



## **HISTORIC SITE PRESERVATION BOARD STAFF REPORT**

DATE: February 1, 2022

NEW BUSINESS

SUBJECT: REVIEW FOR POTENTIAL RE-DESIGNATION OF A CLASS 4 SITE TO A CLASS 1 OR 2 HISTORIC RESOURCE INITIATED BY AN APPLICATION BY DANIEL BATY, OWNER, REQUESTING APPROVAL TO DEMOLISH THE DWELLING LOCATED AT SMOKE TREE RANCH, ROCK 12/5R (APN 510-175-005) CASE 3.4300 MAA. (KL).

FROM: Department of Planning Services

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### SUMMARY

The property owner is requesting approval to demolish a single-family dwelling built in 1957 at Smoke Tree Ranch, ("STR"). The dwelling, by virtue of its date of construction prior to 1978, is a Class 4 site pursuant to Municipal Code ("PSMC") Section 8.05.020.

Pursuant to Municipal Code Section 8.05.130 (Demolition or Alteration to Class 3 and 4 sites), in considering a request to demolish the structures on the site, the Board must determine whether the site possesses sufficient historic significance to warrant possible re-designation to a Class 1 or Class 2 historic resource and thereby issue a stay on demolition or alteration permits on the site.

The property owners are not seeking historic designation of the site.

### RECOMMENDATION:

That the HSPB take no action and allow the processing of a demolition permit.

### BACKGROUND AND SETTING:

The subject dwelling was constructed in 1957 according to building permit records and its area is listed as 2,436-square feet according to the County tax assessor's records.

The home is located on a 0.43-acre parcel and appears to be in very good condition.

From review of the building permit history and application materials, numerous alterations have been made to the home over time.

The current owner took title to the property in 2019.

**BELOW AN AERIAL VIEW OF THE SUBJECT PARCEL.**



**BELOW IS A STREET VIEW OF THE SITE. (EAST ELEVATION)**



**BELOW BACK OF EXISTING HOUSE. (WEST ELEVATION)**



<i>Related Relevant City Actions by HSPB, Planning, Fire, Building, etc...</i>	
February, 2022	Site inspection by HSPB members accompanied by City Staff.

ANALYSIS:

Requests for demolition of Class 4 sites are processed according to Municipal Code Section 8.05.130.

Criteria and Findings for Possible Re-designation of a Class 4 Building.

If the HSPB finds that the site warrants possible re-designation, it may direct and authorize the processing of an application to re-designate the site as a Class 1 or Class 2 historic resource, which will then be considered by the HSPB and the City Council as provided in Chapter 8.05 of the Municipal Code. Any demolition/alteration permit shall be automatically stayed for a period of up to one-hundred twenty (120) days pending a re-designation decision. In making its review, the HSPB must make the following findings:

1. *That the Class 3 or Class 4 building possesses exceptional historic, architectural, archaeological, cultural or aesthetic significance to warrant redesignation as a Class 1 or Class 2 historic resource in accordance with the criteria set forth in Section 8.05.070 above; and*
2. *That the Class 3 or Class 4 building retains sufficient historical integrity relative to its original configuration, architectural features, or character.*

If the HSPB cannot affirmatively make these findings, then it shall take no action and refer the permit to the Director of Planning who shall thereafter approve the application for submittal to the Building Department for appropriate demolition or building permits.

Staff analyzed the application relative to the criteria in 8.05.070 as follows:

- a. *The site, structure, building or object exhibits exceptional historic significance and meets one or more of the criteria listed below:*

The property at Rock 12, 5R in Smoke Tree Ranch does not appear to exhibit exceptional historic significance. It is further evaluated below.

- (i) *The resource is associated with events that have made a meaningful contribution to the nation, state or community; or*

The information provided by the applicant does not indicate that any significant event is associated with the site, thus it does not qualify under Criterion i.

- (ii) *The resource is associated with the lives of persons who made a meaningful contribution to national, state or local history; or*

The application identified several previous owners none of whom appear to have made a meaningful contribution to national, state or local history. Thus, it does not qualify as a historic resource under Criterion ii.

*(iii) The resource reflects or exemplifies a particular period of national, state or local history; or*

The subject dwelling was designed with a mix of traditional and modern elements: It has a low hipped roofs clad in wood shake shingles with wide generous eaves that give the home a long, horizontal appearance of a typical post-war suburban Southern California ranch style home. Instead of smaller windows with divided panes of glass and muntins common in traditional ranch-house style, this house was built with broad expanses of floor to ceiling glass, giving it a modern feeling. The architect of the home is unknown.

The mix of modern detailing and fenestration with traditional materials makes the home somewhat difficult to categorize in a particular period. It is not a strong example of traditional ranch-house architecture and doesn't fit well in the post-World War II period when more Modernist-styled architecture was prevalent in Palm Springs. As such, while it is a competent, nicely proportioned structure that appears to be well-maintained, it does not stand as an outstanding or noteworthy example of either the early period in Palm Springs nor the post-War period. Therefore, staff would assert that it does not qualify as a historic site under Criterion iii.

*(iv) The resource embodies the distinctive characteristics of a type, period or method of construction; or*

The dwelling was constructed as a conventional wood-frame structure clad in stucco and wood shake shingles. It does not exhibit any particularly distinctive construction characteristics. Building permits provided in the report suggest several additions and alterations were made to the home, none of which appear to be significant or unique. Therefore, the property does not qualify as a historic site under Criterion iv.

*(v) The resource presents the work of a master builder, designer, artist, or architect whose individual genius influenced his or her age, or that possesses high artistic value; or*

The application does not identify an architect or designer associated with the home and no information was found in the building permit records indicating a master architect, builder or craftsman. Thus the home would not be eligible as a historic resource under this Criterion v.

*(vi) The resource represents a significant and distinguishable entity whose components may lack individual distinction, as used in evaluating applications for designation of historic districts, for parcels on which more than one entity exists; or*



The property does not qualify under Criterion vi.

*(vii) The resource has yielded or may be likely to yield information important to national, state or local history or prehistory.*

There is no known information associated with the property relative to the pre-historic period.

Evaluation of Historic Integrity.

Historic Integrity is evaluated based on seven qualities: location, design, setting, materials, workmanship, feeling and association in accordance with guidelines of the United States Department of the Interior, National Park Service's National Register Bulletin titled: "How to apply the National Register Criteria for Evaluation" as revised from time to time.

Staff evaluated the property's integrity as follows:

*Location.*

The house remains in its original location on the property.

*Design.*

The dwelling was designed in a conventional ranch-house style as explained above. Although there have been numerous additions, the home possesses fairly good design integrity.

*Setting.*

The setting of the home is a naturalized desert environment common throughout STR and remains unchanged over time. It retains integrity of setting.

*Materials.*

The home is a conventional wood frame construction. Although there are no unusual or unique materials evident on the exterior of the dwelling, it retains material integrity.

*Workmanship.*

The workmanship is consistent with custom-built homes from the 1950's and thus retains integrity of workmanship.

*Feeling.*

The dwelling conveys the feeling of a gracious but casual home from the post-War period as reflected in the ranch style aesthetic standard that has been present throughout Smoke Tree Ranch for many decades.

*Association.*

There is no known significant association of this dwelling with any persons, period or

events.

### ENVIRONMENTAL ASSESSMENT

The proposed demolition is considered a project pursuant to the guidelines of the California Environmental Quality Act (“CEQA”). The City has considered the project and determined a Categorical Exemption is appropriate because CEQA section 15301(I,1) (“Existing Facilities”) allows for a Class 1 Categorical Exemption for demolition and removal of individual small structures including one single-family residence.

### CONCLUSION:

The property at Rock 12, 5R at Smoke Tree Ranch is a well-maintained custom designed California ranch type home commonly found in upscale suburban development throughout Southern California from the post-World War II era. The home is not particularly noteworthy from a historical perspective and does not appear to meet the criteria necessary to be eligible for re-designation as a Class 1 or Class 2 site. It is recommended that the HSPB take no action and direct staff to administratively process the permits for demolition of the home.



Ken Lyon, RA, Associate Planner  
Historic Preservation Officer



David Newell, AICP  
Assistant Director of Planning Services

### Attachments:

1. Vicinity Map.
2. Application, related background materials, photos.



# Department of Planning Services Vicinity Map



**CITY OF PALM SPRINGS**  
**Rock 12 / 5R (APN 510-175-005)**  
**Smoke Tree Ranch**

December 27, 2021

Mr. Ken Lyons  
City of Palm Springs  
Department of Planning Services

Subject: **Statement of Justification of Demolition**  
Project Address: Smoke Tree Ranch, Rock 12/5R



Dear Mr. Lyons,

Thank you for your guidance as we move through the process of permitting for our project for Mr. Dan and Pam Baty in Smoke Tree Ranch.

The Baty's desire to own a home at Smoke Tree Ranch came from its comfortable, humble, and relaxed atmosphere.....and the genuine sense of history and community.

Our thorough 'historical' research of the City of Palm Springs record sand permits, as well as Tracy Conrad's (Smoke Tree General Manager), tells us the original home on this property was finished February 28, 1958. There were various modifications over time, with a significant Garage addition in 2007.

In Tracy Conrad's review of the Permit History provided by the City of Palm Springs, she noted two discrepancies. 1) The home was never owned by William Lawrence, therefore the permits noted as 2018-3322 and 2021-276 don't belong in the file for the Baty's property.

As I believe Tracy Conrad shared with you as well, the permit history and review did not show any owners of significance, nor was there any architect/designer of significance involved in the existing home over time.

Although we respect the existing home's longevity in the community, our desire is to build a "new" version of this humble ranch house. The current home reflects that "50's" era, both in terms of floor plan organization/layout, and quality of construction, materials, and detailing.

Our goal is re-build responsibly using updated structural systems, HVAC systems, insulation, plumbing, and energy efficient windows and doors and appliances for another chapter of longevity and comfortable living in the 21<sup>st</sup> Century.

In addition to a responsible approach to building, will be our goal of responsible de-construction/demolition using re-use/recycling to extent possible. Working in partnership with "Habitat for Humanity" will be on our list.

Big picture, our goal of building new is to create a home that fully embraces the humble design principles of Smoke Tree Ranch, lays low and quiet in the landscape, but lives internally in a way that reflects how modern family living has evolved through the decades.....and honors the magic of California Desert Living.

We hope to have your support for our project moving forward.

Warm Regards,

A handwritten signature in black ink, appearing to read "B White", with a vertical line extending downwards from the end of the signature.

Bob White  
Principal

**ForestStudio**  
332 Forest Avenue, Suite 4  
Laguna Beach, CA 92651  
(949)497-0202



**From:** [Tracy Conrad](#)  
**To:** [Ken Lyon](#); [Bob White](#)  
**Subject:** Baty House at Smoke Tree Ranch  
**Date:** Thursday, January 27, 2022 11:40:12 AM

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**NOTICE:** This message originated outside of The City of Palm Springs -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Dear Ken,

The Baty House at Smoke Tree Ranch was first owned by Harlan and Grace Eldred in 1955. Jim and Mabel West purchased the house in 1962. In 1973 it was owned by the Okison/Maxwell family. In 1976 Frank and Ruth King bought the house. In 1980 it was sold to Walter and Dugi Michel and in 2006 Marvel Kirby purchased the house.

The permit packet at the city erroneously includes some permits for the Lawrence house.

Tracy Conrad  
Chief Operating Officer  
Smoke Tree Ranch  
760-327-1221 x419

January 27, 2022

























3250 SF LIVABLE



**S M O K E T R E E R A N C H - R O C K 1 2 5 R**

FLOOR PLAN

A DESERT RETREAT FOR THE BATY FAMILY & FRIENDS  
 PALM SPRINGS, CA

**ForestStudio**  
 322 Forest Avenue  
 Suite #  
 Laguna Beach, CA 92653  
 949.487.8282  
 www.ForestStudio.com

07-26-21





**S M O K E T R E E R A N C H - R O C K 1 2 5 R**

A DESERT RETREAT FOR THE BATY FAMILY & FRIENDS  
 PALM SPRINGS, CA

SITE PLAN ON AERIAL



**ForestStudio**

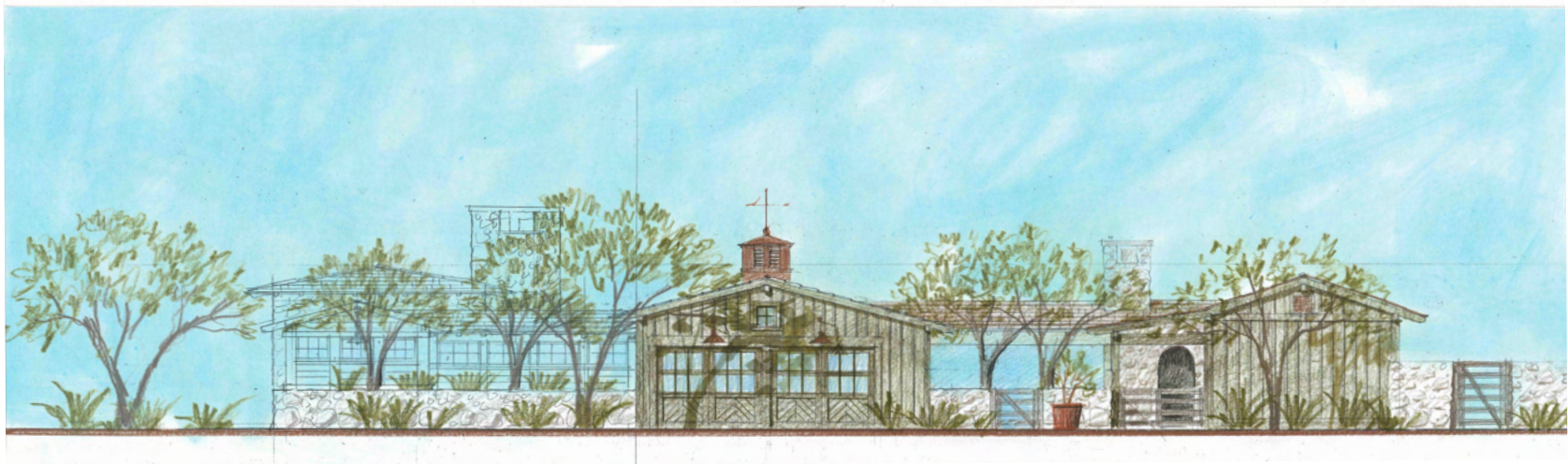
322 Forest Avenue  
 Suite 4  
 Laguna Beach, CA 92653  
 949.487.8282  
 www.ForestStudio.com

07-26-21





WEST ELEVATION



EAST ELEVATION

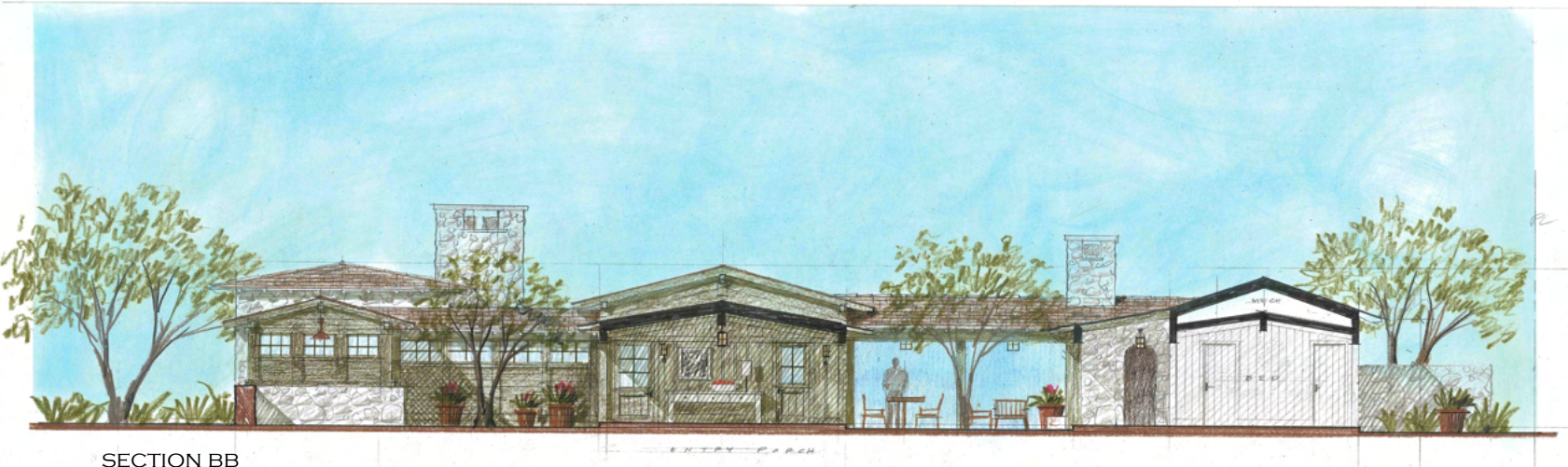
**S M O K E T R E E R A N C H - R O C K 1 2 5 R**

A DESERT RETREAT FOR THE BATY FAMILY & FRIENDS  
PALM SPRINGS, CA





SECTION AA



SECTION BB

**S M O K E T R E E R A N C H - R O C K 1 2 5 R**

A DESERT RETREAT FOR THE BATY FAMILY & FRIENDS  
 PALM SPRINGS, CA

**ForestStudio**

322 Forest Avenue  
 Suite 4  
 Laguna Beach, CA 92653  
 949.467.8282  
 www.foreststudio.com

07-26-21



SOUTH ELEVATION

**S M O K E T R E E R A N C H - R O C K 1 2 5 R**

A DESERT RETREAT FOR THE BATY FAMILY & FRIENDS  
PALM SPRINGS, CA

07-26-21



SMOKE TREE RANCH ROAD 12 -R 5R



Address ROAD #12 LOT# 10 SMOKE TREE RANCH

4R Lot 11

Owner: ~~H. B. BIRD~~ ~~OKESDA~~  
(Efred) FRANK KING

510-175-005

Building \_\_\_\_\_

Cesspool \_\_\_\_\_

Plumbing \_\_\_\_\_

Electric \_\_\_\_\_



Const. 6'X10' conc gunite therapy pool in rear yard

450-16-P  
Rev. 7-57

JOB RECORD CARD  
**SWIMMING POOLS**

PERMIT NO. B 7163

POOL STEEL & SETBACK ..... 1/18/74 TC

EQUIPMENT HOUSING ..... 1/18/74 TC

DRY WELL ..... Existing

UNDERGROUND WIRING ..... 0

GAS PRESSURE ..... [unclear]

FINAL WIRING ..... [unclear]

FINAL INSPECTION ..... 3-19-74 P.H.

OWNER

ADDRESS

Road 12, Smoke Tree Ranch

CONTR.

Hoames Pools

**PERMIT NUMBERS**

BUILDING 1U020

PLUMBING 10061

ELECTRIC ~~9-16-57~~ 42A

SEWAGE 70

SEPTIC TANK	CESSPOOL

LOT 10

BLOCK \_\_\_\_\_

SUBD SHOKE TREE #3

OWNER  
DMP 1/1-6-56

TEMP. ELEC 9-17-57 Leo

RO PLUMB & GAS PIPE 9-23-57 Leo

SEWAGE 10-16-57 Lane

FOOTINGS 9-27-57 Leo

ROOF 11-5-57 C.

RO ELEC 11-19-57 Lane

FRAME 11-19-57 Lane

BOND BEAM \_\_\_\_\_

FIREPLACE \_\_\_\_\_

LATH 12-11-57 Leo

GAS PRESS 2-21-58 Betz

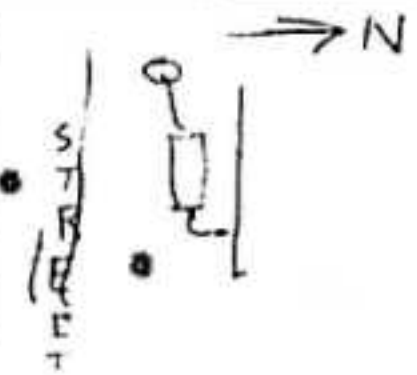
WATER HTD 2-27-58 Betz

FURNACE " "

APPROVALS

FINAL GAS 2-28-58 Betz

FINAL ELEC 2-28-58 Betz



CESSPOOL LOCATION

CONTRACTOR  
**Newton & Lundquist**

ADDRESS  
**ELDRED, Mr & Mrs. H. B. Shoshonean Trail**



# PLUMBING PERMIT

BUILDING DEPARTMENT CITY OF PALM SPRINGS

Owner *H. B. Eldred*

Job Location *Highway Transit*

Plumber *R. S. Miller*

Effective  
Cesspool  
Depth

Septic Tank  
Capacity

1	Bathtubs		
4	Lavatories	@ .80	80
4	Toilets	@ .80	320
1	Laundry Trays	@ .80	320
4	Showers	@ .80	80
2	Sinks	@ .80	320
2	Water Heaters	@ .80	160
6	Gas Outlets \$1.00 min.	@ 1.00	200
	Gas Furnaces	@ .20	120
	Wall Heaters	No Chg.	
	Cesspools	No Chg.	
	Septic Tanks	@ 2.00	
	Sewer Pipe	@ 2.00	
2	Automatic Washer	@ 1.00	
	Drinking Fountain	@ .80	1.60
	Sprinkler System	@ .80	
	Urinal	@ .20	
	Water Piping	@ .80	
	Permit Fee	@ 1.00	
	Cesspool Pumping		1.00
	<b>TOTAL FEE</b>		<b>18.60</b>
			10.00

By or Plumber *[Signature]*

Received *[Signature]*  
9/17/57

No 10061



*August 9-13 if bldg permit taken out*

APPLICATION FOR PERMIT & RECEIPT FOR  
**ELECTRIC INSTALLATION**  
BUILDING DEPT. CITY OF PALM SPRINGS

OWNER

*H. B. Eldred*

JOB LOCATION

*Shoshone Trail*

CONTRACTOR

*Mr. Laughlin*

Annual Permit @ \$10.00

Temp. Service @ \$2.00

*2.00*

Outlets

Light Fixtures

Meter Loop @ \$1.00

Heaters @ \$ .25

220 V. Outlets @ \$ .50

1/16 H.P. Fans @ \$ .25

1/4 to 1 1/2 H.P. Motors @ \$1.00

2 H.P. Motors & over @ \$3.00

1 1/2 to 10 ton Ref. unit @ \$5.00

10 to 100 ton Ref. unit @ \$1.00 ton

100 tons & over @ \$ .50 ton

Overhead Tr. space @ \$ .50

Underground Tr. space @ \$1.00

Motion Picture Mach. @ \$1.50

Time Switches @ \$ .50

Neon Transformers @ \$ .50

Elec. Signs @ \$2.00

Permit

**No 8628**

Total Fee

*2.00*

OWNER OR CONTRACTOR

*Mr. Laughlin Elect*

Date:

RECEIVED

*H. B. Setz - B.S.D.*

*9-12-57*

BUILDING DEPT.



# PLUMBING PERMIT

BUILDING DEPARTMENT -- CITY OF PALM SPRINGS

*July 7*

Owner <i>H. S. Eldred</i>	Effective Cesspool Depth
Job Location <i>Abraham Trail</i>	Septic Tank Capacity
Plumber <i>Carlton J. ...</i>	

Bathtubs		
Lavatories	@ .80	
Toilets	@ .80	
Laundry Trays	@ .80	
Showers	@ .80	
Sinks	@ .80	
Water Heaters	@ .80	
Gas Outlets \$1.00 min.	@ 1.00	
Gas Furnaces	@ .20	
Wall Heaters	No Chg.	
Cesspools	No Chg.	
Septic Tanks	@ 2.00	<i>200</i>
Sewer Pipe	@ 2.00	<i>200</i>
Automatic Washer	@ 1.00	<i>100</i>
Drinking Fountain	@ .80	
Sprinkler System	@ .80	
Urinal	@ .20	
Water Piping	@ .80	
Permit Fee	@ 1.00	
<b>TOTAL FEE</b>		<b>1.00</b>
Cesspool Pumping		<i>600</i>
		<b>10.00</b>

Owner or Plumber *H. S. Eldred*

Received *H. S. Eldred* No. 10170

TE 10-15-57

# BUILDING PERMIT

## City of Palm Springs

OWNER  
**MR & MRS H.B. ELDESD**

ADDRESS  
**Shoshonean Trail**

LOT 10 BLOCK TRACT **Smoke Tree #3**

USE AND OCCUPANCY  
**Dwelling**

LOT SIZE <b>381187</b>	BLDG. AREA <b>2848 Sq. Ft House</b>	FIRE ZONE <b>Y</b>
ZONE <b>G-R</b>	<b>900 sq. ft. Carport &amp; Stor.</b>	
FRONT <b>25</b>	SIDE <b>25</b>	REAR <b>10</b>
SET BACKS <b>12.5</b>		

TOTAL VALUE OF WORK INCLUDING LABOR, MATERIAL, WIRING, PLUMBING, ETC. } **\$ 35,000**

PERMIT FEE **\$77.00**

PERMIT No **10020**

DATE **3/16/67**

C-1001 24-6-66 BAPCO.

DESCRIPTION OF WORK TO BE DONE  
**Const. 7-room Dwelling & Carport  
Frame and Stucco Const.  
Wood Shingle Roof**

REMARKS, REFERENCES & CONDITIONS OF PERMIT  
**Newton & Lundquist - Contractors**  
  
**Subject to notes on approved plan.**

PERMISSION TO CONSTRUCT THE BUILDING DESCRIBED ABOVE IS HEREBY GRANTED. BUILDING TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS OF THE CITY OF PALM SPRINGS. NO WORK TO BE COVERED WITHOUT INSPECTION.

OWNER OR CONTRACTOR  
*[Signature]*

FEE RECEIVED **J.C. SANDERS by RV**

BUILDING DEPT.



Smoke Tree ✓

# CITY OF PALM SPRINGS SEWER PERMIT

OWNER <i>F King</i>	JOB LOCATION <i>12418 Smoke Tree</i>	CONTRACTOR <i>D. King</i>
------------------------	---	------------------------------

Bathtubs	@ 2 Units	
Lavatories	1 "	
Toilets	6 "	
Laundry Trays	2 "	
Showers	2 "	
Sinks	2 "	
Automatic Washers	2 "	
Dish Washers	2 "	
Drinking Fountain	1 "	
Urinal	2 "	
Garb. Disp. Resid.	6 "	
Garbage Disp. Com.	12 "	
Total Fixture Units		

THIS PERMIT MUST BEAR  
CITY TREASURER'S VALIDATION

SEWER AGREEMENT NO. \_\_\_\_\_

Front Ft. @ \_\_\_\_\_

Street Main Chg. #22-3642 \_\_\_\_\_

Lateral Installation fee #22-3643 \_\_\_\_\_

Sewer Insp. Fee #11-3214 30.00

Cesspool Pumping Fee #11-3214 \_\_\_\_\_

Sewer Conn. Fee #22-3641 \_\_\_\_\_

Single Dwlg. F.U. (2 U)

Apartment F.U. \_\_\_\_\_

Hotels F.U. \_\_\_\_\_

Commercial F.U. \_\_\_\_\_

TOTAL FEES 30.00

Date: 1-9-78 Owner or Plumber

Department of Planning & Development, Building Div.

*F. King*  
*Ch # 2737*

*C. Thomas*

**A 6357**



# CITY OF POM SPRINGS ELECTRICAL PERMIT

OWNER: *B. Elwood*      JOB LOCATION: *Summit*      CONTRACTOR: *McLaughlin*

ANNUAL PERMIT @ 10.00	
TEMP. SERVICE @ 2.00	
<i>117</i> OUTLETS	<i>6.00</i>
<i>21</i> LIGHT FIXTURES	<i>2.50</i>
<i>1</i> SERVICE 1.00	<i>1.00</i>
<i>4</i> HEATERS @ \$0.25	<i>1.00</i>
<i>4</i> 220 V. OUTLETS @ \$0.50	<i>2.00</i>
<i>1</i> 1/16 H. P. FANS @ \$0.25	<i>.25</i>
<i>1</i> 1/4 to 1/2 H. P. MOTOR @ 1.00	<i>1.00</i>
2 H. P. MOTORS & OVER @ 3.00	
<i>1</i> 1 1/2 to 10 TON REF. @ 5.00	<i>5.00</i>

**This Permit Must Bear  
City Treasurer's Validation**

10 to 100 TONS REF. @ 1.00 TON	
OVER 100 TONS \$0.50 TON	
OVERHEAD TRAILER SPACE @ \$0.50	
UNDERGROUND TRAILER SPACE @ 1.00	
MOTION PICTURE MACH. @ 1.50	
TIME SWITCHES @ \$0.50	
NEON TRANSFORMERS @ \$0.50	
ELEC. SIGNS @ 2.00	
TOTAL FEE	<i>18.75</i>

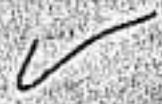
OWNER OR ELECTRICIAN: *McLaughlin Electric*  
*Carl Eric*  
*by Dorothy Lynch*

BUILDING DEPT.: *J. C. Anderson - 713*

DATE: *11-18-57*

No. 42 A

# CITY OF PALM SPRINGS BUILDING PERMIT



Okeson OWNER

JOB LOCATION Ranch  
Road 12, Smoke Tree Road

CONTRACTOR  
Hoames Pools

STATE LIC. NO.  
130439

LOT NO. 10 BLOCK NO. TRACT

Smoke Tree #3

ASSESSOR'S PARCEL NO. 510-175-005

DESCRIPTION OF WORK  
therapy pool in rear yard. Const. 6' X 10' conc gunite

LOT SIZE	ZONE	FIRE ZONE	HEIGHT	GROUP OCCUP.
136 Y 137	G-R	3		Therapy Pool

SETRACKS (AS CONSTRUCTED)

FRONT	SIDE	SIDE	REAR
Not affected			

Permission to construct the herein described building is hereby granted. Building to be constructed in accordance with the regulations of the City of Palm Springs. No work to be covered without inspection.

**THIS PERMIT VOID IF CONSTRUCTION IS NOT STARTED WITHIN (60) SIXTY DAYS**

THIS PERMIT MUST BEAR CITY TREASURER'S VALIDATION

AREA	TYPE OF CONSTRUCTION
Therapy pool only as above	I II III IV V

TOTAL VALUE OF WORK	
Bldg. Permit Acct. 11-3211	\$ 39.00
Plan Check Acct. 11-3607	\$ 14.50
Const. Tax Acct. 66-3130	\$
SMIP Tax	\$
<b>TOTAL FEE</b>	<b>\$53.50</b>

It is the responsibility of the person taking the permit to see that all the equipment is placed or housed underground as per P.S. City Ordinance.

OWNER OR CONTRACTOR

H. OKESON  
Hoames Pools

DEPARTMENT OF PLANNING & DEV. - BLDG. DIV.

*[Handwritten signature]*

DATE  
1/16/74

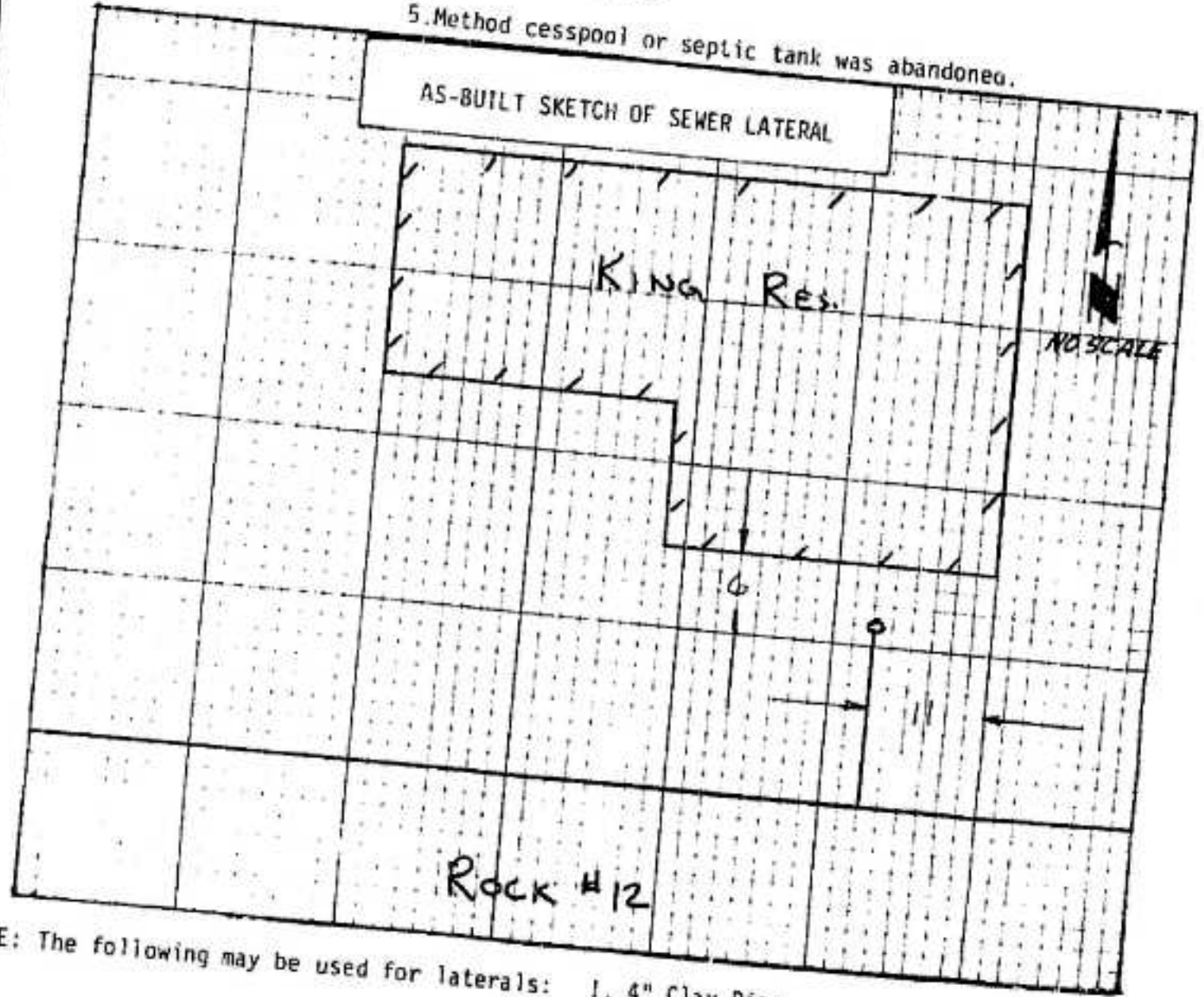
PERMIT NO.  
B 7163



# CITY OF PALM SPRINGS SEWER PERMIT SING & SONS

OWNER <i>F. King</i>	JOB LOCATION <i>R124R S. Orange Trl</i>	CONTRACTOR <i>SING &amp; SONS</i>
DATE <i>1-4-78</i>	PERMIT NO. <i>AG 352</i>	TOTAL FEE \$ <i>30.00</i>

- Indicate:
1. Building shape and location.
  2. Cleanout and lateral to nearest 6".
  3. Distances from P/L and from building.
  4. Depth of cleanout.
  5. Method cesspool or septic tank was abandoned.



NOTE: The following may be used for laterals:

1. 4" Clay Pipe
2. 4" Cast Iron Pipe
- ③ Sch. 40 or Sch. 80 Plastic-3" or Larger.

DATE	
<i>1-26-78</i>	<i>C.O. FLUSH WITH GROUND</i>
	<i>TESTED 3 UNITS</i>
	<i>CONTRACTOR TO GET EXEMPTION ON CESS POOL</i>

JOB COMPLETED *1-26-78*      INSPECTOR *Thomas Cartwright*      FIELD SUPERVISOR

Date      Signature      Signature



CITY OF PALM SPRINGS BUILDING PERMIT

Owner <i>Michels</i>		Address		Phone	
Contractor <i>W Roofing</i>		Address		Phone	
Architect		Address		Lic. No. <i>409528</i>	
Engineer		Address		Total Value of Work <i>14845</i>	
Lot No.	Blk No.	Tract	Building Address <i>12-4R Smoke Tree Ranch</i>		
Lot Size	Zone	Height	Occupancy	A.A. No.	Total Area
Sections As Constructed		Front	Side	Side	Rear
		R.O.W.		Parcel Number <i>510175005</i>	
Description of Work <i>Re Roof per proposal of city specs</i>					Permit Issuance 11-3216
<i>Clean 6-20-84 VJK</i>					Constr. Tax 11-3130
<i>Completed 4-8-85 VJK</i>					Del. Fee/Rmw/Misc. 11-3000
Special Conditions:					Revol 11-3281
<p>Prior to final inspection or issuance of a Certificate of Occupancy on all permits, building address numerals must meet the following requirements: be no less than 4 inches in height, contrasting in color from the background, and clearly seen and read from the street. Supplementary numbering such as reflective numbers on curbs, or decorative numerals are allowed, but do not meet the ordinance requirements.</p> <p><b>DO NOT CONCEAL OR COVER ANY CONSTRUCTION UNTIL THE WORK IS INSPECTED</b></p> <p><b>IMPORTANT</b></p> <p>The issuance of this permit shall not be held to be an approval of the violation of any provisions of any city or county ordinance or state law.</p> <p>Inspections of work are subject to an approved set of plans being on the job. Changes to plans are not to be made without permission of the Building and Safety Division.</p> <p>The owner and/or contractor is responsible for establishing all property lines. All utilities must be underground.</p> <p>This permit will expire if work is not started in 120 days or if more than 120 days elapses between inspections.</p> <p>I certify that I am familiar with all requirements of the City of Palm Springs as they apply to this permit and understand that these requirements must be completed prior to final inspection and that no certificate of occupancy will be issued at such time as these requirements are met. I certify that I have read this application and state that the information is true and correct.</p>					Constr. Permit 11-3215
					Sewer Inspection 11-3214
					Sewer Main 81-3642
					Sewer Agreement No. T&A
					Sewer Conn. Fee 81-3641 F.U.
					Drainage Fee
					School Fee
					TOTAL FEE <i>12239</i>
					City Treasurer Validation
OWNER/ CONTRACTOR / AGENT <i>J.P. Branigan</i>		DATE <i>6-19-84</i>		ISSUED BY <i>[Signature]</i>	
This is a Building Permit when properly filled out, signed and validated, and is not transferable.					PERMIT NUMBER B 4054







City of Palm Springs

Building & Safety

CITY OF PALM SPRINGS

Owner *W. J. ...*

Date *4-21-83*

Location *1100 ...* Permit *1384*

GENERAL BUILDING INSPECTION

Footings	<i>4/20/83</i>	<i>28</i>
Roof	<i>5-16-83</i>	
Outside Wall		
Frame	<i>6-9-83</i>	
Rough Floor	<i>6-9-83</i>	
Electrical	<i>8-8-83</i>	
Plumb	<i>8-8-83</i>	
Lat		
Drywall		
Search		

RE-ROOFING INSPECTIONS

Clear		
-------	--	--

SWIMMING POOLS

Steps		
Under		
Floor		

THIS CARD SHALL BE POSTED ON THE JOB

2465 0001



CITY OF PALM SPRINGS

PERMIT NO. 1384

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self-insure or a certificate of Workers' Compensation insurance, or a certified copy thereof, Sec. 3800, Lab. C. Policy No. 90-46889 Company State farm

A certified copy is hereby furnished to the Department of Planning and Development Expire 7-6-83 Applicant Don Mcintosh

CERTIFICATE OF EXEMPTION FOR WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the permit valuation is for one hundred dollars (\$100) or less.) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California

Date Applicant NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097 Civ.C.)

Lender's Name Lender's Address

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representatives of this city to enter upon the above mentioned property for inspection purposes. Don Mcintosh Signature of Applicant or Agent 4-21-83 Date

CONTRACTOR'S BOND DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 of the City Code, Section 7003 of Division 3 of the Business and Professions Code, and my license is in full force and effect. B-1 Expire 7-1-83 Don Mcintosh

OWNER/BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, repair, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 of the Business and Professions Code) or that he is exempt herefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvement are not intended or offered for sale. If, however, the building or improvement is not intended or offered for sale, the owner-builder will have the burden of proving that he does not intend to improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the property. Sec. 7044, Business and Professions Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such property with a contractor licensed pursuant to the Contractor's License Law.

I am exempt under Sec. B. & P. C. for this reason

Owner Date



**JOB CARD**

**Building & Safety**

**CITY OF PALM SPRINGS**

Owner William Lawrence Date 6-19-92

Location R12 5B Smoketree ranch Permit 23137

**GENERAL BUILDING INSPECTION**

Temp Pole	Gas Pres
Ground Plumbing	Fireplace Ftgs
Setbacks	Fireplace BB
Pad Certification	Masonry Wall Ftgs
Footings	Masonry Wall BB
Roof Nail	Weatherstripping
Outside Wrap	A.C./Htg Ducts
Framing	Security
Top-out Plumbing	R.O.W.
Rough Electric	Planning Release
Insulation	Fire Release
Lath	Eng. Release
Drywall	Final Gas
Sewer (Sketch on reverse side)	Final Elect

**RE-ROOFING INSPECTIONS**

Clean, Patch, Flesh	Roof Final

**SWIMMING POOLS**

Steel, Bonding, Setbacks
Underground Piping/Elect
Final, Gas Pres, Housing, Energy

<u>DEMO OK BP</u>	<u>6-19-92</u>

**THIS CARD SHALL BE POSTED ON THE JOB**

0351 209





# CITY OF PALM SPRINGS BUILDING PERMIT

Page 1 of 2

Owner <b>William Lawrence</b>		Address <b>R12-5B Smoketree Ranch, P.S.</b>		Phone	
Contractor <b>McIntosh</b>		Address <b>44280 Russell, P.D.</b>		Phone <b>346-8480</b>	
Architect		Address		Total Value of Work <b>1000.00</b>	
Engineer		Address		Building Permit 111-3211 <b>35.00</b>	
Lot No.	Blk No.	Tract <b>R12 5B Smoketree Ranch</b>		Plan Check 111-3607	
Lot Size	Zone	Height	Occupancy	A.A. No.	Total Area
Setbacks As Constructed		Front	Side	Side	Rear
		Const. Type		Parcel Number <b>510-175-007</b>	
Description of Work <b>Non-structural demo to prepare for remodel. Remove dry wall cut concrete, remove partition walls, and wood siding and overhang.</b>				SMIP Tax 111-3789 I; 111-3790 II <b>.50</b>	
Special Conditions: <b>DO NOT CONCEAL OR COVER ANY CONSTRUCTION UNTIL THE WORK IS INSPECTED</b>				Microfilm 111-3431 <b>1.50</b>	
<p align="center"><b>IMPORTANT</b></p> <p>The issuance of this permit shall not be held to be an approval of the violation of any provisions of any city or county ordinance or state law.</p> <p>Inspections of work are subject to an approved set of plans being on the job. Changes to plans are not to be made without permission of the Building and Safety Division.</p> <p>The owner and/or contractor is responsible for establishing all property lines. All utilities must be underground.</p> <p>This permit will expire if work is not started in 120 days or if more than 120 days elapses between inspections.</p> <p>I certify that I am familiar with all requirements of the City of Palm Springs as they apply to this permit and understand that these requirements must be completed prior to final inspection and that no certificate of occupancy will be issued until such time as these requirements are met. I certify that I have read this application and state that the information is true and correct.</p>				Permit Issuance 111-3215 <b>15.00</b>	
				Const. Tax 111-3130	
				Dbl. Fee/Rowl/Misc. 111-3299	
				Reroof 111-3291	
				Const. Permit 111-3215	
				Sewer Inspection 111-3214	
				Sewer Main 342-3542	
				Sewer Agreement No. <b>T&amp;A</b>	
				Sewer Conn. Fee 342-3541 <b>F.U.</b>	
				Drainage Fee 135-	
School Fee Public Arts 550-3634					
Tuml 134-3788 Planning 111-3606					
<b>TOTAL FEE</b> <b>52.00</b>					
City Treasurer Validation					
<b>Fridal</b> <b>8-19-92</b> <b>Bperenc</b>					
<b>PERMIT NUMBER</b> <b>B23137</b>					

*[Signature]* **6-19-92** **AL/CS**  
 OWNER/ CONTRACTOR / AGENT      DATE      ISSUED BY

This is a Building Permit when properly filled out, signed and validated, and is not transferable.









**JOB CARD**

**Building & Safety**

**CITY OF PALM SPRINGS**

Owner Mr. & Mrs. William Lawrence 8/18/92

Location 12 5R Smoketree Permit 23416

**GENERAL BUILDING INSPECTION**

Temp Pole	Gas Pres
Ground Plumbing	Fireplace Ftgs
Setbacks	Fireplace BB
Pad Certification	Masonry Wall Ftgs
Footings	Masonry Wall BB
Roof Nail <u>9-9-92</u>	Weatherstripping
Outside Wrap <u>9-9-92</u>	A.C./Htg Ducts
Framing <u>9-9-92</u>	Security
Top-out Plumbing	R.O.W.
Rough Electric <u>9-17-92</u>	Planning Release
Insulation <u>9-15-92</u>	Fire Release
Lath	Enj. Release
Drywall	Final Gas
Sewer (Sketch on reverse side)	Final Elect <u>10-26-92</u>

**RE-ROOFING INSPECTIONS**

Clean, Patch, Flash	Roof Final

**SWIMMING POOLS**

Steel, Bonding, Setbacks	
Underground Piping/Elect	
Final, Gas Pres, Housing, Energy	

THIS CARD SHALL BE POSTED ON THE JOB



# CITY OF PALM SPRINGS BUILDING PERMIT

Owner		Address		Phone	
Mr & Mrs William Lawrence		same		320-3098	
Contractor		Address		Phone	
Don McIntosh		44-280 Russell, PIm Desert		346-8480	
Architect		Address		Lic. No.	
				443787	
Engineer		Address		Total Value of Work	
				18,000.00	
Lot No.	Blk No.	Tract	Building Address		
			12 5R Smoketree		
Lot Size	Zone	Height	Occupancy	A.A. No.	Total Area
					97.5
Setbacks As Constructed	Front	Side	Side	Rear	Const. Type
					Parcel Number
Description of Work					59 510-175-007
Extend existing living room on east and west side.					
Special Conditions:					
DO NOT CONCEAL OR COVER ANY CONSTRUCTION UNTIL THE WORK IS INSPECTED					
<b>IMPORTANT</b>					
The issuance of this permit shall not be held to be an approval of the violation of any provisions of any city or county ordinance or state law.					
Inspections of work are subject to an approved set of plans being on the job. Changes to plans are not to be made without permission of the Building and Safety Division.					
The owner and/or contractor is responsible for establishing all property lines. All utilities must be underground.					
This permit will expire if work is not started in 120 days or if more than 120 days elapses between inspections.					
I certify that I am familiar with all requirements of the City of Palm Springs as they apply to this permit and understand that these requirements must be completed prior to final inspection and that no certificate of occupancy will be issued until such time as these requirements are met. I certify that I have read this application and state that the information is true and correct.					
OWNER/ CONTRACTOR / AGENT		DATE	ISSUED BY		
<i>Don McIntosh</i>		8/18/92	al/ga/al/bo		
This is a Building Permit when properly filled out, signed and validated, and is not transferable.					
Permit Number					B23416

Building Permit 111-3211	208.41
Plan Check 111-3607	16.98
SMIP Tax 111-3789 I; 111-3790 II	1.26
Microfilm 111-3431	2.50
Permit Issuance 111-3218	45.00
Const. Tax 111-3130	39.00
Dbi. Fee/Rnwl/Misc. 111-3299	
Reroof 111-3291	
Const. Permit 111-3215	
Sewer Inspection 111-3214	
Sewer Main 342-3642	
Sewer Agreement No. T&A	
Sewer Conn. Fee 342-3641 F.U.	
Drainage Fee 135-	
School Fee Public Arts 550-3634	
Turn 134-3788 Planning 111-3606	
<b>TOTAL FEE</b>	<b>313.15</b>

*FINAL*  
*10-26-92*  
*B PERM*

03/22/2095



**BUILDING PERMIT APPLICATION AND COORINATION SHEET** DATE: 7/6/92 PLAN CHECK FEES: 123.00

Project Address 12 SR Smoke Tree Ranch Phone# \_\_\_\_\_  
 Assessor's Parcel# 510-175-007  
 Legal Description Single family residence  
 Owner's Name MR. & MRS. WILLIAM LAWRENCE Phone# 320-3098  
 Owner's Address 12 SR SMOKE TREE RANCH Palm Springs, CA. 92262  
 Contractor's Name DAN McINTOSH Phone# 346-8480 Lic.# 443787  
 Contractor's Addr. 44-280 RUSSELL Palm Desert, CA 92260  
 Architect's Name ALBERT FREY Phone# 325-2851 Lic.# C494  
 Architect's Addr. 686 PALISADES DRIVE PALM SPRINGS, CA. 92262  
 Civil Engineer's Name CARLOS ELIAS Phone# 328-7271 Lic.# 16839  
 Civil Engineer's Addr. 38825 CHARLESWORTH DR. CATHEDRAL CITY, CA. 92234  
 Structural Engineer's Name \_\_\_\_\_ Phone# \_\_\_\_\_ Lic.# \_\_\_\_\_  
 Structural Engineer's Addr. \_\_\_\_\_  
 Project Coordinator as designated by Owner/Developer

Name DENNY TRASK Address 74-459 BUTTANWOOD Phone# 568-9196  
 Palm Desert

Total Value of Work \$ 18,000

Lot size (s.f.) 19,180 Zone \_\_\_\_\_ Flood Zone \_\_\_\_\_ % of Lot covered \_\_\_\_\_

Building Use RESIDENCE

Describe work in detail EXTENDING Living Room 3.5' x 21' EAST WALL  
" " 6' x 2' ON EACH SIDE OF FIREPLACE ON WEST SIDE.

New Square Footage: Building 97.5 Garage/Carport \_\_\_\_\_ Roofed Patio \_\_\_\_\_

Designed setbacks: (clockwise) Front \_\_\_\_\_ Side \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Building Height at setback: Front \_\_\_\_\_ Side \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Pad Height \_\_\_\_\_ finished Floor Height \_\_\_\_\_ crown of street \_\_\_\_\_

WHERE INDICATED BY A CIRCLED X, SUBMIT 2 COPIES

- Plot Plan with lot square footage.
- Drainage Plan: Show lot corner elevations.
- Grading Plan:
- Foundation Plan:
- Framing Plan:
- Mech. Plan: Duct schematic, equip. Location. Show CFM to all new registers.
- Electrical Plan:
- Roof or Floor Truss Eng., if applicable.
- Structural Calculations, if applicable.
- Title Co. Guarantee of Ownership.
- Row Dedication.
- Homeowners Assoiaton Approval
- Planning Department Approval
- Electrical Load Calculations: Include 8000 future walls for new single dwellings and for condo projects. Include all old plus new loads for additions of all types.
- Energy Conservation Calculations.
- Waste, Drain & Vent Isometric.
- Gas Piping Isometric: Show BTU ratings of each appliance on all branches. Show distance of longest run and total BTU for entire system.
- Water Piping Isometric, dimensioned.
- Manufacture's Brochure for HVAC equipment, mark exact model(s).
- Fireplace Specifications, if applicable.
- Door & Window Schedule. provide size
- Health Dept. approved plans.
- Complete Application.
- Floor Plan, dimensioned.

Application received by [Signature]

Requesting review by: \_\_\_\_\_ Planning Division Date \_\_\_\_\_ Date \_\_\_\_\_ Date \_\_\_\_\_  
 (See Reverse Side) \_\_\_\_\_ Engineering Division Date \_\_\_\_\_ Date \_\_\_\_\_ Date \_\_\_\_\_  
 \_\_\_\_\_ Fire Department Date \_\_\_\_\_ Date \_\_\_\_\_ Date \_\_\_\_\_

Bldg. P.C.# 5174 Eng. File \_\_\_\_\_ Fire Dept. Job# \_\_\_\_\_ Planning Case# \_\_\_\_\_



CITY OF PALM SPRINGS

PERMIT NO. 23416

INSURANCE / LICENSE DECLARATION

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.  
License Class B-1 Expires 8-94

License No. 443787  
Contractor McIntosh Construction

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or country which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)  
 I am exempt under Sec. \_\_\_\_\_, B. & P. C. for this reason \_\_\_\_\_

Owner \_\_\_\_\_ Date \_\_\_\_\_

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).  
Policy No. 1130932 Company STATE FUND

Certified copy is hereby furnished.  
 Certified copy is filed with the Department of Planning and Development.  
Expires 7/93 Applicant McIntosh Construction

CERTIFICATE OF EXEMPTION FOR WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the permit valuation is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.  
Date \_\_\_\_\_ Applicant \_\_\_\_\_

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097 Civ.C.).

Lender's Name None  
Lender's Address \_\_\_\_\_

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.  
Signature of Applicant or Agent [Signature] Date 8/18/92



# Palm Springs Unified School District

333 S. Farrell Drive  
Palm Springs, CA  
92262  
(619) 327-1581 x396  
Fax (619) 327-7402

## State of California School Fee Certification Form

Application #:

Building Permit Source:	PALM SPRINGS
Plan Check / Permit #:	NA
Applicant Last Name:	LAWRENCE
First Name:	WILLIAM
Address:	12 5R SMOKETREE
City, ST zip:	PALM SPRINGS, CA 92262
Telephone #:	619-320-3098
Building Address:	12 5R SMOKETREE
City:	PALM SPRINGS
Type of Development:	EXEMPT
Description:	RESIDENT-ADDITION
Waive Because:	ADDITION < 500 SQ FT

Lot #:	NA
Tract #:	NA
Parcel # (APN):	510-175-007
Square Footage:	98

Fee calculated at .27 for commercial developments and calculated at 1.65 for residential developments.

Fees Owed?	NO
Total Paid:	\$0.00
Refund Amount:	
Check #:	NA
Receipt #:	NA

Comments:

This certifies that a building permit may be issued for this proposed development. The above mentioned 'applicant' has complied with the requirements for state school fees as set forth in SB181 and other relevant state requirements at this time (07/01/92).

  
\_\_\_\_\_  
David B. MacEwan  
Director, Facilities Planning & Development

  
\_\_\_\_\_  
Signature of Person applying for Certificate

  
\_\_\_\_\_  
Clerk

Date:



# CERTIFICATE OF CONFORMANCE

*THE UNDERSIGNED MANUFACTURER HEREBY CERTIFIES* that the products identified below and on attached sheets Nos. \_\_\_\_\_ are marked with the Collective Mark of the AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) and were manufactured in conformance with applicable provisions of American National Standard ANSI/AITC A190.1-1983, Structural Glued Laminated Timber, and that such manufacture has been at our plant in Swisshome, OR, which plant has a quality control system approved by the Inspection Bureau of the AMERICAN INSTITUTE OF TIMBER CONSTRUCTION and inspected periodically by such Bureau.

The manufacture of these members complies with the manufacturing and fabricating provisions of Chapter 25 of the Uniform Building Code.

JOB NAME All Coast Forest Products for Stock & Custom

JOB LOCATION Chino, CA

CUSTOMER'S ORDER NO. PO#6419,01-05 DATE 5-19-92 MFGR'S ORDER NO. 1759-A

24F-V4, WP Glue, Ind App, Load Wrap, Arch App, Indv Wrap

SIGNATURE Michael E. O'Brien COMPANY American Laminators

TITLE Quality Control ADDRESS POB 99, Swisshome, OR DATE 06-01-92

*AITC HEREBY CERTIFIES* that the said company at its said plant is licensed by the AMERICAN INSTITUTE OF TIMBER CONSTRUCTION to use the AITC Collective Mark in respect of products which comply with applicable provisions of said Standard, that the adequacy of the quality control system in effect at said plant is periodically inspected and verified by the Inspection Bureau of the AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, and that, in the judgment of AITC, said company is capable of complying with applicable manufacturing and testing provisions of said Standard in respect of products manufactured at said plant. Conformance with the Standard in respect of any specific or particular product is the sole responsibility of the manufacturer; AITC's guarantee hereunder being that the said company is qualified to produce a product meeting the said Standard and that its plant is periodically inspected and verified by the AITC Inspection Bureau.



AITC FORM 18CA

AITC Certificate No. 76825 A  
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION

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035202099



**SMOKE TREE, INC.**

1800 SOUTH SUNRISE WAY  
PALM SPRINGS, CALIFORNIA 92264



June 25, 1992

Mr. and Mrs. William J. Lawrence  
1900 Old Kent Bk Bldg.  
Kalamazoo, MI 49007

Dear Bill and Dori,

I am pleased to advise you that the Architectural Committee has approved your house remodeling plans drawn by Albert Frey and dated June 6, 1992. While the Smoke Tree, Inc. Board has not had the opportunity to review the plans, I will be sending them to the Board members.

However, since there is no infringement of any set-back lines, and with the Architectural Committee's endorsement, I encourage you to proceed with your project.

Sincerely,

Ted Parfet  
President  
Smoke Tree, Inc.

cc: Albert Frey  
Graham Barbey

0352 21087



# City of Palm Springs BUILDING PERMIT

Permit Technician **Angela LaFrance**

DATE SUBMITTED <b>10/2/2007</b>		PLAN CHECK NUMBER <b>6222A</b>		PLAN CHECK FEE		CASE NUMBER		B E M P E P H P PERMITS <b>X X X X X</b>		
Owner <b>Marvel Kirby</b>			Address <b>447 Lanai Rd.</b>			Phone		State Lic. Number		
Contractor <b>Chris Foster</b>			Address <b>P.O. Box 1005, PS</b>			Phone <b>325-5028</b>		State Lic. Number <b>668379</b>		
Architect <b>James McEachern</b>			Address <b>970 Sierra, PS</b>			Total value of work \$ <b>15,000.00</b>		Sewer Agreement #		
Engineer			Address			School Fee		Fixture Units <b>0</b>		
Lot # <b>10</b>	Block # <b>+</b>	Tract <b>STR-3</b>		Building Address <b>5R ROCK 12 SMOKETREE RANCH</b>			Building Permit <b>001-32201</b>		379.08	
Lot Size		Zone <b>R1A</b>	Height	Occupancy <b>R3</b>	A.A. No.	Total Area		Plan Check <b>001-34307</b>		
Setbacks As Constructed		Front	Side	Side	Rear	Parcel Number <b>510-175-005</b>		SMIP Tax <b>001-37111</b>		
Square Footage		Building		Garage/Carport		Roofed Pato/Porch		Microfilm <b>001-34308</b>		
Use of building <b>Single Fam Res</b>		SMIP Type <b>1</b>	Permit Type <b>SFA</b>	Const. Type	Fire Sprinkler	Units <b>0</b>	New Sew Cn <b>0</b>	Permit Issuance <b>001-32204</b>		
Class of Work		New	Additions	Alterations	Repair	Remodel <b>X</b>	Removal	Replace	Construction Tax <b>001-31601</b>	
Describe work in detail: <b>Remodel existing casita. Add new A/C &amp; FAU and add new fireplace.</b>										
Special Conditions: <b>Duct testing req'd prior to final.</b> <b>ARE FAULT BREAKERS NOT INSTALLED IN CASITA</b> <b>ALL WIRING ORIGINAL W/NO GROUND</b> <b>NO NEW WIRING INSTALLED KTOX</b> <small>DO NOT CONCEAL OR COVER ANY CONSTRUCTION UNTIL THE WORK IS INSPECTED</small>										
<b>IMPORTANT</b>										
The issuance of this permit shall not be held to be an approval of the violation of any provisions of any city or county ordinance or state law.										
Inspections of work are subject to an approved set of plans being on the job. Changes to plans are not to be made without permission of the Building and Safety Divisions.										
The owner and/or contractor is responsible for establishing all property lines. All utilities must be underground.										
This permit will expire if work is not started in 180 days or if more than 180 days elapses between inspections.										
I certify that I am familiar with all requirements of the City of Palm Springs as they apply to this permit and understand that these requirements must be completed prior to final inspection and that no certification of occupancy will be issued until such time as these requirements are met. I certify that I have read this application and state that the information is true and correct.										
<i>[Signature]</i>			<b>10-3-07</b>			<i>[Signature]</i>			<b>TOTAL FEE</b>	<b>664.20</b>
OWNER/CONTRACTOR/AGENT			DATE			ISSUED BY			PERMIT NUMBER <b>C 20046</b>	
This is a Building when properly filled out, signed and validated, and is not transferable.										
<b>INSPECTOR'S COPY</b>										



□&110



JOB CARD  
Building & Safety  
City of Palm Springs

Owner Marvel Kirby

Date 10/3/2007

Address 5R ROCK 12 SMOKETREE RANCH

Permit # C 20046

**SWIMMING POOLS**

Steel, Bonding, Setbacks	
Underground Piping/Elect	
Final, Gas Pres. Housing, Energy	
Clean, Patch, Flash	Roof Final
Fireplace Ftgs	Fireplace BB
Massonry Wall Figs	Massonry Wall BB

**GENERAL BUILDING INSPECTIONS**

Temp Pole	Lath	11/30/07	Klinder
Setbacks	Insulation	11/15/07	Klinder
Pad Certification	Drywall	11/30/07	Klinder
Ground Plumbing	Gas Pres	1/16/08	KFOX
Footings	Sewer (Sketch on reverse side)		
Roof Nail	Planning Release		
Outside Wrap	Fire Release		
A.C./Htg Ducts	Eng. Release		
Top-Out Plumbing	Final Gas		
Rough Electric	Final Electric		
Framing	C.O. Issued	11/9/07	Klinder
	Final	1/24/08	KFOX

# 6222A

10-2-07 AL

Plan Check Number

Date Submitted

int.

Project Address

R12 5R Smdetree

Project Description

Remodel

Date

Activity

/	Planning	
/	Engineering	
/	Fire Dept.	

10/2	Appvd	1
------	-------	---

Total p/c time



CITY OF PALM SPRINGS

PERMIT NO. 20046

INSURANCE/LICENSE DECLARATION

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class CC-379 Expires 1-31-08  
Contractor Charles W. Foster Inc

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or country which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)

I am exempt under Sec. \_\_\_\_\_, B & P.C. for this reason \_\_\_\_\_

Owner \_\_\_\_\_ Date \_\_\_\_\_

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation carrier and policy number are:

Carrier: State Farm Exp. 1-31-07

(This section need not be completed if the permit is for one hundred (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 10-3-07 Applicant Charles Foster

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097 Civ.C.)

Lender's Name \_\_\_\_\_  
Lender's Address \_\_\_\_\_

I certify that I have read this application and state the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent [Signature] Date 10-3-07



# City of Palm Springs BUILDING PERMIT WORK SHEET

Address 5R ROCK 12 SMOKETREE RANCH

DATE SUBMITTED 10/2/2007		PLAN CHECK NUMBER 6222A		PLAN CHECK FEE		CASE NUMBER		B E M P EP HP PERMITS X X X X X																																																							
Owner Marvel Kirby		Address 447 Lanai Rd.		Phone		State		Lic. Number																																																							
Contractor Chris Foster		Address P.O. Box 1005, PS		Phone 325-5028		State		Lic. Number 668379																																																							
Architect James McEachern		Address 970 Sierra, PS		Phone 322-7412		State		Lic. Number 29841																																																							
Engineer		Address		Phone		State		Lic. Number																																																							
Lot # 10	Block # +	Tract STR-3		Building Address 5R ROCK 12 SMOKETREE RANCH																																																											
Lot Size		Zone R1A	Height	Occupancy R3	A.A. No.	Total Area	Total value of work \$ 15,000.00																																																								
Setbacks As Constructed		Front	Side	Side	Rear	Parcel Number 510-175-005		Building Permit 270.12																																																							
Square Footage		Building		Garage/Carport		Roofed Pato/Porch		Electrical Permit 45.62																																																							
Use of building Single Fam Res		SMIP Type 1	Permit Type SFA	Const. Type	Fire Sprinkler	Units 0	New Sew Cn 0	Mechanical Permit 31.72																																																							
Class of Work		New	Additions	Alterations	Repair	Remodel X	Removal	Replace	Plumbing Permit 31.62																																																						
Describe work in detail: Remodel existing casita. Add new A/C & FAU and add new fireplace.								Combined Permits 379.08																																																							
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								Plan Check Due 158.00																																																							
								SMIP Tax 1.50																																																							
								Microfilm 5.00																																																							
								Permit Issuance 101.12																																																							
								Construction Tax 0.00																																																							
								Dbl. Fee/Rmw/Misc. 0.00																																																							
								Construction Permit 0.00																																																							
								Sewer Inspection 0.00																																																							
								Sewer Main 0.00																																																							
								Sewer Agreement 0.00																																																							
								Sewer Connection Fee 0.00																																																							
								Drainage Fee 0.00																																																							
								TUMF Fee 0.00																																																							
								Misc. Filing Fee 0.00																																																							
								Public Arts Fee 0.00																																																							
								Planning Fee 0.00																																																							
								Technology Fee 19.50																																																							
								General Plan Maint. Fee 0.00																																																							
								<b>TOTAL FEE 664.20</b>																																																							
								Fixture Units 0																																																							





# BUILDING PERMIT APPLICATION

DATE: 10/2/2007 PLAN CHECK DEPOSIT FEE: 0

Project Address 12 Rock 5R Assessor's Parcel # 510-175.005

Owner's Name MARVEL KIRBY Phone# \_\_\_\_\_

Owner's Address 447 LANAI ROAD

Contractor's Name CHRIS FOSTER Phone # 3255028 Lic.# \_\_\_\_\_

Contractor's Address \_\_\_\_\_

Architect's Name JAMES MCEACHERN Phone # 3227412 Lic.# C29841

Architect's Address 970 E. SIERRA WAY.

Engineer's Name \_\_\_\_\_ Phone # \_\_\_\_\_ Lic.# \_\_\_\_\_

Engineer's Address \_\_\_\_\_

CONTACT PERSON JAMES MCEACHERN Address 970 E SIERRA WAY,

PHONE 322 7412 FAX 416 1427 EMAIL \_\_\_\_\_

TOTAL VALUE OF WORK \$ 15000

Lot Size (sf.) 18504 Zone RIA Flood Zone NO % of Lot Covered 18

Building Use SPR Type of Const. VN Occupancy Group(s) RS/U1 Sprinkled NO

Project Square Footage: Building \_\_\_\_\_ Garage \_\_\_\_\_ Carport \_\_\_\_\_ Patio (type) \_\_\_\_\_

Project Description REMODEL CASITA. REPLACE (E) A/C CONDITIONER & WALL HEATER. ADD FIREPLACE (GAS)

WHERE INDICATED BY A CHECK, SUBMIT 3 SETS  
(Minium size of plans 18" X24" Minium scale 1/4 inch = 1ft )

- |  |   |
|--|---|
| <input type="checkbox"/> COMPLETE APPLICATION  | <input type="checkbox"/> WASTE, DRAIN & VENT ISOMETRIC  |
| <input type="checkbox"/> PLOT PLAN WITH LOT SQUARE FOOTAGE   | <input type="checkbox"/> GAS/WATER PIPING ISOMETRIC (DIMENSIONED LAYOUT)  |
| <input type="checkbox"/> DRAINAGE PLAN: SHOW LOT CORNER ELEVATIONS   | <input type="checkbox"/> DETAILS SHOWING COMPLIANCE WITH ACCESSIBILITY REQUIREMENTS                                       |
| <input type="checkbox"/> GRADING PLAN: 2 COPIES SIGNED BY CITY ENGINEER  | <input type="checkbox"/> SITE PLAN SHOWING PARKING FOR PERSONS WITH DISABILITIES AND PATH OF TRAVEL TO BUILDING ENTRANCE. |
| <input type="checkbox"/> STRUCTURAL CALCULATIONS, IF APPLICABLE  | <input type="checkbox"/> TITLE 24 (ENERGY) - 2 SETS   |
| <input type="checkbox"/> FLOOR PLAN, DIMENSIONED. DOOR & WINDOW SCHEDULE   | <input type="checkbox"/> MANUFACTURE'S BROCHURE FOR HVAC EQUIPMENT.   |
| <input type="checkbox"/> FRAMING PLAN WITH SECTIONS AND ELEVATIONS   | <input type="checkbox"/> MECH. PLAN / DUCT SCHEMATIC, EQUIPMENT LOCATION  |
| <input type="checkbox"/> TRUSS CALCULATIONS AND LAYOUT AS APPLICABLE   | <input type="checkbox"/> FIREPLACE SPECIFICATIONS, IF APPLICABLE  |
| <input type="checkbox"/> FOUNDATION PLAN   | <input type="checkbox"/> PLANNING/ FIRE / ENGINEERING APPROVAL  |
| <input type="checkbox"/> ELECTRICAL PLAN / LOAD CALCULATIONS INCLUDE 8-KW FUTURE FOR NEW SINGLE DWELLINGS AND CONDOS |   |

Bldg. Plan Check # 6222A Eng. File \_\_\_\_\_ Fire Dept. Job # \_\_\_\_\_ Planning Case # \_\_\_\_\_

Installation Certificate Prescriptive Method - HVAC-only Alteration CF-6R-ALT

Project Title: <b>KIRBY RESIDENCE</b>		Date: <b>1/18/08</b>	© 2005 CalCERTS
Project Address: <b>1850 SMOKETREE LN. RK 12-2</b>		Climate Zone: <b>16</b>	Enforcement Agency Use Only
Installing Contractor: <b>AIR PRO INC.</b>		Telephone: <b>760-343-5507</b>	Building Permit #
Company Name:			Plan Check Date
			Field Check Date

IMPORTANT: This CF-6R form is only for use when an HVAC-only alteration is made to an existing home. Use this form for each system being altered. This is system # \_\_\_\_\_ of \_\_\_\_\_ systems altered in this house. Copies to: Homeowner, HERS Rater, and Building Department.

List the specifications for the newly installed equipment. These must match the installed equipment exactly. Installed equipment must match type/location and meet or exceed efficiencies/R-values from CF-1R.

Equipment Type	Manufacturer	Model Number	Efficiency	Load**	Capacity**
Furnace	<b>Goodman</b>		AFUE		
Heat Exchanger			N/A		
Heat Pump fan coil			N/A		
Hydronic fan coil			N/A		
Other FAU					
Describe Package gas/AC			AFUE		
			SEER		
			HSPF		
			SEER		
A/C Condenser			EER*		
			SEER		
Heatpump Condenser	<b>Goodman</b>		HSPF		
			SEER		
Indoor DX coil			EER*		
Hydronic coil					

\* Provide EER if needed for compliance (line 24 of CF-1R-ALT). Installer must provide adequate documentation to verify EER. In some cases the specific furnace may need to be verified in order to achieve a specific EER. In some cases a time delay relay and/or TXV may need to be verified in order to achieve a specific EER.  
 \*\* Loads are sensible for cooling.  
 \*\*\* Capacities are sensible at design conditions for cooling and adjusted (altitude, downflow, etc.) output for heating.

TXV:  
 If TXV is required by the CF-1R form (line 23 on CF-1R-ALT form), it has been installed and access has been provided for visual verification by HERS rater. Sampling is allowed for TXV verification.

Entirely New Duct System: (Line 6 of CF-1R-ALT)  
 For Entirely new duct systems, the required leakage is 6% rather than 15% for altered systems. The alternative to duct sealing by increasing the efficiency of the equipment is not an option for entirely new duct systems.

I, the undersigned, verify that the equipment listed above is: 1) the actual equipment installed in the home; 2) equal to or more efficient than required by the Certificate of Compliance (CF-1R-ALT Form); and 3) equipment that meets or exceeds the appropriate requirements for manufactured devices (Appliance Efficiency Standards), where applicable.  
 I, the undersigned, verify that diagnostic test results listed on this form were performed in conformance with the requirements for compliance and that the newly installed or retrofitted mechanical system components conform with the Mandatory requirements specified in Section 50(m) of the 2006 Building Energy Efficiency Standards.

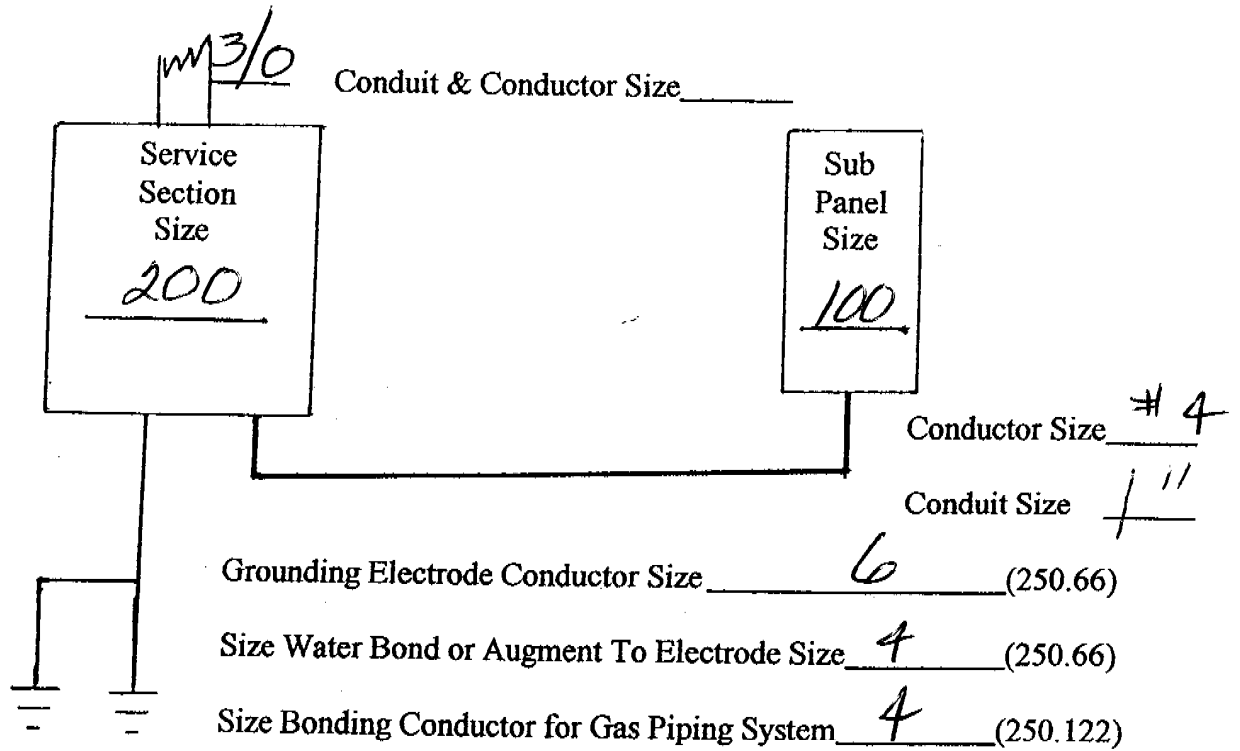
Signed (Installer): \_\_\_\_\_ Date: \_\_\_\_\_  
 Notes:



Installation Certificate Prescriptive Method - HVAC-only Alteration CF-6R-ALT

Project Title: <b>KIRBY RESIDENCE</b>		Date: <b>1/18/08</b>	© 2005 CalCERTS
<b>IMPORTANT:</b> This CF-6R form is only for use when an HVAC-only alteration is made to an existing home. Use one form for each system being altered. This is system # _____ of _____ systems altered in this house. Copies to: Homeowner, HERS Rater, and Building Department.			
<b>Duct Leakage test Results (if duct testing is required per CF-1R-ALT form)</b>			
Step 1 - <b>Pre-test:</b> Leakage of the system before any alterations. This test is optional and is only used for the 80% reduction option.			
1	Pre-test leakage:	CFM25	
2		Line 1 x 0.4 =	target for 80% reduction
Step 2 - <b>Determine Total System Fan Flow.</b> Use any of these methods. Use values for equipment after alterations.			
3	Coil(s): Condenser tonnage:	2 tons x 400 CFM/ton =	800 CFM
4	Heating: Furnace output:	Btu/h x .0217 CFM/Btu/h =	CFM
5	Measured (refer to ACM Manual Appendix RC, section 4.1) =		CFM
6	Measurement method:	<input type="checkbox"/> flow hood <input type="checkbox"/> plenum pressure matching <input type="checkbox"/> flow grid	
7	Total system fan flow value to be used:	800 CFM	may use highest of lines 3, 4, or 5.
Step 3 - <b>Determine Targets:</b>			
8a	Total System fan flow (line 7 from above) x 0.08 =		CFM25 = 8% leakage target (new duct systems)
8b	Total System fan flow (line 7 from above) x 0.15 =	120	CFM25 = 15% leakage target
9	Total System fan flow (line 7 from above) x 0.10 =		CFM25 = 10% leakage to outside target
Step 4 - <b>Alterations:</b> Must be consistent with the CF-1R form.			
10	<input checked="" type="checkbox"/> Seal all new connections with approved materials.		
11	<input checked="" type="checkbox"/> No newly constructed portions of the system can have unducted building cavities to convey system air.		
12	<input type="checkbox"/> If adding or replacing more than 40 feet of duct, insulate new ducts per package D for that climate zone.		
Step 5 - <b>Final Leakage (regular duct leakage test for 15% total and 80% reduction)</b>			
13	Leakage =	90 CFM25	refer to 2005 ACM appendix RC, Sections RC 4.3.1
14a	<input checked="" type="checkbox"/> If line 13 is less than line 8a, house passes the 8% leakage requirement. Go to Step 9.		
14b	<input checked="" type="checkbox"/> If line 13 is less than line 8b, house passes the 15% leakage requirement. Go to Step 9.		
15	<input type="checkbox"/> If line 13 is less than line 9, house passes the 80% reduction requirement, continue.		
16	<input type="checkbox"/> If either of lines 14a, 14b or 15 are checked, HERS verification is required. Sampling can be used.		
17	<input type="checkbox"/> If line 15 is checked, but not 14a or 14b, Smoke Test and Visual Inspection of Accessible Duct Sealing is required. Go to Step 8.		
Step 6 - <b>Leakage to Outside:</b> Similar to a regular duct blaster test but the house is pressurized to 25 pascals at the same time.			
18	Leakage =	CFM25	refer to 2005 ACM appendix RC, Sections RC 4.3.3
19	<input type="checkbox"/> If line 18 is less than line 9, house passes the 10% leakage to outside requirement.		
20	<input type="checkbox"/> If line 19 passes, HERS verification is required. Sampling can be used.		
Step 7 - <b>If the house does not pass any of lines 14, 15 or 19:</b>			
21	<input type="checkbox"/> Smoke Test and Visual Inspection of Accessible Duct Sealing is required. See Step 9.		
22	<input type="checkbox"/> Install required label per ACM Appendix RC, Sections RC 4.3.5.		
Step 8 - <b>Smoke Test and Visual Verification (See 2005 Residential ACM Appendix RC, Sections RC 4.3.6-7)</b>			
23	<input type="checkbox"/> Perform smoke test per ACM Appendix RC, Sections RC 4.3.6.		
24	<input type="checkbox"/> Perform Visual Inspection and repair of excessively damaged ducts per ACM Appendix RC, Sections RC 4.3.7.		
25	<input type="checkbox"/> Seal register boots to surrounding material per ACM Appendix RC, Sections RC 4.3.7.		
<b>HERS Verification</b>			
26	<input checked="" type="checkbox"/> If line 14 is checked, 15% leakage to be verified by HERS rater. Sampling is allowed.		
27	<input type="checkbox"/> If line 15 is checked, 80% leakage reduction to be verified by HERS rater (post test only) AND Smoke Test and Visual Verification to be performed by HERS Rater. Sampling is allowed.		
28	<input type="checkbox"/> If line 19 is checked, 10% leakage to outside to be verified by HERS rater. Sampling is allowed.		
29	<input type="checkbox"/> If none of lines 14, 15 or 19 are checked Smoke Test and fix all accessible leaks. No sampling allowed.		
<b>Sampling - Only if house passes on lines 14, 15 or 19.</b>			
30	<input type="checkbox"/> 1.) Homeowner chooses to be put into a group of homes for random third party HERS sampling. 2.) Homeowner, installer and rater must sign the three-party agreement. 3.) All above tests must be completed by the installer or their representative, not the third party rater.		
<b>No Sampling - House does not pass by lines 14, 15 or 19; OR homeowner chooses not to be part of a sample group.</b>			
31	<input type="checkbox"/> 1.) House to be tested by a third party HERS rater selected by installer. 2.) Homeowner, installer and rater must sign the three-party agreement. 3.) All above tests may be completed by the installer or their representative, and then verified by a third party rater. OR, all above tests may be performed solely by the third party rater.		
32	<input type="checkbox"/> 1.) House to be tested by third party HERS rater selected by homeowner. 2.) All above tests may be completed by the installer or their representative, and then verified by a third party rater. OR, all above tests may be performed solely by the third party rater.		

## Service Section Upgrade-Changeout



A minimum of two 8' driven ground rods spaced at least 6' apart shall be installed in the absents of a concrete encased electrode (uffer).

**Table 250-66 Grounding Electrical Conductor for Alternating-Current Systems**

Size of Largest Ungrounded Service-Entrance Conductor or Equivalent Area for Parallel Conductors <sup>A</sup> (AWG/kcmil)		Size of Grounding Electrode Conductor (AWG/kcmil)	
Copper	Aluminum or Copper-Clad Aluminum	Copper	Aluminum or Copper-Clad Aluminum <sup>B</sup>
2 or smaller	1/0 or smaller	8	6
1 or 1/0	2/0 or 3/0	6	4
2/0 or 3/0	4/0 or 250	4	2
Over 3/0 through 350	Over 250 through 500	2	1/0
Over 350 through 600	Over 500 through 900	1/0	3/0
Over 600 through 1100	Over 900 Through 1750	2/0	4/0
Over 1100	Over 1750	3/0	250

Notes:

- Where multiple sets of service-entrance conductors are used as permitted in 230.40, Exception No. 2, the equivalent size of the largest service-entrance conductor shall be determined by the largest sum of the areas of the corresponding conductors of each set.
- Where there are no service-entrance conductors, the grounding electrode conductor size shall be determined by the equivalent size of the largest service-entrance conductor required for the load to be served.

<sup>A</sup> This table also applies to the derived conductors of separately derived ac systems.

<sup>B</sup> See installation restrictions in 250.64 (A).

**Table 250-122 Minimum Size Equipment Grounding Conductors for Grounding Raceway and Equipment**

Rating or Setting of Automatic Overcurrent Device in Circuit Ahead of Equipment, Conduit, etc., Not Exceeding (Amperes)	Size (AWG or kcmil)	
	Copper	Aluminum or Copper-Clad Aluminum*
15	14	12
20	12	10
30	10	8
40	10	8
60	10	8
100	8	6
200	6	4
300	4	2
400	3	1
500	2	1/0
600	1	2/0
800	1/0	3/0
1000	2/0	4/0
1200	3/0	250
1600	4/0	350
2000	250	400
2500	350	600
3000	400	600
4000	500	800
5000	700	1200
6000	800	1200

Note: Where necessary to comply with 250.4(A)(5) or 250.4(B)(4), the equipment grounding conductor shall be sized larger than given in this table.

\*See installation restrictions in 250.120.





# City of Palm Springs BUILDING PERMIT

Permit Technician **Angela LaFrance**

DATE SUBMITTED <b>6/22/2007</b>		PLAN CHECK NUMBER <b>5630</b>		PLAN CHECK FEE <b>370</b>		CASE NUMBER <b>Craig</b>		B E M P EP HP PERMITS <b>XX</b>		
Owner <b>Marvel Kirby</b> Address <b>447 Lanai Rd.</b>				Phone		State		Lic. Number		
Contractor <b>Chris Foster</b> Address <b>P.O. Box 1005, PS</b>				Phone <b>325-5028</b>		State		Lic. Number <b>668379</b>		
Architect				Address		Total value of work \$ <b>45,000.00</b>		Sewer Agreement #		
Engineer				Address		School Fee		Fixture Units <b>0</b>		
Lot # <b>10</b>	Block # <b>+</b>	Tract <b>STR-3</b>		Building Address <b>5R ROCK 12 SMOKETREE RANCH</b>			Building Permit <b>661-32201</b>		<b>709.49</b>	
Lot Size		Zone <b>R1A</b>	Height	Occupancy	A.A. No.	Total Area		Plan Check <b>001-34301</b> <b>62.76</b>		
Setbacks As Constructed		Front	Side	Side	Rear	Parcel Number <b>510-175-005</b>		SMIP Tax <b>001-37111</b> <b>4.50</b>		
Square Footage		Building		Garage/Carport <b>659</b>		Roofed Pato/Porch		Microfilm <b>001-34308</b> <b>15.00</b>		
Use of building <b>Single Fam Res</b>		SMIP Type <b>1</b>	Permit Type <b>SFA</b>	Const. Type	Fire Sprinkler	Units <b>0</b>	New Sew Cn <b>0</b>	Permit Issuance <b>001-32204</b> <b>50.56</b>		
Class of Work		New	Additions <b>X</b>	Alterations	Repair	Remodel	Removal	Replace		
Describe work in detail: <b>Construct new garage.</b>							Dbl.Fee/Rmw/Misc. <b>001-32210</b> <b>0.00</b>			
Special Conditions:  <b>DO NOT CONCEAL OR COVER ANY CONSTRUCTION UNTIL THE WORK IS INSPECTED</b>							Construction Permit <b>001-32203</b> <b>0.00</b>			
							Sewer Inspection <b>001-32202</b> <b>0.00</b>			
							Sewer Main <b>420-38704</b> <b>0.00</b>			
							Sewer Agreement T&A <b>0.00</b>			
							Sewer Connection Fee <b>420-38703</b> <b>0.00</b>			
							Drainage Fee <b>0.00</b>			
							TUMF Fee <b>134-33110</b> <b>0.00</b>			
							Misc. Filing Fee <b>0.00</b>			
							Public Arts Fee <b>150-34390</b> <b>0.00</b>			
							Planning Fee <b>001-34303</b> <b>0.00</b>			
							Technology Fee <b>261-32214</b> <b>58.50</b>			
							General Plan Maint. Fee <b>001-34310</b> <b>0.00</b>			
							<b>1/24/08 KFOX</b>			
							<b>TOTAL FEE</b>		<b>1,164.41</b>	
OWNER/CONTRACTOR/AGENT 				DATE <b>P-30-07</b>		ISSUED BY 				
This is a Building when properly filled out, signed and validated, and is not transferable.										
<b>INSPECTOR'S COPY</b>										
								<b>PERMIT NUMBER C 19829</b>		

□&10



**JOB CARD**  
Building & Safety  
City of Palm Springs

Owner Marvel Kirby

Date 8/30/2007

Address 5R ROCK 12 SMOKETREE RANCH

Permit # C 19829

**SWIMMING POOLS**

Steel, Bonding, Setbacks

Underground Piping/Elect

Final, Gas Pres. Housing, Energy

Clean, Patch, Flash

Roof Final

Fireplace Ftgs

Fireplace BB

Massonry Wall Figs

Massonry Wall BB

**GENERAL BUILDING INSPECTIONS**

Temp Pole	Lath 11/30/07 Kunder
Setbacks	Insulation 11/28/07 Kunder
Pad Certification	Drywall 11/30/07 Kunder
Ground Plumbing	Gas Pres
Footings 0/31/07 KFOX	Sewer (Sketch on reverse side)
Roof Nail 11/9/07 Kunder	Planning Release
Outside Wrap 11/9/07 Kunder	Fire Release
A.C./Htg Ducts	Eng. Release
Top-Out Plumbing	Final Gas
Rough Electric 11/16/07 Kunder	Final Electric
Framing 11/16/07 Kunder	C.O. Issued
	Final 1/24/08 KFOX



5630  
Plan Check Number

6-22  
2007  
Date Submitted

F  
56  
int.

Project Address SR Rock 12

Project Description Garage

Date Activity

8/15	Planning APPROVED PER CRAIG 8/28	
	Engineering	
6-22	Fire Dept. 8/28/07 PL/Arch	
	<del>Set / Set to ESGL</del>	Hold
6-25	<del>to be done to Arch. Dept</del>	
	<del>about "as built" - AS BUILT</del>	
	<del>1/2" AS BUILT Plans in</del>	
	<del>cust. 1/2" &amp; 1/4" cover</del>	
	<del>will send to ESGL on</del>	
7-14	<del>will send out plans to</del>	
	<del>ESGL on Garage -</del>	
	<del>Center of Patio cover</del>	
	<del>to be done in House etc</del>	
7-20-07	Rec'd by Esqil	
7-27-07	OK	
8-3-07	In for rock @ Esqil	
8-9-07	Approved by Esqil / see	
	remark	
8-15-07	<del>Arch. to get plans (lines)</del>	
	<del>to design properly, permits,</del>	
	<del>etc. Hold by</del>	
	Craig living in Planning	
	<del>Called Arch. to get floor plan.</del>	
8-23-07	Arch gave 2 sets of beam calc.	
8/28	Fire Dept. Approval no letter	
	of Transmittal	
8/28	CALC FOR GYD ERRONEOUS. ARCH	
	WILL PREPARE NEW CALC TODAY.	
8/28	CALC SUBMITTED, BUT SAID	
	(OVER) Total p/c time	

28 x 37

Plan Check Number

Date Submitted

int.

Project Address

Project Description

~~Int~~  
~~57~~

Date

Activity

Planning

Engineering

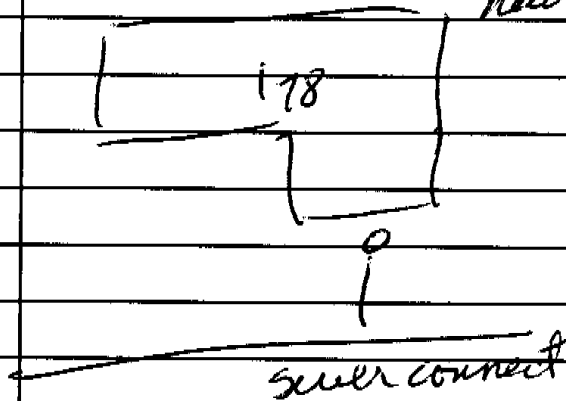
Fire Dept.

8/28 (cont) GX12 WAS NEEDED ARCHITECT DIDN'T NOTICE THAT, DOESN'T WANT GX12. PREPARING ANOTHER CALC.

8/29 ARCH. CHOSE TO USE GX12.

8/29 APPROVED

83 1384 added to dining rm./rem. kit  
new 85 sqft



10020

57

10061 - plumb

4 lav/4 w.c./4 showers

1 tub/1 h.t./2 sink

2 w.h./2 auto washer

7 rm. duplex & carport

2848 sq. ft. 900 sq. ft. carport/storage

Total p/c time



# 6223

Plan Check Number

10-3-07

Date Submitted

EG.

int.

Project Address *5R R/2 Smoke Tree*Project Description *REVISION*

Date	Activity
/	Planning
/	Engineering
/	Fire Dept.
<i>10/3</i>	<i>To Esqil with APPLICANTS set of appvd. plans.</i>
<i>10-4-07</i>	<i>Rec'd by Esqil</i>
<i>10-11-07</i>	<i>CL 1</i>
<i>10-26-07</i>	<i>In for Reck @ Esqil</i>
<i>10-29-07</i>	<i>CL 2</i>
<i>11-1-07</i>	<i>In for Reck @ Esqil</i>
<i>11-2-07</i>	<i>Approved by Esqil</i>
<i>11-6-07</i>	<i>Need Final Zoning Review Fixed contract.</i>
<i>11/7/07</i>	<i>APPROVED</i>

Total p/c time



# City of Palm Springs BUILDING PERMIT WORK SHEET

Address 5R ROCK 12 SMOKETREE RANCH

DATE SUBMITTED 6/22/2007		PLAN CHECK NUMBER 5630		PLAN CHECK FEE 370		CASE NUMBER Craig		B E M P E P H P PERMITS X X	
Owner Marvel Kirby		Address 447 Lanai Rd.		Phone		State		Lic. Number	
Contractor Chris Foster		Address P.O. Box 1005, PS		Phone 325-5028		State		Lic. Number 668379	
Architect		Address		Phone		State		Lic. Number	
Engineer		Address		Phone		State		Lic. Number	
Lot # 10	Block # +	Tract STR-3		Building Address 5R ROCK 12 SMOKETREE RANCH					
Lot Size		Zone R1A	Height	Occupancy	A.A. No.	Total Area	Total value of work \$ 45,000.00		
Setbacks As Constructed		Front	Side	Side	Rear	Parcel Number 510-175-005		Building Permit 638.47	
Square Footage		Building		Garage/Carport 659		Roofed Pato/Porch		Electrical Permit 71.02	
Use of building Single Fam Res		SMIP Type 1	Permit Type SFA	Const. Type	Fire Sprinkler	Units 0	New Sew Cn 0	Mechanical Permit 0.00	
Class of Work		New	Additions X	Alterations	Repair	Remodel	Removal	Plumbing Permit 0.00	
Describe work in detail:		Construct new garage.							
Special Conditions:									
SMIP Tax 4.50									
Microfilm 15.00									
Permit Issuance 50.56									
Construction Tax 263.60									
Dbi.Fee/Rmw/Misc. 0.00									
Construction Permit 0.00									
Sewer Inspection 0.00									
Sewer Main 0.00									
Sewer Agreement 0.00									
Sewer Connection Fee 0.00									
Drainage Fee 0.00									
TUMF Fee 0.00									
Misc. Filing Fee 0.00									
Public Arts Fee 0.00									
Planning Fee 0.00									
Technology Fee 58.50									
General Plan Maint. Fee 0.00									
<b>TOTAL FEE</b>		<b>1,164.41</b>							
Fixture Units		0							

Description	Qty	Amount	Limit	Amount	Total
New One and Two Family Residen	659	0.06	999	0.06	38.22
200 amps and less	1	32.80	999	32.80	32.80



CITY OF PALM SPRINGS

PERMIT NO. \_\_\_\_\_

INSURANCE/LICENSE DECLARATION

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B Expires 8-31-08

License No. CSPP89

Contractor Charles W. Foster, Inc

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or country which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)

I am exempt under Sec. \_\_\_\_\_, B & P. C. for this reason \_\_\_\_\_

Owner \_\_\_\_\_ Date \_\_\_\_\_

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation carrier and policy number are:

Carrier: STATE Farm Exp. 8-31-07

Policy Number: \_\_\_\_\_ (This section need not be completed if the permit is for one hundred (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 8-30-07 Applicant Charles Foster

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued. (Sec. 3097 Civ. C.)

Lender's Name \_\_\_\_\_  
Lender's Address \_\_\_\_\_

I certify that I have read this application and state the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent \_\_\_\_\_ Date 8-30-07



# ESGIL BUILDING PERMIT APPLICATION

DATE: 6-22-07

PLAN CHECK DEPOSIT FEE: 370

Project Address 5 R Rock 12 Assessor's Parcel # 590 175 008

Owner's Name MARVEL FIRBY Phone# \_\_\_\_\_

Owner's Address 447 LANAI ROAD Phone # 325 5028 Lic.# 6068379

Contractor's Name CHRIS FOSTER Phone # \_\_\_\_\_ Lic.# \_\_\_\_\_

Contractor's Address \_\_\_\_\_ Phone # 322 7412 Lic.# 029841

Architect's Name JAMES MCEACHERN Phone # \_\_\_\_\_ Lic.# \_\_\_\_\_

Architect's Address 970 E. SIERRA WAY. Phone # \_\_\_\_\_ Lic.# \_\_\_\_\_

Engineer's Name \_\_\_\_\_ Phone # \_\_\_\_\_ Lic.# \_\_\_\_\_

Engineer's Address \_\_\_\_\_

CONTACT PERSON JAMES MCEACHERN Address 970 SIERRA WAY

PHONE 322 7412 FAX 416 1427 EMAIL jmarchitect@dc.vv.com

TOTAL VALUE OF WORK \$ 45,000

Lot Size (sf.) 18504 Zone R1A Flood Zone W % of Lot Covered 18

Building Use SFR Type of Const. VN Occupancy Group(s) R3/VI Sprinkled N

Project Square Footage: Building \_\_\_\_\_ Garage \_\_\_\_\_ Carport \_\_\_\_\_ Patio (type) \_\_\_\_\_

Project Description ADD GARAGE 659 sf

\*\*\*

WHERE INDICATED BY A CHECK, SUBMIT 3 SETS

(Minimum size of plans 18" X24" Minimum scale 1/4 inch = 1ft)

- COMPLETE APPLICATION
- PLOT PLAN WITH LOT SQUARE FOOTAGE
- DRAINAGE PLAN: SHOW LOT CORNER ELEVATIONS
- STRUCTURAL CALCULATIONS, IF APPLICABLE
- FLOOR PLAN, DIMENSIONED. DOOR & WINDOW SCHEDULE
- FRAMING PLAN WITH SECTIONS AND ELEVATIONS
- TRUSS CALCULATIONS AND LAYOUT AS APPLICABLE
- FOUNDATION PLAN
- ELECTRICAL PLAN / LOAD CALCULATIONS INCLUDE 8-KW FUTURE FOR NEW SINGLE DWELLINGS AND CONDOS
- WASTE, DRAIN & VENT ISOMETRIC
- GAS/WATER PIPING ISOMETRIC (DIMENSIONAL LAYOUT)
- DETAILS SHOWING COMPLIANCE WITH ACCESSIBILITY REQUIREMENTS
- SITE PLAN SHOWING PARKING FOR PERSONS WITH DISABILITIES AND PATH OF TRAVEL BUILDING ENTRANCE.
- TITLE 24 (ENERGY) - 2 SETS
- MANUFACTURE'S BROCHURE FOR HVAC EQUIPMENT.
- MECH. PLAN / DUCT SCHEMATIC, EQUIPMENT LOCATION
- FIREPLACE SPECIFICATIONS, IF APPLICABLE
- PLANNING/ FIRE / ENGINEERING APPROVAL

42.9%



RESIDENTIAL  
AND  
COMMERCIAL  
DESIGN  
SERVICES

ESGIL CORPORATION

07

August 1, 2007

Tamara Fischer  
Plans Examiner  
Esgil Corporation on behalf of the City of Palm Springs

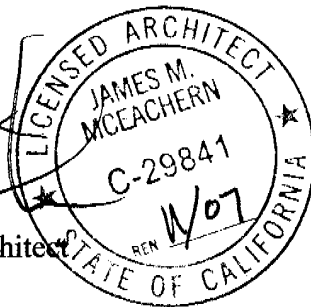
RE: Plan Check #56304, Response to City Comments Dated July 27, 2007 for the residence on  
5R Rock 12

Dear Tamara,

I have reviewed the truss drawings provided for this project and find they are in general  
conformance with the design intent and construction documents.

Sincerely,

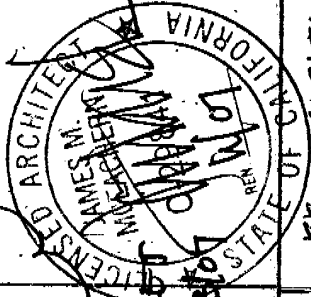
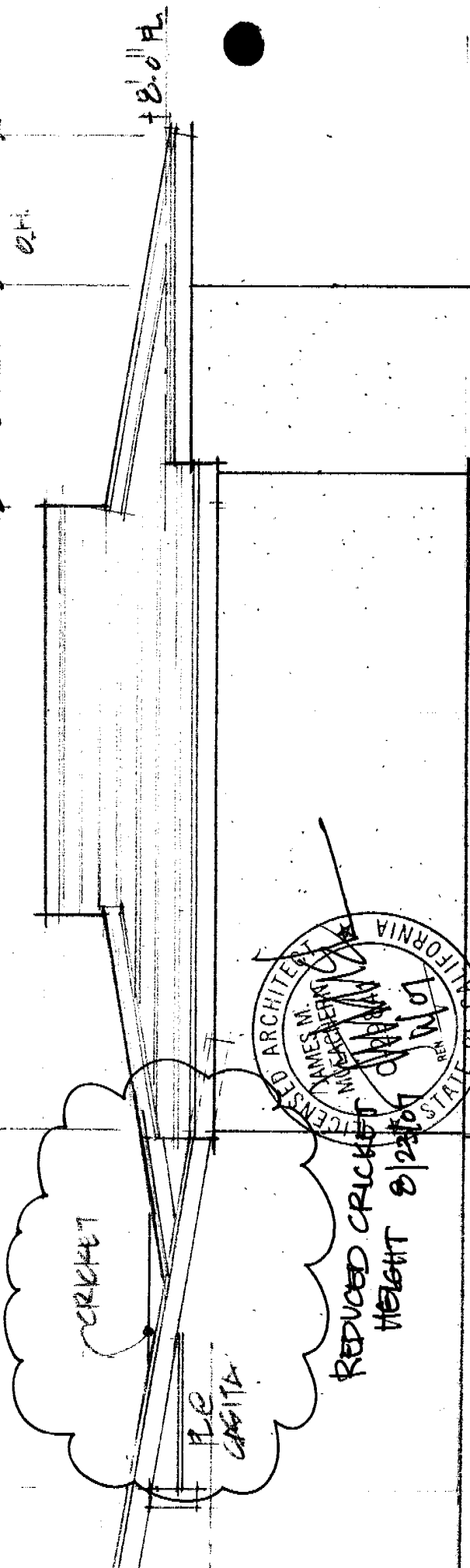
Jim McEachern, Architect  
License # C-29841





NORTH ELEVATION 1/4" = 1'-0"

EXISTING ADDITION



J.E. CASITA

RECEIVED

SOUTH ELEVATION 1/4" = 1'-0"

**APPROVED**  
 AUG 29 2007  
 CITY OF PALM SPRINGS  
 BUILDING DEPT.

PLANNING SERVICES

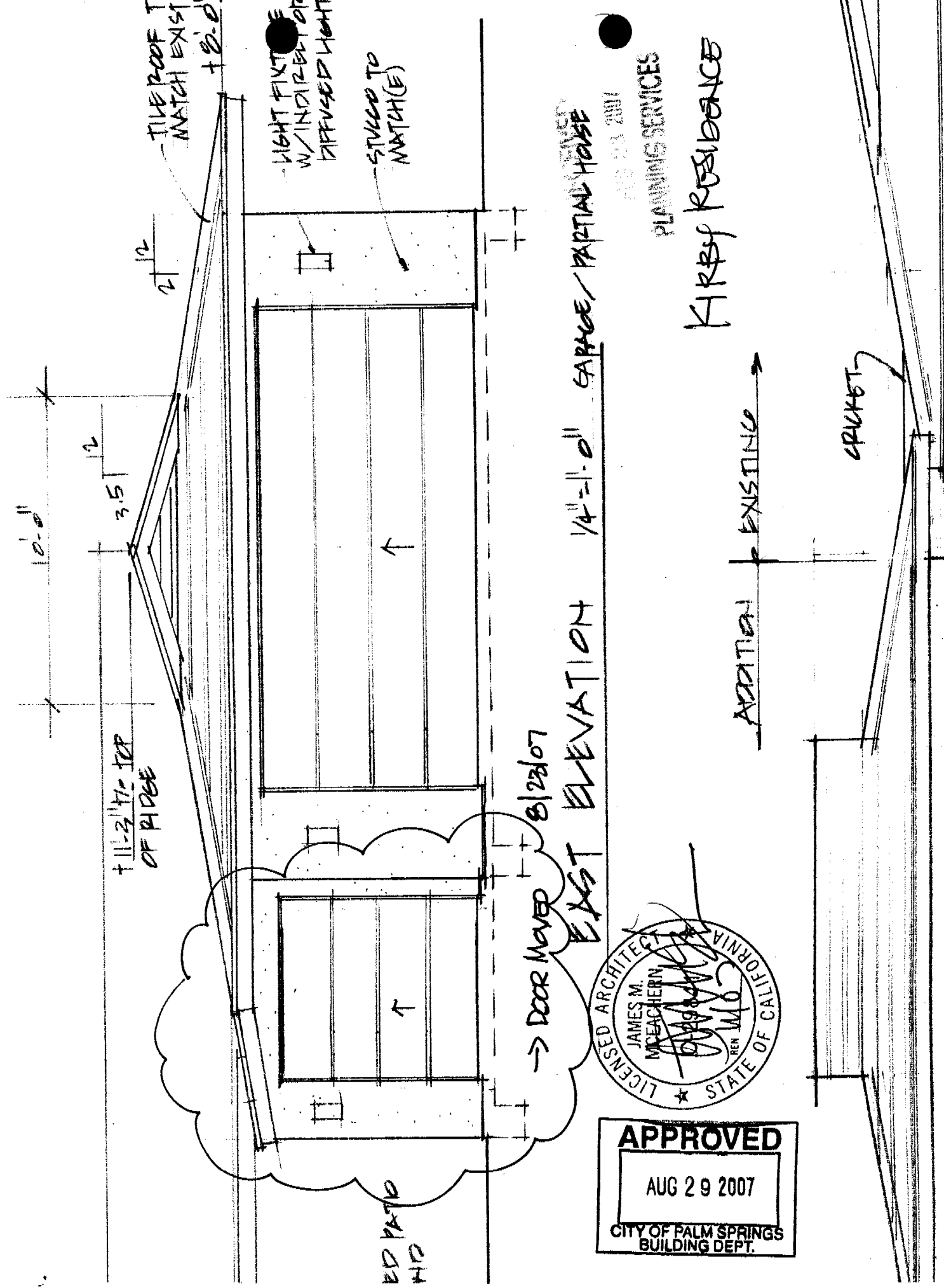
KIRBY RESIDENCE

### LOAD CALCULATIONS

GENERAL LIGHTING AT 3 WATTS/SF LIVING SPACE = 7500 WATTS  
 (4) KITCHEN CIRCUITS @ 1500 WATTS EA. = 6000  
 OVEN = 8000

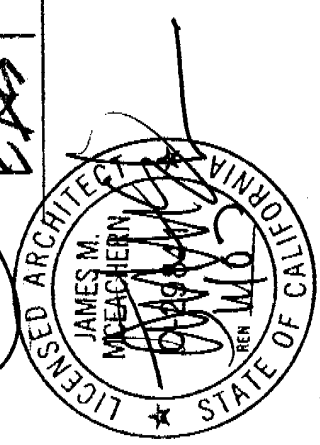
### ENERGY NOTES

IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS,  
 ALL FIXTURES MUST BE HIGH EFFICACY OR BE CONTROLLED BY  
 AN OCCUPANCY SENSOR (NO DIMMER)



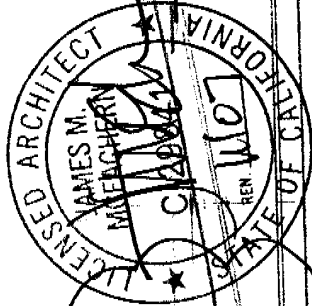
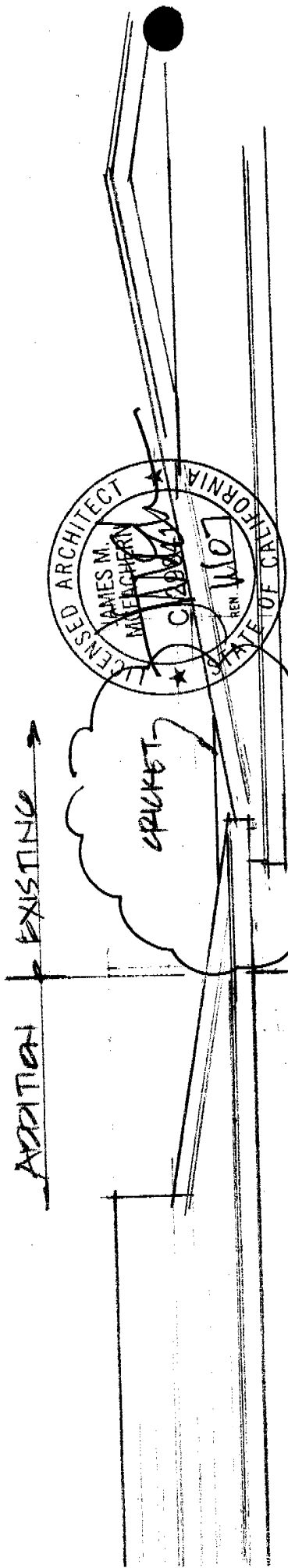
PLANNING SERVICES

KIRBY RESIDENCE



**APPROVED**  
 AUG 29 2007  
 CITY OF PALM SPRINGS  
 BUILDING DEPT.

EAST ELEVATION 1/4" = 1'-0" GARAGE / PARTIAL HOUSE



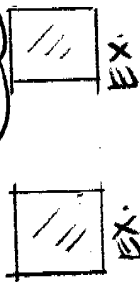
RECEIVED

AUG 23 2007

PLANNING SERVICES

REDUCED  
CRICKET  
HEIGHT

8/23/07

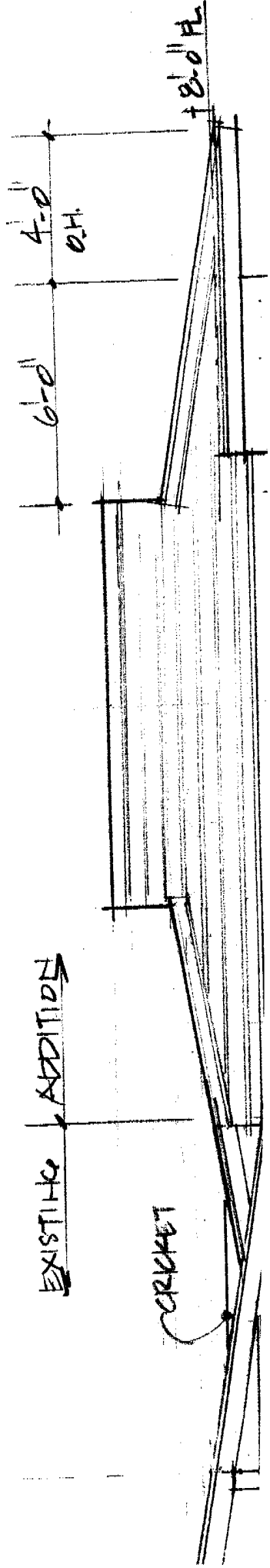


CASITA

KIRBY RESIDENCE

**APPROVED**  
 AUG 29 2007  
 CITY OF PALM SPRINGS  
 BUILDING DEPT.

NORTH ELEVATION 1/4" = 1'-0"



EXISTING | ADDITION

6'-0" | 4'-0" O.H.

CRICKET

+8'-0" RL



# KIRBY RESIDENCE

Version: 2.0

Designed on: June 5, 2007



## Beams/Joists Analysis and Design

wpa.org

Developed by: Forum Engineers



How to Enter Data



Home



Print



Order PDF Version

Setu  Beam or Girder  Joist or Rafter

Member at	Floor	Roof	
Repetitive Use ?			
Inclsd for PT ?	No	Yes	
Flat Use :	No	Yes	
Moisture Content :	<19%	>19%	
Temperature (° F) :	<100	100-125	125-150

Set Duration Factors  with Cantilever

Set Deflection Limits  with Point Load(s)  
 with Sloped Load(s)

Reset Loads to Zero

(pressed-down buttons are selected)

Member # B2

Location : Roof Support Over Garage Door

Nominal Size : ( 1 ) 6 x 12

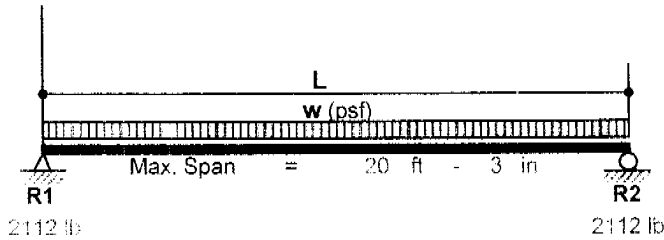
Species = Douglas Fir-Larch

Grade = No.1

Span (L) = 16 ft - 0 in

Tributary Width (B) = 6 ft - 0 in

Unsupported Length (lu) = 0 ft - 4 in



### Stress and/or Deflection Check --> OK

	Actual	Allowable	Ratio
Max fv (psi) & V (lb)	44 1859	170 7168	26%
Max fb (psi) & M (lb-ft)	836 8448	1350 13634	62%
Total Load Max. Defl. (in)	-0.36 L/50	L/340	0.80 44%
Live Load Max. Defl. (in)	-0.16 L/1210	L/360	0.53 30%

LOADING	Load Type	
Dead Load	Uniform	w (psf) = 24
Floor Live	Uniform	w (psf) = 20
		CD = 1.00



### Adjustment Factors

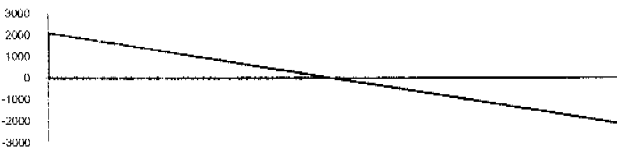
	for M	for V	for E
Wet Service	$C_M = 1.00$	1.00	1.00
Temperature	$C_t = 1.00$	1.00	1.00
Beam Stability	$C_L = 1.00$	N/A	N/A
Size	$C_F = 1.00$	N/A	N/A
Flat Use	$C_{Fu} = 1.00$	N/A	N/A
Incising	$C_i = 1.00$	1.00	1.00
Repetitive Member	$C_r = 1.00$	N/A	N/A

### Design Values

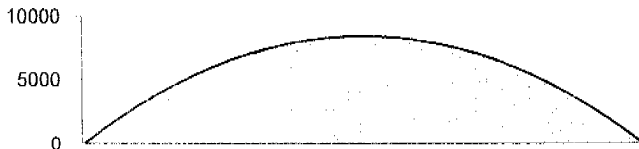
	Fb (psi)	Fv (psi)	E (psi)
Tabulated	1350	170	1600000
Adjusted	1350	170	1600000

### Section Properties

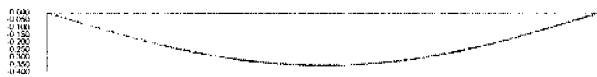
breadth (b) =	5.5 in
depth (d) =	11.5 in
Area (A) =	63.3 in <sup>2</sup>
Section Modulus (Sx) =	121.2 in <sup>3</sup>
Moment of Inertial (Ix) =	697.1 in <sup>4</sup>



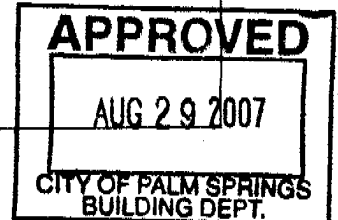
Shear Force, V (lb)



Bending Moment, M (lb-ft)



Total Load Deflection (in)





# Beams/Joists Analysis and Design

www.pa.org

Developed by: **Forum Engineers**

8/28/2007

Revised: August 28, 2007



For John Shoemaker

# KIRBY RESIDENCE

Plan check # 5630

Member # **B1a** | Adjust Member Size/Species/G

Location : Roof Support

Nominal Size : ( 1 ) 6 x 12

Species = Douglas Fir-Larch

Grade = No.1 & Btr

Span (L) = 9 ft - 0 in

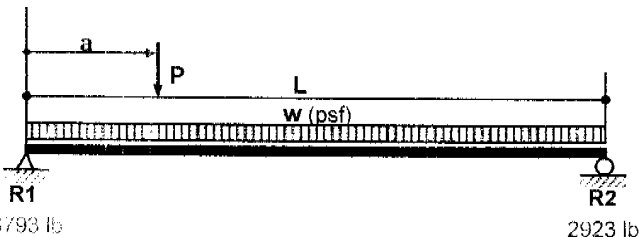
Tributary Width (B) = 12 ft - 0 in

Unsupported Length (lu) = 0 ft - 4 in

Setu  Beam or Girder  Joist or Rafter

Member at	Floor	Roof	
Repetitive Use ?			
Inclined for PT ?	No	Yes	
Flat Use :	No	Yes	
Moisture Content :	<19%	>19%	
Temperature (° F) :	<100	100-125	125-150
Set Duration Factors	<input type="checkbox"/> with Cantilever		
Set Deflection Limits	<input checked="" type="checkbox"/> with Point Load(s)		
Reset Loads to Zero	<input type="checkbox"/> with Sloped Load(s)		

(pressed-down buttons are selected)

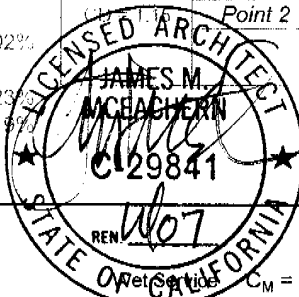


### LOADING Load Type

Dead Load	Uniform	w (psf) =	18
	Point 1	a (ft) =	3.00 P (lb) = 2,611
	Point 2	a (ft) =	0.00 P (lb) = 0
Snow Load	Uniform	w (psf) =	20
	Point 1	a (ft) =	0.00 P (lb) = 0
	Point 2	a (ft) =	0.00 P (lb) = 0

### Stress and/or Deflection Check → OK

	Actual	Allowable	Ratio
Max fv (psi) & V (lb)	80 3356	196 8244	41%
Max fb (psi) & M (lb-ft)	923 9326	1006 10163	92%
Total Load Max. Defl. (in)	-0.14 L/778	L/180 0.60	23%
Live Load Max. Defl. (in)	-0.04 L/2762	L/240 0.45	51%



### Adjustment Factors

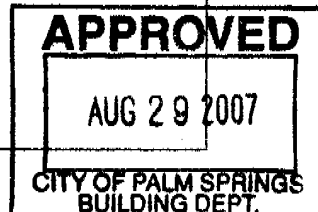
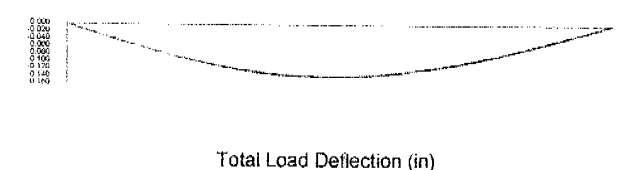
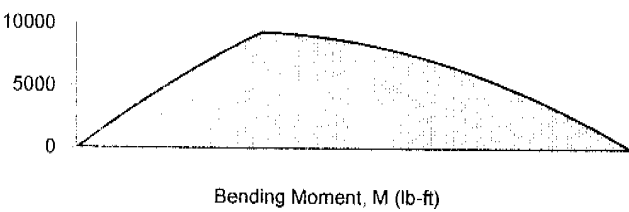
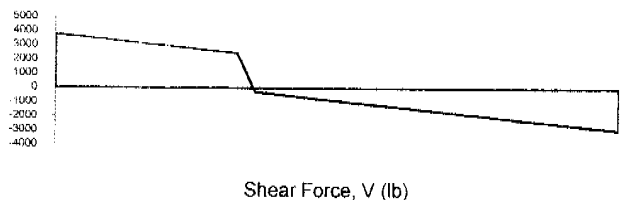
	for M	for V	for E
Wet Service	C <sub>M</sub> = 1.00	1.00	1.00
Temperature	C <sub>t</sub> = 1.00	1.00	1.00
Beam Stability	C <sub>L</sub> = 1.00	N/A	N/A
Size	C <sub>F</sub> = 1.00	N/A	N/A
Flat Use	C <sub>fu</sub> = 1.00	N/A	N/A
Inclining	C <sub>i</sub> = 1.00	1.00	1.00
Repetitive Member	C <sub>r</sub> = 1.00	N/A	N/A

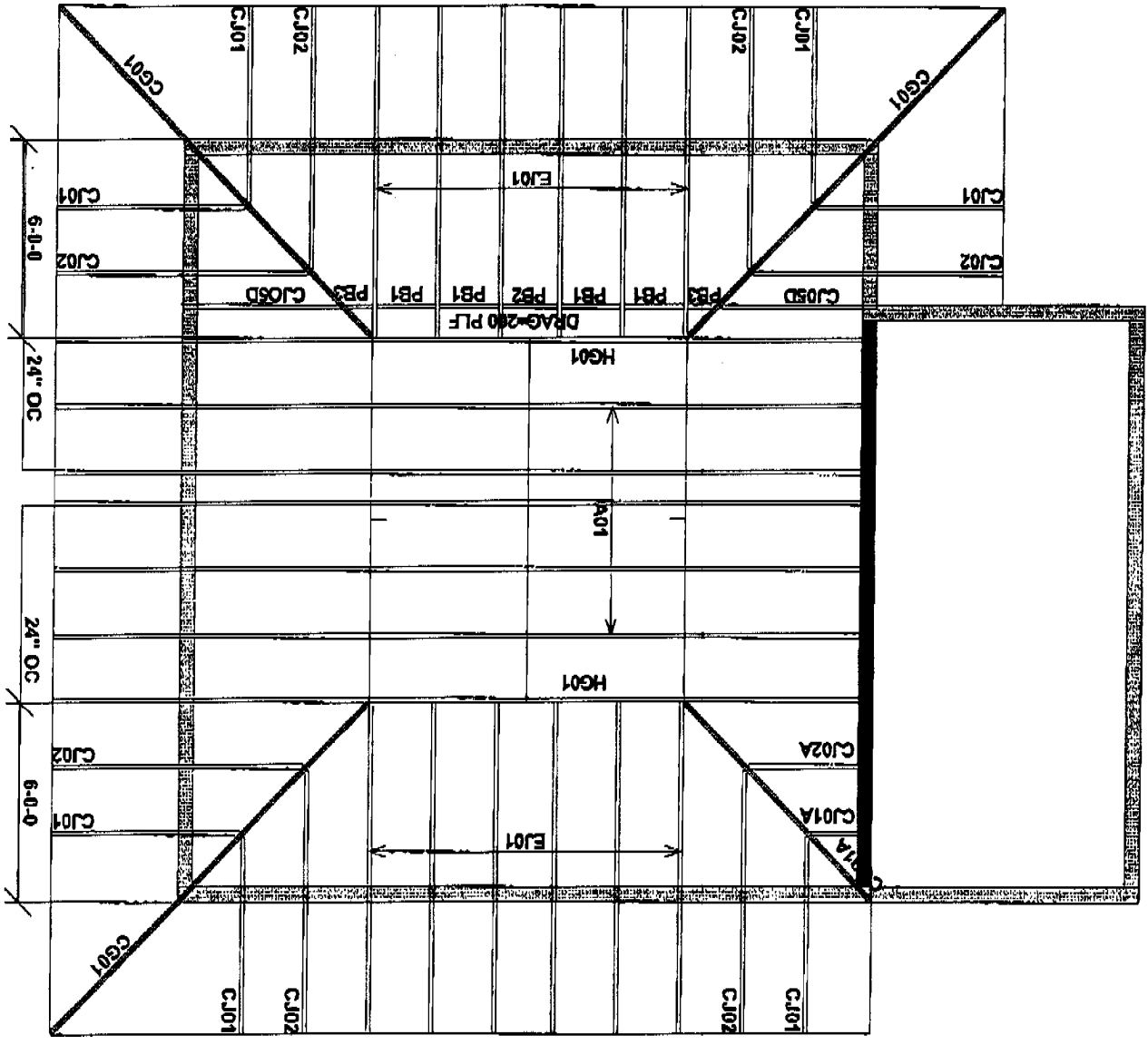
### Design Values

	Fb (psi)	Fv (psi)	E (psi)
Tabulated	875	170	1,300,000
Adjusted	1006	196	1,300,000

### Section Properties

breadth (b) =	5.5 in
depth (d) =	11.5 in
Area (A) =	63.3 in <sup>2</sup>
Section Modulus (Sx) =	121.2 in <sup>3</sup>
Moment of Inertial (Ix) =	697.1 in <sup>4</sup>









# BUILDING PERMIT APPLICATION

19829

DATE: 10-2-07

PLAN CHECK DEPOSIT FEE: 150-

Project Address 1850 SHOWERS TRAIL LANE R-12 5R Assessor's Parcel # \_\_\_\_\_

Owner's Name MAURICE KIRBY Phone# \_\_\_\_\_

Owner's Address 947 LAMBI RD

Contractor's Name CHARLES W. KOSTER, INC Phone # 325-5021 Lic.# 668379

Contractor's Address PO BOX 1005 PS

Architect's Name JIMM Phone # 327-7412 Lic.# \_\_\_\_\_

Architect's Address 970 SIENA

Engineer's Name \_\_\_\_\_ Phone # \_\_\_\_\_ Lic.# \_\_\_\_\_

Engineer's Address \_\_\_\_\_

Contact Person \_\_\_\_\_ Address \_\_\_\_\_ Phone # \_\_\_\_\_

TOTAL VALUE OF WORK \$ 0 EMAIL \_\_\_\_\_ FAX# \_\_\_\_\_

Lot Size (sf.) \_\_\_\_\_ Zone \_\_\_\_\_ Flood Zone \_\_\_\_\_ % of Lot Covered \_\_\_\_\_

Building Use \_\_\_\_\_ Type of Const. \_\_\_\_\_ Occupancy Group(s) \_\_\_\_\_ Sprinkled \_\_\_\_\_

Project Square Footage: Building \_\_\_\_\_ Garage \_\_\_\_\_ Carport \_\_\_\_\_ Patio (type) \_\_\_\_\_

Project Description RECHECK TRUSS CALCS

\*\*\*

WHERE INDICATED BY A CHECK, SUBMIT 3 SETS

(Minimum size of plans 18" X24" Minimum scale 1/4" = 1")

- |  |   |
|--|---|
| <input type="checkbox"/> COMPLETE APPLICATION  | <input type="checkbox"/> WASTE, DRAIN & VENT ISOMETRIC  |
| <input type="checkbox"/> CURRENT APPRAISED S.F.D. LOT VALUATION  | <input type="checkbox"/> GAS/WATER PIPING ISOMETRIC (DIMENSIONED LAYOUT)  |
| <input type="checkbox"/> PLOT PLAN WITH LOT SQUARE FOOTAGE   | <input type="checkbox"/> DETAILS SHOWING COMPLIANCE WITH ACCESSIBILITY REQUIREMENTS                                       |
| <input type="checkbox"/> DRAINAGE PLAN: SHOW LOT CORNER ELEVATIONS   | <input type="checkbox"/> SITE PLAN SHOWING PARKING FOR PERSONS WITH DISABILITIES AND PATH OF TRAVEL TO BUILDING ENTRANCE. |
| <input type="checkbox"/> GRADING PLAN: 2 COPIES SIGNED BY CITY ENGINEER  | <input type="checkbox"/> TITLE 24 (ENERGY) - 2 SETS   |
| <input type="checkbox"/> STRUCTURAL CALCULATIONS, IF APPLICABLE  | <input type="checkbox"/> MANUFACTURE'S BROCHURE FOR HVAC EQUIPMENT.   |
| <input type="checkbox"/> FLOOR PLAN, DIMENSIONED. DOOR & WINDOW SCHEDULE   | <input type="checkbox"/> MECH. PLAN / DUCT SCHEMATIC, EQUIPMENT LOCATION  |
| <input type="checkbox"/> FRAMING PLAN WITH SECTIONS AND ELEVATIONS   | <input type="checkbox"/> FIREPLACE SPECIFICATIONS, IF APPLICABLE  |
| <input type="checkbox"/> TRUSS CALCULATIONS AND LAYOUT AS APPLICABLE   | <input type="checkbox"/> PLANNING DEPARTMENT APPROVAL   |
| <input type="checkbox"/> FOUNDATION PLAN   | <input type="checkbox"/> FIRE DEPARTMENT / ENGINEERING APPROVAL   |
| <input type="checkbox"/> ELECTRICAL PLAN / LOAD CALCULATIONS INCLUDE 8-KW FUTURE FOR NEW SINGLE DWELLINGS AND CONDOS |   |

Bldg. Plan Check# 6223 Eng. File \_\_\_\_\_ Fire Dept. Job # \_\_\_\_\_ Planning Case # \_\_\_\_\_

**JNW TRUSS**  
 Committed to Excellence  
**Q.O.T.S.**  
 Quality One-Time Service  
 35-325 Dale Palm Dr.  
 Suite 225  
 Cotuit, CA 92334  
 (707) 202-3399  
 (707) 202-3398 FAX

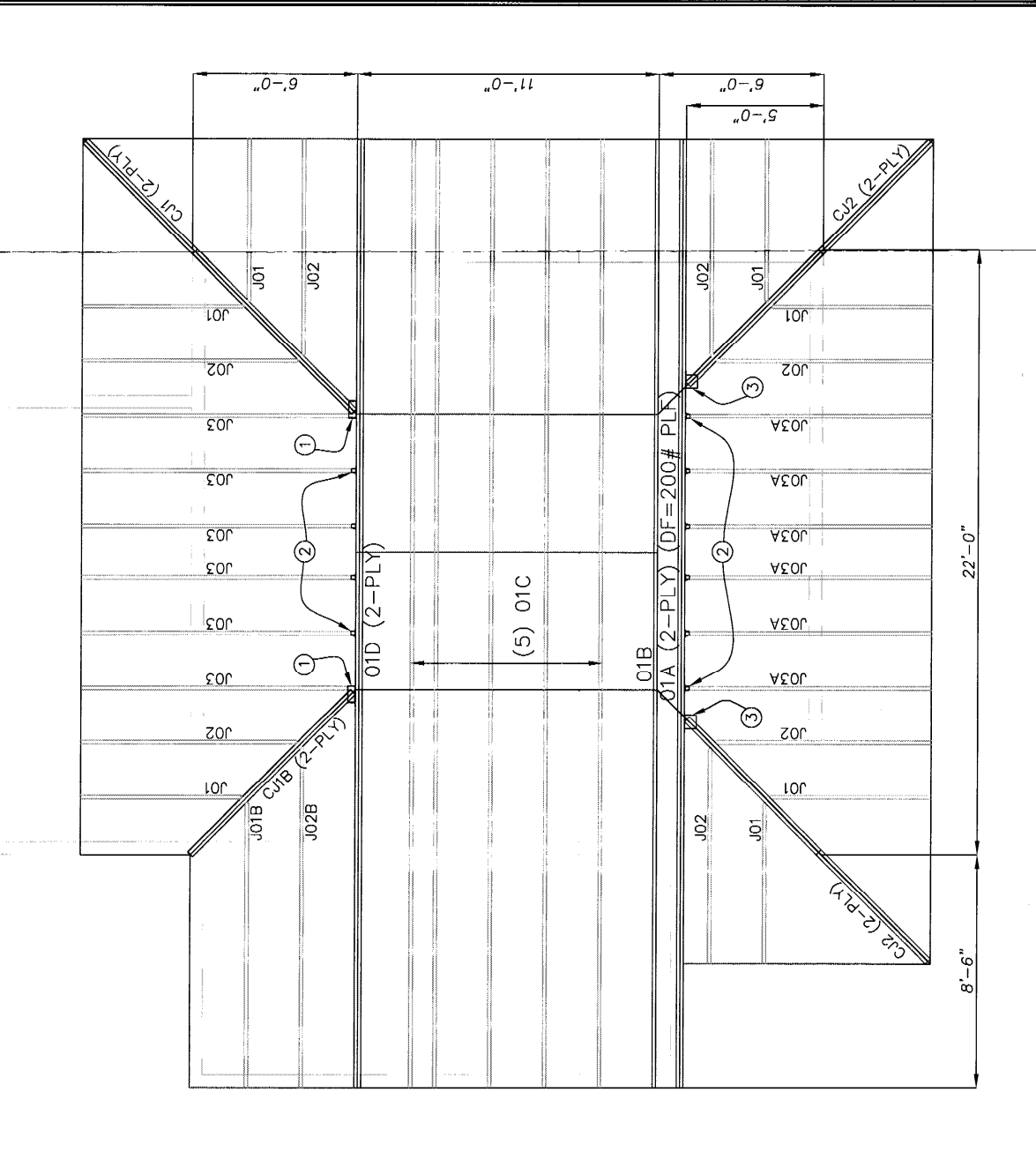
Client: **KIRBY RESIDENCE**  
 Job Desc: **KIRBY RESIDENCE**  
 Site Information: **SMOKETREE RANCH**  
**PALM SPRINGS, CA**  
 Drawn By: **JUSTIN REED**  
 Date: **06/19/07**  
 Scale: **MRS**  
 Job # **E7060074**

REVISIONS	BY

Principal Office:  
 30222 Chester Morillon Way  
 Menlo Park, CA 94024  
 (650) 321-4399  
 (650) 321-4398 fax

Plant:  
 30222 Chester Morillon Way  
 Menlo Park, CA 94024  
 (650) 321-4399  
 (650) 321-4398 fax

**SHEET**  
**T-01**



**TRUSS PLACEMENT PLAN**

HANGER SCHEDULE	
SYM.QTY.	DESCRIPTION
① 2	**SPL ORDER** HJC26-SK52 HANGER
② 10	JUS26 HANGER
③ 2	**SPL ORDER** HTHJ26-18 HANGER



# City of Palm Springs BUILDING PERMIT

Building Address: Rock 12 1850 Smoketree Ranch

Date Submitted **06/21/2017**

Case No.

Permit Technician **Kim Floyd**

Owner  
**Kirby Family Trust**

Address  
**Rock 12 1850 Smoketree  
Palm Springs CA**

Phone  
**760 327 7205**

Contractor  
**Dew Roofing**

Address  
**640 Williams Rd  
Palm Springs CA**

Phone  
**760)327-3393**

Lic. Number  
**409619**

Architect

Address

Phone

Engineer

Address

Phone

Lot #      Block #      Tract      Parcel Number  
**510-175-005**

Lot Size      Zone      Occupancy

Building Sq. Ft.      Garage/Carport      Roofed Patio/Porch      Remodeled Area

Use of building      Permit Type      Const. Type      Fixture Units  
**sfd      Re-Roof**

Fire Sprinkler      Units      Valuation      Permit Fees Paid  
**7600.00      194.01**

Describe work in detail:  
**Tear off roof down to plywood, re-roof with light weight tile. CRRRC 0918-0017 Primarily re-roof/repair on patio roof.**

**SEPERATE PERMIT AND INSPECTION REQUIRED FOR REMOVAL AND REINSTALLATION OF MECHANICAL EQUIPMENT AND PHOTOVOLTAIC SYSTEMS.**

Special Conditions:

Rooftop mechanical equipment must be on minimum six inch high sheet metal covered platforms or other approved support. Condensate lines must be in hard copper. Any hot tar roofing operation must comply with the California Fire Code and requires a permit from the Fire Department.

DO NOT CONCEAL OR COVER ANY CONSTRUCTION UNTIL THE WORK IS INSPECTED

### IMPORTANT

The issuance of this permit shall not be held to be an approval of the violation of any provisions of any city or county ordinance or state law. Inspections of work are subject to an approved set of plans being on the job. Changes to plans are not to be made without permission of the Building and Safety Divisions.

The owner and/or contractor is responsible for establishing all property lines. All utilities must be underground. This permit will expire if work is not started in 180 days or if more than 180 days elapses between inspections.

I certify that I am familiar with all requirements of the City of Palm Springs as they apply to this permit and understand that these requirements must be completed prior to final inspection and that no certification of occupancy will be issued until such time as these requirements are met. I certify that I have read this application and state that the information is true and correct.

*Raul Perez Sr*  
OWNER/CONTRACTOR/AGENT

*6/21/17*  
DATE

*KSF*  
ISSUED BY

Finald *6/28/17 Mark*

This is a building permit when properly filled out, signed and validated, and is not transferable.

PERMIT NUMBER

**2017-2343**





13634



# BUILDING PERMIT APPLICATION FOR BLOCK WALLS, POOLS, REROOFS, & REPIPES

DATE: 06-19-2017

Project Address 1850 Smoke tree Ranch 12 Rock ~~Re~~ Fifth house on Right

Owner's Name Kirby Residence Phone # Prop. 760-377-7205

Owner's Address \_\_\_\_\_ Manager - Mary

Contractor's Name Dew Roofing inc Phone # (760) 327-3393

Contractor's Address 640 Williams Rd Lic.# 409619

Engineer's Name \_\_\_\_\_ Phone # \_\_\_\_\_

Engineer's Address \_\_\_\_\_ Lic# \_\_\_\_\_

CONTACT PERSON RAUC Perez Jr Address \_\_\_\_\_ Phone # (760) 594-3254

Walls - Height of Wall \_\_\_\_\_ Length of Wall \_\_\_\_\_ Stack Bond  Staggered Bond

Re-roofs - S.F. of Roof 1,340 SF

Project Description Remove Two Roofs Total Value of Work \$ 7,600<sup>00</sup>

install Radiant barrier and Lay Concrete light wavy tile.  
CRRL 0918 0017

WHERE INDICATED BY A CHECK, SUBMIT 3 SETS  
(Minimum size of pool plans 11" X 17" Minimum scale 1/4" = 1')

- Plot Plan with lot square footage.
- Planning/Eng. Department Approval.
- Structural Calculations, if applicable.
- Roof or Truss Eng., if applicable.
- Plan for Pool with Wet Stamp from Engineer.
- Waste, Drain & Vent Isometric.
- Water Piping Isometric, dimensioned.
- Gas Piping Isometric: Show BTU ratings of each appliance on all branches, distance and placement of longest run & total BTU for entire system.

**SITE PLAN FOR POOLS MUST BE COMPLETE: MUST SHOW ENTIRE SITE, PROPERTY LINES, BUILDING FOOTPRINT, NORTH ARROW, LEGAL DESCRIPTION AND PROPER ADDRESS.**



City of Palm Springs  
 3200 East Tahquitz Canyon Way  
 Palm Springs, CA 92262

Phone: Bldg: 760-323-8242 Eng: 760-323-8253  
 Fax: See Below

# Paid Receipt Summary

DATE	6/21/2017
------	-----------

ACCOUNT:
Dew Roofing 640 Williams Rd Palm Springs CA 92262  Phone: 760)327-3393

PERMIT NUMBER	2017-2343
Rock 12 1850 Smoketree Ranch Palm Springs, CA	

Date	Reference Number	Invoice Number	FeeCat	Description	Status	Amount
6/21/2017	2017-2343	17-2496	001-32201	PERMITPROCESSINGFEE	Paid	(-) 34.32
6/21/2017	2017-2343	17-2496	001-32201	RE-ROOFFEES	Paid	(-) 142.48
6/21/2017	2017-2343	17-2496	001-32219	S.B. 1473	Paid	(-) 1.00
6/21/2017	2017-2343	17-2496	001-34308	Microfilm	Paid	(-) 3.74
6/21/2017	2017-2343	17-2496	001-37111	SMIP1	Paid	(-) 0.99
6/21/2017	2017-2343	17-2496	261-32214	Technology Fee	Paid	(-) 11.48

Date	InvoiceNum	Status	Payment	Amount
6/21/2017	17-2496	Original Due		194.01
6/21/2017	17-2496	Paid	Check 13634	(-) 194.01

<b>Total Paid</b>	<b>194.01</b>
-------------------	---------------

Building Fax #: 760-322-8342  
 Engineering Fax #: 760-322-8325





# CITY OF PALM SPRINGS

Department of Planning Services

3200 E. Tahquitz Canyon Way, Palm Springs, CA 92262  
Tel: 760 323 8245 - Fax: 760 322 8360

CITY OF PALM SPRINGS, CALIFORNIA PLANNING DEPARTMENT

## STAFF APPROVAL

Staff Signature TBS Date 6/21/17

Case # \_\_\_\_\_  With Conditions as follows:

Repair to roof

(For Staff Use Only)

Planning Case Number: 3.0258

Taken in by (Planner): TBS

Date Submitted: 6/21/17

## MINOR ARCHITECTURAL APPLICATION (MAA)

**TO THE APPLICANT:** Please fill out the information requested below. Attach any signed authorization letters, drawings, color & material boards, photographs, cut sheets and/or any other materials necessary to describe the proposed project.

### PROJECT SITE INFORMATION.

Project Address: 1830 SMOKE TREE RANCH ROCK #12 5TH<sup>RIGHT</sup> APN: 510-175-005  
(Number and Street name) (9-digit assessor parcel number ex: 000-000-000)

Project Name (example: Name of Condo Association or HOA): Kirby Residence.

Zone: R1A General Plan: \_\_\_\_\_ Section/Township/Range: 1 1 Lot Area: \_\_\_\_\_

### Detailed Description of Project:

Remove existing wood shingles install 1/2 Radiant barrier Plywood with 2 layers of #40 mackay AND LAY TILE BACK ON.

Sq. Footage - Existing Bldgs \_\_\_\_\_ Sq. Footage - Proposed New (if any): \_\_\_\_\_

### PROPERTY OWNER INFORMATION:

Property Owner's Name: MRS KIRBY

Property Owner's Signature: \_\_\_\_\_

Property Owner's Mailing Address: ROCK #12 FIFTH house on the Right  
(Number and Street Name or P.O. Box)

Palm Springs CA 92262  
City State Zip

Property Owner's Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

Property Owner's Email: \_\_\_\_\_

### CONTRACTOR, PROJECT MANAGER, OR OWNER'S AGENT AUTHORIZED TO INITIATE THE WORK:

Company Name: Dew Roofing inc 640 Williams Rd P.S.  
(Please print) I AM THE:  OWNER'S AUTHORIZED AGENT (example CONTRACTOR)  LESSEE (TENANT)  OTHER

Agent's Name & Signature: RAUL PEREZ JR.

Agent's Mailing Address: 640 William Rd Palm Springs CA.  
(Number and Street Name or P.O. Box)

Palm Springs CA 92262  
City State Zip

Agent's Phone: (760) 594-2754 Agent's Fax: \_\_\_\_\_

Agent's Email: Dew Roofing inc@gmail.com

(Please continue to next page)

**1850 SMOKE TREE LN  
PALM SPRINGS, CA 92264**

? x

Parcel Number : 510175005

Owner 1: KIRBY, MARVEL B

Owner 2: THE KIRBY FAMILY TRUST

Owner Address : 333 S HOPE ST, LOS ANGELES, CA 90071

Legal Description: LOT 10 MB 019/024 SMOKE TREE RANCH 3

No. of Units : 1

Year Built : 1958

Building Area : 2,436 SQFT

Lot Area (assessor) : 18,295 SQFT (0.42 ACRES)

Lot Area (calculated) : 18,295 SQFT (0.42 ACRES)

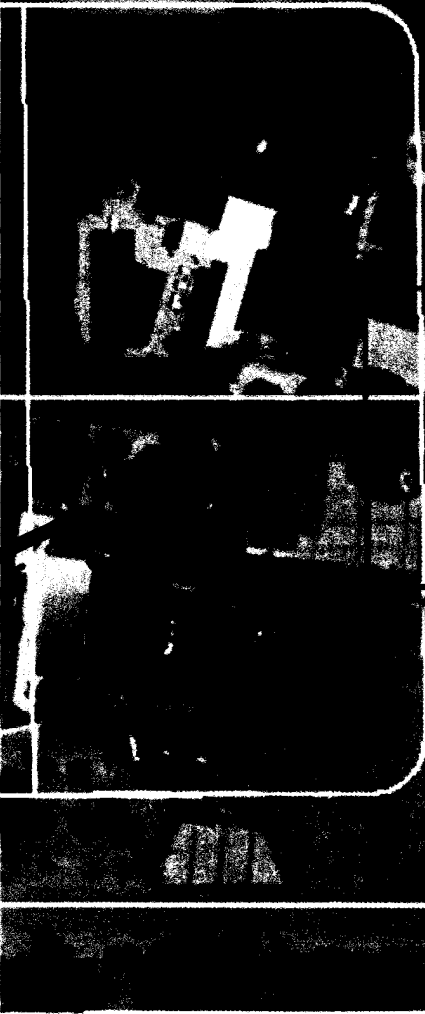
Flood Zone : X

Zoning : R1A

Shared Notes : 0 Results

Shared Documents : 0 Results

Full Parcel Detail : View



Site

Commands

No  
Additional  
Results

SIK=%2f...

**3.0258 MAA; REPAIR TO ROOF**

CITY OF PALM SPRINGS, CALIFORNIA PLANNING DEPARTMENT  
**STAFF APPROVAL**  
Staff Signature TBS Date 6/21/17  
Case # 3.0258  With Conditions as follows:  
Repair to roof

**OWNER / BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractor's License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any Structure prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 commencing with Sec. 7000 of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).) Please check one of the following:

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044 of the Business and Profession Code. The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044 of the Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)
- I am exempt under Sec. \_\_\_\_\_ of the Business and Professions Code for this reason:  
\_\_\_\_\_

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: C-39 State Lic. No.: 409619 City Bus. Lic. No. \_\_\_\_\_  
Print Name on License: Raul Perez Jr - DeW Roofing Inc Phone: (760) 327-3393  
Address: 640 Williams Rd Palm Springs CA 92262

Every county or city which requires the issuance of a permit as a condition precedent to the construction, alteration, improvement, demolition or repair of any building or structure shall require that each applicant for the permit sign a declaration under penalty of perjury verifying workers' compensation coverage or exemption from coverage as required by Section 19825 of the Health and Safety Code. I, hereby affirm under penalty of perjury one of the following declarations:

CRRC # 0790-0001  
CRRC # 0790-0002  
Energy Star

- I HAVE AND WILL MAINTAIN A CERTIFICATE TO SELF INSURE for worker's compensation as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I HAVE AND WILL MAINTAIN WORKERS' COMPENSATION INSURANCE, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:  
Carrier: State fund ins. Policy No. 9147473-15
- I CERTIFY that in the performance of work for which this permit is issued, I SHALL NOT EMPLOY ANY PERSON, in any manner so as to become subject to the worker's compensation laws of California, and agree that if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall for with comply with those provisions.

Contractor or Agents Signature: Raul Perez Jr Date: 11/29/2016





**PERMIT CENTER  
CITY OF PALM SPRINGS**

<b>CASE#:</b> 3.0258	<b>TYPE:</b> MAA	<b>PROJECT NAME</b> DEW ROOFING INC	<b>APN1</b> 510-175-005	<b>ADDRESS</b> 1850 SMOKETREE LANE ROCK 12
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**ZONING FEES ACCT #001-32212**

CHANGE OF ZONE APPLICATION	\$0.00
PRE APP FEE	\$0.00
CONDITIONAL USE PERMIT	\$0.00
PLANNED DEVELOPMENT DISTRICT APPLICATION FEE	\$0.00
FINAL DEVELOPMENT PLAN FEE	\$0.00
VARIANCE APPLICATION FEE INCLUDES SIGN VARIANCE	\$0.00
TIME EXTENSION FEES	\$0.00
MISCELLANEOUS / LAND US	\$0.00

**ENVIRONMENTAL ASSESSMENT FEES - #001-32212**

NEGATIVE DECLARATION	\$0.00
MITIGATED NEG DECLARATION	\$0.00
CATEGORICAL EXEMPTION / EIR	\$0.00

**MISCELLANEOUS FILING FEES ACCT #001-34303**

ARCHITECTURAL APPROVAL FEE	\$52.00
ADMINISTRATIVE MINOR MODIFICATION FEES	\$0.00
PLAN CHECKS PLANNING FEE	\$0.00
PLANNING CC AND R	\$0.00
MISCELLANEOUS / HSPB FEES	\$0.00

**MISCELLANEOUS FEES**

SIGN #001 - 32205	\$0.00
IN LIEU OF - #131-34359	\$0.00
RV - #001-32210	\$0.00
MISCELLANEOUS - #001-34106	\$0.00
MISCELLANEOUS - #001-34308 / SPECIAL EVENT - #001-34303	\$0.00

**SUBDIVISION FEES ACCT #001-32213**

TENTATIVE MAPS FEES	\$0.00
FINAL MAPS FEES	\$0.00
LOT LINE ADJ/CERT OF COMPLIANCE FEE	\$0.00
ENVIRONMENTAL ASSESSMENT FEE	\$0.00
MISCELLANEOUS FEE	\$0.00

*6/21/17  
paid at #  
13634 KF*

**TOTAL FEE(S)**

**\$52.00**

The acceptance of an application or of a fee is not an entitlement or a permit to construct, change or alter any portion of the property described in the application.

<b>RECEIVED FROM</b>	<b>RECEIVED BY</b>	<b>DATE</b> 6/21/2017
----------------------	--------------------	--------------------------

Customer    Cashier    Planning File    Planning Copy

9174

CONTRACT PROPOSAL

DEW ROOFING, INC.

840 Williams Road - P.O. Box 914  
PALM SPRINGS, CALIFORNIA. 92263  
Phone (760) 327-3393 License No. 409619  
Fax: 760-327-3038

Contractors are required by law Licensed and regulated by the Contractors' State License Board, Any questions concerning a Contractor may be referred to the registrar of the board whose address is: Contractors' State License Board 1020 "N" Street Sacramento, California 95814

Owner: Kirby Residence Job Site: Smoke Tree Rock #12  
Palm Springs, Ca

WE PROPOSE AND AGREE to furnish required labor and material for the above named building using SEE BELOW in accordance with submitted plans and specifications, for the sum of

Seven Thousand Six Hundred Dollars\*\*\*\*\* (\$7600.00) Dollars

PROPOSAL:

Remove existing shake roof. Check to see if roof needs to be sheet with new plywood. Haul all the roofing material pertaining to this job to the dump. Install 2 layers of #40 pound felt by Malarky (Self Seal Material) install new concrete tile by eagle light weight to match tile as close as possible to existing tile on casita.

Note: If roof needs new plywood add \$1,600.00

Note: We are booked for the next 6 weeks in order to start this job.

IF YOU WISH THE WORK BE DONE, SIGN THE CONTRACT PROPOSAL BELOW THE DATE AND PLEASE RETURN ONCE IT HAS BEEN COMPLETED AND SIGNED.

Approximate starting date: \_\_\_\_\_ Approximate completion date: \_\_\_\_\_

ALL PAYMENTS TO BE 100% ON COMPLETION UNLESS OTHERWISE SPECIFIED ABOVE.  
PERSONAL/BUSINESS CHECKS ARE THE ONLY ACCEPTABLE FORM OF PAYMENT.

NOTICE

"Under the Mechanics' Lien Law (California Code of Civil Procedures, Section 1181 et seq.) Any contractor, subcontractor, laborer, supplier or other person who helps to improve your property but is not paid for this work or supplies, has right to enforce a claim against your property. This means that, after a court hearing, your property could be sold by a court officer and the proceeds of the sale used to satisfy the indebtedness. This can happen even if you have paid your own contractor in full, if the subcontractor, laborer, or supplier remains unpaid."

This agreement shall become binding only upon the Contractors' written acceptance hereof or upon the Contractors' commencing performance and upon such acceptance or commencement of performance this shall constitute the entire contract and be binding upon the parties hereto, there being no covenants, promises or agreements, written or oral, except as herein set forth.

It is further understood that:

- (A) The Contractor shall not be responsible for damage or delay due to strikes, fires, accidents or other causes beyond his reasonable control.
- (B) The proposal is limited to 3 months 0 days acceptance from date hereof.
- (C) The Purchaser is dealing with the Contractor as principal and that the Contractor is not acting hereunder as the agent or representative of any person, firm, or corporation.

PRICE SUBJECT TO CHANGE AT ANY TIME TO REFLECT INCREASED MATERIAL PRICES.

Date: 3/9/2017

DEW ROOFING, INC.

4-23-17  
accept the above proposal

By Salesman: \_\_\_\_\_

Approved by: Mary J. Walker

Dep. CK # 1629

RECEIVED  
JUN 21 2017  
PLANNING SERVICES  
DEPARTMENT  
3-0258