



ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: September 20, 2021 CONSENT

SUBJECT: VALLE VISTA, LLC, OWNER, REQUESTING A MAJOR ARCHITECTURAL APPLICATION TO CONSTRUCT A NEW 2,728-SQUARE FOOT SINGLE-FAMILY RESIDENCE, LOCATED AT 2200 NORTH SUNRISE WAY, ZONE R-1-C, (CASE 3.4283 MAJ). (AP)

FROM: Development Services Department – Planning Division

PROJECT DESCRIPTION:

This is a request for the Architectural Review Committee to review a Major Architectural application for a new 2,728-square foot single-family residence, which includes a pool, spa and new landscaping, at the corner of North Sunrise Way and Via Escuela. The proposed single-family home will have three bedrooms, and a 2-car garage that will take access from Via Escuela. The Palm Springs Zoning Code (PSZC) Section 94.04.00 (E)(1)(a) requires architectural review for single-family residences located on major thoroughfares.

RECOMMENDATION:

That the Architectural Review Committee approve the application as submitted.

BUSINESS PRINCIPAL DISCLOSURE:

The applicant has filed a Public Integrity Disclosure form stating that Jeffrey O Lyon and Christina M. Gomez are the sole members. The Public Integrity Disclosure form is included as an attachment to this report.

BACKGROUND INFORMATION:

<i>Neighborhood Meeting/Neighborhood Notice</i>	
09/16/2021	The surrounding neighborhood organizations within a mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on 09/20/2021.

STAFF ANALYSIS:

<i>Site Area</i>	
Net Acres	0.42 Acres

<i>General Plan and Zoning Designations</i>		
<i>General Plan Designation</i>	<i>Permitted Density</i>	<i>Compliance</i>
VLDR (Very Low Density Residential)	2.1-4.0 DU/AC	Y
<i>Zoning Designation</i>		
R-1-C		

Development Standards:

Pursuant to PSZC Section 92.01.03, the following development standards apply:

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks			
• Front (Via Escuela)	25 Feet	28 Feet	Y
• Street Side (N. Sunrise Way)	50 Feet	50 Feet	Y
• Side (Interior)	10 Feet	10 Feet	Y
• Rear	15 Feet	15 Feet	Y
Max. Lot Coverage	35%	19%	Y
Max. Building Height	12 Ft. @ PL, 18 Ft. Max	15'-6"	Y
Building Separation	6 Feet	N/A	N/A
Perimeter Wall Height			Y (Existing)
• North	6 Feet	7 Feet	Y
• South	6 Feet	6 Feet	Y
• East	6'	5'-4"	Y
• West	5 Feet	5 Feet	Y
Parking	2 spaces (covered)	2 spaces	Y

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The proposed residence will have consistent architectural treatment on all sides of the building. The treatment will consist of a silver-gray stucco, with a dark brown trim. All windows are vinyl as well as the folding and sliding glass doors.	
2.	<i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i> Accessory structures are not proposed with this project.	N/A
3.	<i>The façade elements and fenestration are composed in a harmonious manner;</i> The residence will enhance the currently undeveloped property. The facade elements, and the arrangement of windows and doors are composed in a harmonious manner to the main house and surrounding neighborhood. The windows and doors facing Via Escuela and North Sunrise Way will be located behind a 5-foot-high block wall.	Y
4.	<i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i> The proposed materials consist of silver stucco, bronze metal framing, metal overhangs, and foam roofing. The surrounding neighborhood consists of stucco homes. The project is consistent with the context of the site and the desert environment.	Y
5.	<i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i> The proposed colors consist of silver-gray stucco, dark bronze framing on the windows and patio glass doors, dark brown on the overhangs and metal gates, a light gray roofing. The proposed color scheme is appropriate to the desert environment.	Y
6.	<i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i> The residence has several overhangs on all sides, which will aid in providing shade to the home.	Y
7.	<i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i> The project consists of a variety of drought-tolerant vegetation and trees that do not require frequent watering. Decomposed granite and gravel are proposed throughout the site, including along North Sunrise Way and Via Escuela. A small area of grass is proposed around the swimming pool and spa. The proposed landscape plan is consistent with the requirements of the PSZC.	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
8.	<p><i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i></p> <p>Where new landscape material is proposed, the landscape plan submitted includes the planting of Palo Verde, Bouganvillea Red Shrub, Yellow Lantana, Mexican Bird of Paradise, Tecoma Stans, Mexican Grass Tree, Agave, Mediterranean Fan Palm, and Russellia, all of which are consistent with the Coachella Valley Lush and Efficient handbook. Additionally, proposed turf is less than the maximum 15% of the total landscaped area.</p>	Y
9.	<p><i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i></p> <p>The applicant is not proposing any mechanical equipment on the roof. The pool equipment will be screened behind the perimeter wall. The proposed two HVAC systems will be located within the side rear property. None of the mechanical equipment will be visible from the public right-of-way.</p>	Y

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”) and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Single-Family Residence).

CONCLUSION:

The proposed residence will be an enhancement to the undeveloped parcel. The project complies with the development standards of the R-1-C zone. Staff recommends the ARC approve the application, as submitted.

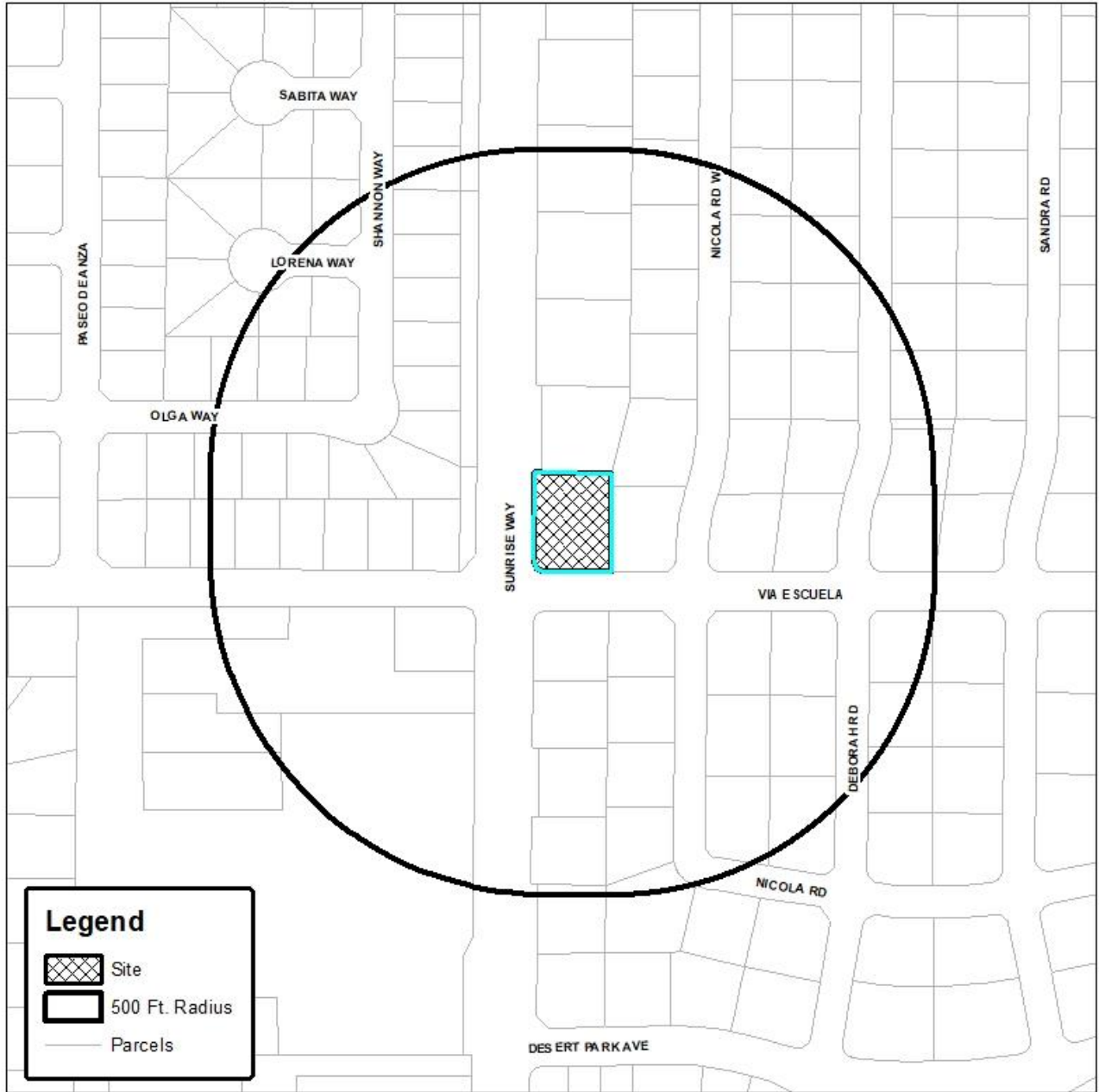
PREPARED BY:	Alex Perez, Assistant Planner
REVIEWED BY:	David Newell, AICP, Assistant Director of Planning

ATTACHMENTS:




1. Vicinity Map
2. Draft Resolution
3. Conditions of Approval
4. Public Integrity Disclosure Form
5. Architectural Plans
6. Renderings



Department of Planning Services Vicinity Map



Legend

-  Site
-  500 Ft. Radius
-  Parcels

CITY OF PALM SPRINGS
2200 N. Sunrise Way

RESOLUTION NO. _____

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION FOR DEVELOPMENT OF A 2,728-SQUARE FOOT SINGLE FAMILY RESIDENCE ON A MAJOR THOROUGHFARE LOCATED AT 2200 NORTH SUNRISE WAY (CASE 3.4283-MAJ).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

- A. Valle Vista, LLC, Owner (“Applicant”) filed an application with the City, pursuant to the Palm Springs Zoning Code (PSZC) Section 94.04.00 (architectural review) of the Palm Springs Zoning Code, for construction of a 2,728-square foot single family residence located at 2200 North Sunrise Way (“the Project”).
- B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City’s Planning Commission to the City’s Architectural Review Committee.
- C. On September 20, 2021, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Construction or Conversion of Small Structures).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Section 94.04.00 (“architectural review”).

Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Case 3.4283 MAJ, for the construction of a 2,728-square foot single-family residence on a major thoroughfare located at 2200 North Sunrise Way, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 20th day of SEPTEMBER 2021.

AYES:
NOES:

ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

David Newell, AICP
Assistant Planning Director

CONDITIONS OF APPROVAL

Case 3.4283 MAJ
Proposed Single Family Residence.
Located at 2200 N. Sunrise Way
R-1-C Zone

September 20, 2021

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case (3.4283 MAJ).
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped (August 24, 2021), including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.4283 MAJ. The City of Palm Springs will promptly

notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Approval shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.

ENVIRONMENTAL ASSESSMENT CONDITIONS

- ENV 1. Coachella Valley Multiple-Species Habitat Conservation Plan (CVMSHCP) Local Development Mitigation Fee (LDMF) required. All projects within the City of Palm Springs, not within the Agua Caliente Band of Cahuilla Indians reservation are subject to payment of the CVMSHCP LDMF prior to the issuance of certificate of occupancy.
- ENV 2. Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA); therefore, an administrative fee of \$50 shall be submitted by the applicant in the form of a money order or a cashier's check payable to

the Riverside County Clerk within two business days of the Commission's final action on the project. This fee shall be submitted by the City to the County Clerk with the Notice of Exemption. Action on this application shall not be considered final until such fee is paid (projects that are Categorically Exempt from CEQA).

PLANNING DEPARTMENT CONDITIONS

- PLN 1. Architectural Review Committee changes: N/A.
- PLN 2. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.
- PLN 3. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 4. Flat Roof Requirements. Roof materials on flat roofs (less than 2:12) must conform to California Title 24 thermal standards for "Cool Roofs". Such roofs must have a minimum initial thermal emittance of 0.75 or a minimum SRI of 64 and a three-year aged solar reflectance of 0.55 or greater. Only matte (non-specular) roofing is allowed in colors such as beige or tan.
- PLN 5. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 6. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.

- PLN 7. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 8. Pool Enclosure Approval Required. Details of fencing or walls around pools (material and color) and pool equipment areas shall be submitted for approval by the Planning Department prior to issuance of Building Permits.
- PLN 9. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 10. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 11. No off-site Parking. Vehicles associated with the operation of the proposed development including company vehicles or employees vehicles shall not be permitted to park off the proposed building site unless a parking management plan has been approved.
- PLN 12. Pad Elevations. Final building pad elevations shall not vary more than 12 inches above or below the pad elevation established by the approved preliminary grading plan and / or tentative map. Any deviations from this provision shall require approval by the Planning Commission.

BUILDING DEPARTMENT CONDITIONS

- BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

ENGINEERING CONDITIONS

The Engineering Services Department recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

STREETS

- ENG 1. The Engineering Services Department recommends deferral of off-site improvement items (identified as “**Deferred**”) at this time due to lack of full improvements in the immediate area. The owner shall execute a street improvement covenant agreeing to construct all required street improvements upon the request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner(s) prior to approval of the Grading Plan or issuance of grading or building permits. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.
- ENG 2. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.
- ENG 3. Submit street improvement plans prepared by a registered California civil engineer to the Engineering Services Department. The plan(s) shall be approved by the City Engineer prior to issuance of any building permits. **Deferred.**
- ENG 4. **Provide proposed finish floor elevations of all proposed structures, existing structures on site, and all adjacent off-site structures. This information required prior to site plan approval.**

SUNRISE WAY

- ENG 5. Dedicate an additional 10 feet to provide the ultimate half street right-of-way width of 50 feet along the entire frontage, together with a property line - corner cut-back at the northeastern corner of the intersection of Sunrise Way and Via Escuela, in accordance with City of Palm Springs Standard Drawing No. 105. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A right-of-way plan check fee shall be paid by the applicant in effect at the time that the dedication is submitted.
- ENG 6. Remove the existing 6 inch curb and gutter located 32 feet east of centerline and replace with a 6 inch curb and gutter located 38 feet east of centerline along the entire frontage, with a 35 feet radius curb return at the northeast corner of the intersection of Sunrise Way and Via Escuela in

accordance with City of Palm Springs Standard Drawing No. 200, 206, and 340. (Future) **Deferred.**

- ENG 7. Construct the north half of a 8 feet wide cross gutter and spandrel at the northeast corner of the intersection of Sunrise Way and Via Escuela with a flow line parallel with and located 38 feet east of the centerline of Sunrise Way in accordance with City of Palm Springs Standard Drawing No. 200 and 206. (Future) **Deferred.**
- ENG 8. Construct a 5 feet wide sidewalk behind the existing curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210.
- ENG 9. Construct a future 5 feet wide sidewalk behind the future curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210. **Deferred.**
- ENG 10. Remove and replace the existing curb ramp at the northeast corner of Sunrise Way and Via Escuela, upon review and a determination by the City Engineer that the existing curb ramp does not meet current ADA standards. If required, construct a Type-A curb ramp meeting current California State Accessibility standards in accordance with City of Palm Springs Standard Drawing No. 212. **Deferred.**
- ENG 11. Construct pavement with a minimum pavement section of 5 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, from edge of proposed gutter to clean sawcut edge of pavement along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 110 and 340. (Additional pavement removal and replacement may be required upon review of existing pavement cross-sections, and to ensure grade breaks of the pavement cross-section do not occur within a travel lane.) If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval. (Future) **Deferred.**
- ENG 12. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.
- ENG 13. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

VIA ESCUELA

- ENG 14. Remove the existing roll curb located 18 feet north of centerline and replace with a 6 inch curb and gutter located 20 feet north of centerline along the entire frontage, in accordance with City of Palm Springs Standard Drawing No. 200, 206, and 315. (Future) **Deferred.**
- ENG 15. Construct a driveway approach in accordance with City of Palm Springs Standard Drawing No. 201.
- ENG 16. Construct a future driveway approach in accordance with City of Palm Springs Standard Drawing No. 201. **Deferred.**
- ENG 17. Construct a 5 feet wide sidewalk behind the existing curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210.
- ENG 18. Construct a future 5 feet wide sidewalk behind the future curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210. **Deferred.**
- ENG 19. Construct pavement with a minimum pavement section of 3 inches asphalt concrete pavement over 6 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, from edge of proposed gutter to clean sawcut edge of pavement along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 110 and 315. (Additional pavement removal and replacement may be required upon review of existing pavement cross-sections, and to ensure grade breaks of the pavement cross-section do not occur within a travel lane.) If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval. (Future) **Deferred.**
- ENG 20. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.
- ENG 21. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

SANITARY SEWER

- ENG 22. All sanitary facilities shall be connected to the public sewer system. New laterals shall not be connected at manholes.

GRADING

- ENG 23. Submit cut and fill quantities to City Engineer to determine if a Grading Plan is required. If required, the Grading Plan shall be submitted to the Engineering Services Department for review and approval by the City Engineer prior to issuance of grading permit. If the earthwork quantity is less than 50 cubic yards, a formal grading plan is not required. To qualify for the exemption, a signed original written statement of design earthwork quantities from the owner (or design professional, prepared on company letterhead) shall be provided to the Engineering Services Department. Exemption of a formal Grading Plan reviewed and approved by the City Engineer does not exempt the applicant from a site grading plan that may be required from the Building Department, or any other requirement that may be necessary to satisfy the California Building Code.

- a. Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; and a copy of Soils Report.

- ENG 24. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be provided to the City). The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at ACBCI-THPO@aguacaliente.net to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.
- ENG 25. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed prior to issuance of Grading Permit and commencement of grading operations.
- ENG 26. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 27. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 28. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.
- ENG 29. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.

- ENG 30. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan. (if required)
- ENG 31. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.
- ENG 32. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan (if required), to the Engineering Services Department for review and approval.
- ENG 33. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, CA 90040 (Phone (760) 782-3271, (562) 505-6415), Sonia.Oran@cdfa.ca.gov.

DRAINAGE

- ENG 34. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMPs).
- ENG 35. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$7,287.76 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

GENERAL

- ENG 36. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.
- ENG 37. All proposed utility lines shall be installed underground.
- ENG 38. The record property owner shall enter into a covenant agreeing to underground all of the existing overhead utilities required by the Municipal Code in the future upon request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner and submitted to the City Engineer prior to issuance of a grading permit. A current title report or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.
- ENG 39. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 40. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 41. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.

- ENG 42. Nothing shall be constructed or planted in the corner cut-off area of any intersection or driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 43. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.
- ENG 44. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation Fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

TRAFFIC

- ENG 45. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and streetlights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.
- ENG 46. Relocate and modify the existing traffic signal poles, conduit, pull boxes and all appurtenances located on the northeast corner of Sunrise Way and Via Escuela in accordance with the requirements of the City of Palm Springs. The applicant shall submit traffic signal modification plans prepared by a California registered civil engineer or traffic engineer for review and approval by the City Engineer. The traffic signal shall be installed and operational prior to issuance of the Certificate of Occupancy, unless otherwise allowed by the City Engineer. (Future) ***Deferred.***
- ENG 47. Relocate the existing street name sign at the northeastern corner of Sunrise Way and Via Escuela in accordance with City of Palm Springs Standard Drawing No. 622 and 624.
- ENG 48. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.
- ENG 49. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

FIRE DEPARTMENT CONDITIONS

FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

FID 2. Fire Department Conditions were based on the 2019 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix “T” Development Requirements. This building will require fire sprinklers.

FID 3. **Conditions of Approval** – “Conditions of Approval” received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 4. Plans and Permits (CFC 105.1):

Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set. Plans shall be submitted to:

City of Palm Springs
Building and Safety Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer’s technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be

submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 5. Access During Construction (CFC 503): Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

FID 6. Required access (CFC 504.1): Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

FID 7. NFPA 13D Fire Sprinklers Required: An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2016 Editions, as modified by local ordinance.

FID 8. Residential Smoke Alarms Required: Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke alarms within the dwelling & guest house to sound and activate the exterior horn/strobe

FID 9. Carbon Monoxide Detector: Shall be installed in location as stated in California Fire Code Section 915

FID 11. Provide planting list associated with the landscape plan.

END OF CONDITIONS



PUBLIC INTEGRITY DISCLOSURE
APPLICANT DISCLOSURE FORM

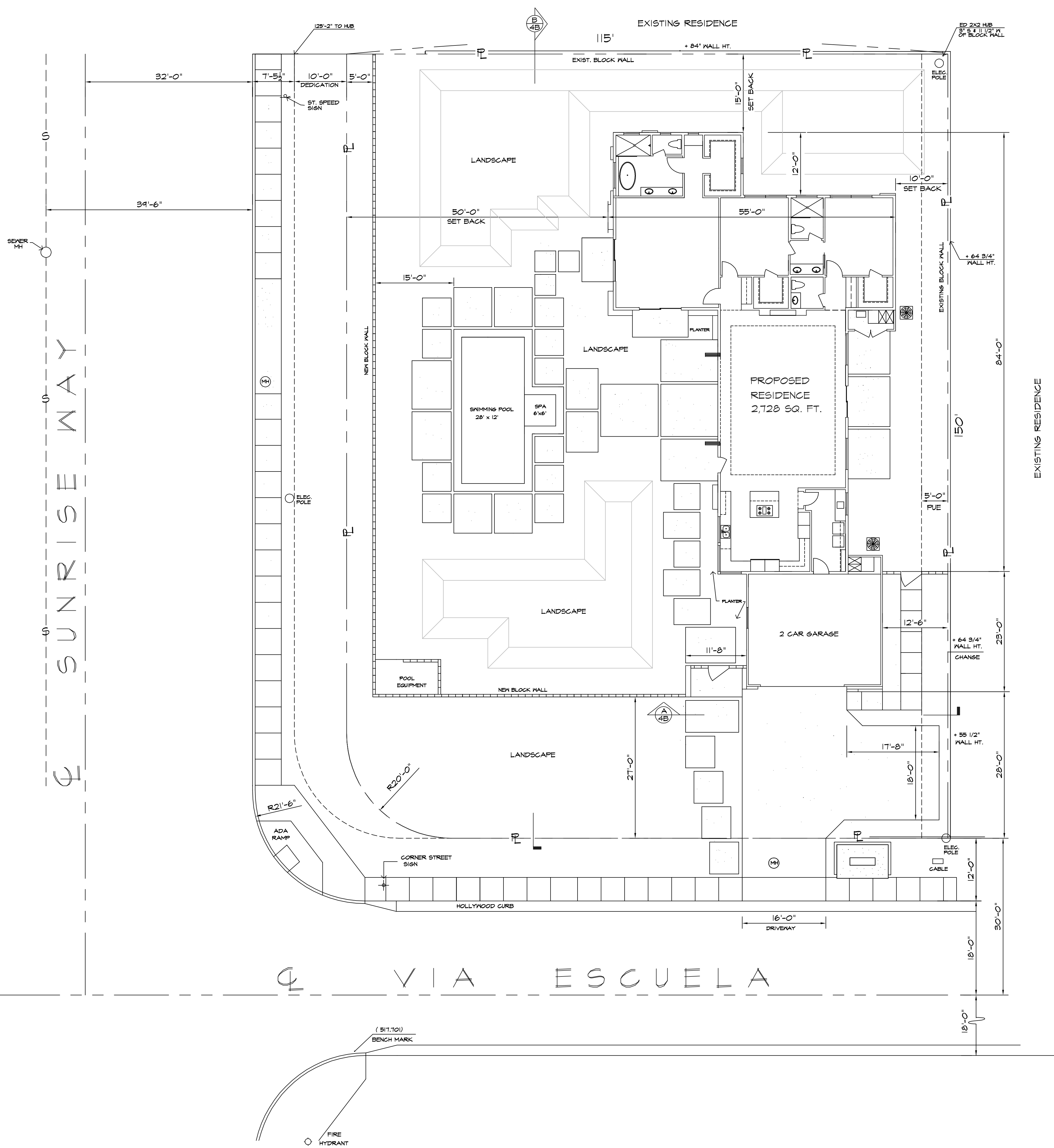
1. Name of Entity: VALLE VISTA, LLC
2. Address of Entity (Principle Place of Business): 780 NORTH 4TH STREET EL CENTRO, CA 92243
3. Local or California Address (if different than #2)
4. State where Entity is Registered with Secretary of State: CALIFORNIA
5. Type of Entity: [X] Limited Liability Company
6. Officers, Directors, Members, Managers, Trustees, Other Fiduciaries (please specify)
Note: If any response is not a natural person, please identify all officers, directors, members, managers and other fiduciaries for the member, manager, trust or other entity
JEFFREY O. LYON [name] [X] Member [X] Manager
CHRISTINA M. GOMEZ [name] [X] Member

7. Owners/Investors with a 5% beneficial interest in the Applicant Entity or a related entity	
EXAMPLE JANE DOE <hr/> [name of owner/investor]	50%, ABC COMPANY, Inc. <hr/> [percentage of beneficial interest in entity and name of entity]
A. <i>JEFFREY O. LYON</i> <hr/> [name of owner/investor]	70% VALUE VISTA LLC <hr/> [percentage of beneficial interest in entity and name of entity]
B. <i>CHRISTINA M. GOMEZ</i> <hr/> [name of owner/investor]	30% VALUE VISTA LLC <hr/> [percentage of beneficial interest in entity and name of entity]
C. <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]
D. <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]
E. <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]

I DECLARE UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING IS TRUE AND CORRECT.

Signature of Disclosing Party, Printed Name, Title <i>[Signature]</i>	Date 12/2/19
--	---------------------

PENALTIES
Falsification of information or failure to report information required to be reported may subject you to administrative action by the City.



2200 SUNRISE WAY HOUSE

PALM SPRINGS, CA 92262

PROJECT INFORMATION

OWNER : VALLE VISTA LLC.
180 NORTH 4TH STREET
EL CENTRO, CA 92243
PHONE (760) 970-3000

ASSESSOR'S PARCEL NUMBER: 501-283-010

LEGAL DESCRIPTION: LOT (28) DESERT PARK ESTATES NO. 3, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 24, PAGE 43, OF MAPS, IN THE OFFICE OF THE RECORDER OF SAID COUNTY.

PROJECT DATA:

SQUARE FOOTAGE SUMMARY :
LIVING AREA: 2728 S.F.
GARAGE AREA: 590 S.F.
MECHANICAL: 32 S.F.

TOTAL BUILDING: 3350 S.F.
LOT SIZE: 18,750 S.F.
- 1500 S.F. OF LOT DEDICATION = 17,250 S.F.
LOT COVERAGE: 19 %

BUILDING DATA:

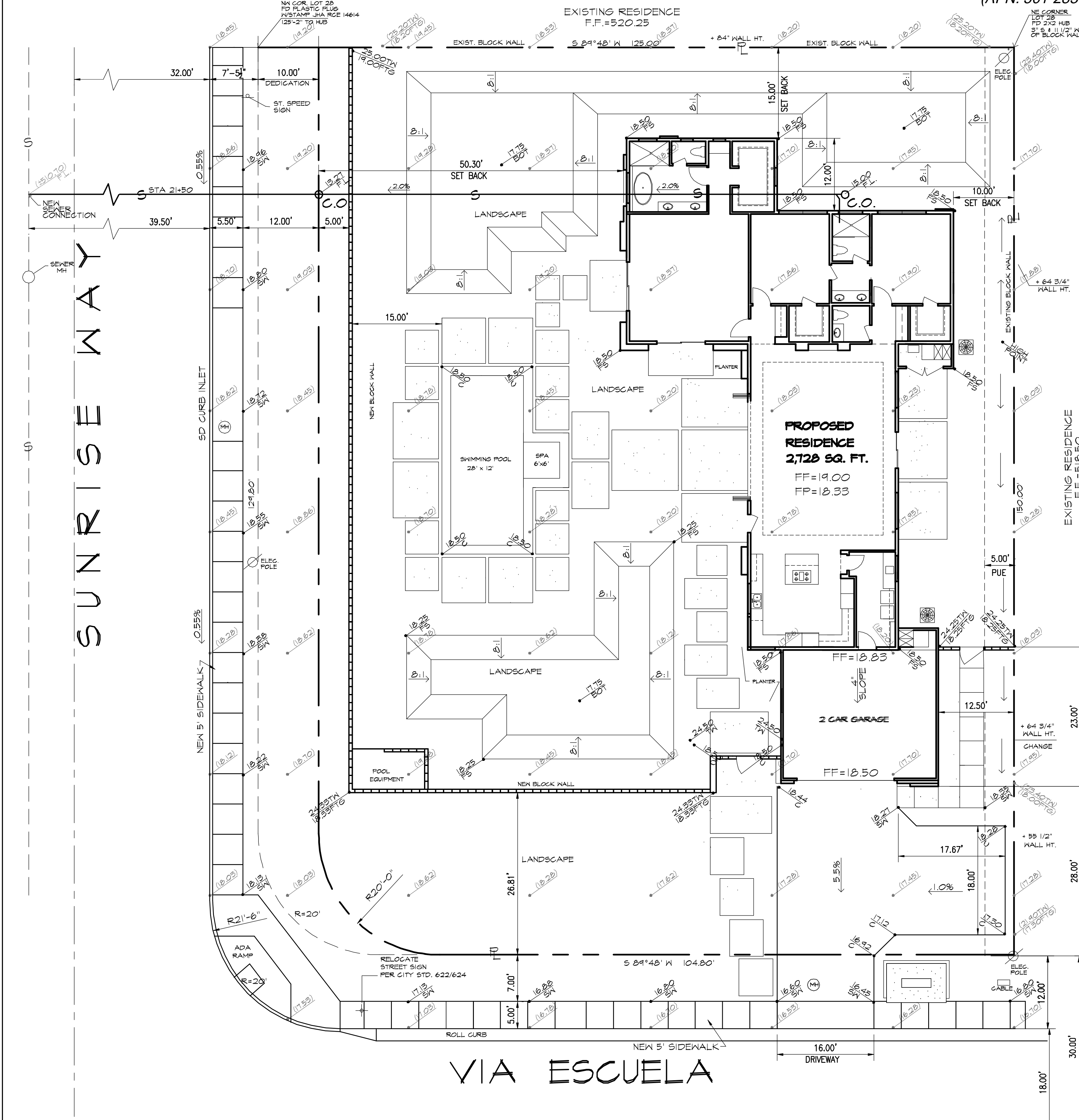
OCCUPANCY: R-3/U
TYPE OF CONSTRUCTION: V-B
SPRINKLERED: YES
STORIES: 1
ZONING: R
TOTAL BUILDING AREA: 3,350 S.F.

INDEX OF DRAWINGS	
No.	DESCRIPTION
1-TITLE	SITE PLAN
1C	GRADING PLAN
1L	LANDSCAPE PLAN
2	FLOOR PLAN
3	DIMENSIONED PLAN
4	EXTERIOR ELEVATIONS
4B	EXTERIOR ELEVATIONS
5	ROOF PLAN
6	COLOR PERSPECTIVE
7	COLOR ELEVATIONS
8	COLOR LANDSCAPE PLAN



REVISION	DESCRIPTION	DATE
SHEET CONTENTS:		
SITE PLAN 2200 SUNRISE WAY HOUSE		
OWNER:	VALLE VISTA LLC. PROJECT ADDRESS: 2200 SUNRISE WAY PALM SPRINGS, CA	
DESIGNER:	L.A. Construction / Design LINDA AUN LIC. # 660445 67-100 MEDANO RD., CATHEDRAL CITY, CA 92234 PHONE (760) 404-1956	
DATE:	7/21	
SCALE:	AS SHOWN	
DRAWN BY:	L.J.A.	
SHEET	1 TITLE	

PRECISE GRADING PLAN
NEW RESIDENCE 2200 SUNRISE WAY
IN THE CITY OF PALM SPRINGS
 (APN: 501-283-010)

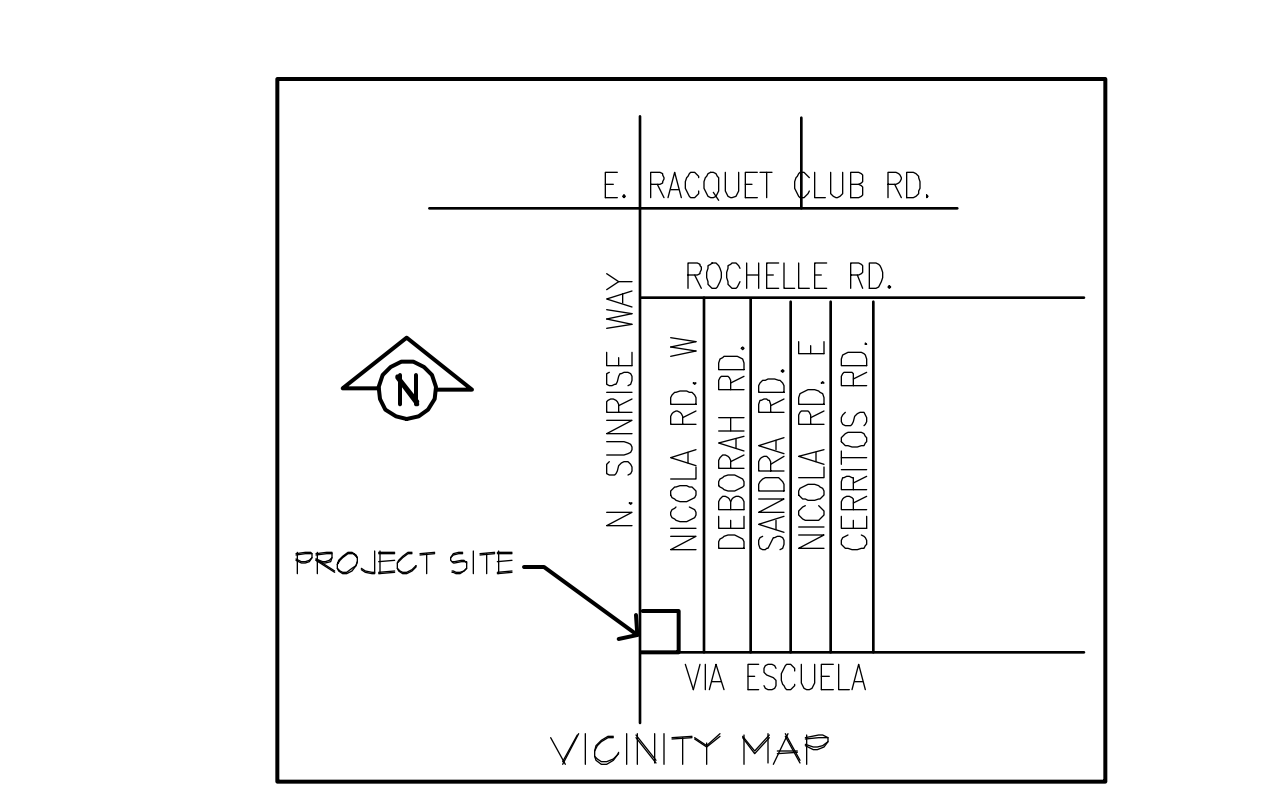


LEGEND	
(6.90)	EXISTING SPOT ELEVATION
— (8.00) —	EXISTING GRADE CONTOUR
— 39.70 —	DESIGN ELEV. OF FINISH SURFACE
— 8.30 —	FINISH GRADE CONTOUR
— —	PROPERTY LINE
— W —	WATER SERVICE
— —	BLOCK WALL
[Pattern]	NEW CONCRETE SURFACE
[Pattern]	EXIST'G ASPHALT PAVING
FF	FINISH FLOOR ELEV.
FP	FINISH PAD ELEV.
FS	FINISH SURFACE
TC	TOP OF CONCRETE
TW	TOP OF WALL
TF	TOP OF FOOTING

NEW WORK	
①	NEW 6" CONCRETE BLOCK WALL (OPTION 'A' CITY STD. PLAN) PER SEPARATE PERMIT (62 LF)
②	NEW 4" THICK PCC SIDEWALK (1912 SF)
③	NEW SIDEWALK PER CITY STD. 210 (645 SF)
④	NEW DRIVEWAY PER CITY STD. 201 (160 SF)
⑤	NEW PRIVATE DRIVEWAY 5" PCC (1405 SF)
⑥	NEW EARTHEN SWALE (124 LF)
⑦	NEW 4" SDR-35 PVC (100 LF)
⑧	NEW 4" SDR-35 PVC SEWER SERVICE (45 LF) & CLEANOUT PER CITY STD. 403 & 401

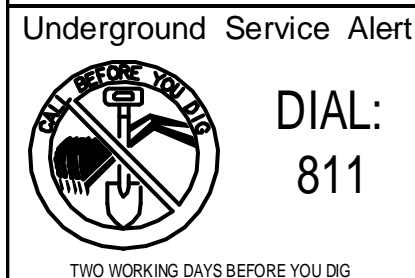
EARTHWORK QUANTITIES:
 CUT: — CY
 FILL: — CY
 SHRINK: 10%

GRADING PLAN
SCALE: 1" = 10'

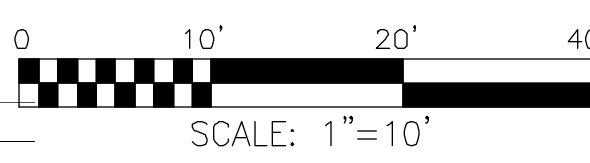


CITY OF PALM SPRINGS ENGINEERING DIVISION
GRADING PLAN GENERAL NOTES
 (REVISED APRIL 16, 2012)

- THE WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF PALM SPRINGS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN EFFECTIVE MEANS OF DUST CONTROL WHICH SHALL INCLUDE PROVISIONS FOR ADEQUATE WATERING DURING THE GRADING PROCESS AND PROVISIONS FOR CONTINUANCE OF DUST CONTROL UNTIL THE GRADED SURFACE PRESENTS SUFFICIENT COVER AGAINST WIND OR WATER EROSION, SO THAT SPECIAL DUST CONTROL MEASURES ARE NO LONGER NECESSARY.
- NOTHING IN THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM OBTAINING PERMITS AS REQUIRED BY CHAPTER 14.16 OF THE CITY OF PALM SPRINGS MUNICIPAL CODE.
- THE CONTRACTOR SHALL SET AN APPOINTMENT FOR INSPECTION WITH THE ENGINEERING INSPECTOR A MINIMUM OF 24 HOURS PRIOR TO THE DATE OF INSPECTION.
- ALL GRADING SHALL COMPLY WITH SECTION 1804 AND APPENDIX J OF THE 2010 CALIFORNIA BUILDING CODE.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE TO BE SHOWN IN A SCHEMATIC MANNER ONLY. SUBJECT TO THE PROVISIONS OF SECTION 4215 OF THE CALIFORNIA GOVERNMENT CODE, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING THE WORK. CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-421-4133 TWO WORKING DAYS PRIOR TO ANY EXCAVATION.
- DIMENSIONING TO CURBS SHALL BE TO FACE OF CURB.
- CONTRACTOR SHALL DISPOSE OF ALL DEBRIS OFF-SITE DAILY, UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER.
- CONTRACTOR SHALL REMOVE ANY ABANDONED UTILITY FACILITIES AND SHOW LIMITS OF REMOVALS ON THE RECORD DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, REPLACEMENT OR RELOCATION OF ALL REGULATORY, WARNING AND GUIDE SIGNS.
- A "RECORD DRAWING" (FORMERLY CALLED "AS-BUILT" DRAWING) OF THIS PLAN SHALL BE SUBMITTED BY THE PROJECT ENGINEER OF RECORD TO THE CITY ENGINEER, FOR APPROVAL PRIOR TO ACCEPTANCE OF THE WORK.
- CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE PROVIDED ON ALL PROJECTS AS REQUIRED BY CITY STANDARDS OR AS DIRECTED BY THE CITY ENGINEER, AS A MINIMUM, ALL CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE IN ACCORDANCE WITH PART 6 "TEMPORARY TRAFFIC CONTROL" OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, DATED JANUARY 13, 2012, OR SUBSEQUENT EDITIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- THE FLOW LINE OF ALL CURB AND GUTTERS AND CROSS GUTTERS SHALL BE WATER TESTED BEFORE ACCEPTANCE OF THE WORK.
- PARKING STALLS SHALL BE CLEARLY DELINEATED WITH A 4 TO 6 INCH STRIPE "HARPIN" OR ELONGATED "U" OR OTHER APPROVED STREET DELINEATION.
- FINAL SITE GRADING AND DRAINAGE FLOW LINES SHALL BE CERTIFIED, IN WRITING, BY THE ENGINEER OF RECORD TO BE IN CONFORMANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL INSPECTION.
- FOR PROJECTS IN EXCESS OF 1 ACRE, A NOTICE OF INTENT TO COMPLY WITH CALIFORNIA GENERAL CONSTRUCTION STORMWATER PERMIT (WATER QUALITY ORDER 2009-0099-DWO AS MODIFIED SEPTEMBER 2, 2009, AS WELL AS A COPY OF THE EXECUTED LETTER ISSUING A WASTE DISCHARGE IDENTIFICATION (WDI) NUMBER, IS REQUIRED PRIOR TO ISSUANCE OF GRADING OR BUILDING PERMIT, VIA THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (PHONE NO. (760) 346-7491). AN UPDATED COPY OF THE PROJECT-SPECIFIC STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST BE KEPT AT THE PROJECT SITE AT ALL TIMES.
- A CITY APPROVED FUGITIVE DUST (PM-10) CONTROL PLAN IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT. ALL DUST CONTROL MEASURES DESCRIBED IN AQMD RULE 403 (BEST AVAILABLE CONTROL MEASURES) AND IN THE CITY-APPROVED FUGITIVE DUST CONTROL PLAN SHALL BE IMPLEMENTED AT ALL TIMES. A WIND FENCE AND PROPER SIGNAGE, SHALL BE ERRECTED, INSPECTED AND APPROVED BY THE CITY'S DUST CONTROL INSPECTOR PRIOR TO INITIATION OF CLEARING, GRUBBING, GRADING OR IMPORT/EXPORT OF SOIL OR FILL MATERIAL AT THE SITE. FAILURE TO CALL 760-333-8053, EXTENSION 8740 FOR INSPECTION 72 HOURS PRIOR TO INITIATING WORK WILL RESULT IN ISSUANCE OF CITATION BY THE CITY.
- THE BLOCK WALLS, RETAINING WALLS, AND OTHER STRUCTURES SHOWN ON THE GRADING PLAN ARE FOR LOCATION PURPOSES ONLY. SEPARATE PERMITS FOR THE ABOVE ARE REQUIRED FROM THE BUILDING DEPARTMENT.
- ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT (WITH THE DATE OF THE REPORT SPECIFIED ON THE GRADING PLAN) PREPARED BY A CALIFORNIA REGISTERED GEOTECHNICAL ENGINEER, SHALL BE COMPLIED WITH.



PERMITS REQUIRED:
 - GRADING
 - PMIO
 - ENCROACHMENT



OWNER:
 VALLE VISTA, LLC
 780 N. 4TH STREET
 EL CENTRO, CA 92243
 (760) 562-3819

LEGAL DESCRIPTION:
 LOT 28 DESERT PARK ESTATES No.03
 (MB 29/43)

SOILS ENGINEER:
 LANDMARK CONSULTANTS, INC.
 77-948 WILDCAT DRIVE
 PALM DESERT, CA 92211
 (760) 380-0865

CIVIL ENGINEER/SURVEYOR:
 JEFFREY O. LYON, R.C.E. 31,921
 G.S. LYON CONSULTANTS, INC.
 780 N. FOURTH ST.
 EL CENTRO, CA 92243
 Ph: (760) 337-1100
 jlyon@landmark-ca.com

DECLARATION OF RESPONSIBLE CHARGE
 I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 67023 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR THE PROJECT DESIGN.

G.S. LYON CONSULTANTS, INC.
 780 N. 4TH ST., EL CENTRO, CA 92243
 (760) 337-1100

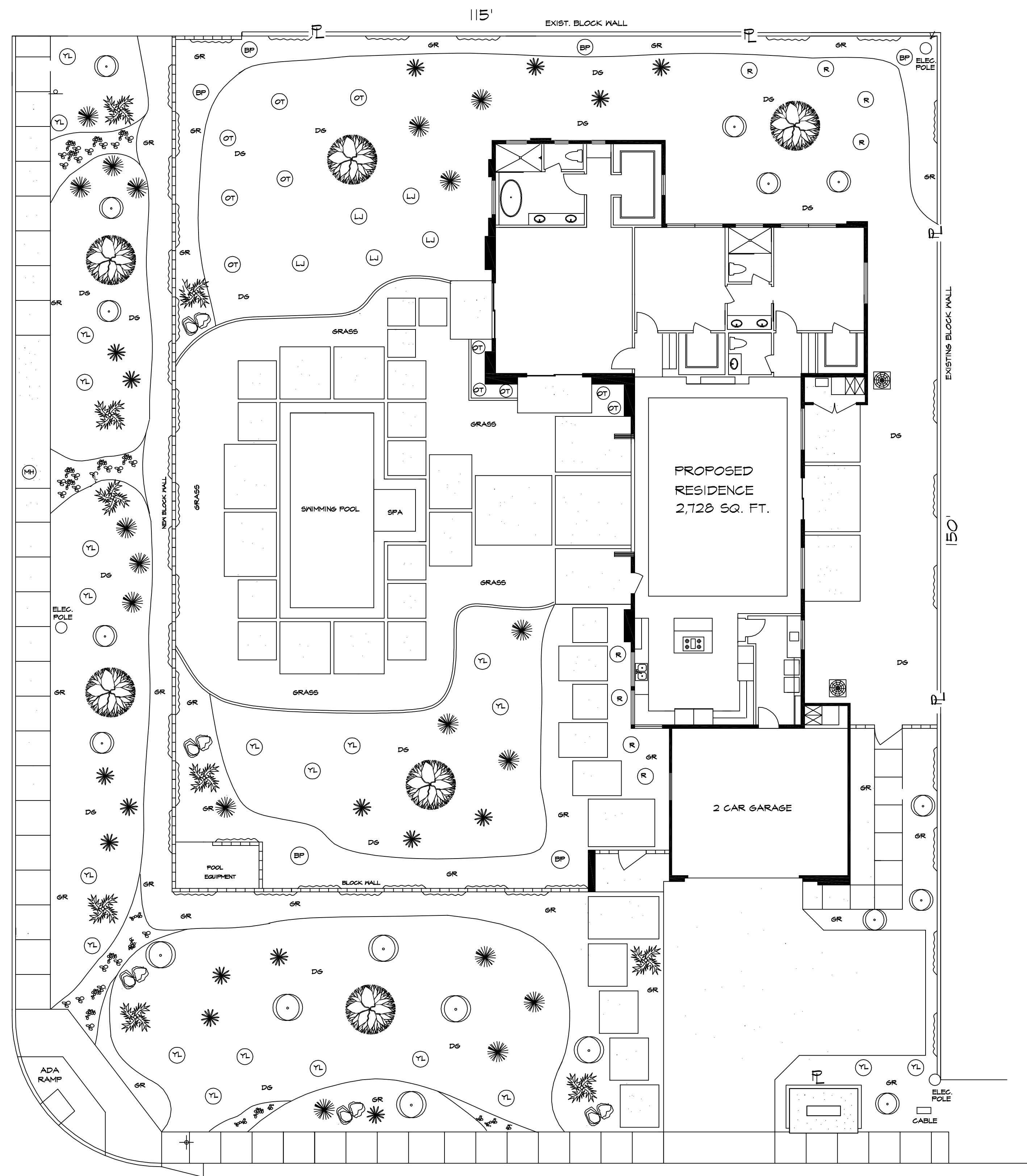
7/14/21
 DATE

UTILITY PROVIDERS:
 SO. CALIFORNIA EDISON: (800) 655-4555
 SO. CALIFORNIA GAS CO.: (800) 427-2230
 DESERT WATER AGENCY: (760) 323-4971
 CITY OF PALM SPRINGS PW: (760) 323-8253
 AT&T: (800) 222-0300
 SPECTRUM: (866) 874-2389

FEMA ZONE X (MAP 06065C1557G)

NO.	REVISION	APPROVED	DATE	BENCH MARK	ELEV.	PREPARED UNDER THE DIRECT SUPERVISION OF:	DESIGN BY:	CITY CHECK	RIGHT-OF-WAY	INITIAL	DATE	REVIEWED BY:	APPROVED BY:	FILE NO.	SHEET			
1-16					517.701	CS Lyon	JOL							CITY OF PALM SPRINGS, CALIFORNIA	1			
LEGATOR BRASS CAP STAMPED CPS BM 1-16 RESET 1988 ON N.E. CURB RETURN AT THE INTERSECTION OF SUNRISE WAY AND VIA ESCUELA						Engineering & Management 780 North 4th St. El Centro, CA 92243 (760) 337-1100 (760) 337-8900 (fax)						DESIGN BY: JOL DRAWN BY: STAFF REVIEWED BY: JOL DATE: 7/16/21		CITY CHECK: [] RIGHT-OF-WAY: [] TRAFFIC ENGS: [] FIELD ENGS: []		APPROVED BY: MARCUS FULLER DATE: 7/27/21		FILE NO.: DWG. NO.: CAD FILE NAME: GS2113ViaEscuela

SUNRISE WAY

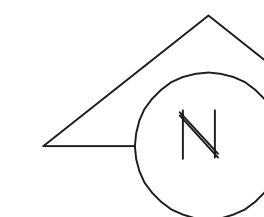


VIA ESCUELA

PLANT LEGEND

SYMBOL	NAME	SIZE	QUANTITY
	HYBRID PALO VERDE TREE	24" BOX	6
	BOUGAINVILLEA RED SHRUB	5 GAL	18
	YELLOW LANTANA	5 GAL	21
	MEXICAN BIRD OF PARADISE	5 GAL	5
	TEGOMA STANS -ORANGE BELLS	5 GAL	11
	LITTLE JOHN	5 GAL	5
	TEGOMA VINE -YELLOW BELLS	15 GAL	41
	MEXICAN GRASS TREE	15 GAL	18
	AGAVE	5 GAL	16
	MEDITERRANEAN FAN PALM	15 GAL	1
	RUSSELLIA	5 GAL	8
	BRIMSTONE DG		
	MOJAVE GOLD 3/4" GRAVEL		
	2"-4" GRAVEL		
	BOULDERS- DESERT GOLD 20" TO 36" MAX. WIDTH	20" TO 36" MAX. WIDTH	

NOTE: LANDSCAPING SHOULD BE CONSISTENT WITH THE REQUIREMENTS OF THE COACHELLA VALLEY WATER DISTRICT ORDINANCE 18021 AS ADOPTED BY THE CITY OF PALM SPRINGS UNDER ORDINANCE NO. 886 "WATER EFFICIENT LANDSCAPE ORDINANCE" AS RECOMMENDED FOR THE LANDSCAPE MATERIALS: "LUSH AND EFFICIENT: LANDSCAPE GARDENING IN COACHELLA VALLEY" BY THE COACHELLA VALLEY WATER DISTRICT, 2006.



LANDSCAPE PLAN

SCALE : 1" = 10'

REVISION	DESCRIPTION	DATE

SHEET CONTENTS:
LANDSCAPE PLAN
2200 N SUNRISE WAY HOUSE

OWNER: VALLE VISTA LLC.
PROJECT ADDRESS:
2200 SUNRISE WAY
PALM SPRING, CA

LINDA AJN

DESIGNER:
L.A. Construction / Design
LINDA AJN LIC. # 660445
67-100 MEDANO RD., CATHEDRAL CITY, CA 92234
PHONE (760) 409-1956

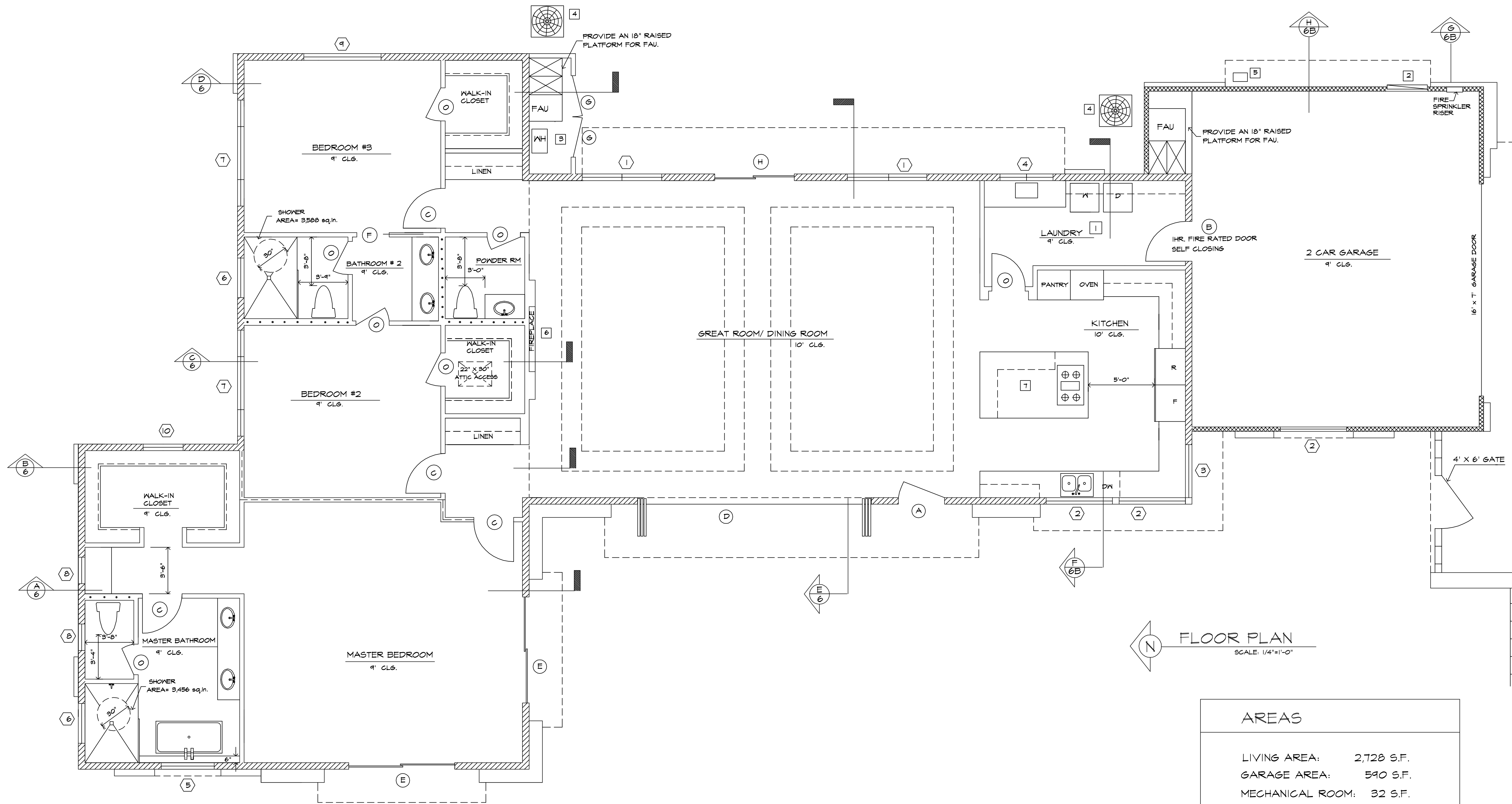
DATE: 07/21

SCALE: AS SHOWN

DRAWN BY: L.J.A.

SHEET

11



AREAS	
LIVING AREA:	2,728 S.F.
GARAGE AREA:	590 S.F.
MECHANICAL ROOM:	32 S.F.

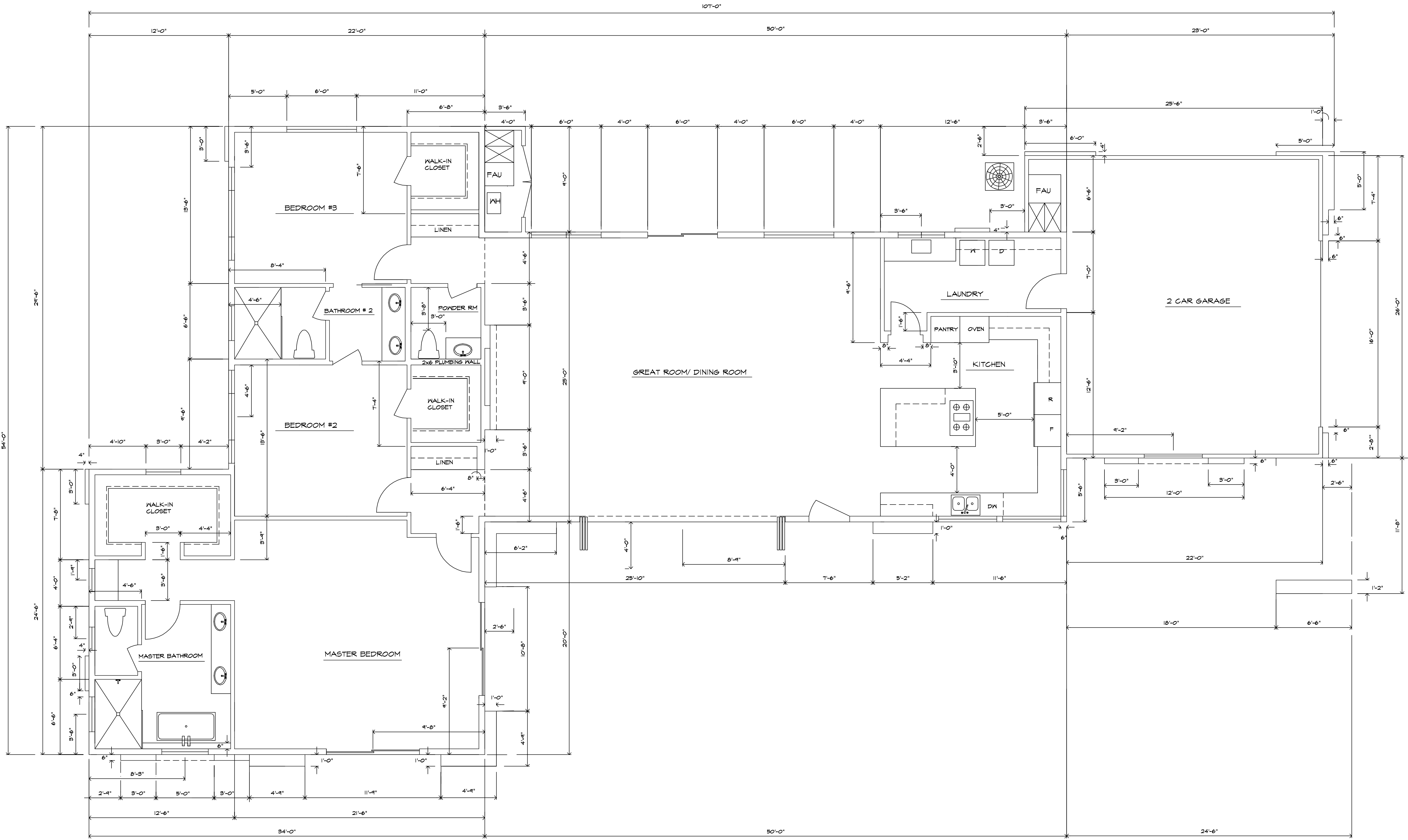
WINDOW SCHEDULE			
SYMBOL	DIMENSION		REMARKS
	WIDTH	HEIGHT	
①	6'-0"	5'-0"	VINYL DUAL GLAZED, SLIDER
②	5'-0"	5'-0"	VINYL DUAL GLAZED, SLIDER
③	4'-0"	5'-0"	VINYL DUAL GLAZED, SLIDER
④	4'-0"	4'-0"	VINYL DUAL GLAZED, SLIDER
⑤	4'-0"	5'-0"	VINYL DUAL GLAZED, TEMPER, FIXED
⑥	3'-0"	2'-6"	VINYL DUAL GLAZED, TEMPER, SLIDER
⑦	8'-0"	5'-0"	VINYL DUAL GLAZED, DOUBLE SLIDER
⑧	2'-0"	3'-0"	VINYL DUAL GLAZED, SINGLE HANG
⑨	6'-0"	2'-0"	VINYL DUAL GLAZED, FIXED
⑩	3'-0"	2'-0"	VINYL DUAL GLAZED, FIXED

DOOR SCHEDULE			
SYMBOL	DIMENSION		REMARKS
	WIDTH	HEIGHT	
(A)	3'-6"	8'-0"	WOOD 1 3/4" FRENCH DR., SOLID CORE, LOCKING HARDWARE
(B)	3'-0"	6'-8"	WOOD 1 3/4" 1HR. FIRE RATED-SELF CLOSING LOCKING HARDWARE
(C)	3'-0"	8'-0"	WOOD 1 3/4" INTERIOR
(D)	17'-8"	8'-0"	VINYL LA CANTINA FOLDING DOOR SYSTEM DUAL GLAZED
(E)	8'-0"	8'-0"	VINYL SLIDING, TEMPER, DUAL GLAZED
(F)	2'-6"	8'-0"	WOOD 1 3/4" INTERIOR POCKET
(G)	3'-0"	8'-0"	MTL METAL, VENTED DOOR
(H)	6'-0"	8'-0"	MTL SLIDING, TEMPER, DUAL GLAZED
(O)	2'-6"	8'-0"	WOOD 1 3/4" INTERIOR

WALL LEGEND	
	2x6 WALL W/ STUDS @ 16" O.C. W/ R-21 FIBERGLASS BATT INSULATION W/ STUCCO AS EXTERIOR FINISH AND 5/8" GYPSUM BOARD AS INTERIOR FINISH
	2x4 WALL W/ STUDS @ 16" O.C. W/ R-15 FIBERGLASS BATT INSULATION W/ STUCCO AS EXTERIOR FINISH AND 5/8" TYPE 'X' GYPSUM BOARD AS INTERIOR FINISH
	INTERIOR 2 X 4 WALL W/ STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD ON BOTH SIDES.
	INTERIOR 2 X 4 WALL W/ STUDS @ 16" O.C. W/ R-15 FIBERGLASS INSULATION AND W/ 5/8" GYPSUM BOARD ON BOTH SIDES.
	PLUMBING WALL W/ 2 X 6" STUDS @ 16" O.C. & 1/2" BOARD MOISTURE RESISTANT ON BATHROOM SIDE

KEY NOTES	
①	LAUNDRY ROOM SHALL BE PROVIDED WITH A MINIMUM OF 100 SQ. IN. OF MAKE UP AIR AS PER UMC SECT. 908.2
②	ELECTRICAL MAIN SERVICE 400 AMP. VERIFY WITH LOCAL JURISDICTION
③	TANKLESS WATER HEATER
④	CONDENSER LOCATION . PROVIDE CONCRETE BASE. INSTALL PER MANUF. REG.
⑤	GAS SERVICE, VERIFY W/ UTILITY COMPANY
⑥	PRO SERIES ELECTRIC FIREPLACE BY SUPERIOR FIREPLACE CO. MODEL ERC4060 INSTALLED PER MANUFACTURED SPECIFICATIONS. THIS APPLIANCE HAS BEEN TESTED IN ACCORDANCE WITH UL2012 AND CSA C22.2 NO. 46-M198
⑦	KitchenAid 36" GAS DOWNDRAFT COOKTOP MODEL KCG50655 W/300 CFM EXHAUST FAN- SEE FOUNDATION PLAN SHT 5-1 AND MECHANICAL PLAN SHT-10 FOR UNDERGROUND EXHAUST PIPE LOCATION

REVISION	DESCRIPTION	DATE
SHEET CONTENTS:		
FLOOR PLAN		
2200 SUNRISE WAY HOUSE		
OWNER:	VALLE VISTA LLC.	
PROJECT ADDRESS:	2200 SUNRISE WAY PALM SPRING, CA	
DESIGNER:	LINDA AUN	
	L.A. Construction / Design	
	LINDA AUN	
	LIC. # 660445	
	67100 MEDANO RD., CATHEDRAL CITY, CA 92234	
	PHONE (760) 404-7156	
DATE:	7/21	
SCALE:	AS SHOWN	
DRAWN BY:	L.J.A.	
SHEET	2	




DIMENSIONED PLAN
 SCALE: 1/4"=1'-0"

REVISION	DESCRIPTION	DATE

SHEET CONTENTS:
DIMENSIONED PLAN
 2200 SUNRISE WAY HOUSE

OWNER: VALLE VISTA LLC.
 PROJECT ADDRESS:
 2200 SUNRISE WAY
 PALM SPRING, CA

DESIGNER:
L.A. Construction / Design
 LINDA AUN LIC. # 660445
 67100 MEDANO RD., CATHEDRAL CITY, CA 92234
 PHONE (760) 404-7456

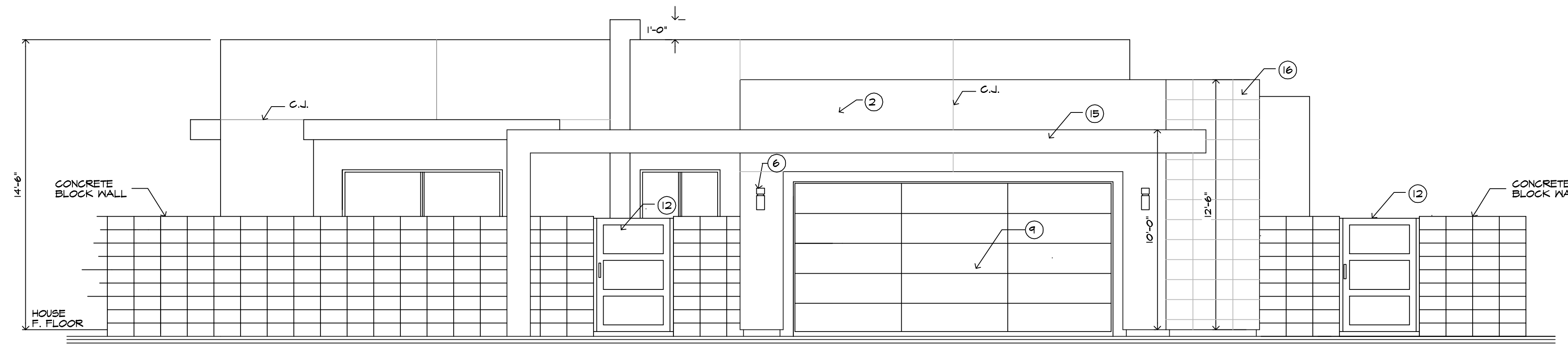
DATE: 7/21

SCALE: AS SHOWN

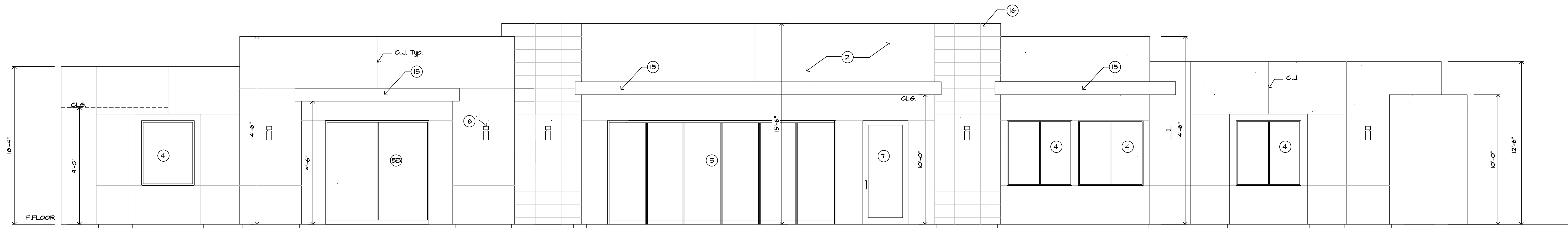
DRAWN BY: L.J.A.

SHEET

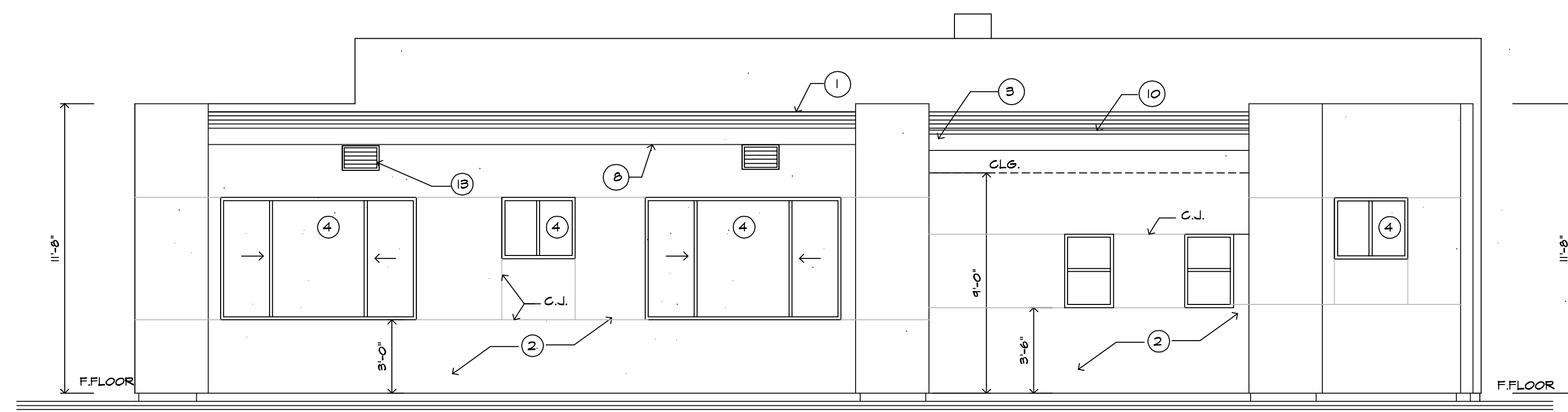
3



FRONT ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE 1/4"=1'-0"



BACK ELEVATION
SCALE 1/4"=1'-0"

ELEVATION LEGEND	
①	ROOFING - LAPOLLA COATING POLYURETHANE FOAM SYSTEM WITH THERMO-FLEX ACRYLIC ROOF ELASTOMERIC TF 1002 LIGHT GRAY COLOR FINISH
②	EXTERIOR STUCCO
③	R.S. FASCIA
④	VINYL WINDOW
⑤	VINYL FOLDING GLASS DOOR
⑤B	VINYL SLIDING GLASS DOOR
⑥	EXTERIOR LAMP
⑦	FRENCH DOOR
⑧	STUCCO UNDERNEATH OVERHANG
⑨	GARAGE DOOR
⑩	GALVANIZED IRON DRIP EDGE- PAINT TO MATCH WINDOWS FRAME
⑪	METAL INSULATED DOOR
⑫	METAL GATE
⑬	10" X 14" SCREENED & LOUVERED VENTS
⑭	6" X 14" SCREENED & LOUVERED VENTS
⑮	STUCCO CANOPY
⑯	ACCENT TILE

REVISION	DESCRIPTION	DATE

SHEET CONTENTS:
ELEVATIONS
2200 SUNRISE WAY HOUSE

OWNER: VALLE VISTA LLC.
PROJECT ADDRESS:
2200 SUNRISE WAY HOUSE
PALM SPRING, CA

LINDA AUN

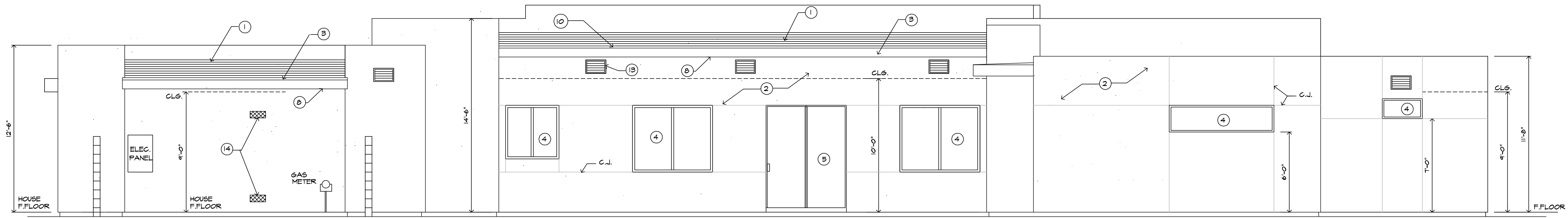
DESIGNER:
L.A. Construction / Design
LINDA AUN
LIC. # 660445
67100 MEDANO RD., CATHEDRAL CITY, CA 92234
PHONE (760) 404-7456

DATE: 6/21

SCALE: AS SHOWN

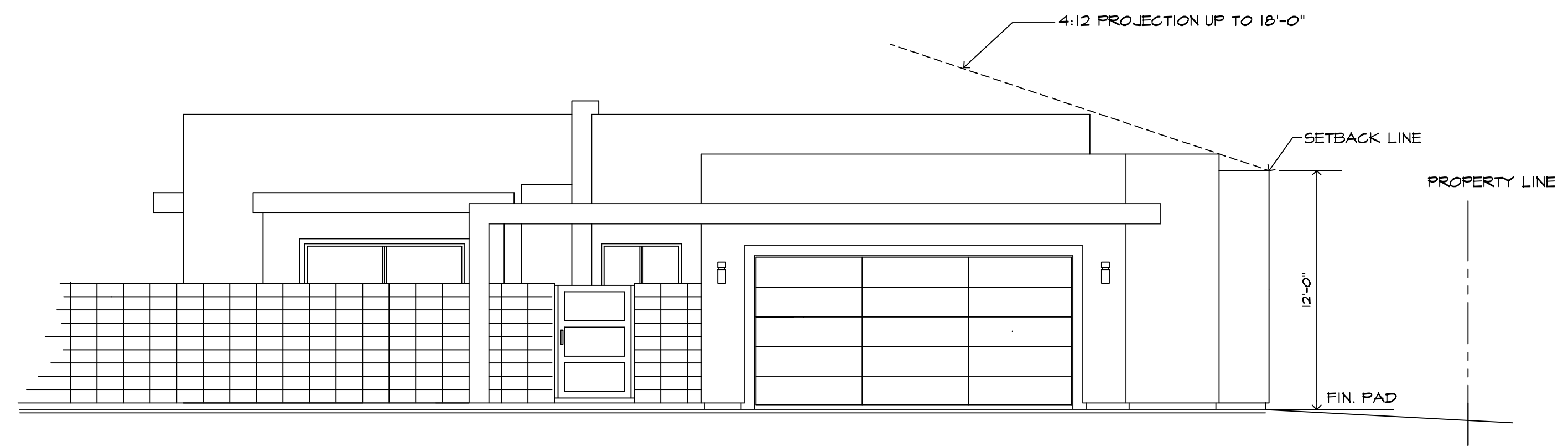
DRAWN BY: L.J.A.

SHEET

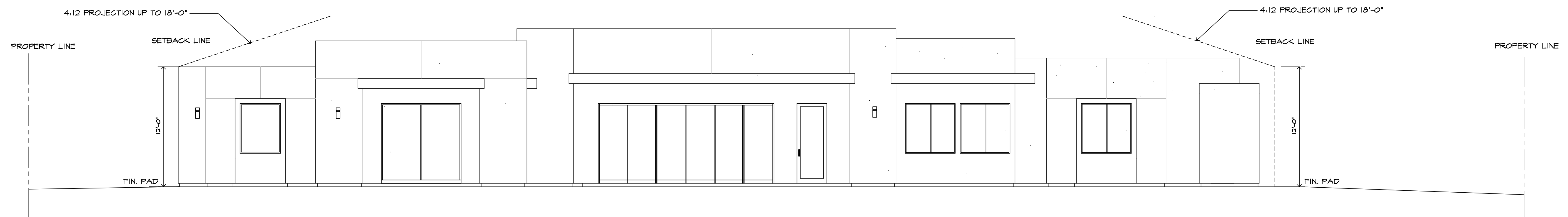


RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION LEGEND			
①	ROOFING - LAPOLLA COATING POLYURETHANE FOAM SYSTEM WITH THERMO-FLEX ACRYLIC ROOF ELASTOMERIC TF 1002 LIGHT GRAY COLOR FINISH	⑧	STUCCO UNDERNEATH OVERHANG
②	EXTERIOR STUCCO	⑨	GARAGE DOOR
③	R.S. FASCIA	⑩	SALVANIZED IRON DRIP EDGE- PAINT TO MATCH WINDOWS FRAME
④	VINYL WINDOW	⑪	METAL INSULATED DOOR
⑤	VINYL SLIDING GLASS DOOR	⑫	METAL GATE
⑥	EXTERIOR LAMP	⑬	10" X 14" SCREENED & LOUVERED VENTS
⑦	FRENCH DOOR	⑭	6" X 14" SCREENED & LOUVERED VENTS
		⑮	CANOPY



SITE SECTION -A
SCALE 3/16"=1'-0"



SITE SECTION-B
SCALE 3/16"=1'-0"

REVISION	DESCRIPTION	DATE

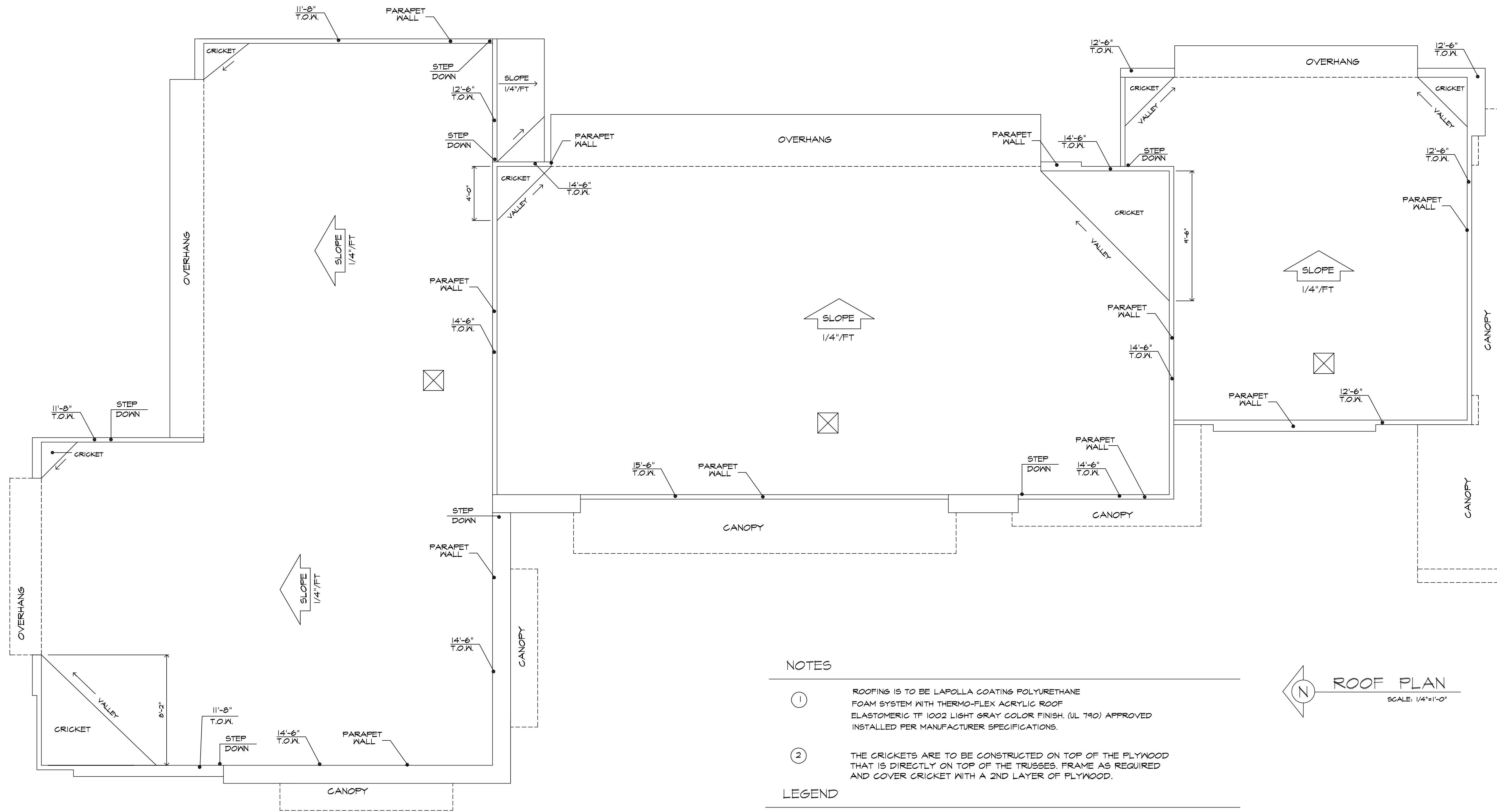
SHEET CONTENTS:
ELEVATIONS
2200 SUNRISE WAY HOUSE

OWNER: VALLE VISTA LLC.
PROJECT ADDRESS:
2200 SUNRISE WAY
PALM SPRINGS, CA

DESIGNER:
L.A. Construction / Design
LINDA AUN
LIC. # 660445
67100 MEDANO RD., CATHEDRAL CITY, CA 92234
PHONE (760) 404-7486

DATE: 6/21
SCALE: AS SHOWN
DRAWN BY: L.J.A.

SHEET
4B



NOTES

- ① ROOFING IS TO BE LAPOLLA COATING POLYURETHANE FOAM SYSTEM WITH THERMO-FLEX ACRYLIC ROOF ELASTOMERIC TF 1002 LIGHT GRAY COLOR FINISH, (UL 790) APPROVED INSTALLED PER MANUFACTURER SPECIFICATIONS.
- ② THE CRICKETS ARE TO BE CONSTRUCTED ON TOP OF THE PLYWOOD THAT IS DIRECTLY ON TOP OF THE TRUSSES, FRAME AS REQUIRED AND COVER CRICKET WITH A 2ND LAYER OF PLYWOOD.

LEGEND

- # T.O.R. ELEVATION AT TOP OF ROOF
- # T.O.W. ELEVATION AT TOP OF PARAPET WALL
- 14" X 14" X 8" ROOF VENTS

ATTIC VENTILATION

ATTIC AREA: 3,330 SQ. FT.
 ATTIC VENTILATION REQUIRED: 3,330/300 X144= 1,598 SQ. INCHES

ATTIC VENTILATION PROVIDED:
 14" X 14" X 8" ROOF VENTS= 196 SQ. INCHES VENTILATION X 3 = 588 SQ INCHES VENTILATION
 16" X 10" SCREENED & LOUVERED WALL VENTS = 160 SQ INCHES X 7 =1,120 INCHES VENTILATION
 TOTAL VENTILATION: 588 SQ. IN. +1,120 SQ. IN. =1,708 SQ. INCHES



REVISION	DESCRIPTION	DATE

SHEET CONTENTS:
ROOF PLAN
 2200 SUNRISE WAY HOUSE

OWNER: VALLE VISTA LLC.
 PROJECT ADDRESS: 2200 SUNRISE WAY PALM SPRING, CA

LINDA AUN

DESIGNER: L.A. Construction / Design
 LINDA AUN LIC. # 660445
 67100 MEDANO RD., CATHEDRAL CITY, CA 92234
 PHONE (760) 404-7486

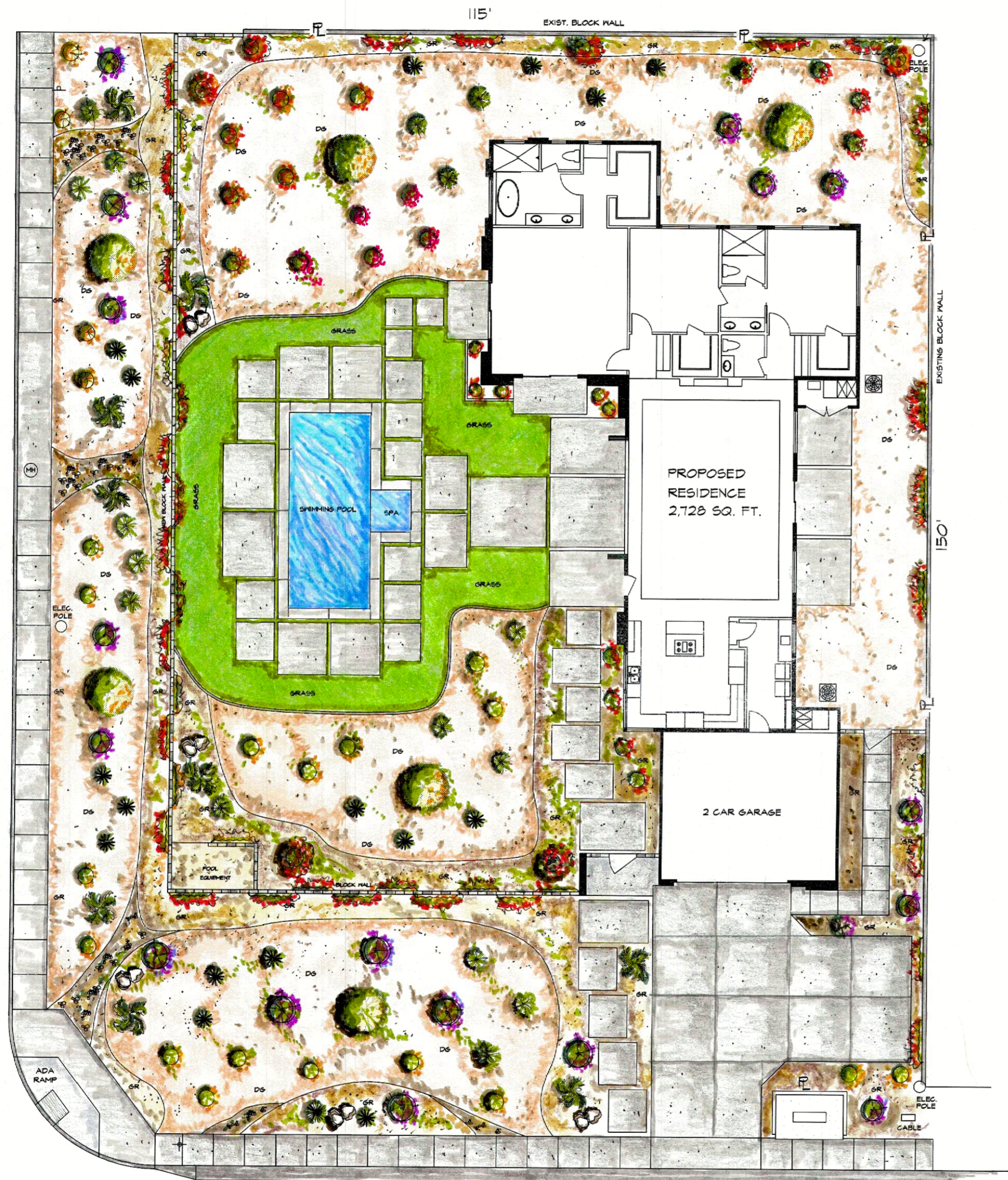
DATE: 06/21

SCALE: AS SHOWN

DRAWN BY: L.J.A.

SHEET
 5

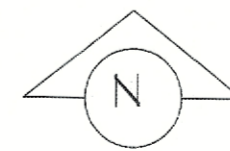
SUNRISE WAY



VIA ESCUELA

PLANT LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
	HYBRID PALO VERDE TREE	24" BOX	6
	BOUGAINVILLEA RED SHRUB	5 GAL	17
	YELLOW LANTANA	5 GAL	21
	MEXICAN BIRD OF PARADISE	5 GAL	5
	TEGOMA STANS -ORANGE BELLS	5 GAL	11
	LITTLE JOHN	5 GAL	5
	TEGOMA VINE -YELLOW BELLS	15 GAL	41
	MEXICAN GRASS TREE	15 GAL	17
	AGAVE	5 GAL	16
	MEDITERRANEAN FAN FAN	15 GAL	1
	RUSSELLIA	5 GAL	8
	BRIMSTONE DS		
	MOJAVE GOLD 3/4" GRAVEL		
	2"-4" GRAVEL		
	BOULDERS- DESERT GOLD 20" TO 36" MAX. WIDTH	20" TO 36" MAX. WIDTH	

NOTE: LANDSCAPING SHOULD BE CONSISTENT WITH THE REQUIREMENTS OF THE COACHELLA VALLEY WATER DISTRICT ORDINANCE 1802.I AS ADOPTED BY THE CITY OF PALM SPRINGS UNDER ORDINANCE NO. 888 "WATER EFFICIENT LANDSCAPE ORDINANCE" AS RECOMMENDED FOR THE LANDSCAPE MATERIALS: "LUSH AND EFFICIENT LANDSCAPE GARDENING IN COACHELLA VALLEY" BY THE COACHELLA VALLEY WATER DISTRICT, 2006.



LANDSCAPE PLAN

SCALE : 1" = 10'

REVISION	DESCRIPTION	DATE

SHEET CONTENTS:
LANDSCAPE PLAN
2200 N SUNRISE WAY HOUSE

OWNER:
VALLE VISTA LLC.
PROJECT ADDRESS:
2200 SUNRISE WAY
PALM SPRINGS, CA

LINDA AIN

DESIGNER:
L.A. Construction / Design
LINDA AIN
LIC. # 660445
67-100 MEDANO RD, CATHEDRAL CITY, CA 92234
PHONE (760) 401-1956

DATE: 07/21

SCALE: AS SHOWN

DRAWN BY: L.J.A.

SHEET

00



S. D'HAN. 21



FRONT ELEVATION
Via Escuela



LEFT ELEVATION
Sunrise Way



RIGHT ELEVATION



BACK ELEVATION