



# ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: SEPTEMBER 20, 2021 NEW BUSINESS

SUBJECT: JAMES NEUHOFF, OWNER FOR A MAJOR ARCHITECTURAL REVIEW APPLICATION FOR THE CONSTRUCTION OF A 5,280-SQUARE FOOT SINGLE-FAMILY HOUSE ON A HILLSIDE LOT LOCATED AT 2336 WINTER SUN DRIVE, ZONE ESA-SP PLANNING AREA 4, LOT 7, DESERT PALISADES SPECIFIC PLAN, SECTION 3 (CASE 3.4279 MAJ). (GM)

FROM: Development Services Department – Planning Division

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## PROJECT DESCRIPTION:

This is a request for approval of a single-family residence of 5,280-square feet on a 19,737-square foot lot within the Desert Palisades Specific Plan (DPSP). The Desert Palisades Specific Plan was adopted by the City Council on January 5, 2011 (Case 5.1154 SP). This project is required to be evaluated for consistency against the following guidelines and standards:

- Section 93.13.00 of the Zoning Code (Hillside Development).
- Section 94.04 of the Zoning Code (Architectural Review).
- Section III “Development Standards” (page 58), Section V “Architecture & Site Design Guidelines” (page 70), and Section VI “Landscaping Guidelines of the DPSP” (page 96).
- Section 92.21.1.05 of the Zoning Code (Design Guidelines for the ESA-SP zone) including mandatory standards in Part “D” and findings outlined in Part “I”.

## RECOMMENDATION:

That the Architectural Review Committee approve the application subject to the attached conditions.

## BACKGROUND INFORMATION:

| <i>Related Relevant City Actions</i> |   |
|--------------------------------------|---|
| 01/05/2011                           | The City Council approved the Desert Palisades Specific Plan and certified the Final Environmental Impact Report (EIR) for the project. |

| <i>Related Relevant City Actions</i> |   |
|--------------------------------------|---|
| 01/07/2015                           | The City Council approved an addendum to the previously-certified EIR to extend the time frame in which grading activities could occur from December 31 <sup>st</sup> to January 31 <sup>st</sup> . |

| <i>Neighborhood Meeting/Neighborhood Notice</i> |  |
|---|--|
| 08/30/2021                                      | Notice mailed by staff to adjacent property owners notifying that the subject application had been filed with the Planning Division, in accordance with 93.13.00 of the Zoning Code.           |
| 09/09/2021                                      | Notice mailed by staff to adjacent property owners notifying that the subject project would be reviewed by the Architectural Review Committee on September 20, 2021.                           |
| 09/16/2021                                      | The surrounding neighborhood organizations within a mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on September 20, 2021. |

**STAFF ANALYSIS:**

| <i>Site Area</i> |                    |
|------------------|--------------------|
| Lot Area         | 19,737-square feet |

| <i>General Plan and Zoning Designations</i> |                          |                      |
|---|--------------------------|----------------------|
| <i>General Plan Designation</i>             | <i>Permitted Density</i> | <i>Compliance</i>    |
| Special Policy Area                         | 1/40 DU/AC               | Y – Desert Palisades |
| <i>Zoning Designation</i>                   |                          |                      |
| ESA-SP                                      |                          |                      |

PSZC Section 94.04.00(E)(13) requires that the proposed application be consistent with any adopted Specific Plan or Planned Development District Design Standards:

| <i>Applicable Specific Plan Area or Design Standards</i> | <i>Compliance</i> |
|--|-------------------|
| Desert Palisades Specific Plan                           | Y                 |

**Development Standards:**

Pursuant to PSZC Section 92.01.03, the following development standards apply:

| <i>Standard</i>      | <i>Required/Allowed</i> | <i>Provided</i>                   | <i>Compliance</i> |
|----------------------|-------------------------|-----------------------------------|-------------------|
| Min. Setbacks        |                         |                                   |                   |
| • Front              | 25 Feet                 | 25 Feet                           | Y                 |
| • Side (east)        | 10 Feet                 | 10 Feet + 7'-6" no build easement | Y                 |
| • Side (west)        | 10 Feet                 | 10 Feet                           | Y                 |
| • Rear               | 15 Feet                 | 15 Feet                           | Y                 |
| Max. Lot Coverage    | 35%                     | 25.5%                             | Y                 |
| Max. Building Height | 18 Feet                 | 17'-11" Feet                      | Y                 |

| <i>Standard</i> | <i>Required/<br/>Allowed</i> | <i>Provided</i> | <i>Compliance</i> |
|-----------------|------------------------------|-----------------|-------------------|
| Parking         | 2 spaces<br>(covered)        | 2 spaces        | Y                 |

Hillside Review Criteria:

PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

|    | <i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>  | <i>Compliance</i> |
|----|---|-------------------|
| 1. | <i>Rock and soil exposure;</i><br>Proposed dwelling sits on top of the native terrain on a semi-graded lot that was used as a staging area for construction of the development. The construction of the house on the rocky site will limit disturbance as much as possible and there will be no disturbance of the “no-build” easement and will stay in its naturalized appearance. | Y                 |
| 2. | <i>Size of building pad;</i><br>The footprint is minimal, keeping the area of the site disturbance minimum. Conforms to DPSP standards for non-mass grading.  | Y                 |
| 3. | <i>Design considerations, such as supporting stilts, colors and building arrangement;</i><br>The proposed home is contemporary/modern in its aesthetic and proposed colors and materials harmonious with the site.  | Y                 |
| 4. | <i>Screening of parking areas;</i><br>The 2-car garage door will be subterranean placed underneath the main house structure with garage door not visible from the street.   | Y                 |
| 5. | <i>Landscaping plans;</i><br>The landscape plan will cause minimal disturbance of the site where new landscape material is proposed. The landscape plan submitted includes the planting of Palo Verde, and Ironwood trees; shrubs such as Brittle Bush and Creosote; succulents such as agave, and cactus including barrel cactus.  | Y                 |
| 6. | <i>Continuity with surrounding development;</i><br>Proposed house is similar in design to others currently built and under construction in DP.  | Y                 |
| 7. | <i>Sensitivity to existing view corridors.</i><br>Views are preserved and directed, building and landscape sited to not block views from adjacent parcels.  | Y                 |

Conclusion: The project is consistent with the architectural guidelines of Zoning Code Section 93.13.00. (“Hillside Development”).

Architectural Review Criteria and Findings:  
PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

|    | <i>Criteria and Findings [PSZC 94.04.00(E)]</i>   | <i>Compliance</i> |
|----|---|-------------------|
| 1. | <p><i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i></p> <p>The home is appropriately sited on the lot with the outdoor living areas oriented along the west side of the home taking advantage of views and solar angles and will be finished on all sides.</p> | Y                 |
| 2. | <p><i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i></p> <p>There are no accessory structures proposed.</p>   | Y                 |
| 3. | <p><i>The façade elements and fenestration are composed in a harmonious manner;</i></p> <p>The proposed home is contemporary/modern in its aesthetic and proposed colors and materials harmonious with the site.</p>  | Y                 |
| 4. | <p><i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i></p> <p>Building materials suitable for harsh desert climate and conforming to the architectural guidelines of the DPSP are proposed.</p>  | Y                 |
| 5. | <p><i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i></p> <p>Materials and colors proposed (steel, glass, concrete, tongue and groove vertical siding, porcelain tiles, and dark bronze window frames) are durable and appropriate for a harsh desert climate.</p>                     | Y                 |
| 6. | <p><i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i></p> <p>Multiple wide roof overhangs, and eaves, provide solar control and interest for the building architecture.</p>  | Y                 |
| 7. | <p><i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i></p>   | Y                 |

|     | <i>Criteria and Findings [PSZC 94.04.00(E)]</i>   | <i>Compliance</i> |
|-----|---|-------------------|
|     | The site is proposed in a naturalized form, with limited disturbance to the existing terrain. The “no-build” easement on the east property line will be maintained as well as an open space area to the west. Any new plants will meet the planting requirements for the DPSP for plant type and species.   |                   |
| 8.  | <i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i><br>Where new landscape material is proposed, the landscape plan submitted includes the planting of Palo Verde, and Ironwood trees; shrubs such as Brittle Bush and Creosote; succulents such as agave, and cactus including barrel cactus. | Y                 |
| 9.  | <i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i><br>There are no public sidewalks or pathways present on Lot 7.   | N/A               |
| 10. | <i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i><br>Exterior lighting is shielded and proposed in low levels of brightness.  | Y                 |
| 11. | <i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i><br>No signage proposed.  | N/A               |
| 12. | <i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i><br>All mechanical equipment will be placed in a dedicated room located in the basement portion of the house and will not be visible from the street.  | Y                 |
| 13. | <i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i>   | Y                 |

|  | <i>Criteria and Findings [PSZC 94.04.00(E)]</i>  | <i>Compliance</i> |
|--|--|-------------------|
|  | The proposed dwelling demonstrates an integrated solution to the challenges inherent with construction in an environmentally sensitive area. The project is comprehensive in its coordination of materials, landscape, color, massing and an overall design sensitive to the unique characteristics of the site. |                   |

Furthermore; Sections V (“Architecture ad Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC Section 92.21.1.05 (“Findings Required for Approval”) have been found to be consistent with the Desert Palisades Specific Plan.

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”), and the City Council approved the Desert Palisades Specific Plan and certified the Final Environmental Impact Report (EIR) for the project on January 5, 2011. The proposed single-family home is consistent with the findings of the approved EIR.

CONCLUSION:

The project proposes good integration of the structure, terraces, and other elements into the natural features of the site with minimal disturbance to terrain and vegetation. Where disturbance is unavoidable, appropriate site restoration techniques are proposed. Full integration of the proposed dwelling into the natural characteristics of the site has been achieved to the greatest extent possible. The proposed dwelling is consistent with the design guidelines of the DPSP with respect to low roof lines, terraced building pads, minimal cut and fill and thoughtful solutions to integrate the home into the site and Staff recommends approval. As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”) and 94.04.00 (“architectural review”); the Architecture, Landscaping and Design Guidelines of Desert Palisades Specific Plan Sections V (“Architecture ad Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC Section 92.21.1.05 (“Findings Required for Approval”).

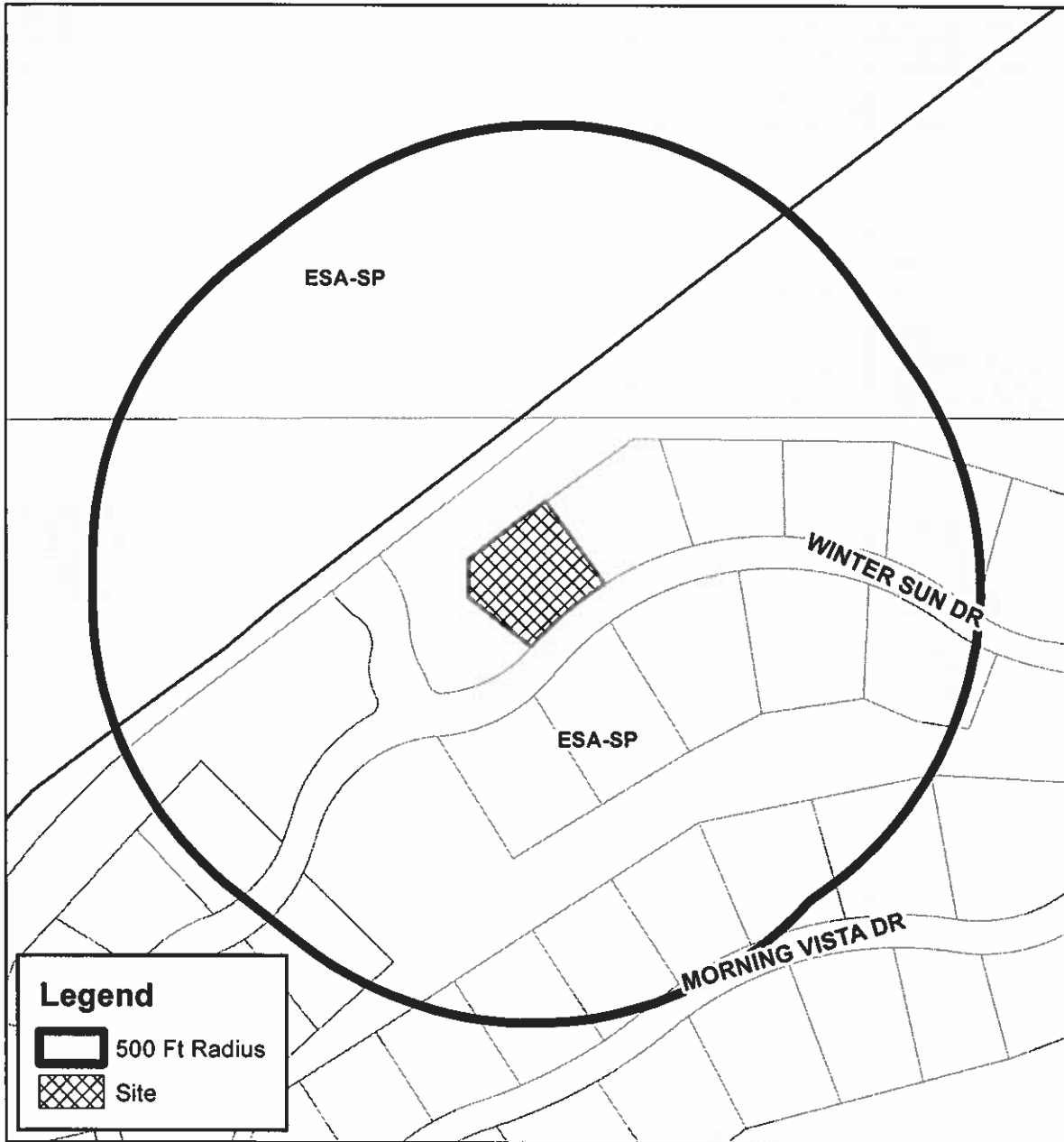
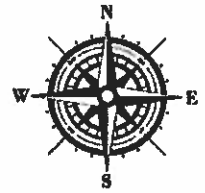
|              |  |
|--------------|--|
| PREPARED BY: | Glenn Mlaker, AICP – Associate Planner           |
| REVIEWED BY: | David Newell, AICP – Assistant Planning Director |

ATTACHMENTS:

1. Vicinity Map
2. Draft Resolution
3. Conditions of Approval
4. Justification Letter
5. Site Photos
6. Exhibit Package



# Department of Planning Services Vicinity Map



**CITY OF PALM SPRINGS**  
Case # 3.4279 MAJ  
2336 Winter Sun Drive

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION FOR DEVELOPMENT OF A 5,280-SQUARE FOOT SINGLE FAMILY RESIDENCE ON A HILLSIDE LOT LOCATED AT 2336 WINTER SUN DRIVE (CASE 3.4279 MAJ / ZONE ESA-SP – PLANNING AREA 4, LOT 7, DESERT PALISADES SPECIFIC PLAN).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

- A. James Neuhoff, Owner (“Applicant”) filed an application with the City, pursuant to the Desert Palisades Specific Plan, and Palm Springs Zoning Code (PSZC) Sections 94.04.00 (architectural review) and 93.13.00 (hillside development) of the Palm Springs Zoning Code, for construction of a 5,280-square foot single family residence located at 2336 Winter Sun Drive (“the Project”).
- B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City’s Planning Commission to the City’s Architectural Review Committee.
- B. On September 9, 2021, City staff notified the owners of properties immediately adjacent to the Project site of the scheduling of an Architectural Review Committee meeting to consider the subject application, pursuant to PSZC 93.13.00 (B,1,c).
- C. On September 20, 2021, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Construction or Conversion of Small Structures).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”) and 94.04.00 (“architectural review”); the Architecture, Landscaping and Design Guidelines of Desert Palisades Specific Plan Sections V (“Architecture and Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC Section 92.21.1.05 (“Findings Required for Approval”)



Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Case 3.4279 MAJ, for the construction of a 5,280 square foot single family residence on a hillside lot located at 2336 Winter Sun Drive, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 20th day of September, 2021.

AYES:  
NOES:  
ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

---

David Newell, AICP  
Assistant Planning Director

jil lewis  
architecture

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[jill@jillemisarchitecture.com](mailto:jill@jillemisarchitecture.com)

415.656.0188

15 July 2021

Ken Lyon  
Associate City Planner  
City of Palm Springs  
3200 East Tahquitz Canyon Way  
Palm Springs, California 92262

RE: Justification Letter for D|P7 Residence

Dear Ken,

This justification letter defines our design intent for the D|P7 Residence, location within the Desert Palisades development on Lot 7 at 2336 Winter Sun Drive in Palm Springs, APN 504-390-007. The project consists of a 4,658 SF residence with a 662 SF 2-car garage and mechanical space (5,280 SF enclosed) on a 0.45 acre site. The terrace-house form is within the setbacks and 18' pillow-height limit.

Our design for this property sought to maintain and enhance the natural site features. The form was inspired by Desert Modernism and the regional architectural vernacular. The house was designed to rest as lightly as possible on the site, with broad, horizontal, cantilevered forms that take advantage of mountain and valley views, and respect the future development of neighboring residences and their respective view corridors.

The primary living spaces of the house were organized on one level, broken into two "wings" connected by a glass bridge. Dividing the mass into two wings reduces the overall scale of the house and organizes the program into private and public spaces. With the outdoor living spaces located behind the house, cradled in the elbow of the two wings, gatherings at the pool will be out of site of neighboring properties, and enjoy an unimpeded view of the mountains above to the west. The formal living spaces face the valley view to the south and east, with a terrace surrounding the form to soften the transition from indoor to outdoor spaces.

The garage, mechanical room, gym and entry are tucked under the volume of the main floor. The intention was to minimize the visual weight of the garage, conceal the garage door from the street, and to aggregate these spaces into a "base" that feels like an extension of the rocky site. The main floor cantilevers over the edge of this ground level on almost all sides reducing the actual footprint of the house, allowing natural drainage channels to pass under the house and the two "bridges". The entry sequence, bringing guests into the house via a path leading to this ground floor, entry builds anticipation for visitors, who follow the path cut through the site into the entry space, then ascend the central stair, arriving at the main floor with the

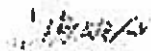
valley view greeting them upon arrival. For guests with mobility issues, there is an elevator taking them from the ground floor to the main floor, with no additional level changes within the house.

We have minimized impervious surfaces, opting for permeable pavers and small concrete pads surrounded by natural stone, decomposed granite and native plants - creating a house that is integrated within the landscape. The landscape design is intended to look and feel like the natural desert setting of the Chino Canyon alluvial fan, with native species organically placed around the site and paved areas nestled among boulders.

The buildings' material palette of board-formed concrete, painted metal, glass and painted, board-formed concrete walls is consistent with the character of Palm Springs and will be a consistent addition to the already high standards existing in the Desert Palisades development.

We look forward to cooperating with the city to gain approval for this project.

Respectfully,

A handwritten signature in black ink, appearing to read "Jill Lewis", with a stylized flourish at the end.

Jill Lewis  
Jill Lewis Architecture

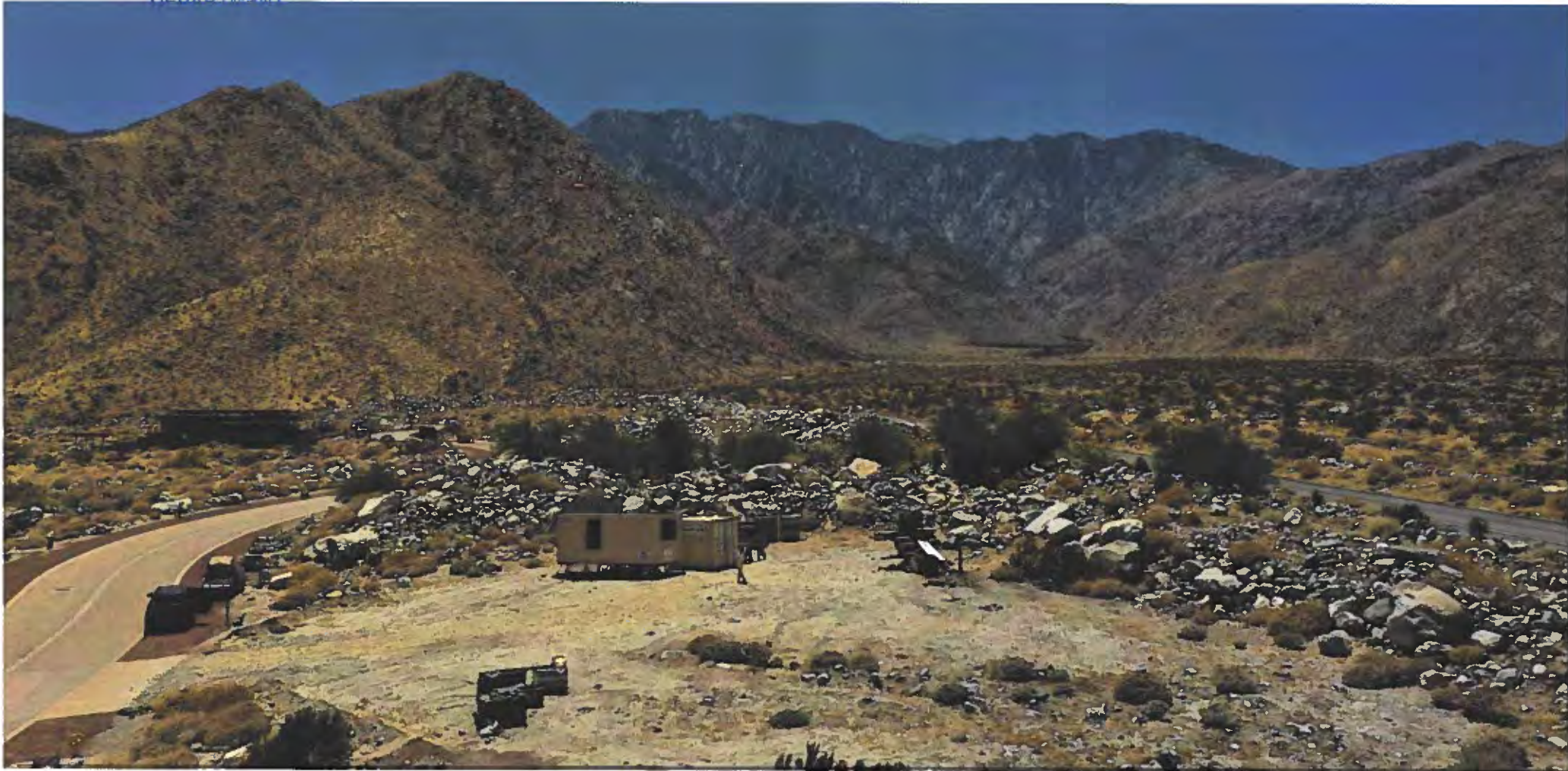
L-33.4279

RECEIVED

JUL 15 2021

PLANNING SERVICES  
DEPARTMENT

DESERT PAUSADIES  
D|7



SITE PHOTO ONE | VIEW FROM EAST

jill lewis  
architecture



SITE PHOTO TWO | VIEW TO WEST



SITE PHOTO THREE | VIEW FROM NORTHWEST



SITE PHOTO FOUR | VIEW TO NORTHWEST



FIVE | VIEW TO WEST



SIX | VIEW TO  
NORTHWEST



FIVE | VIEW FROM WEST







DESERT PALISADES  
D|7

RENDERING | ONE

jill lewis  
architecture









1X4 BOARD-FORMED CONCRETE



MONUMENTAL ALL-ALUMINUM DOORS AND WINDOWS AND FASCIA IN DARK BRONZE WITH MATTE BLACK METAL ACCENTS AT FASCIA + GUTTERS



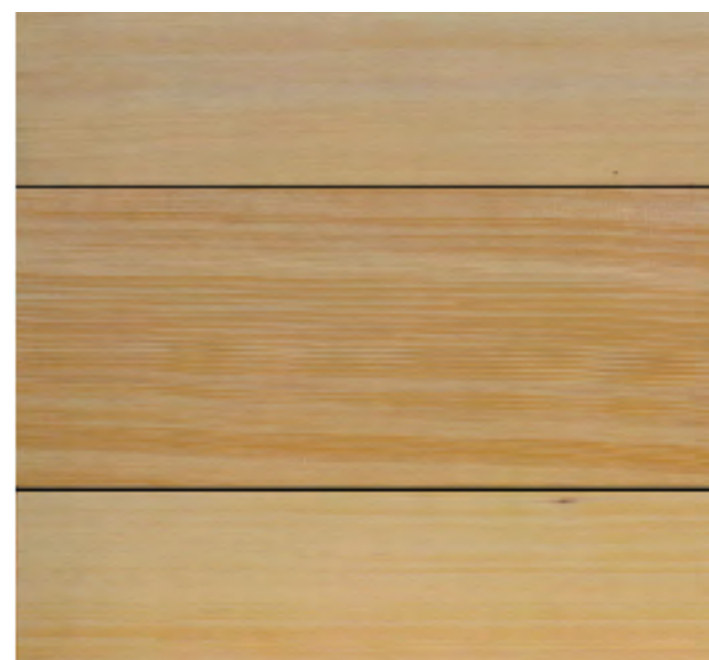
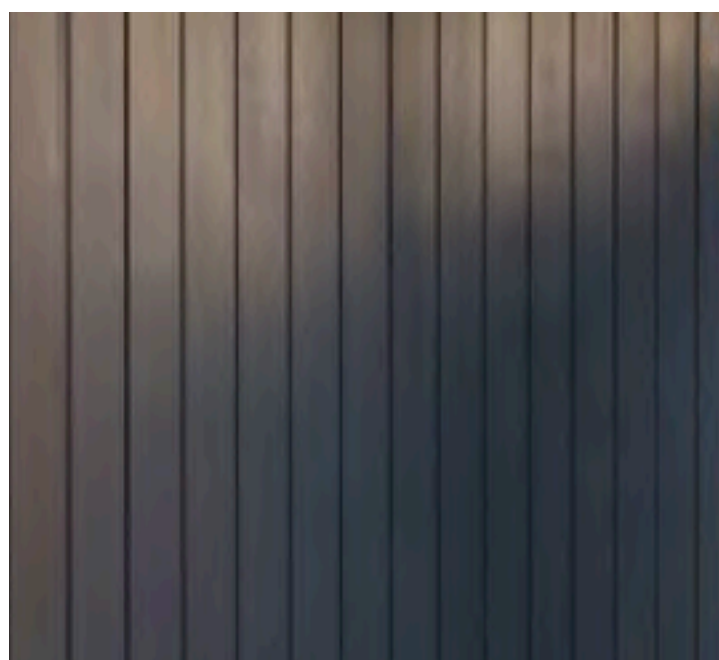
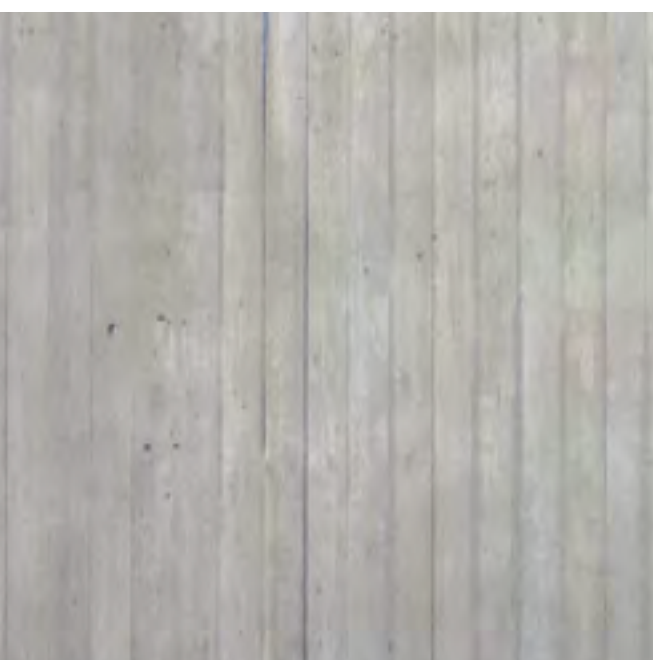
ASPYRE DESIGN ARTISAN V-RUSTIC SIDING BY HADIE-PANEL - PAINTED BENJAMIN MOORE "WROUGHT IRON" 2124-10



TONGUE & GROOVE HEMLOCK SOFFIT



SBS 2-PLY GRANULAR ROOF MEMBRANE BY SOPREMA IN "TAN"



**DRAWING INDEX**

- 1 - COVER SHEET
- 2 - PROJECT INFORMATION, LOT COVERAGE  
DIAGRAM + PROJECT LOCATION MAP +  
BUILDING HEIGHT DIAGRAM
- 3 - PERSPECTIVE VIEWS
- 4 - PERSPECTIVE VIEWS
- 5 - SITE PLAN - GROUND FLOOR
- 6 - SITE PLAN - MAIN FLOOR
- 7 - GROUND FLOOR PLAN
- 8 - MAIN FLOOR PLAN
- 9 - ROOF PLAN
- 10 - EXTERIOR ELEVATIONS
- 11 - EXTERIOR ELEVATIONS
- 12 - BUILDING SECTIONS
- 13 - BUILDING SECTIONS

- L-1.0 PLANTING PLAN
- L-1.1 PLANTING PALETTE
- L-2.0 LED LANDSCAPE LIGHTING PLAN
- LD-1 PLANTING DETAILS
- LD-2 IRRIGATION DETAILS

- G1 - GRADING & DRAINAGE COVER SHEET
- G2 - GRADING & DRAINAGE PLAN

REFERENCE CODES:  
 2019 CALIFORNIA RESIDENTIAL CODE  
 2019 CALIFORNIA BUILDING CODE  
 2019 CALIFORNIA ENERGY CODE  
 2019 CALIFORNIA GREEN BUILDING CODE  
 2019 CALIFORNIA MECHANICAL CODE  
 2019 CALIFORNIA PLUMBING CODE  
 2019 CALIFORNIA ELECTRICAL CODE  
 2019 CALIFORNIA FIRE CODE  
 ALL LOCAL CODES AND ORDINANCES

**ZONING DATA**  
 ZONE R-1-C  
 FRONT SETBACK 25 FT  
 SIDE SETBACKS 10 FT  
 REAR SETBACK 15 FT  
 SIDE YARD "NO-BUILD EASEMENT" 7.5 FT

SEISMIC:  
 SEISMIC DESIGN CATEGORY "D" WHEN USING THE 2019 CALIFORNIA BUILDING CODE, "D2" WHEN USING CALIFORNIA RESIDENTIAL CODE.

WIND:  
 FOR RISK CATEGORY II, BASIC WIND SPEED SHALL BE 109 MPH, EXPOSURE C

CLIMATE:  
 CA ENERGY CODE CLIMATE ZONE 15  
 DESIGN RAINFALL 3 INCHES

**FLOOR AREA**

|                                |          |
|--------------------------------|----------|
| GROUND FLOOR CONDITIONED SPACE | 603 SF   |
| MAIN FLOOR CONDITIONED SPACE   | 4,055 SF |
| TOTAL CONDITIONED SPACE        | 4,658 SF |

|                                       |          |
|---------------------------------------|----------|
| GARAGE + MECH (UNCONDITIONED SPACE)   | 662 SF   |
| TOTAL ENCLOSED SPACE (HOUSE + GARAGE) | 5,280 SF |

|                                  |        |
|----------------------------------|--------|
| GROUND FLOOR COVERED ENTRY PORCH | 70 SF  |
| MAIN FLOOR COVERED TERRACES      | 921 SF |

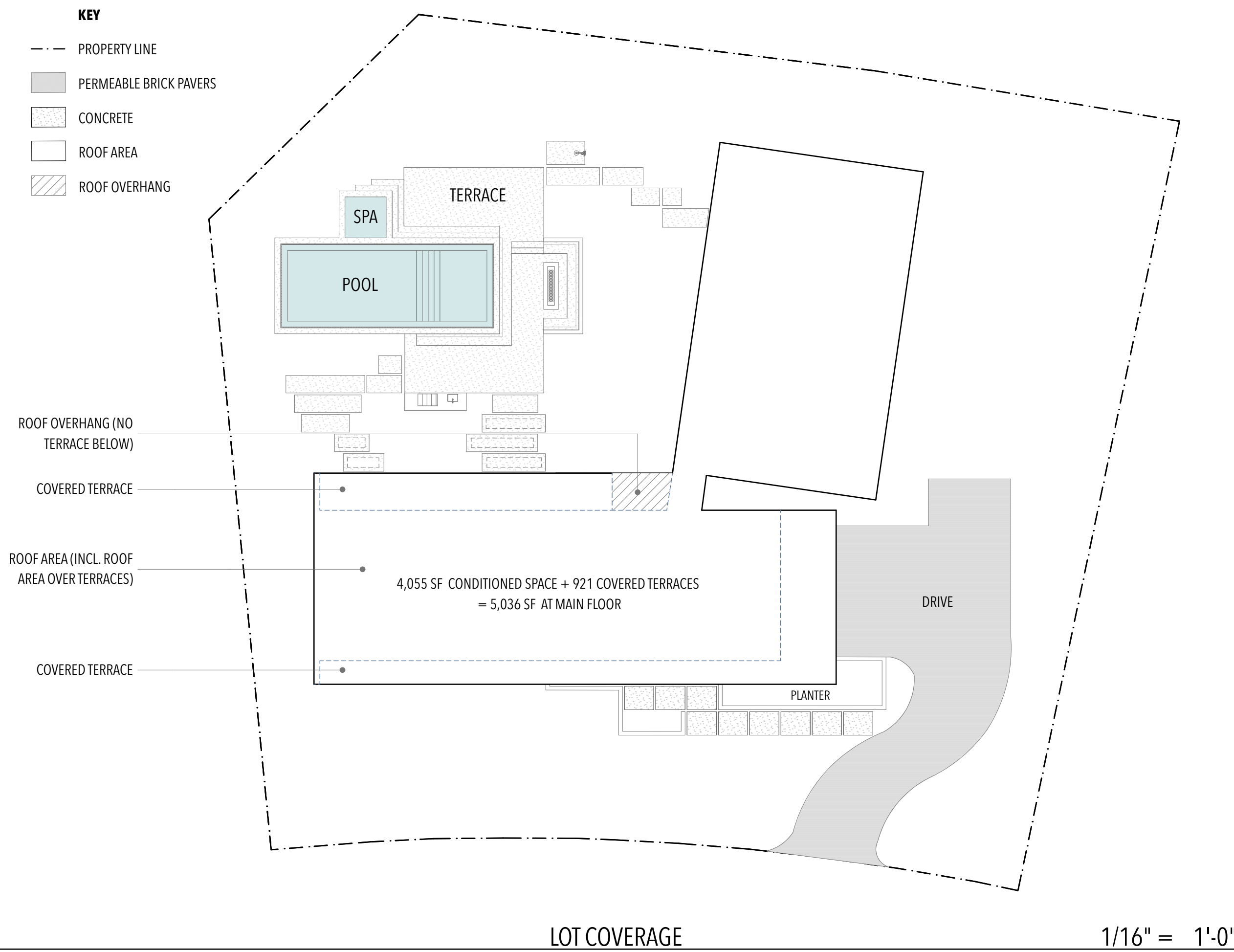
**LOT COVERAGE**  
 (SEE LOT COVERAGE DIAGRAM)  
 MAIN FLOOR 4055 SF + COVERED TERRACES 921 SF = 5,036 SF

TOTAL LOT AREA 19,737 SF (.45 ACRE)  
 BUILDABLE AREA FOR ZONING R-1-C 35% of 19,737 = 6,907 SF  
 PROPOSED BLDG COVERAGE 5,036/19,737 = 25.5% < 35% MAX  
 MAX BUILDING COVERAGE 5,036 < 6,000 SF

**IMPERVIOUS AREA CALCULATIONS**  
 SEE CIVIL PLANS

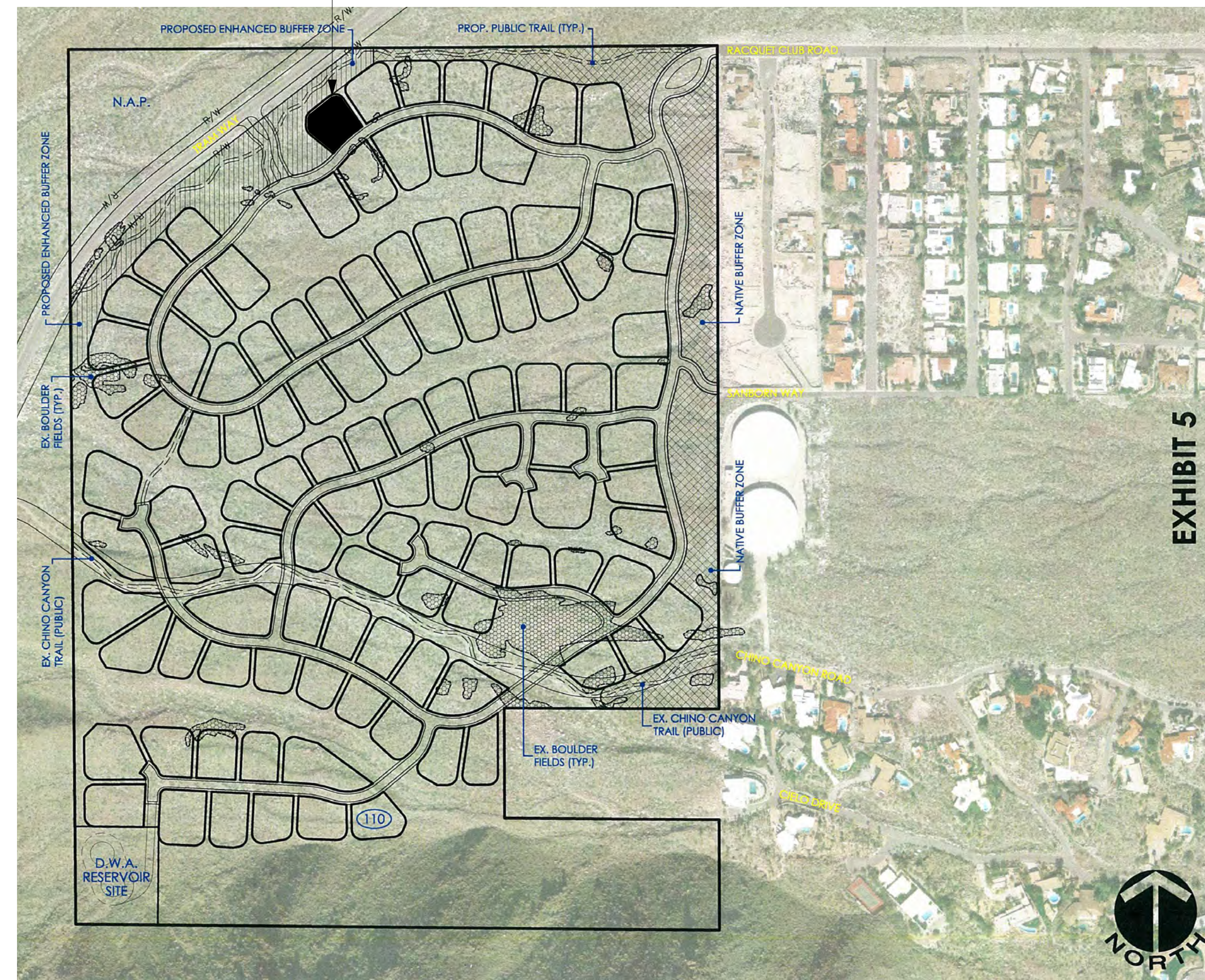
**BUILDING HEIGHT CALCULATIONS**  
 (SEE BUILDING HEIGHT DIAGRAM)  
 MAX ALLOWABLE HEIGHT: 18FT "PILLOW" ABOVE EXISTING GRADE, AND 25' MAX FROM LOWEST FLOOR SLAB TO HIGHEST POINT OF BUILDING.

MAXIMUM HEIGHT DIFFERENCE BETWEEN LOWEST FINISHED FLOOR SLAB (937") AND HIGHEST POINT OF ROOF (959") IS 22'. MAXIMUM DIFFERENCE BETWEEN ANY POINT OF ROOF AND ORIGINAL GRADE IS <18' ABOVE ORIGINAL GRADE.



**PROJECT SITE**

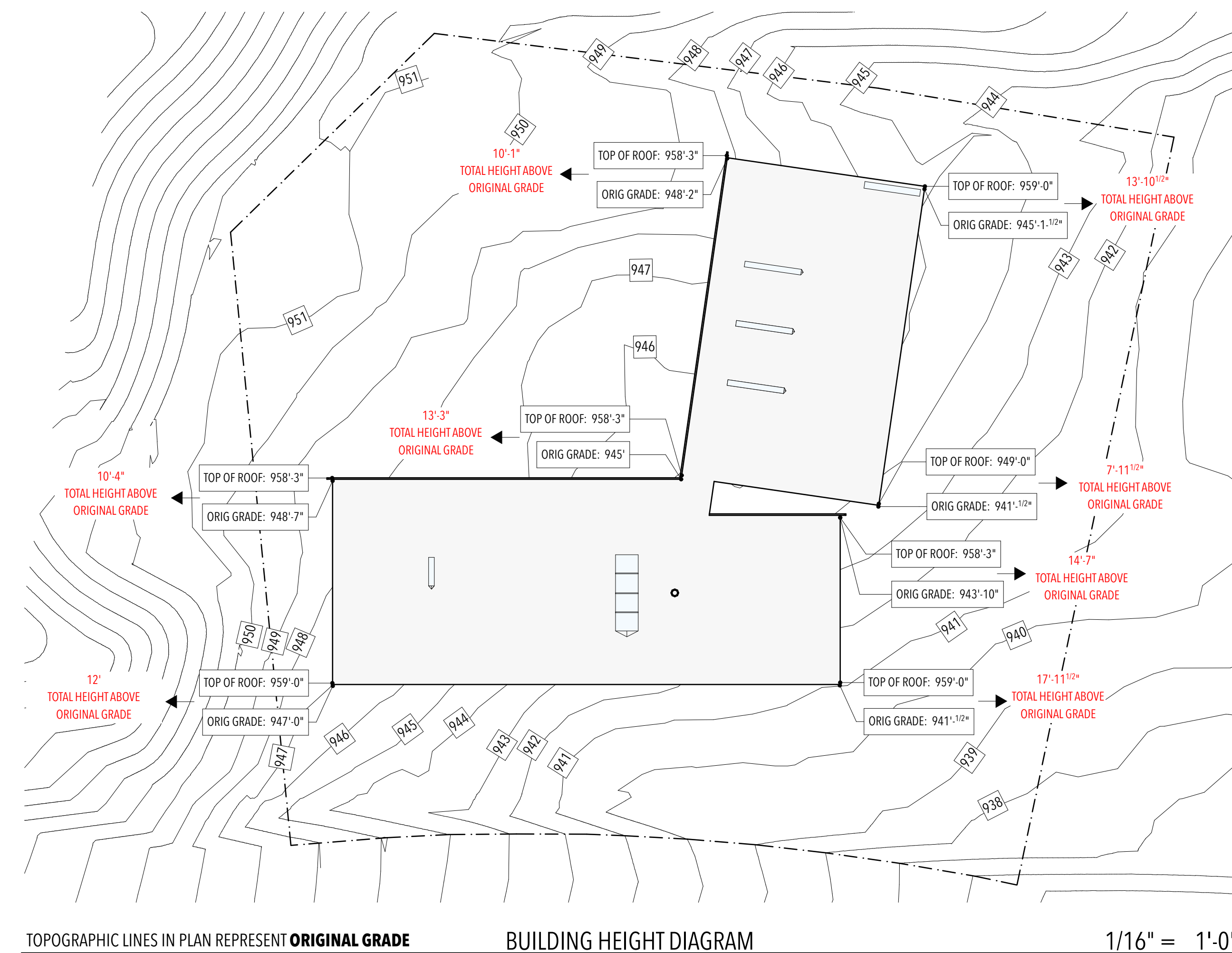
DESERT PALISADES LOT 7  
 2336 WINTER SUN DRIVE  
 PALM SPRINGS, CA 92262  
 APN: 504-390-007



MAP TAKEN FROM CITY OF PALM SPRINGS - DESERT PALISADES SPECIFIC PLAN - SECTION II - LAND USE AND DEVELOPMENT PLAN, EXHIBIT 5

LOCATION MAP

1:0.94



DESERT PALISADES **D|7**

OWNER  
 Jameson Neuhoff | DP7 LLC  
 19550 N. Grayhawk Drive No. 1091  
 Scottsdale, AZ 85255  
 (614) 432-1450

ARCHITECT  
 Jill Lewis Architecture  
 850 N. Avenida Caballeros  
 Palm Springs, CA 92262  
 (415) 636-0480  
 jilllewisarchitecture.com  
 jill@jilllewisarchitecture.com

CONTRACTOR  
 Palm Pacific Construction LLC  
 700 North Palm Canyon Drive  
 Palm Springs, CA 92262  
 General: Scott Cullens (760) 774-2600  
 scott@palmppacificconstruction.com

STRUCTURAL ENGINEER  
 WT Engineering  
 Jeff Gutowsky  
 77-711 Flora Road | Suite 219  
 Palm Desert, CA 92211  
 (760) 285-3033  
 jeff.gutowsky@wtengineering.com

CIVIL ENGINEER  
 Sanborn Architecture Group  
 Allen Sanborn  
 71780 San Jacinto Drive | E1  
 Rancho Mirage, CA 92270  
 (760) 423-0600  
 allen@sanbornag.com

LANDSCAPE DESIGN  
 Desert Modern Landscape  
 Elena Adina Peterson  
 Palm Springs, CA 92262  
 (760) 567-1844  
 adinapeterson@yahoo.com

PROJECT INFORMATION

**2**

15 JULY 2021

OWNER  
Jameson Neuhoff | DP7 LLC  
19550 N. Grayhawk Drive No. 1091  
Scottsdale, AZ 85255  
(614) 432-1450

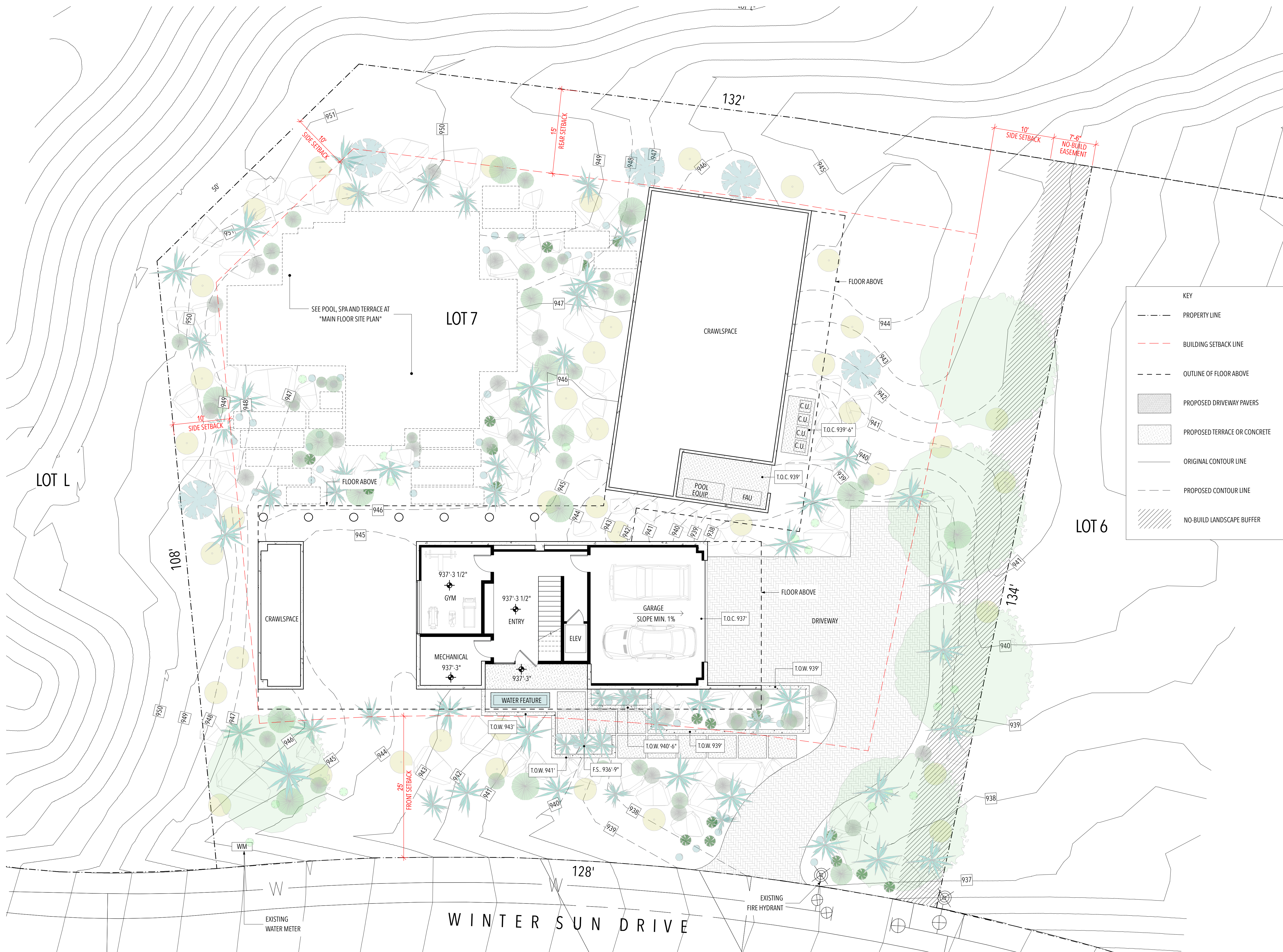
ARCHITECT  
Jill Lewis Architecture  
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LANDSCAPE DESIGN  
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| KEY |                              |
|-----|------------------------------|
|     | PROPERTY LINE                |
|     | BUILDING SETBACK LINE        |
|     | OUTLINE OF FLOOR ABOVE       |
|     | PROPOSED DRIVEWAY PAVERS     |
|     | PROPOSED TERRACE OR CONCRETE |
|     | ORIGINAL CONTOUR LINE        |
|     | PROPOSED CONTOUR LINE        |
|     | NO-BUILD LANDSCAPE BUFFER    |

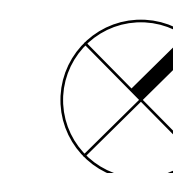
SITE PLAN  
GROUND FLOOR

**5**

15 JULY 2021

SITE PLAN - GROUND

1/8" = 1'-0"





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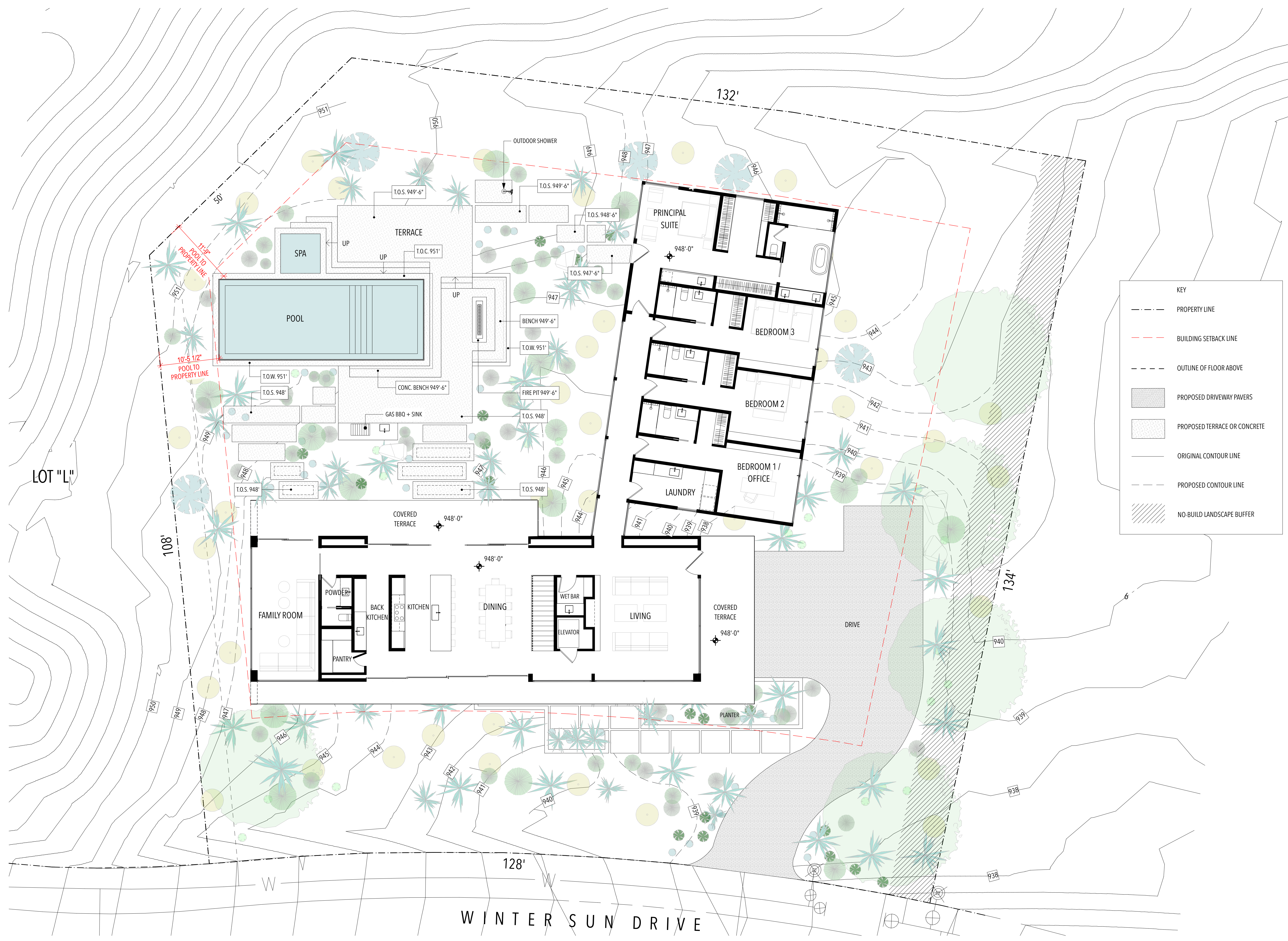
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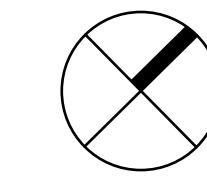
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LOT "L"

WINTER SUN DRIVE

SITE PLAN - MAIN FLOOR

1/8" = 1'-0"



SITE PLAN  
MAIN FLOOR

6

15 JULY 2021

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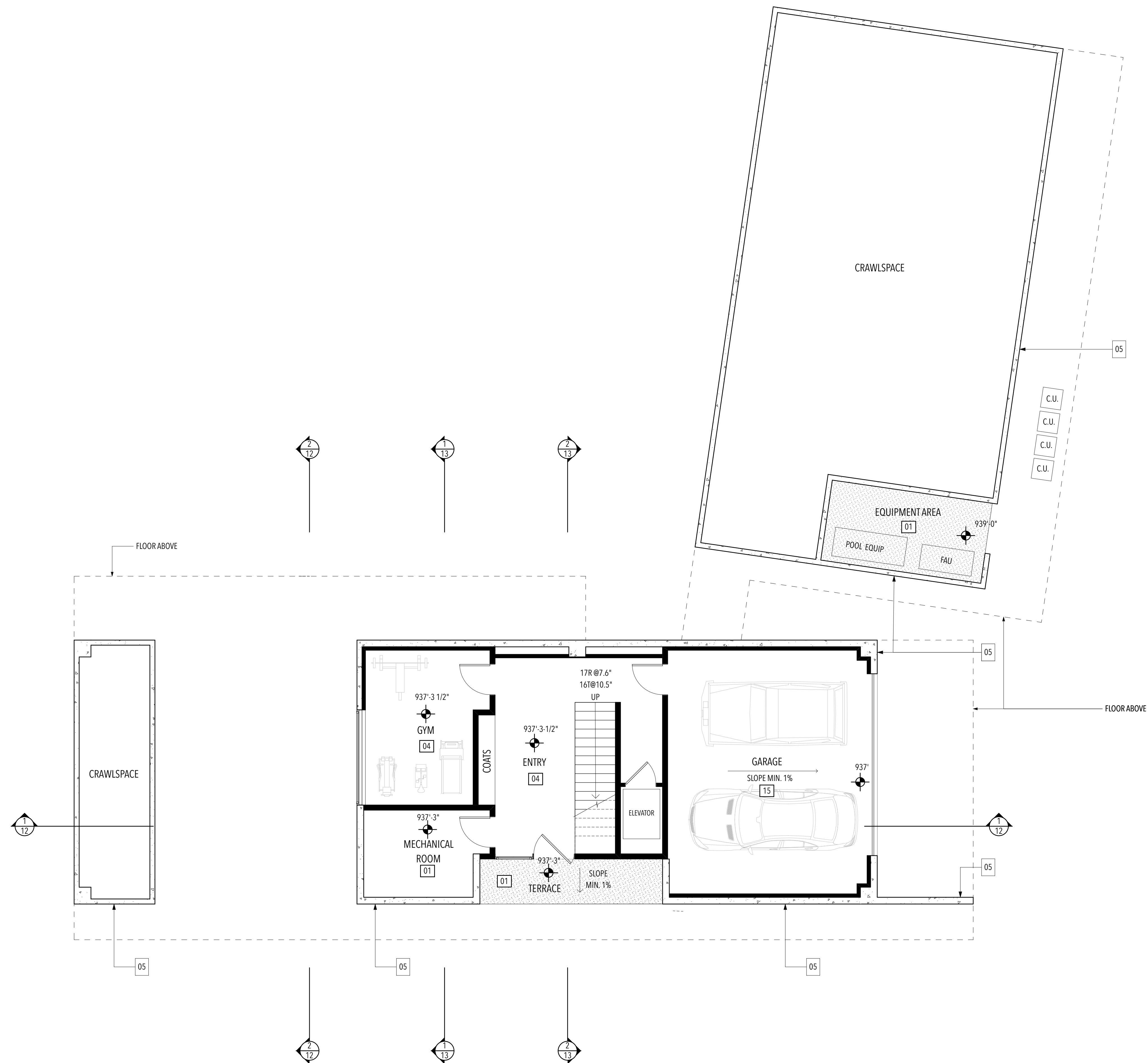
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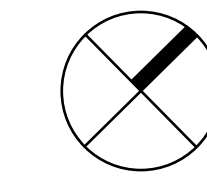
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  - 14 FRAMELESS GLASS GUARDRAIL
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  - 16 SKYLIGHT
  - 17 GAS FIREPLACE
  - 18 FLUE FOR GAS FIREPLACE APPLIANCE



GROUND FLOOR

3/16" = 1'-0"



GROUND FLOOR PLAN

7

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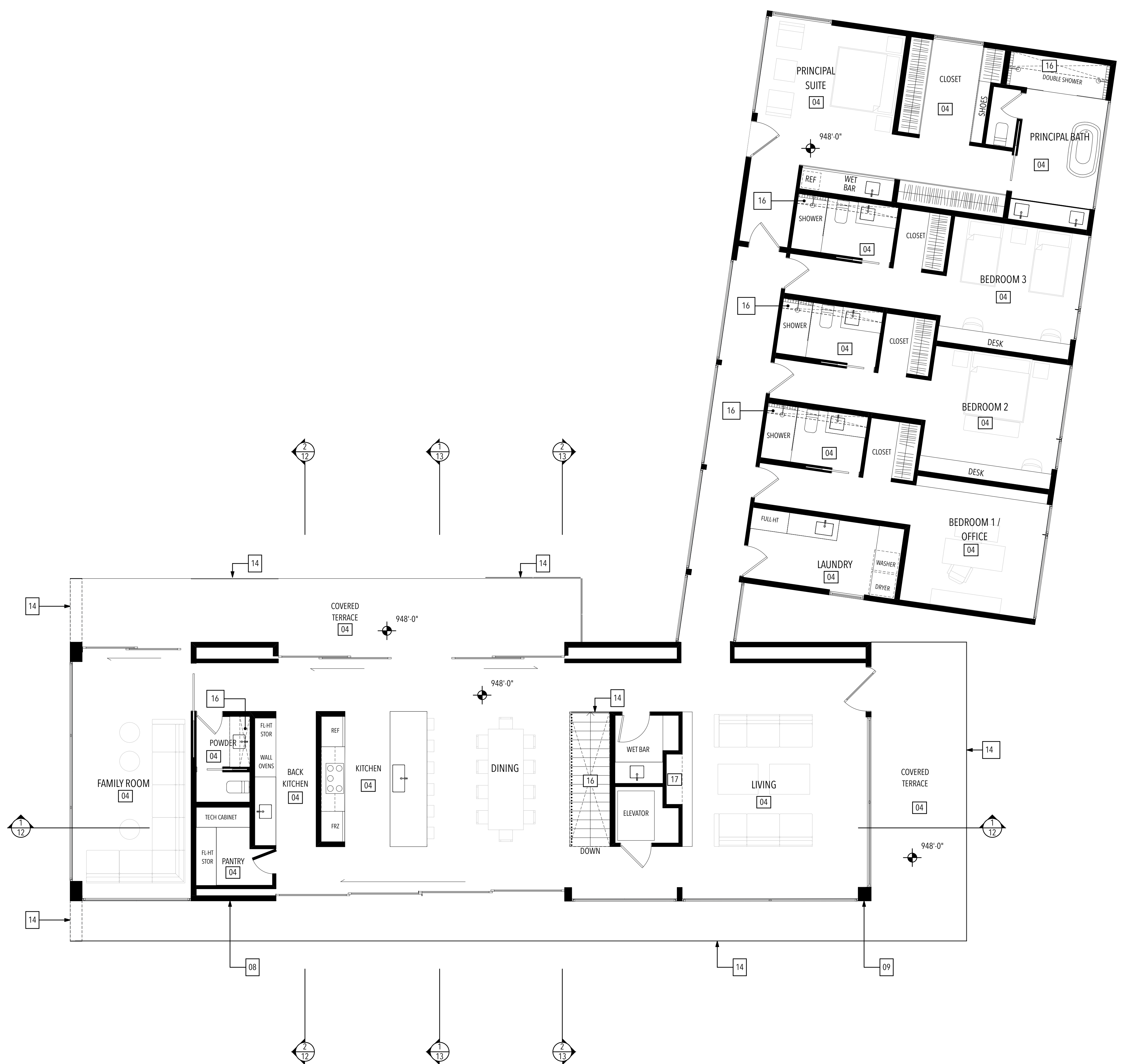
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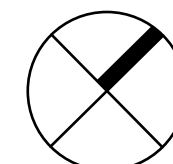
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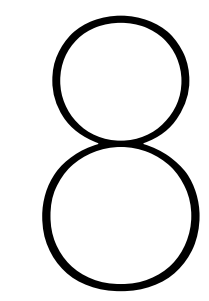


MAIN FLOOR

3/16" = 1'-0"



MAIN FLOOR PLAN



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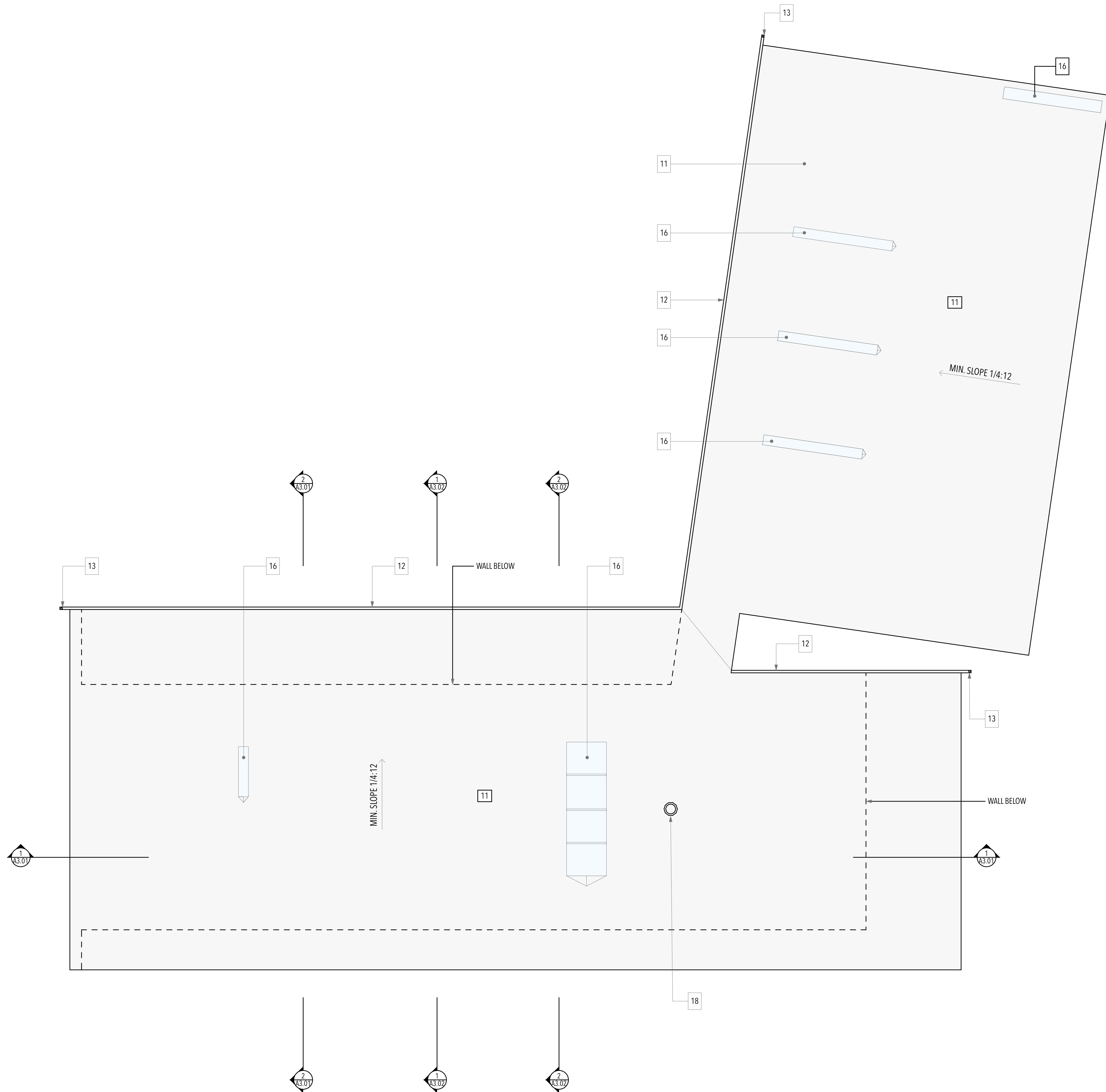
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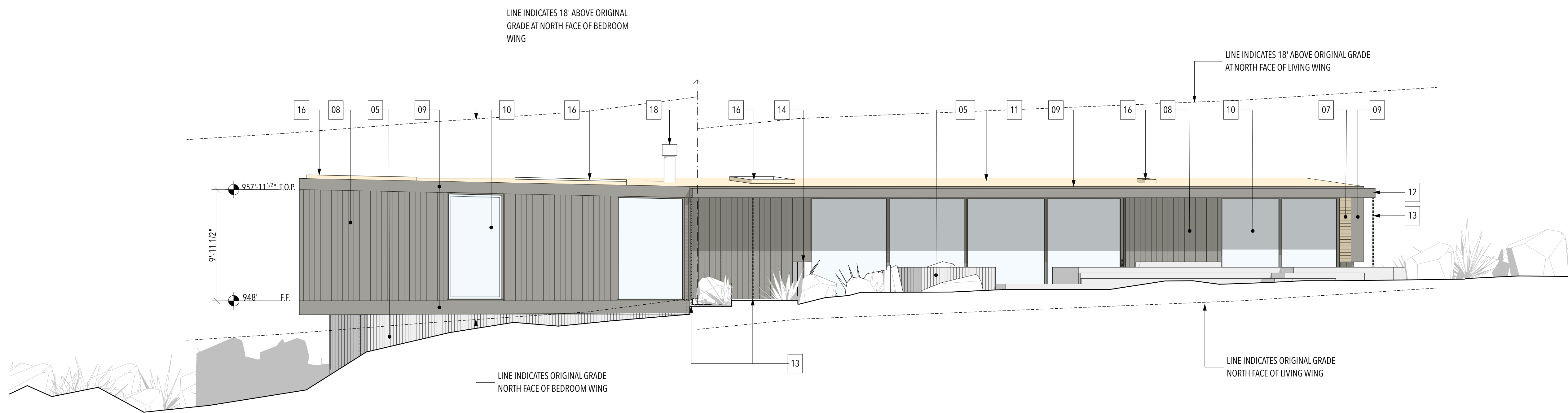
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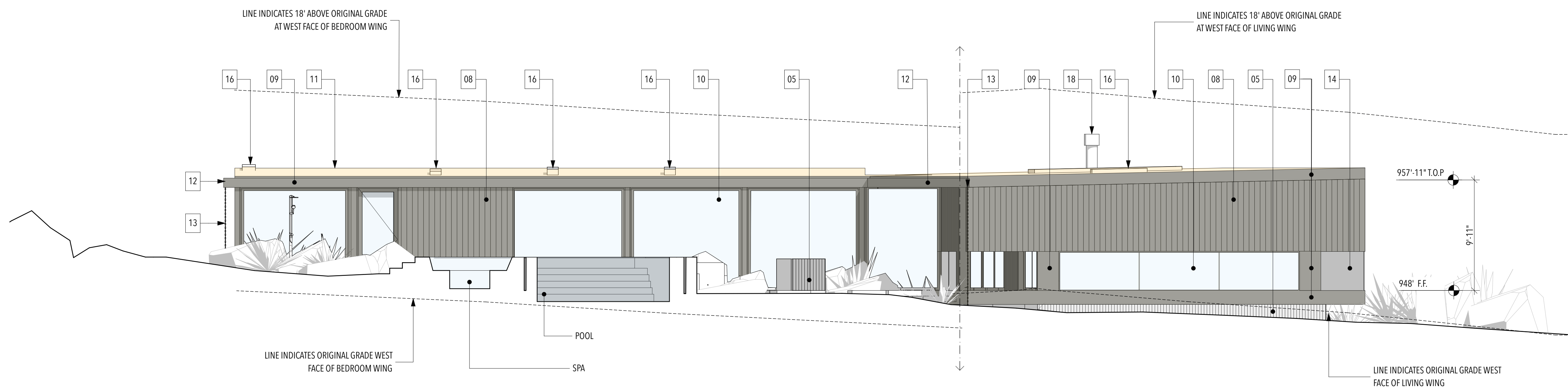
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NORTH ELEVATION

3/16" = 1'-0"



COLOR ELEVATION

3/16" = 1'-0"

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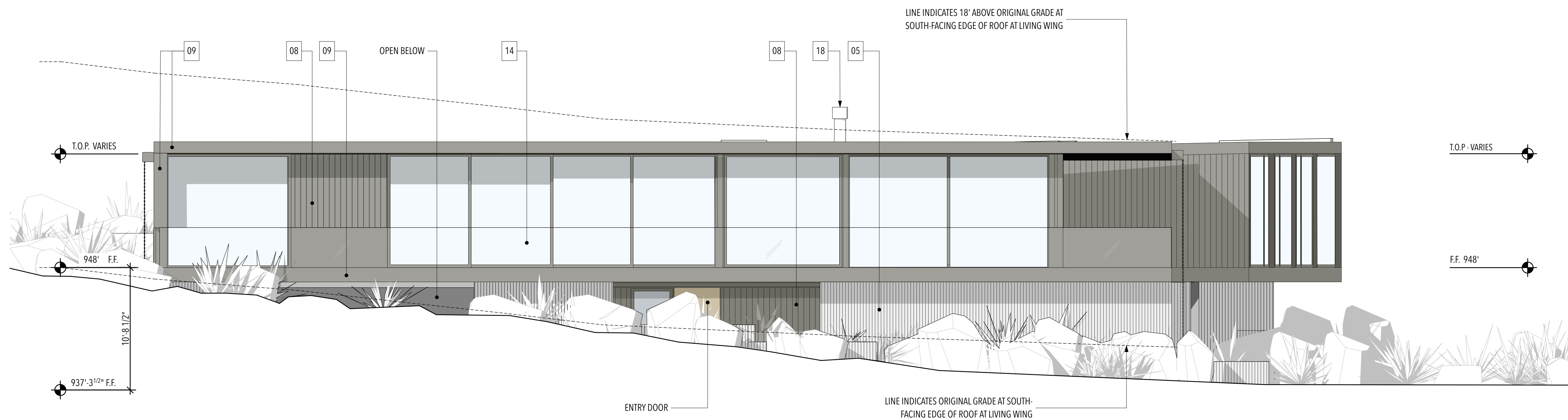
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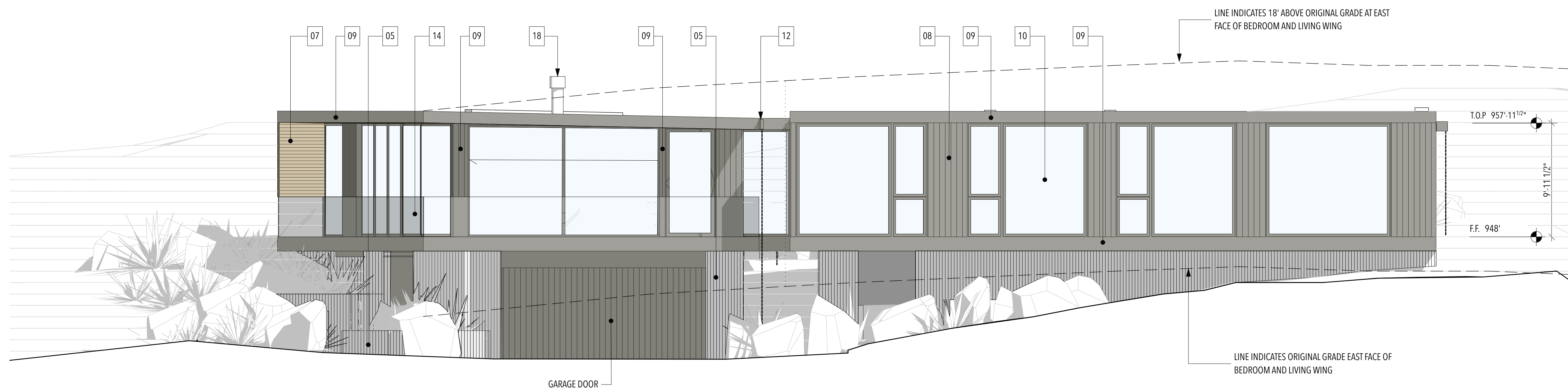


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SOUTH ELEVATION

3/16" = 1'-0"



COLOR ELEVATION

3/16" = 1'-0"

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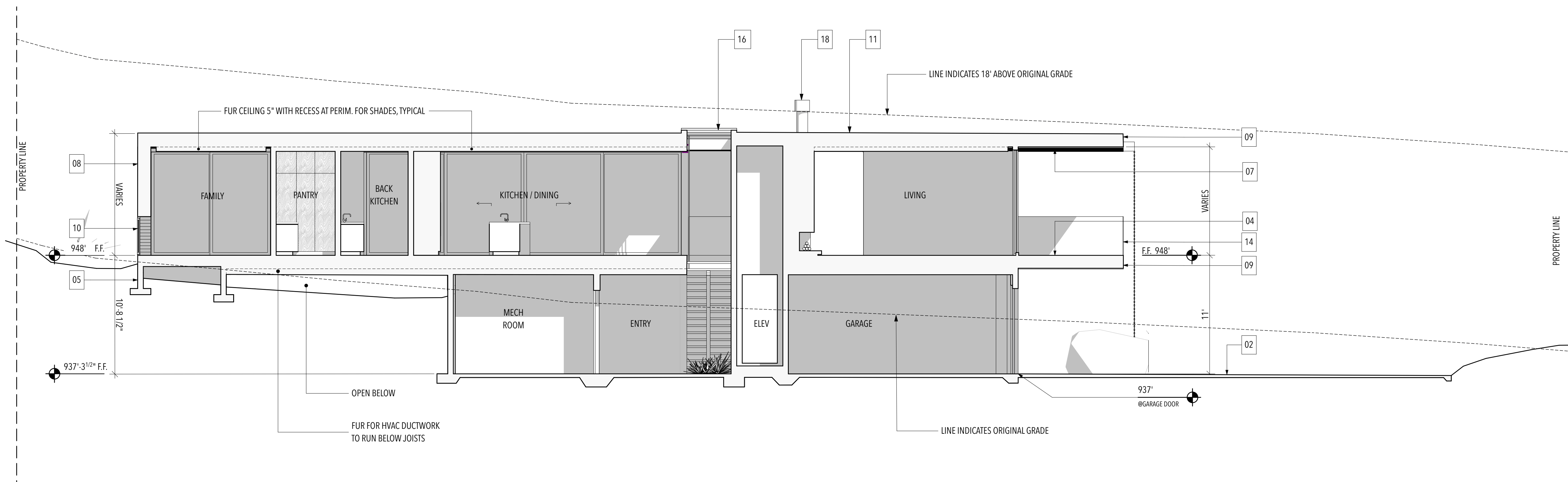
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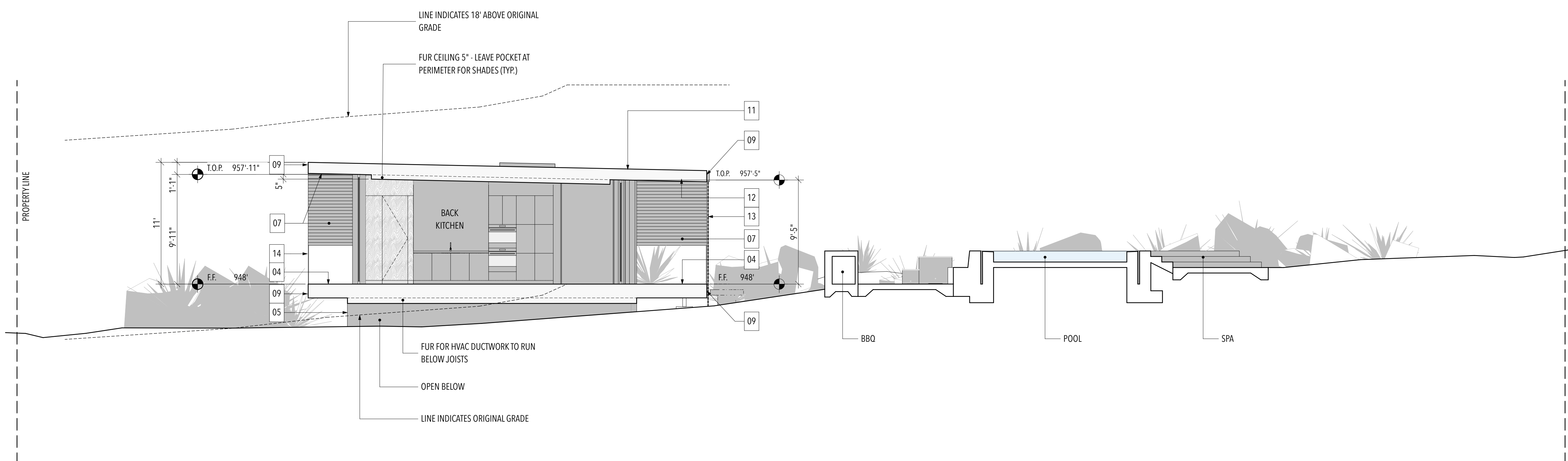
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SECTION 1

3/16" = 1'-0"



SECTION 2

3/16" = 1'-0"

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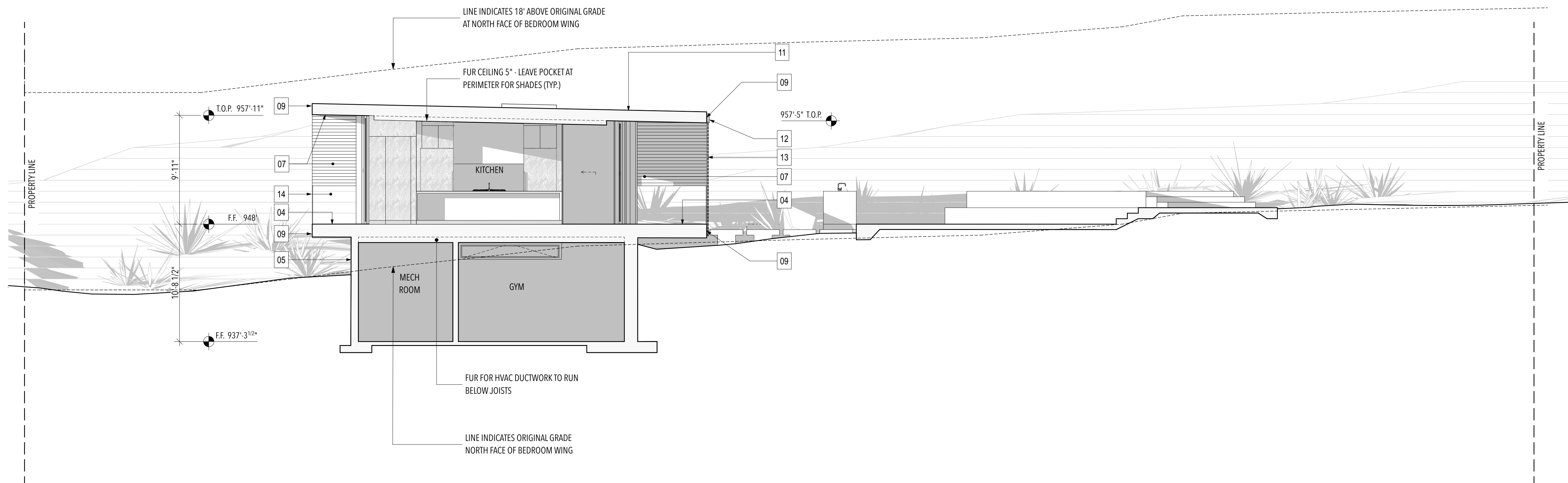
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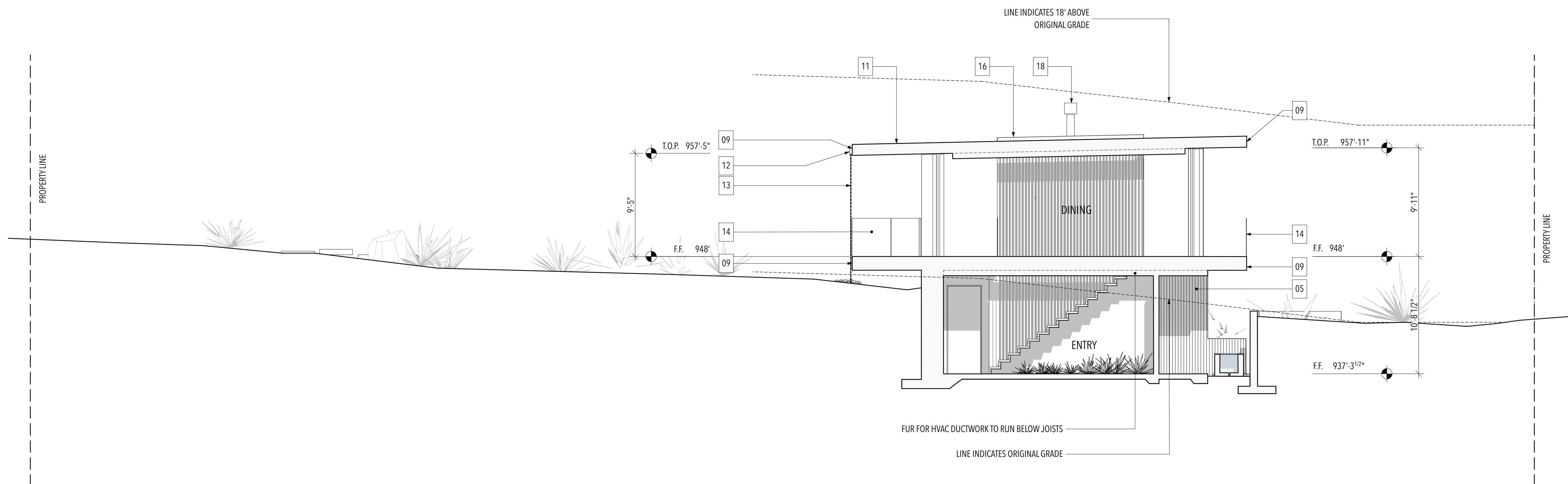
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SECTION 3

3/16" = 1'-0"



SECTION 4

3/16" = 1'-0"



**GRADING PLAN GENERAL NOTES**

- The work shall be done in accordance with the Standard Drawings of the City of Palm Springs and the Standard Specifications for Public Works Construction, 2012 Edition.
- The Contractor shall be responsible for providing an effective means of dust control which shall include provisions for adequate watering during the grading process and provisions for continuation of dust control until the graded surface presents sufficient cover against wind or water erosion so that special dust control measures are no longer necessary.
- Nothing in these Plans shall relieve the Contractor from obtaining permits as required by Chapter 14.16 of the City of Palm Springs Municipal Code.
- The Contractor shall set an appointment for inspection with the engineering inspector a minimum of 24 hours prior to the date of inspection.
- All grading shall comply with Section 1804 and Appendix J of the 2010 California Building Code.
- The location of existing underground utilities are to be shown in a schematic manner only. Subject to the provisions of Section 4215 of the California Government Code, the Contractor shall determine the exact location of all existing utilities before commencing the Work. Contact Underground Service Alert (U.S.A.) at 1-800-227-2600 two working days prior to any excavation.
- Dimensioning to curbs shall be to face of curb.
- Contractor shall dispose of all debris off-site daily, unless otherwise specified by the City Engineer.
- Contractor shall remove any abandoned utility facilities and show limits of removals on the record drawings.
- The Contractor shall be responsible for the removal, replacement or relocation of all regulatory, warning and guide signs.
- A "Record Drawing" (formerly called "As-Built" Drawing) of this Plan shall be submitted by the Project Engineer of record to the City Engineer, for approval prior to acceptance of the Work.
- Construction signing, lighting and barricading shall be provided on all projects as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 5 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices for Streets and Highways, dated January 13, 2012, or subsequent editions in force at the time of construction.
- The flow line of all curb and gutters and cross gutters shall be water tested before acceptance of the Work.
- Parking stalls shall be clearly delineated with a 4 to 6 inch stripe "hairpin" or elongated "U" design or other approved striping or stall delineation.
- Final site grading and drainage flow lines shall be certified, in writing, by the Engineer of Record to be in conformance to the approved grading plan PRIOR TO FINAL INSPECTION.
- For projects in excess of 1 acre, a Notice of Intent to comply with California General Construction Stormwater Permit (Water Quality Order 2009-0009-DWQ as modified September 2, 2009), as well as a copy of the executed letter issuing a Waste Discharge Identification (WDI) number, is required prior to issuance of Grading or Building Permit, via the California Regional Water Quality Control Board (Phone No. (760) 346-7491). A updated copy of the project-specific Storm Water Pollution Prevention Plan (SWPPP) must be kept at the project site at all times.
- A city approved fugitive dust (PM-10) control plan is required prior to issuance of a grading permit. All dust control measures described in AQMD Rule 403 (BEST AVAILABLE CONTROL MEASURES) and in the city-approved fugitive dust control plan shall be implemented at all times. A wind fence and proper signage, shall be erected, inspected and approved by the City's Dust Control Inspector prior to initiation of clearing, grubbing, grading or import/export of soil, or fill material at the site. Failure to call 760-323-9253, extension 8740 for inspection 72 hours prior to initiating work will result in issuance of citation by the City.
- The block walls, retaining walls, and other structures shown on the grading plan are for location purposes only. Separate permits for the above are required from the Building Department.
- All provisions of the preliminary soils report dated MAY 24, 2019 prepared by LANDMARK ENGINEERING, report no. LP19087, shall be complied with.

**STREET PAVEMENT**

20. The asphalt concrete design shall meet the City of Palm Springs Std. Dwg. No. 110 and Standard Specifications for Public Works Construction, 2012 Edition, use Type B for the base lift and Type C2 for the final 1" cap. The design shall have a HVEEM stability of 35 AND 33 respectively per the California Test method 304 and 366. Performance Grade asphalt (PG-70-10) meeting the 2010 Caltrans Standard Specifications shall be used. The specified miscellaneous base shall be crushed miscellaneous base according to the Standard Specifications for Public Works Construction, 2012 Edition.

**TRENCH PAVEMENT**

21. Street cuts shall be paved with temporary A.C. paving immediately. Major and Secondary Thoroughfares shall be permanently paved within 15 days of the initial excavation (30 days on collector and residential streets) per City of Palm Springs Std. Dwg. No. 115. See Ordinance No. 14.16.375.

22. Trenches shall be completely backfilled and compacted to support traffic at the end of each work day. The Contractor shall place permanent pavement through intersections at the end of each work day. No trench excavation or pipe laying on Fridays or holidays will be permitted on major and secondary thoroughfares or collector streets without prior approval of the City Engineer. Contractor shall place permanent paving each Friday.

23. If, in the opinion of the City Engineer, the trench backfill is unsafe to traffic, the Contractor shall place permanent paving at the end of each work day.

24. Steel trench plating shall conform to Caltrans Encroachment Permit Manual Sec. 602.1 as revised July, 2009.

25. The specific miscellaneous base shall be crushed miscellaneous base according to the Standard Specification for Public Works Construction, 2012 Edition.

**WQMP GENERAL NOTES**

26. Erosion control Best Management Practices (BMPs) shall be implemented and maintained to minimize and/or prevent the entrainment of soil in runoff from disturbed soil areas on construction sites.

27. Sediment control BMPs shall be implemented and maintained to prevent and/or minimize the transport of soil from the construction site.

28. Stockpiles of soil shall be properly contained to eliminate or reduce sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.

29. Appropriate BMPs for construction-related materials, wastes, spills or residues shall be implemented to eliminate or reduce transport from the site to streets, drainage facilities, or adjoining properties by wind or runoff.

30. BMPs shall be inspected prior to predicted storm events and following storm events, and shall be properly maintained.

31. Runoff from equipment and vehicle washing shall be contained at construction sites and must not be discharged to receiving waters, adjacent roadways, catch basins, or other components of the local storm drain system.

32. All construction contractor and subcontractor personnel are to be made aware of the required best management practices and good housekeeping measures for the project site and any associated construction staging areas.

33. At the end of each day of construction activity, all construction debris and waste materials shall be collected and properly disposed of in covered trash or recycle bins.

34. Construction sites shall be maintained in such a condition that a storm does not carry wastes or pollutants off the site. Discharges other than stormwater (i.e., non-stormwater discharges) are prohibited, except as authorized by an individual National Pollution Discharge Elimination System (NPDES) permit, the General Permit for Stormwater Discharges Associated with Construction Activity, or the General Permit for Stormwater Discharges Associated with Construction Activity from Small Linear Underground/Overhead Projects. Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, solvents, detergents, glues, lime, pesticides, herbicides, fertilizers, wood preservatives, asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; concrete and related cutting or curing residues; concrete washout; floatable wastes; wastes from engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning; and super-chlorinated potable water from line flushing and testing. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site, physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.

35. Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging non-contaminated groundwater produced by dewatering activities may require a National Pollutant Discharge Elimination System (NPDES) permit or Waste Discharge Requirements (WDRs) issued by the Colorado River Basin Regional Water Quality Control Board.

36. Construction sites shall be managed to minimize the exposure time of disturbed soil areas through phasing and scheduling of grading to the extent feasible and the use of temporary and permanent soil stabilization.

UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

PRIVATE ENGINEERING NOTE: CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION AND NOT BE RESPONSIBLE FOR INCLUDING THE SAFETY OF PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

48 HOURS BEFORE YOU DIG  
CALL UNDERGROUND SERVICE ALERT 811

|     |          |              |             |   |
|-----|----------|--------------|-------------|---|
| NO. | AS BUILT | CORRECTED BY | APPROVED BY | AREA:   |
|     |          |              |             | 19,737 S.F.<br>0.45 AC.   |
| NO. | REVISION | APPROVED     | DATE        | BENCH C.P.S. MARK 3-11  |
|     |          |              |             | ELEV. 804.929   |
|     |          |              |             | LOCATION<br>TOP OF FIRE HYDRANT NO. 593, SOUTHEAST CORNER OF MILD RACQUET CLUB. |

**PROJECT DATA**

OWNER/CONTACT: DP7 L.L.C.  
C/O: JAMESON NEUHOFF  
19550 N. GRAYHAWK DR. #1091  
SCOTTSDALE, AZ. 85251

ENGINEER: SANBORN ARCHITECTURE GROUP, INC.  
71780 SAN JACINTO DR.  
BLDG. E-1  
RANCHO MIRAGE, CA. 92270  
(760) 423-0600

PERMITS REQUIRED:  
GRADING PERMIT  
P.M. 10  
WALL PERMIT

**UTILITIES:**

ELECTRIC: SO. CALIFORNIA EDISON  
760-202-4291

GAS: SO. CALIFORNIA GAS CO.  
760-324-4691  
ATTN: VINCE ALVAREZ

TELEPHONE: FRONTIER  
760-778-3603  
ATTN: LARRY MOORE

TELEVISION: SPECTRUM  
760-674-5452  
ATTN: DAVE SCRIVNER

SEWER: VEOLIA WATER  
760-323-8166 X2  
ATTN: GARY GRAY

WATER: DESERT WATER AGENCY  
760-323-4971  
ATTN: DEBBIE RANDALL

**BASIS OF BEARINGS:**

RADIAL CENTERLINE OF WINTER SUN DRIVE OF SECTION, PER M.B. 443/65-78 BEING 88°05'15".

**TOPOGRAPHY:**  
VAN SURVEYING INC.  
DATE OF SURVEY: 11/2020

**ASSESSOR'S PARCEL NO.**

504-390-007

**EARTHWORK QUANTITIES**

NOTE: THESE ARE AN ESTIMATE ONLY. CONTRACTOR IS REQUIRED TO PREPARE HIS OWN ESTIMATES FOR THE PURPOSE OF BIDDING. QUANTITIES DO NOT STRIPPING, SHRINKAGE, COMPACTION OR SUBSIDENCE LOSSES

NOTE: A RED IMPORTED FIRE ANT CLEARANCE REQUIRED FOR ALL EXPORTED MATERIAL

CUT 350 C.Y. FILL 50 C.Y.

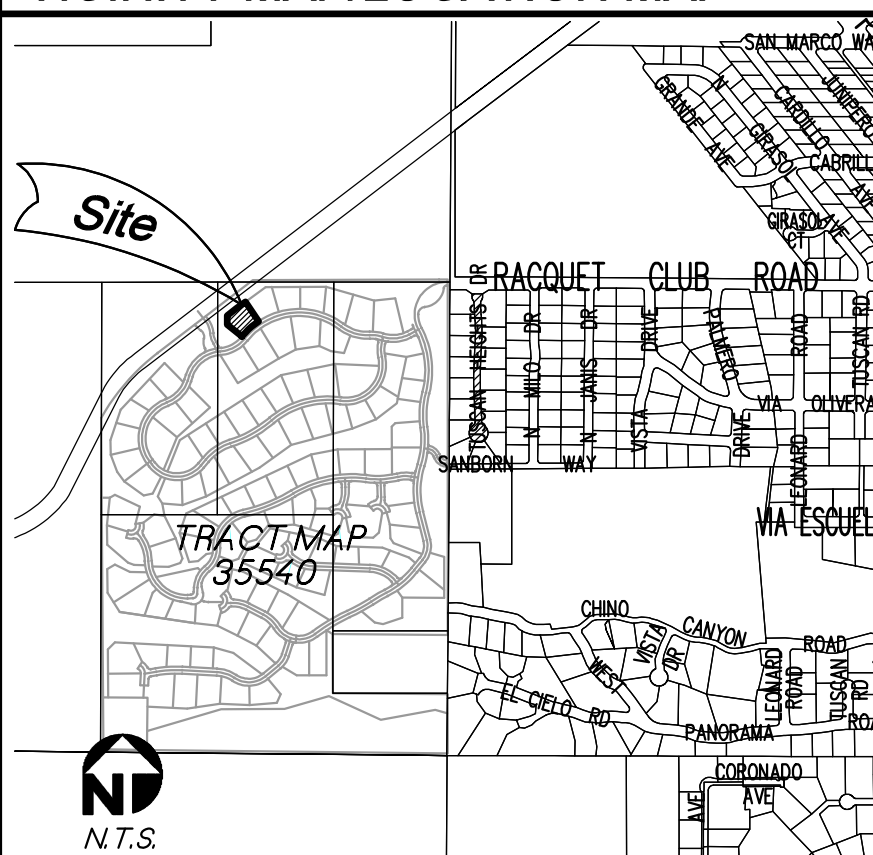
**LEGAL DESCRIPTION**

LOT 7 OF TRACT NO. 35540, PER M.B. 443/65-78

**FEMA FLOOD ZONE**

ZONE: X500 & X  
COMMUNITY PANEL NO.: 06025715586  
DATED: 08/28/2008

**VICINITY MAP/LOCATION MAP**



**LEGEND**

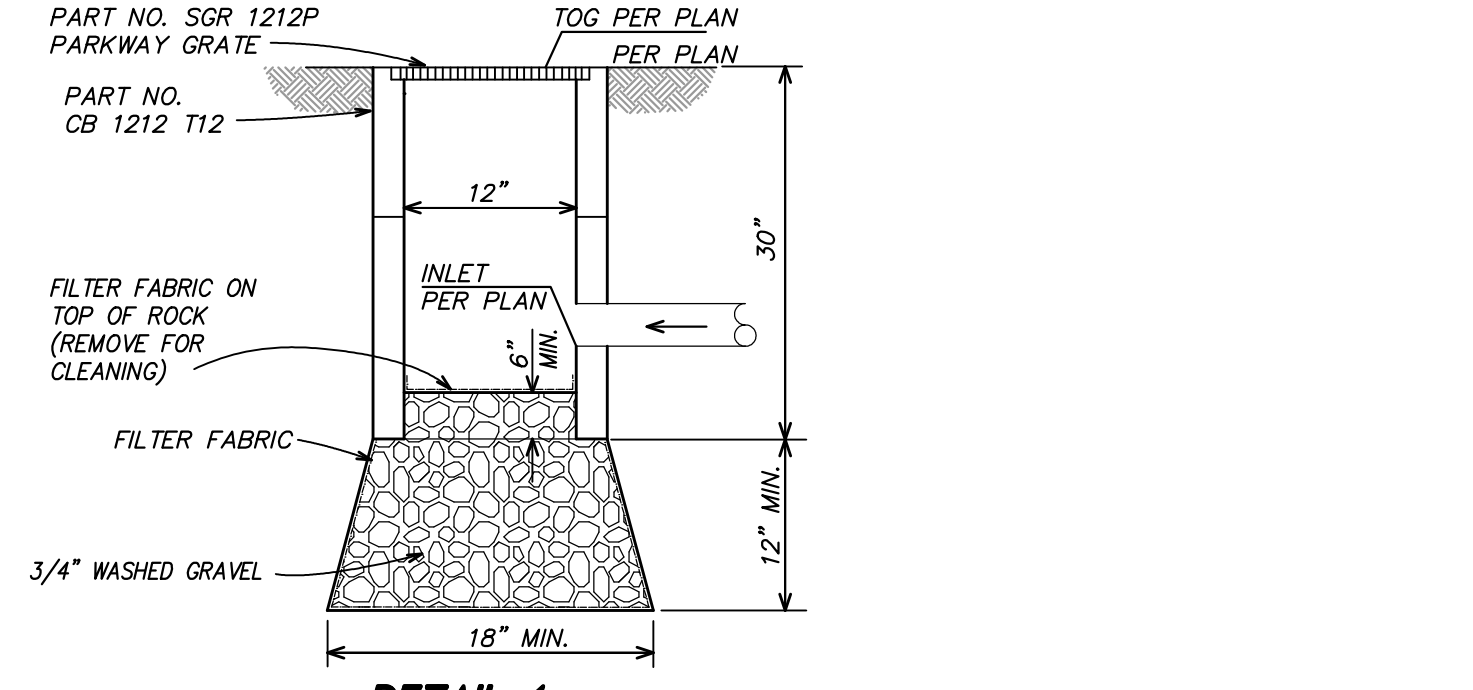
- INV. INDICATES INVERT ELEVATION
- TOG INDICATES TOP OF GRATE
- PE INDICATES PAD ELEVATION
- FL INDICATES FLOWLINE
- TC INDICATES TOP OF CONCRETE
- TF INDICATES TOP OF FOOTING
- TS INDICATES TOP OF STEP
- FS INDICATES FINISH SURFACE OTHER THAN DIRT
- FF INDICATES FINISH FLOOR
- TRW INDICATES TOP OF RETAINING WALL
- TW INDICATES TOP OF WALL
- FG INDICATES FINISH GRADE
- INV. INDICATES INVERT
- B.S.L. INDICATES BUILDING SETBACK LINE
- INDICATES GRAVEL DRIVEWAY
- INDICATES CONCRETE
- INDICATES GRAVEL
- INDICATES CMU WALLS
- INDICATES STEP IN FINISH FLOOR

**CONSTRUCTION NOTES AND QUANTITIES:**

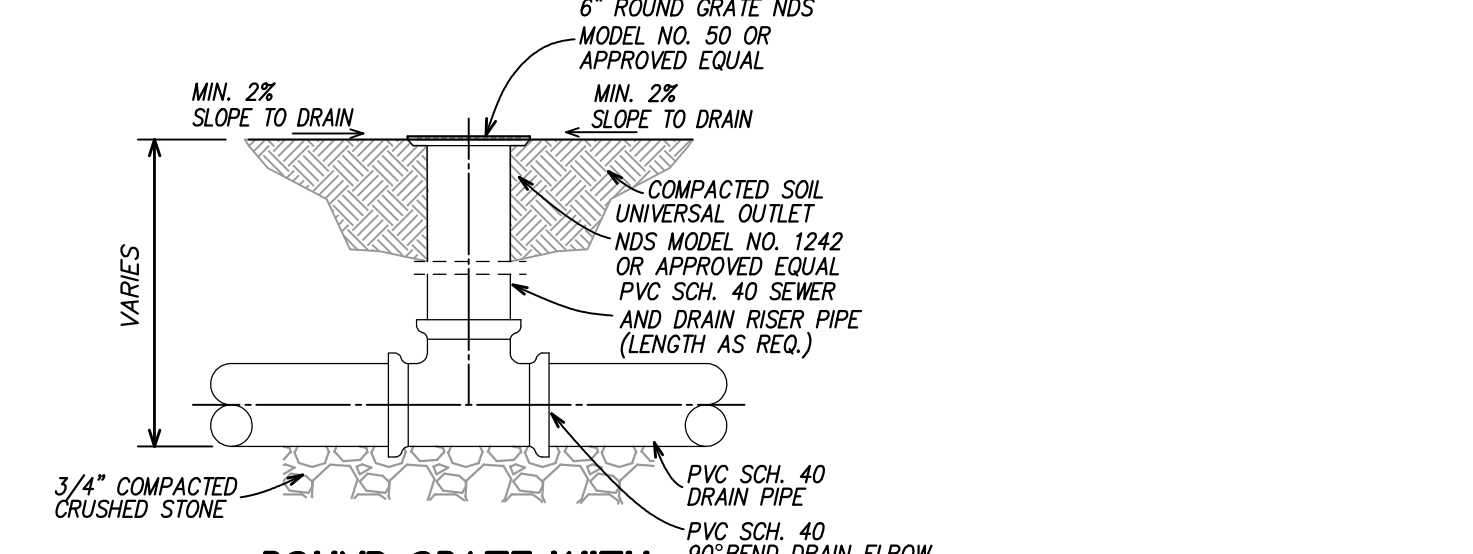
NOTE: THESE ESTIMATES ARE FOR PERMIT USE ONLY. CONTRACTOR IS REQUIRED TO PREPARE HIS OWN ESTIMATES FOR THE PURPOSE OF HIS BIDDING.

|   |  |       |      |
|---|--|-------|------|
| 1 | CONSTRUCT 6" P.C.C. CONCRETE DRIVEWAY; SEE ARCHITECTS PLANS FOR FINISH | 1,821 | S.F. |
| 2 | CONSTRUCT 4" P.C.C. CONCRETE; NATURAL GRAY W/SAND WASHED FINISH        | 3,395 | S.F. |
| 3 | INSTALL NDS 4" ATRIUM GRATE NO. NDS 78 S.                              | 2     | EA.  |
| 4 | INSTALL BUBBLER BOX - BROOKS 1212 L18/PARKWAY GRATE PER DETAIL 4       | 1     | EA.  |
| 5 | INSTALL 4" PVC DRAIN PIPE  | 54    | L.F. |
| 6 | CONSTRUCT CMU WALL - SEE ARCHITECTS PLANS FOR DETAIL                   | 30    | L.F. |
| 7 | CONSTRUCT CHANNEL DRAIN PER DETAIL 7                                   | 21    | L.F. |

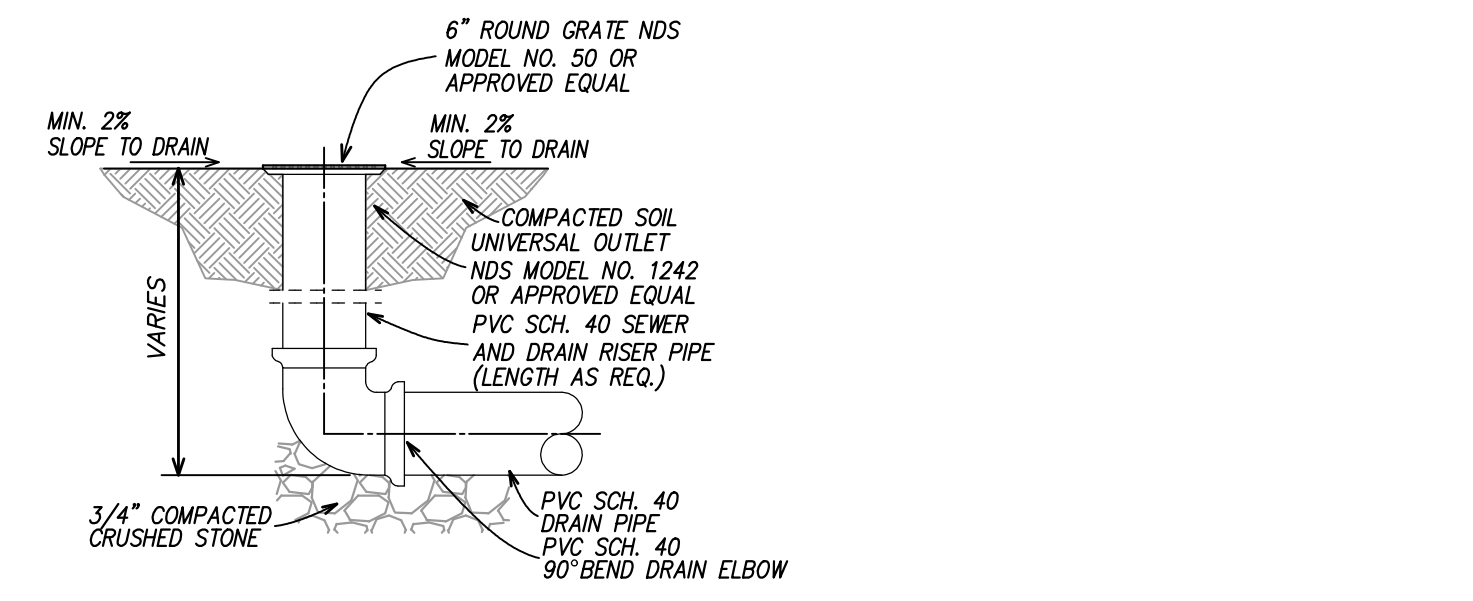
- NOTE:
- CONTRACTOR SHALL OVEREXCAVATE OR OTHERWISE PREPARE SUBGRADE FOR PAVING AREAS PER GEOTECHNICAL ENGINEERS REPORT AND RECOMMENDATIONS
  - ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS PLAN.
  - SURFACE WATER WILL DRAIN AWAY FROM BUILDING.
  - FOR SEWER, WATER & GAS LINE CONNECTIONS TO BUILDING SEE ARCHITECTS PLANS
  - ALL FREESTANDING BLOCK WALLS TO BE CONSTRUCTED UNDER SEPARATE PERMIT



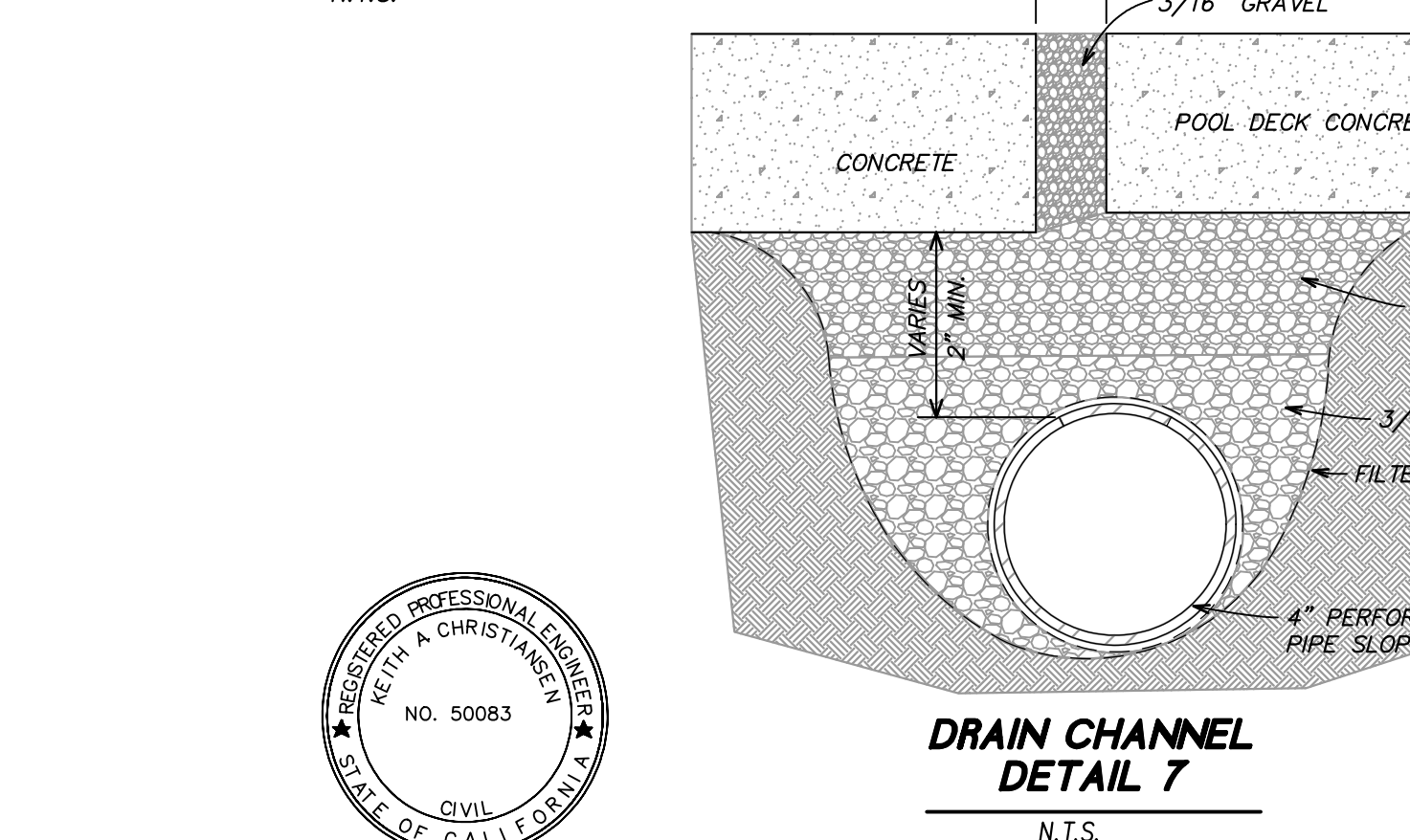
**DETAIL 4  
BROOKS 1212 LIB/PARKWAY GRATE**



**ROUND GRATE WITH ADAPTER ON DRAIN TEE DETAIL 9**



**ROUND GRATE WITH ADAPTER ON DRAIN ELBOW DETAIL -9**



**DRAIN CHANNEL DETAIL 7**

IN THE CITY OF PALM SPRINGS, CALIFORNIA  
**PRECISE GRADING PLAN**  
LOT 7, TRACT NO. 35540, M.B. 443/65-78  
IN SECTION 4, T4S, R4E, S.B.M.



|  |                       |                                |                               |                |             |
|--|-----------------------|--------------------------------|-------------------------------|----------------|-------------|
| PREPARED UNDER THE DIRECT SUPERVISION OF:<br>R.C.E. 50083<br>KEITH A. CHRISTIANSEN | DESIGN BY:<br>A.M.S.  | REVIEWED BY:<br>JOHN M. BRUDIN | APPROVED BY:<br>JOEL MONTALVO | FILE NO.<br>E- | SHEET<br>1  |
| DATE   | CHECKED BY:<br>A.M.S. | R.C.E. NO.<br>41836            | R.C.E. NO.<br>62824           | DWG. NO.       | OF 2 SHEETS |

CITY OF PALM SPRINGS, CALIFORNIA  
GRADING PLAN COVER SHEET  
WINTER SUN DR.  
LOT 7, TRACT NO. 35540, M.B. 443/65-78  
IN SECTION 4, T4S, R4E, S.B.M.

W.O.: 20-132

|                     |                                |
|---------------------|--------------------------------|
| <b>SHEET INDEX:</b> |                                |
| SHEET 1             | GRADING & DRAINAGE COVER SHEET |
| SHEET 2             | GRADING & DRAINAGE PLAN        |

1/19/2023 2:55 PM 2: Database Files\20-132 Palmsprgs Lot 7 GRADING PLAN(C).DWG

**CONSTRUCTION NOTES**

- 1) CONSTRUCT 6" P.C.C. CONCRETE DRIVEWAY - SEE ARCHITECTS PLANS FOR FINISH
- 2) CONSTRUCT 4" P.C.C. CONCRETE - NATURAL GRAY W/SAND WASHED FINISH
- 3) INSTALL NDS 4" ATRIUM GRATE NO. NDS 78 S.
- 4) INSTALL BUBBLER BOX - BROOKS 1212 L18/PARKWAY GRATE PER DETAIL 4
- 5) INSTALL 4" PVC DRAIN PIPE
- 6) CONSTRUCT CMU WALL - SEE ARCHITECT PLANS FOR DETAIL
- 7) CONSTRUCT CHANNEL DRAIN PER DETAIL 7

**RETENTION BASIN 1**

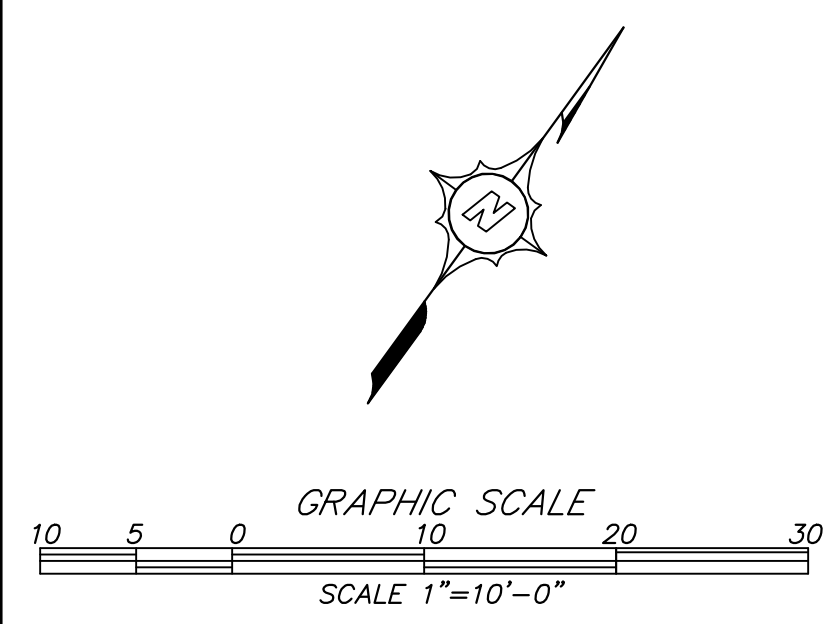
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V100 = 366.18 CF

**RETENTION BASIN 2**

Q100 = 0.65 CFS  
V100 = 623.36 CF

**RETENTION BASIN 3**

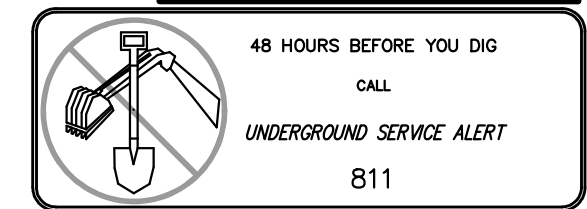
Q100 = 1.19 CFS  
V100 = 1362.43 CF



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| NO. | REVISION | DATE | APPROVED BY |
|-----|----------|------|-------------|
|     |          |      |             |
|     |          |      |             |
|     |          |      |             |

BENCH C.P.S. MARK 3-11  
ELEV. 804.929  
LOCATION  
TOP OF FIRE HYDRANT NO. 593, SOUTHEAST CORNER OF MILO RACQUET CLUB.

**SANBORN ARCHITECTURE GROUP, INC.**  
71780 SAN JACINTO DR., BLDG. 5  
RANCHO MIRAGE, CA. 92770  
TEL (760) 423-0600  
FAX (760) 423-0603

PREPARED UNDER THE DIRECT SUPERVISION OF:  
DESIGN BY: A.M.S.  
DRAWN BY: F.J.  
CHECKED BY: A.M.S.  
R.C.E. NO. 50083  
W.O.: 20-132

REVIEWED BY: JOHN M. BRUDIN  
APPROVED BY: JOEL MONTALVO  
R.C.E. NO. 41836  
R.C.E. NO. 62824  
DATE

**CITY OF PALM SPRINGS, CALIFORNIA**  
GRADING PLAN COVER SHEET  
WINTER SUN DRIVE  
LOT 7, TRACT NO. 35540, M.B. 443/65-78  
IN SECTION 4, T4S, R4E, S.B.M.

FILE NO. E-  
SHEET 2  
DWG. NO.  
OF 2 SHEETS

6/15/2021 2:33 PM 2: Database Files \D:\Database Files\20-132 Palmsides Lot 7 GRADING PLAN (2) GRADING

# PLANTING LEGEND

| TREES                | PLANTING SIZE   | SCIENTIFIC NAME       | COMMON NAME                                     |
|----------------------|---|-----------------------|---|
|                      | 4   | 36"/48"-BOX Multi tr. | PARKINSONIA x. 'DESERT MUSEUM' or OLNEYA TESOTA |
| CACTI AND SUCCULENTS | PLANTING SIZE   | SCIENTIFIC NAME       | COMMON NAME                                     |
|                      | 34  | 15-GAL/ 24"BOX MIX    | AGAVE AMERICANA                                 |
|                      | 22  | 5-GAL                 | AGAVE DESERTI                                   |
|                      | 20  | 10"-12" DIA. SPECIMEN | AGAVE PARRYI 'TRUNCATA'                         |
|                      | 51  | 6"-8" DIA. MIX        | FEROCACTUS CYLINDRACEUS                         |
|                      | 43  | 5-GAL                 | ENCELIA FARINOSA                                |
|                      | 6   | 5-GAL                 | LARREA TRIDENTATA                               |
|                      | 30  | 3"-6"-1" HT. SPECIMEN | YUCCA ROSTRATA 'SKY BLUE'                       |
|                      | 2'-5' DIA. EXISTING BOULDERS TO REMAIN AND SOME TO BE RELOCATED NATIVE SOIL TO MATCH AN BLEND WITH EXISTING |                       |   |



LARREA TRIDENTATA



PARKINSONIA x. 'DESERT MUSEUM'



or OLNEYA TESOTA



AGAVE AMERICANA



AGAVE DESERTI



FEROCACTUS GRACILIS - RED BARREL CACTUS



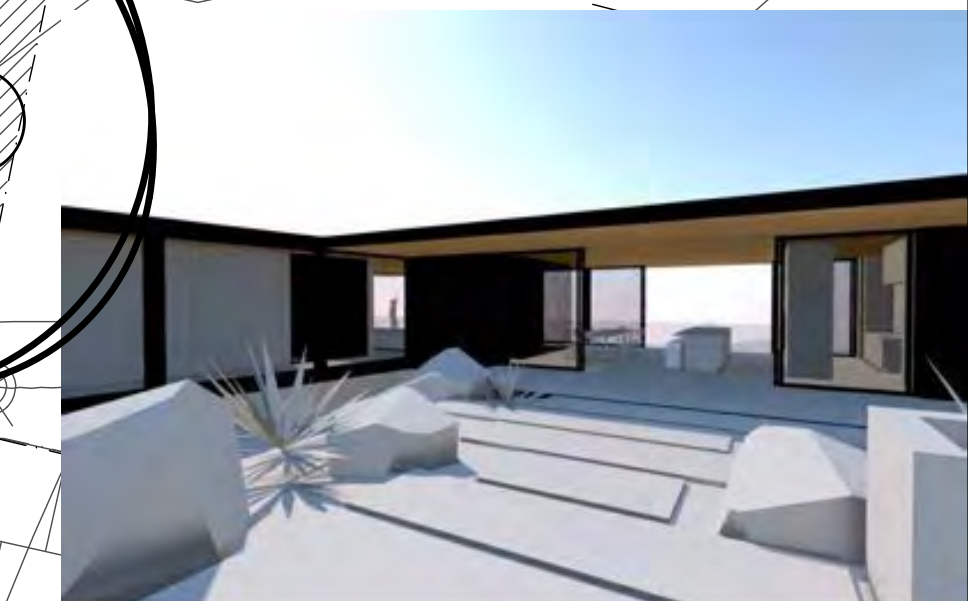
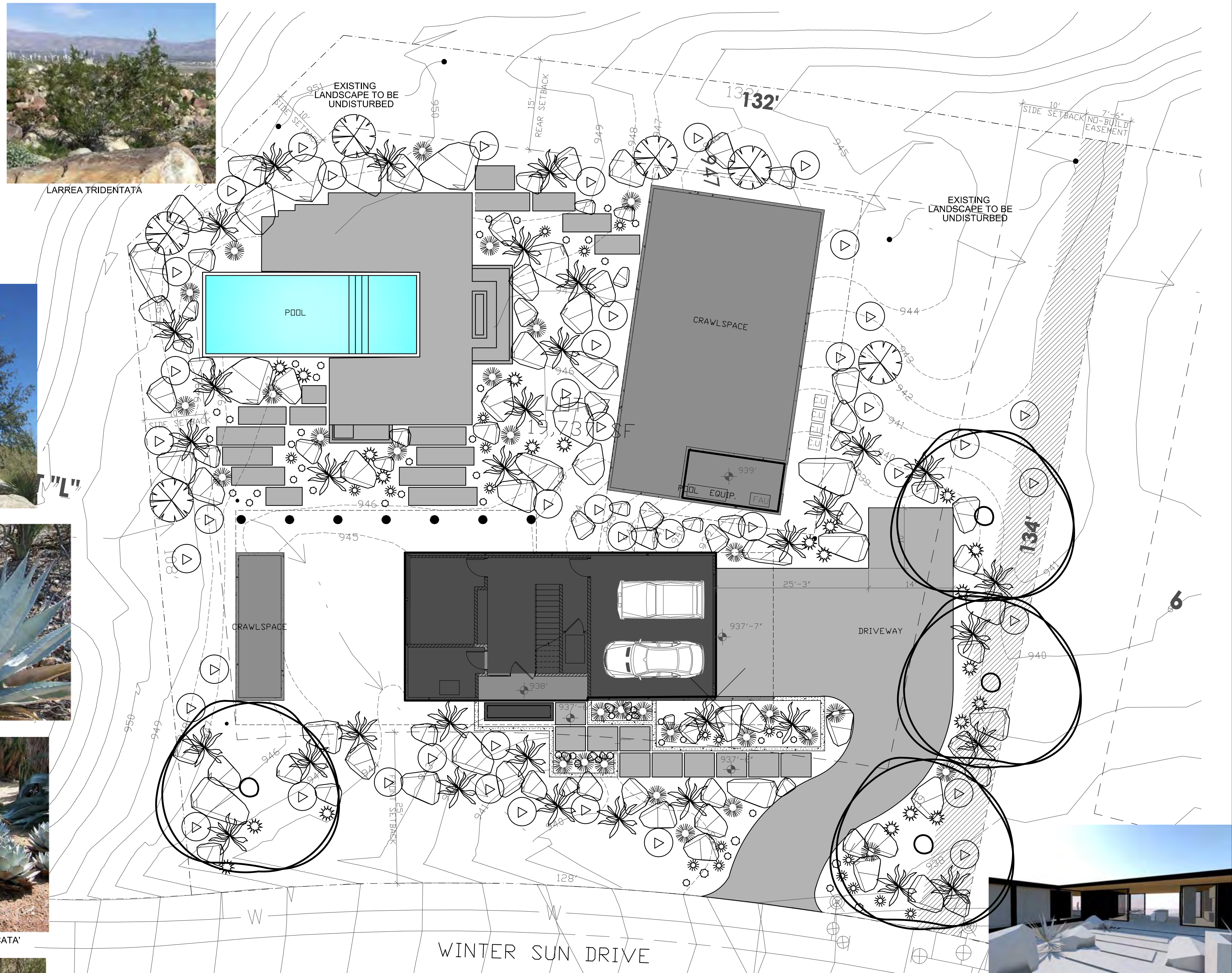
AGAVE PARRI 'TRUNCATA'



ENCELIA FARINOSA

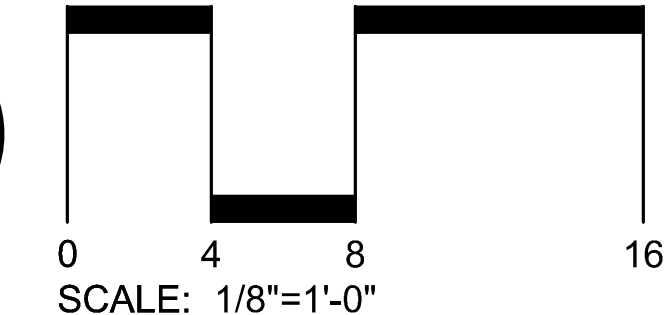
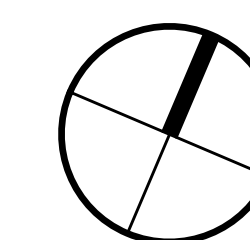


YUCCA ROSTRATA 'SKY BLUE'



# PLANTING PLAN

SCALE: 1/8" = 1'-0"



LANDSCAPE ARCHITECTURAL SERVICES BY:  
**DESERT MODERN**  
LANDSCAPE DESIGN

LANDSCAPE PLANS FOR  
**DESERT PALISADES**  
WINTER SUN DRIVE LOT 7 TRACT 35540  
PALM SPRINGS, CALIFORNIA

DESERT MODERN  
LANDSCAPE DESIGN

17720 SAN Geronimo ROAD  
RANCHO MIRAGE, CALIFORNIA 92210  
TELEPHONE: (760) 335-1344 E-mail: info@desertmodern.com  
www.desertmodern.com

REVISION

SCALE: 1/8"=1'-0"

SHEET

L-1.0

# PLANTING LEGEND

| TREES                | PLANTING SIZE   | SCIENTIFIC NAME                                 | COMMON NAME                      |
|----------------------|---|---|----------------------------------|
|                      | 4 36"/48"-BOX Multi tr.   | PARKINSONIA x. 'DESERT MUSEUM' or OLNEYA TESOTA | DESERT MUSEUM<br>DESERT IRONWOOD |
| CACTI AND SUCCULENTS | PLANTING SIZE   | SCIENTIFIC NAME                                 | COMMON NAME                      |
|                      | 34 15-GAL/ 24"BOX MIX   | AGAVE AMERICANA                                 | CENTURY PLANT                    |
|                      | 22 5-GAL  | AGAVE DESERTI                                   | DESERT AGAVE                     |
|                      | 20 10"-12" DIA. SPECIMEN  | AGAVE PARRYI 'TRUNCATA'                         | ARTICHOKE AGAVE                  |
|                      | 51 6"-8" DIA. MIX   | FEROCACTUS CYLINDRACEUS                         | RED BARELL CACTUS                |
|                      | 43 5-GAL  | ENCELIA FARINOSA                                | BRITTLEBUSH                      |
|                      | 6 5-GAL   | LARREA TRIDENTATA                               | CREOSOTE BUSH                    |
|                      | 30 3"-6"-1' HT. SPECIMEN  | YUCCA ROSTRATA 'SKY BLUE'                       | SKY BLUE YUCCA                   |
|                      | 2'-5' DIA. EXISTING BOULDERS TO REMAIN AND SOME TO BE RELOCATED NATIVE SOIL TO MATCH AN BLEND WITH EXISTING |   |                                  |



LARREA TRIDENTATA



PARKINSONIA x. 'DESERT MUSEUM'



or OLNEYA TESOTA



AGAVE AMERICANA



AGAVE DESERTI



FEROCACTUS GRACILIS - RED BARREL CACTUS



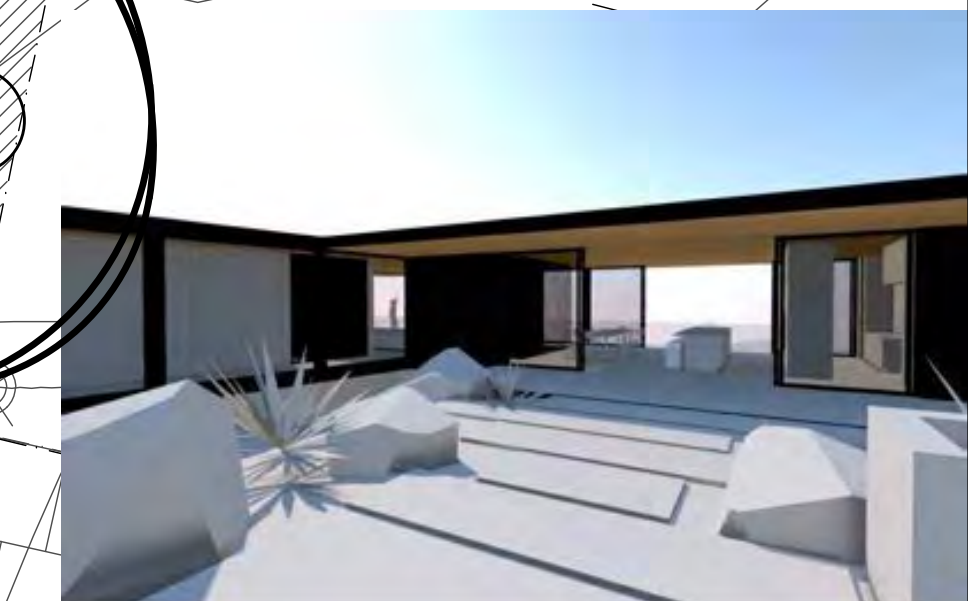
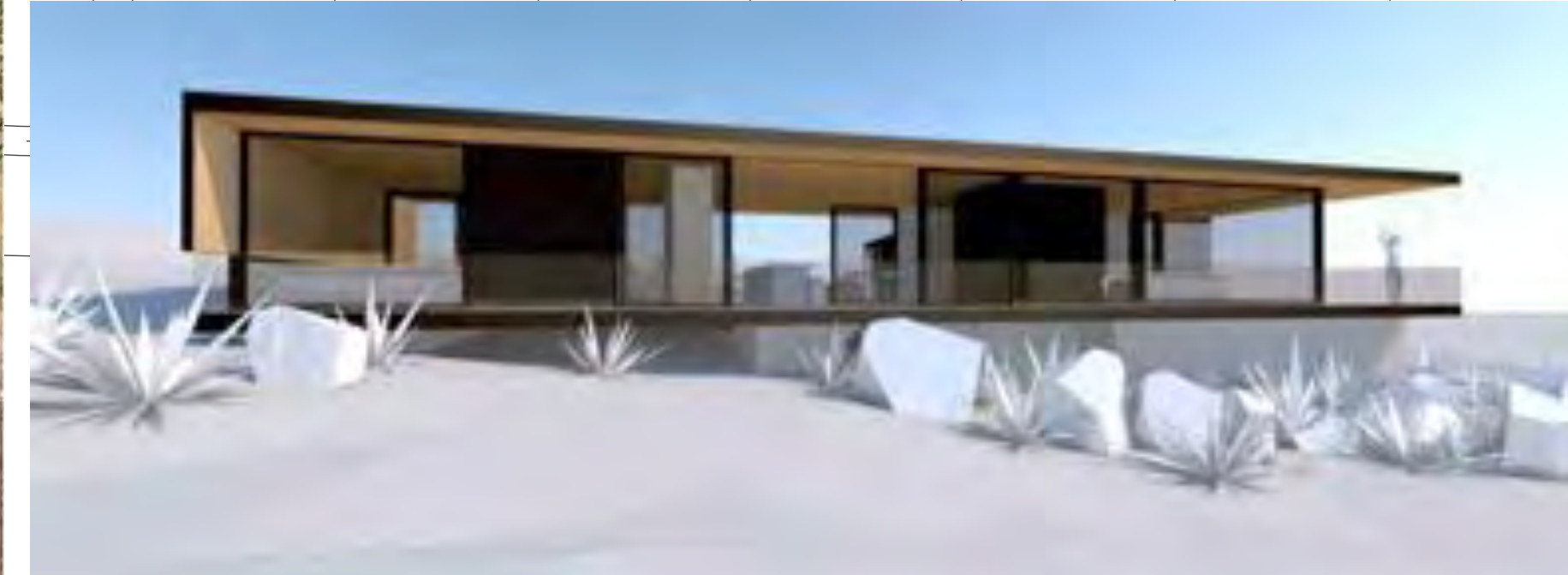
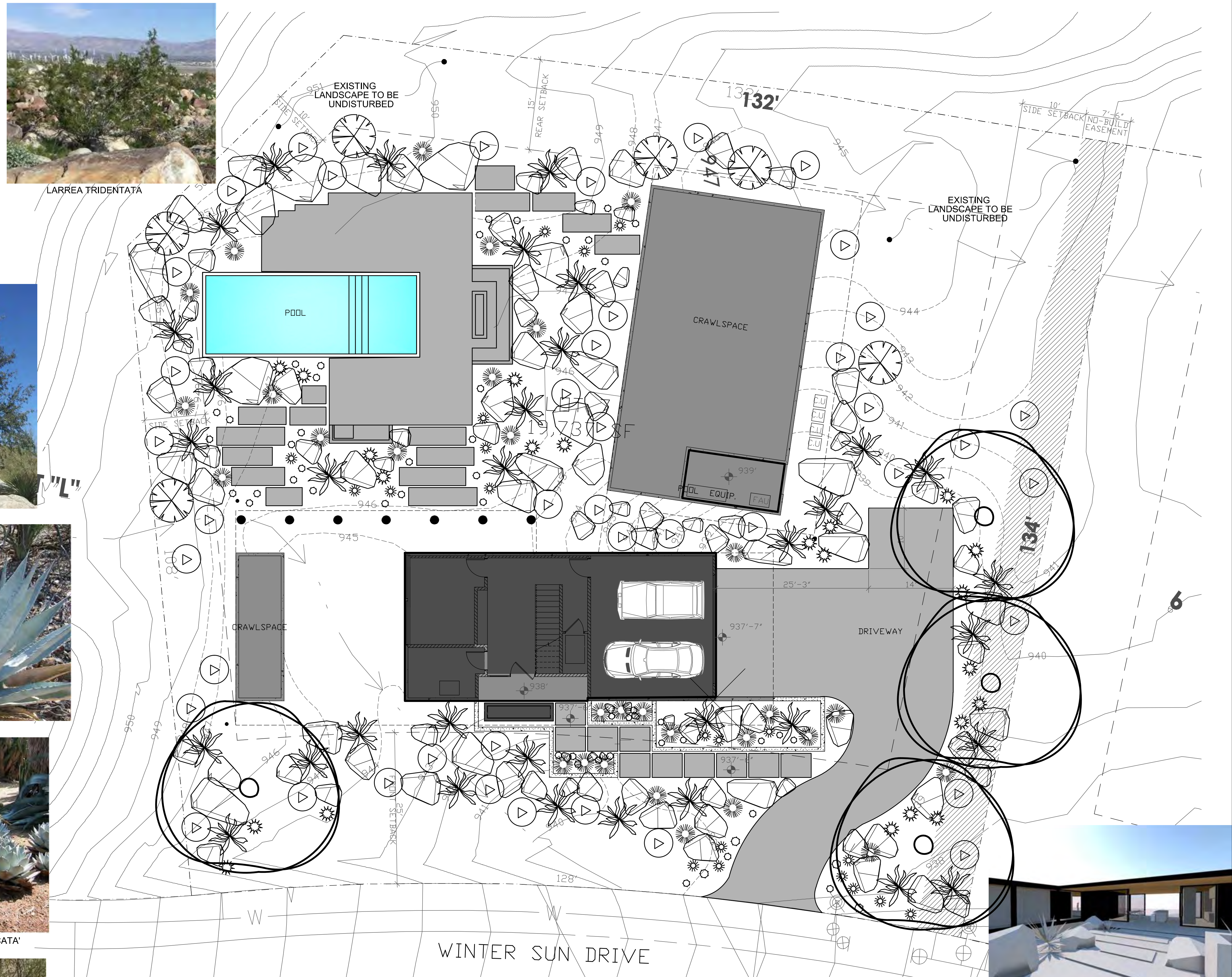
AGAVE PARRI 'TRUNCATA'



ENCELIA FARINOSA

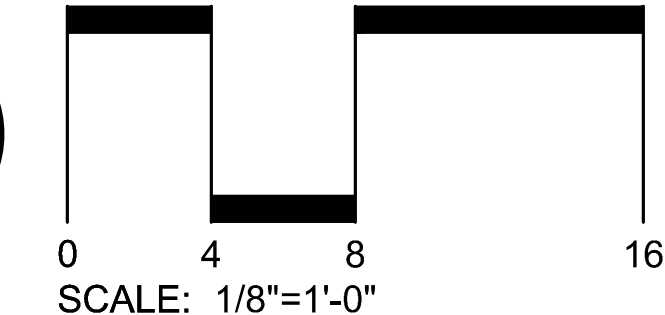
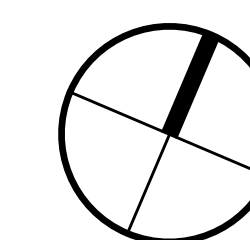


YUCCA ROSTRATA 'SKY BLUE'



# PLANTING PLAN

SCALE: 1/8" = 1'-0"



LANDSCAPE ARCHITECTURAL SERVICES BY:  
**DESERT MODERN**  
LANDSCAPE DESIGN

LANDSCAPE PLANS FOR  
**DESERT PALISADES**  
WINTER SUN DRIVE LOT 7 TRACT 35540  
PALM SPRINGS, CALIFORNIA

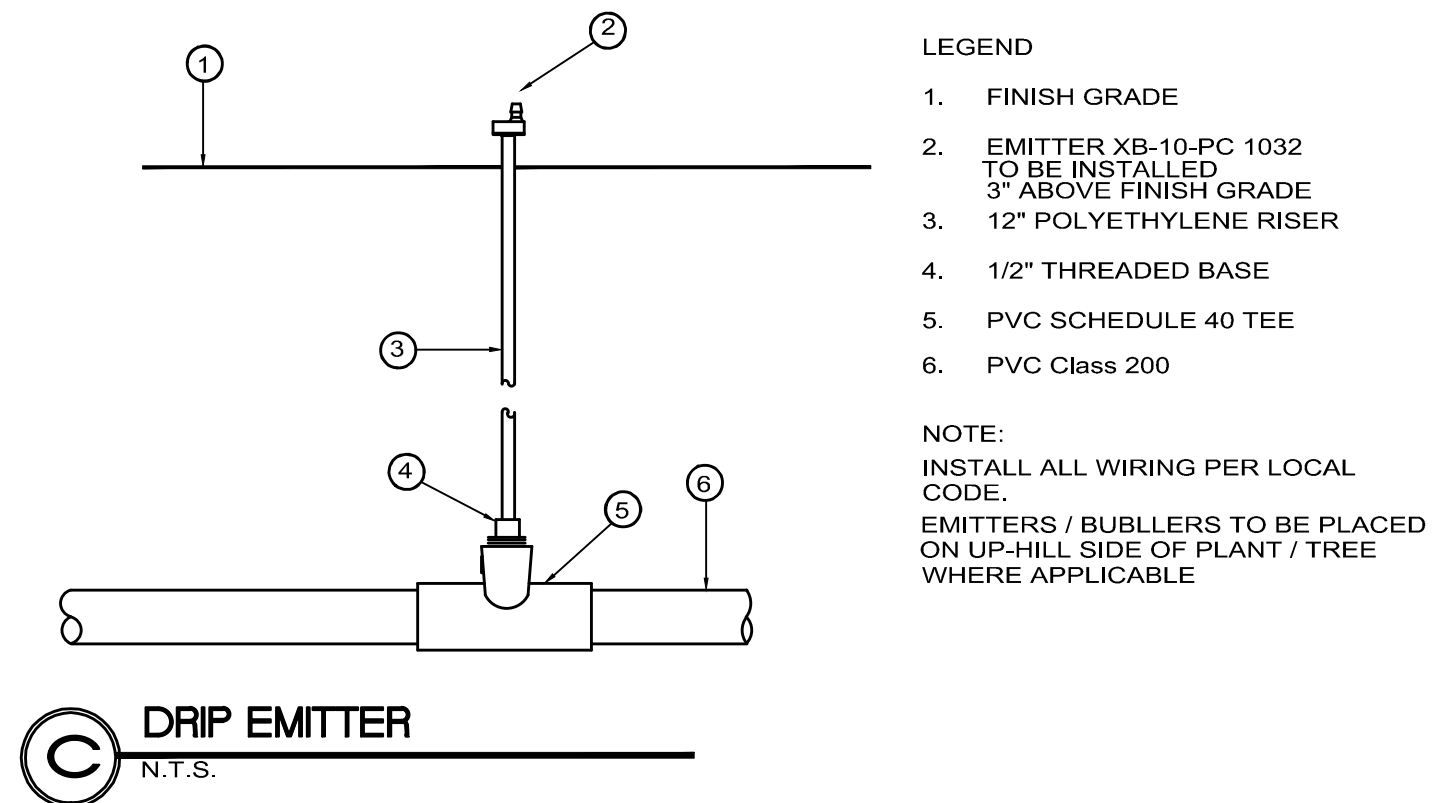
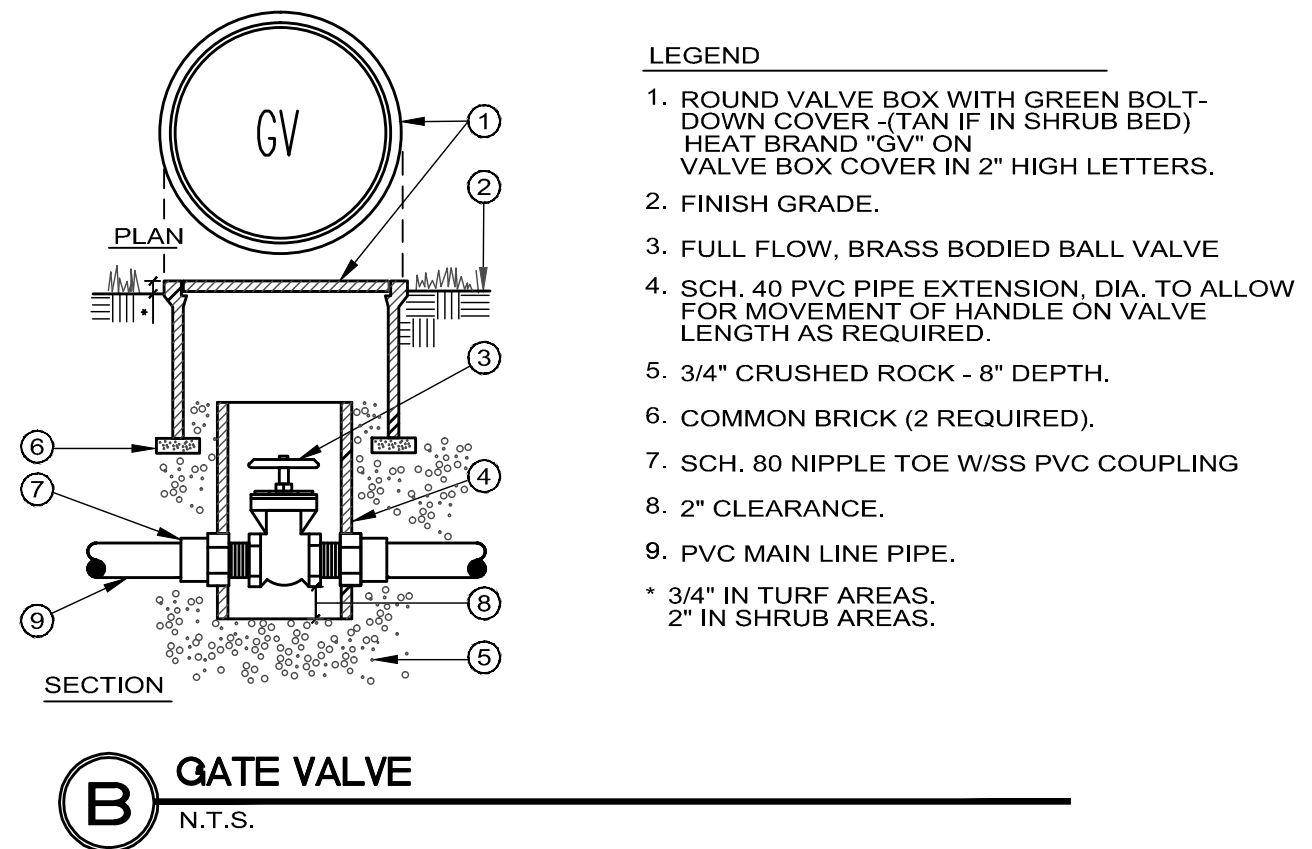
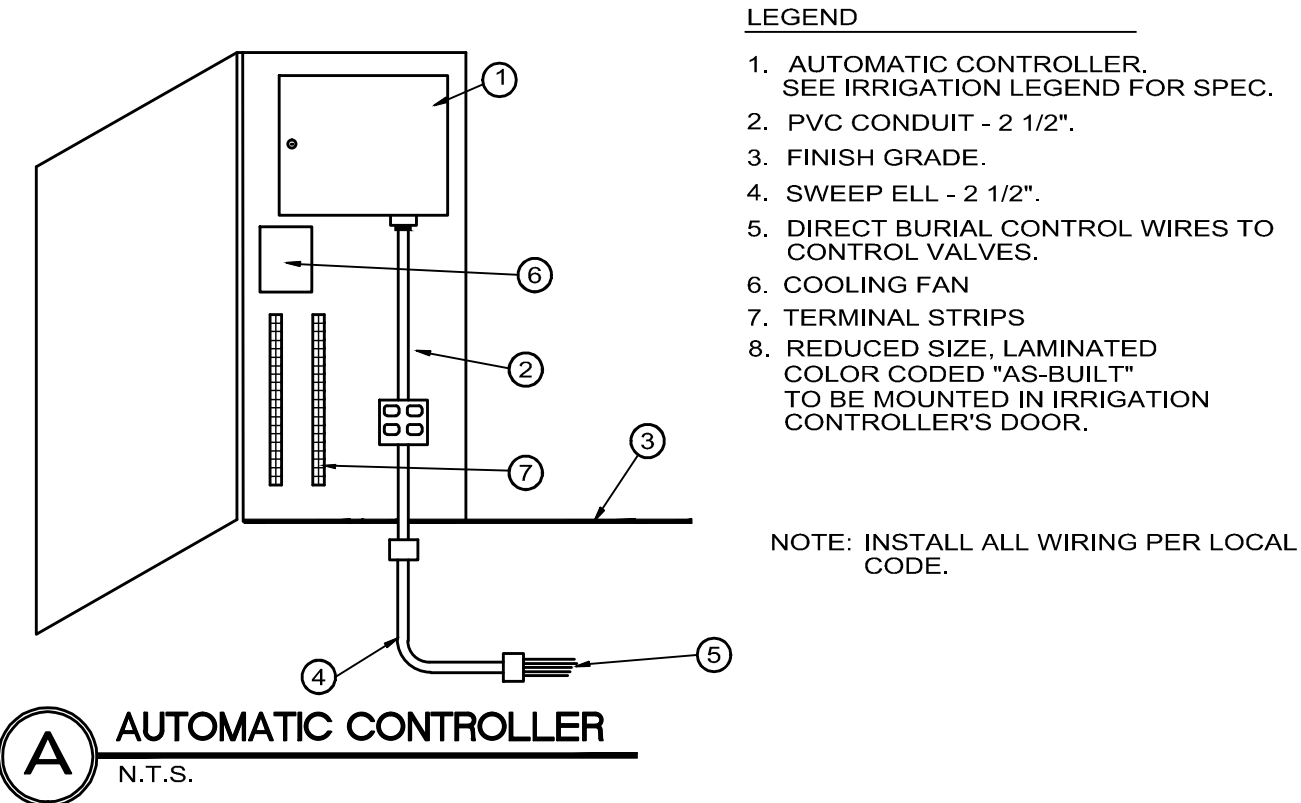
DESERT MODERN  
LANDSCAPE DESIGN

17725 SAN Geronimo ROAD  
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TELEPHONE: (760) 335-1344 E-mail: admin@desertmodern.com  
www.desertmodern.com

REVISION

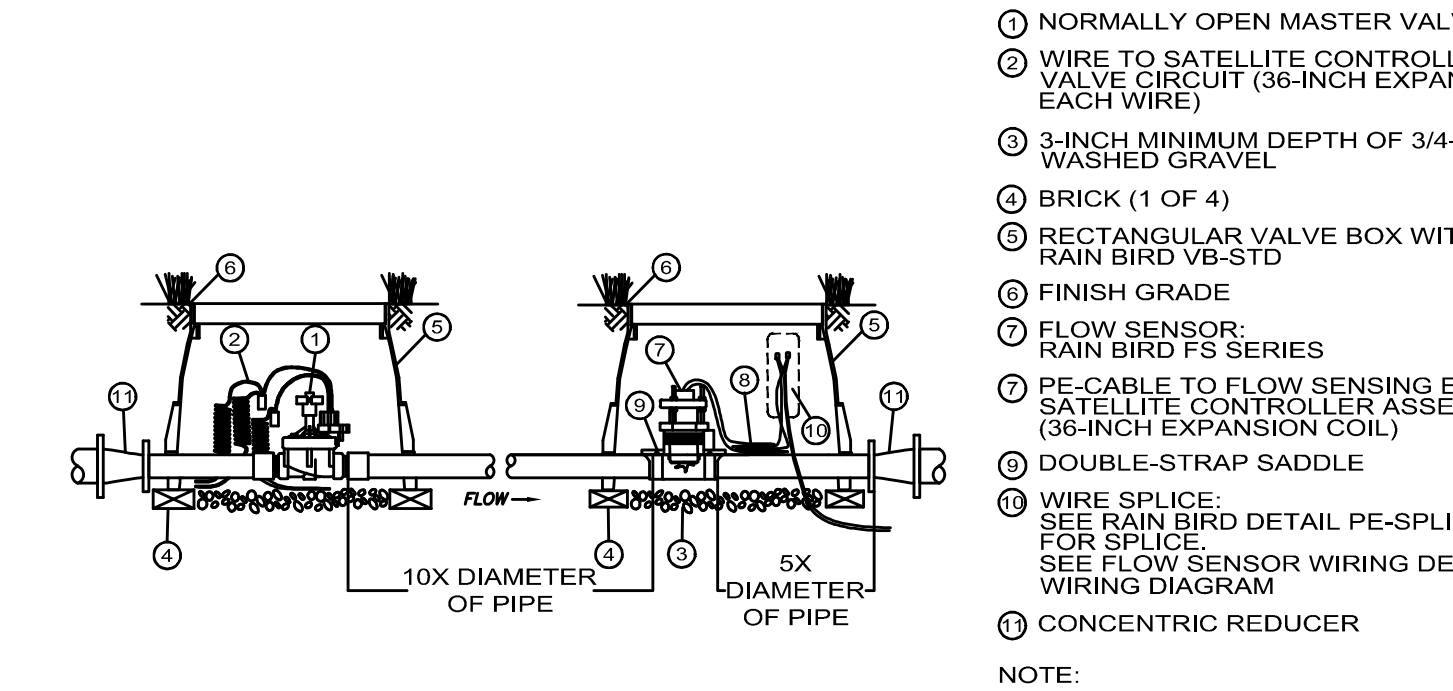
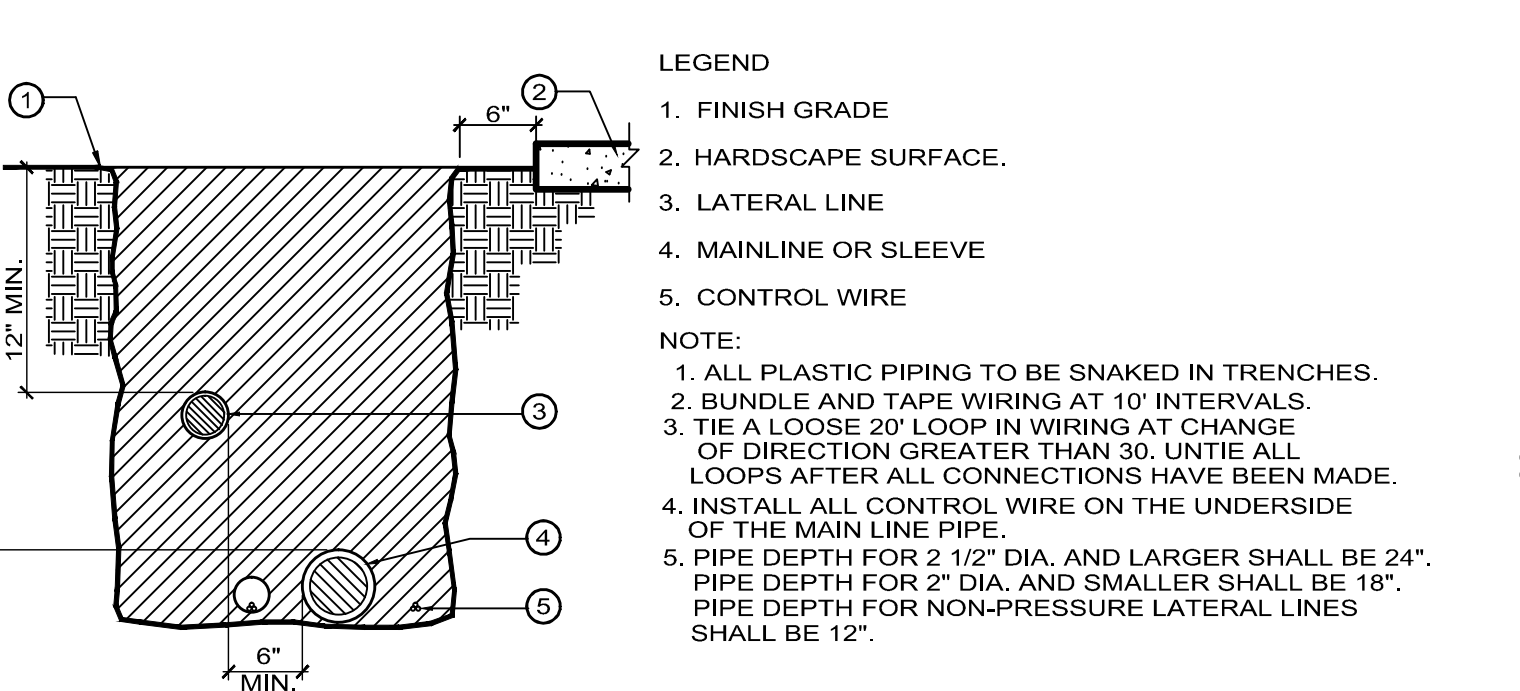
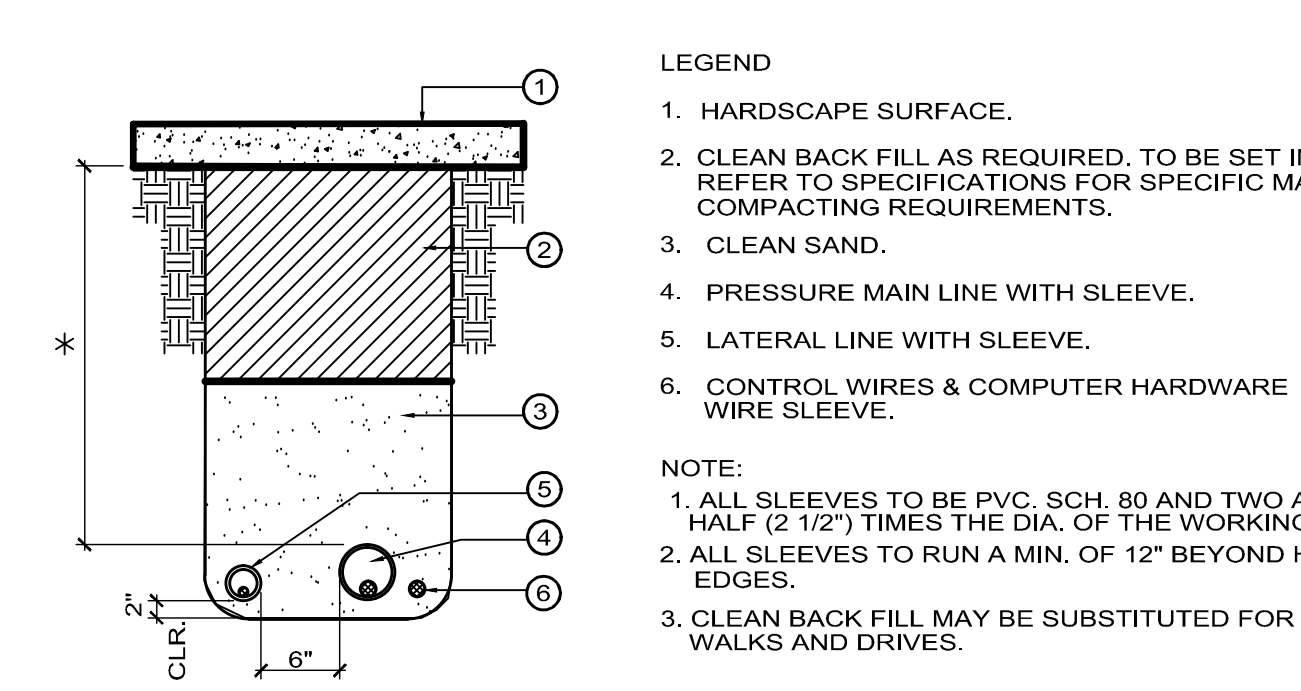
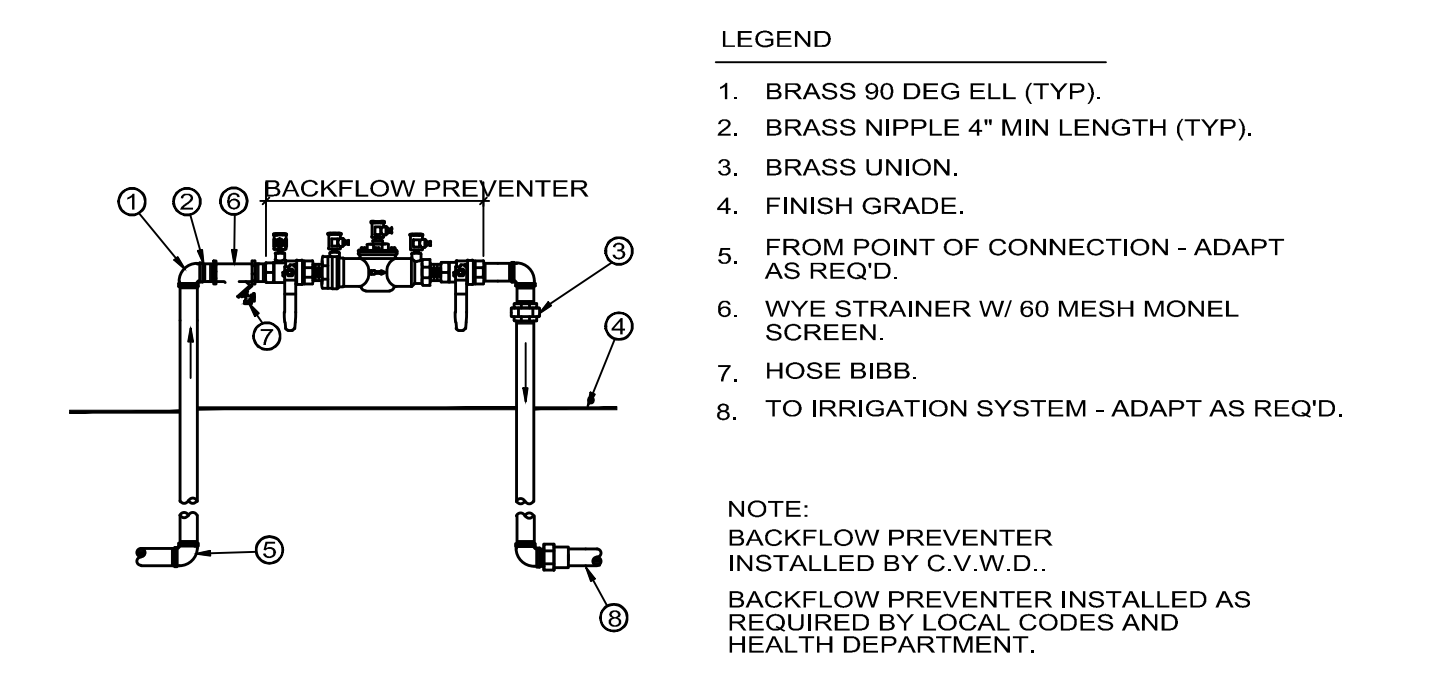
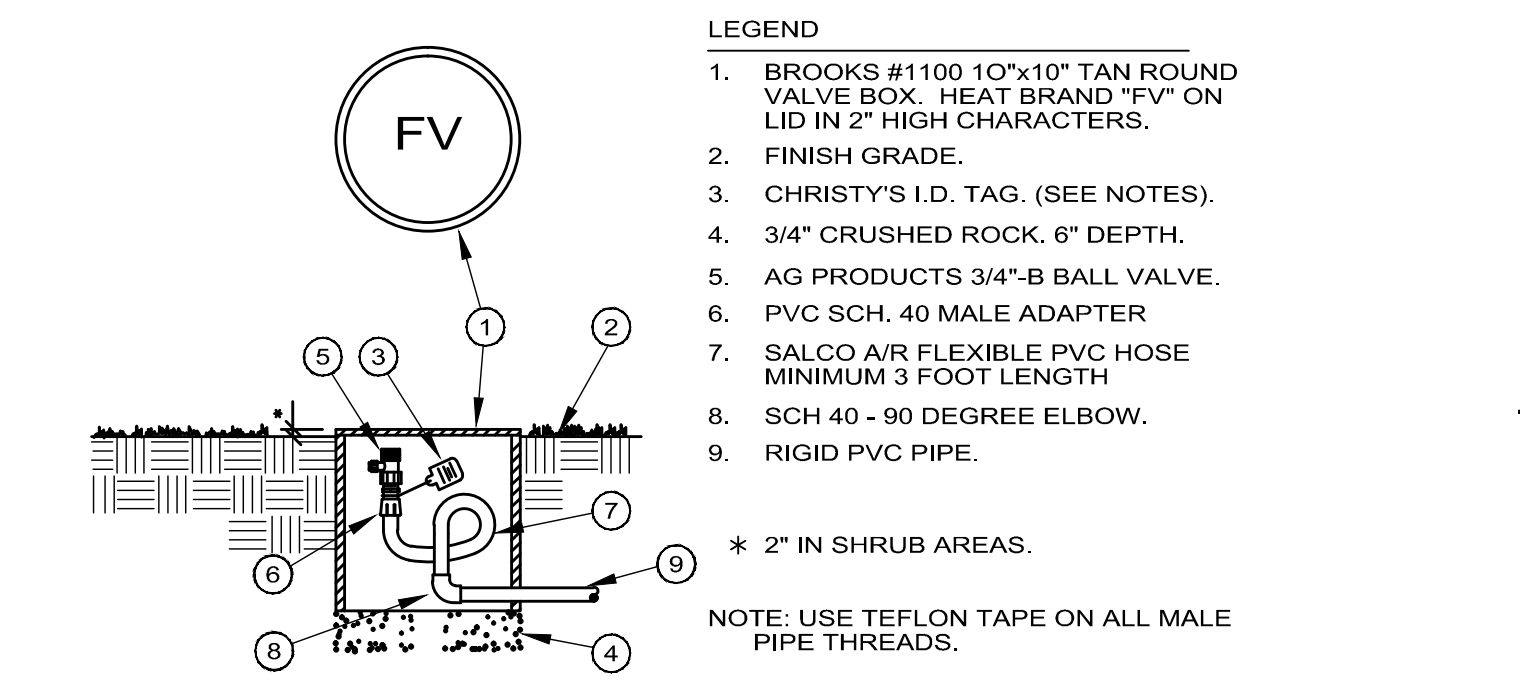
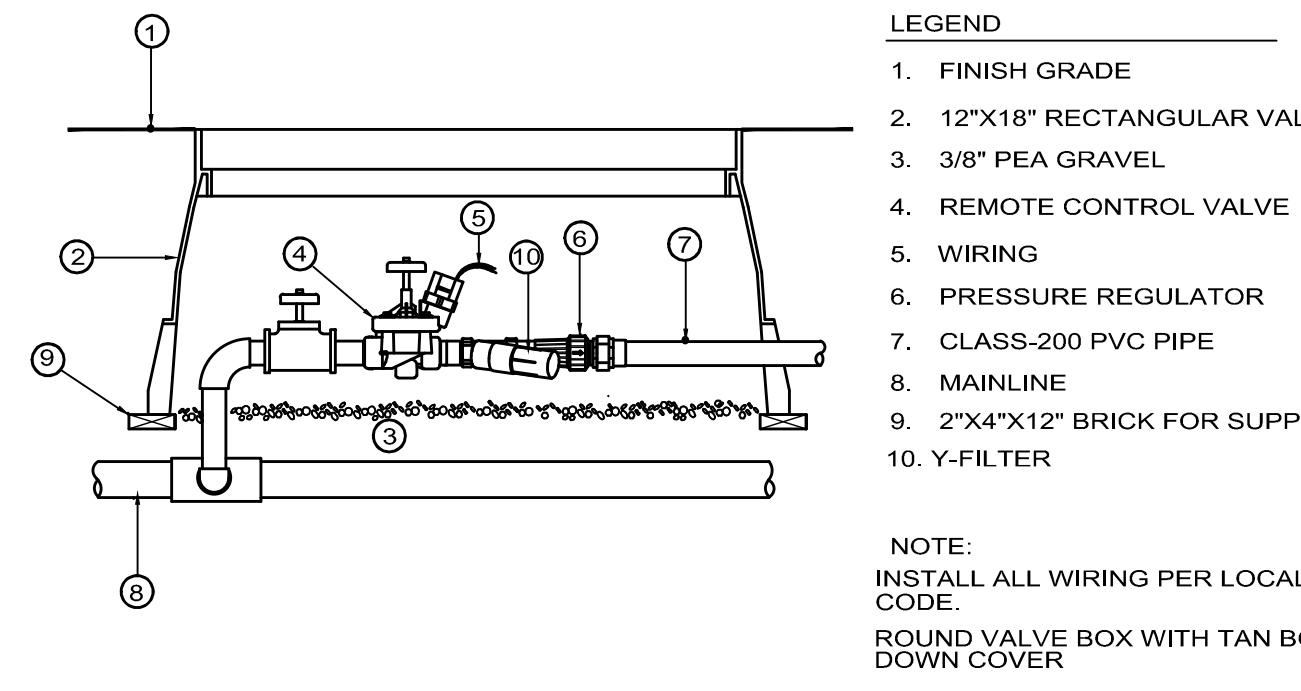
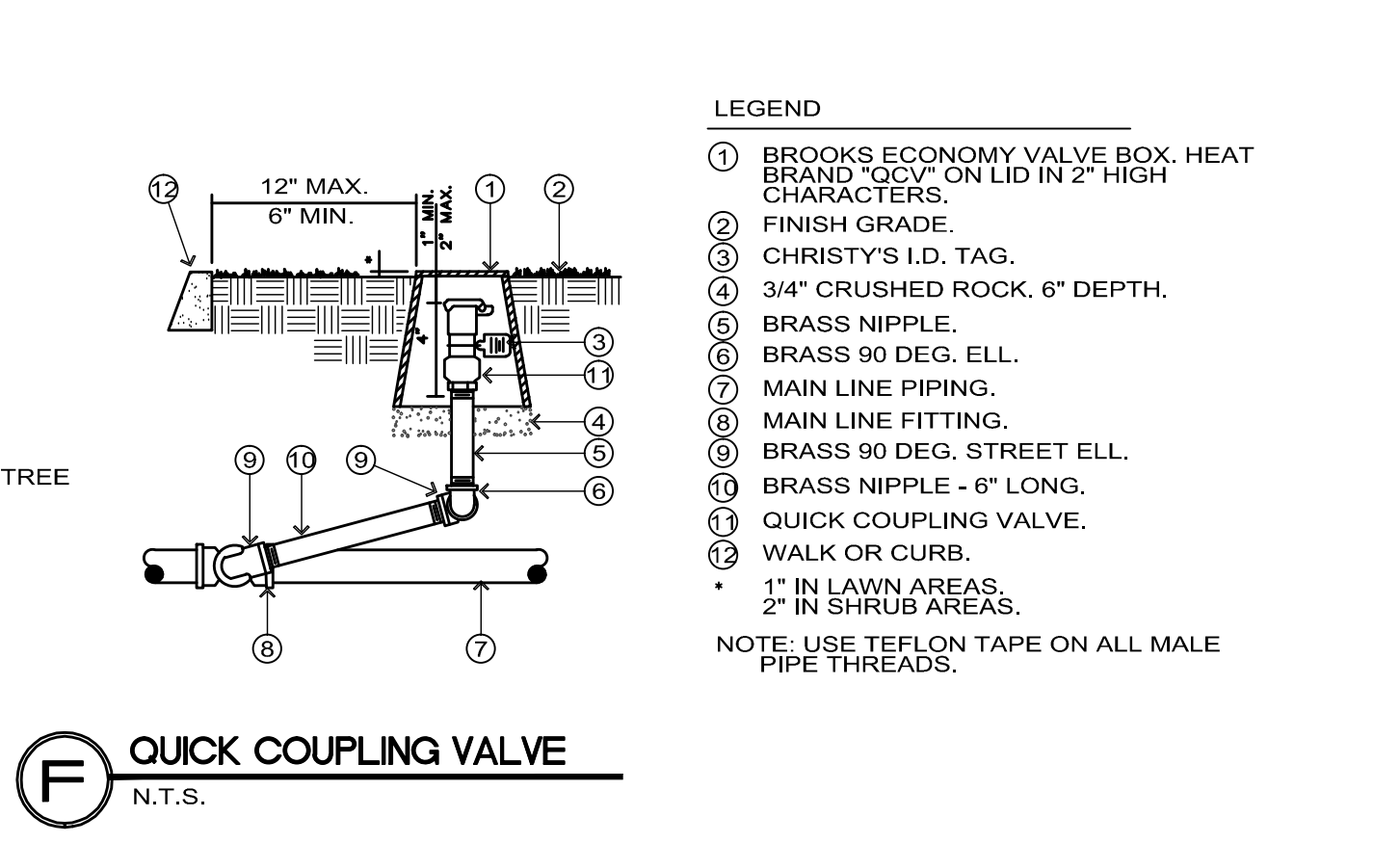
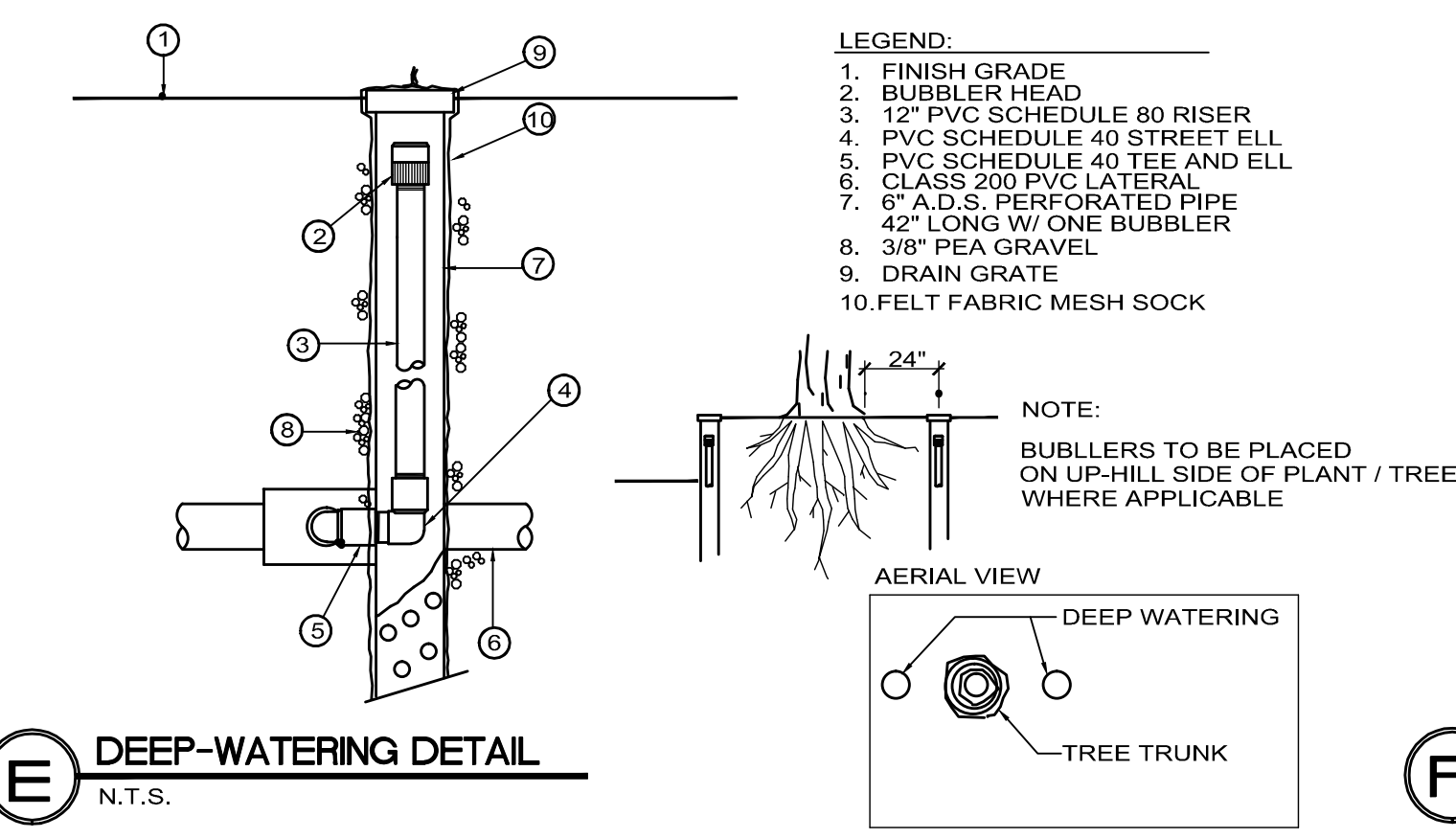
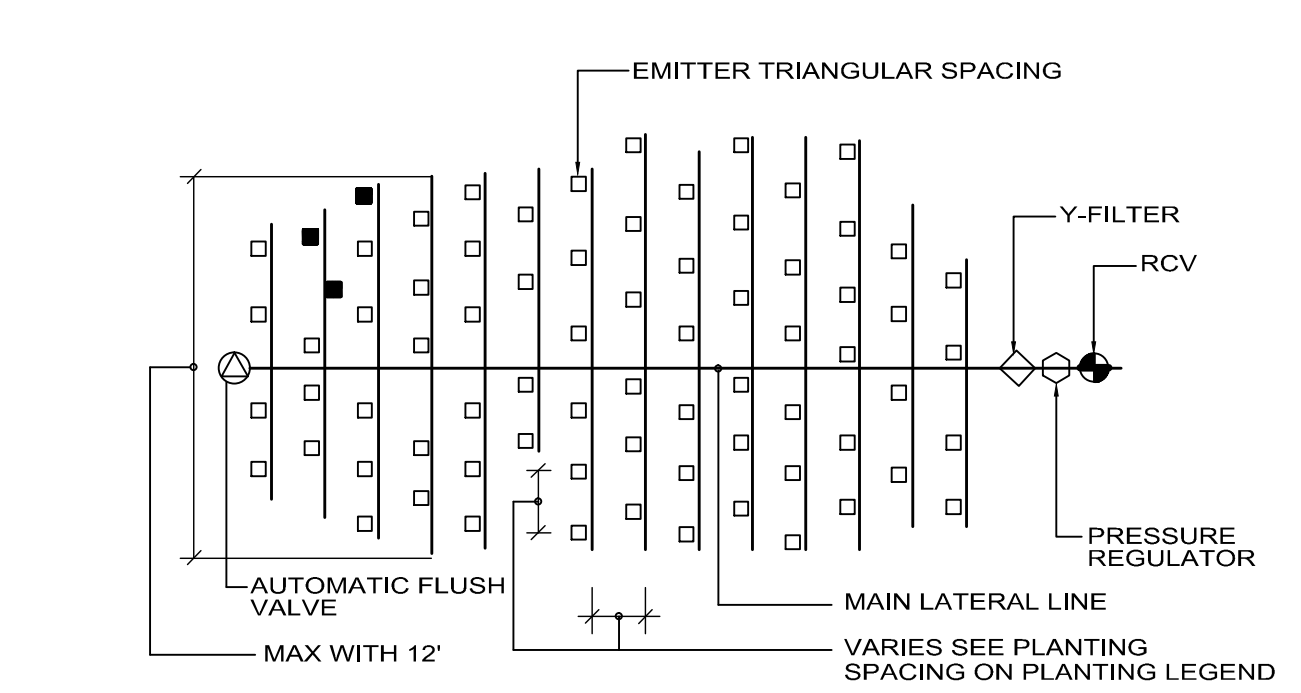
SCALE: 1/8"=1'-0"

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**GENERAL INSTALLATION NOTES**

1. SPRINKLER IRRIGATION PLAN IS DIAGRAMMATIC. FINAL LOCATION OF PIPING WILL BE DETERMINED AT TIME OF INSTALLATION. MAINLINE AND LATERALS SHALL BE PLACED IN SAME TRENCH WHEN POSSIBLE. EQUIPMENT SHOWN IN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTED AREAS.
2. INSTALL ALL EQUIPMENT AS SHOWN IN DETAILS. ALL EQUIPMENT REQUIRED BUT NOT SPECIFIED ON THE DRAWING SHALL BE PROVIDED BY THE IRRIGATION CONTRACTOR.
3. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MFG.'S INSTRUCTIONS AND SPECIFICATIONS.
4. BACKFLOW PROTECTION UNIT(S) SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODED.
5. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER WORKMANSHIP DURING INSTALLATION.
6. ALL MAINLINE PIPING SHALL HAVE A MINIMUM OF 18" COVER (24" UNDER ROADS AND STREETS AND IF RING SEALED PIPE). ALL LATERAL PIPING SHALL BE TRENCHED A MINIMUM OF 12" DEEP. ALL CONTROL WIRE GOING UNDER DRIVEWAYS AND STREETS SHALL BE SLEEVED IN A PVC PIPE. LATERAL PIPING GOING UNDER DRIVEWAYS AND STREETS SHALL BE SCHEDULE 40 PVC.
7. ALL VALVE CONTROL WIRE SHALL BE INSTALLED IN SAME TRENCH WITH MAINLINE WHEREVER POSSIBLE AND SHALL BE SOLID COPPER, AWG #14 TYPE UF, DIRECT BURIAL WIRE USING SNAPTITE OR SCOTCH-LOC WIRE CONNECTORS.
8. ALL TRENCH BACK FILL SOIL SHALL BE CLEAN, FREE OF ROCKS, TRASH, GLASS, SOLVENT CEMENT CONTAINERS AND RAGS. CONTRACTOR SHALL COMPACT ALL TRENCHES TO A DENSITY EQUAL TO THE UNDISTURBED SOIL AND SHALL BE RESPONSIBLE FOR BRINGING ANY SETTLED TRENCHES BACK TO FINISH GRADE.
9. CONTRACTOR SHALL FLUSH ALL PIPE LINES PRIOR TO INSTALLING SPRINKLER HEADS AND PRIOR TO INSTALLING NOZZLES.
10. CONTRACTOR SHALL INSTALL VALVE BOXES AT GRADE OVER ALL ELECTRIC VALVES AND INSTALL ANTI-DRAIN VALVES AS NECESSARY TO PREVENT LOW HEAD DRAINAGE EROSION OR DAMAGE.
11. 120 VOLT POWER FOR CONTROLLER(S) IS TO BE PROVIDED BY OTHERS ON A SEPARATE CIRCUIT BREAKER. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING CONNECTIONS TO CONTROLLER. CONTROLLER(S) FINAL LOCATION SHALL BE DETERMINED BY OWNER'S AUTHORIZED REPRESENTATIVE.
12. THE IRRIGATION CONTRACTOR SHALL COORDINATE THE PLACEMENT AND INSTALLATION OF THE BACK FLOW DEVICE AND WATER METER .
13. SHRUB DRIP EMITTERS AND TREE BUBLERS SHALL BE PLACED ON SEPARATE VALVES.
14. CONTRACTOR SHALL INSTALL MIPT X FIPT 'HEAD LOK' BELOW GRADE AS MFG. BY KING BROTHERS IND. OR EQUIVALENT UNDER EACH EMITTER THAT MIGHT BE SUSCEPTIBLE TO HEAD LOSS OR VANDALISM.
15. ALL EMITTERS TO BE PLACED 6"-12" FROM EACH CENTER OF PLANT AND AT THE TOP OF SLOPE WHERE APPLICABLE.
16. CONTRACTOR TO PROVIDE A DRIP EMITTER FOR EACH PLANT WITHIN DRIP ZONES.
17. CONTRACTOR TO PROVIDE REDUCED SIZE, COLOR CODED "AS-BUILT" TO BE MOUNTED IN IRRIGATION CONTROLLER'S DOOR. "AS-BUILT" TO BE LAMINATED.



**IRRIGATION DETAILS**

SCALE: N.T.S.

**Important Notice - Underground Service Alert**

Section 4216/4217 of the Government Code requires a Dig Alert Identification Number be issued before a 'Permit to Excavate' will be valid. For your Dig Alert Identification Number call Underground Service Alert TOLL FREE at 1-800-227-2600 two working days before you dig.

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

LANDSCAPE ARCHITECTURAL SERVICES BY:  
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LANDSCAPE DESIGN

LANDSCAPE PLANS FOR  
**DESERT PALISADES**  
WINTER SUN DRIVE LOT 7 TRACT 35540  
PALM SPRINGS, CALIFORNIA

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7175 SAN Geronimo Blvd.  
BANKERS BUILDING, CALIFORNIA 92505  
TELEPHONE (951) 277-1044 E-mail: info@desertmodern.com  
www.desertmodern.com

| REVISION |  |
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**DWA LANDSCAPE APPROVAL**

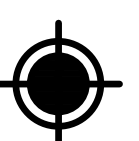
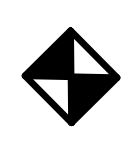
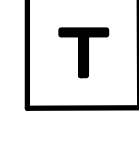
These plans have been reviewed by the Desert Water Agency in accordance with California Government Code, Section 65591 et seq. requiring efficient landscape and irrigation design in cooperation with the local governing agency (City or County).

Approval of this drawing by DWA staff does not constitute approval to encroach into district and USBR Rights-of-Way. Trees, plans, walls, and permanent structures of any kind may not be planted or installed in DWA and USBR easements or right-of-way without first obtaining an encroachment permit from DWA.

Date \_\_\_\_\_ WATER MANAGEMENT DEPARTMENT \_\_\_\_\_

DWA Plan # \_\_\_\_\_ DEVELOPMENT SERVICES DEPARTMENT \_\_\_\_\_

**LIGHTING SCHEDULE**

| SYMBOL  | QTY. | FIXTURE   | COMMENTS  |
|---|------|---|---|
|  | 8    | Model: 16020 AZT 27, 4 W<br>60° wide flood (Max 17W)<br>Electrical: 12V   | LED TREE FLOOD LIGHT<br>Architectural Bronze Finish<br>2700 K Warm White        |
|  | 48   | VLO (Variable Lumen Output)<br>Model: 16017 AZT 27, 2 W<br>60° flood (Max 7.5W)<br>Electrical: 12V  | ACCENTS<br>LED ACCENT LIGHT<br>Architectural Bronze Finish<br>2700 K Warm White |
|  | 2    | Model: (1) 15-PR-600<br>Model: (1) 15-PR-600<br>Electrical: 12V<br>15557 BK Mechanical Transformer Timer<br>15565 BK Plug-In Transformer Cell | TRANSFORMER   |

LIGHTING CONTRACTOR TO VERIFY LIGHTING COUNT BEFORE ORDERING FIXTURES.

(H) - SATELLITE HUB (WIRE JUNCTION MANIFOLD)

**NOTES:**

1. ALL WIRING SHOULD BE INSTALLED IN ACCORDANCE WITH LOCAL STATE AND NATIONAL ELECTRICAL CODES, UL SAFETY STANDARDS AND BE INSTALLED BY QUALIFIED LICENSED ELECTRICIAN.
2. SEE ASSEMBLY AND INSTALLATION INSTRUCTIONS PROVIDED WITH ALL KICHLER FIXTURE/ ACCESSORY FOR ACCURATE AND SAFE INSTALLATION.
3. USE ONLY KICHLER FIXTURES AND ACCESSORIES FOR THIS INSTALLATION.
4. FAILURE TO ADHERE TO ABOVE NEC CODES AND INSTRUCTIONS MAY RESULT IN SERIOUS INJURY AND/ OR PROPERTY DAMAGE.
5. ALL FIXTURES MUST BE AT LEAST 10FT. AWAY FROM A SWIMMING POOL WHERE APPLIED TO MET THE NEC CODE.
6. LAYOUT DESIGN FOR REFERENCE ONLY. FINAL PRODUCT PLACEMENT MAY BE SUBJECT TO CHANGE PER ELECTRICIAN OR INSTALLER.
7. FIXTURES ARE SHOWN IN APPROXIMATE LOCATION. THE CONTRACTOR SHALL VERIFY THE ACTUAL FIELD PLACEMENT OF EACH FIXTURE UPON COMPLETION OF LANDSCAPE INSTALLATION.
8. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING FIXTURES AT NIGHT TO HELP ELIMINATE GLARE AND TO ENSURE OPTIMUM LIGHTING EFFECT.
9. INSTALLER SHALL BURY LOW VOLTAGE CABLE NO LESS THAN 6" IN GROUND.
10. CONTRACTOR TO FOLLOW INSTALLATION INSTRUCTIONS TO SET UP FIXTURES FOR A BRIGHTER SETTING.

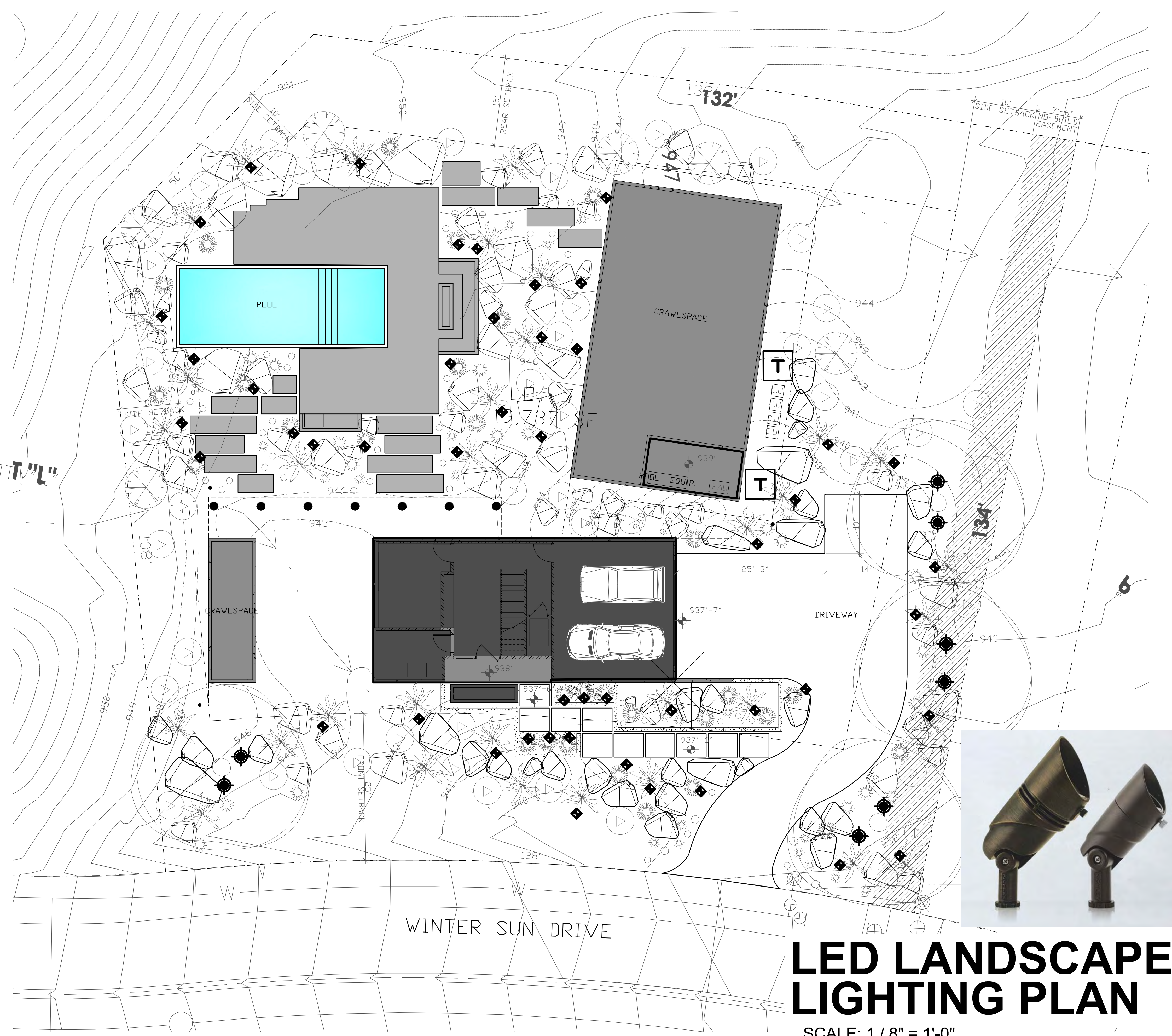
**NOTES:**

1. THIS SHEET IS FOR REFERENCE ONLY AND THESE LIGHTING REQUIREMENTS ARE INCORPORATED ON THE ELECTRICAL PLAN.
2. LIGHTING CONTRACTOR TO CONTACT KICHLER LIGHTING FOR ANY TYPE OF ASSISTANCE IN LAYOUT OF WIRE AND SIZE.
3. LIGHTING CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR FOR LOCATION OF IRRIGATION CLOCK AND LIGHTING TRANSFORMER(S) AWAY FROM PUBLIC VIEW.
4. PROVIDE LIGHTING TRANSFORMERS WATTAGE AS NECESSARY WITH PHOTOCELL. PHOTOCELLS ARE TO BE LOCATED IN SUN ACCESSIBLE AREAS.

Lights are available through CH Sales, Inc  
www.chsalesinc.com  
Please contact Chuck Hoover for questions.  
Cell: (818) 519-0247

**ELECTRICAL NOTES**

1. ELECTRICIAN IS TO PROVIDE ALL NECESSARY PLANS, SPECIFICATIONS, AND DOCUMENTS, ETC. AND OBTAIN ALL REQUIRED APPROVALS AND PERMITS.
2. UNLESS OTHERWISE PROVIDED BY CONTRACTOR, ELECTRICIAN IS TO SIZE AND CIRCUIT ALL ELECTRICAL REQUIREMENTS SHOWN ON PLANS. (I.E. LIGHTS, PUMPS, POOLS EQUIPMENT, TIME CLOCKS, IRRIGATION CONTROLLERS, ETC.) CONTRACTOR IS TO PROVIDE AS BUILTS.
3. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES AND ACCEPTABLE STANDARDS OF PRACTICE.
4. COORDINATE ALL WORK, ESPECIALLY SLEEVING, TRENCHING AND BACKFILLING WITH IRRIGATION, CONCRETE AND MASONRY SUBCONTRACTORS AS REQUIRED.
5. LIGHTING CONTROLLERS WILL BE LOCATED ADJACENT TO IRRIGATION CONTROLLERS WHENEVER POSSIBLE.
6. ELECTRICIAN IS TO CONFIRM EXACT TREE LOCATION SO AS TO INSURE PROPER INSTALLATION OF LIGHT FIXTURES.
7. ALL JUNCTION BOXES WITHOUT A LIGHT FIXTURE WILL BE PUT IN A CARSON BELOW GRADE.
8. JUNCTION BOXES ON WALK LIGHTS ARE TO BE 6" TO 8" ABOVE FINISH GRADE MEASURED TO THE BOTTOM OF THE BOX. THESE NEED TO BE 6" MIN. AWAY FROM THE EDGE OF THE CONCRETE DECKING.
9. LIGHT FIXTURES LOCATED WITHIN (10) TEN FEET FROM EDGE OF WATERFEATURES ARE TO BE EQUIPPED WITH A GFCI PER ELECTRICAL ENGINEERS PLAN AND PER LOCAL AND COUNTY CODES.
10. THE DESIGNER SHALL IN NO WAY BE HELD RESPONSIBLE FOR THE METHODS AND MEANS OF INSTALLATION, SAFETY IN/ON, OR ABOUT THE SITE, PERFORMANCE OF WORK OR TIMELINESS IN WHICH WORK IS PERFORMED.
11. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE FIXTURES AT NIGHT TO ELIMINATE GLARE AND INSURE OPTIMUM LIGHTING EFFECT.



12. ALL WIRE SHOULD RUN PARALLEL TO HARD SURFACES, SUCH AS SIDEWALKS, DRIVEWAYS AND WALLS, WHEN POSSIBLE.
13. COORDINATE ALL WORK, ESPECIALLY SLEEVING, TRENCHING AND BACKFILLING WITH IRRIGATION, CONCRETE AND MASONRY SUBCONTRACTORS AS REQUIRED. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING SLEEVES UNDER THE HARD SURFACES, USING A 1-INCH PIPE MINIMUM.
14. ALL 120 VOLT OUTSIDE ELECTRICAL OUTLETS SHALL BE PROTECTED BY THE GFI AS PER NATIONAL ELECTRICAL CODE.
15. THE LIGHTING PLAN IS DIAGRAMMATIC AND IS NOT INTENDED TO SHOW EXACT LOCATION OF CABLE RUNS. THE INSTALLING CONTRACTOR SHALL RUN WIRES TO BEST SUIT FIELD CONDITIONS. AN AS-BUILT PLAN IS TO BE COMPLETED AND LEFT WITH THE OWNER.

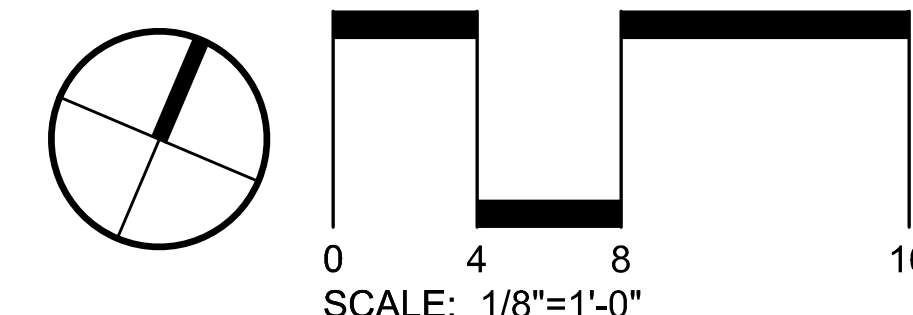
**SETBACK NOTES**

1. LOCATE LIGHT FIXTURES A MIN. OF 4'-0" FROM EDGE OF TREE.
2. THESE MEASUREMENTS AREA SUPERSEDED ONLY WHEN FIELD CONDITIONS WARRANT CHANGE BY LANDSCAPE ARCHITECT.



**LED LANDSCAPE LIGHTING PLAN**

SCALE: 1 / 8" = 1'-0"



SCALE: 1/8"=1'-0"

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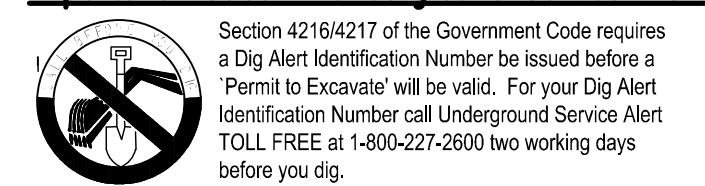
DESERT MODERN  
LANDSCAPE DESIGN  
11011 W. GARDENWAY  
RANCHO BUREAU, CALIFORNIA 92503  
TELEPHONE: (951) 858-1344 Email: info@desertmodern.com  
www.desertmodernlandscape.com

REVISION

SCALE: 1/8"=1'-0"

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**Important Notice - Underground Service Alert**



Section 42154217 of the Government Code requires a Dig Alert Identification Number be issued before a Permit to Excavate will be valid. For your Dig Alert Identification Number call Underground Service Alert TOLL FREE at 1-800-227-2600 two working days before you dig.

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.