Roof

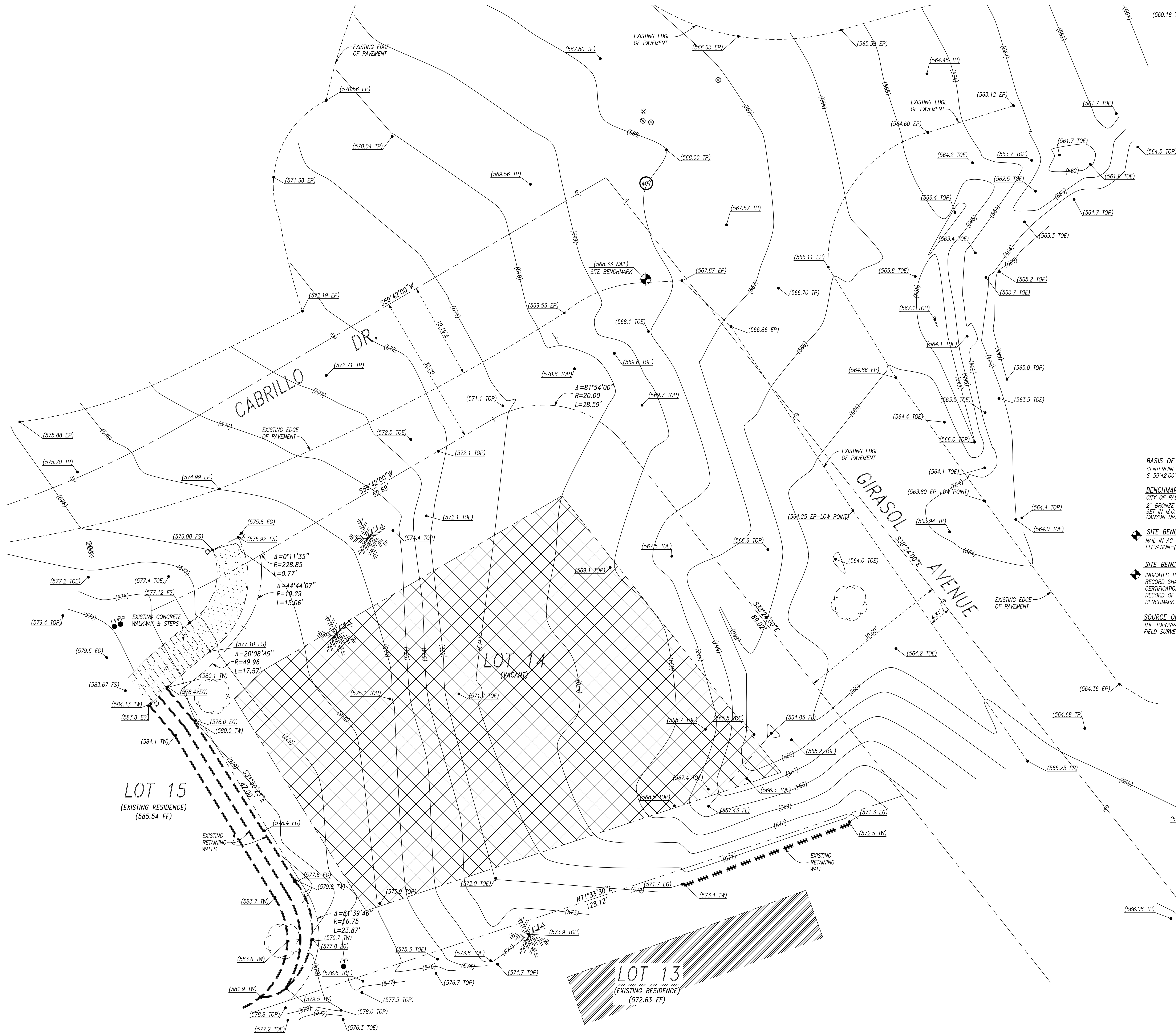
RF-1 SINGLE-PLY ROOFING SYSTEM
MANUF: FIBERTITE
COLOR: CR GRAY

RF-2 STEEL ROOF LOUVERS
MATERIAL: HSS 2x6x3/16
FINISH: PAINTED
COLOR: COOL DECEMBER DEW383

RF-3 SOLAR PANELS
INSTALL: MIN. SLOPE

In the City of Palm Springs

Topographic Survey Map



LEGEND & ABBREVIATIONS:

- C CENTERLINE
- PLP PROPERTY LINE
- H.P. HIGH POINT
- G.B. GRADE BREAK
- E.G. EXISTING GROUND
- F.G. FINISH GRADE
- F.S. FINISH SURFACE
- F.F. FINISH FLOOR ELEVATION
- P.P. PAD ELEVATION
- P PLANTER
- T.W. TOP OF WALL
- T.R.W. TOP OF RETAINING WALL
- W.S. WATER SURFACE
- B.W. BOTTOM OF WALL
- T.F. TOP OF FOOTING
- B.F. BOTTOM OF FOOTING
- R/W RIGHT-OF-WAY
- D/W DRIVEWAY
- T.C. TOP OF CURB
- F.L. FLOW LINE
- E.P. EDGE OF EXISTING PAVEMENT
- T.P. TOP OF PAVEMENT
- T.G. TOP OF GRATE
- INV INVERT ELEVATION
- [G] CHISELED ON CURB
- [S] CHISELED ON CURB
- [E] CHISELED ON CURB
- (99.9) EXISTING ELEVATION
- 99.9 PROPOSED ELEVATION
- PROPERTY LINE / RIGHT-OF-WAY
- CENTERLINE
- (99) EXISTING CONTOUR
- 99 FINISH CONTOUR
- DRAINAGE SWALE
- EXISTING SLOPE
- FINISH SLOPE
- EXISTING CURB AND GUTTER
- EXISTING RETAINING WALL/DEEPEMED FOOTING
- EXISTING RETAINING WALL/DEEPEMED FOOTING
- EXISTING BLOCK WALL
- PROPOSED BLOCK WALL
- SHEET FLOW
- CONCRETE
- COLUMN
- WATER METER
- FIRE HYDRANT
- POWER POLE
- WATER VALVE
- IRRIGATION CONTROL VALVE
- MANHOLE
- TREE
- PALM TREE

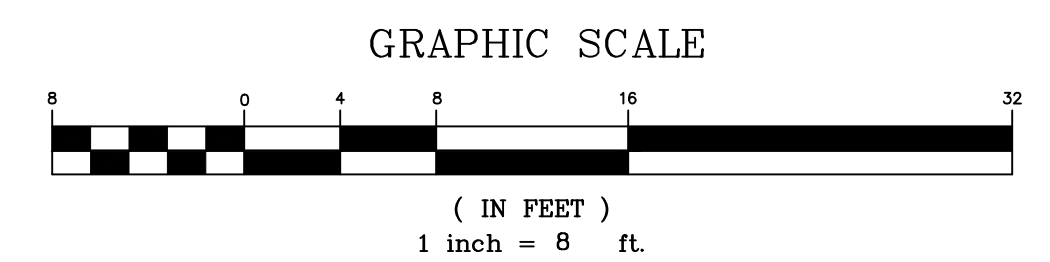
BASIS OF BEARINGS:
 CENTERLINE OF CABRILLO DR.
 S 59°42'00" W, PER MB 21/33

BENCHMARK:
 CITY OF PALM SPRINGS #3-14 ELEVATION=630.278
 2" BRONZE DISK STAMPED (CPS 3-14 RESET 1981)
 SET IN M.O.C. OF NW CURB RETURN AT NORTH PALM
 CANYON DR. AND RACQUET CLUB DR.

SITE BENCHMARK:
 NAIL IN AC @ EDGE OF PAVEMENT AT MOC.
 ELEVATION=(568.33 NAIL)

SITE BENCHMARK:
 INDICATES THE BENCHMARK AT THE SITE WHICH THE ENGINEER OF
 RECORD SHALL USE TO CERTIFY PAD ELEVATION AND FINAL GRADING
 CERTIFICATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF
 RECORD OF ANY DISCREPANCIES BETWEEN THIS BENCHMARK AND THE
 BENCHMARK USED BY THE CONTRACTOR PRIOR TO ANY GRADING.

SOURCE OF TOPOGRAPHY:
 THE TOPOGRAPHY SHOWN HEREON WAS OBTAINED BY A
 FIELD SURVEY BY FEIRO ENGINEERING, INC ON 3/25/14



FEIRO ENGINEERING, INC.
 Civil Engineering Land Surveying
 P.O. Box 12980, Palm Desert, California 92255
 (760) 346-8015, (760) 346-8015, (760) 346-2548
 www.feiro.net
 PREPARED UNDER THE DIRECT SUPERVISION OF:
 Ronald K. Feiro R.C.E. 52260 DATE

In the City of Palm Springs
Topographic Survey Map
 Lot 14, Amended Map of Chino Vista
 Per MB 21/33; APN 504-052-006

SHEET NUMBER: 1
 OF 1 SHEETS
 DWG FILE: 265s3ip01
 LAYOUT: 1601
 JOB NUMBER: 265s-003

| SYMBOL | QTY | FIXTURE | LIGHT SOURCE | COMMENTS |
|--------|-----|---|-----------------|---|
| | 8 | PB-1LED-FB-Fixture Electrical: 12v | 4W LED / 2700K | By FX Luminaire, Accent Light |
| | 2 | FR-1LED-FB-Fixture Electrical: 12v | 4W LED / 2700K | By FX Luminaire, Tree Uplight |
| | 3 | Big Theo Wall Fixture Electrical: 100-240v | 42W LED / 3000K | By SLV Lighting, Flood Up/Down Light |
| | 11 | Entra CL 3" LED Fixture Electrical: 120v or 277v | 12W LED / 2700K | By Tech Lighting, Down Light |
| | 1 | SL64D Fixture Electrical: 12-120v | 3W LED / 3000K | By Focus Industries, Cube Down Light |

LIGHTING NOTE:
ALL LIGHTING FIXTURES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND DETAILS.

Lighting Legend

| IMAGE | SYMBOL | QTY | NAME | SIZE | IMAGE | SYMBOL | QTY | NAME | SIZE |
|-------|--------|-----|--|-----------|-------|--------|-----|--|-----------------------|
| | | 4 | Common: Chilean Mesquite Scientific: Prosopis Chilensis | 48" Box | | | TBD | Common: Regal Mist Scientific: Muhlenbergia Capillaris | 5 Gal. |
| | | 2 | Common: Mexican Fan Palm Scientific: Washingtonia Robusta | 12 to 18" | | | TBD | Common: Pink Powder Puff Scientific: Calliandra (Climbing) | |
| | | TBD | Common: Beaked Yucca Scientific: Yucca Rostrata | 25 Gal. | | | 4 | Common: Mexican Fence Post Scientific: Pachycereus Marginatus | |
| | | TBD | Common: Century Plant Scientific: Agave Americana | 5 Gal. | | | TBD | Local Boulders 36" To 48" | Selected by Architect |

Planting Legend



Site Landscape Plan

Scale: 1/8" = 1'-0"

Material Legend

- Site Wall**
 - SW-1: PRECISION CMU, MEDIUM WEIGHT
TYPE: 8" HIGH RISING SOUND
MANUF: ANGELUS
COLOR: LEGENDARY GRAY DE6369
- Hardscape**
 - H-1: CONCRETE FLAT WORK
FINISH: SAND WASHED
COLOR: NATURAL GRAY
- Ground Cover**
 - G-1: GRAY RIVER ROCK
TYPE: 3/8" RIVER ROCK
COLOR: GRAPHITE GRAY (SOUTHWEST BOULDER)
- Exterior Finishes**
 - EW-1: PLASTER WALL FINISH
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: DOVE GRAY 40
 - EW-2: PRECISION CMU, MEDIUM WEIGHT
TYPE: 8" HIGH RISING SOUND
MANUF: ANGELUS
COLOR: LEGENDARY GRAY DE6369
GARAGE DOOR PAINTED TO MATCH
 - EW-3: NATURAL WOOD VENEER
MANUF: PARKLEX
COLOR: GRAPHITE
 - EW-4: BRAKE METAL CLADDING
MATERIAL: ALUMINUM BREAK METAL
FINISH: ANODIZED
COLOR: TO MATCH WINDOW FRAMES
 - EW-5: WINDOW ASSEMBLY
FRAME MATERIAL: ALUMINUM
FRAME COLOR: BRONZE ANODIZED
GLAZING: LOW E CLEAR
 - EW-6: TUBE STEEL ENTRY SCREEN
FINISH: PAINTED
COLOR: COOL DECEMBER DEW383
- Ceiling**
 - EC-1: PLASTER SOFFIT
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: DOVE GRAY 40
- Fascia**
 - FC-1: PLASTER FASCIA
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: TUXEDO
- Roof**
 - RF-1: SINGLE-PLY ROOFING SYSTEM
MANUF: FIBERTITE
COLOR: CR GRAY
 - RF-2: STEEL ROOF LOUVERS
MATERIAL: HSS 2x6x3/16
FINISH: PAINTED
COLOR: COOL DECEMBER DEW383
 - RF-3: SOLAR PANELS
INSTALL: MIN. SLOPE



Architecture
1089 n. palm canyon dr.
suite_b
Palm Spring_CA 92252
tel _ 760 778 8165
www.o2arch.com



Project Title:
Ng Residence
Address:
Cabrillo Drive
Palm Springs, CA
92262

Schematic Design
-not for construction-

sheet description:
Site Landscape Plan
Scale: 3/16"=1'-0"
date: 08_12_2021
L1.0

Material Legend

Site Wall

- SW-1 PRECISION CMU, MEDIUM WEIGHT
TYPE: 8" HIGH RUNNING BOND
MANUF: ANGELUS
COLOR: LEGENDARY GRAY DE6369

Hardscape

- H-1 CONCRETE FLAT WORK
FINISH: SAND WASHED
COLOR: NATURAL GRAY

Ground Cover

- S-1 GRAY RIVER ROCK
TYPE: 3/8" RIVER ROCK
COLOR: GRAPHITE GRAY (SOUTHWEST BOULDER)

Exterior Finishes

- EW-1 PLASTER WALL FINISH
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: DOVE GRAY 40
- EW-2 PRECISION CMU, MEDIUM WEIGHT
TYPE: 8" HIGH RUNNING BOND
MANUF: ANGELUS
COLOR: LEGENDARY GRAY DE6369
GARAGE DOOR PAINTED TO MATCH
- EW-3 NATURAL WOOD VENEER
MANUF: PARKLEX
COLOR: GRAPHITE
- EW-4 BRAKE METAL CLADDING
MATERIAL: ALUMINUM BREAK METAL
FINISH: ANODIZED
COLOR: TO MATCH WINDOW FRAMES
- EW-5 WINDOW ASSEMBLY
FRAME MATERIAL: ALUMINUM
FRAME COLOR: BRONZE ANODIZED
GLAZING: LOW E CLEAR
- EW-6 TUBE STEEL ENTRY SCREEN
FINISH: PAINTED
COLOR: COOL DECEMBER DEW383

Ceiling

- EC-1 PLASTER SOFFIT
TYPE: 3 COAT PORTLAND CEMENT
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COLOR: DOVE GRAY 40

Fascia

- FC-1 PLASTER FASCIA
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: TUXEDO

Roof

- RF-1 SINGLE-PLY ROOFING SYSTEM
MANUF: FIBERTITE
COLOR: CR GRAY
- RF-2 STEEL ROOF LOUVERS
MATERIAL: HSS 2x6x3/16
FINISH: PAINTED
COLOR: COOL DECEMBER DEW383
- RF-3 SOLAR PANELS
INSTALL: MIN. SLOPE

SITE LEGEND:

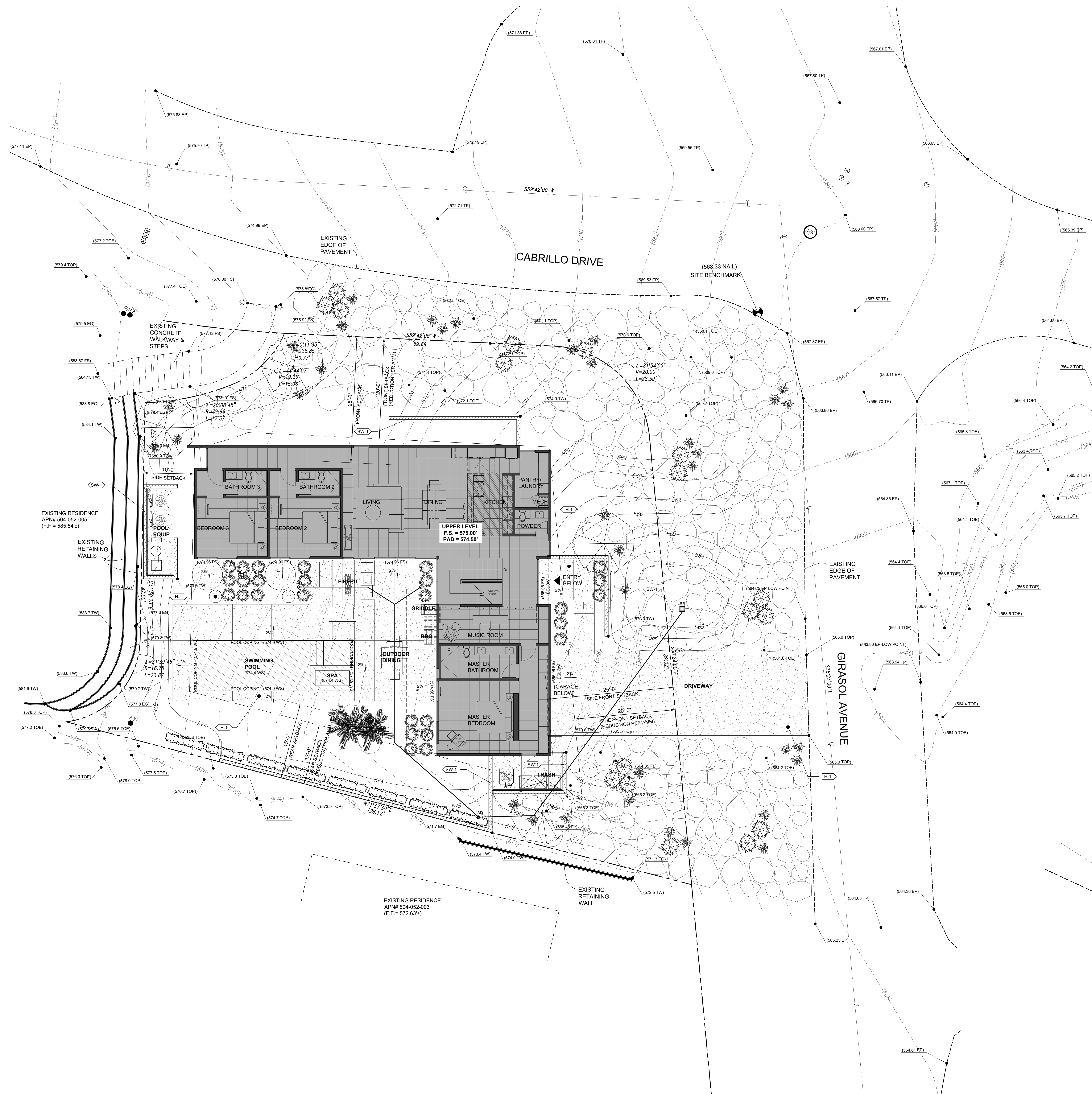
- CONCRETE HARDSCAPE
- GARDEN WALL (RETAINING)
- HOME ENTRY

GRADING LEGEND:

- FP = FINISH PAD
- FS = FINISH SURFACE
- FG = FINISH GRADE
- TW = TOP OF WALL / FENCE
- EG = EXISTING GROUND
- EP = EDGE OF EXISTING PAVEMENT
- TP = TOP OF PAVEMENT
- FL = FLOW LINE
- PP = POWER POLE
- WM = WATER METER
- AD = AREA DRAIN
- BB = BUBBLER BOX

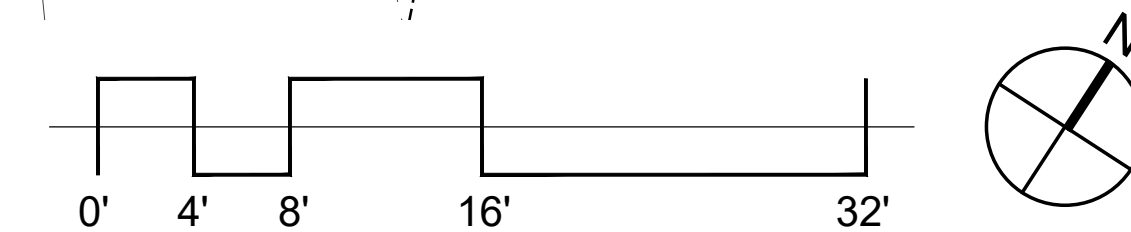
TOPO LEGEND:

- PROPERTY LINE
- SETBACK LINE
- EXISTING TOPO LINE
- PROPOSED TOPO LINE
- DRAINAGE FLOW LINE
- 6" PVC UNDERGROUND DRAIN PIPE, 1% SLOPE MIN.
- EXISTING PAVEMENT
- STREET CENTERLINE



Site Grading Plan

Scale: 1/8" = 1'-0"



Architecture

1089 n. palm canyon dr.
suite_b
Palm Spring_CA 92252
tel _ 760 778 8165
www.o2arch.com



Project Title:

Ng Residence

Address:

Cabrillo Drive
Palm Springs, CA
92262

Schematic Design
-not for construction-

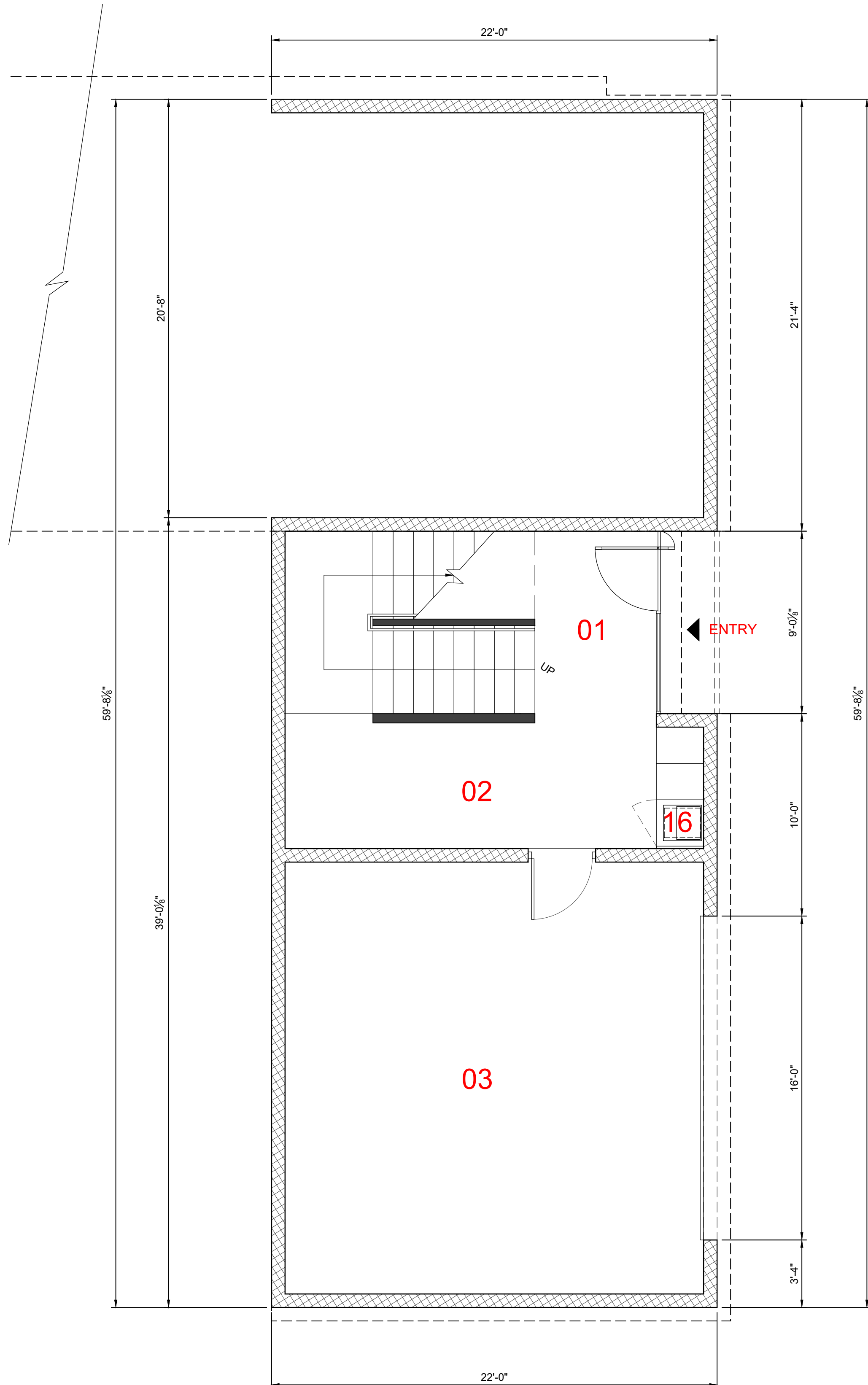
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Site Grading Plan

Scale: As Noted

date: 06_18_2021

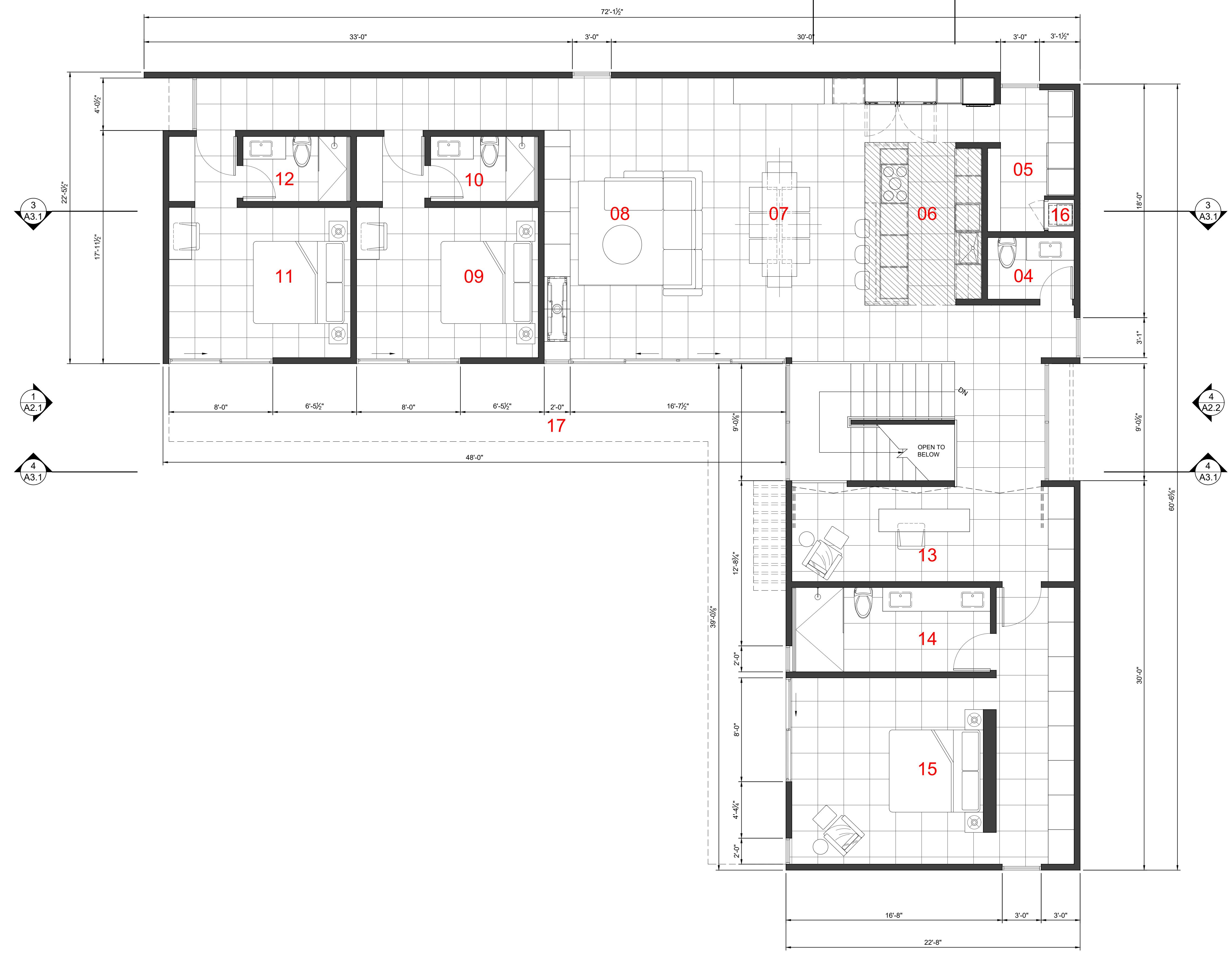
A1.0



Lower Building Level

Scale: 1/4" = 1'-0"

- LEGEND:**
- 01 ENTRY FOYER
 - 02 STORAGE
 - 03 GARAGE
 - 04 POWDER
 - 05 PANTRY/LAUNDRY
 - 06 KITCHEN
 - 07 DINING
 - 08 LIVING
 - 09 BEDROOM 2
 - 10 BATHROOM 2
 - 11 BEDROOM 3
 - 12 BATHROOM 3
 - 13 MUSIC ROOM
 - 14 MASTER BATHROOM
 - 15 MASTER BEDROOM
 - 16 MECHANICAL
 - 17 FIREPIT



Main Building Level

Scale: 1/4" = 1'-0"

Material Legend

- Site Wall**
 - SW-1 PRECISION CMU, MEDIUM WEIGHT
TYPE: 8" HIGH RIBBING SCND
MANUF: ANGELUS
COLOR: LEGENDARY GRAY DE6369
- Hardscape**
 - H-1 CONCRETE FLAT WORK
FINISH: SAND WASHED
COLOR: NATURAL GRAY
- Ground Cover**
 - S-1 GRAY RIVER ROCK
TYPE: 3/8" RIVER ROCK
COLOR: GRAPHITE GRAY (SOUTHWEST BOULDER)
- Exterior Finishes**
 - EW-1 PLASTER WALL FINISH
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: DOVE GRAY 40
 - EW-2 PRECISION CMU, MEDIUM WEIGHT
TYPE: 8" HIGH RIBBING SCND
MANUF: ANGELUS
COLOR: LEGENDARY GRAY DE6369
GARAGE DOOR PAINTED TO MATCH
 - EW-3 NATURAL WOOD VENEER
MANUF: PARKLEX
COLOR: GRAPHITE
 - EW-4 BRAKE METAL CLADDING
MATERIAL: ALUMINUM BREAK METAL
FINISH: ANODIZED
COLOR: TO MATCH WINDOW FRAMES
 - EW-5 WINDOW ASSEMBLY
FRAME MATERIAL: ALUMINUM
FRAME COLOR: BRONZE ANODIZED
GLAZING: LOW E CLEAR
 - EW-6 TUBE STEEL ENTRY SCREEN
FINISH: PAINTED
COLOR: COOL DECEMBER DEW383
- Ceiling**
 - EC-1 PLASTER SOFFIT
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: DOVE GRAY 40
- Fascia**
 - FC-1 PLASTER FASCIA
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: TUXEDO
- Roof**
 - RF-1 SINGLE-PLY ROOFING SYSTEM
MANUF: FIBERTITE
COLOR: CR GRAY
 - RF-2 STEEL ROOF LOUVERS
MATERIAL: HSS 2x6x3/16
FINISH: PAINTED
COLOR: COOL DECEMBER DEW383
 - RF-3 SOLAR PANELS
INSTALL: MIN. SLOPE



Architecture
1089 n. palm canyon dr.
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Palm Spring_CA 92252
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Project Title:
Ng Residence
Address:
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Palm Springs, CA
92262

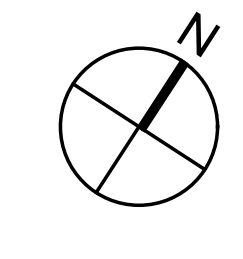
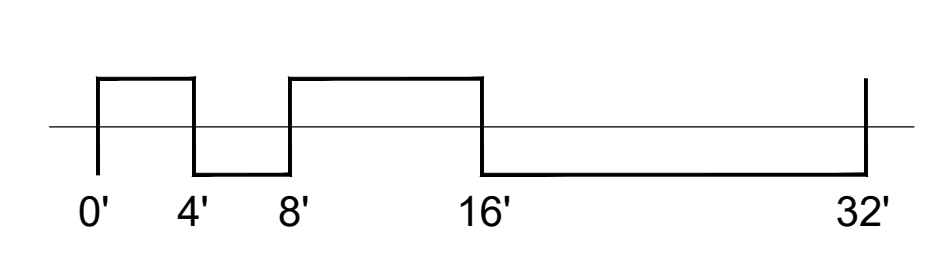
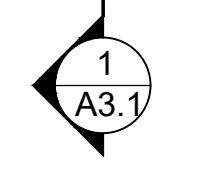
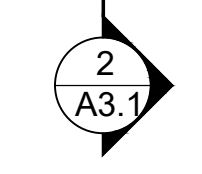
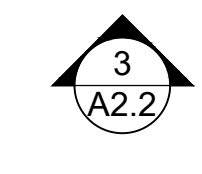
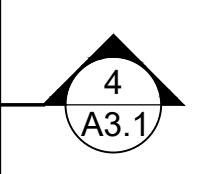
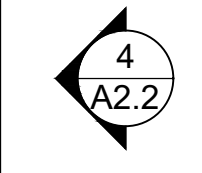
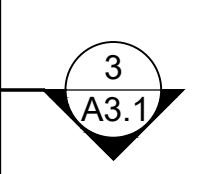
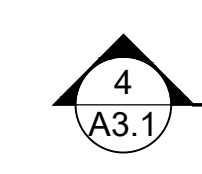
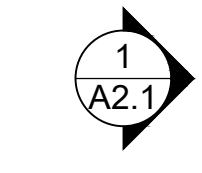
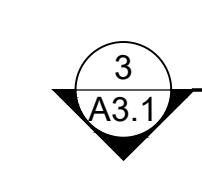
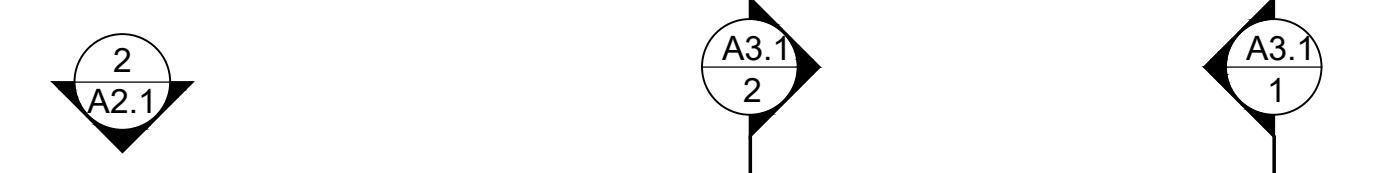
Schematic Design
-not for construction-

sheet description:

Floor Plans
Scale: 1/4"=1'-0"

date: 06_18_2021

A1.1



Material Legend

Site Wall

SW-1 PRECISION CMU, MEDIUM WEIGHT
TYPE: 8" HIGH RUNNING BOND
MANUF: ANGELUS
COLOR: LEGENDARY GRAY DE6369

Hardscape

H-1 CONCRETE FLAT WORK
FINISH: SAND WASHED
COLOR: NATURAL GRAY

Ground Cover

S-1 GRAY RIVER ROCK
TYPE: 3/8" RIVER ROCK
COLOR: GRAPHITE GRAY (SOUTHWEST BOULDER)

Exterior Finishes

EW-1 PLASTER WALL FINISH
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: DOVE GRAY 40

EW-2 PRECISION CMU, MEDIUM WEIGHT
TYPE: 8" HIGH RUNNING BOND
MANUF: ANGELUS
COLOR: LEGENDARY GRAY DE6369
GARAGE DOOR PAINTED TO MATCH

EW-3 NATURAL WOOD VENEER
MANUF: PARKLEX
COLOR: GRAPHITE

EW-4 BRAKE METAL CLADDING
MATERIAL: ALUMINUM BREAK METAL
FINISH: ANODIZED
COLOR: TO MATCH WINDOW FRAMES

EW-5 WINDOW ASSEMBLY
FRAME MATERIAL: ALUMINUM
FRAME COLOR: BRONZE ANODIZED
GLAZING: LOW E CLEAR

EW-6 TUBE STEEL ENTRY SCREEN
FINISH: PAINTED
COLOR: COOL DECEMBER DEW383

Ceiling

EC-1 PLASTER SOFFIT
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: DOVE GRAY 40

Fascia

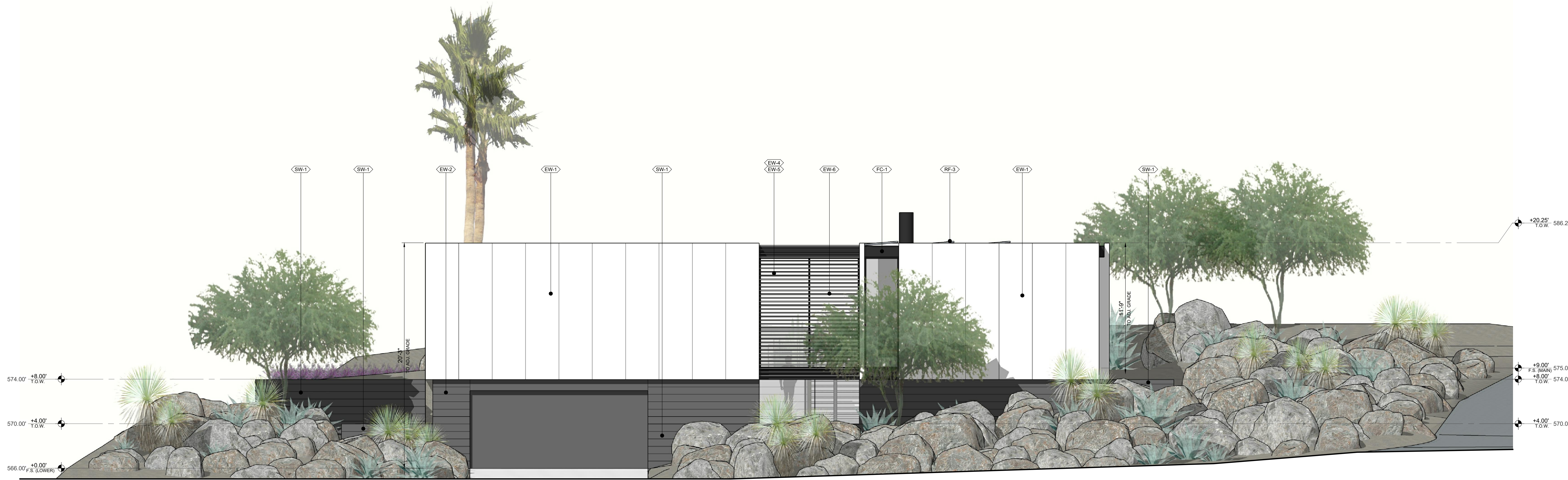
FC-1 PLASTER FASCIA
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: TUXEDO

Roof

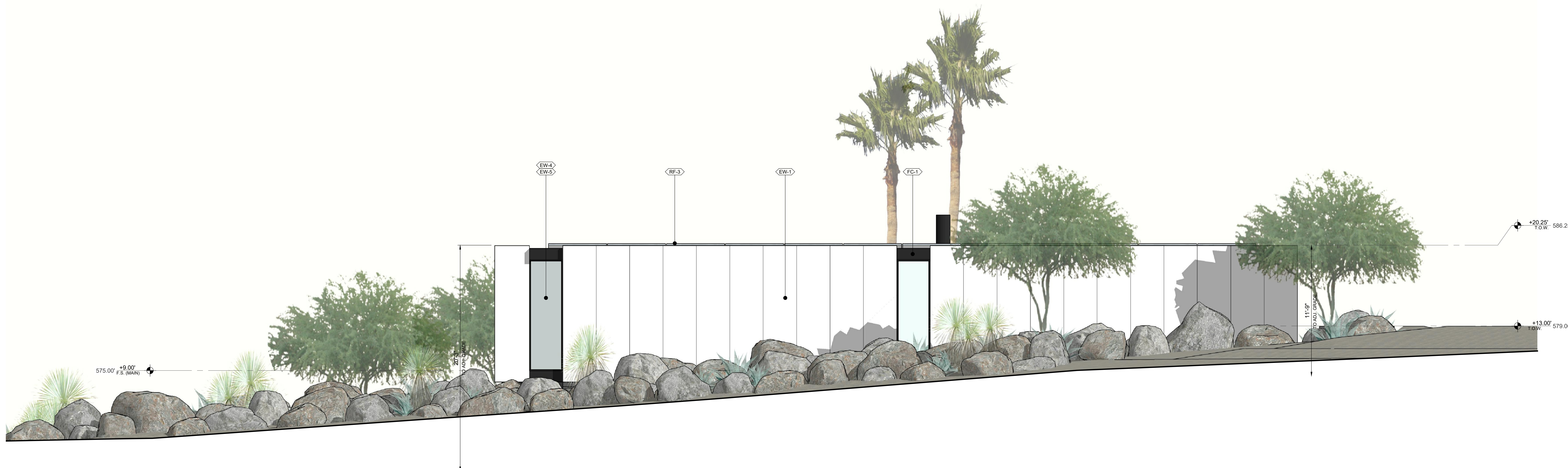
RF-1 SINGLE-PLY ROOFING SYSTEM
MANUF: FIBERTITE
COLOR: CR GRAY

RF-2 STEEL ROOF LOUVERS
MATERIAL: HSS 2x6x3/16
FINISH: PAINTED
COLOR: COOL DECEMBER DEW383

RF-3 SOLAR PANELS
INSTALL: MIN. SLOPE



East - Exterior Elevation (1)
(Girasol Street View)



North - Exterior Elevation (2)
(Cabrillo Street View)



West - Exterior Elevation 3



South - Exterior Elevation 4

Material Legend

Site Wall

- SW-1 PRECISION CMU, MEDIUM WEIGHT
TYPE: 8" HIGH RISING BOND
MANUF: ANGELUS
COLOR: LEGENDARY GRAY DE6369

Hardscape

- H-1 CONCRETE FLAT WORK
FINISH: SAND WASHED
COLOR: NATURAL GRAY

Ground Cover

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TYPE: 3/8" RIVER ROCK
COLOR: GRAPHITE GRAY (SOUTHWEST BOULDER)

Exterior Finishes

- EW-1 PLASTER WALL FINISH
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: DOVE GRAY 40
- EW-2 PRECISION CMU, MEDIUM WEIGHT
TYPE: 8" HIGH RISING BOND
MANUF: ANGELUS
COLOR: LEGENDARY GRAY DE6369
GARAGE DOOR PAINTED TO MATCH
- EW-3 NATURAL WOOD VENEER
MANUF: PARKLEX
COLOR: GRAPHITE
- EW-4 BRASS METAL CLADDING
MATERIAL: ALUMINUM BREAK METAL
FINISH: ANODIZED
COLOR: TO MATCH WINDOW FRAMES
- EW-5 WINDOW ASSEMBLY
FRAME MATERIAL: ALUMINUM
FRAME COLOR: BRONZE ANODIZED
GLAZING: LOW 'E' CLEAR
- EW-6 TUBE STEEL ENTRY SCREEN
FINISH: PAINTED
COLOR: COOL DECEMBER DEW383

Ceiling

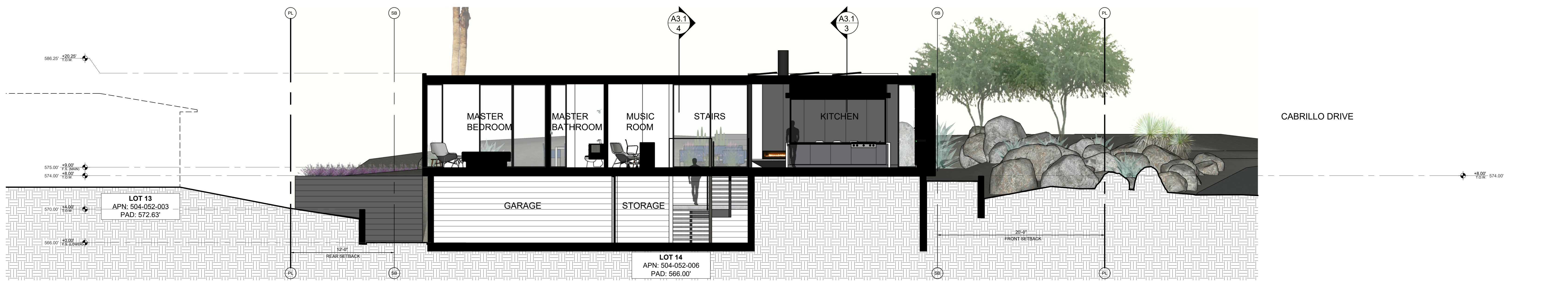
- EC-1 PLASTER SOFFIT
TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: DOVE GRAY 40

Fascia

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TYPE: 3 COAT PORTLAND CEMENT
FINISH: ACRYLIC COATING
MANUF: LA HABRA
COLOR: TUXEDO

Roof

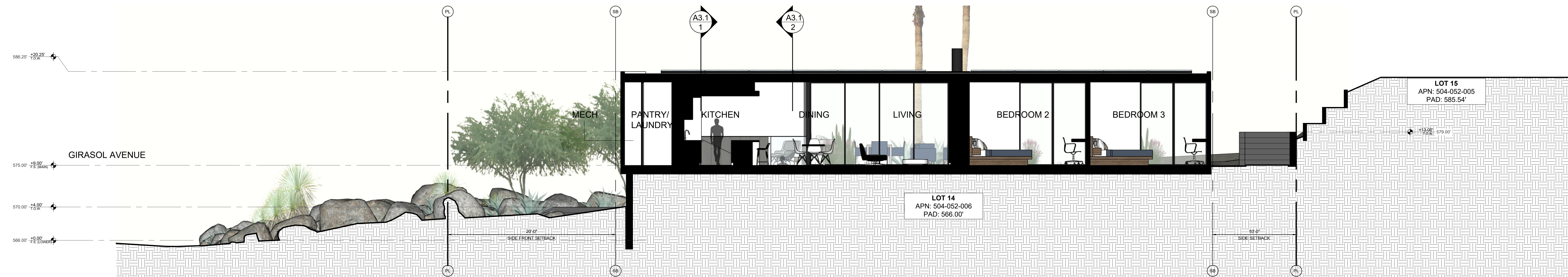
- RF-1 SINGLE-PLY ROOFING SYSTEM
MANUF: FIBERTITE
COLOR: CR GRAY
- RF-2 STEEL ROOF LOUVERS
MATERIAL: HSS 2x6x3/8
FINISH: PAINTED
COLOR: COOL DECEMBER DEW383
- RF-3 SOLAR PANELS
INSTALL: MIN. SLOPE



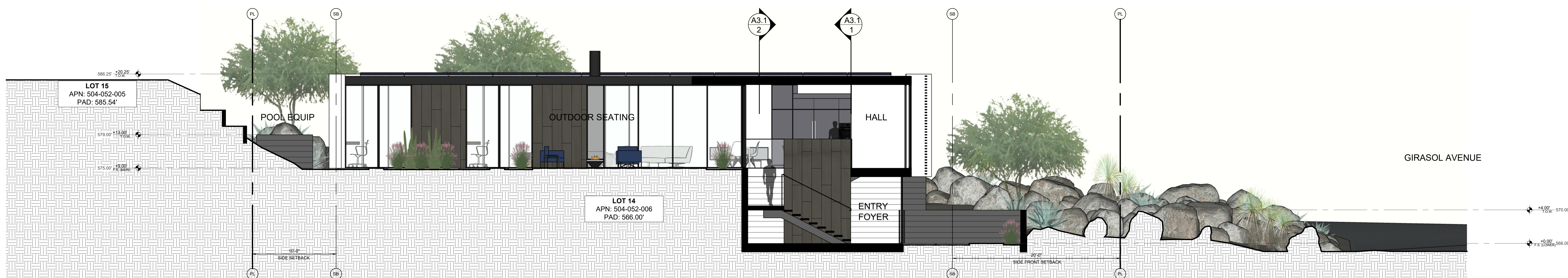
North-South Site Section 1



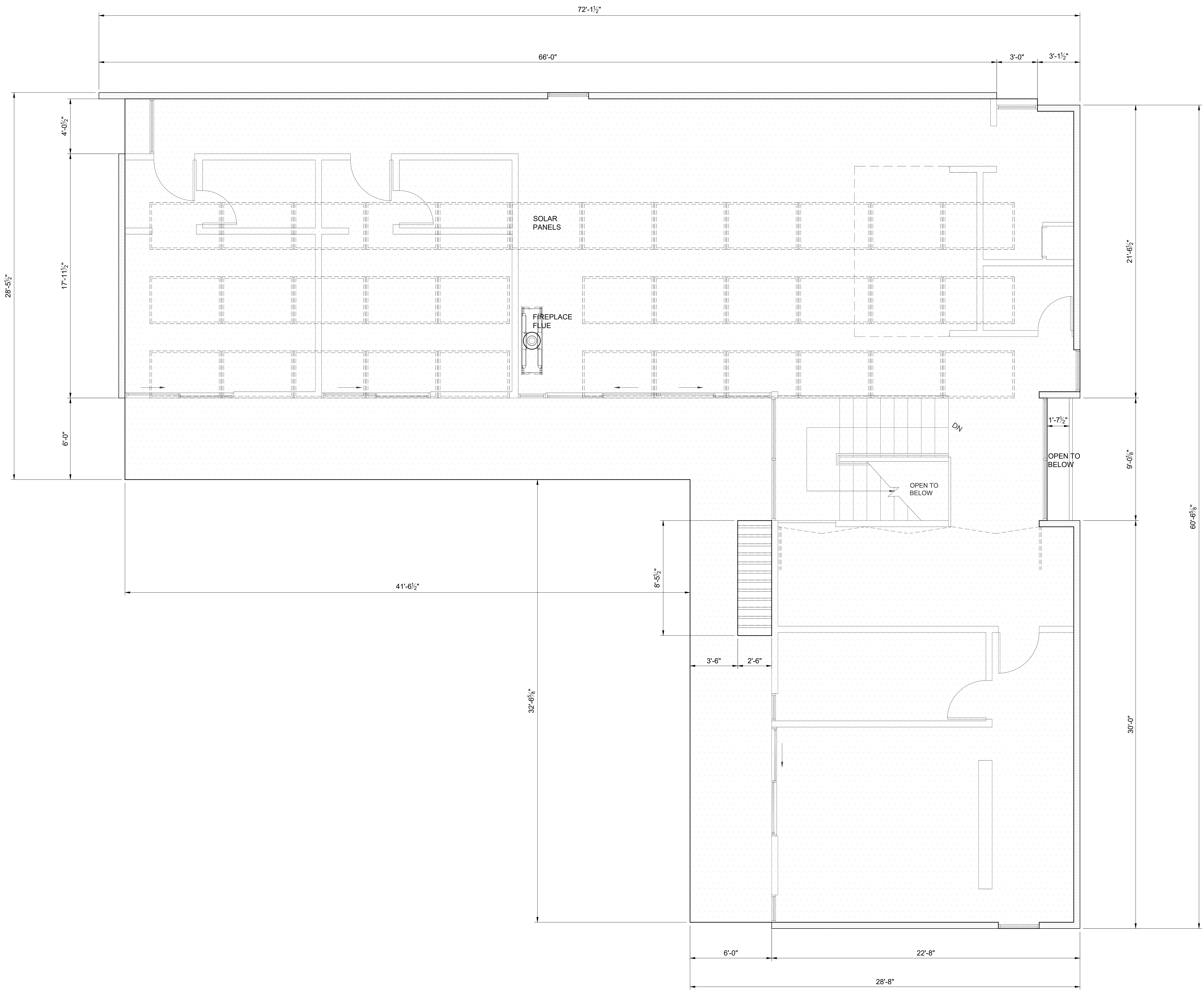
North-South Site Section 2



East-West Site Section 3



East-West Site Section 4



Material Legend

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TYPE: 8" HIGH RUNNING BOND
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FINISH: ANODIZED
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- EW-5 WINDOW ASSEMBLY
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GLAZING: LOW E CLEAR
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Ceiling

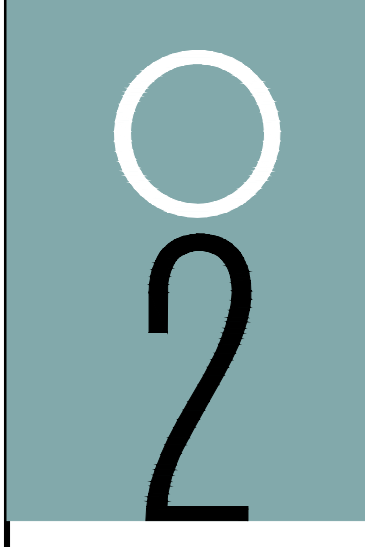
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Project Title:

Ng Residence

Address:

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Schematic Design
-not for construction-

sheet description:

Roof Plan

Scale: 3/8"=1'-0"

date: 06_18_2021

A7.1

Roof Plan
Scale: 3/8" = 1'-0"

