



# ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: December 7, 2021 CONSENT AGENDA

SUBJECT: ADHAM CHEHAB AND RINA LAZARIAN-CHEHAB, OWNERS, REQUESTING A MAJOR ARCHITECTURAL APPLICATION FOR THE CONSTRUCTION OF A NEW 4,220-SQUARE FOOT SINGLE-FAMILY HOME, INCLUSIVE OF A FOUR-CAR GARAGE LOCATED ON A MAJOR THOROUGHFARE AT 2260 NORTH SUNRISE WAY (CASE 3.4293), ZONE R-1-C, APN 501-283-012 (RB).

FROM: Development Services Department – Planning Division

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## PROJECT DESCRIPTION:

The applicant is proposing the construction of a 3,200-square foot single-family residence with a 1,020-square foot four-car garage on a 20,250-square foot lot located on a major thoroughfare. The single-family residence will have a modern Spanish design. The lot is 20,250 square feet in size, which is an oversized lot for the R-1-C zone.

## RECOMMENDATION:

That the Architectural Review Committee approve the application subject to the attached conditions, including the following project revisions:

1. The Applicant shall select alternate plant species to the crawling sedum from the CVWD Lush and Efficient handbook.
2. The Applicant shall submit a revised landscape plan to include landscaping within the right-of-way area behind the sidewalk that is consistent with the proposed landscape design.

## BACKGROUND INFORMATION:

<i>Neighborhood Meeting/Neighborhood Notice</i>	
12/02/2021	The surrounding neighborhood organizations within a mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on December 7, 2021.

**STAFF ANALYSIS:**

<i>Site Area</i>	
Net Acres	0.46 Acres

<i>General Plan and Zoning Designations</i>		
<i>General Plan Designation</i>	<i>Permitted Density</i>	<i>Compliance</i>
Very Low Density Residential (VLDR)	2.1 – 4.0 DU/AC	Y
<i>Zoning Designation</i>		
R-1-C		

**Development Standards:**

Pursuant to PSZC Section 92.01.03, the following development standards apply:

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks			
• Front	50 Feet	50 Feet	Y
• Side (south)	10 Feet	12.8 Feet	Y
• Side (north)	10 Feet	29.9 Feet	Y
• Rear	15 Feet	19.2 Feet	Y
Max. Lot Coverage	35 %	22 %	Y
Max. Building Height	18 Feet, 12 feet at setback area	16.4 feet, 9 feet at setback area	Y
Building Separation	6 Feet	N/A	Y
Perimeter Wall Height			
• North	6 Feet	(Existing)	N/A
• South	6 Feet	(Existing)	N/A
• East	6 Feet	6 Feet	Y
• West	N/A	Portion of wall that doesn't exist N/A	N/A
Parking	2 spaces (covered)	4 spaces (covered)	Y

**Architectural Review Criteria and Findings:**

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i>	Y
	The proposed new construction will be a modern Spanish design. Architectural treatment will be consistent with the desert surrounding on all four sides in terms of material, color, and design	

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	treatment.	
2.	<i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i> No accessory structures are being proposed.	N/A
3.	<i>The façade elements and fenestration are composed in a harmonious manner;</i> The proposed project is of modern Spanish design with symmetrical design on the front elevation and asymmetrical design on the other three elevations. The proposed fenestration is consistent around the building, creating a harmonious design.	Y
4.	<i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i> Building materials include smooth stucco finish and concrete roof tiles which are suitable for the desert environment and complement the design of the adjacent homes.	Y
5.	<i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i> Material and colors proposed (Spanish red clay tile roofing, smooth stucco, and stone veneer) are suitable for the contextual desert setting. The proposed selection of color and materials are consistent with the design of homes on both sides of the subject property.	Y
6.	<i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i> The project proposal includes front entry feature and rear entry covered patio with wide roof overhangs and eaves around the entire roof structure to provide solar control and interest in the architecture.	Y
7.	<i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i> The project generally proposes drought-tolerant landscape species compliant with the Coachella Valley Water Districts Lush and Efficient handbook; Staff recommends alternate plant material to crawling sedum which will comply with PSMC Chapter 8.60.	Y, as conditioned
8.	<i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i> The project is new construction utilizing a combination of xeriscape and drought tolerant plant species and benches to create perimeter buffered landscape areas of the property and respect streetscape visibility concerns. Staff recommends additional	Y, as conditioned

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	landscaping within the buffer area along the sidewalk and right of way adjacent to the property line.	
9.	<i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i> The landscaping as proposed offers adequate shading of outdoor patios and walkways.	Y
10.	<i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i> Wall-mounted lighting fixtures and some pole mounted fixtures are being proposed and will be operational from dusk to dawn. Adjacent properties should not be affected as fixture brightness is in compliance with the allowable lumens (PSZC 93.21.00 (A)(20))	Y
12.	Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties; Mechanical equipment will be placed in the rear yard and behind the structure. Waste management receptacles will be placed in the same area. All will be screened from view from Sunrise Way and the abutting properties.	Y

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”) and has been determined to be categorically exempt pursuant to Section 15301(a) of the CEQA Guidelines (Class 1, Existing Facilities).

CONCLUSION:

The proposed new construction of the single-family home is designed to integrate to the site and surrounding setting. The structure conforms to the development standards as outlined in the PSZC 92.01.03. The proposed development will be compatible with the character of adjacent and surrounding development, and is of good composition, materials, textures, and colors. Staff recommends approval.

PREPARED BY:	Richard Bruno, Planning Technician
REVIEWED BY:	David Newell, Assistant Director of Planning

ATTACHMENTS:

- A. Vicinity Map
- B. Draft Resolution and Conditions of Approval

- C. Justification Letter
- D. Site Photographs
- E. Specification Exhibits
- F. Plans

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION FOR THE CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE LOCATED AT 2260 NORTH SUNRISE WAY (CASE 3.4293 MAJ).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

A. ADHAM CHEHAB AND RINA LAZARIAN-CHEHAB, Owners (“Applicant”) filed an application with the City, pursuant to the Palm Springs Zoning Code (PSZC) Sections 94.04.00 (architectural review), for the construction of a new single-family residence located at 2260 North Sunrise Way (“the Project”).

B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City’s Planning Commission to the City’s Architectural Review Committee.

C. On December 7, 2021, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Construction or Conversion of Small Structures).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of 94.04.00 (“architectural review”);

Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Case 3.4293 MAJ for the construction of a new single-family residence located at 2260 North Sunrise Way subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 7th day of December 2021.

AYES:  
NOES:  
ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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David Newell, AICP  
Assistant Planning Director

RESOLUTION NO. \_\_\_\_\_

**EXHIBIT A**

3.4293 MAJ

Construction of a new single-family home on a major thoroughfare  
December 7, 2021

**CONDITIONS OF APPROVAL**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

**ADMINISTRATIVE CONDITIONS**

- ADM 1. Project Description. This approval is for the project described per Case 3.4293; except as modified with the conditions below;
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped December 7, 2021, including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. The owner/applicant shall defend, indemnify, and hold harmless the City of Palm Springs, its elected officials, agents, officers, and employees (“Indemnitees”) from any claim, action, or proceeding against the City of Palm Springs or any Indemnitee(s), arising, in any way, out of the activities



authorized by this approval of Case 3.4293 MAJ. The City will promptly notify the applicant of any such claim, action, or proceeding and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the Indemnitees. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, walls, and fences that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.
- ADM 9. Park Development Fees. The developer shall dedicate land or pay a fee in lieu of a dedication, at the option of the City. The in-lieu fee shall be computed pursuant to Ordinance No. 1632, Section IV, by multiplying the area of park to be dedicated by the fair market value of the land being developed plus the cost to acquire and improve the property plus the fair share contribution, less any credit given by the City, as may be reasonably determined by the City based upon the formula contained in Ordinance No. 1632. In accordance with the Ordinance, the following areas or features shall not be eligible for private park credit: golf courses, yards, court areas, setbacks, development edges, slopes in hillside areas (unless the area includes a public trail) landscaped development entries, meandering streams, land held as open space for wildlife habitat, flood retention facilities and circulation improvements such as bicycle, hiking and equestrian trails

(unless such systems are directly linked to the City’s community-wide system and shown on the City’s master plan).

### **ENVIRONMENTAL ASSESSMENT CONDITIONS**

- ENV 1. Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA); therefore, an administrative fee of \$64 shall be submitted by the applicant in the form of a money order or a cashier’s check payable to the Riverside County Clerk within two business days of the Commission’s final action on the project. This fee shall be submitted by the City to the County Clerk with the Notice of Exemption. Action on this application shall not be considered final until such fee is paid (projects that are Categorically Exempt from CEQA).

### **PLANNING DEPARTMENT CONDITIONS**

- PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project’s conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer’s cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.
- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner’s Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency’s and the State’s Water Efficient Landscape Ordinances.
- PLN 3. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 4. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.

- PLN 5. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 6. Pool Enclosure Approval Required. Details of fencing or walls around pools (material and color) and pool equipment areas shall be submitted for approval by the Planning Department prior to issuance of Building Permits.
- PLN 7. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 8. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 9. No off-site Parking. Vehicles associated with the operation of the proposed development including company vehicles or employees vehicles shall not be permitted to park off the proposed building site unless a parking management plan has been approved.
- PLN 10. Pad Elevations. Final building pad elevations shall not vary more than 12 inches above or below the pad elevation established by the approved preliminary grading plan and / or tentative map. Any deviations from this provision shall require approval by the Planning Commission.
- PLN 11. Architectural Review Committee.
- a. The Applicant shall select an alternate plant species for the crawling sedum from the CVWD Lush and Efficient handbook.
  - b. The Applicant shall plant additional landscaping within the buffer area along the sidewalk and right of way adjacent to the property line. Said landscape shall be consistent with the proposed design and shall be shown on a final landscape plan that is reviewed and approved as part of Condition PLN 2.

## **ENGINEERING CONDITIONS**

The Engineering Services Department recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

## STREETS

- ENG 1. The Engineering Services Department recommends deferral of off-site improvement items (identified as “**Deferred**”) at this time due to lack of full improvements in the immediate area. The owner shall execute a street improvement covenant agreeing to construct all required street improvements upon the request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner(s) prior to approval of the Grading Plan or issuance of grading or building permits. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.
- ENG 2. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.
- ENG 3. Submit street improvement plans prepared by a registered California civil engineer to the Engineering Services Department. The plan(s) shall be approved by the City Engineer prior to issuance of any building permits. **Deferred.**
- ENG 4. **Provide proposed finish floor elevations of all proposed structures, existing structures on site, and all adjacent off-site structures. Provide proposed on-site drainage flow designs. This information required prior to site plan approval.**

## SUNRISE WAY

- ENG 5. Dedicate an additional 10 feet to provide the ultimate half street right-of-way width of 50 feet along the entire frontage. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A right-of-way plan check fee shall be paid by the applicant in effect at the time that the dedication is submitted.
- ENG 6. Remove the existing 6-inch curb located 32 feet east of centerline and replace with a future 8-inch curb and gutter located 38 feet east of

centerline along the entire frontage, in accordance with City of Palm Springs Standard Drawing No. 200 and 340. **Deferred.**

- ENG 7. Construct a driveway approach in accordance with City of Palm Springs Standard Drawing No. 201. An on-site vehicular turnaround (hammerhead or similar configuration) shall be constructed, in accordance with Zoning Code 93.06.00 C (8).
- ENG 8. Construct a future driveway approach in accordance with City of Palm Springs Standard Drawing No. 201. A future on-site vehicular turnaround (hammerhead or similar configuration) shall be constructed, in accordance with Zoning Code 93.06.00 C (8). **Deferred.**
- ENG 9. The proposed driveway approach location is in violation of Section 93.06.00 C(15)d of the City of Palm Springs Zoning Ordinance. It calls for a minimum separation between the driveway and rear or side lot line of 6 feet. A minimum separation of 4 feet per Standard Drawing No. 201 is acceptable with City Engineer approval.
- ENG 10. Remove the existing asphalt sidewalk and construct a 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210.
- ENG 11. Construct a 5 feet wide sidewalk behind the future curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210. **Deferred.**
- ENG 12. Construct a future 14-foot wide raised, landscaped median island as specified by the City Engineer across the entire frontage. The design shall be as required by the City Engineer, with landscaping approved by the Director of Planning. Landscaping and irrigation plans for the median shall be submitted to the City Engineer for review and approval, in conjunction with the associated street improvement plans. **Deferred.**
- ENG 13. Construct pavement with a minimum pavement section of 5 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, from edge of proposed gutter to clean sawcut edge of pavement along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 110 and 340. (Additional pavement removal and replacement may be required upon review of existing pavement cross-sections, and to ensure grade breaks of the pavement cross-section do not occur within a travel lane.) If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval. **Deferred.**

ENG 14. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

#### SANITARY SEWER

ENG 15. All sanitary facilities shall be connected to the public sewer system. New laterals shall not be connected at manholes.

#### GRADING

ENG 16. Submit cut and fill quantities to City Engineer to determine if a Grading Plan is required. If required, the Grading Plan shall be submitted to the Engineering Services Department for review and approval by the City Engineer prior to issuance of grading permit. If the earthwork quantity is less than 50 cubic yards, a formal grading plan is not required. To qualify for the exemption, a signed original written statement of design earthwork quantities from the owner (or design professional, prepared on company letterhead) shall be provided to the Engineering Services Department. Exemption of a formal Grading Plan reviewed and approved by the City Engineer does not exempt the applicant from a site grading plan that may be required from the Building Department, or any other requirement that may be necessary to satisfy the California Building Code.

a. Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more “Coachella Valley Best Available Control Measures” as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant’s or its contractor’s Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related “PM10” Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust

Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

- b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; and a copy of Soils Report.
- ENG 17. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be provided to the City). The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at [ACBCI-THPO@aguacaliente.net](mailto:ACBCI-THPO@aguacaliente.net) to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.
- ENG 18. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed prior to issuance of Grading Permit and commencement of grading operations.
- ENG 19. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 20. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 21. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.
- ENG 22. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.

- ENG 23. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan. (if required)
- ENG 24. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.
- ENG 25. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan (if required), to the Engineering Services Department for review and approval.
- ENG 26. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved “Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties” (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, CA 90040 (Phone (760) 782-3271, (562) 505-6415), [Sonia.Oran@cdfa.ca.gov](mailto:Sonia.Oran@cdfa.ca.gov).

## DRAINAGE

- ENG 27. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMPs).
- ENG 28. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$7,287.76 per acre in



accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

ENG 29. GENERAL

ENG 30. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.

ENG 31. All proposed utility lines shall be installed underground.

ENG 32. The record property owner shall enter into a covenant agreeing to underground all of the existing overhead utilities required by the Municipal Code in the future upon request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner and submitted to the City Engineer prior to issuance of a grading permit. A current title report or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.

ENG 33. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.

ENG 34. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing filetype), DXF (AutoCAD ASCII drawing exchange filetype), and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.

ENG 35. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy.

ENG 36. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.

ENG 37. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.

ENG 38. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.

ENG 39. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation Fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

**TRAFFIC**

ENG 40. A minimum of 48 inches of clearance for accessibility shall be provided on public sidewalks or pedestrian paths of travel within the development.

ENG 41. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and streetlights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.

ENG 42. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 “Temporary Traffic Control” of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

ENG 43. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

**POLICE DEPARTMENT CONDITIONS**

POL 1. Developer shall comply with Section II of Chapter 8.04 “Building Security Codes” of the Palm Springs Municipal Code.

**BUILDING DEPARTMENT CONDITIONS**

BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

**FIRE DEPARTMENT CONDITIONS**

FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire

codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

FID 2. Fire Department Conditions were based on the 2019 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "T" Development Requirements. This building will require fire sprinklers.

FID 3. **Conditions of Approval** – "Conditions of Approval" received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 4. **Plans and Permits (CFC 105.1):**

Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 5. **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance

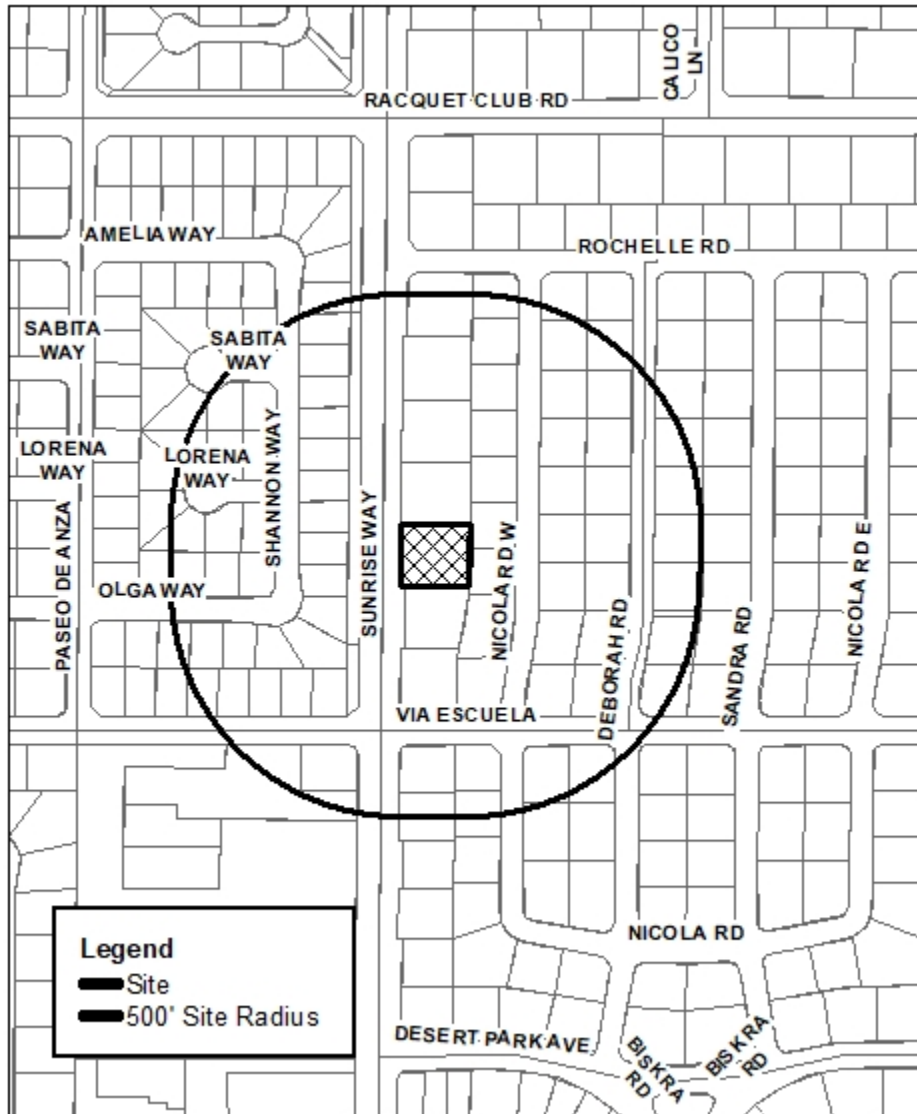
of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

- FID 6. **Required access (CFC 504.1):** Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.
- FID 7. **NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2016 Editions, as modified by local ordinance.
- FID 8. **Residential Smoke Alarms Required:** Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke alarms within the dwelling & guest house to sound and activate the exterior horn/strobe

**END OF CONDITIONS**



# Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS  
2260 North Sunrise Way  
3.4293 MAJ

Adham Chehab and Rina Lazarian-Chehab  
2080 7<sup>th</sup> St.,  
La Verne, CA 91750

Monday, September 20, 2021

Re: Justification for building a house on our land in Palm Springs

Palm Springs City Department of Planning Services  
3200 E Tahquitz Canyon Way  
Palm Springs, CA 92262

To whom it may concern:

I am writing this letter of justification to obtain approval for building a house on my land located on North Sunrise Way, Palm Springs, Assessor Parcel Number: 501-283-012.

My wife and I have owned the land for more than a year. Since we bought the land, we had planned to build a house on it. After a long study and design period, we worked with an architect to design a house that blends into the neighborhood and conforms to all the building regulations in the City of Palm Springs.

Currently, the lot is vacant and is bound by four single-family houses. The proposed house will have a living area of 3,200 and a 1,020 square foot garage. The lot coverage, setbacks, and the roof height comply with the building regulations for the area. We feel that the proposed house will complement the area by being a nice addition to the neighborhood.

We look forward to hearing from you. Should you require any more information, kindly contact us at the above address.

Sincerely,

Adham Chehab and Rina Lazarian-Chehab



Street photograph of land

Chehab residence  
2260 N. SUNRISE WAY  
PALM SPRINGS, CA 92262  
**LEGAL DESCRIPTION:**  
APN # 501-283-012  
LOT AREA - 20,250 SQ FT , (0.46) ACRES



Aerial view from Google Earth

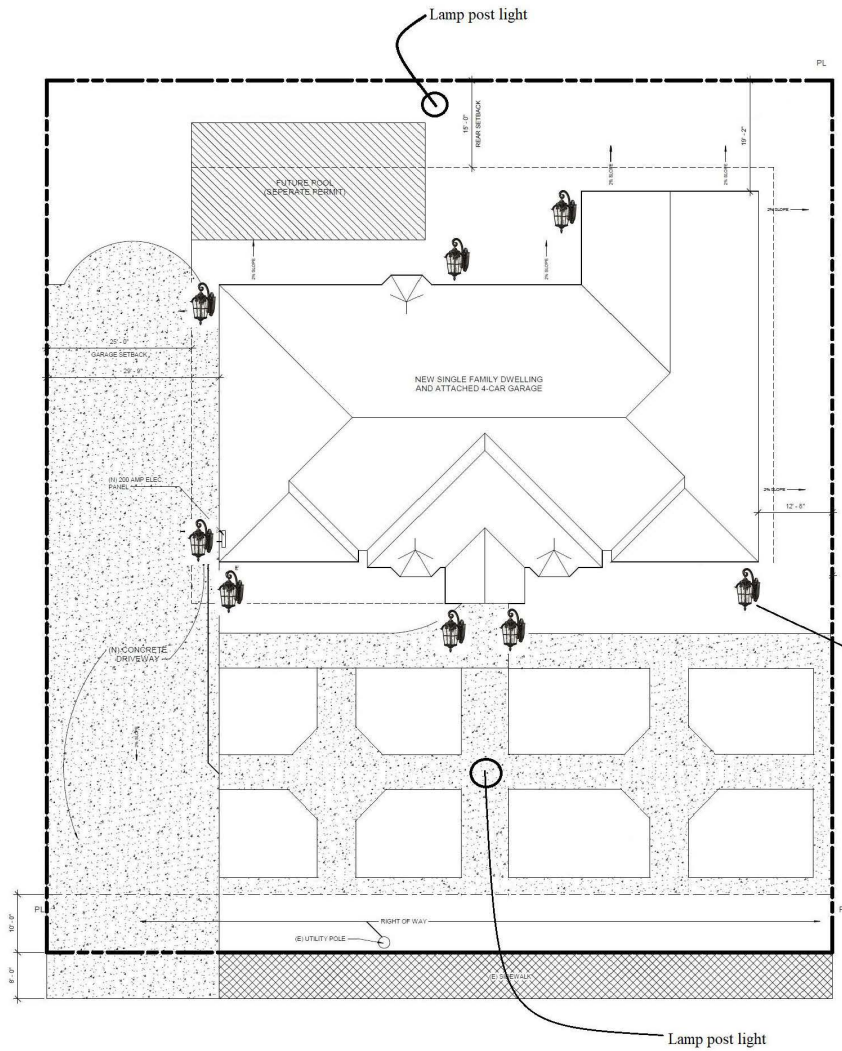
Chehab residence  
2260 N. SUNRISE WAY  
PALM SPRINGS, CA 92262  
**LEGAL DESCRIPTION:**  
APN # 501-283-012  
LOT AREA - 20,250 SQ FT , (0.46) ACRES



Proposed Exterior Lighting Plan  
 Chehab residence  
 2260 N. SUNRISE WAY  
 PALM SPRINGS, CA 92262  
**LEGAL DESCRIPTION:**  
 APN # 501-283-012  
 LOT AREA - 20,250 SQ FT., (0.46) ACRES

**Exterior Lighting Brightness and Control**  
 Each exterior light will utilize a light emitting diode LED bulb with minimum brightness of 800 lumens. The utilized LEDs will be equivalent to a 60-Watt incandescent light bulb.

The exterior lights will be switched from indoors and will be controlled by a photocell incorporated in each one.  
 The lights will illuminate from dusk to dawn



Sample exterior wall mounted lighting



Sample lamp post exterior lighting

Wall mounted exterior lighting

Lamp post light

# Color and Material Board

Roof – Spanish Tile

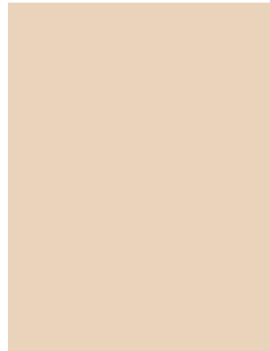


Exterior Walls



**Verona Beach**

DE6135 RL#503

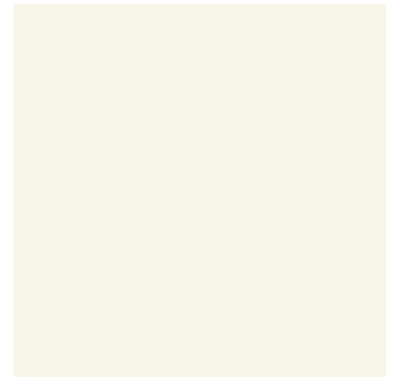


Exterior Trim and Doors



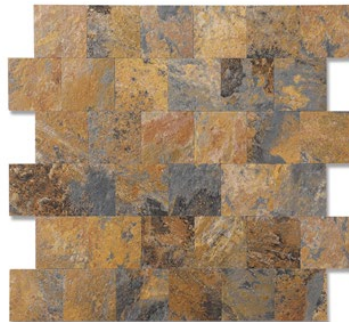
**Swiss Coffee**

DEW341 RL#008



Front entry stone material

Slate tile



Exterior Lighting

Exterior Wall-Mounted light Fixture

Brand name: LONEDRUID

Description: Dusk to Dawn Sensor Outdoor Wall Light Fixtures Black Roman 17.71"H Exterior Wall Lantern

Light bulb used will be LED with 800 lumens

## DIMENSION



## Outdoors Lamp Post

Manufacturer: PARTPHONER

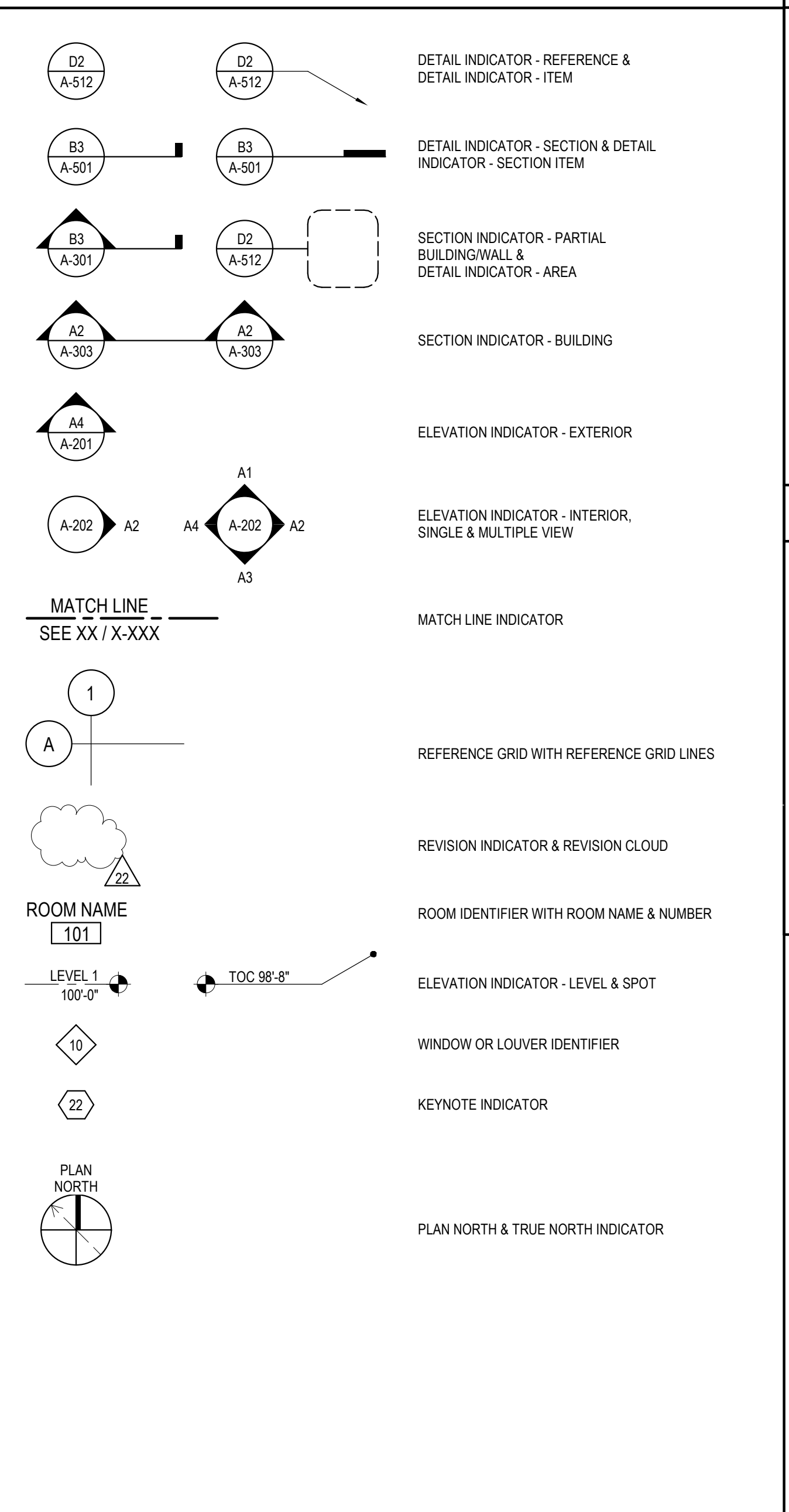
Description: Outdoor Lamp Post Light 3-Head, Classic Black Light Pole with Clear Glass Panels, E26 Base Maximum 100W (3 LED Bulbs Included), Waterproof Street Light



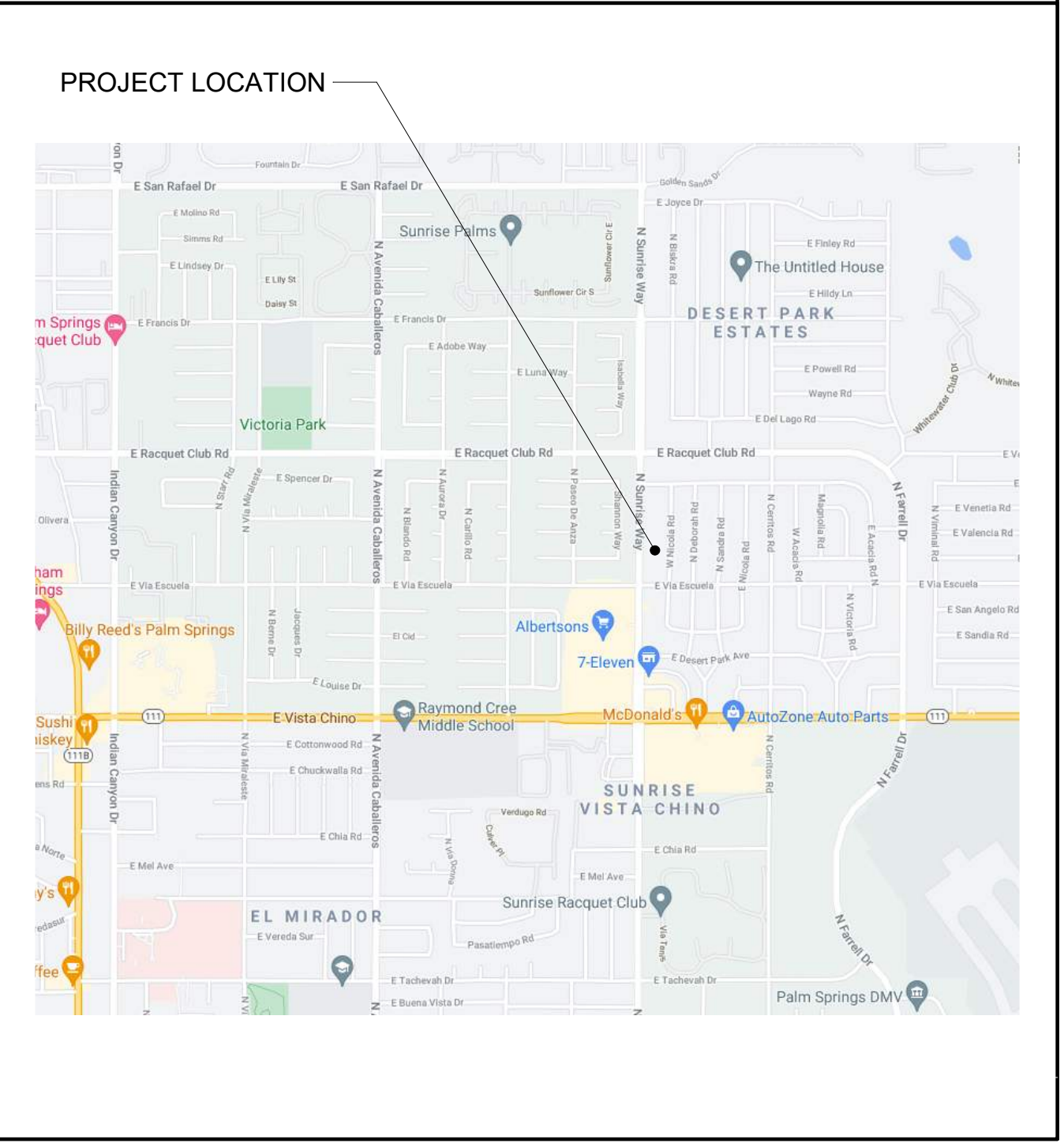
# GENERAL NOTES

- PRIOR TO SUBMITTING COST PROPOSAL, THE CONTRACTOR/OWNER SHALL VERIFY EXISTING CONDITIONS ON SITE & REVIEW MODIFICATIONS AND DIMENSIONS REQUIRED TO SUIT THE CONTRACT DOCUMENTS.
- CONTRACT DOCUMENTS ARE COMPLEMENTARY, WHAT IS CALLED FOR ON ANY DOCUMENT WILL BE BINDING AS IF CALLED FOR ON ALL DOCUMENTS. ALL WORK SHOWN OR REFERENCED ON ANY CONSTRUCTION DOCUMENT SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DOCUMENTS.
- THE CONTRACTOR/OWNER SHALL EXAMINE, READ AND BE THOROUGHLY FAMILIAR WITH ALL OF THE CONTRACT DOCUMENTS. SHOULD THE CONTRACTOR/OWNER FIND DISCREPANCIES IN OR OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS, OR SHOULD BE IN DOUBT AS TO THEIR INTENT OR MEANING, HE SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION OR INTERPRETATION.
- SHOULD A DISCREPANCY APPEAR IN DRAWINGS OR SPECIFICATIONS, OR IN WORK DONE BY OTHERS AFFECTING THIS WORK, NOTIFY JM3DESIGN AT ONCE FOR PROTECTION OF THE PROJECT. IF CONTRACTOR/OWNER PROCEEDS WITH WORK AFFECTED WITHOUT INSTRUCTION FROM THE DESIGNER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT.
- SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATION OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR/OWNER IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONTRACTOR INVOLVED.
- ALL WORK SHALL MEET FEDERAL, STATE AND LOCAL BUILDING CODES AND ORDINANCES IN EFFECT AT THE TIME OF CONSTRUCTION IN ADDITION TO ADA REQUIREMENTS. SOLE REFERENCE SHALL MEET THE EDITIONS SPECIFIED ON THIS SHEET AND AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION.
- CONTRACTOR/OWNER SHALL CONFIRM DURING THE PRICING PERIOD ON-SITE DELIVERY DATES OF ALL MATERIALS SPECIFIED IN THE CONTRACT DOCUMENTS AND IMMEDIATELY NOTIFY THE DESIGNER IN WRITING OF POTENTIAL DELAYS TO THE COMPLETION OF THE PROJECT. IF THE CONTRACTOR/OWNER FAILS TO ORDER MATERIALS IN SUFFICIENT TIME FOR ORDERLY INSTALLATION, THE DESIGNER WILL NOT ENTERTAIN ANY REQUESTS FOR MATERIAL SUBSTITUTION.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING FINISHED AREAS IN OR OUTSIDE OF THE JOB SITE. THE BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE WITHOUT PERMISSION FROM BUILDING OWNER.
- THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.
- THE CONTRACTOR SHALL LEAVE THE PREMISES AND ALL AREAS CLEAN AND IN AN ORDERLY MANNER READY FOR OCCUPANCY AT THE END OF THE PROJECT.
- THE CONTRACTOR/OWNER SHALL SUBMIT TO THE OWNER FOR APPROVAL, A DETAILED CONSTRUCTION SCHEDULE SHOWING PHASING AND TIME ALLOTMENT OF WORK.
- THE CONTRACTOR/OWNER OR SUBCONTRACTORS, SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES AND LICENSES REQUIRED FOR PROPER COMPLETION OF THE
- NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND ACTED UPON BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE REVIEWED SHOP DRAWINGS AND SAMPLES.
- CONSTRUCTION LIABILITY: CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- DATUM IS SET AT +0'-0" FOR REFERENCE PURPOSES (TOP OF SLAB) ALL ELEVATIONS SHOWN ON PLANS, ELEVATIONS AND SECTIONS (EXCEPT FOR GRADING PLANS) ARE REFERENCED TO THIS DATUM.
- CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR ACCURATE LOCATION OF PLOT LINES, BOUNDARIES, AND FOR MAINTAINING PROPER RELATIONSHIPS TO SUCH AS INDICATED ON CIVIL DRAWINGS IF APPLICABLE.
- THE CONTRACTOR/OWNER SHALL PROVIDE POSITIVE DRAINAGE OF SURFACE WATER WITHOUT PONDING OF WATER ADJACENT TO BUILDING OR ON PAVEMENTS. DRAINAGE OF PAVED AREAS TO BE AS SHOWN ON CIVIL ENGINEER'S DRAWINGS.
- ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- ALL VENTS THROUGH ROOF SHALL BE KEPT AT A MINIMUM HEIGHT CONSISTENT WITH APPLICABLE CODES.
- ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.
- ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS ARE "DESIGN/BUILD." PERFORMANCE SPECIFICATIONS AS WELL AS EQUIPMENT SIZES ARE TO BE REVIEWED BY THE DESIGNER AND OWNER PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING LOCATIONS SHOWN ON DESIGNERS PLANS ARE FOR DESIGN INTENT ONLY. ALL ELECTRICAL, MECHANICAL AND PLUMBING WORK ARE TO BE PROVIDED AS PART OF THIS PACKAGE PER THE LOCAL JURISDICTION.
- PLUMBING AND EQUIPMENT VENTING: WHERE FEASIBLE, VENT ALL PLUMBING FIXTURES, EXHAUST VENTS, FURNACE, AND WATER HEATER TO ROOF. VERIFY ALL LOCATIONS OF VENTS WITH DESIGNER AND OWNER PRIOR TO INSTALLATION.
- PROVIDE WATER-RESISTANT GYPSUM BOARD AT ALL BATH, TOILET, AND LAUNDRY ROOM WALLS THAT WILL BE PAINTED. PROVIDE WOODER BOARD AT ALL WALL AND CEILING SURFACES THAT MAY BE FINISHED WITH TILE OR STONE.
- THE CONTRACTOR/OWNER SHALL COORDINATE ALL WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS, AND REPORT TO JM3DESIGN OR OWNER REPRESENTATIVE ANY DISCREPANCIES FOR CORRECTION OR ADJUSTMENT. NO ALLOWANCE WILL BE MADE FOR INCREASED COSTS INCURRED DUE TO LACK OF PROPER COORDINATION.
- NOISE REDUCTION: CONSTRUCTION CONTRACTORS SHALL MUFFLE AND SHIELD INTAKES AND EXHAUSTS, SHROUD OR SHIELD IMPACT TOOLS, AND USE ELECTRIC-POWERED RATHER THAN DIESEL-POWERED CONSTRUCTION EQUIPMENT (AS FEASIBLE). ALL STATIONARY NOISE-GENERATING EQUIPMENT SHALL BE LOCATED AS FAR AWAY AS POSSIBLE FROM NEIGHBORING PROPERTY LINES. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND OPERATED ACCORDING TO MANUFACTURER'S MAINTENANCE SCHEDULES AND RECOMMENDATIONS TO MINIMIZE NOISE AND EXHAUST EMISSIONS (PARTICULARLY NITROGEN OXIDES).
- CONTRACTOR/OWNER TO COORDINATE WITH OWNER FOR OWNER-PROVIDED MATERIALS AND PRODUCTS.
- ANY AND ALL MATERIALS SUPPLIED BY OWNER SHALL BE INSTALLED BY CONTRACTOR/OWNER (I.B.C.), UNLESS OTHERWISE NOTED. CONTRACTOR/OWNER SHALL COORDINATE WITH OWNER FOR REQUIRED SCHEDULING AND ORDERING INFORMATION. CONTRACTOR/OWNER SHALL ASSIST IN DETERMINING QUANTITIES WHEN REQUIRED.
- FOR ALL MATERIALS PROVIDED BY CONTRACTOR/OWNER WHICH REQUIRE COLOR OR FINISH SELECTION, CONTRACTOR/OWNER SHALL CONTACT DESIGNER AND OWNER FOR ALL DECISIONS.
- ADEQUATE PREPARATION OF THE SUBSTRATE IS IMPERATIVE TO PROPER BONDING OF THE PAINT. PREP EACH SUBSTRATE AS RECOMMENDED BY MANUFACTURER, THOROUGHLY.
- ALL WOOD SHALL BE PAINTED AS FOLLOWS: EXTERIOR - THREE COAT (STAIN AND SEAL WHERE INDICATED), INTERIOR: TWO COAT (STAIN AND SEAL WHERE INDICATED)
- COLORS WILL BE PROVIDED AND SELECTED BY OWNER. FINAL ACCEPTANCE OF COLORS WILL BE FROM JOB-APPLIED SAMPLES. PROVIDE FULL-COAT FINISH SAMPLES ON SURFACE WITH A MINIMUM SIZE OF 25 S.F. FOR APPROVAL BY OWNER.
- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION. CMC 303.1.
- PER SECTION 704A.5.1. DETACHED ACCESSORY STRUCTURES SHALL COMPLY WITH REQUIREMENTS OF CHAPTER 7A FOR ALL PROJECTS LOACTED IN THE WILDLAND URBAN INTERFACE.
- ROOFING ASSEMBLIES
  - ROOFING ASSEMBLIES SHALL BE DESIGNED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS BETWEEN THE ROOF COVERING AND THE ROOF DECKING.
  - ROOF VALLEY FLASHING SHALL BE MADE OF NOT LESS THAN 26-GAUGE GALVANIZED SHEET METAL INSALLED OVER A MINIMUM 36" WIDE UNDERLAYMENT OF ONE LAYER OF 72" CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
  - ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
- ATTIC VENTILATION
  - ROOF ATTIC VENTS SHALL BE DESIGNED TO RESIST THE INTRUSION OF FLAMES AND EMBERS INTO THE ATTIC OF A STRUCTURE, OR SHALL BE PROTECTED WITH CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4" OPENINGS, OR EQUIVALENT.
  - EAVE AND CORNICE VENTS SHALL BE DESIGNED TO RESIST THE INTRUSION OF FLAMES AND EMBERS INTO THE ATTIC OF A STRUCTURE, OR SHALL BE PROTECTED WITH CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4" OPENINGS, OR EQUIVALENT.
  - EAVE PROTECTION - EAVES AND SOFFITS SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.
- EXTERIOR WALLS
  - EXTERIOR WALLS SHALL BE DESIGNED USING IGNITION-RESISTANT MATERIALS, NONCOMBUSTIBLE CONSTRUCTION, HEAVY TIMBER, LOG WALL CONSTRUCTION OR EQUIVALENT.
  - EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR TERMINATE AT AN EAVE ENCLOSURE.
  - EXTERIOR WALL VENTS SHALL BE DESIGNED TO RESIST INTRUSION OF FLAME AND EMBERS INTO THE STRUCTURE, OR SHALL BE PROTECTED WITH A CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4" OPENINGS, OR EQUIVALENT.
  - EXTERIOR WINDOW, WINDOW WALL, AND GLAZED DOOR ASSEMBLIES SHALL HAVE A 20-MINUTE FIRE-RESISTANT RATING, OR BE DESIGNED USING INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS.
  - EXTERIOR DOOR ASSEMBLIES SHALL HAVE A 20-MINUTE FIRE RESISTANT RATING, OR BE DESIGNED USING NONCOMBUSTIBLE CONSTRUCTION, OR BE CONSTRUCTED OF SOLID-CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8" THICK, AND FIELD PANELS NOT LESS THAN 1 1/4" THICK.
  - EXTERIOR VEHICLE ACCESS DOORS SHALL BE NON-COMBUSTIBLE OR EXTERIOR FIRE-RETARDANT TREATED WOOD.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY. (R308.4)
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS ND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION
- WATER HEATER MUST BE STRAPPED TO WALL.
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.6.2)
- WHERE A PERMIT IS REQUIRED OR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLING OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL (R303.1).
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

# ARCHITECTURAL SYMBOLS LEGEND



# VICINITY MAP



# SHEET INDEX

GENERAL	
A-001	COVER SHEET
A-002	TITLE 24
A-003	GENERAL NOTES
ARCHITECTURAL	
A-101	PROPOSED FLOOR PLAN
A-102	PROPOSED CEILING PLAN
A-103	PROPOSED ROOF PLAN
A-201	EXTERIOR ELEVATIONS
A-301	BUILDING SECTIONS
A-501	TYPICAL FRAMING DETAILS
A-502	TYPICAL EXTERIOR DETAILS
A-503	DOORS-WINDOWS DETAILS & SCHEDULES
A-601	POWER & DATA PLAN

# CODES & REGULATIONS

- TITLE 24: (PART 2) 2019 CALIFORNIA BUILDING CODE
- TITLE 24: (PART 2.5) 2019 CALIFORNIA RESIDENTIAL CODE
- TITLE 24: (PART 3) 2019 CALIFORNIA ELECTRICAL CODE
- TITLE 24: (PART 4) 2019 CALIFORNIA MECHANICAL CODE
- TITLE 24: (PART 5) 2019 CALIFORNIA PLUMBING CODE
- TITLE 24: (PART 6) 2019 CALIFORNIA ENERGY CODE
- TITLE 24: (PART 9) 2019 CALIFORNIA FIRE CODE
- TITLE 24: (PART 11) 2019 CALIFORNIA GREEN BUILDING STANDARDS

# SCOPE OF PROJECT

THE PROJECT CONSISTS OF A NEW SINGLE FAMILY RESIDENCE AND ATTACHED GARAGE

**PROJECT DATA**

ADDRESS: 2260 N. SUNRISE WAY  
PALM SPRINGS, CA 92262  
LEGAL DESCRIPTION: APN # 501-283-012  
LOT AREA - 20,250 SQ FT. (0.46) ACRES  
CONSTRUCTION TYPE - V-B  
ZONE - R1C (RESIDENTIAL)  
OCCUPANCY R (RESIDENTIAL) / U (GARAGE)  
ZONING:  
SETBACK: 25FT (FRONT), 10FT (SIDE), 15FT (REAR)  
LOT COVERAGE: 35% MAX  
HEIGHT: 12FT MAX  
GARAGE SETBACK: 25FT FROM PROPERTY LINE ABUTTING THE STREET

PROPOSED BUILDING AREA: 3,200 SF  
PROPOSED ATTACHED GARAGE AREA: 1,020 SF  
PROPOSED COVERED PATIO AREA: 250 SF  
LOT COVERAGE = 4,470 / 20,250 = 22% (35% ALLOWED)

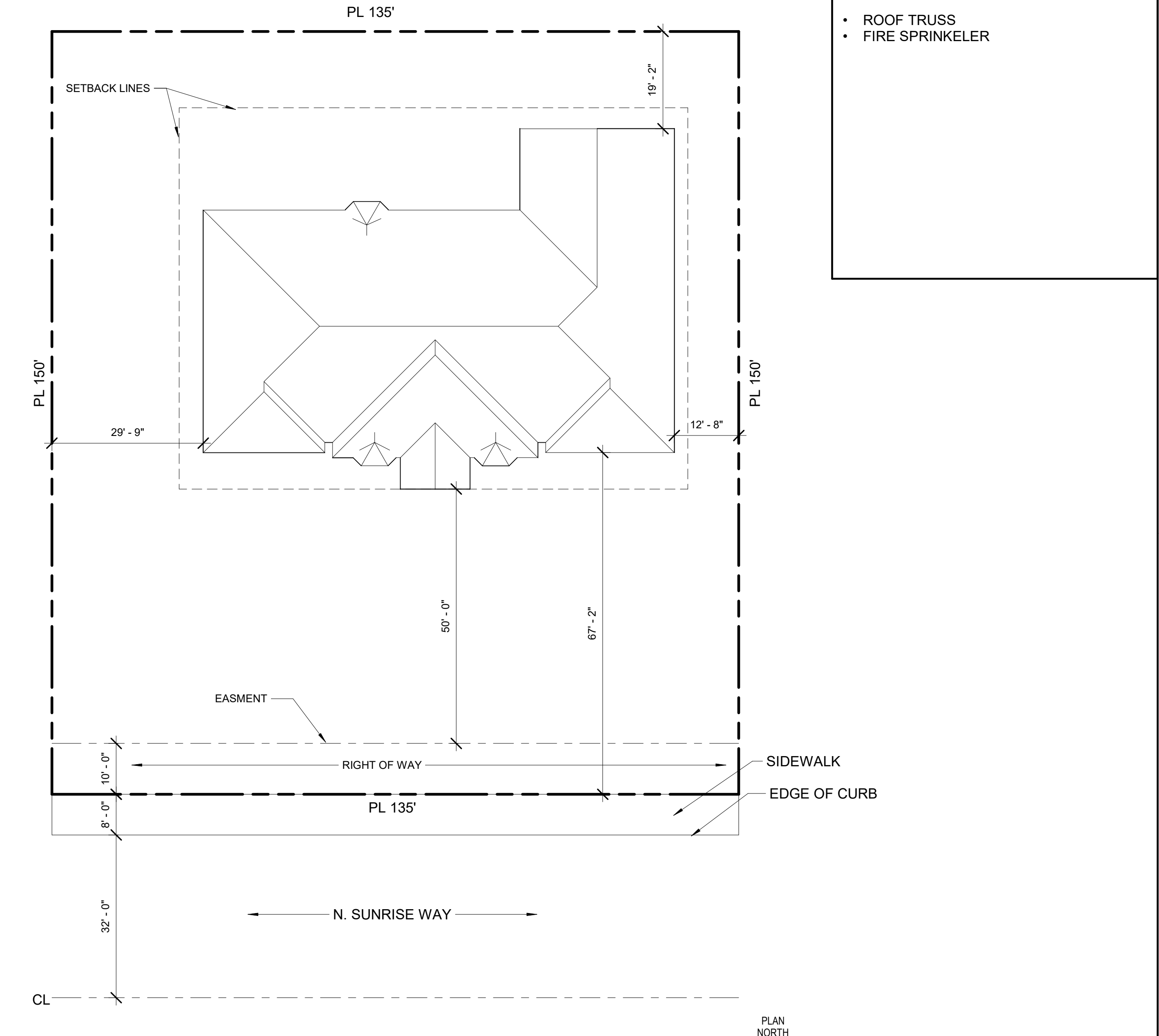
# PROJECT DIRECTORY

**ARCHITECT**  
ALI JABER ARCHITECT  
4212 W. BURBANK BLVD  
BURBANK, CA 91505  
PHONE: 949.264.3320

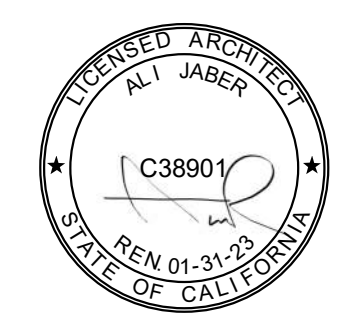
**OWNER**  
ADHAM CHEHAB  
ADHAMCHEHAB@YAHOO.COM

# DEFERED SUBMITTALS

- ROOF TRUSS
- FIRE SPRINKLER



3 PLOT PLAN  
1/16" = 1'-0"



SEAL

DATE: 07/12/2021

PROJECT  
**CHEHAB RESIDENCE**

CLIENT  
2260 N. SUNRISE WAY  
PALM SPRINGS, CA 92262

CLIENT  
MR. & MRS. ADHAM CHEHAB

ISSUED

MARK	DATE	DESCRIPTION

TITLE  
**COVER SHEET**

SHEET  
**A-001**





**California Green Building Standards Code:**  
**Residential Mandatory Measures Requirements for (R-3) SFD**  
 All newly constructed single family dwellings (SFD) and any addition or alteration to an existing single family dwelling which proposes to increase the dwelling's conditioned area, volume, or size shall fully comply with the adopted California Green Building Standards Code and the items described in this checklist. These requirements apply only to the specific area of addition or alteration for existing dwellings.

Building Permit Number: \_\_\_\_\_ Site Address: \_\_\_\_\_

Section	Green Mandatory Measures
<b>Division 4.1</b>	<b>Planning &amp; Design: Site Development</b>
4.106.2	<b>Storm water drainage and retention during construction:</b> Projects which disturb less than one acre of soil and are not part of a larger common development shall manage storm water drainage during construction in accordance with this code and State law.
4.106.3	<b>Grading and paving:</b> Site grading or drainage systems will manage all surface water flows to keep water from entering buildings.
4.106.4	<b>Electric vehicle charging for new one- and two-family dwellings with attached private garages:</b> For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit (nominal 1-inch inside diameter) that originates at the main service or subpanel and terminates into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. The service panel or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. The service panel or subpanel shall be permanently labeled to identify the breaker space as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".
<b>Division 4.2</b>	<b>Energy Efficiency</b>
4.201.1	<b>Scope:</b> This project shall comply with all applicable energy efficiency requirements as set forth in the most recent version of the California Energy Code. Energy calculations and forms shall be included as part of the plans and drawings.
<b>Division 4.3</b>	<b>Water Efficiency &amp; Conservation</b>
4.303.1	<b>Indoor water use:</b> Plumbing fixtures and fittings shall comply with the following and shall be shown on the construction documents:

4.505.1	<b>Interior moisture control:</b> Buildings shall meet or exceed the provisions of the California Building Code.
4.505.2	
4.505.3	<b>a. Concrete Slab Foundations:</b> Concrete Slab-on grade foundations/floors that are required to have a vapor retarder by California Building Code Section 1907 or California Residential Code Section R506, shall have a capillary break installed between the concrete slab and supporting grade. <b>b. Building materials</b> with visible signs of water damage shall not be installed. Wall and floor framing lumber shall not be enclosed when the framing members exceed 19-percent moisture content. Moisture content shall be verified using one of the methods listed in Cal Green Section 4.505.3. <b>c. Insulation products</b> which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities.
4.506.1	<b>Indoor air quality and exhaust:</b> Each bathroom (a room which contains a bathtub, shower, or tub/shower combination) shall be mechanically ventilated and shall comply with the following: <ul style="list-style-type: none"> <li>Exhaust fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.</li> <li>Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control.</li> <li>Humidity controls shall be capable of adjustment between 50% and 80% relative humidity. Humidity control may utilize manual or automatic means of adjustment which may be a separate component to the exhaust fan (not required to be built-in).</li> </ul>
4.507	<b>HVAC system design:</b> HVAC systems shall be sized, designed and have equipment selected using the methods listed in Cal Green Section 4.507.2.

Designer's Declaration Statement	Builder's Declaration Statement
I hereby certify as the designer of record that the proposed building plans meet the requirements of the California Green Building Standards Code.	I hereby certify as the builder or installer of record under the permit listed herein, that this project will be constructed to meet the requirements of the California Green Building Standards Code.
Name: _____ Address: _____ Signature: _____ Date: _____ License #: _____	Name: _____ Address: _____ Signature: _____ Date: _____ License #: _____

Fixture Type	Maximum Flow Rate	Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.
Shower Head	2.0 GPM @80 psi	
Kitchen Faucet	1.8 GPM @60 psi	
Lavatory Faucet	1.2 GPM @60 psi	
Water Closet	1.28 gallons per flush	
Urinal	0.125 gallons per flush	

**4.304.1 Outdoor potable water use in landscape areas.** New residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following options: **a.** A local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent; or **b.** Projects with aggregate landscape areas less than 2,500 square feet may comply with the MWELO's Appendix D Prescriptive Compliance Option.

**Division 4.4 Material Conservation & Resource Efficiency**

**4.406.1 Rodent proofing:** Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates of exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the city building inspector.

**4.408.1 Construction waste management.** Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either CAL Green Section 4.408.2 Waste Management Plan, 4.408.3 Waste Management Company or 4.408.4 Waste Stream Reduction Alternative. A City approved waste management company/hauler shall be used for recycling of construction waste. Documentation of compliance with Section 4.408.1 shall be provided to the Authority Having Jurisdiction prior to project final approval.

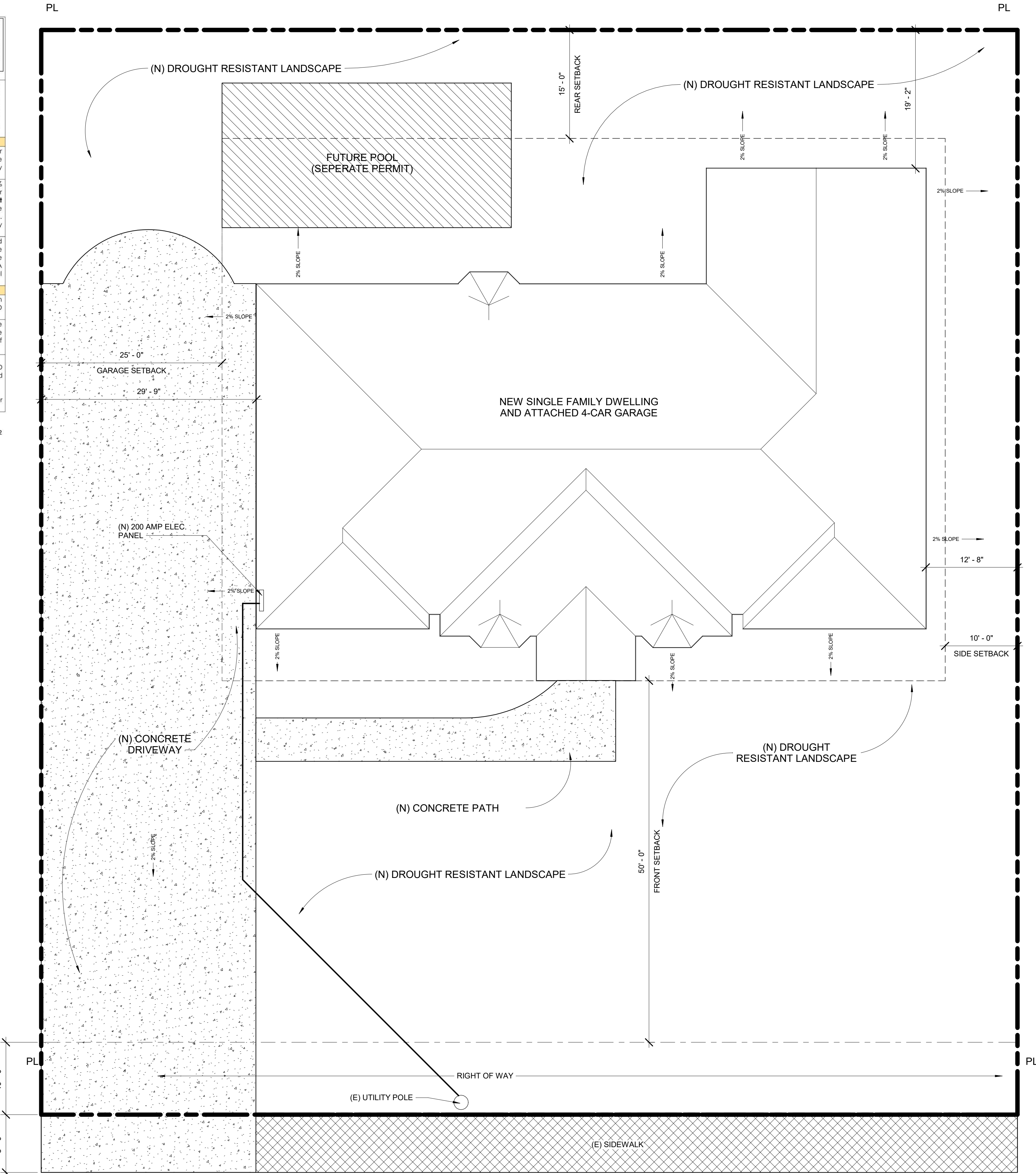
**4.410.1 Operation and Maintenance manual.** The builder shall prepare an Operation and Maintenance Manual as outlined in Cal Green Section 4.410.1. The manual shall be given to the owner upon final approval by the building inspector. In such case where the property is being sold, it should be given to the new owner at the time of sale. A copy of the manual shall be available for the inspector prior to, or at the time of final inspection.

**Division 4.5 Environmental Quality**

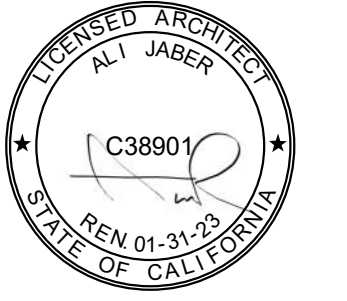
**4.503.1 Fireplaces.** Any installed gas fireplace shall be of the direct vent, sealed combustion type. New wood burning fireplaces are not permissible in accordance with AQMD Rule 445.

**4.504.1 HVAC system protection.** During the construction process and until final startup of the HVAC system, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other method to reduce the amount of water, dust and debris which may enter the system.

**4.504.2 Finish material pollutant control.** Finish materials shall comply with the following:  
**4.504.3 a. Adhesives, sealants and caulks** used on this project shall comply with SCAQMD Rule 1148 for VOC limits and toxic compounds. Aerosol adhesives, sealants and caulks shall comply with statewide VOC standards.  
**4.504.4 b. Paints and coatings** shall comply with VOC limits in Cal Green Table 4.504.3.  
**4.504.5 c. Aerosol paints and coatings** shall comply with statewide requirements and other requirements noted in Cal Green Section 4.504.2.3.



1 SITE PLAN  
 1/8" = 1'-0"



SEAL

DATE: 07/12/2021

PROJECT  
**CHEHAB RESIDENCE**

2260 N. SUNRISE WAY  
 PALM SPRINGS, CA 92262

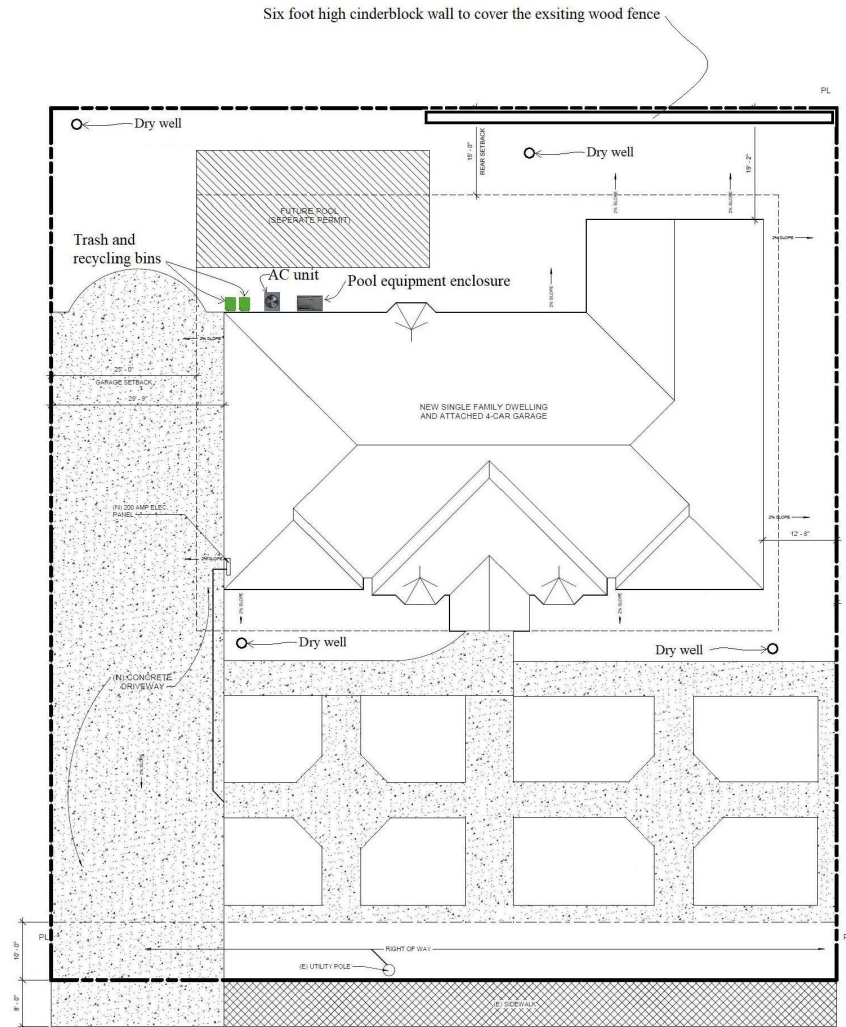
CLIENT  
 MR. & MRS. ADHAM CHEHAB

ISSUED	MARK	DATE	DESCRIPTION

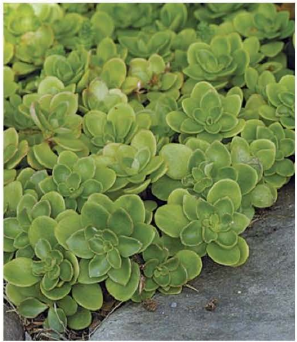
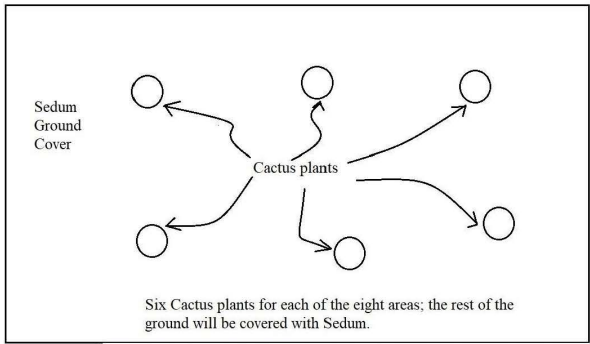
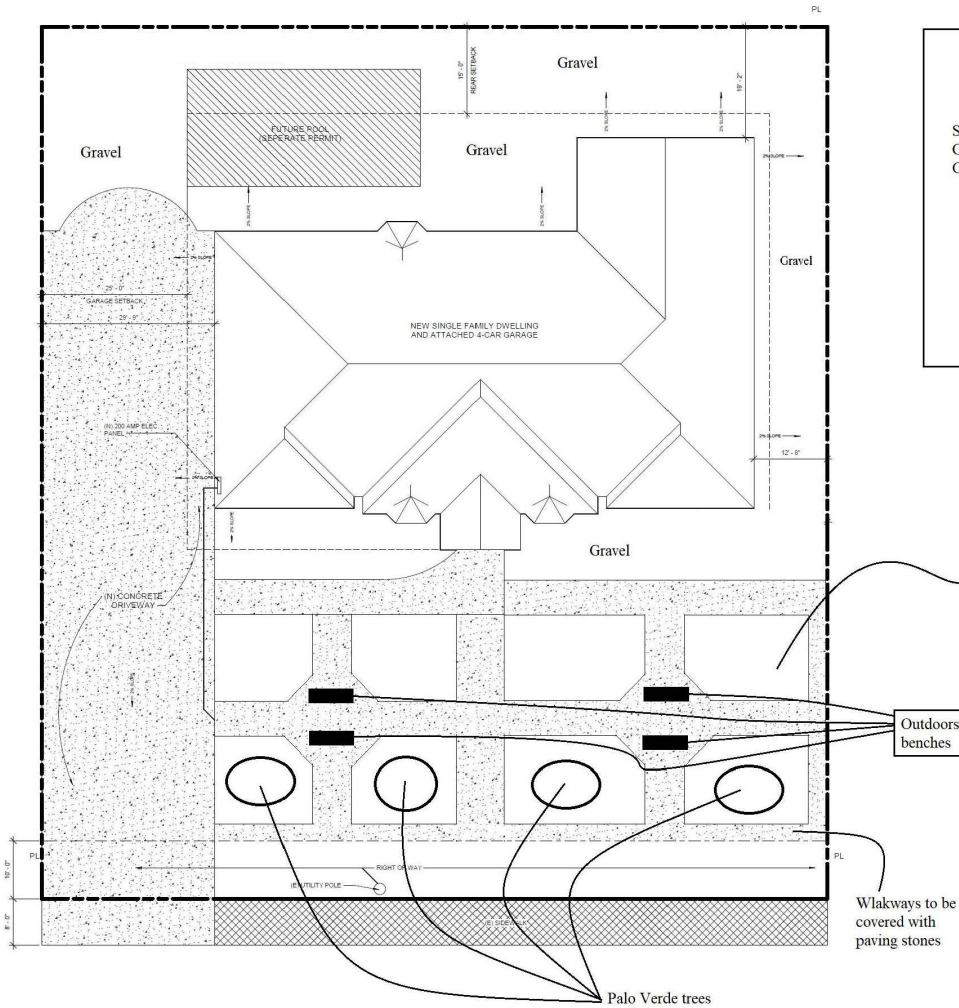


Proposed Drainage Plan  
 Chehab residence  
 2260 N. SUNRISE WAY  
 PALM SPRINGS, CA 92262  
**LEGAL DESCRIPTION:**  
 APN # 501-283-012  
 LOT AREA - 20,250 SQ FT., (0.46) ACRES

Site plan showing:  
 Trash and recycling bin storage  
 AC unit  
 Pool equipment enclosure  
 Six foot high cinderblock wall to cover the existing wood fence



Proposed landscaping plan  
 Chehab residence  
 2260 N. SUNRISE WAY  
 PALM SPRINGS, CA 92262  
**LEGAL DESCRIPTION:**  
 APN # 501-283-012  
 LOT AREA - 20,250 SQ FT , (0.46) ACRES



Crawling Sedum Plant



Cactus Plant



Sample outdoors bench

Sample paving stone walkway

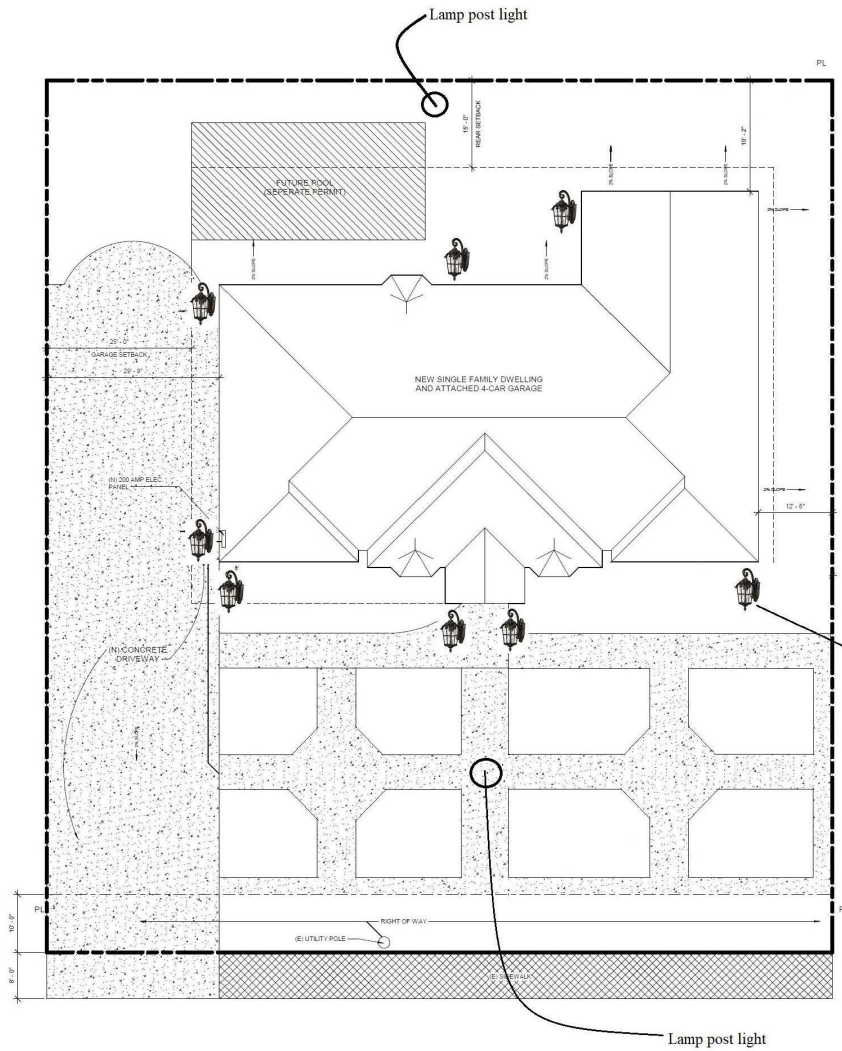


Sample Palo Verde tree

Proposed Exterior Lighting Plan  
 Chehab residence  
 2260 N. SUNRISE WAY  
 PALM SPRINGS, CA 92262  
**LEGAL DESCRIPTION:**  
 APN # 501-283-012  
 LOT AREA - 20,250 SQ FT., (0.46) ACRES

**Exterior Lighting Brightness and Control**  
 Each exterior light will utilize a light emitting diode LED bulb with minimum brightness of 800 lumens. The utilized LEDs will be equivalent to a 60-Watt incandescent light bulb.

The exterior lights will be switched from indoors and will be controlled by a photocell incorporated in each one.  
 The lights will illuminate from dusk to dawn



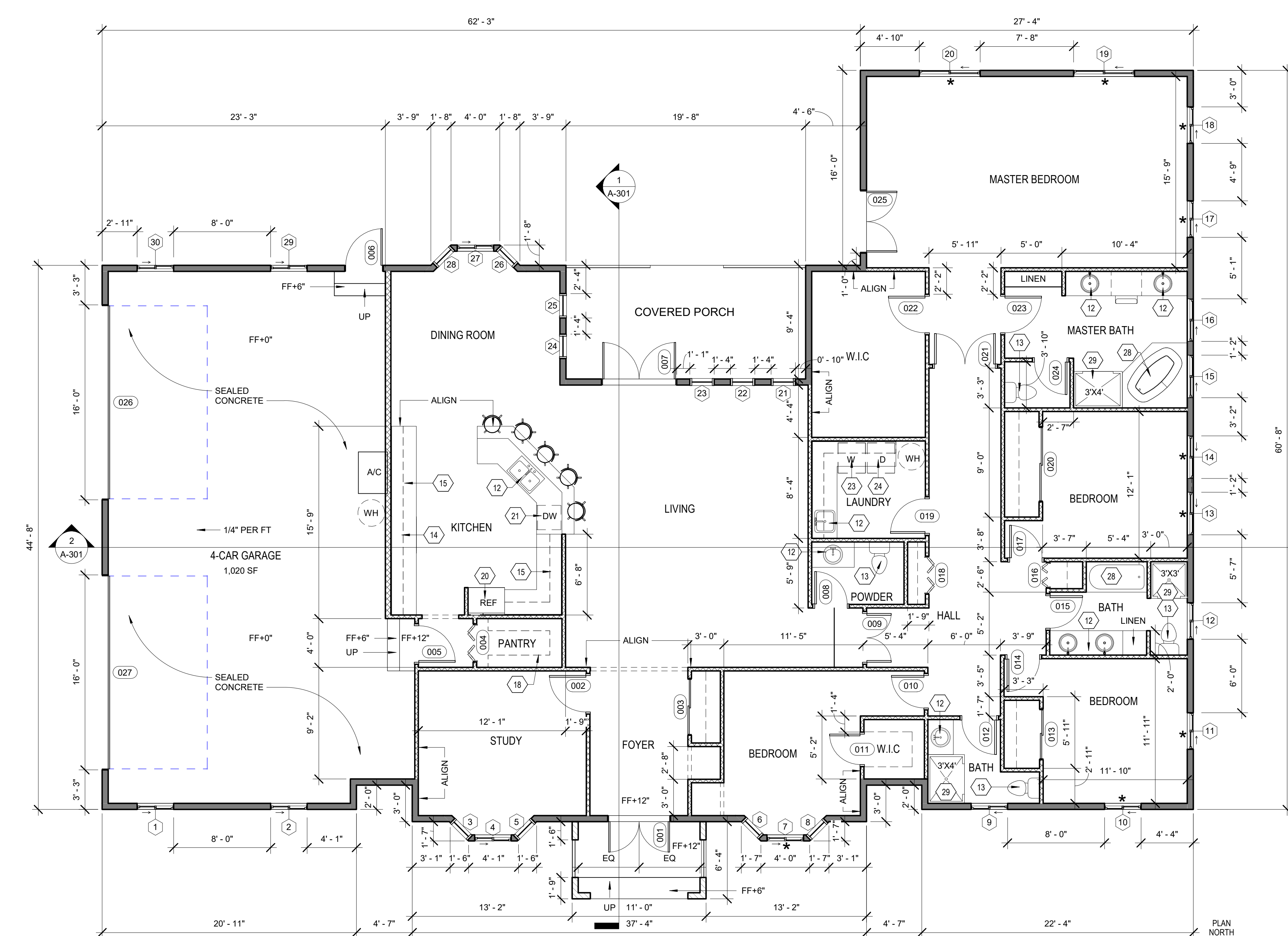
Sample exterior wall mounted lighting



Sample lamp post exterior lighting

Wall mounted exterior lighting

Lamp post light



1 PROPOSED FIRST FLOOR PLAN  
3/16" = 1'-0"

NOTES:  
 1. ALL DIMENSIONS ARE GIVEN TO FACE OF FINISH, U.O.N.  
 2. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.  
 3. COORDINATE LIGHTING & SWITCHES WITH CONTRACTOR/OWNER PRIOR TO INSTALLATION.  
 4. ALL DOORS TO MAINTAIN A 4" JAMB CLOSES TO THE HINGE SIDE U.O.N.

LOCAL VENTILATION RATE SUMMARY (KITCHEN):  
 • KITCHEN FAN FLOW (CFM) = 100 (# OF KITCHEN 1) NON-RECIRCULATING - DUCT SIZE (IN) = 5".  
 • MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'  
 • 3 SONES MAX

LOCAL VENTILATION RATE SUMMARY (BATHROOM):  
 • BATHROOM FAN FLOW (CFM) = 50 (# OF BATHROOM 4) DUCT SIZE (IN) = 4".  
 • MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 70'  
 • 3 SONES MAX

WHOLE-BUILDING VENTILATION RATE SUMMARY:  
 • CONTINUOUS FAN FLOW (CFM) = 100, DUCT SIZE (IN) = 5".  
 • MAXIMUM ALLOWABLE DUCT LENGTH (FT) = 35'  
 • 1 SONES MAX

ASHRAE STANDARD EQUATION:  
 Q(FAN) = 0.01A(FLOOR) + 7.5(N BR + 1)  
 Q(FAN) = 0.01(3,200) + 7.5(5)  
 Q(FAN) = 69.5

FLOOR PLAN LEGEND

	PARTITION TYPE INDICATOR
	WINDOW OR LOUVER IDENTIFIER
	KEYNOTE INDICATOR
	FURNITURE, FIXTURE & EQUIPMENT INDICATOR
	SIGNAGE INDICATOR
	DOOR OPENING IDENTIFIER
	PLAN NORTH & TRUE NORTH INDICATOR
	(N) DOOR
	20' X 30' ATTIC ACCESS
	OUTLET
	GFCI
	QUAD OUTLET
	SWITCH
	EV CAPABLE
	LOW VOLTAGE
	DATA

WALL ASSEMBLY LEGEND

	NEW EXTERIOR WALL OF 2X6 @ 16" O.C. WOOD STUDS W/ 1 LAYER OF 5/8 GYP. BD ON THE INTERIOR AND STUCCO ON THE EXTERIOR
	NEW INTERIOR WALL OF 2X4 @ 16" O.C. WOOD STUDS W/ 1 LAYER OF 5/8 GYP. BD. ON BOTH SIDES. TYP "X" GYM BD WHEN ADJACENT TO GARAGE.
	NEW EXTERIOR WALL OF 2X6 @ 16" O.C. WOOD STUDS W/ STONE VENEER ON BOTH SIDES

NOTES:  
 1. SHOWER AREAS, SHOWERS SHALL HAVE FLOORS AND WALLS FINISHED WITH SMOOTH, HARD, NON-ABSORBENT SURFACES SUCH AS PORTLAND CEMENT, CONCRETE CERAMIC TILE OR OTHER APPROVED MATERIAL TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET. MATERIALS OTHER THAN STRUCTURAL ELEMENTS USED IN SUCH WALLS SHALL BE OF A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE.  
 2. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)

SHEET KEYNOTES

12	(N) SINK AND COUNTER, FINISHES TBS BY OWNER
13	(N) TOILET & VENT ABOVE
14	(N) GAS STOVE/W/ HOOD, CONTRACTOR TO PROVIDE HOOKUPS AS REQ'D, HOOD TO BE DIRECTLY VENTED TO OUTSIDE
15	(N) COUNTERTOP AND CABINETS TBS BY OWNER
18	(N) SHELVING, COLOR, FINISH AND PLACEMENT BY OWNER
20	(N) REFRIGERATOR, CONTRACTOR TO PROVIDE ELECTRICAL AND WATER HOOKUPS AS REQ'D
21	(N) DISHWASHER, CONTRACTOR TO PROVIDE ELECTRICAL AND WATER HOOKUPS AS REQ'D
23	(N) WASHER, CONTRACTOR TO PROVIDE HOOKUPS AS REQ'D
24	(N) DRYER, VENT DIRECTLY TO OUTSIDE, CONTRACTOR TO PROVIDE HOOKUPS AS REQ'D
28	(N) TUB TBS BY OWNER
29	(N) SHOWER TBS BY OWNER, REFER TO PLAN FOR SIZE

GENERAL PLAN NOTES

**SANITATION**

- Toilet Facilities: Provide low consumption water closets for all new construction. New water closet shall have a max. flush capacity of 1.28 gal., and shall be located in a clear space not less than 30" in width and have a clear space in front of the water closet stool of not less than 24".
- Shower Areas: Showers shall have floors and walls finished with smooth, hard, non-absorbent surfaces such as portland cement, concrete ceramic tile or other approved material to a height of not less than 72" above the drain inlet. Materials other than structural elements used in such walls shall be of a type which is not adversely affected by moisture.

**Glazing**

- Glazing in hazardous locations shall be tempered in following locations.
- Ingress and egress doors.
- Panels in sliding or swinging doors.
- Doors and enclosure for hot tub, bath tub, showers (Also glazing in wall enclosing these compartments within 5' of standing surface).
- Glazing for Shower and Bathroom Enclosures: Glazing used in doors and panels of shower and bathtub enclosures shall be fully tempered, laminated safety glass or approved plastic. When glass is used it shall have a min. thickness of not less than 1/8" when fully tempered, or 1/4" when laminated.
- If within 2' of vertical edge of closed door and within 5' of standing surface.
- In wall enclosing stairway landing.

**SMOKE DETECTORS**

- A smoke detector is required for new construction of sleeping room and corridor or area giving access to a sleeping room.
- The required smoke detector shall be mounted on the ceiling or wall of the sleeping room, and at a point centrally located on the wall or ceiling of the corridor or area giving access to sleeping room. All required detectors shall be located in accordance with the manufacturer's instructions, with no part of the detector located more than 12" below the finished surface of the ceiling of the room or corridor in which the detector is required to be installed.
- Required smoke detectors for new construction shall receive their primary power from the building wire with battery backup.

**MISCELLANEOUS**

- Special hazards
- Provide an approved spark arrester for the chimney of a fireplace, stove, or barbecue.
- Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 54" above the floor.
- An approved seismic gas shutoff valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping.

**EMERGENCY ESCAPES**

- Every sleeping room shall have at least one operable window or exterior door approved for emergency escape. These emergency escape windows or doors must provide a full clear opening and shall be operable from the inside without the use of special tools. All emergency escape windows shall have a min. net opening of 5.7 sq. ft. with a min. height of 24" and width of 20". The sill height of emergency escape window shall not be more than 44" above the int. floor.
- Provide emergency exit door or window from basement and/or sleeping rooms and habitable attics. Net clear window opening shall not be less than 5.7 sq. ft. Min. net window opening height dimension, 24" clear min. net opening width dimension, 20" clear. Finished sill height max 44" above floor. The emergency escape and rescue opening shall control devices complying with ASTM F2090 shall be permitted. CRC R310.1

**ADDITIONAL REQUIREMENTS:**

- When there is usable space above and below the concealed space of a floor-ceiling assembly in a single-family dwelling, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 sq. ft. Draftstopping shall divide the concealed space into approximately equal areas.

**MISCELLANEOUS**

- In all dwellings, every interior door in a doorway through which occupants pass shall have a min. width of 32".
- No water heater which depends on combustion of a fuel for heat shall be installed in any room used or designed to be used for sleeping purposes, a bathroom, a clothes closet, or in any confined space opening into a bathroom or sleeping room.
- All water heaters shall be anchored or strapped to prevent horizontal and vertical displacement due to earthquake.
- Provide a complete occupancy separation between Residential Living space (Group R-1) and Private Garage (Group U). Provide one-hour fire resistive occupancy separation. Doors opening in such separation walls shall be self-closing protected by a fire assembly having a 20-min. fire-protection rating with tight fitting smoke seals.
- An attic access opening shall be provided for attics with a vertical height of greater than 30". The opening shall be located in a corridor, hallway or other readily accessible location. The opening shall not be less than 22" by 30", 30" min. clear headroom in the attic space shall be provided at or above the access opening.
- Full height sliding glass doors and adjoining full height fixed panes within the assembly shall be constructed of approved impact hazard glazing.

**INSPECTION REQUIREMENTS**

- The permit holder or his agent shall notify the Department of Building and Safety when the building is ready for each of the following inspections:

- Foundations: When the excavation for footings is completed and all forms and required reinforcing steel are in place but before any concrete is poured. Soil compaction report shall be provided to the building inspector at the job site prior to placement of concrete for the foundation.
- Wood Framing: When all wood roof, wall and floor framing, fire blocking and bracing is completed and all pipes, rough electrical and plumbing, chimneys, flashing and vents are in place, but before any interior wall covering is in place.
- Thermal Insulation For Dwellings or Residential Structures: When all thermal insulation is installed in required wall and attic spaces, but before any of this work is concealed.
- Plastering: When the backing and lath is in place ready for plaster or stucco.
- Final: When the building is completed and ready for occupancy.

**H.V.A.C. NOTES**

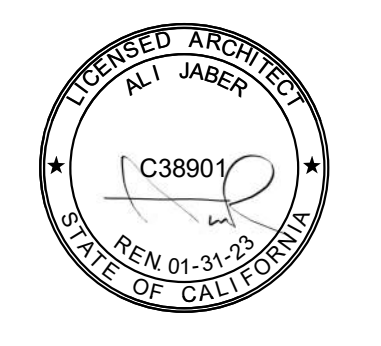
- Heating, ventilation and air conditioning is to be design built.
- The HVAC contractor to provide all necessary materials, equipment and labor to rework all existing equipment if necessary and to determine all new equipment to meet the requirements.
- Contractor to submit equipment cut sheets and samples of diffusers, thermostats and any required access panels, to NTR consultants, Inc. for review prior to proceeding with fabrication and/or installation or relocation.
- The HVAC contractor shall be responsible for field supervision of all their work during installation and shall inspect all systems for proper operations at completion of the job.
- Installation shall be coordinated with all trades as required for proper assembly. Ceiling diffusers to be relocated to maintain new fixture patterns.
- Interior spaces shall be mechanically ventilated in accordance with the administrative code.
- Balancing of entire system shall be done by a qualified engineer.
- All duct work shall be insulated as required for thermal and acoustic considerations.
- Mechanical ventilation in toilet room shall provide one (1) complete air change every 15 minutes and shall be vented to outside air.

**DOOR/WINDOW REQUIREMENTS**

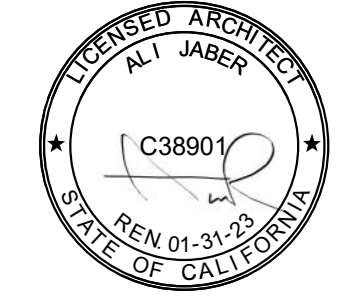
- ALL ENTRY DOORS SHALL BE PROVIDED WITH A DOOR VIEWER, VIEW PORTS, OR VIEWING WINDOWS. SUCH VIEW PORTS OR WINDOWS SHALL BE CONSTRUCTED OF FULLY TEMPERED GLASS.
- SINGLE SWING DOOR. THE ACTIVE LEAF OF A PAIR OF DOORS, AND THE BOTTOM LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A DEADBOLT AND DEADLOCKING LATCH. THE DEADBOLT AND LATCH MAY BE ACTIVATED BY ONE LOCK OR INDIVIDUAL LOCKS. THE LOCK OR LOCKS SHALL BE KEY-OPERATED FROM THE EXTERIOR SIDE OF THE DOOR AND OPENABLE FROM THE INTERIOR SIDE BY A DEVICE WHICH DOES NOT REQUIRE A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT TO OPERATE.
- SWING WOOD DOORS SHALL BE OF CONSTRUCTION OF ONE OF THE FOLLOWING:
  - SOLID-CORE DOORS NOT LESS THAN 1-3/8" THICK.
  - HOLLOW-CORE DOORS OR DOORS LESS THAN 1-3/8" THICK EITHER OF WHICH ARE COVERED ON THE INSIDE FACE WITH 16-GAUGE SHEET METAL ATTACHED WITH SCREWS AT 6" MAX. CENTERS AROUND THE PERIMETER, OR
  - WOOD PANEL TYPE DOORS WITH PANEL FABRICATED OF LUMBER NOT LESS THAN 9/16" THICK, PROVIDED SHAPED PORTIONS OF THE PANELS ARE NOT LESS THAN 1/4" THICK. INDIVIDUAL PANELS SHALL NOT EXCEED 300 SQ. IN. IN AREA. STILES AND RAILS SHALL BE OF SOLID LUMBER WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8" THICK AND 3" IN WIDTH. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS UNLESS SIZED AS REQUIRED HEREIN FOR STILES AND RAILS. EXCEPT MULLIONS OVER 18" LONG MAY HAVE AS OVERALL WIDTH OF NOT LESS THAN 2". CARVED AREAS SHALL HAVE A THICKNESS OF NOT LESS THAN 3/8" INCH. DIMENSIONAL TOLERANCES PUBLISHED IN RECOGNIZED INDUSTRY STANDARDS MAY BE UTILIZED.
- Door stops of in-swinging doors shall be of one-piece construction with the jam, or joined by rabbet to the jamb.
- WINDOW SIZE IS FOR SCHEMATIC PURPOSES. CONTRACTOR/OWNER SHALL COORDINATE APPLICABLE SIZES.
- AVAILABLE BY MANUFACTURER OF CHOICE WITH OWNER PRIOR TO PURCHASE, WHILE MAINTAINING ALL REQUIRED CLEARANCES AND CODES.
- ALL GLAZING MEETING ALL OF THE FOLLOWING CONDITIONS SHALL BE TEMPERED:
  - EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET
  - EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR
  - EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR
- ALL GLAZING MEETING ANY OF THE FOLLOWING CONDITIONS SHALL BE TEMPERED T:
  - GLAZING IN INGRESS AND EGRESS DOORS EXCEPT JALOUSIES
  - GLAZING IN DOORS AND ENCLOSURES FOR BATHTUBS, WHIRLPOLDS, SHOWERS, ETC.
- VERIFY HARDWARE REQUIREMENTS AND FINISHES WITH OWNER AND WINDOW MANUFACTURER PRIOR TO PURCHASE AND INSTALLATION.
- (\*) NEXT TO WINDOW SYMBOL ON PLANS AND ELEVATIONS DENOTES WINDOW TO MEET EGRESS REQUIREMENTS PER CBC SECTION 310.4. WINDOW DIMENSIONS (LISTED IN ELEVATION) SHALL HAVE A MINIMUM NET CLEAR AREA OF 5.7 SQUARE FEET. SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE FINISH FLOOR. WHEN WINDOW IS IN OPEN POSITION, THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20", AND THE NET CLEAR HEIGHT SHALL NOT BE LESS THAN 24". WINDOW SHALL BE OF A TYPE AND STYLE TO MATCH EXISTING AS FEASIBLE.\*

**PLAN NOTES:**

- ALL DIMENSIONS ARE GIVEN TO FACE OF FINISH, U.O.N.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
- COORDINATE LIGHTING & SWITCHES WITH CONTRACTOR/OWNER PRIOR TO INSTALLATION.
- ALL DOORS TO MAINTAIN A 4" JAMB CLOSES TO THE HINGE SIDE U.O.N.



SEAL		
DATE:	07/12/2021	
PROJECT	CHEHAB RESIDENCE	
	2260 N. SUNRISE WAY PALM SPRINGS, CA 92262	
CLIENT	MR. & MRS. ADHAM CHEHAB	
ISSUED		
MARK	DATE	DESCRIPTION



SEAL

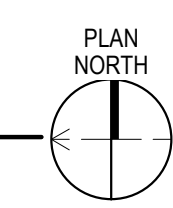
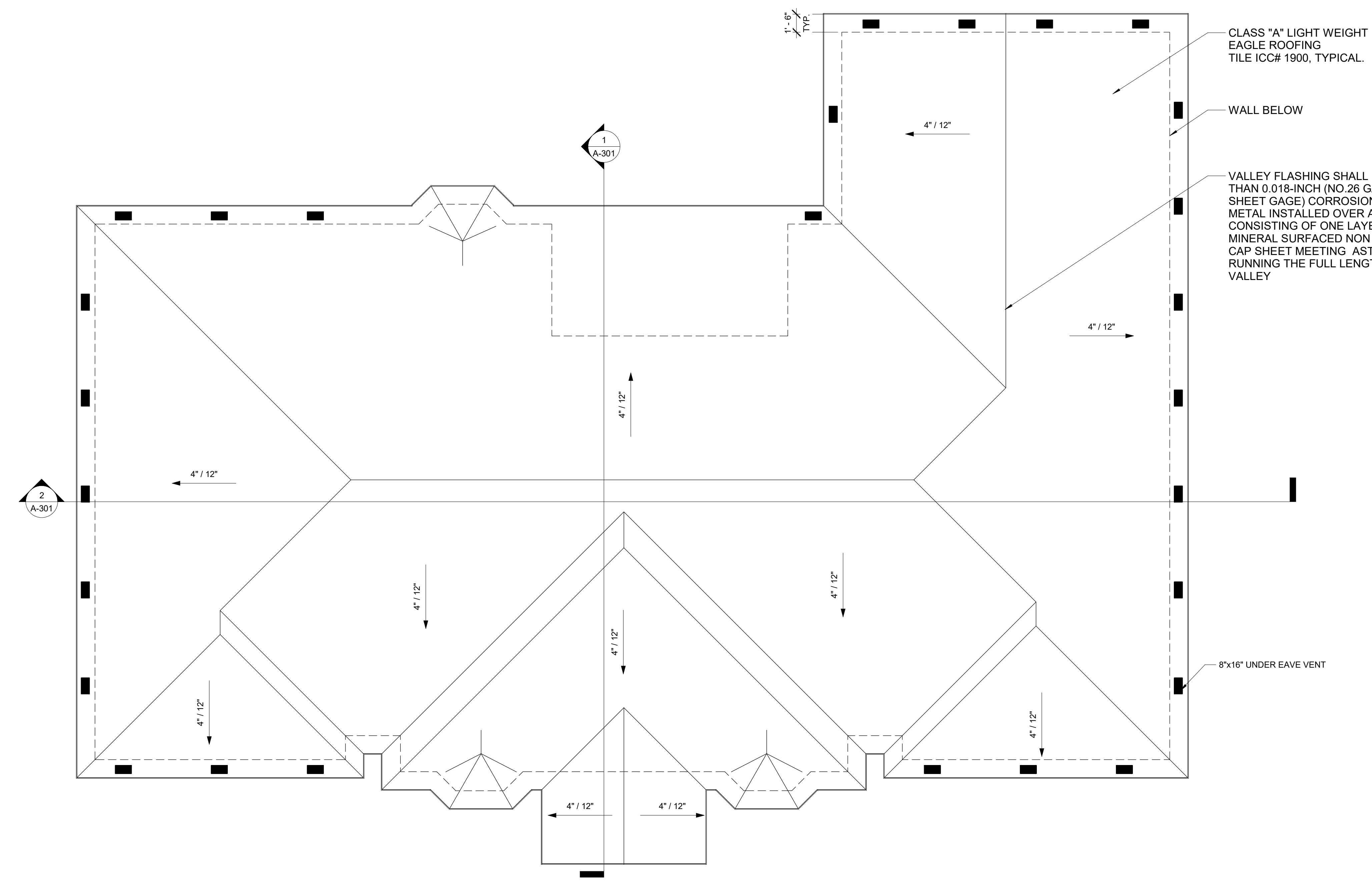
DATE: 07/12/2021

PROJECT  
**CHEHAB RESIDENCE**

2260 N. SUNRISE WAY  
PALM SPRINGS, CA 92262

CLIENT  
MR. & MRS. ADHAM CHEHAB

ISSUED		
MARK	DATE	DESCRIPTION



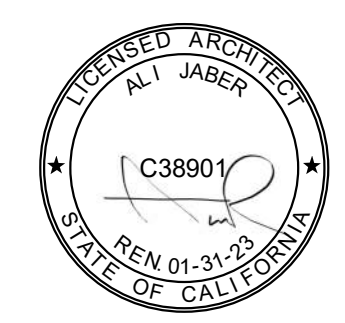
**1 PROPOSED ROOF PLAN**  
SCALE 3/16" = 1'-0"

**ROOF ATTIC VENTILATION:**  
VENT REQUIRED FOR ATTIC AREAS:  
ROOF = 3,500 / 150 = 23.3 SF  
  
PROPOSED VENTS :  
8"x16" UNDER EAVE (0.88 s.f.) x 27 = 23.76 s.f.  
TOTAL ATTIC VENTILATION = 23.76 s.f. PROVIDED  
  
NOTE:  
OPENINGS SHALL HAVE CORROSION-RESISTANT, WIRE MESH WITH 1/8" MIN & 1/4" MAX. OPENINGS (TYP.) CLASS (A) MATERIAL  
ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES & DEBRIS A MINIMUM OF 1" AIRSPACE SHALL BE PROVIDED BETWEEN INSULATION & ROOFING SHEATHING

**2 ROOFING ATTIC VENTILATION**  
NTS

TITLE  
**PROPOSED ROOF PLAN**

SHEET  
**A-103**



SEAL

DATE: 07/12/2021

PROJECT  
**CHEHAB RESIDENCE**

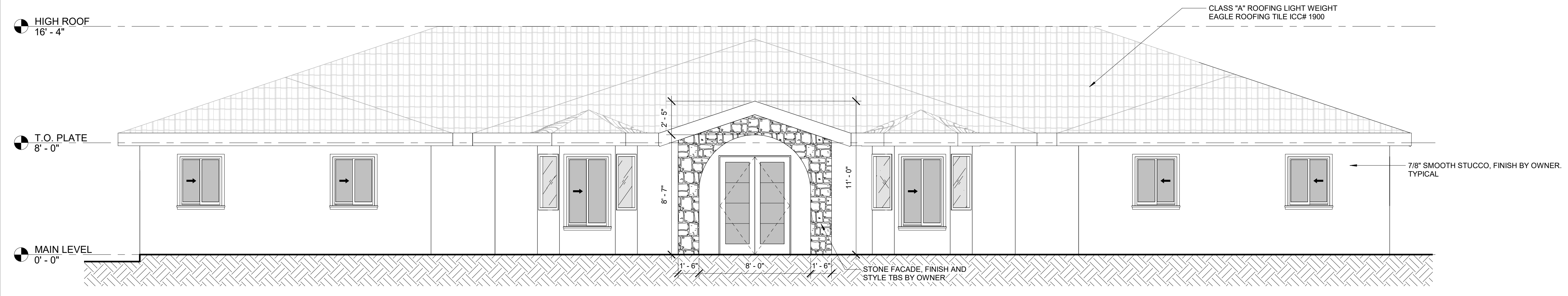
2260 N. SUNRISE WAY  
PALM SPRINGS, CA 92262

CLIENT  
MR. & MRS. ADHAM CHEHAB

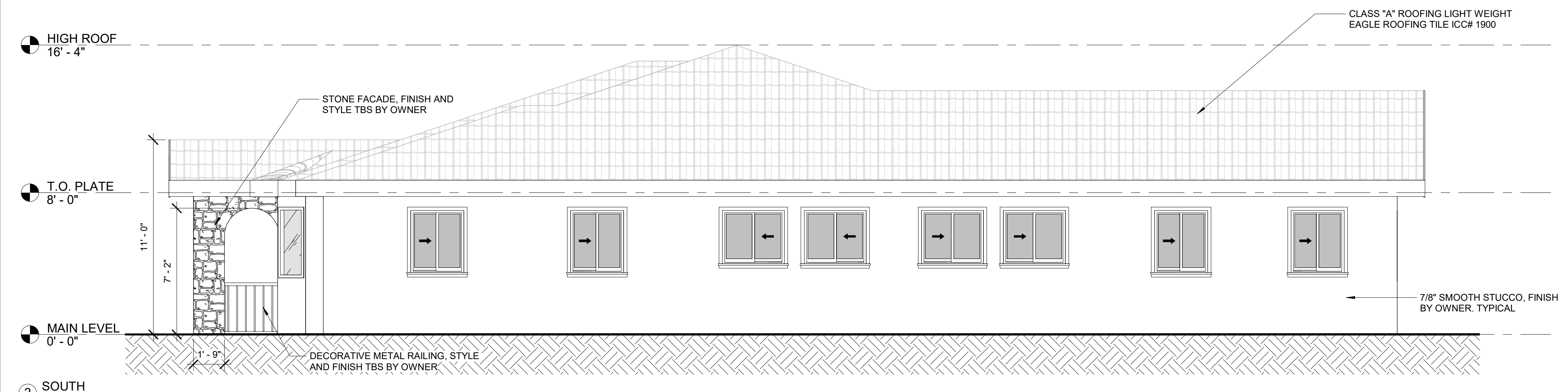
ISSUED	MARK	DATE	DESCRIPTION

TITLE  
**EXTERIOR ELEVATIONS**

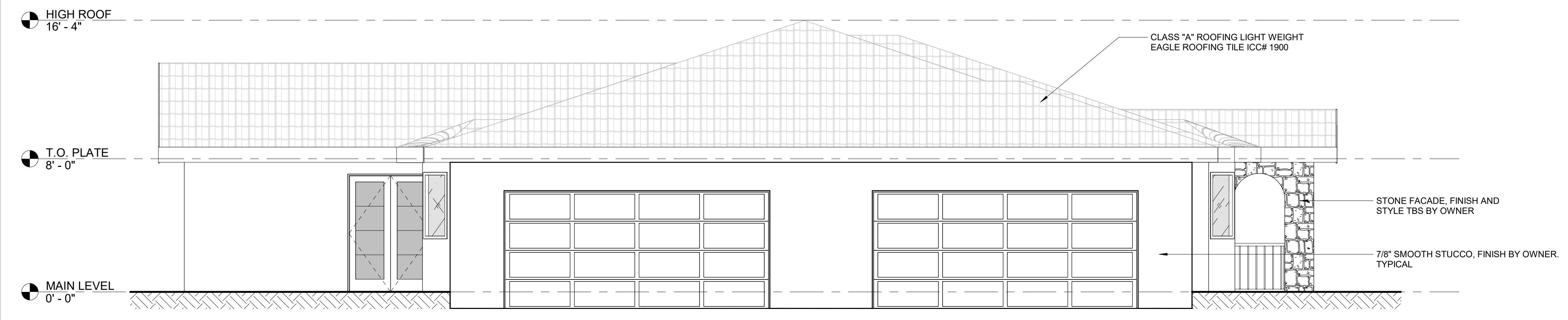
SHEET  
**A-201**



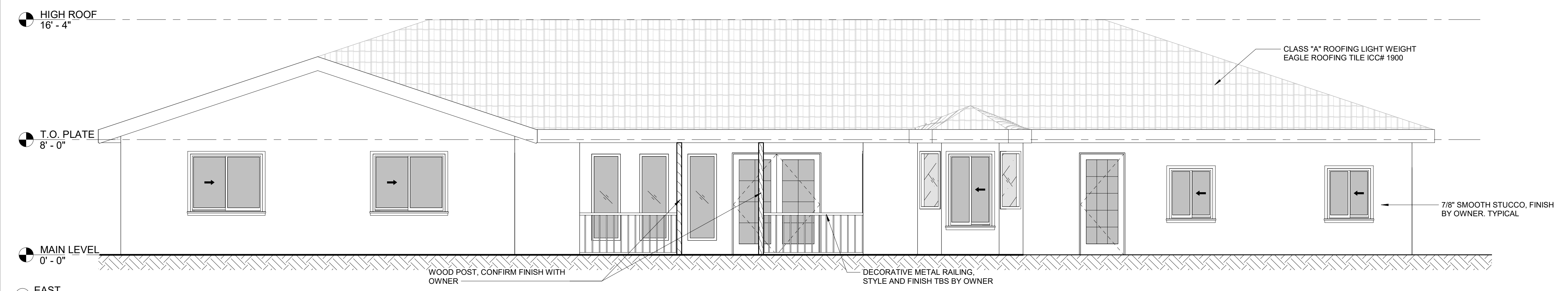
1 WEST  
1/4" = 1'-0"



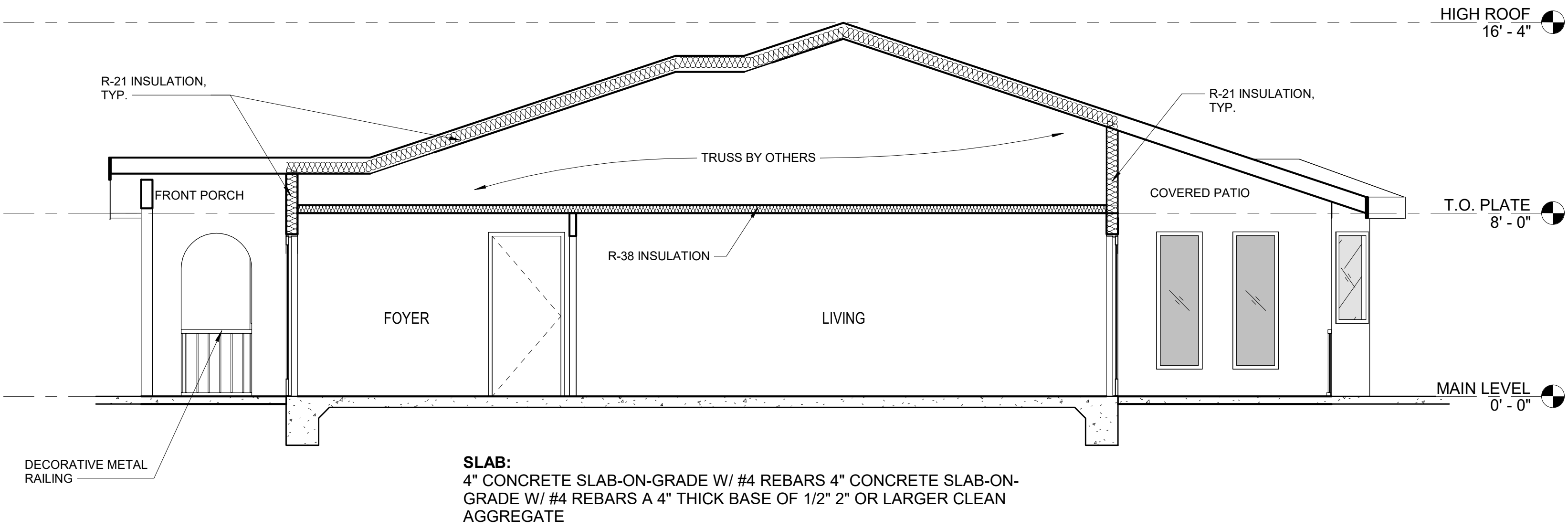
2 SOUTH  
1/4" = 1'-0"



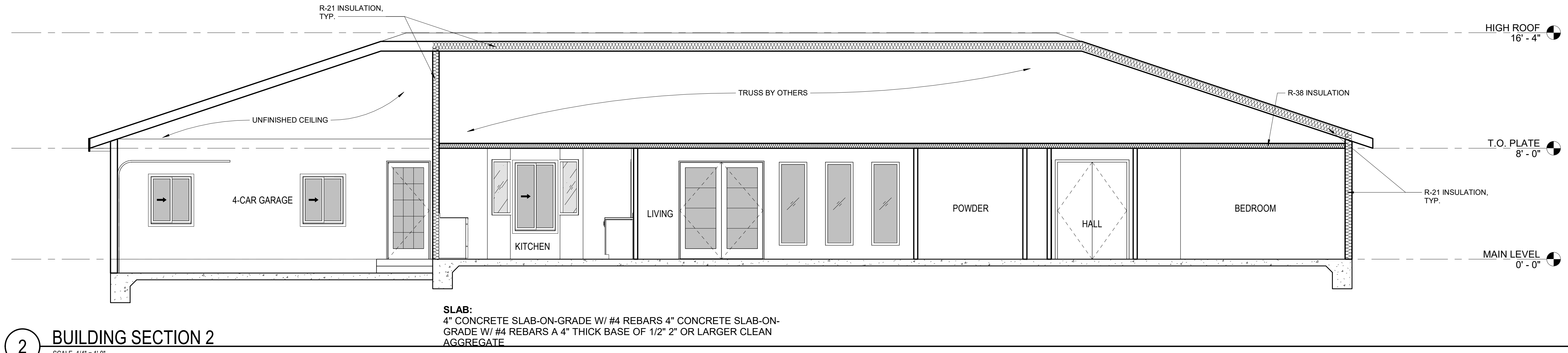
3 NORTH  
1/4" = 1'-0"



4 EAST  
1/4" = 1'-0"



**1 BUILDING SECTION 1**  
SCALE 1/4" = 1'-0"



**2 BUILDING SECTION 2**  
SCALE 1/4" = 1'-0"

SEAL

DATE: 07/12/2021

PROJECT  
CHEHAB RESIDENCE

2260 N. SUNRISE WAY  
PALM SPRINGS, CA 92262

CLIENT  
MR. & MRS. ADHAM CHEHAB

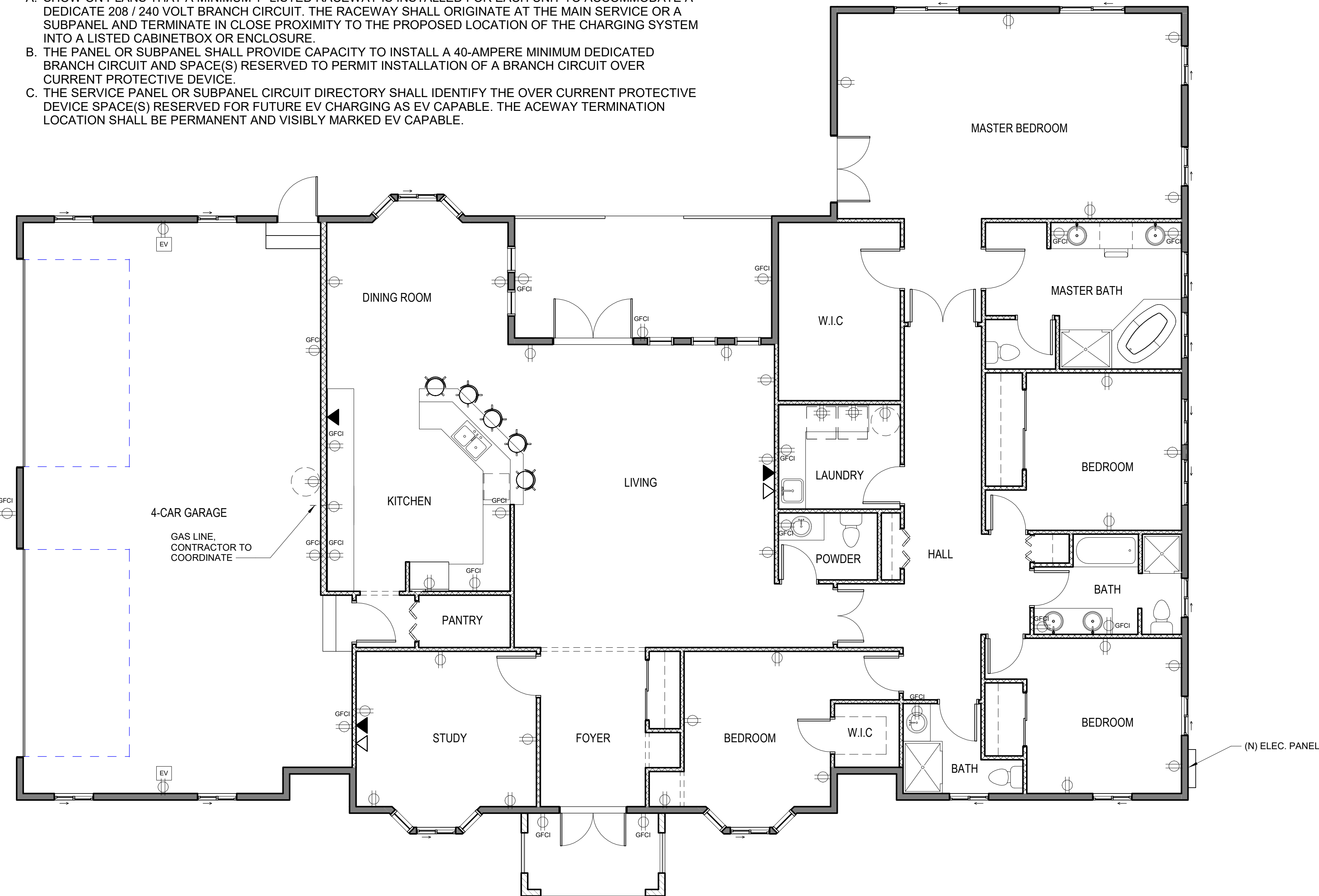
ISSUED	MARK	DATE	DESCRIPTION

TITLE  
**BUILDING SECTIONS**

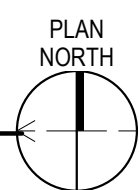
SHEET  
**A-301**

NOTE:

1. FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) IN EACH ONE AND TWO FAMILY DWELLINGS AND TOWN HOUSES:
  - A. SHOW ON PLANS THAT A MINIMUM 1" LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATE 208 / 240 VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINETBOX OR ENCLOSURE.
  - B. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVER CURRENT PROTECTIVE DEVICE.
  - C. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER CURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE ACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

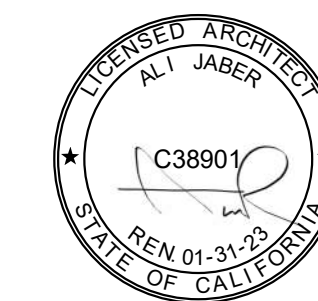


**1 POWER PLAN**  
SCALE 3/16" = 1'-0"



**FLOOR PLAN LEGEND**

	PARTITION TYPE INDICATOR
	WINDOW OR LOUVER IDENTIFIER
	KEYNOTE INDICATOR
	FURNITURE, FIXTURE & EQUIPMENT INDICATOR
	SIGNAGE INDICATOR
	DOOR OPENING IDENTIFIER
	PLAN NORTH & TRUE NORTH INDICATOR
	(N) DOOR
	20" X 30" ATTIC ACCESS
	OUTLET
	GFCI
	QUAD OUTLET
	SWITCH
	EV CAPABLE
	LOW VOLTAGE
	DATA



SEAL

DATE: 07/12/2021  
PROJECT: CHEHAB RESIDENCE

2260 N. SUNRISE WAY  
PALM SPRINGS, CA 92262  
CLIENT: MR. & MRS. ADHAM CHEHAB

ISSUED	MARK	DATE	DESCRIPTION

TITLE: POWER & DATA PLAN

SHEET: A-601