



CITY OF PALM SPRINGS

DEVELOPMENT SERVICES DEPARTMENT

MEMORANDUM

Date: December 7, 2021

To: Architectural Review Committee

From: David A. Newell, AICP
Assistant Director, Planning Services

Subject: EPSTEIN GLOBAL FOR REVISIONS TO A MINOR ARCHITECTURAL APPLICATION FOR A REMODEL OF AN EXISTING CANNABIS DISPENSARY LOCATED AT 4765 EAST RAMON ROAD, ZONE M-1 (CASE 3.4280 MAA) (RB)

On September 20, 2021, the Architectural Review Committee considered the subject application for a remodel of the existing cannabis dispensary and voted to recommend approval to City Council, subject to certain items (lighting, landscaping, handrails, etc.) returning to ARC for review. The application was scheduled for City Council consideration on October 14, 2021, when the matter was referred to the ARC for additional review to improve the exterior of the property. Based on this direction, Staff provided the applicant the following list of items to improve the project:

1. An updated landscape plan with additional plant materials.
2. A lighting plan with fixture details.
3. Enhancements to the building facades, which will be limited to the following at the recommendation of the ARC:
 - Front elevation (facing Ramon): Treatment of the boarded-up clerestory windows, replacement of existing light fixtures with decorative fixtures (while compliant with the outdoor lighting code), fascia treatment, principal building color and accent color, enhancement or replacement of awning.
 - West elevation (facing Williams): Treatment of the boarded windows (re-stucco or repair façade so that patchwork is less visible), paint treatment of exterior doors for consistency, conceal exposed conduit/piping on building exterior, signage treatment/placement (e.g., parking signage on building façade).

- East elevation: Replacement of existing light fixtures with decorative fixtures (while compliant with the outdoor lighting code), signage treatment/placement, conceal exposed conduit/piping.

In response, the applicant has submitted a revised package that includes landscape, roof, elevation, and lighting plans, along with details and specifications on the proposed lighting, awning and signage. An analysis on the proposed improvements based on the City Council direction is provided in the table below.

#	Additional Review Item	Proposed Revision
1	An updated landscape plan with additional plant materials.	The revised landscape and hardscape plans provide an enhanced visual and pedestrian experience of the front (Ramon) entry. Handrails will be installed. A linear landscape design that includes Red Yuccas and Blue Rangers, is proposed within the planters. Two new pots with Agaves will flank the front entry platform. Fortnight Lilies will be planted against the building. All planter areas will include new ½"-1" pebble rock.
2	A lighting plan with fixture details.	New fully shielded fixtures are proposed to replace existing wall packs.
3	<p>Enhancements to the building facades, which will be limited to the following at the recommendation of the ARC:</p> <p>Front elevation (facing Ramon): Treatment of the boarded-up clerestory windows, replacement of existing light fixtures with decorative fixtures (while compliant with the outdoor lighting code), fascia treatment, principal building color and accent color, enhancement or replacement of awning.</p> <p>West elevation (facing Williams): Treatment of the boarded windows (re-stucco or repair façade so that patchwork is less visible), paint</p>	<p>The applicant will remove or bury all exterior conduit and all existing stucco will be removed, repaired and painted light gray on all sides of the building. The building trim and fascia will be replaced as needed.</p> <p>A new awning that is dark blue will replace existing green awning. In addition to the lighting and stucco repair/replacement/paint mentioned above, the front boarded-up clerestory windows will be removed, patched with new stucco and painted light gray.</p> <p>In addition to the lighting and stucco repair/replacement/paint mentioned above, a boarded window will be patched with stucco.</p>

#	Additional Review Item	Proposed Revision
	treatment of exterior doors for consistency, conceal exposed conduit/piping on building exterior, signage treatment/placement (e.g., parking signage on building façade).	
	East elevation: Replacement of existing light fixtures with decorative fixtures (while compliant with the outdoor lighting code), signage treatment/placement, conceal exposed conduit/piping.	See above for updates to the lighting, conduit and stucco that are also proposed on this elevation.

In addition, the applicant intends to continue the stucco repair on the south elevation by patching an existing door with stucco and painting to match the rest of the building.

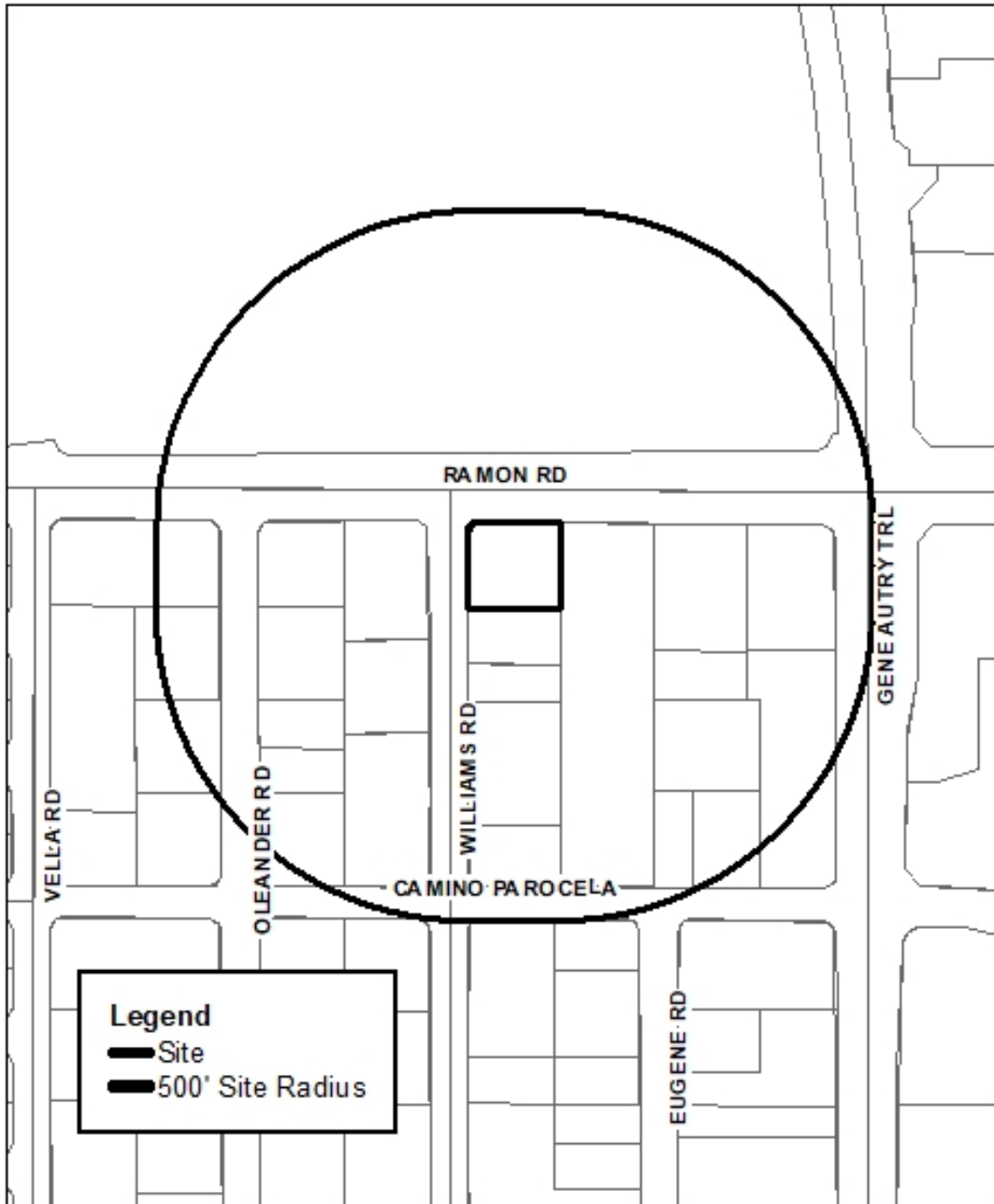
Based on the above revisions, staff recommends the ARC approve the proposed exterior remodel as submitted.

ATTACHMENTS:

1. Vicinity Map
2. 9/20/21 ARC Meeting Minutes (Excerpt)
3. Revised Plans



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS
4765 East Ramon Road
Beyond Hello Cannabis Dispensary

Vice Chair Rotman clarified which signage option was selected. Planner Perez responded option 3.

Rotman, seconded by Doczi to approve Items 1A and 1C, as part of the Consent Calendar.

AYES: DOCZI, LOCKYER, WALSH, ROTMAN, JAKWAY
ABSENT: MCCOY, POEHLEIN, THOMPSON

1A. APPROVAL OF MINUTES: AUGUST 30, 2021

Approved, as presented.

1C. EXOTIC EXTRACTIONS REQUESTING APPROVAL FOR A SIGN PERMIT TO INSTALL ONE MAIN SIGN TOTALING 20-SQUARE FEET TO BE PLACED ON AN EXISTING BUILDING LOCATED AT 1251 MONTALVO WAY, UNIT L (CASE 21-077 SI). (AP)

Approved, as presented.

EXCLUDED CONSENT CALENDAR:

1B. EPSTEIN GLOBAL ARCHITECTURE ON BEHALF OF JUSHI PS HOLDINGS LLC, OWNER, REQUESTING A MINOR ARCHITECTURAL APPLICATION FOR TENANT IMPROVEMENTS AND EXTERIOR REPAINTING OF AN EXISTING CANNABIS DISPENSARY LOCATED AT 4765 EAST RAMON ROAD, ZONE M-1 (CASE 3.4280 MAA). (RB)

Planning Technician Bruno was experiencing technical difficulties and Assistant Director Newell recapped the proposed changes.

Member Lockyer asked if the replacement gates for the chain-link were along the cross street. (Assistant Director Newell responded the replacement gates are located on the south side of the property towards the rear.)

Chair Jakway and Member Lockyer verified if the applicant has submitted any landscape plans or lighting plans. (Assistant Director Newell stated that staff does not have any plans for lighting or landscape. He indicated the applicant may have additional information on what they intend to do with the exterior.)

ANDREW PAPPE, project architect, stated that the interior and the proposed exterior changes are the extent of Epstein Global part of the project. He indicated the new gate replacement is part of the proposal and replacement of the storefront window system

will match the existing window system. Mr. Pappe indicated there are no landscaping changes or exterior lighting changes proposed at this time.

Member Lockyer thinks this is the perfect opportunity to improve the landscaping which has fallen to disarray.

Member Doczi agreed with Member Lockyer, noting that this building is visible when exiting the airport and such a prominent location would benefit from landscape improvements.

Assistant Director Newell noted the ARC could impose as a requirement to add the landscaping to improve the exterior project. It would be appropriate to recommend approval with submittal and review of a landscape and lighting plan.

ANDREW PAPPE, project architect, stated the new owner intends to submit a landscape plan once the construction is done.

Chair Jakway clarified the process in Palm Springs is landscape plans are approved before construction can be approved.

Mr. Pappe stated they do not want to delay the process. He explained the landlord wants to improve the building and has requested such improvements. He thinks landscape plans will delay the construction of the project.

Assistant Director Newell stated staff will work with the applicant for submittal of the landscape plan prior to project going to City Council review and it will not interfere with the building permit process.

Chair Jakway verified if they could condition the occupancy permit not be granted until the landscape plan and lighting plan is approved and installed. Assistant Director Newell responded yes.

Member Doczi said the repair and repainting of the planter walls off Ramon Road have fallen into disrepair.

Chair Jakway noted the Building Code will require a handrail on the flank of stairs.

Lockyer, seconded by Doczi to approve with added conditions and return to ARC for review:

1. Lighting plan to include the building exterior and landscape.
2. Final landscape plan shall be submitted for ARC review.
3. Details of handrails for front entrance stairs and accessible ramp.
4. Details of entrance planter repair and repainting.

GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH AND TO LOCATE ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES, PIPES, AND OTHER SUBSTRUCTURES, AND PROTECT THEM FROM DAMAGE. THE EXPENSE OF REPAIR, BODILY INJURY OR REPLACEMENT OF SAID SUBSTRUCTURES INCLUDING DAMAGE OF THE OWNER'S PROPERTY SHALL BE BORN BY THE CONTRACTOR. THE CONTRACTOR SHALL HAND DIG FOOTINGS, TREE WELLS, PLANTING BEDS, ETC. AS REQUIRED. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL RELEVANT UTILITY COMPANIES PRIOR TO ANY EXCAVATION.
- LOCATION AND ELEVATION OF ALL EXISTING IMPROVEMENTS WITHIN AND ADJACENT TO THE AREA OF WORK SHALL BE CONFIRMED BY FIELD MEASUREMENT PRIOR TO EXCAVATION AND CONSTRUCTION OF NEW WORK. EXTREME CARE SHALL BE EXERCISED IN EXCAVATION AND WORKING NEAR EXISTING UTILITIES. CONTRACTOR WILL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES, PIPES AND OTHER SUBSTRUCTURES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS, DETAILS AND SPECIFICATIONS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION IN THE FIELD. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY, ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE RESIDENT ENGINEER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, LANDSCAPING, AND FEATURES TO REMAIN ON AND/OR ADJACENT TO THE PROJECT SITE DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ALL DAMAGE RESULTING FROM HIS OPERATIONS OR NEGLIGENCE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO ENFORCE SAFETY MEASURES AND REGULATIONS.
- IN AN EMERGENCY THREATENING THE SAFETY OF LIFE, WORK OR ADJOINING PROPERTY, THE CONTRACTOR SHALL USE HIS DISCRETION TO PREVENT SUCH LOSS OR INJURY.
- THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION OF DESIGN WHEN UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE SUBCONTRACTOR'S ACCOMPLISHMENT OF SCOPE OF WORK. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OTHER TRADES WORKING ON THE SITE SIMULTANEOUSLY.
- CONTRACTOR SHALL NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE 72 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO PROVIDE ALL WORK. WORK TO BE COMPLETE IN PLACE AS SPECIFIED.
- THE CONTRACTOR WILL BE BACKCHARGED FOR THE ARCHITECT'S TIME SHOULD THE WORK BEING OBSERVED BE FOUND INCOMPLETE OR NOT READY FOR REVIEW, OR IF THE MEETING TIME IN NOT KEPT BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR SETTING GRADES ON ALL HARD AND SOFT SURFACES. CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE DRAINAGE FROM HARD SURFACES FOR THIS PROJECT. EXISTING DRAINAGE SHALL BE PROTECTED IN PLACE DURING CONSTRUCTION.
- ALL MATERIALS SHALL BE OF STANDARD, APPROVED AND FIRST GRADE QUALITY AND SHALL BE IN PRIME CONDITION WHEN INSTALLED AND ACCEPTED. ANY COMMERCIALY PROCESSED OR PACKAGED MATERIAL SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED PACKAGING BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS.
- THE CONTRACTOR AGREES TO HOLD THE CITY AND THE A/E HARMLESS FROM ANY CLAIMS ARISING OUT OF HIS OPERATIONS OR THE OPERATIONS OF ANY OF HIS SUBCONTRACTORS, MATERIALS SUPPLIERS, OR AGENTS.
- THE CONTRACT DRAWINGS DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO MAINTAIN THE INTEGRITY OF STRUCTURES DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND MAINTENANCE OF ALL SAFETY DEVICES, INCLUDING SHORING AND BRACING.
- ALL LOCAL, MUNICIPAL, AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THE PROJECT SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE ENFORCEMENT OF FEDERAL AND MUNICIPAL OCCUPATIONAL SAFETY AND HEALTH REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, TRANSPORTATION, SERVICES, AND EQUIPMENT NECESSARY TO INSTALL THE LANDSCAPE CONSTRUCTION ITEMS AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
- ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS GOVERNING THIS WORK ARE HEREBY INCORPORATED INTO AND MADE PART OF THESE PLANS, WHEN THESE PLANS CALL FOR CERTAIN MATERIALS, WORKMANSHIP, OR A LEVEL OF CONSTRUCTION THAT EXCEEDS THE LEVEL OF FEDERAL, STATE, OR LOCAL REQUIREMENTS, THE PROVISIONS OF THESE PLANS WILL TAKE PRECEDENCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ANY AND ALL PERMITS, FEES, BONDS AND OBSERVATIONS NECESSARY TO PERFORM AND COMPLETE HIS PORTION OF THE WORK.
- WORK DEFECTIVE IN CONSTRUCTION, QUALITY, PERFORMANCE OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL NOT BE ACCEPTED IN CONSEQUENCE OF THE OWNER'S OR THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT SUCH DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES OR WARRANTIES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT DRAWINGS AND SPECIFICATIONS. NO PAYMENT EITHER PARTIAL, OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIAL.
- ALL SITE OBSERVATIONS REQUESTED OF THE ARCHITECT BY THE CONTRACTOR SHALL BE DONE SO THROUGH THE OWNER'S REPRESENTATIVE AND SHALL PROVIDE THE ARCHITECT WITH A MINIMUM OF 72 HOURS NOTICE.
- ALL TERMS AND PROVISIONS OF THE LANDSCAPE SPECIFICATIONS ARE HEREBY INCORPORATED BY REFERENCE HEREIN AND MADE A PART OF THESE DRAWINGS. REFER TO LANDSCAPE SPECIFICATIONS SHEETS

GRADING NOTES

- HOLD FINISHED GRADES FOR SHRUB AND GROUND COVER AREAS 3 INCHES BELOW TOP OF ADJACENT PAVEMENT, CURBS, OR HEADERS UNLESS OTHERWISE NOTED ON THE DRAWINGS.

PEBBLE MULCH NOTE

- TOPDRESS PEBBLE MULCH: 3 INCH OF PEBBLE MULCH FROM SOUTHWEST BOULDER & STONE, (760) 328-5877. REFERENCE MATERIALS LEGEND FOR PEBBLE MULCH TYPE AND SIZING.
- 3 INCHES OF PEBBLE MULCH LAYER SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN OVER CREEPING OR ROOTING GROUNDCOVERS, OR IN DIRECT SEEDING APPLICATIONS WHERE MULCH IS NOT APPROPRIATE.

WATER CONSERVATION STATEMENT:

THE LANDSCAPE DESIGN FEATURES LOW WATER USE PLANTS SELECTED EXCLUSIVELY FROM THE REVISED EDITION OF THE "LUSH AND EFFICIENT LANDSCAPE GARDENING IN THE COACHELLA VALLEY" PUBLISHED BY THE COACHELLA VALLEY WATER DISTRICT. THE DESIGN ALSO FEATURES 3" OF GRAVEL MULCH MATERIAL AND POINT SOURCE DRIP EMITTERS WITH A FULLY AUTOMATIC IRRIGATION SYSTEM CONTAINING A WEATHER BASED CONTROLLER.

PLANTING NOTES

- PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF SHRUB INSTALLED ON GRID OR SPACED EQUALLY IN ROWS AS SHOWN ON DRAWINGS. ALIGN SHRUBS ACROSS WALKS. ADJUST SPACING AS NECESSARY, SUBJECT TO REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE CONTRACTOR SPECIALIZING IN LANDSCAPE PLANTING WITHIN THE PALM SPRINGS AREA. .
- PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR KEY AND CLASSIFICATION.
- ALL PLANTING AREAS SHALL DRAIN A MINIMUM OF 2% AWAY FROM THE BUILDING AND OTHER VERTICAL STRUCTURES UNLESS OTHERWISE SPECIFIED ON THE PLANS. GRADE SHALL BE EVEN AND SMOOTH WITH NO BERMS OR SWALES UNLESS OTHERWISE NOTED ON THE PLANS. CONTRACTOR TO GRADE TOWARDS EXISTING DRAINAGE AT A MINIMUM OF 2%.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, TRANSPORTATION, SERVICES & EQUIPMENT NECESSARY TO INSTALL LANDSCAPE PLANTING AS SHOWN ON THE DRAWINGS & AS SPECIFIED HEREIN.
- AFTER FINISH GRADES HAVE BEEN ESTABLISHED FOR PLANTING AREAS, THE LANDSCAPE CONTRACTOR SHALL TAKE HORTICULTURAL SOIL SAMPLES AT FOUR (4) LOCATIONS AROUND THE SITE. SOIL SAMPLES SHALL BE TESTED BY WALLACE LABORATORIES (WWW.WLABS.COM) FOR SOIL FERTILITY, AGRICULTURAL SUITABILITY, AND SOIL PREPARATION RECOMMENDATIONS. TESTS SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR AND SUBMITTED TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO ANY PLANTING. CONTRACTOR SHALL PROVIDE AN ADDITIONAL FOUR (4) SOIL TESTS TO CONFIRM AMENDMENTS HAVE BEEN APPLIED PER THE RECOMMENDATIONS. SEE SOIL TESTING NOTES #2, SOIL TESTING AND SOIL AMENDMENT NOTES, ON THIS PAGE FOR TESTING REQUIREMENTS.
- THE CONTRACTOR SHALL PERFORM SOIL PERCOLATION TESTS PER SOIL TESTING AND SOIL AMENDMENT NOTES.
- THE CONTRACTOR SHALL ENSURE THAT FINAL FINISH GRADE ELEVATIONS OF PLANTING AREAS ARE SET AT PROPER ELEVATIONS RELATIVE TO PAVING FINISH SURFACE ELEVATIONS, UTILITY COVERS & CURBS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH PLANT MATERIAL FREE OF PESTS, POOR CONDITION, OR DISEASE, INCLUDING ANY PRE-SELECTED OR PRE-TAGGED PLANT MATERIAL PROVIDED BY THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK AS TO PLANT MATERIAL & WORKMANSHIP FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF PROJECT. THE CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE ON COMPANY LETTERHEAD AT THE FINAL INSPECTION.
- THE CONTRACTOR SHALL PROVIDE A WRITTEN CERTIFICATION THAT THE PLANTING WORK IS INSTALLED IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS. ANY APPROVED SUBSTITUTIONS OR DEVIATIONS FROM THE PLANS SHALL BE NOTED. THIS CERTIFICATION SHALL BE ON THE CONTRACTOR'S LETTERHEAD WITH HIS/HER SIGNATURE & CALIFORNIA C-27 CONTRACTOR'S LICENSE NUMBER.
- ALL PLANTING AREAS (EXCEPT TURF AND SLOPES GREATER THAN 2:1) SHALL HAVE A 3" LAYER OF SPECIFIED MULCH. REFER TO MULCH NOTES.

ESTABLISHMENT PERIOD NOTES

- CONTRACTOR TO PROVIDE A 90-DAY ESTABLISHMENT PERIOD AFTER WRITTEN APPROVAL BY THE OWNER OF SATISFACTORY COMPLETION OF ALL ITEMS INCLUDED ON THE LANDSCAPE PUNCH LIST.
- CONTRACTOR TO PROVIDE HAND WATERING FOR NEW PLANTING TO ESTABLISH THE PLANTS ROOT SYSTEM UNTIL IRRIGATION SYSTEM IS FULLY OPERATIONAL. CONTRACTOR SHALL MONITOR SOIL MOISTURE TO ENSURE PLANTS HAVE ADEQUATE WATER AND ADJUST WATERING SCHEDULE AS NEEDED.
- CONTRACTOR SHALL IMMEDIATELY TREAT OR REPLACE PLANT MATERIAL WHICH HAS BECOME DAMAGED OR DISEASED AT NO ADDITIONAL COST TO THE OWNER AT A MATCHING SIZE AND VARIETY OF THE PLANT BEING REPLACED.
- CONTRACTOR TO USE A WATER WAND FOR HAND WATERING TO BREAK THE WATER FORCE. "JET" TYPE WATERING EQUIPMENT SHALL NOT BE PERMITTED. CONTRACTOR SHALL ENSURE THAT THE PLANTS CROWN ROOTS DO NOT BECOME EXPOSED TO THE AIR THROUGH THE DISLOGGING OF SOIL AND MULCH.
- CONTRACTOR TO RESET/REPLANT SUNKEN OR SETTLED PLANT MATERIALS TO PROPER GRADES AND IN AN UPRIGHT POSITION DURING THE ESTABLISHMENT PERIOD.
- PLANTING AREAS THROUGHOUT THE PROJECT AREA SHALL BE WEED-FREE AT ALL TIMES, INCLUDING AREAS BETWEEN PLANTS.

SOIL TESTING AND SOIL AMENDMENT NOTES

- AFTER FINISH GRADES HAVE BEEN ESTABLISHED FOR PLANTING AREAS, THE LANDSCAPE CONTRACTOR SHALL CONTACT WALLACE LABORATORIES AT (310) 615-0116 TO TAKE SOIL TEST SAMPLES FROM LOCATIONS AROUND THE SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT. SOIL SAMPLES SHALL BE TAKEN IN EACH PLANTING AREA AT TWO DIFFERENT DEPTHS. SAMPLE 1 SHALL BE TAKEN AT A DEPTH OF 12"-24" AND SAMPLE 2 SHALL BE TAKEN AT A DEPTH OF 24"-36". REPEAT AT ADJACENT PLANTING AREA. FOUR SAMPLES IN TOTAL. IF THE CONTRACTOR WISHES TO TAKE SAMPLES THEMSELVES, THEY CAN BE MAILED INTO THE LABORATORY PER THE INSTRUCTION ON WALLACE LABORATORIES WEBSITE. MAKE SURE TO ADD LABEL TO THE PACKAGE INDICATING "CONTENTS INCLUDE AGRICULTURAL SOIL SAMPLES FOR TESTING" AFTER THE PROPER DEPTH HAS BEEN EXCAVATED, SCRAPE THE SIDES OF THE HOLE TO GET A HOMOGENEOUS MIX OF THE SOIL FROM THE 12" DEPTH PROFILE. FILL A 1-GALLON SIZE ZIPLOCK BAG AND LABEL THE DEPTH AND LOCATION, REPEAT FOR THE SECOND 12" DEPTH PROFILE AND PLACE CONTENTS INTO A SEPARATE 1-GALLON ZIPLOCK BAG.
- ALL TESTS MUST INCLUDE A pH MEASUREMENT IN THE SATURATION EXTRACT, ELECTRICAL CONDUCTIVITY OF THE SATURATION EXTRACT, SODIUM ADSORPTION RATIO OF THE SATURATION EXTRACT, SOIL ORGANIC MATTER QUALITY, SOIL TEXTURE, AND WATER PERCOLATION RATE. THE APPROVED PROCEDURES INCLUDE:

pH	METHOD 21g
SATURATION EXTRACT	METHOD 2
SODIUM ADSORPTION RATIO	METHOD 20b
- APPROVED METHODS:
 - THE "AMERICAN SOCIETY OF AGRONOMY: AS PUBLISHED IN THE METHODS OF SOIL ANALYSIS, "METHODS OF THE UNITED STATES SALINITY LABORATORY" AS PUBLISHED IN THE AGRICULTURAL HANDBOOK NUMBER 60 ENTITLED "DIAGNOSIS AND IMPROVEMENT OF SALINE AND ALKALI SOILS."
 - BASE SATURATION - METHODS 18 AND 20 OF AGRICULTURAL HANDBOOK NUMBER 60.
 - CATION EXCHANGE CAPACITY - METHODS 18 AND 20 OF AGRICULTURAL HANDBOOK NUMBER 60.
 - MEHLICH III TESTING METHOD IS NOT SUITABLE FOR ALKALINE SOILS AND THEREFORE IS NOT AN ACCEPTABLE TESTING METHOD FOR SOUTHERN CALIFORNIA.
 - THE APPROVED METHODS FOR THOSE CITED BY THE COUNCIL ON SOIL TESTING AND PLANT ANALYSIS AND THOSE METHODS CURRENTLY PUBLISHED BY SOIL SCIENCE SOCIETY OF AMERICA MANUALS, COMMUNICATIONS IN SOIL SCIENCE AND PLANT ANALYSIS, SOILS SCIENCE AND SOIL SCIENCE SOCIETY OF AMERICA JOURNAL.
 - APPROVED METHODS FOR PHOSPHORUS ARE BRAY P1, BRAY P2, OLSEN P, DTPA, AMMONIUM ACETATE, AND AMMONIUM BICARBONATE-DTPA.
 - APPROVED METHODS FOR BORON ARE HOT WATER EXTRACT AND AMMONIUM BICARBONATE-DTPA EXTRACT.
- THE SATURATION EXTRACT MUST BE ANALYZED FOR CALCIUM, MAGNESIUM, SODIUM, BORON, CHLORIDE, PHOSPHORUS, NITRATE AND SULFATE.
- THE PRESENCE OF CALCIUM CARBONATE AND/OR MAGNESIUM CARBONATE MUST BE DETERMINED
- THE PRESENCE OF EXCHANGEABLE AMMONIUM, EXCHANGEABLE HYDROGEN, BASE SATURATION, EXCHANGEABLE POTASSIUM, CALCIUM, MAGNESIUM, AND SODIUM MUST BE DETERMINED.
- SOIL TEXTURE: (GRAVEL, SAND, SILT AND CLAY) AND PERCENT GRAVEL. THIS ITEM MUST BE SPECIFICALLY REQUESTED.
- DETERMINE ORGANIC MATTER CONTENT BY THE MEASUREMENT OF ORGANIC CARBON. THE QUALITY OF THE ORGANIC MATTER SHALL BE DETERMINED BY MEASURING ORGANIC CARBON AND TOTAL NITROGEN. THIS ITEM MUST BE SPECIFICALLY REQUESTED.
- INTERPRETATION OF NUTRITION DEFICIENCIES OR EXCESSES POTENTIAL TOXICITIES MUST BE DETERMINED.
- ALL SOIL TEST SHALL INCLUDE WATER INFILTRATION RATE: METHOD 34b OF AGRICULTURAL HANDBOOK NUMBER 60. THIS ITEM MUST BE SPECIFICALLY REQUESTED.
- THE AMENDMENTS AND QUANTITIES INCLUDED HEREIN ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. FOLLOWING AN ON-SITE SOIL ANALYSIS BY THE PROJECT AGRONOMIST AFTER FINAL GRADES ARE ESTABLISHED, COMPOSITION OF AMENDMENTS MAY CHANGE. CONTRACT PRICE SHALL BE ADJUSTED ACCORDINGLY.
- THE CONTRACTOR SHALL PERFORM SOIL PERCOLATION TESTS IN SELECTED REPRESENTATIVE AREAS OF THE PROJECT SITE TO VERIFY ACCEPTABLE NATURAL DRAINAGE, SOIL STRUCTURE, AND SOIL COMPOSITION. EACH PERCOLATION TEST SHALL CONSIST OF A 2 FOOT WIDE BY 2 FOOT LONG BY 4 FOOT DEEP HOLE. EACH HOLE SHALL BE FILLED WITH WATER TO THE TOP AND COVER WITH PLYWOOD AND BARRICADE. ALLOW HOLE TO DRAIN AND FILL AGAIN TO TOP. CONTRACTOR TO MAKE DAILY OBSERVATIONS NOTING THE DEPTH OF WATER EACH DAY AND REPORT FINDINGS IN WRITING TO THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. BASED ON THE COMBINED RESULTS OF THE AGRICULTURAL SOIL TEST AND THE SOIL PERCOLATION TESTS, THE CONTRACTOR MAY BE REQUIRED TO INSTALL ADDITIONAL DRAINAGE. WATER SHOULD BE COMPLETELY DRAINED WITHIN 24 HOURS.
- CONTRACTOR SHALL ENSURE COMPOST DRAINS AT A RATE OF MINIMUM OF (4) FOUR CUBIC YARDS PER ONE THOUSAND SQUARE FEET OF PERMEABLE AREA INCORPORATED TO A DEPTH OF (6) SIX INCHES INTO THE SOIL, UNLESS OTHERWISE INDICATED IN THE SOILS REPORT RECOMMENDATIONS.

CONTACT:

PRINCIPAL: KEVIN SLAWSON
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ABBREVIATIONS

B.O.C.	BACK OF CURB	F.O.C.	FACE OF CURB
CL	CENTER LINE	F.O.W.	FACE OF WALL
EL	ELEVATION	F.S.	FINISH SURFACE
EG	EXISTING GRADE	L.O.W.	LIMIT OF WORK
EJ	EXPANSION JOINT	PA	PLANTING AREA
EOP	EDGE OF PAVING	PL	PROPERTY LINE
EQ.	EQUAL	R	RADIUS
EXT	EXISTING	SJ	SAWCUT JOINT
E/W	EACH WAY	TW	TOP OF WALL
F.G.	FINISH GRADE	TYP.	TYPICAL

SHEET INDEX

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- L0.02 - MATERIALS & PLANTING LEGEND
- L1.01 - MATERIALS & LAYOUT PLAN
- L1.02 - PLANTING PLAN
- L1.03 - LANDSCAPE DETAILS
- L1.04 - LANDSCAPE DETAILS
- L2.01 - IRRIGATION PLAN
- L2.02 - IRRIGATION DETAILS



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213.596.8299
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CONSULTANTS:
GLASIR DESIGN
(IRRIGATION DESIGNER)
424 New Jersey Lane
Placentia, CA 92870
Phone: 714-514-9930

OWNER:
BEYOND/HELLO
4765 E. RAMON RD.
PALM SPRINGS, CA 92264

CLIENT:
EPSTEIN GLOBAL
600 WEST FULTON
CHICAGO, IL 60661

PROJECT:
BEYOND/HELLO
ADDRESS:
4765 E. RAMON RD.
PALM SPRINGS, CA 92264

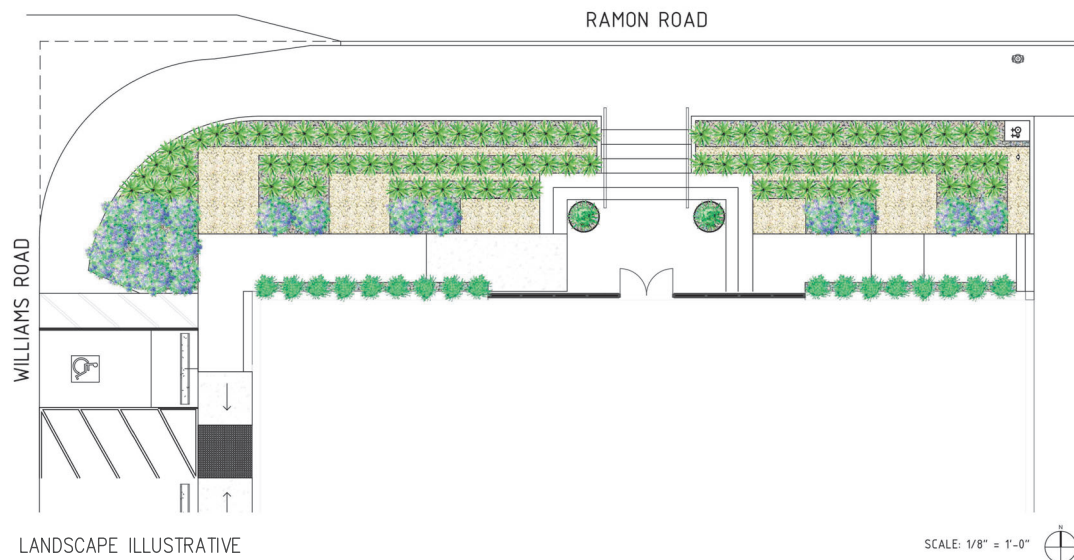


NO. ISSUE	DATE
- 95% CD	11.29.2021
-	-

PROJECT NUMBER:
EPSN01
PHASE:
DATE:
11.29.2021
SCALE:

SHEET TITLE:
LANDSCAPE
NOTES AND
SHEET INDEX

SHEET NUMBER:
NOT FOR CONSTRUCTION
L0.01



LANDSCAPE ILLUSTRATIVE

SCALE: 1/8" = 1'-0"



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CHICAGO, IL 60661

PROJECT:
BEYOND/HELLO
ADDRESS:
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MATERIALS LEGEND

PAVING LEGEND

KEY	ITEM	MATERIAL	COLOR	FINISH	DETAIL(S)	REMARKS
(PV-1)	STEEL EDGE	FACTORY POWDER COATED	BLACK	FACTORY POWDER COATED FINISH	1 / L1.04	
(PV-2)	PEBBLE MULCH TYPE 1	MANUF: SOUTHWEST BOULDER MODEL: MEXICAN SUNBURST PEBBLE	MEXICAN BEACH PEBBLE-BUFF	SIZE: 1/2"-1"	1-3 / L1.04	
(PV-3)	PEBBLE MULCH TYPE 2	MANUF: SOUTHWEST BOULDER MODEL: MEXICAN BEACH PEBBLE	MEXICAN BEACH PEBBLE-BLACK	SIZE: 1"-2"	1-3 / L1.04	

SITE FURNISHING LEGEND

KEY	ITEM	MANUFACTURER/MATERIAL	COLOR	FINISH	DETAIL(S)	REMARKS
(SF-1)	NEW HANDRAILS AT EXISTING STAIRS	MATERIAL: STAINLESS STEEL	-	MATTE FINISH	1-4 / L1.03	
(SF-2)	PLANTER POT	MANUF: OLD TOWN FIBERGLASS MODEL: KB3813 - 38" O.D.	BLUE	MATTE FINISH	3 / L1.04	

PLANTING LEGEND

KEY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MINIMUM SIZE	FORM/BRANCHING	DETAIL REF.	REMARKS/COMMENTS
SHRUBS & GROUNDCOVER									
AGA GEM	(AG)	AGAVE GEMINIFLORA	TWIN-FLOWERED AGAVE	1 GAL	AS SHOWN	-	STANDARD	3 / L1.04	FULL/SYMMETRICAL IN NURSERY CONTAINER; PREMIUM SELECT GRADE; DENSE GROWTH; WELL-ROOTED; FREE OF ANY BLEMISHES, SCARS OR DEAD GROWTH AT ENDS WITHOUT STALKS/TRUNKS
DIE GRA	(DG)	DIETES GRANDIFLORA	FORTNIGHT LILY	5 GAL	36" O.C. TRIANGULAR SPACED	-	STANDARD	1,2,4 / L1.04	
HES PAR	(HP)	HESPERALOE PARVIFLORA 'BRAKELIGHTS'	BRAKELIGHTS RED YUCCA	5 GAL	30" O.C. TRIANGULAR SPACED	-	STANDARD	1,2,4 / L1.04	
LEU ZYG	(LC)	LEUCOPHYLLUM ZYGOPHYLLUM 'CIMARRON'	BLUE RANGER	15 GAL	36" O.C. TRIANGULAR SPACED	-	PROSTRATE	1,2,4 / L1.04	



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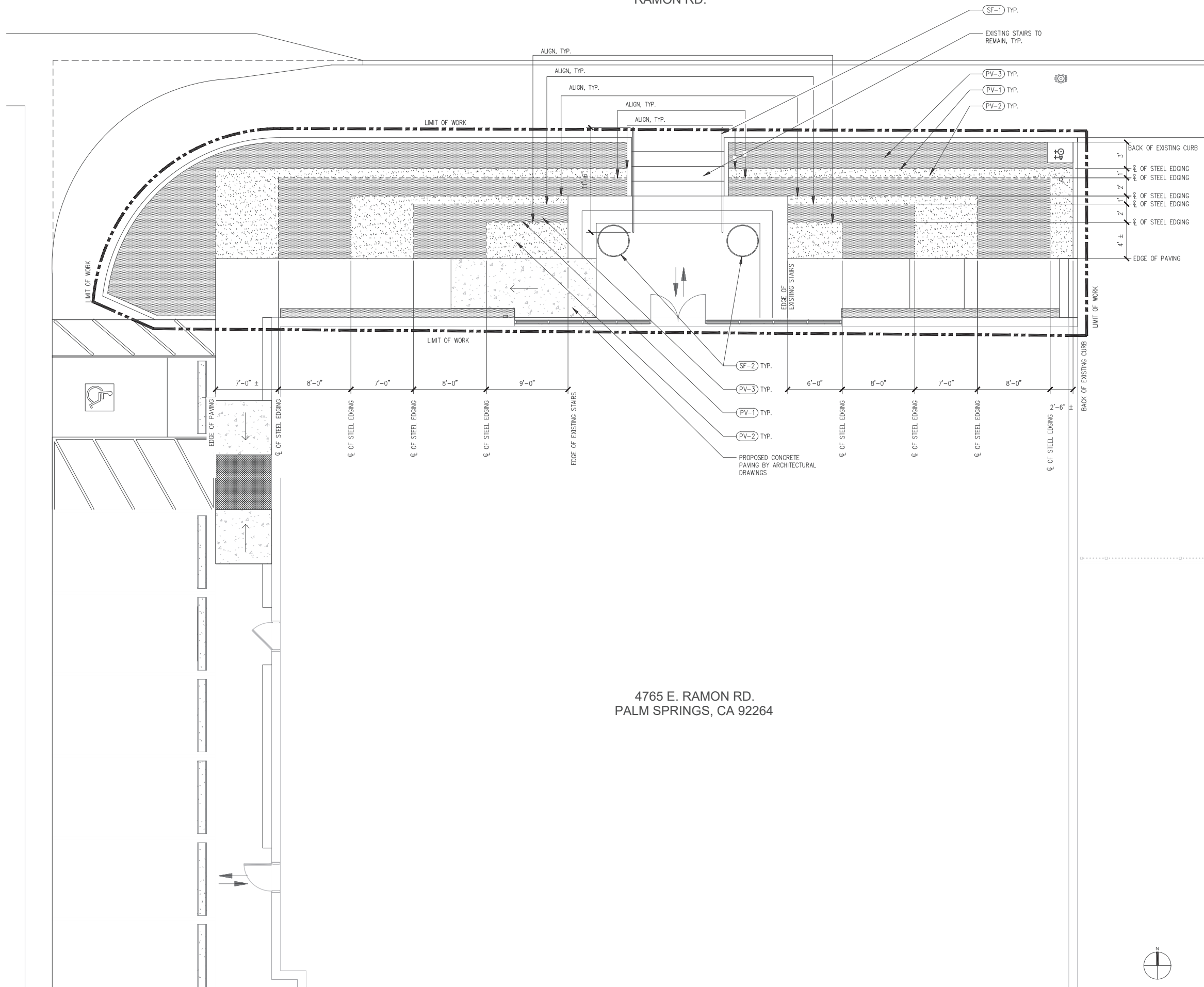
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PHASE:
-
DATE:
11.29.2021
SCALE:

SHEET TITLE:
MATERIALS AND PLANTING LEGEND

SHEET NUMBER:
NOT FOR CONSTRUCTION

L0.02

RAMON RD.



4765 E. RAMON RD.
PALM SPRINGS, CA 92264

MATERIALS LEGEND

PAVING LEGEND

KEY	ITEM
(PV-1)	STEEL EDGE
(PV-2)	PEBBLE MULCH TYPE 1
(PV-3)	PEBBLE MULCH TYPE 2

SITE FURNISHING LEGEND

KEY	ITEM
(SF-1)	NEW HANDRAILS AT EXISTING STAIRS
(SF-2)	PLANTER POT

REFER TO SHEET L0.02 FOR FULL MATERIALS LEGEND



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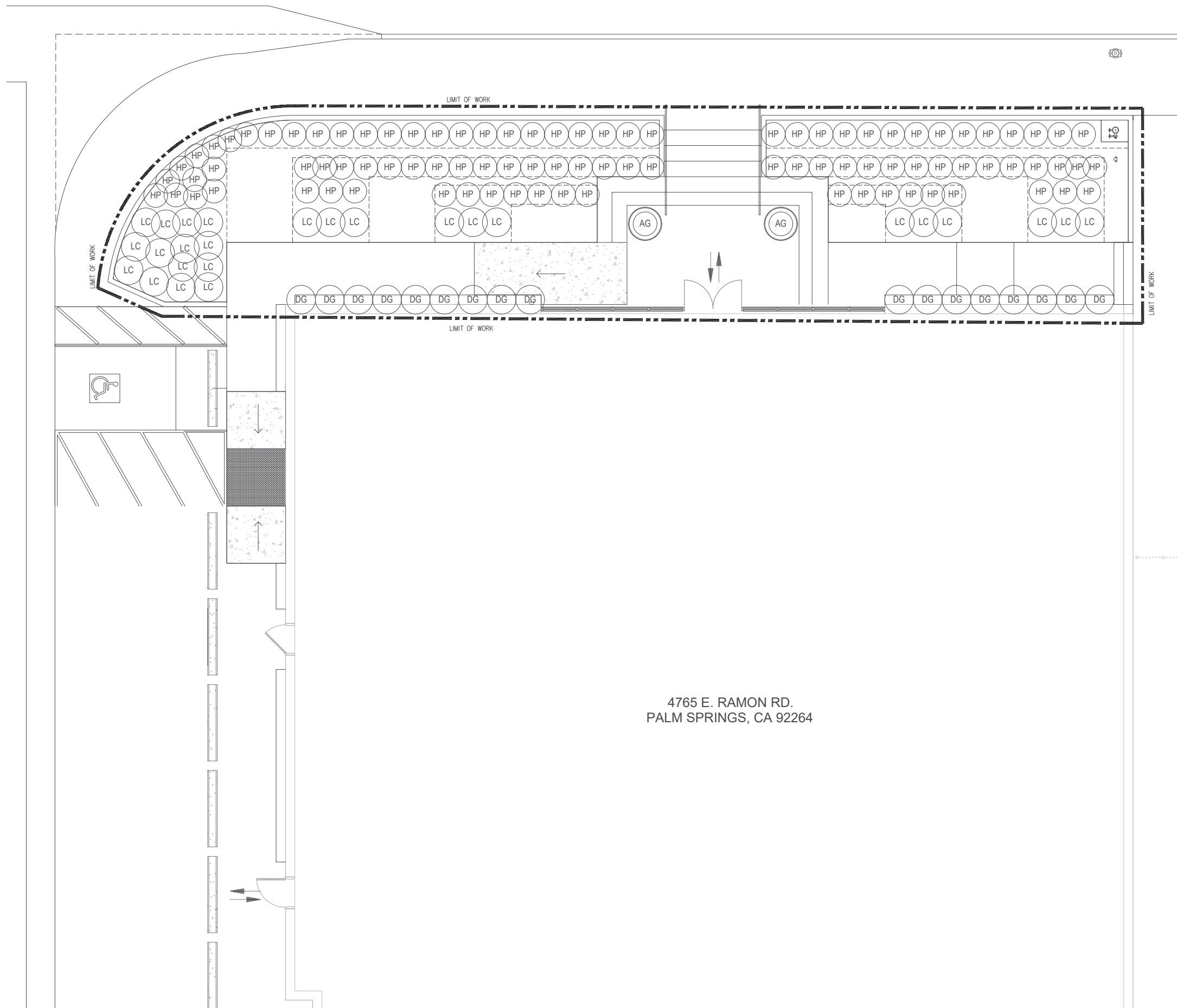
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EPSN101
PHASE:
-
DATE:
11.29.2021
SCALE:
1/4"=1'-0"

SHEET TITLE:
HARDSCAPE & LAYOUT PLAN

SHEET NUMBER:
NOT FOR CONSTRUCTION
L1.01

RAMON RD.



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PLANTING LEGEND

KEY	SYMBOL	BOTANICAL NAME
SHRUBS & GROUNDCOVER		
AGA GEM	AG	AGAVE GEMINIFLORA
DIE GRA	DG	DIETES GRANDIFLORA
HES PAR	HP	HESPERALOE PARVIFLORA 'BRAKELIGHTS'
LEU ZYG	LC	LEUCOPHYLLUM ZYGOPHYLLUM 'CIMARRON'

NOTE: REF SHEET L0.02 FOR FULL PLANTING LEGEND INCLUDING CONTAINER SIZE, SPACING AND NOTES.



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PROJECT NUMBER:
 EPSN101
 PHASE:
 -
 DATE:
 11.29.2021
 SCALE:
 1/4"=1'-0"

SHEET TITLE:
PLANTING PLAN

SHEET NUMBER:
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L1.02



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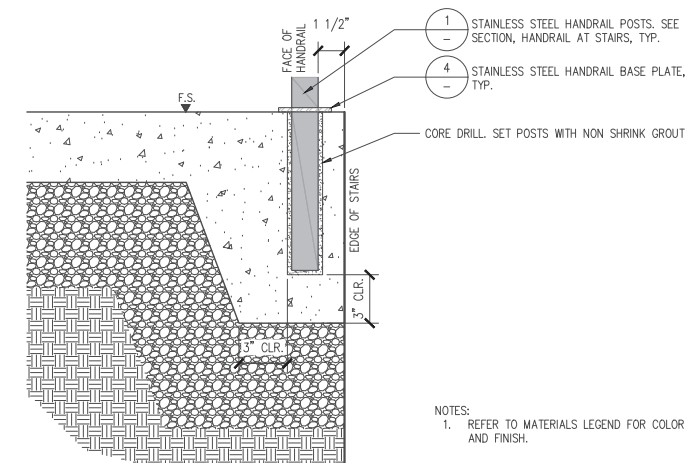
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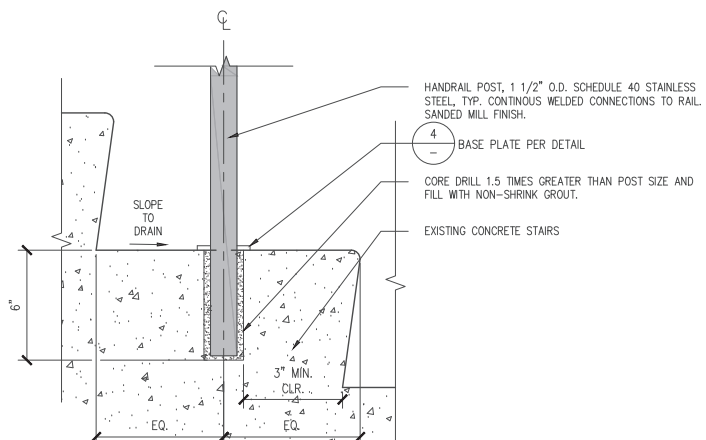
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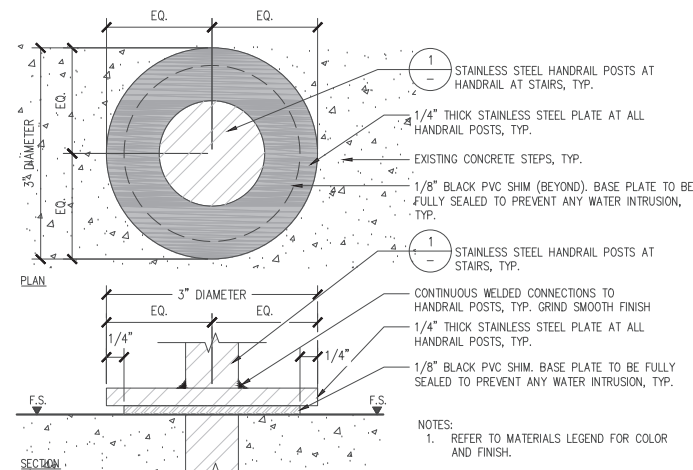
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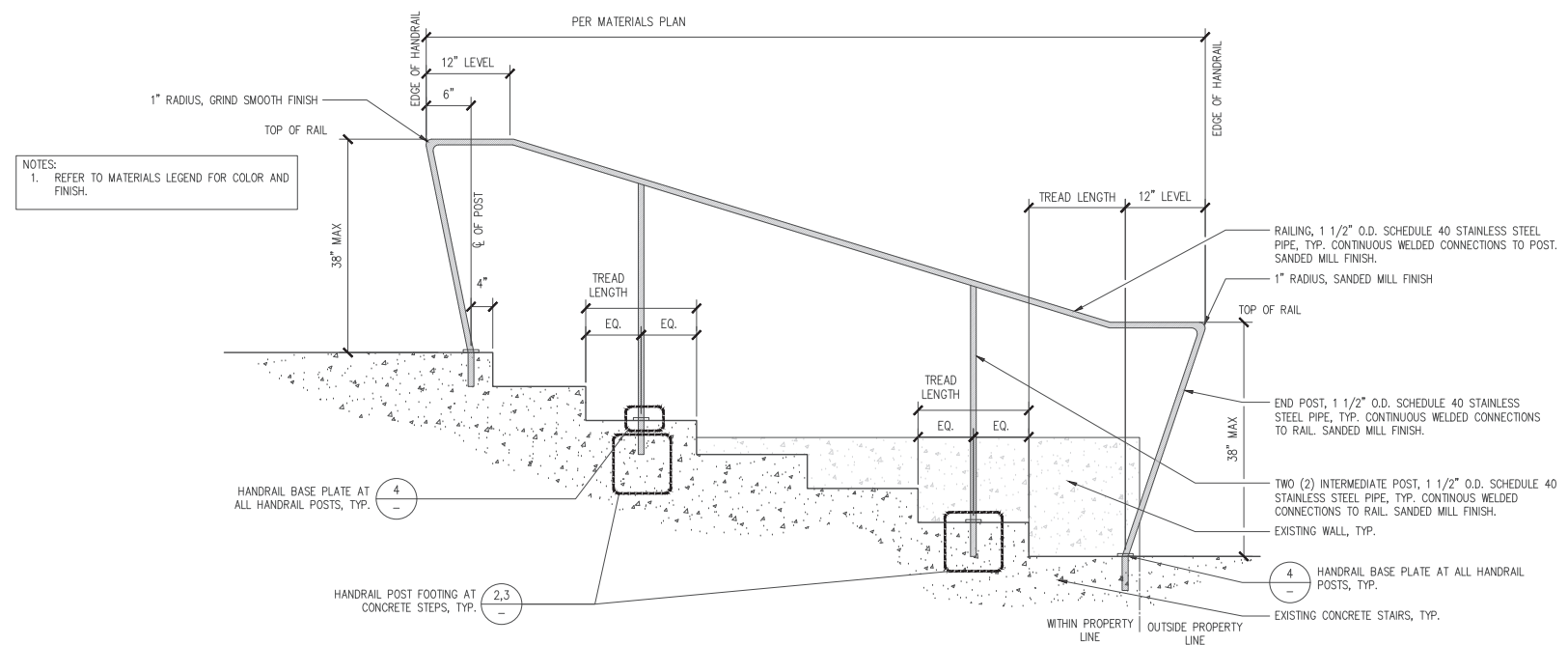
3 HANDRAIL POST FOOTING
SCALE: 3"=1'-0"



2 HANDRAIL POST EMBEDMENT AT STAIRS
SCALE: 3"=1'-0"



4 HANDRAIL BASE PLATE
SCALE: ACTUAL SIZE



1 HANDRAIL AT STAIRS
SCALE: 1"=1'-0"



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PHASE:
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SCALE:

SHEET TITLE:
**LANDSCAPE
DETAILS**

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L1.03

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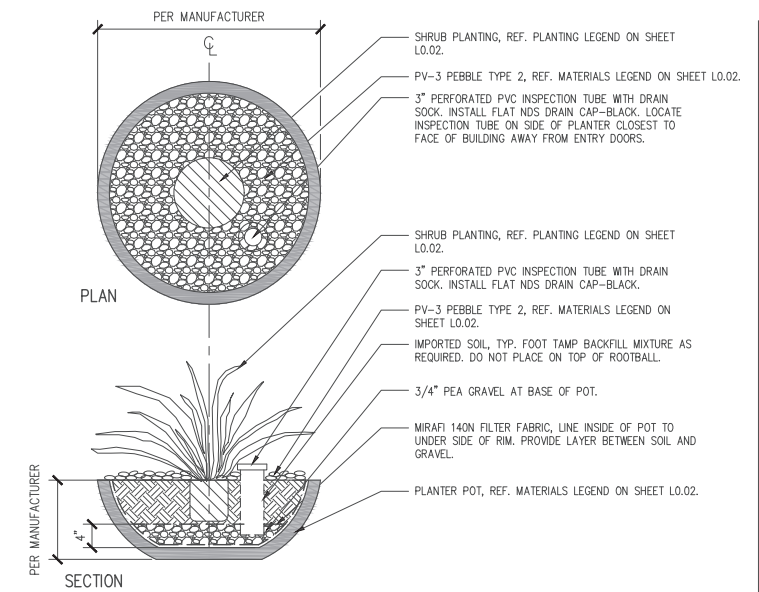
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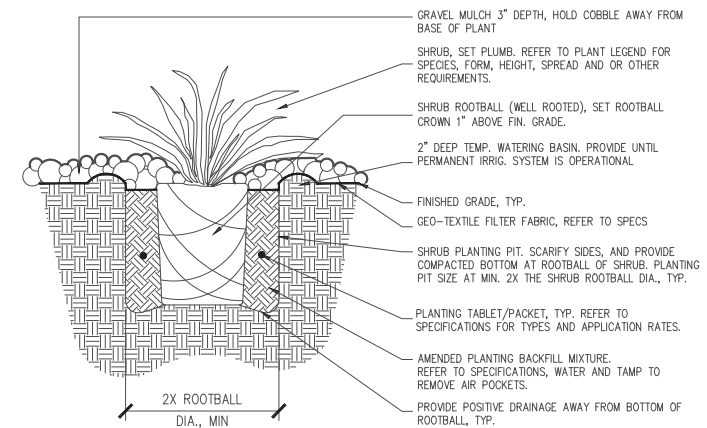
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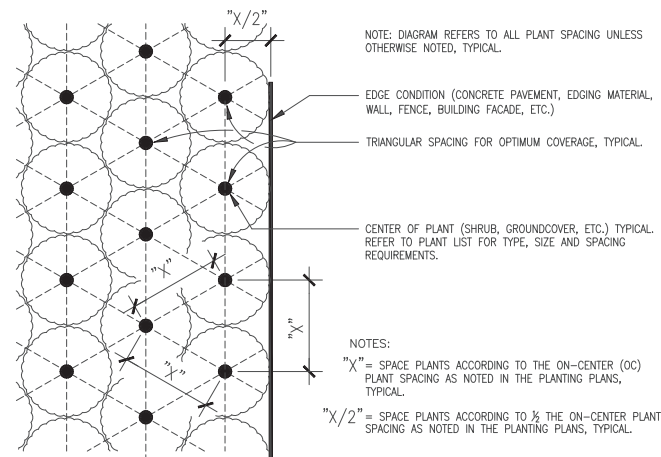
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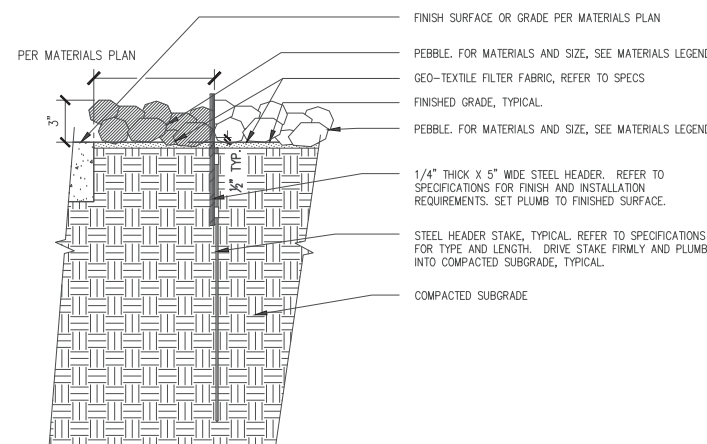
3 SHRUB IN PLANTER POT
SCALE: 1"=1'-0"



2 SHRUB PLANTING AT PEBBLES
N.T.S.



4 TRIANGULAR SPACING DIAGRAM
N.T.S.



1 STEEL HEADER AT PEBBLE
N.T.S.



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SHEET TITLE:
**LANDSCAPE
DETAILS**

SHEET NUMBER:
L1.04
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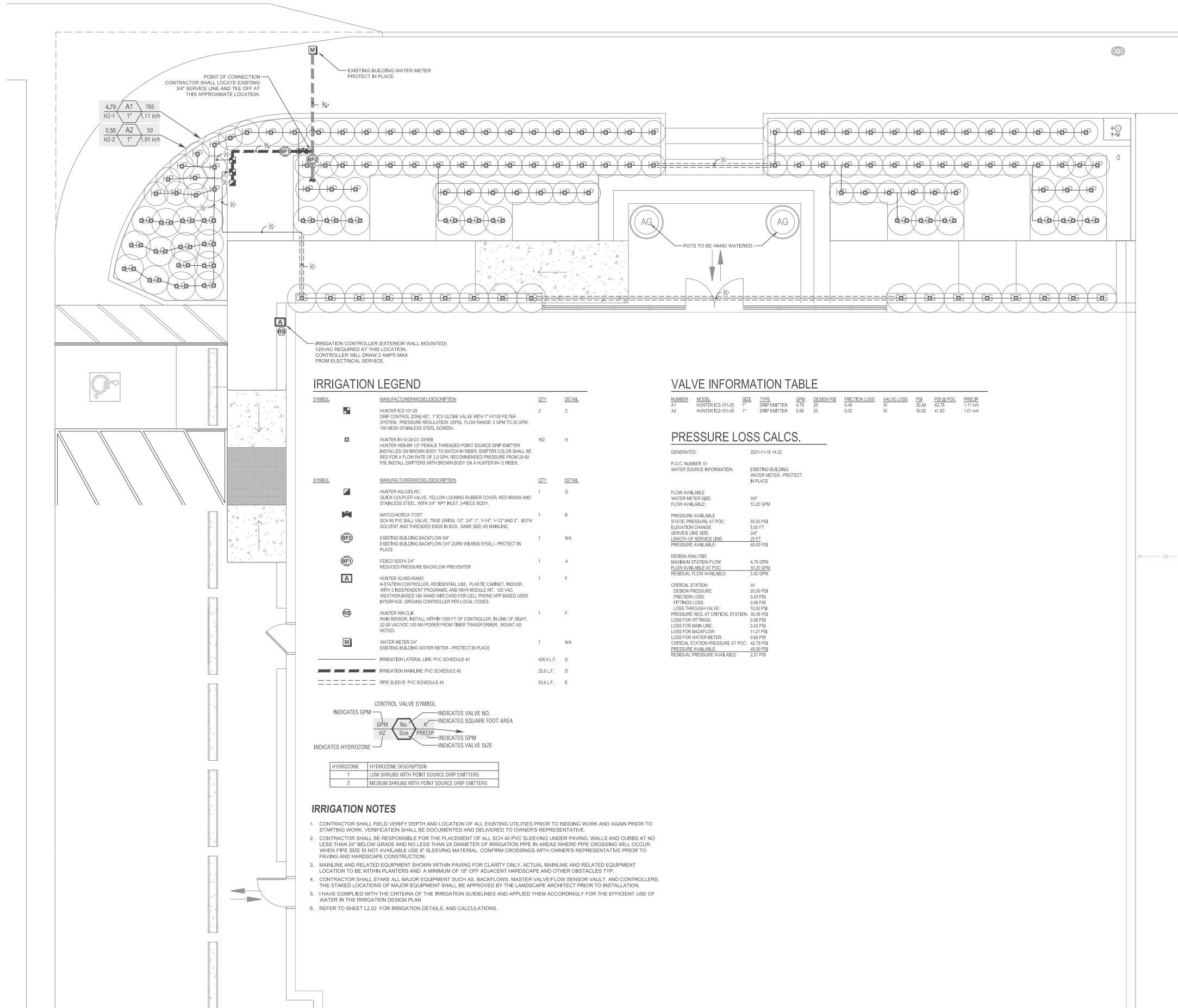
PROJECT NUMBER:
 EPSN101
PHASE:
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DATE:
 11.29.2021
SCALE:
 1/4"=1'-0"

SHEET TITLE:
 IRRIGATION
 PLAN

SHEET NUMBER:
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L2.01

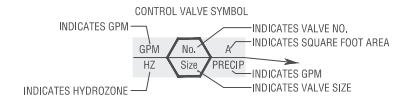
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4.79	A1	765
HZ-1	1"	1.11 in/h
0.56	A2	50
HZ-2	1"	1.01 in/h

IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
[Symbol]	HUNTER IZ-101-25 DRIP CONTROL ZONE KIT, 1" CY GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION: 29PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	2	C
[Symbol]	HUNTER H-1530-CV 20#E8 HUNTER HEISER 1/2" FEMALE THREADED POINT SOURCE DRIP EMITTER INSTALLED ON BROWN BODY TO MATCH H1 REBER. EMITTER COLOR SHALL BE RED FOR A FLOW RATE OF 2.0 GPM. RECOMMENDED PRESSURE FROM 20-50 PSI. INSTALL EMITTERS WITH BROWN BODY ON A HUNTER H-12 RISER.	162	H
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
[Symbol]	HUNTER HQ33DRIC QUICK COUPLER VALVE, YELLOW LOOKING RUBBER COVER, RED BRASS AND STAINLESS STEEL, WITH 3/4" NPT INLET, 2-PRECE BODY.	1	G
[Symbol]	MATCO-NORCA 772ST SCH 80 PVC BALL VALVE, TRUE UNDN. 1/2", 3/4", 1", 1-1/4" AND 2". BOTH SOLVENT AND THREADED ENDS IN BOX, SAME SIZE AS MAINLINE.	1	B
[Symbol]	EXISTING BUILDING BACKFLOW 3/4" EXISTING BUILDING BACKFLOW (3/4" ZURN WJ43NS 975AL) - PROTECT IN PLACE	1	NA
[Symbol]	FEBCO 825YA 3/4" REDUCED PRESSURE BACKFLOW PREVENTER	1	A
[Symbol]	HUNTER X2-800-WAND 8-STATION CONTROLLER, RESIDENTIAL USE. PLASTIC CABINET, INDOOR, WITH 3 INDEPENDENT PROGRAMS, AND WA-FI MODULE KIT. 120 VAC. WEATHER-BASED VIA WAND WFI CARD FOR CELL PHONE APP BASED USER INTERFAC. GROUND CONTROLLER PER LOCAL CODES.	1	F
[Symbol]	HUNTER WR-1-K RAIN SENSOR. INSTALL WITHIN 1000 FT OF CONTROLLER. IN LINE OF SIGHT. 22.28 VAC/DC. 100 MA POWER FROM TIMER TRANSFORMER. MOUNT AS NOTED.	1	F
[Symbol]	WATER METER 3/4" EXISTING BUILDING WATER METER - PROTECT IN PLACE	1	NA
[Symbol]	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	426.4 LF.	D
[Symbol]	IRRIGATION MAINLINE: PVC SCHEDULE 40	25.0 LF.	D
[Symbol]	PIPE SLEEVE: PVC SCHEDULE 40	55.6 LF.	E



HYDROZONE	HYDROZONE DESCRIPTION
1	LOW SHRUBS WITH POINT SOURCE DRIP EMITTERS
2	MEDIUM SHRUBS WITH POINT SOURCE DRIP EMITTERS

IRRIGATION NOTES

- CONTRACTOR SHALL FIELD VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO BIDDING WORK AND AGAIN PRIOR TO STARTING WORK. VERIFICATION SHALL BE DOCUMENTED AND DELIVERED TO OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLACEMENT OF ALL SCH 40 PVC SLEEVING UNDER PAVING, WALLS AND CURBS AT NO LESS THAN 24" BELOW GRADE AND NO LESS THAN 2X DIAMETER OF IRRIGATION PIPE IN AREAS WHERE PIPE CROSSING WILL OCCUR. WHEN PIPE SIZE IS NOT AVAILABLE USE 6" SLEEVING MATERIAL. CONFIRM CROSSINGS WITH OWNER'S REPRESENTATIVE PRIOR TO PAVING AND HARDSCAPE CONSTRUCTION.
- MAINLINE AND RELATED EQUIPMENT SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL MAINLINE AND RELATED EQUIPMENT LOCATION TO BE WITHIN PLANTERS AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES TYP.
- CONTRACTOR SHALL STAKE ALL MAJOR EQUIPMENT SUCH AS, BACKFLOWS, MASTER VALVE/FLOW SENSOR VAULT, AND CONTROLLERS. THE STAKED LOCATIONS OF MAJOR EQUIPMENT SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.
- REFER TO SHEET L2.02 FOR IRRIGATION DETAILS, AND CALCULATIONS.

VALVE INFORMATION TABLE

NUMBER	MODEL	SIZE	TYPE	GPM	DESIGN PSI	FRICTION LOSS	VALVE LOSS	PSI	PSI @ POC	PRECIP
A1	HUNTER IZ-101-25	1"	DRIP EMITTER	4.79	20	0.49	10	30.49	42.79	1.11 in/h
A2	HUNTER IZ-101-25	1"	DRIP EMITTER	0.56	20	0.02	10	30.02	41.83	1.01 in/h

PRESSURE LOSS CALCS.

GENERATED: 2021-11-18 14:22
 P.O.C. NUMBER: 01
 WATER SOURCE INFORMATION: EXISTING BUILDING WATER METER - PROTECT IN PLACE

FLOW AVAILABLE: 4.79 GPM
 WATER METER SIZE: 3/4"
 FLOW AVAILABLE: 10.20 GPM

DESIGN ANALYSIS
 MAXIMUM STATION FLOW: 4.79 GPM
 FLOW AVAILABLE AT POC: 10.20 GPM
 RESIDUAL FLOW AVAILABLE: 5.42 GPM

CRITICAL STATION: A1
 DESIGN PRESSURE: 20.00 PSI
 FRICTION LOSS: 0.43 PSI
 FITTINGS LOSS: 0.18 PSI
 LOSS THROUGH VALVE: 10.00 PSI
 PRESSURE REQ. AT CRITICAL STATION: 30.49 PSI
 LOSS FOR FITTING: 0.18 PSI
 LOSS FOR MAIN LINE: 0.43 PSI
 LOSS FOR BACKFLOW: 11.21 PSI
 LOSS FOR WATER METER: 0.18 PSI
 CRITICAL STATION PRESSURE AT POC: 42.79 PSI
 PRESSURE AVAILABLE: 45.00 PSI
 RESIDUAL PRESSURE AVAILABLE: 2.21 PSI



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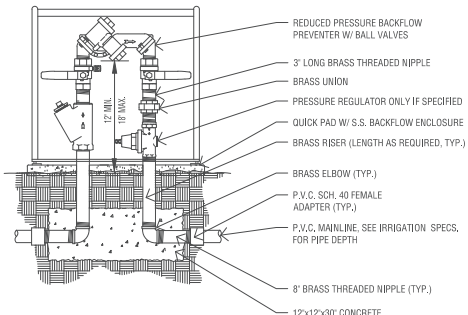
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 EPSN101
 PHASE:
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 SCALE:
 NTS

SHEET TITLE:
**IRRIGATION
 DETAILS**

SHEET NUMBER:
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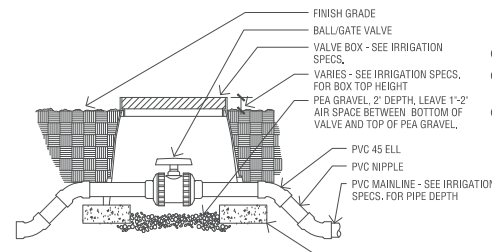
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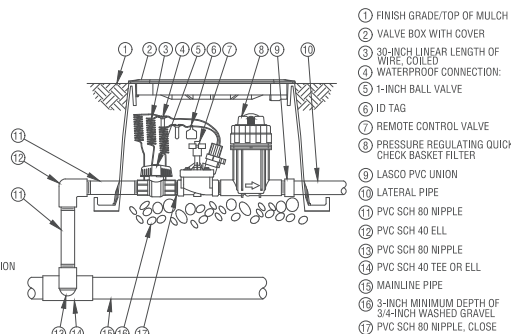
- NOTES:**
1. ALL RISER, UNIONS, ELBOWS AND NIPPLES SHALL BE RED BRASS.
 2. CLOSE NIPPLES SHALL NOT BE USED
 3. EQUIPMENT TO BE INSTALLED A MIN. OF 12" FROM WALLS, BUILDINGS, ETC.
 4. INSTALL AND TEST BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES & HEALTH DEPT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.
 5. INSTALL ASSEMBLY IN SHRUB AREA ONLY 3" FROM WALKS AND PLANTING EDGES TO ALLOW FOR SCREENING.

A BACKFLOW PREVENTER
 N.T.S.



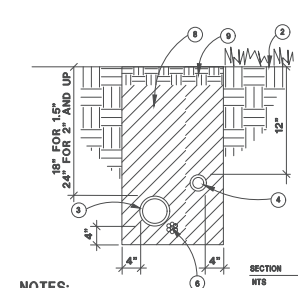
- NOTES:**
1. FITTINGS MAY DIFFER THAN THOSE SHOWN IN DETAIL.
 2. INSTALL IN SHRUB AREAS ONLY AND A MINIMUM OF 12" FROM PLANTER EDGE

B BALL VALVE
 N.T.S.



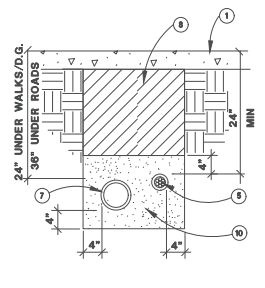
- PIPE/SLEEVE LEGEND:**
- 1 PAVING
 - 2 FINISH GRADE
 - 3 PVC MAINLINE (FOR NON-POTABLE USE PURPLE PIPE WITH WORDS "RECYCLED WATER DO NOT DRINK")
 - 4 PVC LATERAL LINE (FOR NON-POTABLE USE PURPLE PIPE WITH WORDS "RECYCLED WATER DO NOT DRINK")
 - 5 CONTROL WIRES OR CON. CABLE IN CONDUIT
 - 6 CONTROL WIRES OR CON. CABLE
 - 7 SLEEVE FOR MAINLINE AND/OR LATERAL LINE
 - 8 FINE GRANULAR BACKFILL (1/2" MAX. DIA.)
 - 9 TOPSOIL
 - 10 SAND

C DRIP CONTROL ZONE KIT
 N.T.S.

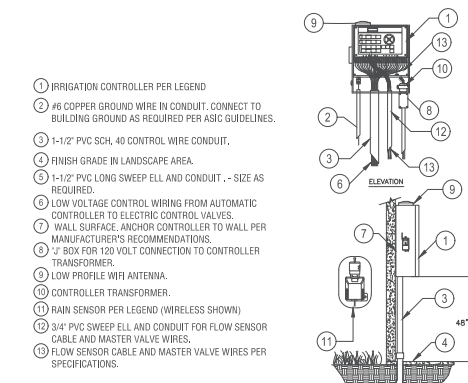


- NOTES:**
1. TAPE AND SUTURE 24 V. WIRES @ 10' INTERVALS.
 2. MINIMUM DEPTH OF 24 V. WIRES SHALL BE 18" BELOW GRADE.
 3. TRENCH WIDTH ALLOW 4" MIN. CLEARANCE BETWEEN PARALLEL PIPES.
 4. SHAPE PIPES FROM SIDE TO SIDE WITHIN TRENCH TO ALLOW FOR MOVEMENT.
 5. TIE A 20" LOOP IN ALL WIRING AT CHANGES OF DIRECTION UNITE PRIOR TO BACKFILLING TRENCHES.
 6. PROVIDE TRENCH BLOCKS PER APTA STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION DETAIL 506-1 EXCEPT THAT TRENCH BLOCKS SHALL BE PROVIDED FOR ALL PIPES 2" AND LARGER.

D PIPE INSTALLATION
 N.T.S.

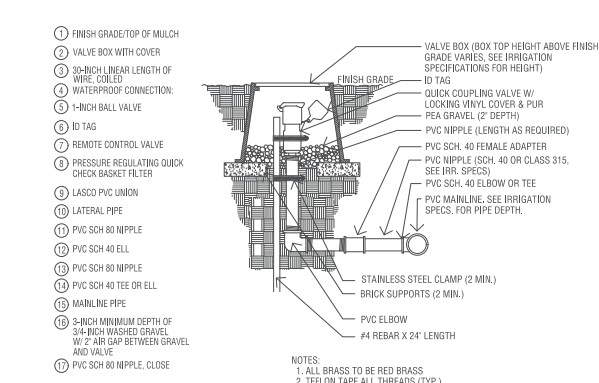


E UNDER PAVING PIPE INSTALLATION
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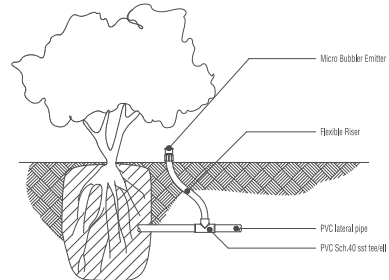
- NOTES:**
- 1 IRRIGATION CONTROLLER PER LEGEND
 - 2 #6 COPPER GROUND WIRE IN CONDUIT. CONNECT TO BUILDING GROUND AS REQUIRED PER ASIC GUIDELINES.
 - 3 1-1/2" PVC SCH. 40 CONTROL WIRE CONDUIT.
 - 4 FINISH GRADE IN LANDSCAPE AREA.
 - 5 1-1/2" PVC LONG SWEEP ELL AND CONDUIT. - SIZE AS REQUIRED.
 - 6 LOW VOLTAGE CONTROL WIRING FROM AUTOMATIC CONTROLLER TO ELECTRIC CONTROL VALVES.
 - 7 WALL SURFACE. ANCHOR CONTROLLER TO WALL PER MANUFACTURER'S RECOMMENDATIONS.
 - 8 2" BOX FOR 120 VOLT CONNECTION TO CONTROLLER TRANSFORMER.
 - 9 LOW PROFILE WIFI ANTENNA.
 - 10 CONTROLLER TRANSFORMER.
 - 11 RAIN SENSOR PER LEGEND (WIRELESS SHOWN)
 - 12 3/4" PVC SWEEP ELL AND CONDUIT FOR FLOW SENSOR CABLE AND MASTER VALVE WIRES.
 - 13 FLOW SENSOR CABLE AND MASTER VALVE WIRES PER SPECIFICATIONS.

F INTERIOR MOUNT. WEATHER-BASED CONTROLLER
 N.T.S.



- NOTES:**
1. ALL BRASS TO BE RED BRASS
 2. TIE-ON TAPE ALL THREADS (TYP.)

G QUICK COUPLER VALVE
 N.T.S.



H DRIP EMITTER ON FLEX RISER
 N.T.S.

GENERAL IRRIGATION NOTES

1. ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
3. THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
4. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
5. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
6. ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
7. CONTRACTOR SHALL STAKE ALL MAJOR EQUIPMENT SUCH AS, BACKFLOWS, MASTER VALVE/FLOW SENSOR VAULT, AND CONTROLLERS. THE STAKED LOCATIONS OF MAJOR EQUIPMENT SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

2015 MWELO WATER EFFICIENT LANDSCAPE WORKSHEET

Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method	ETAF Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	
Regular Landscape Areas								
#1 low shrub	0.2	Drip	0.81	0.25	765	188.89	8,326.60	
#2 med shrub	0.4	Drip	0.81	0.49	50	24.69	1,088.44	
Totals						815	213.58	9,415.04
Special Landscape Areas								
				1	0	0.00	0.00	
Totals						0	0.00	0.00
ETWU Total						9,415.04		
Maximum Allowed Water Allowance (MAWA)						16,167.07		

* Refer to legend for Hydrozone description.
 $ETWU \text{ (Annual Gallons Required)} = Eto \times 0.62 \times ETAF \times Area$
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.
 $MAWA \text{ (Annual Gallons Allowed)} = (Eto) \times (0.62) [(ETAF \times LA) + ((1-ETAF) \times SLA)]$
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas	Total ETAF x Area
214	214
815	815
Average ETAF	0.26

All Landscape Areas Including SLA

Total ETAF x Area
213.58
815
Average ETAF
0.26

IRRIGATION SCHEDULE (MINUTES)

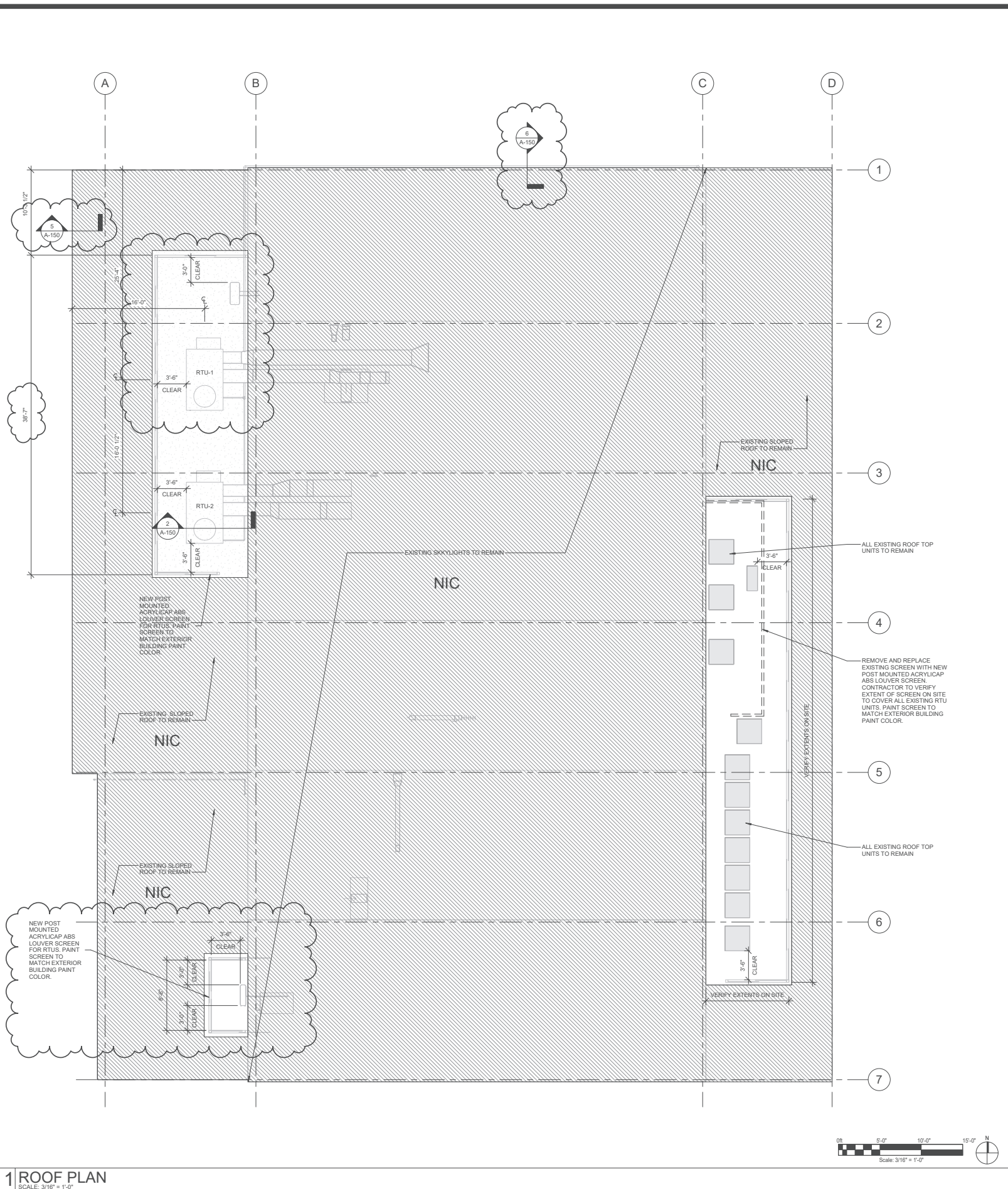
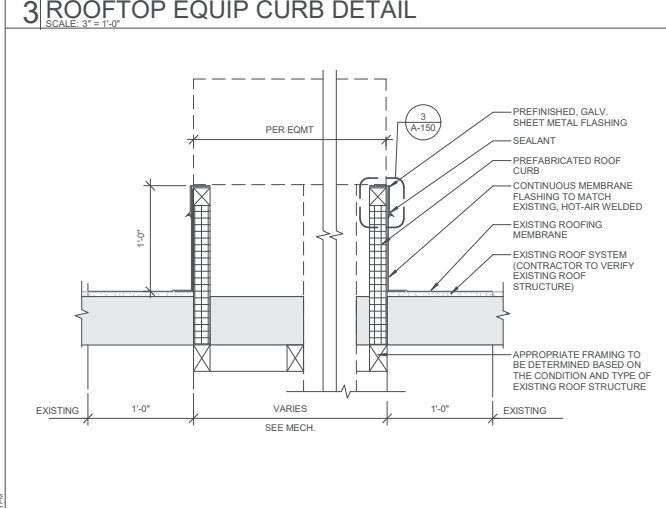
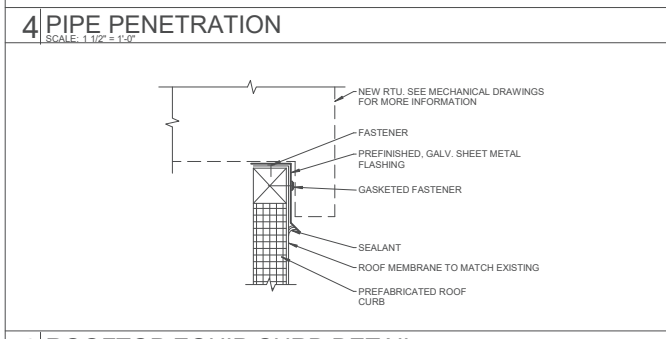
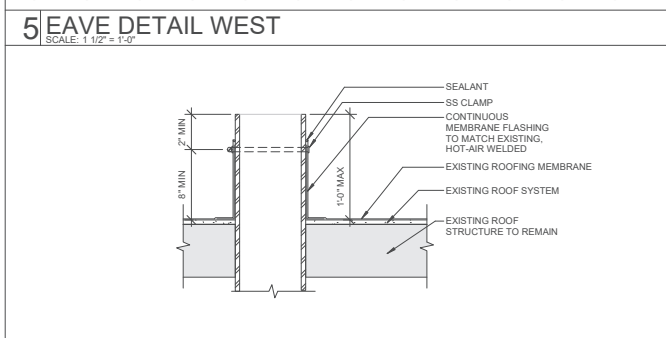
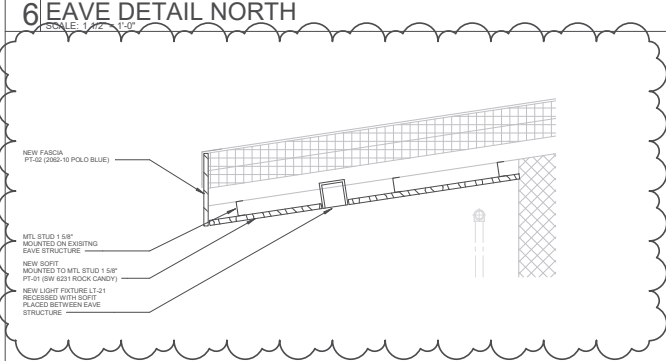
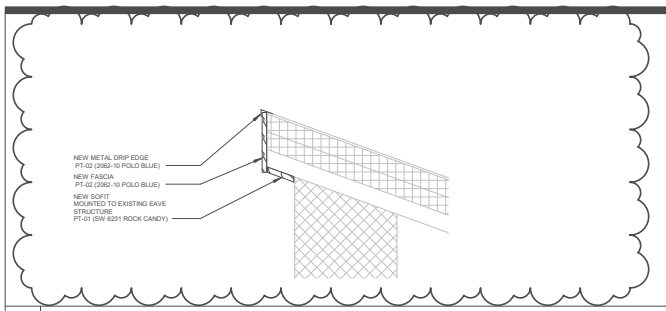
CYCLES PER WEEK - SHRUB	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC
TURF CROP COEFFICIENT	.61	.64	.75	1.04	.95	.88	.94	.86	.74	.75	.69	.60
CYCLES PER WEEK-TREE	1	1	2	2	2	3	3	3	3	2	1	1
ETD DAILY AVERAGE	.07	.09	.12	.16	.17	.24	.25	.24	.20	.12	.09	.07

IRRIGATION RUN TIMES

Hydrozone	PLANT TYPE	Water Usage	Kc	SPRINKLER TYPE	EXPOSURE	EXPO FACTOR	PRECIP (in/hr)	SPKLR EFFIC.	ROOT DEPTH (in)	RUN TIME MULTIPLIER	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	
1	SHRUB	LOW	0.20	SPR	FULL SUN	100%	1.50	81%	6	1.23	7	8	8	8	8	8	8	8	8	6	6	7	
2	SHRUB	MEDIUM	0.40	DRIP	FULL SUN	100%	1.00	81%	6	1.23	15	19	12	17	18	17	17	17	17	14	12	19	15



GLASIR DESIGN
 Irrigation Consulting
 CEDM6008-glasirdesign.com



2 ROOFTOP EQUIP CURB AT EQUIP
SCALE: 1 1/2" = 1'-0"

1 ROOF PLAN
SCALE: 3/16" = 1'-0"

LEGEND:

- EXISTING CONDITIONS
- PROPOSED WORK
- NOT IN CONTRACT (N.I.C.)
- EXISTING BUILDING AREA TO REMAIN
- (E) EXISTING
- (N) NEW

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10	2021.11.30	ISSUE FOR PERMIT REVISION
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4	2021.05.26	ISSUE FOR BID ADDENDUM 1
3	2021.05.13	ISSUE FOR PERMIT
2	2021.04.16	ISSUE FOR PERMIT AND BID
1	2021.04.09	ISSUE FOR REVIEW

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PROJECT NUMBER: 21108
PROJECT MANAGER: A. PAPE
PA I.P.E.: P. RAO
DRAWN BY: A. DAVIS
CHECKED BY: L. CHANDLER

ROOF PLAN

MEP / FP Engineer **Architect of Record** **Owner** **Project**

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- GENERAL NOTES:**
- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS. IN THE EVENT THAT DISCREPANCIES ARE NOTED BETWEEN THE SITE CONDITIONS AND THE PROJECT DOCUMENTS, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
 - REFER TO SHEET A-900 FOR DOOR SCHEDULE INFORMATION.
 - REFER TO FINISH SCHEDULE ON SHEET A-250 FOR ADDITIONAL INFORMATION.
 - ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PALM SPRINGS MUNICIPAL CODE AND 2019 CALIFORNIA BUILDING CODE AND ALL OTHER CODES WHICH MAY HAVE AUTHORITY OVER THIS PROJECT. PROVIDE ALL NECESSARY SAFEGUARDS, BARRIERS, TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC., AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
 - ALL WOOD MATERIALS, INCLUDING FRAMING, BLOCKING, AND PLYWOOD, SHALL BE FIRE RETARDANT TREATED, U.N.O. ALL BLOCKING FOR WINDOW AND DOOR FRAMES AT EXTERIOR WALL SHALL BE FIRE TREATED.
 - ALL VERTICAL DIMENSIONS ARE ABOVE THE FINISHED FLOOR, U.N.O.
 - ALL FIRE RATED CONSTRUCTION AND SMOKE PARTITIONS SHALL BE FULLY SEALED TO THE STRUCTURE ABOVE. ALL PENETRATIONS IN FIRE RATED CONSTRUCTION AND SMOKE PARTITIONS SHALL BE FULLY FIRESTOPPED.
 - WHERE PARTITIONS MEET THE EXTERIOR CURTAIN WALL, ALL PARTITIONS SHALL BE LOCATED AT THE MULLION CENTERLINE, U.N.O.
 - REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
 - REFER TO SHEETS CA-201 AND CA-202 FOR EXISTING CONDITIONS AND MOVING HEIGHTS.
 - ALL TRIM AND FASCIA TO BE REPLACED AS NEEDED. PAINT PT-02 TYP.
 - ALL EXPOSED CONDUIT TO BE BURIED IN WALL OR IF ABANDONED, REMOVED, PATCHED AND REPAIRED AS REQ.

LEGEND:

- INSULATED TEMPERED GLAZING
- NEW STUCCO
- EXISTING CONDITIONS
- PROPOSED WORK

EXTERIOR ELEVATION KEY NOTES

NOTE	DESCRIPTION
AE1	REMOVE EXISTING STUCCO. PATCH/REPAIR EXISTING SUBSTRATE. APPLY NEW STUCCO. ALL STUCCO TO BE PAINTED PT-01 (SW 6231 ROCK CANDY).
AE2	REMOVE EXISTING SIDING BOARD ON EXISTING WINDOWS TO BE REPLACED WITH NEW FIBERBOARD.
AE3	REMOVE SIDING BOARD ON EXISTING WINDOWS. PATCH WITH NEW STUCCO. ALL STUCCO TO BE PAINTED PT-01(SW 6231 ROCK CANDY). CONTRACTOR TO VERIFY EXTENT OF WINDOWS ON SITE.
AE5	STRAIGHT LINED FABRIC AWNING SHOWN IN SHADING PLAN SHALL BE PERMITTED UNDER A SEPARATE PERMIT.
AE7	REMOVE EXISTING WALL PAC. REPLACE WITH NEW WALL PAC.
AE8	EXISTING ADA PARKING SIGNAGE AND UNAUTHORIZED PARKING WARNING SIGNS TO REMAIN.
AE9	NEW POST MOUNTED ACRYLIC ABS LOUVERED RTU SCREEN TO BE PAINTED TO PT-01 (SW 6231 ROCK CANDY).
AE10	EXISTING PAINTED CMU TO REMAIN AND PAINTED TO PT-01 (SW 6231 ROCK CANDY).
AE12	NEW ADA PARKING SIGNAGE AND UNAUTHORIZED PARKING SIGN.
AE13	EXISTING ADA PARKING SIGNAGE AND UNAUTHORIZED PARKING WARNING SIGNS TO REMAIN.
AE16	NEW STOREFRONT WITH ALUMINUM FRAME AND INSULATED TEMPERED GLASS. GLAZING TO RECEIVE CLEAR WINDOW FILM WF-01 ON THE INTERIOR SIDE.
AE17	NEW POST MOUNTED ACRYLIC ABS LOUVERED SCREEN TO COVER ALL EXISTING ROOFTOP RTU UNITS. CONTRACTOR TO VERIFY EXACT LOCATION AND EXTENT ON SITE. REMOVE EXISTING SCREEN AT THE EAST SIDE OF THE SCREENS TO BE PAINTED TO PT-01 (SW 6231 ROCK CANDY).
AE21	PAINT EXISTING DOORS WITH PT-01 (SW 6231 ROCK CANDY).

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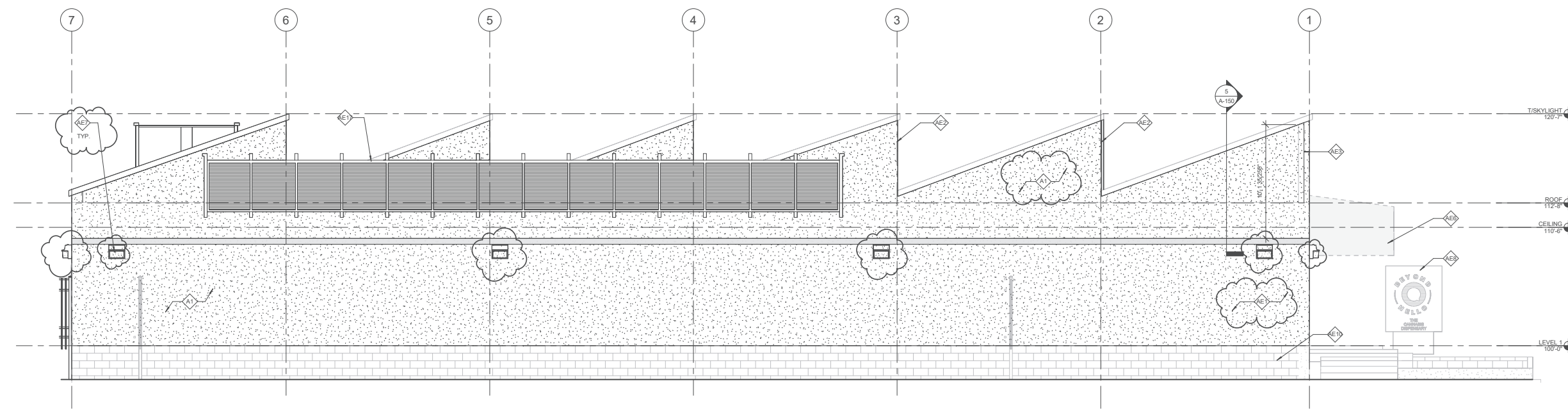
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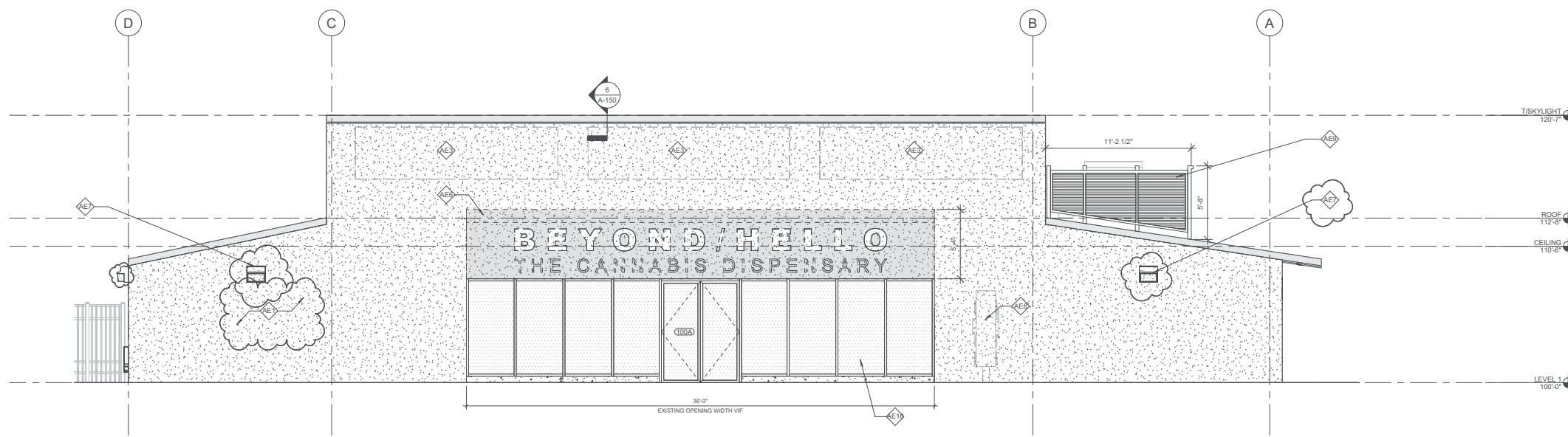
PROJECT NUMBER: 21108
PROJECT MANAGER: A. PAPE
PA I, PE: P. RAO
DRAWN BY: A. DAVIS
CHECKED BY: L. CHANDLER

BUILDING ELEVATIONS

A-300



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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SEAL

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- LEGEND:**
- INSULATED TEMPERED GLAZING
 - NEW STUCCO
 - EXISTING CONDITIONS
 - PROPOSED WORK

EXTERIOR ELEVATION KEY NOTES

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AE6	STRAIGHT LINED FABRIC AWNING SHOWN DASHED FOR CLARITY. IT WILL BE PERMITTED TO BE A SEPARATE PERMIT.
AE7	REMOVE EXISTING WALL PACK. REPLACE WITH NEW WALL PACK.
AE8	UNAUTHORIZED SIGNAGE BY OWNER AND UNAUTHORIZED SIGNAGE BY OWNER.
AE9	NEW POST MOUNTED ACRYLIC/ABS LOUVERED RTU SCREEN TO BE PAINTED TO PT-01 (SW 6231 ROCK CANDY).
AE10	EXISTING PAINTED CMU TO REMAIN AND PAINTED TO PT-01 (SW 6231 ROCK CANDY).
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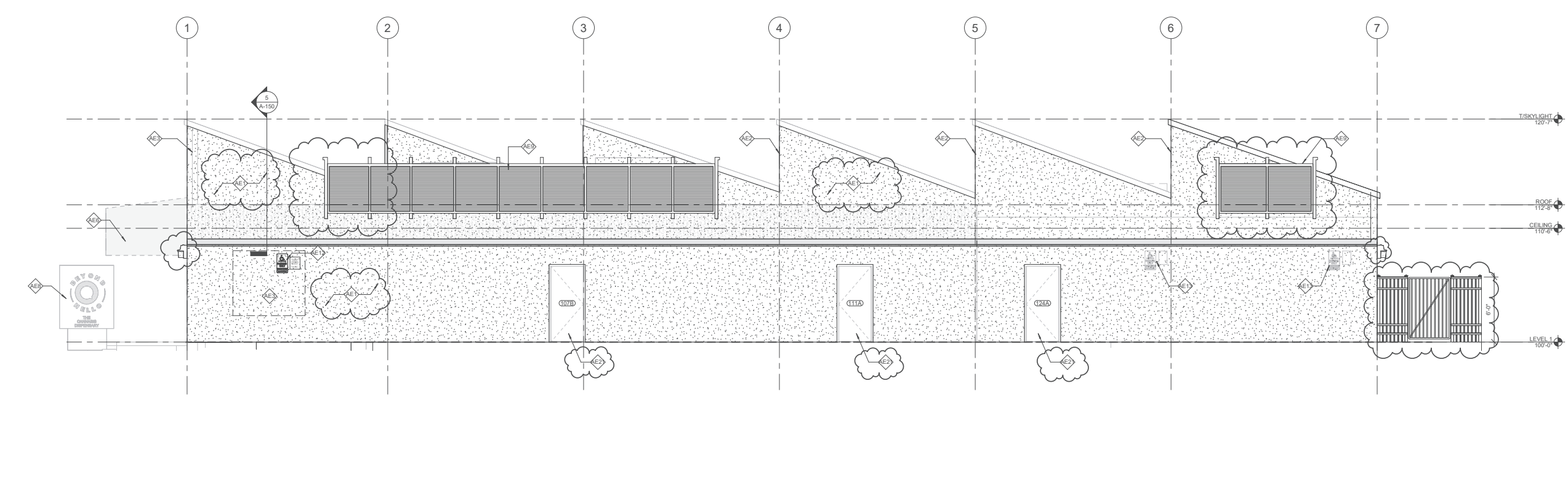
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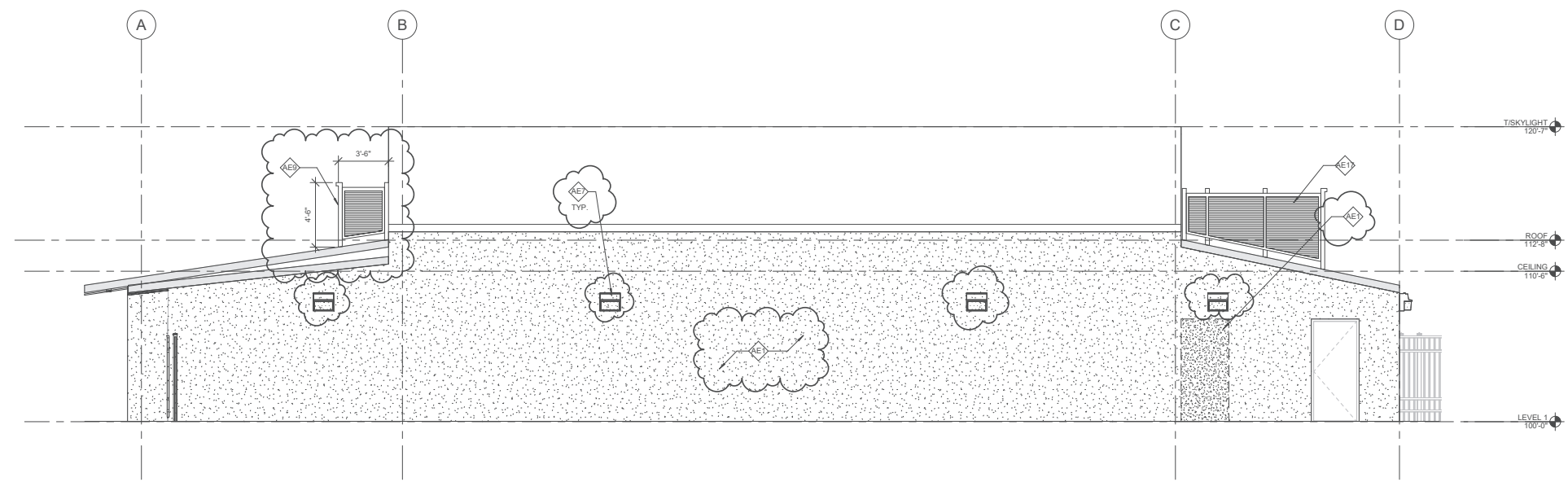
PROJECT NUMBER: 21108
 PROJECT MANAGER: A. PAPE
 PA I.P.E.: P. RAO
 DRAWN BY: A. DAVIS
 CHECKED BY: L. CHANDLER

BUILDING ELEVATIONS

A-301



2 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

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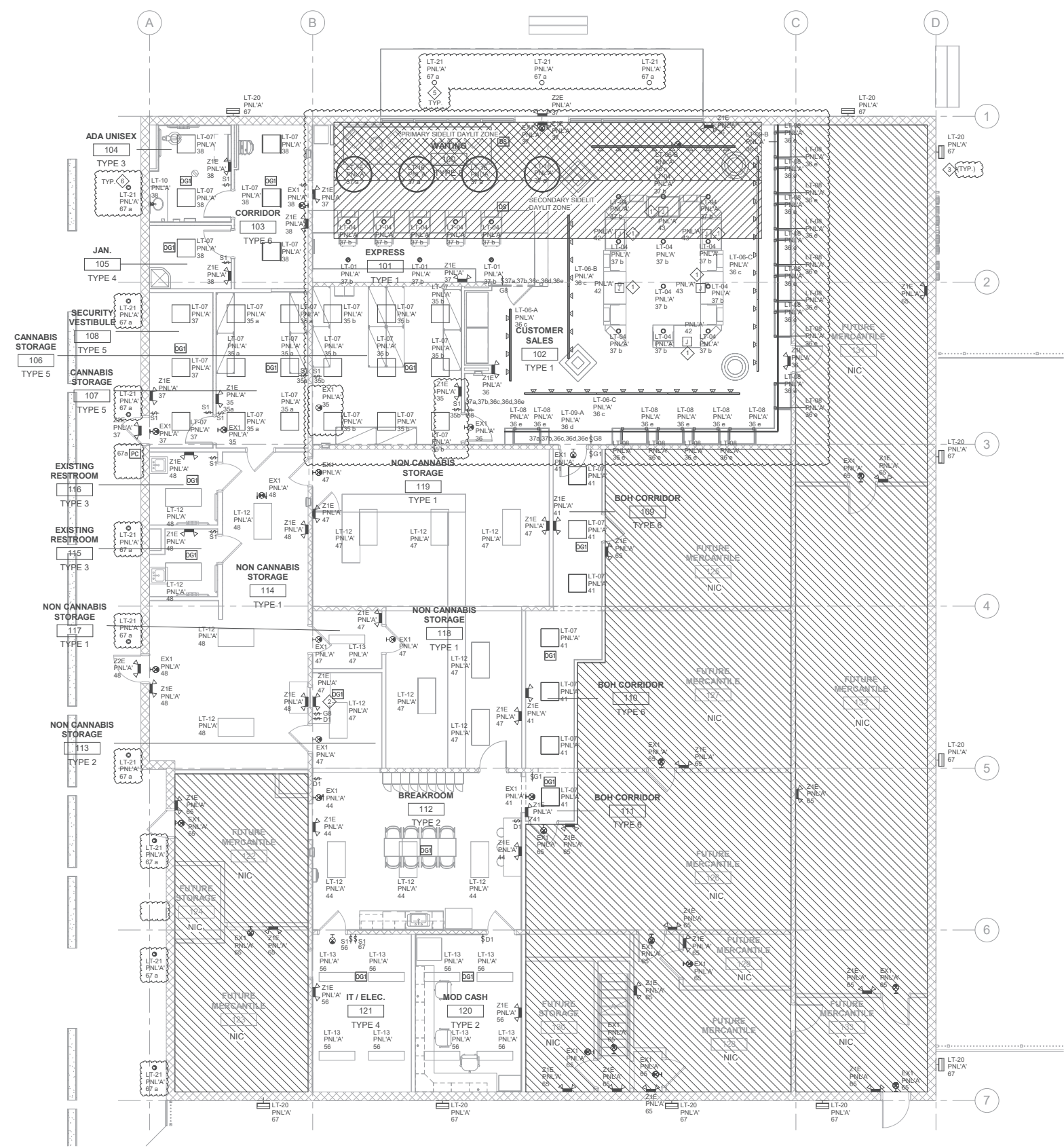
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SEAL



- LIGHTING GENERAL NOTES:**
- RELAY PANEL WITH DIGITAL TIME CLOCK CONTROLS SHALL CONTROL LIGHTING IN THE FOLLOWING SPACES:
 A. 100 WAITING
 B. 101 EXPRESS
 C. 102 CUSTOMER SALES
 D. 111 EXISTING LOBBY
 E. 114 EXISTING SALES
 F. 114A EXISTING SALES
 G. 116 EXISTING HALL
 - ALL AREAS WITH TIME CLOCK MUST BE EQUIPPED WITH PROGRAMMABLE OVERRIDE SWITCH.
 - EMERGENCY BATTERY LIGHTS AND EXIT SIGNS SHALL BE WIRED AHEAD OF ANY CONTROL DEVICES. REFER TO SHEET E-500 FOR MORE DETAILS ON LIGHTING CONTROLS AND LIGHTING FIXTURES.
 - EXIT SIGNS, LIGHTING FIXTURES AND LIGHTING CONTROL DEVICES ARE NEW UNLESS OTHERWISE NOTED.
 - EXISTING LIGHTING FIXTURES TO REMAIN IN EXISTING ROOMS:
 A. 111 EXISTING LOBBY
 B. 112 EXISTING RESTROOM
 C. 113 EXISTING RESTROOM
 D. 114 EXISTING SALES
 E. 114A EXISTING SALES
 F. 116 EXISTING HALL
 G. 117 EXISTING RECEPTION
 H. 121 BREAK ROOM
 I. 122 MOD CASH
 J. 123 IT/ELEC
 - MANUAL OVERRIDE SWITCHES WHICH ARE NOT LOCATED IN THE SAME ROOM AS ASSOCIATED LIGHTS THEY CONTROL SHALL INDICATE THE CURRENT STATE OF THE CONTROLLED LIGHTING PER CA TITLE 24 SECTION 5.4.1.1.
 - PER TITLE 24, OUTDOOR AUTOMATIC SCHEDULING CONTROLS ARE REQUIRED TO HAVE ACCEPTANCE TEST CONDUCTED TO CONFIRM THE APPROPRIATE SCHEDULES ARE PROGRAMMED AND CONTROLS HAVE BEEN ENABLED. ONLY LIGHTING CONTROL PRODUCTS AS REQUIRED BY THE TITLE 20 STANDARDS THAT HAVE BEEN CERTIFIED AND LISTED IN ENERGY COMMISSION DIRECTORIES, CAN BE UTILIZED IN THIS PROJECT. THE APPROVED PRODUCTS WILL BE LISTED IN THE CEC'S DIRECTORIES OR IN AN APPLIANCE EFFICIENCY DATABASE.
 - EXISTING LIGHTING SHALL BE TYPE 1 AS INDICATED IN LIGHTING CONTROL MATRIX ON SHEET E-500.

KEYED NOTES

NO.	NOTE
1	PROVIDE ALL AS REQUIRED TO SUPPORT LED LIGHTING INTEGRATED IN MILLWORK. COORDINATE EXACT MOUNTING, LOCATION, CONTROLS AND REQUIREMENTS WITH FURNITURE VENDOR AND/OR ARCHITECT PRIOR TO ANY INSTALLATION. INSTALL PER ALL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. CONTROLS BY VENDOR.
2	LIGHTING CONTROL FOR EXISTING ROOMS: EXISTING LOBBY 111, EXISTING SALES 114, EXISTING SALES 114A, EXISTING HALL 116, EXISTING RECEPTION 117.
3	REPLACE EXISTING WALL SCONCE FIXTURE WITH LT-20. CONNECT TO BUILDING RELAY PANEL FOR TIMECLOCK OVERRIDE. EC TO CONFIRM THE TIMECLOCK SETTING WITH THE OWNER.
5	REPLACE EXISTING DOWNLIGHT FIXTURE WITH LT-21. CONNECT TO BUILDING RELAY PANEL FOR TIMECLOCK OVERRIDE. EC TO CONFIRM THE TIMECLOCK SETTING WITH THE OWNER.
6	REPLACE EXISTING LINEAR LIGHT FIXTURE WITH LT-21. CONNECT TO BUILDING RELAY PANEL FOR TIMECLOCK OVERRIDE. EC TO CONFIRM THE TIMECLOCK SETTING WITH THE OWNER.

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6	2021.11.30	ISSUE FOR PERMIT CYCLE 3
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 PROJECT MANAGER: A. PAPE
 PA I, PE: B. ZARZYCKA-ROJEK
 DRAWN BY: B. ZARZYCKA-ROJEK
 CHECKED BY: J. KUETHER

LEVEL 1 LIGHTING RCP

E-201

Professional Engineer
 E 23324
 State of Illinois

1 ELECTRICAL LIGHTING PLAN
 SCALE: 3/16" = 1'-0"

MEP / FP Engineer: EPSTEIN, 600 W FULTON STREET, CHICAGO, IL 60661, 312.454.9100

Architect of Record: EPSTEIN, 600 W FULTON STREET, CHICAGO, IL 60661, 312.454.9100

Owner: JUSHI HOLDINGS INC., 1800 NW CORPORATE BLVD, SUITE 200, BOCA RATON, FL 33431, 1.561.617.9100

Project: BEYONDIHELLO PALMSPRINGS, 4765 E. RAMON ROAD, PALM SPRINGS, CA 92264

Jushi

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WEDGE LED

A Site-Wide Wall-Mounted Lighting Solution

Application-specific Lighting Technologies



Visually Comfortable Optics

Visually comfortable optics create an inviting visual environment at the entryways of the building. Patented reflector technology combined with a recessed diffuse lens produce low surface brightness yet provide good optical control.



Precision Optics

Precision optics provide the desired wide spacing and forward-throw at higher mounting heights. The combination of acrylic refractive lenses and high-power LEDs result in excellent uniformity and low power density.



A Site-Wide Wall-Mounted Lighting Solution

The WDGE LED family was designed to provide optimal wall-mounted lighting solutions for all mounting heights. Using two technologies, these luminaires provide visually comfortable lighting at building entryways and area distributions at higher mounting heights. With clean lines, the WDGE blends seamlessly into any architecture, meeting the everyday lighting needs of engineers and architects alike.

"I want one shape in multiple sizes - for all mounting heights... continuity throughout the site."

"Entryway lighting must be soft and inviting, not glary."

"Luminaires for higher mounting heights need to provide wide spacing and even distribution."

"Emergency egress options to meet code must be fully integrated without bulky back-boxes."

"My architects want simple, geometric shapes with clean lines... nothing that will compete with the architecture of the building."

Engineered with You in Mind

Application	Architect's Needs	Engineer's Needs
Entryway / Pathway Lighting (7'-15' mounting heights)	<ul style="list-style-type: none"> • Create a warm, inviting environment • Blend with building architecture • Quality light with high CRI and choice of CCT 	<ul style="list-style-type: none"> • Low-glare solution • Architect approval of dayform • Emergency egress options • Controls options • Fully configurable with short lead-times
Area / Perimeter Lighting (15'-25' mounting heights)	<ul style="list-style-type: none"> • A true wall-mount solution - no area luminaires with "diving board" look • Site-wide continuity of luminaire shape 	<ul style="list-style-type: none"> • Wide spacing with uniform lighting • Minimize pole-mounted luminaires • Budget-friendly





WDGE4 LED
25,000 lumens
15' - 25' height



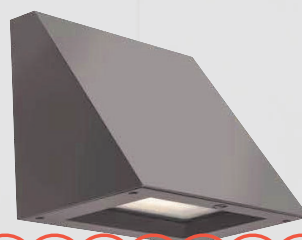
WDGE3 LED
12,000 lumens
10' - 20' height



WDGE2 LED
4,200 lumens
8' - 12' height



Precision Optics



WDGE2 LED
6,000 lumens
8' - 15' height



WDGE1 LED
2,000 lumens
8' - 10' height



LT-20



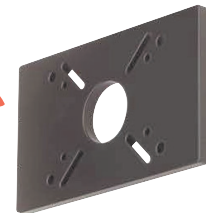
Visually Comfortable Optics



Architectural Wall Spacer



Choose between flush-mount (standard) or the optional architectural wall spacer for a floating appearance.



nLight® AIR Embedded Outdoor Luminaires



Visit www.lithonia.com for more information.

One Lithonia Way, Conyers, GA 30012 | Phone: 800.705.7378 | www.acuitybrands.com
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AcuityBrands

JOB NAME _____

CONTACT _____

ORDERING CODE _____

JA8 ORDERING CODES



NU6" Square Adjustable JA8
Xicato

SERIES	NU6	
TYPE	QA	square adjustable
LED	XTM	Xicato XTM 19mm
DELIVERED LUMENS	10L 13L	860 lm 1120 lm
CCT	27K 30K 35K 40K	2700K 3000K 3500K 4000K
CRI	90	90 CRI
REFLECTOR & LM MULTIPLIER	S20 S30 S60	20° specular (1.00) 30° specular (0.99) 60° specular (0.95)
VOLTAGE	120 277	120V 277V
DIMMING	D10 ELV	standard driver with flicker free 0-10V dimming to 1% leading & trailing edge dimming (Triac/ELV)
MOUNTING OPTIONS	IC	insulation contact housing

ORDERING CODE _____

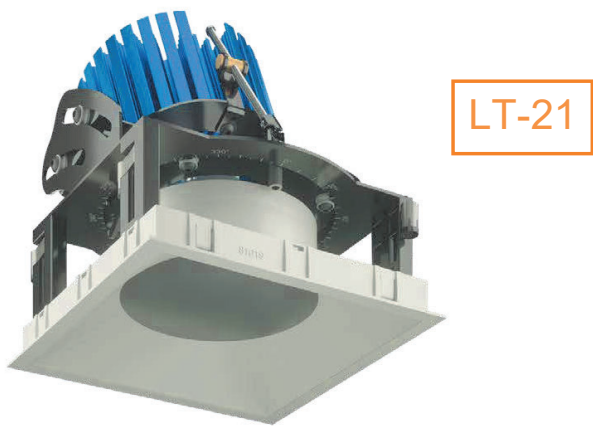
Follow the steps to specify your fixture, example:
NU6QAXTM13L27K90S20120D10IC

NOTES

- 1. JA8 Series fixtures only available in white trim and bezel.

XTM19 (LED)	POWER
DELIVERED LM	W (90 CRI)
860	11
1120	14

Power Factor ≥ 0.9



DESCRIPTION

The NU6QA 6" recessed adjustable by ALPHABET offers premium performance, thoughtful construction and pleasing aesthetics. Offered standard with premium dimming using EldoLED 1% flicker free drivers in 120V, 277V. An adjustable hot-aiming system allows tilt adjustments from 0° to 40° with 360° rotation. The aiming adjustment and locking mechanisms are accessible from below the ceiling while the reflector is installed. A complex tilting mechanism positions the tilting axis for the maximum optical performance at all angles. A minimalistic look is achieved with an ultrathin 1/16" trim that is only 5/16" wide. Color choices of both trim and bezel are offered for a customized look. 5-year FIXTURE WARRANTY.

HOUSING

Electrocoated 16-gauge cold-rolled steel provides enhanced structural reinforcement and rust prevention. Superior, UL-certified, injection-molded commercial-grade Lexan™ (PC) is used for the frame and regressed bezel trim. Lexan provides unmatched durability and impact resistance, and is tested for UV resistance and water exposure in outdoor applications. The thermally-advanced, anodized heat sink uses 6063 aluminum alloy.

MOUNTING

An advanced mounting system allows for quick and secure installation with LED and driver serviceability from below the ceiling. The LED assembly uses die-cast aluminum mounting clamp grips (MCG) that swing out to tighten onto variable ceiling thicknesses. Integrated rubber feet on each MCG provide a non-slip vibration-resistant installation. The hidden MCG system is accessible from below ceiling by removing the snap-in lens/bezel assembly with either the included suction cup or a screwdriver blade. Integrated bar hangers feature integral toothed nails, T-bar mounting slots with locking holes, tabs for joist positioning. Retrofit mounting option allows for installation from below ceiling by use of compact driver box. No risk damaging LED or bezel assembly during installation, these are installed during last steps. Fixture and driver are easily removed for servicing after install without damaging drywall.

MOUNTING DIMENSIONS	CEILING THICKNESS	CEILING CUTOUT
Trim	1/8" to 1-1/4"	6-1/4" square

LISTINGS

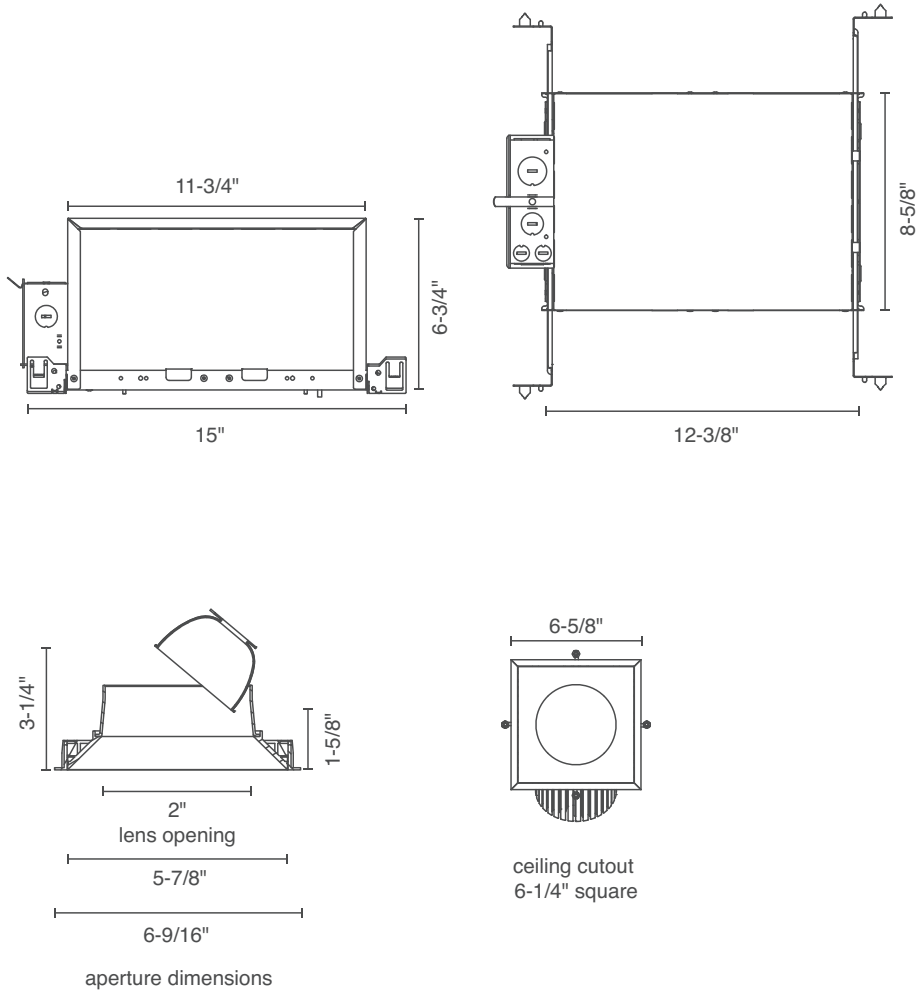
- JA8 - 2019 (complies with 2019 Title 24, part 6 high efficacy luminaire requirements)
- ETLus Listed to UL1598, cETL Listed to CSA C22.2 #250.0
- Suitable for damp locations without lens
- Non-conductive, Lexan dead-front construction
- Made in the USA - meets the requirements of the Buy American provision within the ARRA

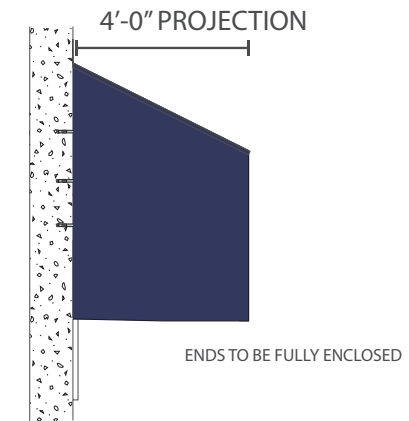
LED INFO

- SDCM = 1X2 MacAdam Ellipse, Duv +/- 0.001, Lumen Maintenance: L₉₀ > 55,000 hrs

MOUNTING OPTIONS

IC - INSULATION CONTACT HOUSING





A AWNING WITH APPLIED LETTERS
 NON-ILLUMINATED ALUMINUM STRUCTURE CANOPY
 WITH ALUMINUM CLAD SKINS & PAINTED FACADE
 WITH FLAT CUT 1/2" ACRYLIC GRAPHICS

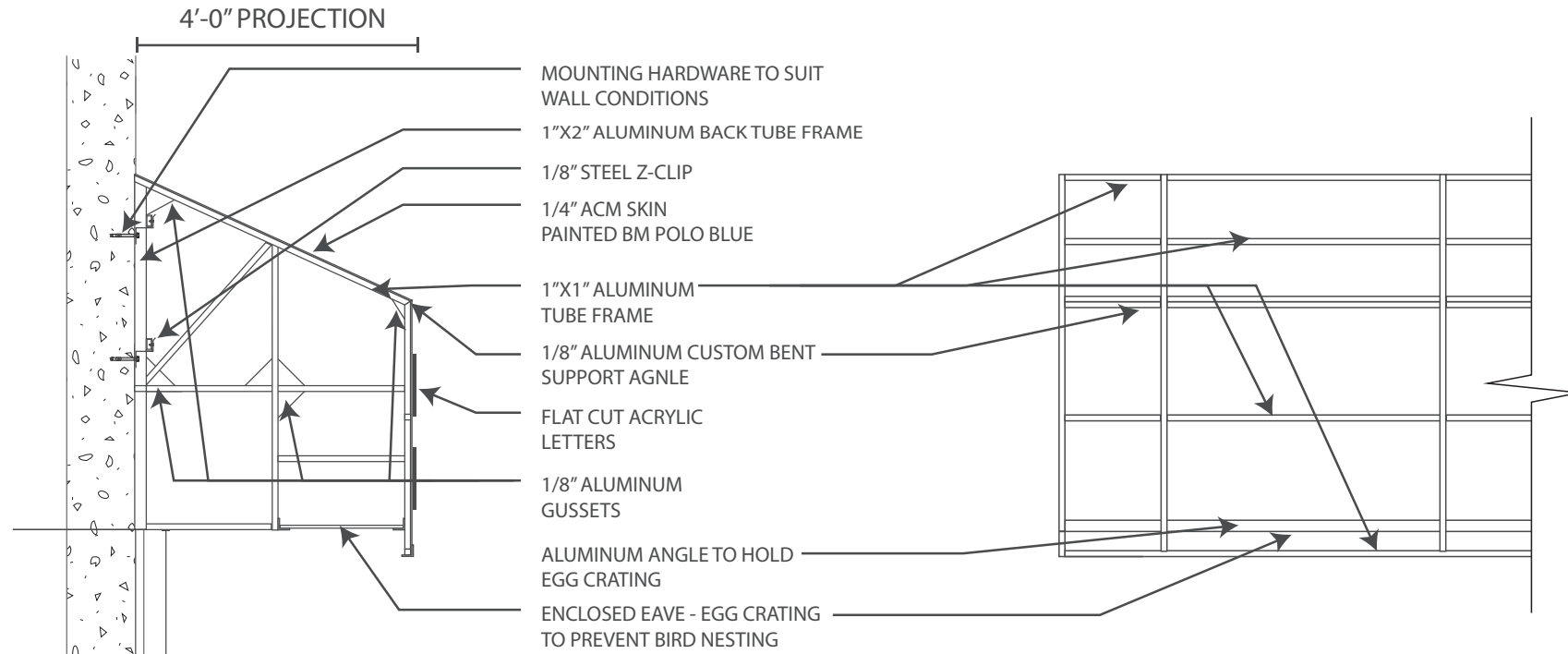
A END PANEL DETAIL



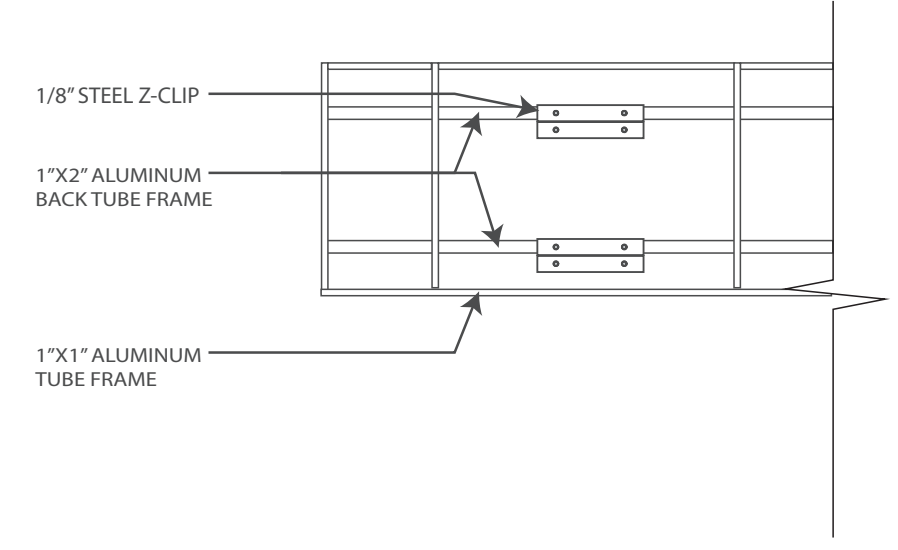
A EXISTING



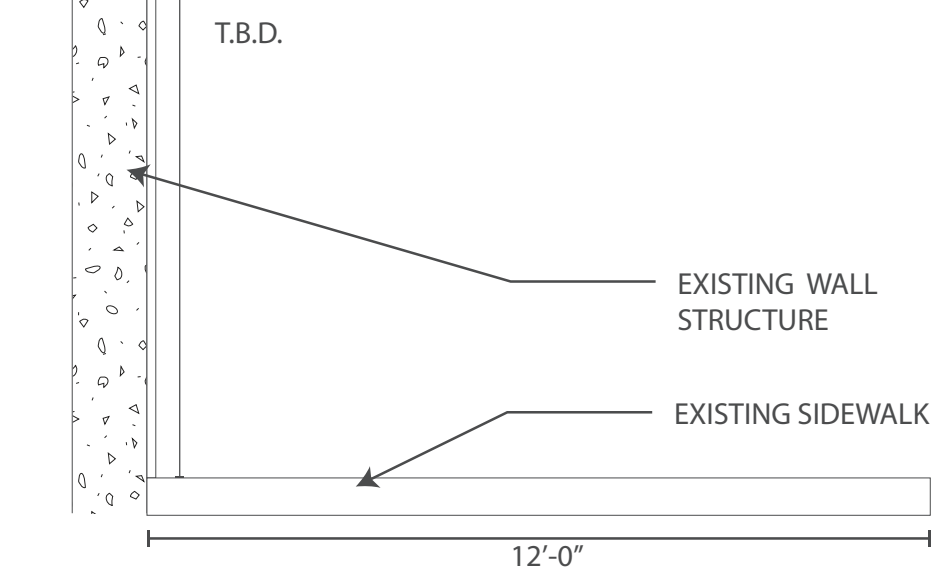
A PROPOSED



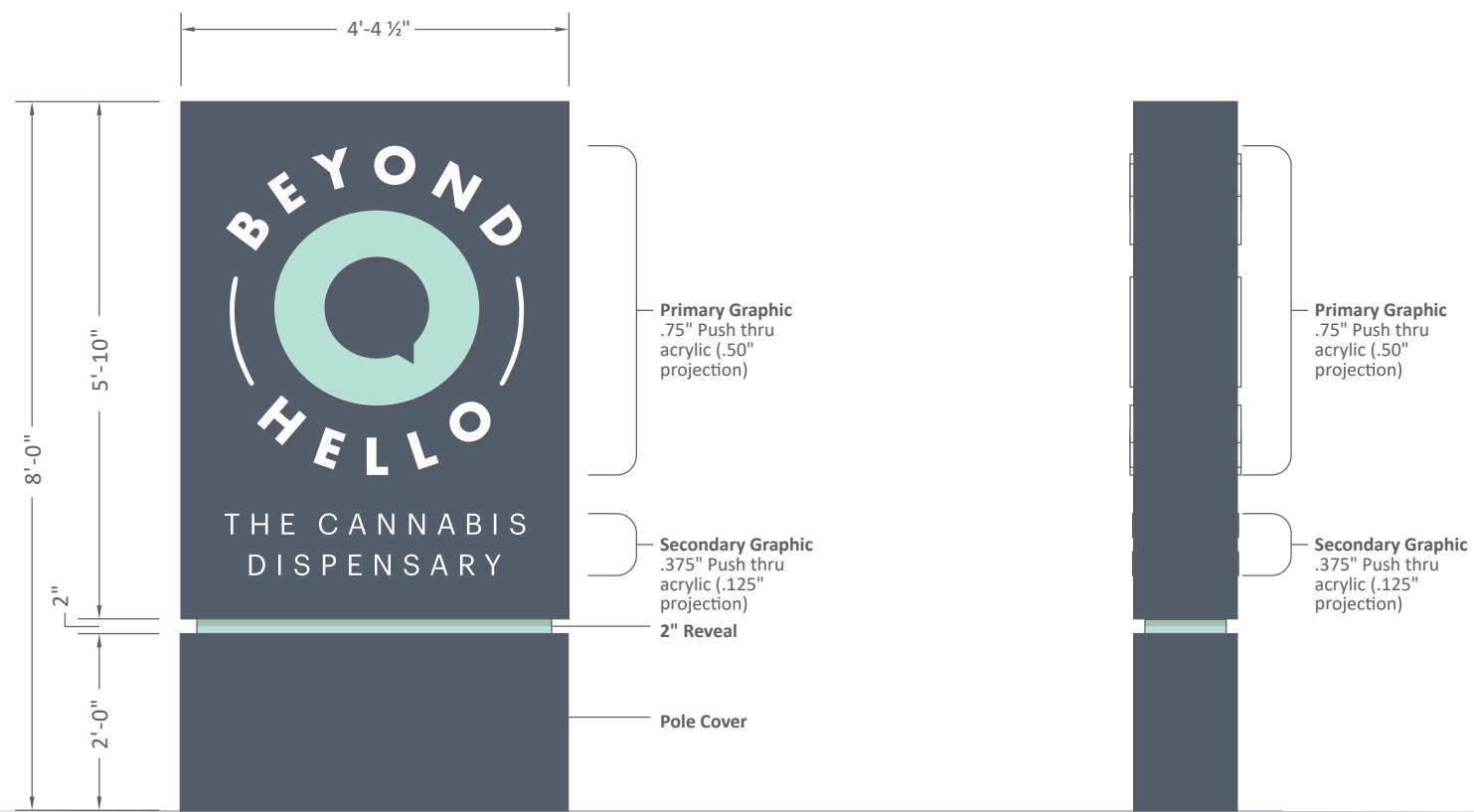
A AWNING FRONT FRAME DETAIL



A AWNING REAR FRAME DETAIL



A.1 AWNING SECTION DETAIL
PROJECTED VIEW OF AWNING
OVER EXISTING SIDEWALK



Scale: 1/2" = 1'-0"

ACTION

- Manufacture & Install (1) double face, internally illuminated monument sign featuring push-thru acrylic letters/graphic.

GENERAL DESCRIPTION

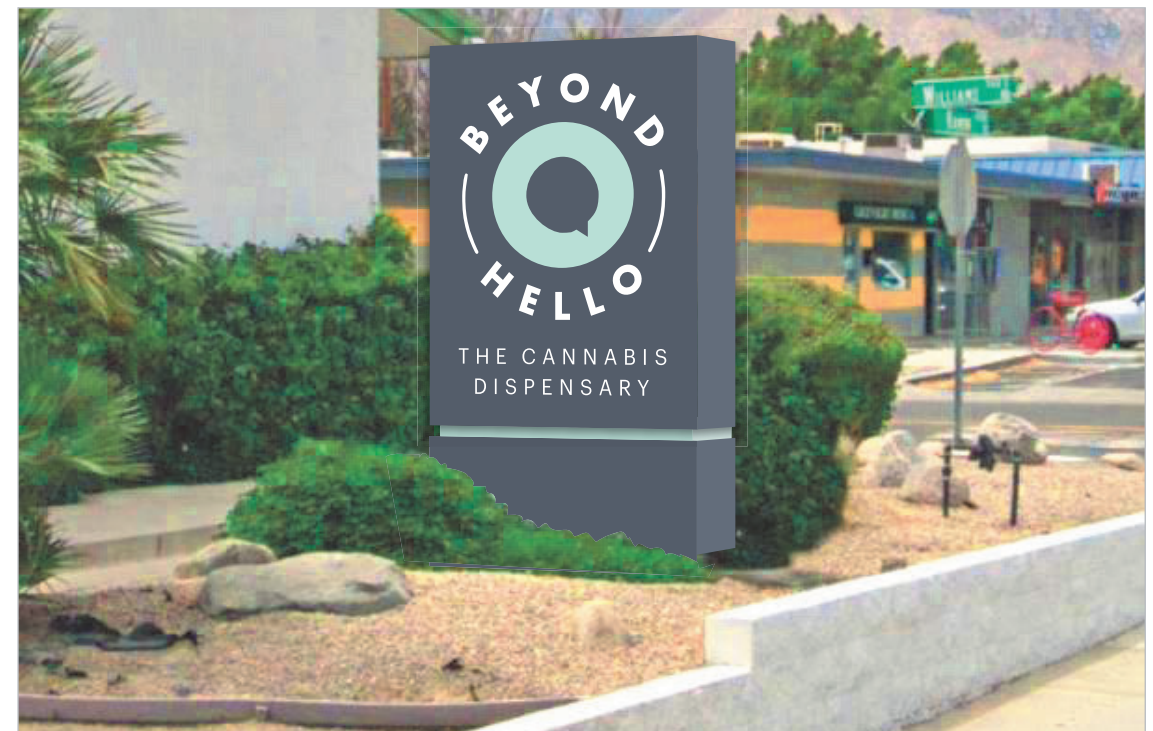
- D/F Monument cabinet constructed of heavy gauge aluminum and finished in corporate colors.
- All copy to be routed from aluminum faces & "pushed thru" with .75" (primary copy) and .375" (secondary copy) clear acrylic.
- All copy to have 1st surface application of translucent white film and 2nd surface application of diffuser film
- Internal illumination of cabinet by white LED modules. All wiring UL approved
- 2" Reveal and base fabricated of aluminum & finished in corporate colors
- Sign installed onto steel post (new or existing: TBD) set in concrete foundation

COLOR SCHEDULE

- **Cabinet & Base:** Painted to Match PMS 432 Deep Fog (satin)
- **Reveal:** Painted to Match PMS 572 Vibrant Mint (satin)
- **1st Surface Vinyl:** 3M 3630-20 White
- **1st Surface Vinyl:** Digitally printed to match PMS 572 Vibrant Mint



Existing Condition



Proposed

BEYOND/ HELLO – PALM SPRINGS - EXTERIOR PAINT

Permit No.
Project Name Beyond/Hello Palm Springs
Project Location Palm Springs, California
Issuance Date May 13, 2021

This document is created for the purposes of showing the paint proposed for the exterior elevations of the building.

Project address: 4765 E, RAMON RD, PALM SPRINGS CA 92264

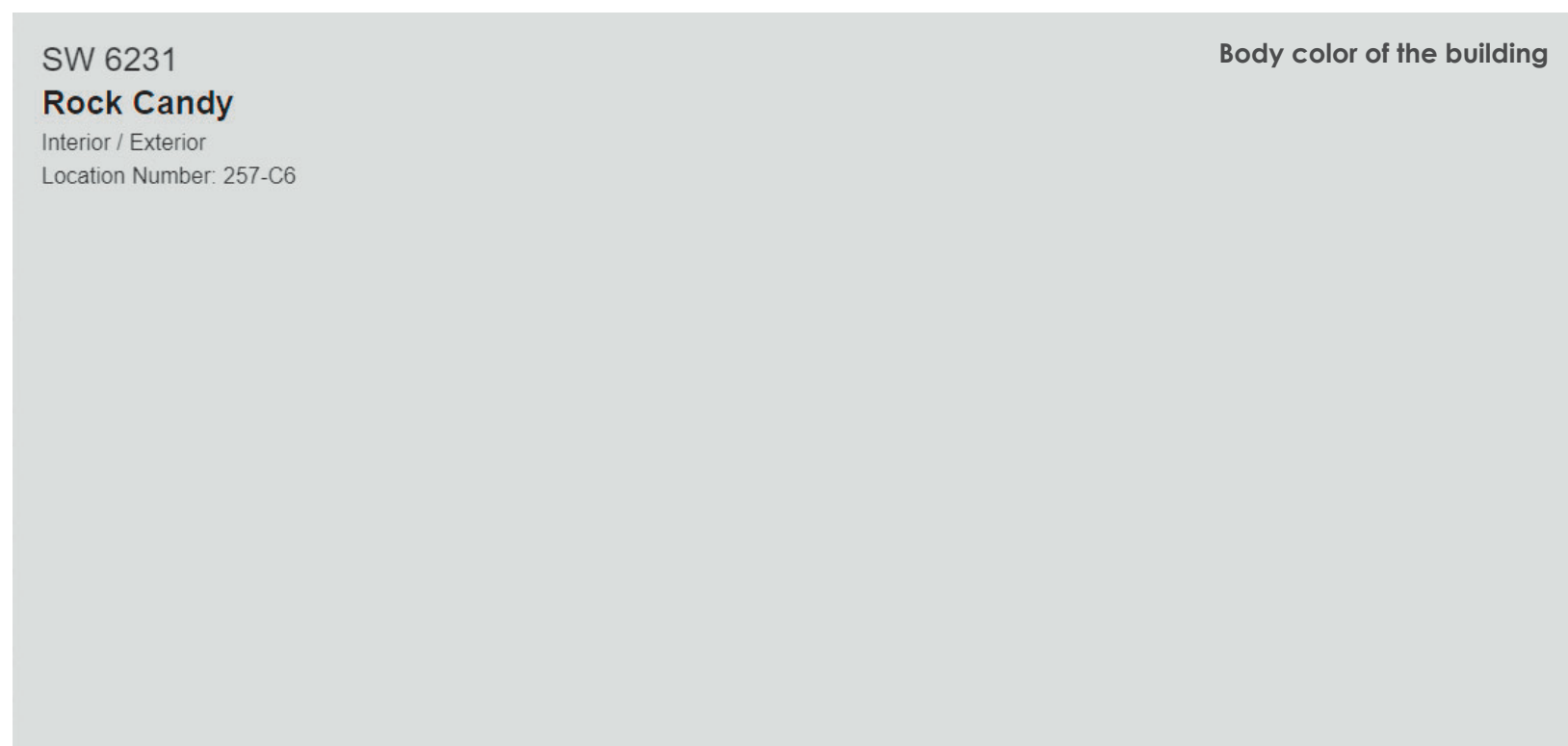


Fig. 1 – PT-01 – Sherwin Williams SW 6231 – Rock candy



Fig. 2 – PT-02 – Benjamin Moore – 2062-10 - Polo blue