



## ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: FEBRUARY 22, 2022 UNFINISHED BUSINESS

SUBJECT: STACK FAMILY TRUST, OWNER FOR A MAJOR ARCHITECTURAL REVIEW APPLICATION FOR THE CONSTRUCTION OF A 4,122-SQUARE FOOT SINGLE-FAMILY HOUSE ON A HILLSIDE LOT LOCATED AT 2368 CITY VIEW DRIVE, ZONE ESA-SP PLANNING AREA, LOT 53, DESERT PALISADES SPECIFIC PLAN, SECTION 3 (CASE 3.4299 MAJ). (GM)

FROM: Development Services Department – Planning Division

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The Architectural Review Committee examined the architectural elevations, site and landscape plans for the Stack Residence at the January 3, 2022, meeting. The ARC generally supported the overall design of the project, however, below is a list of items that needed to be addressed by the applicant along with a response relating to revised plans:

1. Grading plan to reflect slopes and placement of boulder walls and transition grade changes. The ARC was concerned with the slope change on the east side of the house and the transition from the deck off the great room, the exposure of the foundation, and the use of railings.  
*Revision: Cross sections have been added on page G2. It is the intent that a cable railing system would be used if needed. This will allow for a simple barrier that will not be highly visible. A revised landscape plan demonstrates boulder placement on the east side of the house.*
2. Landscape plan showing locations of plants, sizes, and quantities.  
*Revision: The landscape plans have been revised showing greater detail with placement of boulders and rocks. A new dense 36" to 48" Desert Ironwood tree has been added at the driveway to screen the front facing garage. Other trees have been slightly moved to open views from the interior.*
3. Driveway to be off set and allow a plant grouping to soften the garage door.  
*Revision: The driveway has been revised with a slight curve that will help soften the street facing garage door per ARC's recommendations.*
4. Provide several site sections for grade changes.  
*Revision: Cross sections have been added on page G2 and A6.*

5. Exterior lighting plan re-evaluation number and types of light fixtures and eave lighting.  
*Revision: The landscape lighting plan has been revised to add path lights and address the number of fixtures and eave lighting specification is located on (A2).*
6. Better HVAC plans showing locations of condenser units and screening.  
*Revision: Site plan shows the location of the mechanical equipment at the rear and west side of the house. Screening is located on plan views and elevations.*
7. Roof plan to reflect solar panel placement and evaluation of fascia widths.  
*Revision: Roof plan has been revised to show solar panel placement and cross sections were added to show fascia widths.*
8. List roof color on material board. ARC stated a preference for gray color.  
*Revision: Roof color to be Pantone 429C which is a gray color and have been added to material board.*
9. Show location of trash storage and pathway to driveway.  
*Revision: A new pathway has been added to the site plan leading from the driveway to an enclosure on the west side of house.*

Staff has attached the Action Minutes from the January 3, 2022, meeting for review along with conditions of approval and an approval resolution.

**CONCLUSION:**

The project proposes good integration of the structure, terraces, and other elements into the natural features of the site with minimal disturbance to terrain and vegetation. The applicant has taken the ARC's advice and off-set the driveway to the garage door and added landscaping to soften the elevation. The remaining house meets the guidelines with respect to low roof lines, terraced building pads, minimal cut and fill and thoughtful solutions to integrate the home into the site. As demonstrated in the staff report, the Project mainly conforms to the Architectural Guidelines of PSZC Sections 93.13.00 ("hillside development") and 94.04.00 ("architectural review"); the Architecture, Landscaping and Design Guidelines of Desert Palisades Specific Plan Sections V ("Architecture and Site Design") and VI ("Landscaping Guidelines"); and Design Standards of PSZC Section 92.21.1.05 ("Findings Required for Approval"). Therefore, Staff recommends approval as conditioned in the attached draft resolution.

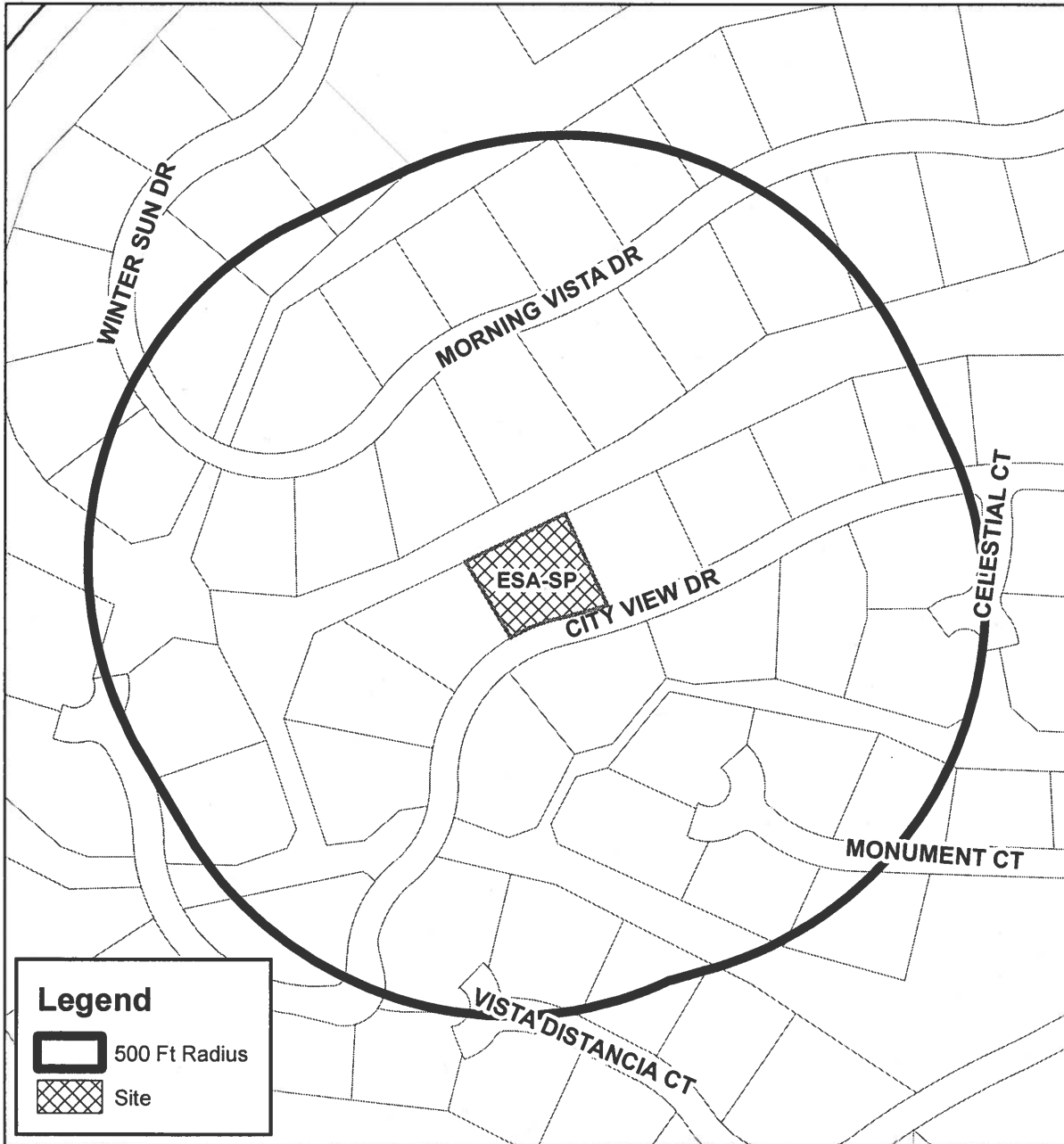
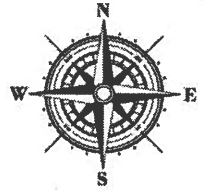
PREPARED BY:	Glenn Mlaker, AICP – Associate Planner
REVIEWED BY:	David Newell, AICP – Assistant Planning Director

ATTACHMENTS:

1. Vicinity Map
2. Resolution and Conditions of Approval
3. Excerpt of Minutes from the January 3, 2022, ARC Meeting
4. Email from Applicant
5. Revised Design Packet



# Department of Planning Services Vicinity Map



**CITY OF PALM SPRINGS**  
Case # 3.4299 MAJ  
2368 City View Drive

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION FOR DEVELOPMENT OF 4,122-SQUARE FOOT SINGLE FAMILY HOUSE ON A HILLSIDE LOT LOCATED AT 2368 CITY VIEW DRIVE, ZONE ESA-SP PLANNING AREA LOT 53, DESERT PALISADES SPECIFIC PLAN, SECTION 3 (CASE 3.4299 MAJ).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

A. Stack Family Trust, Owner (“Applicant”) filed an application with the City, pursuant to the Palm Springs Zoning Code (PSZC) Sections 94.04.00 (E) (architectural review), and 93.13.00 (hillside development) of the Palm Springs Zoning Code, for construction of a 4,122-square foot single-family residence located at 2368 City View Drive (“the Project”).

B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City’s Planning Commission to the City’s Architectural Review Committee.

B. On December 20, 2022, City staff notified the owners of properties immediately adjacent to the Project site of the scheduling of an Architectural Review Committee meeting to consider the subject application, pursuant to PSZC 93.13.00 (B,1,c).

C. On February 22, 2022, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Construction or Conversion of Small Structures).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”), 94.04.00 (“architectural review”); the Architecture, Landscaping and Design Guidelines of Desert Palisades Specific Plan Sections V (“Architecture and Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC 92.12.1.05 (“Findings Required for Approval”).

Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Case 3.4299 MAJ, for the construction of a 4,122-squae foot houses on a hillside lot located at 2368 City View Drive, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 22nd day of February, 2022.

AYES:

NOES:

ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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David Newell, AICP  
Assistant Planning Director

## EXHIBIT A

Case 3.4299 MAJ  
Proposed Single Family Residence on a hillside lot  
Located at 2368 City View Drive, Desert Palisades,  
ESA-SP Zone, Planning Area 4.

February 22, 2022

### CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

### ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case (3.4299 MAJ).
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped (February 1, 2022), including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.4299 MAJ. The City of Palm Springs will promptly

notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Approval shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.

## **ENVIRONMENTAL ASSESSMENT CONDITIONS**

- ENV 1. Coachella Valley Multiple-Species Habitat Conservation Plan (CVMSHCP) Local Development Mitigation Fee (LDMF) required. All projects within the City of Palm Springs, not within the Agua Caliente Band of Cahuilla Indians reservation are subject to payment of the CVMSHCP LDMF prior to the issuance of certificate of occupancy.
- ENV 2. Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA); therefore, an administrative fee of \$50 shall be submitted by the applicant in the form of a money order or a cashier's check payable to the Riverside County Clerk within two business days of the Commission's



- final action on the project. This fee shall be submitted by the City to the County Clerk with the Notice of Exemption. Action on this application shall not be considered final until such fee is paid (projects that are Categorically Exempt from CEQA).
- ENV 3. Cultural Resource Survey Required. Prior to any ground disturbing activity, including clearing and grubbing, installation of utilities, and/or any construction related excavation, an Archaeologist qualified according to the Secretary of the Interior's Standards and Guidelines, shall be employed to survey the area for the presence of cultural resources identifiable on the ground surface.
- ENV 4. Cultural Resource Site Monitoring. There is a possibility of buried cultural or Native American tribal resources on the site. A Native American Monitor shall be present during all ground-disturbing activities. (check for duplication in engineering conditions)
- ENV 5. a). A Native American Monitor(s) shall be present during all ground disturbing activities including clearing and grubbing, excavation, burial of utilities, planting of rooted plants, etc. Contact the Agua Caliente Band of Cahuilla Indian Cultural Office for additional information on the use and availability of Cultural Resource Monitors. Should buried cultural deposits be encountered, the Monitor shall contact the Director of Planning. After consultation the Director shall have the authority to halt destructive construction and shall notify a Qualified Archaeologist to further investigate the site. If necessary, the Qualified Archaeologist shall prepare a treatment plan for submission to the State Historic Preservation Officer and Agua Caliente Cultural Resource Coordinator for approval.
- b). Two copies of any cultural resource documentation generated in connection with this project, including reports of investigations, record search results and site records/updates shall be forwarded to the Tribal Planning, Building, and Engineering Department and one copy to the City Planning Department prior to final inspection.
- ENV 6. Protect Soil during Acid-washing of concrete. Ensure all appropriate measures are used in handling the acid-etching of the concrete so as not to contaminate the adjacent soil.

### **PLANNING DEPARTMENT CONDITIONS**

- PLN 1. Solar Panels. Solar panels to be placed on the roof in a manner that the equipment will not be visible from adjoining properties or the public street.
- PLN 2. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section

93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.

- PLN 3. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 4. Provide smart controllers on irrigation system.
- PLN 5. Roof surfaces shall be tan, beige, grey, sand or other color that blends with the natural color in the area; no white or off-white roofs.
- PLN 6. Drainage at Concrete Terraces. Provide drainage at the joints in the impervious concrete terraces. (Per Section III, DPSP).
- PLN 7. Drainage. The project shall be conditioned to conform to the Guiding Principles for Drainage pursuant PSZC Section 92.21.1.05.
- PLN 8. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 9. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 10. Boulder Relocation. Place boulders and rocks that are relocated as a result of the project's construction in a naturalized manner with boulders "settled" into the soil, not piled up.
- PLN 11. Solar Policy. All new single-family residential and multi-family residential construction as a condition of approval for a discretionary application shall provide a solar photovoltaic system equivalent to two (2) watts times the total square footage of the residential dwelling unit.

## **BUILDING DEPARTMENT CONDITIONS**

BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

## **ENGINEERING CONDITIONS**

### **GENERAL**

- ENG 1. The applicant shall comply with all required Standard Conditions and Mitigation Measures identified in the Final Environmental Impact Report for the Desert Palisades development, as applicable to the individual lots, whether or not restated in these conditions of approval. All required plans shall be prepared in conformance with all applicable Standard Conditions and Mitigation Measures.
- ENG 2. Development of the site is subject to all applicable provisions of Chapter 92.21.1.05 "Design Standards" of the Palm Springs Zoning Code, whether or not restated in these conditions of approval. All required plans shall be prepared in conformance with all applicable provisions of the Code.
- ENG 3. The Property is located in the Environmentally Sensitive Area – Specific Plan ("ESA-SP") zone. Pursuant to Section 92.21.1.05(J) of the Palm Springs Zoning Code, prior to the issuance of any permit for grading or construction of any improvement on any property within the ESA-SP zone, the property owner shall enter into an agreement with the City ensuring that should the improvement not be completed as permitted, that the land will be re-naturalized. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. Security Bond and agreement preparation fee in effect at the time that the agreement is submitted shall be paid by the applicant prior to issuance of any grading or building permits.

### **SANITARY SEWER**

- ENG 4. All sanitary facilities shall be connected to the private sewer system. New laterals shall not be connected at manholes.
- ENG 5. Applicant shall pay a sewer assessment fee of \$3,628.77 in accordance with the terms of the Racquet Club Road Sewer Construction Refund Agreement between the City of Palm Springs and the Pirozzi Family Trust Established November 30, 1992, Sewer Agreement No. 6253. The fee shall be paid to the City of Palm Springs prior to issuance of a building permit.

## GRADING

- ENG 6. Mass grading of the site shall be prohibited.
- ENG 7. Rock crushing operations shall be limited to off-site locations only, as analyzed within the EIR for Desert Palisades. On-site rock crushing for individual home sites is not permissible under the Desert Palisades Specific Plan.
- ENG 8. Rough grading of the lot requires architectural approval, in accordance with the development standards for Planning Area 4 of the ESA-SP Zone, as defined by the Desert Palisades Specific Plan (Case 5.1154). Submit a Grading Plan prepared by a California registered Civil engineer to the City Engineer for review and approval. The Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.
- ENG 9. The applicant's contractors shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant's contractor shall provide the Engineering Division with current and valid Certificates of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Division prior to approval of plans, which shall be approved by the City Engineer prior to issuance of any permits.
- ENG 10. In accordance with Standard Condition (SC) 3.5-1 of the Final Environmental Impact Report, approved Native American cultural resource monitors and archaeological monitors shall be present during all ground disturbing activities. The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at (760) 699-6800, to coordinate scheduling of monitors prior to construction. No permits shall be issued for ground disturbance activities until evidence is provided to the City Engineer demonstrating that monitoring by approved Native American cultural resource monitors has been coordinated by the applicant.
- ENG 11. In accordance with an approved PM-10 Dust Control Plan, perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Perimeter fencing shall be installed after issuance

- of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 12. Perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 13. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 14. Prior to issuance of any permit for ground disturbance activities, the applicant shall provide verification to the City that applicable fees have been paid to the Agua Caliente Band of Cahuilla Indians in accordance with the Tribal Habitat Conservation Plan (THCP).
- ENG 15. In accordance with City of Palm Springs Municipal Code, Section 8.50.025 (c), the applicant shall post with the City a cash bond of two thousand dollars (\$2,000.00) per disturbed acre for mitigation measures for erosion/blow sand relating to this property and development.
- ENG 16. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the plans for the project. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Division with the first submittal of any plans.
- ENG 17. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan (if required), to the Engineering Services Department for review and approval.
- ENG 18. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved plans shall be certified by a California registered geotechnical or civil engineer, certifying that all construction was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided. No final approval will be issued until the required certification is provided to the City Engineer.

## WATER QUALITY MANAGEMENT PLAN

- ENG 19. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to adjacent properties is prohibited. Construction of operational BMP's shall be incorporated into required plans.
- ENG 20. Prior to issuance of any permit, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement the approved Final Project-Specific WQMP. Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include: requiring the implementation of the Final Project-Specific WQMP in Home Owners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&R's); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to the issuance of any permit.
- ENG 21. Prior to any final City approvals, the applicant shall: (a) demonstrate that all structural BMP's have been constructed and installed in conformance with approved plans and specifications; (b) demonstrate that applicant is prepared to implement all non-structural BMP's included in the approved Final Project-Specific WQMP, conditions of approval, or grading/building permit conditions; and (c) demonstrate that an adequate number of copies of the approved Final Project-Specific WQMP are available for the future owners (where applicable).

## DRAINAGE

- ENG 22. In accordance with Chapter 92.21.1.05 "Design Standards" of the Palm Springs Zoning Code, development of the site shall preserve existing drainage patterns, natural streams and local watershed boundaries.
- ENG 23. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property, as described in the Preliminary Hydrology Report for TTM35540, prepared by MSA Consulting, Inc., dated July 1, 2009 (or as may be amended). Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and

approval of the hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study.

ENG 24. This project will be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating stormwater runoff, will be required by regulations imposed by the RWQCB. It shall be the applicant's responsibility to design and install appropriate BMP's, in accordance with the NPDES Permit, that effectively intercept and pre-treat stormwater runoff from the project site, prior to release to the City's municipal separate storm sewer system ("MS4"), to the satisfaction of the City Engineer and the RWQCB. Such measures shall be designed and installed on-site; and provisions for perpetual maintenance of the measures shall be provided to the satisfaction of the City Engineer.

ENG 25. The project is subject to flood control and drainage implementation fees. The drainage fee at the present time is \$6,511.00 per acre per Resolution No. 15189.

#### GENERAL

ENG 26. Any utility trenches or other excavations of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115. The developer shall be responsible for removing, replacing, or repairing any existing off-site streets as required by and at the discretion of the City Engineer, including additional pavement repairs to pavement repairs made by utility companies for utilities installed for the benefit of the proposed development (i.e. Desert Water Agency, Southern California Edison, Southern California Gas Company, Time Warner, Frontier, etc.). Multiple excavations, trenches, and other street cuts within existing structural sections of off-site streets required by the proposed development may require complete removal and replacement of the streets structural section of the affected off-site streets, at the discretion of the City Engineer. The pavement condition of the existing off-site streets shall be returned to a condition equal to or better than existed prior to construction of the proposed development.

ENG 27. All proposed utility lines shall be installed underground.

ENG 28. All existing utilities shall be shown on the improvement plans required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.

- ENG 29. Upon approval of any improvement plan by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval of the City Engineer.
- ENG 30. The original improvement plans prepared for the proposed development and approved by the City Engineer shall be documented with record drawing "as-built" information and returned to the Engineering Division prior to issuance of final approvals. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 31. Nothing shall be constructed or planted in the corner cut-off area of any intersection or driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.

#### TRAFFIC

- ENG 32. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.
- ENG 33. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

#### FIRE DEPARTMENT CONDITIONS

These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire & building codes. Detailed plans are still required for review.

- FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.
- FID 2. Fire Department Conditions were based on the 2020 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "T" Development Requirements. and latest adopted NFPA



Standards. Three (3) complete sets of plans for fire sprinkler systems must be submitted prior to a building permit being released.

FID 3. **Conditions of Approval** – “Conditions of Approval” received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 4. **Plans and Permits (CFC 105.1):**  
Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set. Plans shall be submitted to:

City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer’s technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 5. **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

- FID 6. **NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2016 Editions, as modified by local ordinance.
- FID 7. **Residential Smoke Alarms Required:** Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke alarms within the dwelling & guest house to sound and activate the exterior horn/strobe.
- FID 8. **Fire Hydrant Requirements (CFC 507):** Provide a fire hydrant not more than 600 feet from home. If this exists, disregard and show location on plans.
- FID 9. **Carbon Monoxide Detectors Required (CFC 915):** carbon monoxide detection shall be installed in new buildings in accordance with Sections 915.1.1 through 915.7.

**END OF CONDITIONS**

## EXCERPT OF DRAFT MINUTES

At the Architectural Review Committee (ARC) meeting of the City of Palm Springs, held January 3, 2022, the ARC made the following decision:

- 4. STACK FAMILY TRUST, OWNER FOR A MAJOR ARCHITECTURAL REVIEW APPLICATION FOR THE CONSTRUCTION OF A 4,122-SQUARE FOOT SINGLE-FAMILY HOUSE ON A HILLSIDE LOT LOCATED AT 2368 CITY VIEW DRIVE, ZONE ESA-SP PLANNING AREA, LOT 53, DESERT PALISADES SPECIFIC PLAN (CASE 3.4299 MAJ) (GM)**

Planner Mlaker presented the proposed residence as outlined in the staff memorandum.

JAMIE STACK, applicant, said the plan was approved by the Desert Palisades Architectural Committee. Mr. Stack described the design of the home and front-facing garage design, noting issues with the topography of the lot, using a specific batten design, and orienting the home at an angle to minimize the visual impact of the garage. Mr. Stack said the landscape will include native plants that are consistent with the design guidelines.

Chair Jakway asked where the vertical battens are used near the front door. Mr. Stack described the location of the battens are next to the inset adjacent to the front door.

Vice Chair Rotman questioned where the trash enclosure will be located; details about what's proposed around the pool; and how the railing for the outdoor space on the east side of the house will be handled. Mr. Stack responded there will be a low wall near the northwest corner of the house adjacent to the pool equipment and hardscape from the driveway to the location. Mr. Stack provided clarification on the courtyard landscape area and noted that the pool would have a pool cover and prefers not to have any railings on the outdoor seating area.

In response to a question from Member Walsh, Chris Wallace described the HVAC system which will consist of mini-split units or installing a soffit on the interior if necessary.

Chair Jakway said the grading plan shows significant slope changes and the plans are missing the retaining walls and landscape materials on the planting plan. Mr. Wallace responded that it seems like there was an error in the plans when they were converted, and some data appears to be missing. He clarified retaining walls would be minimal and boulders would be used to transition the grade changes.

Member Doczi pointed out there are several boulders on the plans which need to be shown on the grading plan; and questioned the number of up-lights. Mr. Stack provided details about their intent for the lighting plan.

Member Poehlein pointed out the terrain variation is between 6 -7 feet from one side of the house to the other and requested a section be provided to show the overall transition.

Member Lockyer thinks there will be a lot of boulders necessary to address the topography issues at both corners of the site. He said the ceiling lighting on sheet A-2 on the east side of the building does not appear to align with anything and will need to be revised. Further discussion was made on the placement of exterior lighting and the visibility of interior lighting from surrounding areas.

Member Lockyer confirmed the aluminum windows would be Fleetwood and explained this would double the frame size and recommended considering other options. He questioned the location and number of condenser units; noting the units will need to be screened and strategically placed. Mr. Lockyer thinks more solar panels will be required than the six panels shown and asked that the roof color be gray (not light gray). He requested the trash enclosure be shown on the plan.

Chair Jakway asked that a roof section detail be provided to show the rafters and structural issues as they may affect recessed blinds and requested further details on the roof drainage and roof thickness.

Lockyer, seconded by Doczi to re-study based on Committee comments.

AYES: DOCZI, LOCKYER, POEHLEIN, THOMPSON, WALSH, ROTMAN  
JAKWAY

ABSENT: MCCOY

The Committee further discussed the front facing garage and revisions to the driveway to screen the proposed design.

## Glenn Mlaker

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**From:** Chris Wallace <ckbewallace@gmail.com>  
**Sent:** Monday, January 31, 2022 2:57 PM  
**To:** Jamie Stack  
**Cc:** Glenn Mlaker  
**Subject:** Re: Stack Residence ARC Meeting

**NOTICE:** This message originated outside of The City of Palm Springs -- **DO NOT CLICK** on links or open attachments unless you are sure the content is safe.

Hi Glenn,

Attached are the revised plans.

- Grading plan to reflect slopes and placement of boulder walls and transition grade changes.
- Cross sections have been added on page G2. New Landscape Plan also demonstrates boulder placement
- Landscape plan showing locations of plants, sizes, and quantities.
- Landscape plans have been revised
- Driveway to be off set and allow a plant grouping to soften the garage door.
- Revised driveway from straight to curved per AC recommendations
- Provide several site sections for grade changes.
- Cross sections have been added on page G2 and A6
- Exterior lighting plan re-evaluation number and types of light fixtures and eave lighting.
- Landscape lighting Plan has been revised to address the number of fixtures and eave lighting specification is located on (A2)
- Better HVAC plans showing locations of condenser units and screening.
- Location and screening is located on plan views and elevations
- Roof plan to reflect solar panel placement and evaluation of fascia widths.
- Roof plan has been revised to show solar placement and cross section added to show fascia widths
- List roof color on material board.
- Added to material board
- Show location of trash storage and pathway to driveway.
- Added to plan views and elevations

Thanks again for all your help on this project

Chris

 **Stack Single Family Arch.pdf** 

On Tue, Jan 4, 2022 at 7:00 PM Jamie Stack <[jamie.stack@gmail.com](mailto:jamie.stack@gmail.com)> wrote:

Hi Glenn, thanks for the summary and the advocacy. We're aligned on the to-do list and have already begun with the long lead time portions (landscape architect, grading detail). Our objective will be to get everything to you by the end of this month to make the meeting first Monday of Feb.

We'll be in touch soon, thanks.

On Tue, Jan 4, 2022 at 11:33 AM Glenn Mlaker <[Glenn.Mlaker@palmspringsca.gov](mailto:Glenn.Mlaker@palmspringsca.gov)> wrote:

Hello Jamie, thank you for providing a good presentation and answering questions from the ARC. I wanted to summarize the discussion from last night's meeting as follows regarding revisions to the plans:

- Grading plan to reflect slopes and placement of boulder walls and transition grade changes.
- Landscape plan showing locations of plants, sizes, and quantities.
- Driveway to be off set and allow a plant grouping to soften the garage door.
- Provide several site sections for grade changes.
- Exterior lighting plan re-evaluation number and types of light fixtures and eave lighting.
- Better HVAC plans showing locations of condenser units and screening.
- Roof plan to reflect solar panel placement and evaluation of fascia widths.
- List roof color on material board.
- Show location of trash storage and pathway to driveway.

Let me know if you would like to discuss any of the comments from the meeting. The next step is to work with your team and resubmit the items discussed. Once I have them we can schedule for the next available ARC meeting.

Glenn

Glenn Mlaker, AICP

Associate Planner

City of Palm Springs

3200 East Tahquitz Canyon Way

Palm Springs, CA 92262

760-323-8245 x 8778

**Coronavirus (COVID-19):**

For the latest updates from the City of Palm Springs: [www.palmspringsca.gov/covid](http://www.palmspringsca.gov/covid)

Experiencing flu-like symptoms? Coachella Valley residents should contact the Eisenhower Hospital Coronavirus hotline, before reporting to a hospital or doctor: (760) 837-8988.

# STACK NEW SINGLE FAMILY RESIDENCE

2368 CITY VIEW DRIVE  
PALM SPRINGS, CA 92262

REVISIONS

## PROJECT PLAN NOTES

- NO CHANGES ARE TO BE MADE WITHOUT THE KNOWLEDGE OF THE DESIGNER/ENGINEER WHOSE SIGNATURE APPEARS HEREON.
- DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS.
- NO FRAMING OF ANY TYPE IS TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
- REFERENCES TO ANY DETAIL OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.
- DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE ALL THE CONDITIONS PRIOR TO SUBMITTING BIDS TO THE OWNER SINCE PROPOSALS MUST TAKE INTO CONSIDERATION ALL SUCH DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER AND THE OWNER. CORRECTED DRAWINGS OF INSTRUCTIONS SHALL BE ISSUED BY THE ENGINEER PRIOR TO THE INSTALLATION OF ANY WORK. ALL DIMENSIONS ARE TO BE ROUGH UNLESS OTHERWISE NOTED.
- ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODE AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIAL OR BOTH TO BRING TO THE ATTENTION OF THE DESIGNER, ENGINEER, AND HOMEOWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS. THE APPLICABLE CODES SHALL INCLUDE, (SEE CODES AND REQUIREMENTS BELOW)
- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS THE JOB AND SHALL NOTIFY THE DESIGNER AND ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- NOTES: IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW ALL SHEETS OF THE CONSTRUCTION DOCUMENTS AND CONDITIONS ON SITE.
- THE GENERAL BUILDING PERMIT AND PLAN CHECK SHALL BE SECURED FOR AND PAID FOR BY THE OWNER. ALL OTHER PERMITS SHALL BE SECURED AND PAID FOR BY THE OWNER.
- THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, THE CONTRACT SUM BEING ADJUSTED ACCORDINGLY.
- ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK, REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, SURPLUS MATERIALS AND LEAVE THE JOB IN BROOM CLEAN CONDITION.
- ALL EXIT DOORS MUST BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS (OR ACCESS DOORS) AS REQUIRED BY THE GOVERNING AGENCIES FOR AIR CONDITIONING, AND ELECTRICAL SYSTEMS. PROVIDE APPROVED ASSEMBLIES WITH SELF-CLOSING DEVICES IN 1-HOUR RATED CONSTRUCTION.

## DESIGNER NOTES

- ANY CHANGES OR DEVIATIONS FROM THESE PLANS WITHOUT WRITTEN CONSENT FROM THE DESIGNER OR ENGINEER RELEASES THE PROJECT DESIGNER AND ENGINEER FROM ANY LIABILITY FOR THE ENTIRE PROJECT.
- (FS1) THE ENTIRE STRUCTURE SHALL BE RETROFITTED TO COMPLY WHEN ANY ADDITION, ALTERATION, ENLARGEMENT OR RECONSTRUCTION EQUALS OR EXCEEDS 50% OF THE EXISTING STRUCTURE. THE ENTIRE ROOF SHALL BE RETROFITTED TO COMPLY WHEN 25% OR MORE OF THE EXISTING ROOFING IS REPLACED.
- (FS1) AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT WILL BE REQUIRED FOR ALL DEVELOPMENT PROJECTS. PRIOR TO THE BUILDING PERMIT FINAL APPROVAL THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN THE CALIFORNIA PUBLIC RESOURCES CODE 4291 AND CALIFORNIA GOVERNMENT CODE SECTION 51182.
- THE OWNER AND OR GENERAL FRAMING CONTRACTOR ARE RESPONSIBLE TO REVIEW AND VERIFY ALL SHEAR SCHEDULED FOR THIS PROJECT. ALL SHEAR NAILING, SIMPSON STRONG WALLS, HARDY FRAMES AND OTHER ALTERNATIVE SHEAR STRUCTURES ARE TO BE INSTALLED AND LOCATED PER PLANS. ANY INCONSISTENCIES OR NECESSARY STRUCTURAL CHANGES ARE TO BE ADDRESSED BY THE ENGINEER OF RECORD BEFORE MOVING FORWARD WITH THE PROJECT AND QUESTION. STRUCTURAL CHANGES MADE DURING CONSTRUCTION THAT ARE NOT REVIEWED BY THE ENGINEER OF RECORD ARE LEGALLY THE RESPONSIBILITY OF THE OWNERS AND OR THE CONTRACTORS INVOLVED.

## LOCAL NOTES

**BUILDING AND SAFETY**  
BUILDING AND SAFETY DIVISION  
3200 E TAHQUITZ CANYON WAY  
PALM SPRINGS, CA 92262  
PHONE (760) 323-8242

**ASSESSOR OFFICE**  
RIVERSIDE COUNTY ASSESSOR  
82 CA-111  
INDIO, CA 92201  
PHONE (760) 863-7800

## CBC STRUCTURAL NOTE

\*PERIODIC SPECIAL INSPECTION IS REQUIRED FOR WOOD SHEAR WALLS, SHEAR PANELS, AND DIAPHRAGMS. INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING TO COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM WHERE THE FASTENER SPACING IS <4" O.C. (1707.3)

## CODES AND REQUIRMENTS

OCCUPANCY: R-1A1-1  
TYPE OF CONSTRUCTION V-B  
SPRINKLERS: REQUIRED FOR NEW CONSTRUCTION.  
NOTE: FIRE SPRINKLER PLAN IF REQUIRED UNDER SEPARATE PERMIT APPROVED BY THE FIRE DEPARTMENT

BUILDING CODE STANDARDS  
2019 CBC (2015 IBC)  
2019 CPC (2015 UPC)  
2019 CMC (2015 UMC)  
2019 CEC (2015 NEC)  
2019 CRC (2015 IRC)  
2019 CFC (2015 IFCC)  
2019 CALIFORNIA ENERGY CODE  
2019 CGBSC (CAL GREEN)

LOCAL PALM SPRINGS CITY BLDG CODES  
NOTE: THIS PROJECT MUST COMPLY WITH ALL 2019 GREEN BUILDING STANDARD REQUIREMENTS



NOTE: POOLS, SPAS, WALLS, FENCES, ENCROACHMENT PERMIT REQ'D FOR ALL PATIO COVERS AND OTHER FREE STANDING STRUCTURES REQUIRE SEPARATE REVIEWS AND PERMITS.

ALL EXISTING HARD/SOFT SCAPE TO REMAIN INSPECTOR TO VERIFY WORK ACTIVITIES WITHIN THE PUBLIC RIGHT OF WAY.

DISTANCE FROM FACE OF THE FOUNDATIONS TO PROPERTY LINE TO BE ZONING SETBACK PLUS WALL FINISH THICKNESS (MINIMUM)

## VICINITY MAP



BLOCK: LOT: 53  
TRACT: 3137  
APN #: 504-390-053  
ZONING: R1-1-C

NOTE:  
SEE GRANT DEED AND PRELIMINARY TITLE REPORT FOR MORE INFORMATION ON THE LEGAL DISCRPTION OF THIS PROPERTY

## SITE COVERAGE INFO

TOTAL OF ALL BUILDING AREA: 4122 SQ FT  
TOTAL LOT AREA: 17,100 SQ FT  
BUILDABLE AREA FOR ZONING R-1-C 35% OF 17,100= 5985 SQFT  
MAX BUILDING COVERAGE 4122<5985 SQFT

## SHEET INDEX

T-1 TITLE PAGE & PROJECT INFO

T-6 TOPOGRAPHIC SURVEY W/ HOUSE

A-1 GARAGE FLOOR PLAN

A-2 MAIN FLOOR PLAN

A-3 CLEAR STORY FLOOR PLAN

A-4 WEST/EAST ELEVATIONS

A-5 NORTH/SOUTH ELEVATIONS

A-6 BUILDING SECTIONS

A-7 AXIOMETRIC VIEW

S-7 ROOF PLAN

L-1 LANDSCAPING PLAN

L-2 IRRIGATION DETAILS

L-3 LANDSCAPING LIGHTING PLAN

G-1 GRADING AND DRAINAGE PLAN

G-2 GRADING AND DRAINAGE PLAN

## LOCAL SERVICES

**BUILDING AND SAFETY**  
BUILDING AND SAFETY DIVISION  
3200 E TAHQUITZ CANYON WAY  
PALM SPRINGS, CA 92262  
PHONE (760) 323-8242

**ASSESSOR OFFICE**  
RIVERSIDE COUNTY ASSESSOR  
82 CA-111  
INDIO, CA 92201  
PHONE (760) 863-7800

**SITE INSPECTION APPOINTMENTS**  
PHONE (760) 323-8242

## DIG ALERT

UNDERGROUND SERVICE ALERT  
PHONE: (800) 422-4133

IN ORDER TO COMPLY WITH SENATE BILL AB73, ANY PERSONS EXCAVATING PRIVATE PROPERTY MUST FIRST NOTIFY DIGALERT AT (800) 422-4133, 48 HOURS PRIOR TO EXCAVATING IN ORDER TO IDENTIFY THE LOCATIONS OF POSSIBLE UNDERGROUND UTILITIES.

## PROPOSED ADDITION SUMMARY

MAIN FLOOR LIVING AREA 3577.0 SQ. FT.  
GARAGE 546.0 SQ. FT.  
TOTAL AREA 4122.0 SQ.FT

## CONSULTANTS

OWNER:  
JAMIE AND MEGAN STACK  
201 CITY VIEW DRIVE  
PALM SPRINGS, CA 92263

DESIGNER  
CHRIS WALLACE  
27888 NORTH SHORE ROAD  
LAKE ARROWHEAD CA 92352  
(949) 307-4146

ENGINEER:  
BRYANT R. BERGESON  
26748 HWY 189  
BLUE JAY, CA 92352  
(909) 337-6970

SURVEYOR:  
FEIRO ENGINEERING  
75-060 GERALD FORD DRIVE  
SUITE 3  
PALM DESERT 92211  
(760)246-8015

## SCOPE OF PROJECT

NEW 4111 SQFT HOME WITH POOL AND SPA

CATEGORY:	CITY/COUNTY STANDARDS	PROVIDED
FRONT SETBACK:	25'-0"	25'-0"
SIDE SETBACK	10'-0"	10'-0"
REAR SETBACK	15'-0"	15'-0"
SIDE "NO BUILD EASEMENT"	7'-6"	7'-6"
BUILDING SEPERATION	10'-0"	10'-0"
BUILDING HEIGHT	25' MAX (18' "PILLOW" ABOVE EXISTING GRADE)	
HEIGHT FROM LOWEST FLOOR	12' FROM GRADE	NA
PARKING	24'-8" x 26'-6" GARAGE	24' X 25' DRIVEWAY FOR OFF STREET PARKING

ENGINEER  
BRYANT BERGESON  
26748 HWY 189  
BLUE JAY, CA 92317  
(909)336-6970

DRAFTING & DESIGN:  
CHRIS WALLACE  
27888 NORTH SHORE ROAD  
LAKE ARROWHEAD, CA 92352

STACK RESIDENCE  
2368 CITY VIEW DRIVE  
PALM SPRINGS, CA 92262

DRAWN BY:  
CHRIS WALLACE

TITLE:

DRAWING SCALE:  
1/4"=1'-0"

DATE:  
01/01/21

SHEET

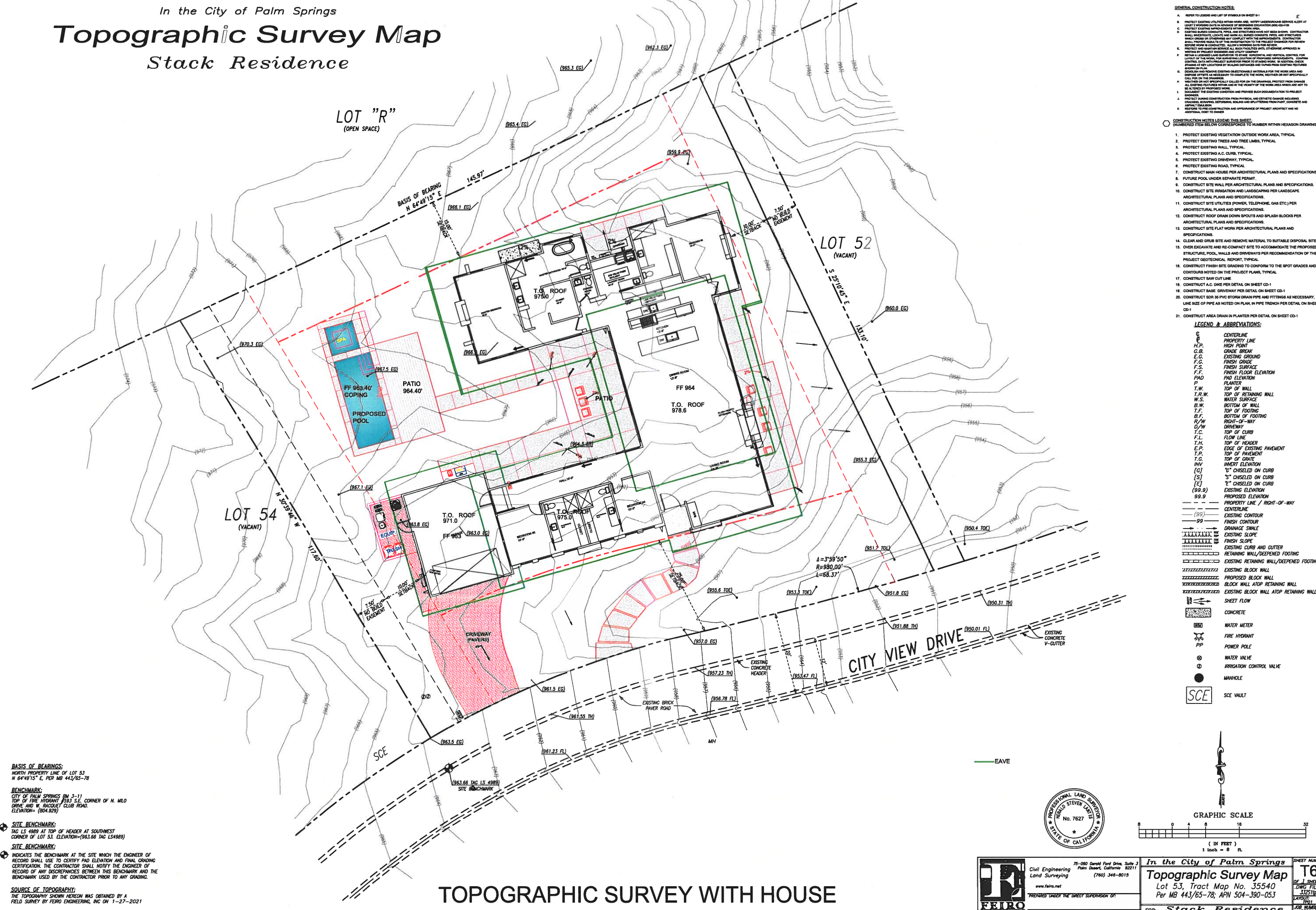
T-1

In the City of Palm Springs  
**Topographic Survey Map**  
 Stack Residence

LOT "R"  
 (OPEN SPACE)

LOT 52  
 (VACANT)

LOT 54  
 (VACANT)



- GENERAL CONSTRUCTION NOTES:**
- REFER TO LEGEND AND LIST OF SYMBOLS ON SHEET 0-1
  - PROJECT EXISTING UTILITIES WITHIN WORK AREA. NOTIFY UNDERGROUND SERVICE ALERT AT LEAST 7 WORKING DAYS IN ADVANCE OF EXPOSURE ELEVATION PER CD-110
  - PROJECT EXISTING IMPROVEMENTS WITHIN WORK AREA
  - EXISTING BARRIERS, CURBS, PAVES, AND STRUCTURES HAVE NOT BEEN BOUND. CONTRACTOR SHALL MAINTAIN, LOCATE AND MARK ALL BARRIERS, CURBS, PAVES AND STRUCTURES WITHIN WORK AREA IN ADVANCE OF EXPOSURE AND MARK WITH THE APPROPRIATE CONTRACTOR MARKING PER CD-110 TO THE MAXIMUM EXTENT POSSIBLE. CONTRACTOR SHALL MAINTAIN ALL BARRIERS, CURBS, PAVES AND STRUCTURES WITHIN WORK AREA UNTIL THE WORK IS COMPLETED. ALLOW 4 WORKING DAYS FOR REVIEW.
  - BEFORE WORK IS CONDUCTED, ALLOW 4 WORKING DAYS FOR REVIEW.
  - REVIEW A LICENSED LAND SURVEYOR FOR OTHER "CONSTRUCTION AND VERTICAL CONTROL" FOR LAYOUT OF THE WORK, FOR SUPERVISION LOCATION OF PROPOSED IMPROVEMENTS, COORDINATE EXISTING AND PROPOSED IMPROVEMENTS TO EXISTING WORK. IN ADDITION, CHECK BOUNDARY AND LOCATION BY MEASURING DISTANCES AND TYPING FROM EXISTING FEATURES BOUND ON PLAN.
  - REVIEW A LICENSED LAND SURVEYOR FOR OTHER "CONSTRUCTION AND VERTICAL CONTROL" FOR LAYOUT OF THE WORK, FOR SUPERVISION LOCATION OF PROPOSED IMPROVEMENTS, COORDINATE EXISTING AND PROPOSED IMPROVEMENTS TO EXISTING WORK. IN ADDITION, CHECK BOUNDARY AND LOCATION BY MEASURING DISTANCES AND TYPING FROM EXISTING FEATURES BOUND ON PLAN.
  - WHETHER OR NOT SPECIFICALLY CALLED FOR ON THE DRAWING, PROJECT FROM DRAWS ALL EXISTING PROPOSED WITHIN AND THE VICINITY OF THE WORK AREA WHICH ARE NOT TO BE ALTERED BY PROPOSED WORK.
  - DOCUMENT THE EXISTING CONDITION AND PROVIDE SUCH DOCUMENTATION TO PROJECT ARCHITECT/ENGINEER.
  - PROJECT DURING CONSTRUCTION FROM PHYSICAL AND ESTHETIC DAMAGE INCLUDING: EXISTING BARRIERS, CURBS, PAVES AND UTILITIES FROM PAINT, CONCRETE AND ASPHALT TAILINGS.
  - RESTORE TO PRE-CONSTRUCTION AND APPEARANCE OF PROJECT ARCHITECT AND NO ADDITIONAL COST TO OWNER.

- CONSTRUCTION NOTES LEGEND THIS SHEET**  
 (NUMBERED ITEM BELOW CORRESPONDS TO NUMBER WITHIN HEXAGON DRAWING)
- PROTECT EXISTING VEGETATION OUTSIDE WORK AREA. TYPICAL
  - PROTECT EXISTING TREES AND TREE LIMBS. TYPICAL
  - PROTECT EXISTING WALL. TYPICAL
  - PROTECT EXISTING A.C. CURB. TYPICAL
  - PROTECT EXISTING DRIVEWAY. TYPICAL
  - PROTECT EXISTING ROAD. TYPICAL
  - CONSTRUCT MARK HOUSE PER ARCHITECTURAL PLANS AND SPECIFICATIONS
  - FUTURE POOL UNDER SEPARATE PERMIT
  - CONSTRUCT SITE WALL PER ARCHITECTURAL PLANS AND SPECIFICATIONS.
  - CONSTRUCT SITE IRRIGATION AND LANDSCAPING PER LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS.
  - CONSTRUCT SITE UTILITIES (POWER, TELEPHONE, GAS ETC.) PER ARCHITECTURAL PLANS AND SPECIFICATIONS.
  - CONSTRUCT ROOF DRAIN DOWN SPOUTS AND SPLASH BLOCKS PER ARCHITECTURAL PLANS AND SPECIFICATIONS.
  - CONSTRUCT SITE FLAT WORK PER ARCHITECTURAL PLANS AND SPECIFICATIONS.
  - CLEAR AND GRUB SITE AND REMOVE MATERIAL TO SUITABLE DISPOSAL SITE.
  - OVER EXCAVATE AND RE-COMPACT SITE TO ACCOMMODATE THE PROPOSED STRUCTURE, POOL, WALLS AND DRIVEWAYS PER RECOMMENDATION OF THE PROJECT GEOTECHNICAL REPORT, TYPICAL.
  - CONSTRUCT FINISH SITE GRADING TO CONFORM TO THE SPOT GRADERS AND CONTOURS NOTED ON THE PROJECT PLANS, TYPICAL.
  - CONSTRUCT BANK CUT LINE
  - CONSTRUCT A.C. CURB PER DETAIL ON SHEET CD-1
  - CONSTRUCT BASE DRIVEWAY PER DETAIL ON SHEET CD-1
  - CONSTRUCT ROOF 3/8" PVC STORM DRAIN PIPE AND FITTINGS AS NECESSARY. LINE SIZE OF PIPE AS NOTED ON PLAN. IN PIPE TRENCH PER DETAIL ON SHEET CD-1
  - CONSTRUCT AREA DRAIN IN PLANTER PER DETAIL ON SHEET CD-1

**LEGEND & ABBREVIATIONS:**

CL	CENTERLINE
PL	PROPERTY LINE
H.P.	HIGH POINT
G.B.	GRADE BREAK
E.G.	EXISTING GROUND
F.G.	FINISH GROUND
F.S.	FINISH SURFACE
F.F.	FINISH FLOOR ELEVATION
PAD	PAID ELEVATION
P	PLANTER
T.W.	TOP OF WALL
T.R.W.	TOP OF RETAINING WALL
W.S.	WATER SURFACE
B.W.	BOTTOM OF WALL
T.F.	TOP OF FOOTING
B.F.	BOTTOM OF FOOTING
R/W	RIGHT-OF-WAY
D/W	DRIVEWAY
T.C.	TOP OF CURB
F.L.	FLOW LINE
T.H.	TOP OF HEADER
E.P.	EDGE OF EXISTING PAVEMENT
T.P.	TOP OF PAVEMENT
T.G.	TOP OF GATE
INV	INVERT ELEVATION
[C]	"C" CHISELED ON CURB
[S]	"S" CHISELED ON CURB
[E]	"E" CHISELED ON CURB
(99.9)	EXISTING ELEVATION
99.9	PROPOSED ELEVATION
---	PROPERTY LINE / RIGHT-OF-WAY
---	CENTERLINE
(99)	EXISTING CONTOUR
99	FINISH CONTOUR
---	DRAINAGE SWALE
	EXISTING SLOPE
	FINISH SLOPE
---	EXISTING CURB AND GUTTER
---	RETAINING WALL/DEEPEEN FOOTING
---	EXISTING RETAINING WALL/DEEPEEN FOOTING
---	EXISTING BLOCK WALL
---	PROPOSED BLOCK WALL
---	BLOCK WALL ATOP RETAINING WALL
---	EXISTING BLOCK WALL ATOP RETAINING WALL
---	SHEET FLOW
---	CONCRETE
---	WATER METER
---	FIRE HYDRANT
---	POWER POLE
---	WATER VALVE
---	IRRIGATION CONTROL VALVE
---	MANHOLE
---	SCE VAULT

**BASIS OF BEARINGS:**  
 NORTH PROPERTY LINE OF LOT 53  
 N 64°49'15" E, PER MB 443/65-78

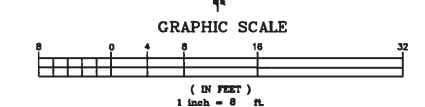
**BENCHMARK:**  
 CITY OF PALM SPRINGS BM 3-11  
 TOP OF FIRE HYDRANT #53 S.E. CORNER OF N. MILO  
 DRIVE AND W. RACQUET CLUB ROAD.  
 ELEVATION= (804.929)

**SITE BENCHMARK:**  
 TAG LS 4989 AT TOP OF HEADER AT SOUTHWEST  
 CORNER OF LOT 53. ELEVATION=(963.66 TAG LS4989)

**SITE BENCHMARK:**  
 INDICATES THE BENCHMARK AT THE SITE WHICH THE ENGINEER OF  
 RECORD SHALL USE TO CERTIFY PAID ELEVATION AND FINAL GRADING  
 CERTIFICATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF  
 RECORD OF ANY DISCREPANCIES BETWEEN THIS BENCHMARK AND THE  
 BENCHMARK USED BY THE CONTRACTOR PRIOR TO ANY GRADING.

**SOURCE OF TOPOGRAPHY:**  
 THE TOPOGRAPHY SHOWN HEREON WAS OBTAINED BY A  
 FIELD SURVEY BY FEIRO ENGINEERING, INC ON 1-27-2021

**TOPOGRAPHIC SURVEY WITH HOUSE**



**FEIRO ENGINEERING, INC.**  
 Civil Engineering  
 Land Surveying  
 www.feiro.net

75-980 Durand Ford Drive, Suite 3  
 Palm Desert, California 92211  
 (760) 348-8015

PREPARED UNDER THE DIRECT SUPERVISION OF:  
 RONALD K. FEIRO R.C.E. 32280 DATE

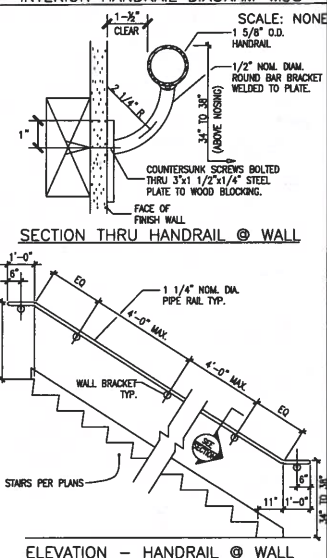
In the City of Palm Springs  
**Topographic Survey Map**  
 Lot 53, Tract Map No. 35540  
 Per MB 443/65-78; APN 504-390-053

SHEET NUMBER  
**T6**  
 OF 1 SHEETS  
 .DWG FILE:  
 3/23/2021  
 LAYOUT:  
 FOR NUMBER  
 3375-001

FOR: **Stack Residence**



INTERIOR HANDRAIL DIAGRAM-M05



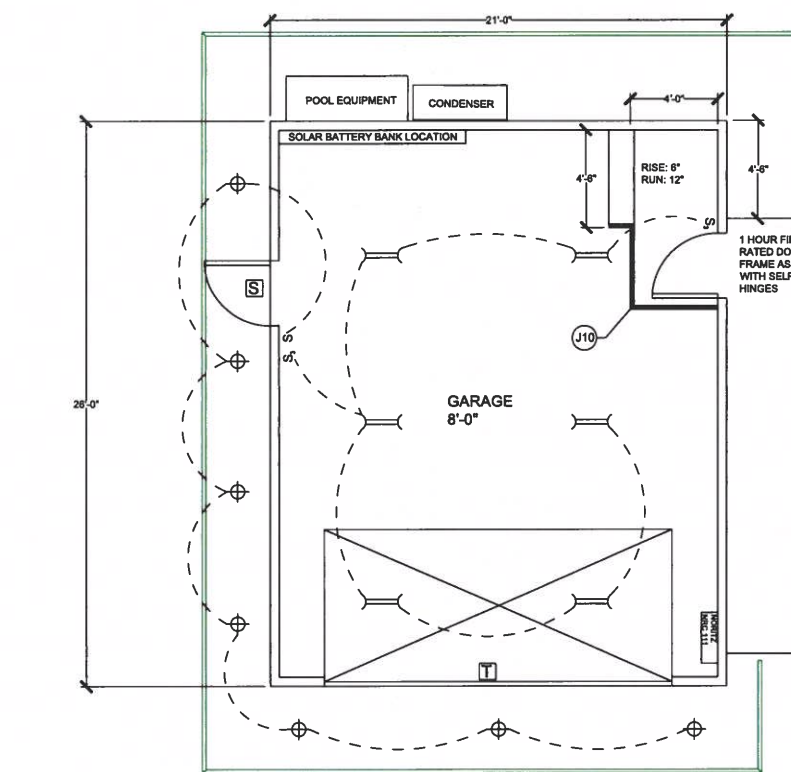
STAIR/GAURDRAIL NOTES

1. THE RISE AND RUN OF STEPS SHALL BE UNIFORM IN SIZE, SHAPE, AND THE VARIATION CANNOT EXCEED 1/8" IN TOTAL RUN.
2. THE MAXIMUM RISE OF STEPS SHALL BE 7 3/4". THE MINIMUM TREAD DEPTH SHALL BE 10". THE MINIMUM WINDER TREAD DEPTH AT THE WALK LINE SHALL BE 10"; AND THE MINIMUM WINDER TREAD DEPTH SHALL BE 6". A NOSING NOT LESS THAN 1/2" BUT NOT GREATER THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE TREAD DEPTH IS LESS THAN 11" PER
3. STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSING. SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW, ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY AND LANDING.
4. THE MINIMUM WIDTH OF THE STAIRWAY SHALL NOT BE LESS THAN 36". THE MINIMUM DIMENSION OFF ALL LANDINGS SHALL BE 36".
5. ALL STAIRS HAVING 4 OR MORE RISERS ARE REQUIRED TO HAVE HANDRAILS AND GUARDRAILS THAT COMPLY WITH R 311.7.8
6. ALL LANDINGS, DECKS, AND BALCONIES THAT ARE MORE THAN 30" ABOVE GRADE REQUIRE A GUARDRAIL THAT COMPLY WITH R 312.1.
7. THE MOUNTING OF HANDRAILS SHALL BE SUCH THAT THE COMPLETED HANDRAIL, AND SUPPORTING STRUCTURE ARE CAPABLE OF WITHSTANDING A LOAD OF AT LEAST 200 LBS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL
8. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS, FROM THE TOP RISER TO THE BOTTOM
9. HANDRAIL HEIGHT, MEASURED ABOVE THE STAIR TREAD NOSING, SHALL BE UNIFORM, NOT LESS THAN 34" AND NOT MORE THAN 38"
10. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER AT LEAST 1 1/2" AND NOT GREATER THAN 2" OR SHALL PROVIDE EQUIVALENT GRASP ABILITY. IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/2" WITH A MAXIMUM CROSS SECTION OF 2 1/2". Edges shall have a minimum radius of 0.01"
11. HANDRAIL ENDS SHALL BE RETURNED TO A WALL, GUARD OR WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT. THE TERMINATION POINT MAY ALSO BE A NEWEL POST.
12. HANDRAILS SHALL HAVE A CLEAR SPACE BETWEEN THE HANDRAIL AND A WALL OR OTHER SURFACE OF AT LEAST 1 1/4". A HANDRAIL AND A WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL SHALL BE FREE OF ANY SHARP OBJECT OR ABRASIVE ELEMENTS
13. PROJECTIONS INTO THE REQUIRED WIDTH OF STAIRWAY AT EACH HANDRAIL SHALL NOT EXCEED 4 1/2" AT OR BELOW THE HANDRAIL HEIGHT.
14. ON THE OPEN SIDE OF STAIRS, INTERMEDIATE RAILINGS SHALL BE PROVIDED AND INSTALLED SO THAT A 4.375" SPHERE CANNOT PASS THROUGH.

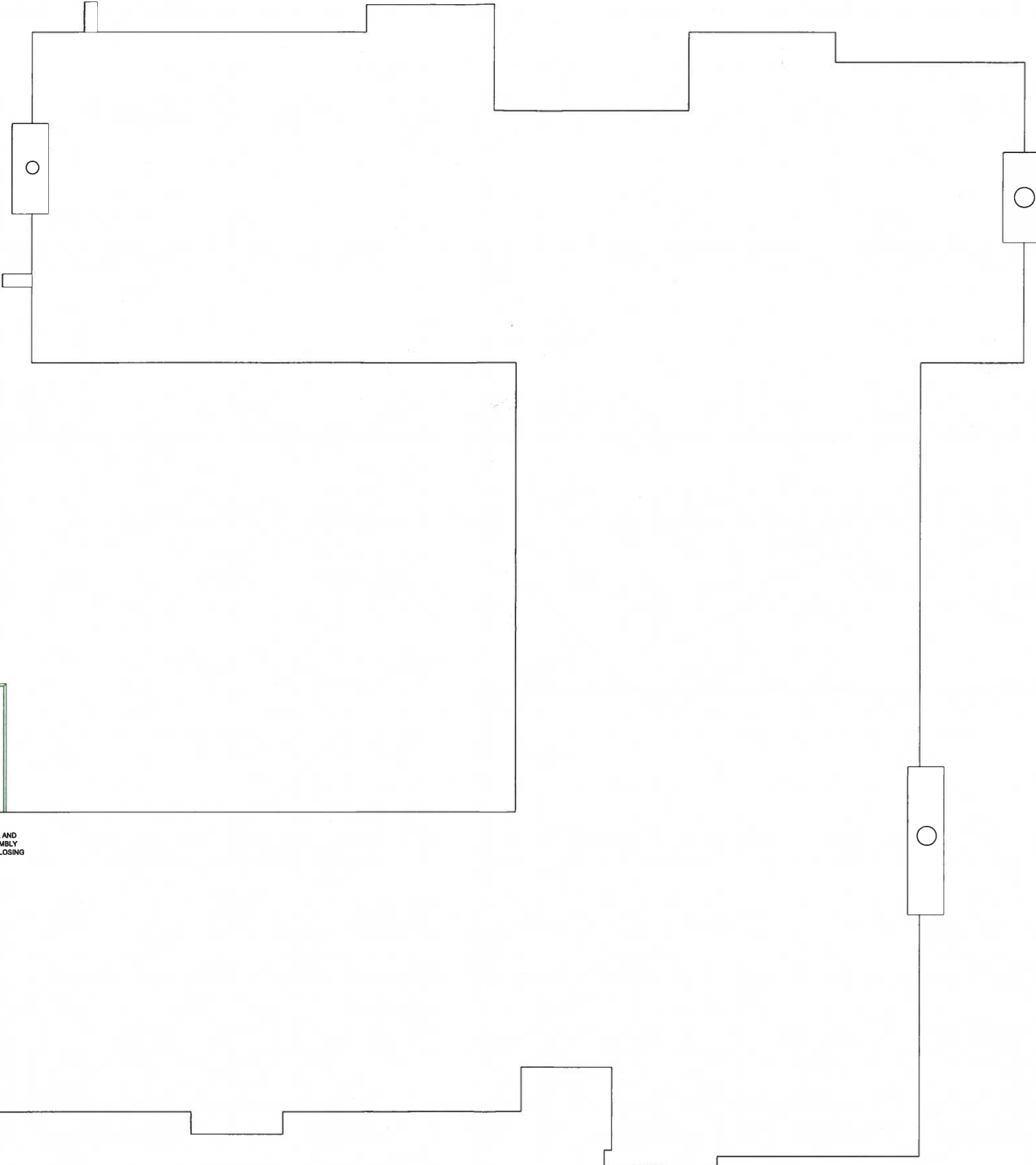
ELEVATION - HANDRAIL @ WALL

NOTE:  
THE HANDRIP PORTION OF THE HANDRAILS SHALL NOT BE LESS THAN 1-1/4" (32mm) NOR MORE THAN 2" (51mm) IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" (38mm) BETWEEN THE WALL AND THE HANDRAIL.

Drywall  
5/8" type X Sheetrock Brand gypsum panels, manufactured by USG or approved equal. Dry mix all purpose joint compound shall contain inert fillers, and natural binders; Pre-mixed all purpose joint compound shall be low VOC, free of antifreeze, vinyl adhesives, preservatives, biocides, and other slow releasing compounds.



LOWER LEVEL GARAGE



GENERAL NOTES

1. PROVIDE GFCI RECEPTACLES, 12X12 ACCESS PANEL FOR TUB, CEILING FAN TO EXHAUST AIR.
2. LIGHTING EFFICIENCY MIN 40 LUMENS PER WATT.
3. WATER CLOSETS TO BE 30" MIN IN WIDTH WITH 24" MIN CLEAR IN FRONT OF TOILET PER (CBC 2904)
4. WALL COVERINGS SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL, 7" ABOVE DRAIN INLET AT SHOWER TUB OR SHOWER. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT (CBC 1210.3)
5. BATHROOMS CONTAINING A BATHTUB SHOWER, OR SUBSHOWER SHALL BE MECHANICALLY VENTED FOR HUMIDITY CONTROL.
6. VAPOR BARRIERS: VAPOR BARRIER ARE REQUIRED ON THE CONDITIONED SPACE SIDE OF ALL EXTERIOR WALLS AND ATTIC SPACE AND FLOORS OVER UNVENTED CRAWL SPACES FOR INSULATION CONDENSATION PREVENTION SAFETY GLAZING: WINDOWS WITHIN 18" OF FINISHED FLOOR OR 24" OF DOORS, WINDOWS INSIDE OF DOORS, TUBS AND SHOWER ENCLOSURES THAT ARE SUBJECT TO HUMAN IMPACT SHALL BE SAFETY GLASS CONFORMING TO IBC SECTION 2408. WHERE THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE GRADE OF OTHER SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR SURFACE OF THE ROOM. GLAZING BETWEEN THE FLOOR AND SILL SHALL BE FIXED OR HAVE OPENINGS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS (CBC 1405.12.2)
7. BEDROOMS: SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH A MINIMUM OPERABLE WIDTH OF 20" AND THE MINIMUM OPERABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS (CBC 310.4)
8. LAUNDRY: PROVIDE 20 AMP GFCI RECEPTACLES, VENT DRYER TO OUTSIDE. PROVIDE VENTS IN THE LAUNDRY ROOM DOOR CAPABLE OF 100 SQ IN MAKE UP AIR. CLOTHES DRYER MOISTURE EXHAUST DUCT MUST BE 4" IN DIAMETER AND LENGTH IS LIMITED TO 14' WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2' FOR EVERY ELBOW IN EXCESS OF 2 (CBC 504.3.2)

ELECTRICAL SCHEDULE		SWITCH
	OUTLET	S <sub>3</sub> 3-WAY SWITCH
	GFCI OUTLET	S <sub>DM</sub> DIMMER SWITCH
	AFCI OUTLET TAMPER RESISTANT	S <sub>OS</sub> OCCUPANT SENSOR SWITCH
	WALL FIXTURE	CEILING FAN
	WEATHERPROOF PHOTOCELL/MOTION DETECTOR	WP WEATHERPROOF COVER
	CEILING FIXTURE	NATURAL GAS OUTLET
	FLUORESCENT CEILING FIXTURE	HOSE BIB
	(A1) CAN LIGHT FIXTURE	PHONE JACK
	SURFACE MOUNT LED FIXTURE	TV OUTLET
	EXHAUST FAN & LIGHT	SMOKE DETECTOR (HARD WIRED # BATTERY BACKUP)
	CARBON MONOXIDE DETECTOR (HARDWIRED)	

- ELECTRICAL NOTES**
1. CONSULT LOCAL UTILITY & LOCAL CODES FOR PROPER GROUNDING REQUIREMENTS.
  2. RECEPTACLES SHALL BE SPACED ACCORDINGLY SO THAT AT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM AN OUTLET. NO SPACES FURTHER APART THAN 12" UNLESS NOTED OTHERWISE OR PER SPECIFIC CODES.
  3. ALL RECEPTACLES IN BATHROOMS, GARAGES, OR OUTDOORS SHALL BE PROTECTED BY A GFCI OUTLET AND AS NOTED ON DRAWINGS.
  4. OUTLET BOXES IN WALL BETWEEN THE LIVING AREA AND THE GARAGE SHALL BE METAL OR UL APPROVED PLASTIC.
  5. SMOKE DETECTORS SHALL BE PLACED NOT MORE THAN 12" FROM CEILING AND 5'-0" FROM DUCT OPENINGS. DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED WITH BATTERY BACK UP. PROTECT ALL SLEEPING AREAS PER CODE. SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE UNIT. PROVIDE 20 AMP ELECTRICAL FOR SMOKE DETECTORS. COMPLY WITH CBC SEC 907.2.10.1.
  6. SWITCH PLATES TO BE PLACED 42" ABOVE FINISH FLOOR TO CENTER OF SWITCH PANEL.
  7. AT LEAST (2) 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED TO SERVE THE KITCHEN, NOOK, AND DINING AREAS. THESE CIRCUITS ARE TO HAVE NO OTHER OUTLETS. CONFORM TO NEC ART 220-16.
  8. ALL LIGHTING FIXTURES LOCATED IN CLOSETS OR STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 18" FROM ALL SHELVING.
  9. PROVIDE MINIMUM 100 AMP ELECTRICAL SERVICE PANEL WITH METER EQUIP.
  10. PROVIDE DISCONNECT SWITCH FOR AIR HANDLER IN SPACE REQUIRED.

- BUILDER ELECTRICAL NOTES**
1. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION
  2. ELECTRICAL CONTRACTOR TO INSTALL EVERY HABILITATION ROOM (INCLUDING KITCHEN), WIRING FOR CABLE TV & TELEPHONE PER OWNERS INSTRUCTIONS
  3. THE WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST ADDITION OF THE NATIONAL ELECTRICAL CODE AND ALL CITY, COUNTY, AND STATE BUILDING CODES REFER TO THE ATTACHED T-2 PAGE FOR MORE ELECTRICAL NOTES.

**WINDOW LEGEND**

ALL DOORS AND WINDOWS TO BE TEMPERED ON ONE SIDE  
SH30=0.19  
U FACTOR=0.34  
FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS

	DOOR SIZE: 3'-0" W X 7'-0" H STYLE: SOLID CORE FIBERGLASS
	DOOR SIZE: 18'-0" W X 7'-0" H STYLE: ALUMINUM WITH GLASS PANEL GARAGE DOOR

REVISIONS

NO.	DESCRIPTION

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STACK RESIDENCE  
2368 CITY VIEW DRIVE  
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DRAWN BY:  
CHRIS WALLACE

TITLE:

DRAWING SCALE:  
1/4"=1'-0"

DATE:

01/01/21

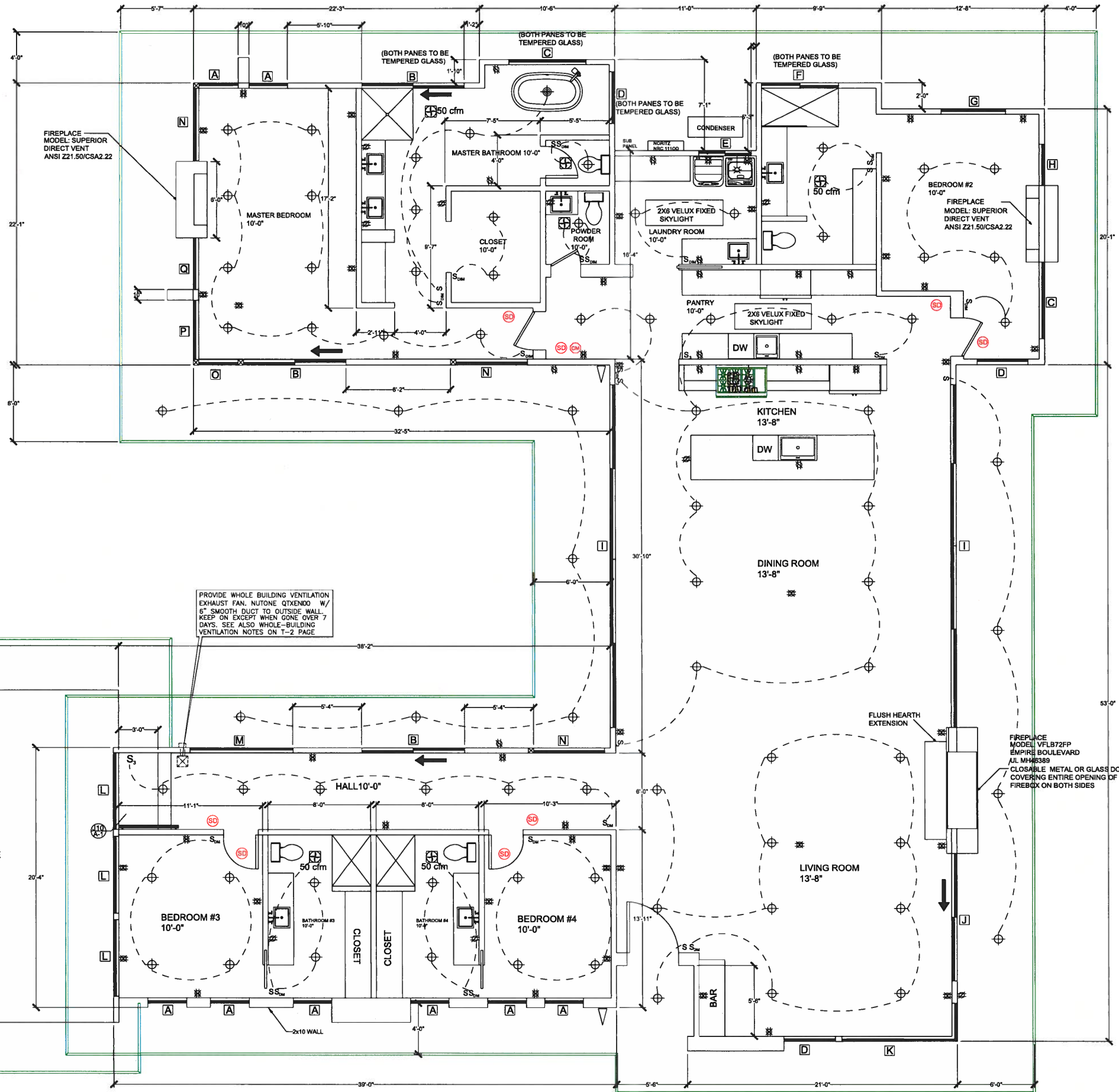
SHEET

A-1

Drywall  
5/8" type X Sheetrock Brand gypsum panels, manufactured by USG or approved equal. Dry mix all purpose joint compound shall contain inert fillers, and natural binders; Pre-mixed all purpose joint compound shall be low VOC, free of antifreeze, vinyl adhesives, preservatives, biocides, and other slow releasing compounds.



EAVE LIGHTS:  
NORA NL-3412 3" REFLECTOR  
WITH ROUND APERTURE  
50W 12V MR16



PROVIDE WHOLE BUILDING VENTILATION EXHAUST FAN, NUTONE QTENNO W/ 6" SMOOTH DUCT TO OUTSIDE WALL. KEEP ON EXCEPT WHEN GONE OVER 7 DAYS. SEE ALSO WHOLE-BUILDING VENTILATION NOTES ON T-2 PAGE.

FIREPLACE MODEL: VFLB72FP EMPIRE BOULEVARD ALL MIRRORS  
CLOSABLE METAL OR GLASS DOORS COVERING ENTIRE OPENING OF FIREBOX ON BOTH SIDES

**GENERAL NOTES**

1. PROVIDE GFCI RECEPTACLES, 12X12 ACCESS PANEL FOR TUB, CEILING FAN TO EXHAUST AIR.
  2. LIGHTING EFFICIENCY MIN 40 LUMENS PER WATT.
  3. WATER COVERS SHALL BE 30" MIN IN WIDTH WITH 24" MIN CLEAR IN FRONT OF TOILET PER (CBC 2904)
  4. WALL COVERS SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL 70" ABOVE DRAIN INLET AT SHOWER TUB OR SHOWER. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT (CBC 1216.3)
  5. BATHROOMS CONTAINING A BATHTUB SHOWER OR SUBSHOWER SHALL BE MECHANICALLY VENTED FOR HUMIDITY CONTROL.
- VAPOR BARRIERS:  
VAPOR BARRIER ARE REQUIRED ON THE CONDITIONED SPACE SIDE OF ALL EXTERIOR WALLS AND ATTIC SPACE AND FLOORS OVER UNVENTED CRAWL SPACES FOR INSULATION CONDENSATION PREVENTION.
- SAFETY GLAZING:  
WINDOWS WITHIN 18" OF FINISHED FLOOR OR 24" OF DOORS, WINDOWS INSIDE OF DOORS, TUBS AND SHOWER ENCLOSURES THAT ARE SUBJECT TO HUMAN IMPACT SHALL BE SAFETY GLASS CONFORMING TO IBC SECTION 2408.
- WHERE THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE GRADE OF OTHER SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR SURFACE OF THE ROOM. GLAZING BETWEEN THE FLOOR AND SILL SHALL BE FIXED OR HAVE OPENINGS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS (CBC 1405.12.2)
- BEDROOMS:  
SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH A MINIMUM OPERABLE WIDTH OF 20" AND THE MINIMUM OPERABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE PROVIDED A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS (CBC 310.4)
- LAUNDRY:  
PROVIDE 20 AMP GFCI RECEPTACLES, VENT DRYER TO OUTSIDE. PROVIDE VENTS IN THE LAUNDRY ROOM DOOR CAPABLE OF 100 SQ IN MAKE UP AIR.
- CLOTHES DRYER MOISTURE EXHAUST DUCT MUST BE 4" IN DIAMETER AND LENGTH IS LIMITED TO 14' WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2' FOR EVERY ELBOW IN EXCESS OF 2 (MC 904.2)

**ELECTRICAL SCHEDULE**

○	OUTLET	S	SWITCH
⊗	GFCI OUTLET	S <sub>3</sub>	3-WAY SWITCH
⊗	AFCI OUTLET TAMPER RESISTANT	S <sub>DM</sub>	DIMMER SWITCH
⊗	WALL FIXTURE	S <sub>OS</sub>	OCCUPANT SENSOR SWITCH
⊗	WEATHERPROOF PHOTOCELL / MOTION SENSITIVE	⊗	CEILING FAN
⊗	LED CEILING FIXTURE	WP	WEATHERPROOF COVER
⊗	SURFACE MOUNT LED FIXTURE	▽	HOSE BIB
⊗	EXHAUST FAN	⊗	PHONE JACK
⊗	CARBON MONOXIDE DETECTOR (HARDWIRED)	⊗	TV OUTLET
⊗		⊗	SMOKE DETECTOR (HARDWIRED w/ BATTERY BACKUP)

**ELECTRICAL NOTES**

1. CONSULT LOCAL UTILITY & LOCAL CODES FOR PROPER GROUNDING REQUIREMENTS.
2. RECEPTACLES SHALL BE SPACED ACCORDINGLY SO THAT AT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM AN OUTLET. NO SPACES FURTHER APART THAN 12" UNLESS NOTED OTHERWISE OR PER SPECIFIC CODES.
3. ALL RECEPTACLES IN BATHROOMS, GARAGES, OR OUTDOORS SHALL BE PROTECTED BY A GFCI OUTLET AND AS NOTED ON DRAWINGS.
4. OUTLET BOXES IN WALL BETWEEN THE LIVING AREA AND THE GARAGE SHALL BE METAL OR UL APPROVED PLASTIC.
5. SMOKE DETECTORS SHALL BE PLACED NOT MORE THAN 12" FROM CEILING AND 3'-0" FROM DUCT OPENINGS. DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED WITH BATTERY BACK UP. PROTECT ALL SLEEPING AREAS PER CODE. SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE UNIT. PROVIDE 20 AMP ELECTRICAL FOR SMOKE DETECTORS. COMPLY WITH CBC SEC 917.2.10.1.
6. SWITCH PLATES TO BE PLACED 42" ABOVE FINISH FLOOR TO CENTER OF SWITCH PANEL.
7. AT LEAST (2) 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED TO SERVE THE KITCHEN, NOOK, AND DINING AREAS. THESE CIRCUITS ARE TO HAVE NO OTHER OUTLETS. CONFORM TO NEC ART 240.3.C.
8. ALL LIGHTING FIXTURES LOCATED IN CLOSETS OR STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 18" FROM ALL SHELVING.
9. PROVIDE MINIMUM 100 AMP ELECTRICAL SERVICE PANEL WITH METER EQUIP.
10. PROVIDE DISCONNECT SWITCH FOR AIR HANDLER IN SPACE REQUIRED.

**BUILDER ELECTRICAL NOTES**

1. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
2. ELECTRICAL CONTRACTOR TO INSTALL EVERY HABITUAL ROOM (INCLUDING KITCHEN), WIRING FOR CABLE TV & TELEPHONE PER OWNER'S INSTRUCTIONS.
3. THE WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL CITY, COUNTY, AND STATE BUILDING CODES REFERRED TO THE ATTACHED T-2 PAGE FOR MORE ELECTRICAL NOTES.

**WINDOW LEGEND**

ALL DOORS AND WINDOWS TO BE TEMPERED ON ONE SIDE  
SHGC=0.19  
U FACTOR=0.34  
FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS

A	WINDOW SIZE: 3'-0"W X 10'-0"H STYLE: Casement
B	WINDOW SIZE: 8'-0"W X 10'-0"H STYLE: PATIO SLIDER
C	WINDOW SIZE: 6'-0"W X 10'-0"H STYLE: PICTURE WINDOW
D	WINDOW SIZE: 6'-0"W X 10'-0"H STYLE: CASEMENT
E	WINDOW SIZE: 5'-0"W X 4'-0"H STYLE: GLIDING
F	DOOR SIZE: 8'-0"W X 10'-0"H STYLE: SLIDING PATIO DOOR
G	WINDOW SIZE: 8'-0"W X 10'-0"H STYLE: CASEMENT
H	WINDOW SIZE: 3'-0"W X 10'-0"H STYLE: PICTURE
I	DOOR SIZE: 27'-0"W X 10'-0"H STYLE: SLIDING PATIO DOOR
J	DOOR SIZE: 10'-0"W X 10'-0"H STYLE: SLIDING PATIO DOOR
K	WINDOW SIZE: 8'-0"W X 3'-0" X 10'-0"H STYLE: PICTURE
L	WINDOW SIZE: 6'-0"W X 2'-0"H STYLE: PICTURE
M	WINDOW SIZE: 6'-0"W X 10'-0"H STYLE: PICTURE
N	WINDOW SIZE: 5'-8"W X 10'-0"H STYLE: PICTURE
O	WINDOW SIZE: 3'-0"W X 10'-0"H STYLE: PICTURE
P	WINDOW SIZE: 4'-7"W X 10'-0"H STYLE: PICTURE
Q	WINDOW SIZE: 4'-0"W X 10'-0"H STYLE: PICTURE
R	DOOR SIZE: 4'-0"W X 10'-0"H STYLE: SOLID CORE MAHOAGNY

**REVISIONS**


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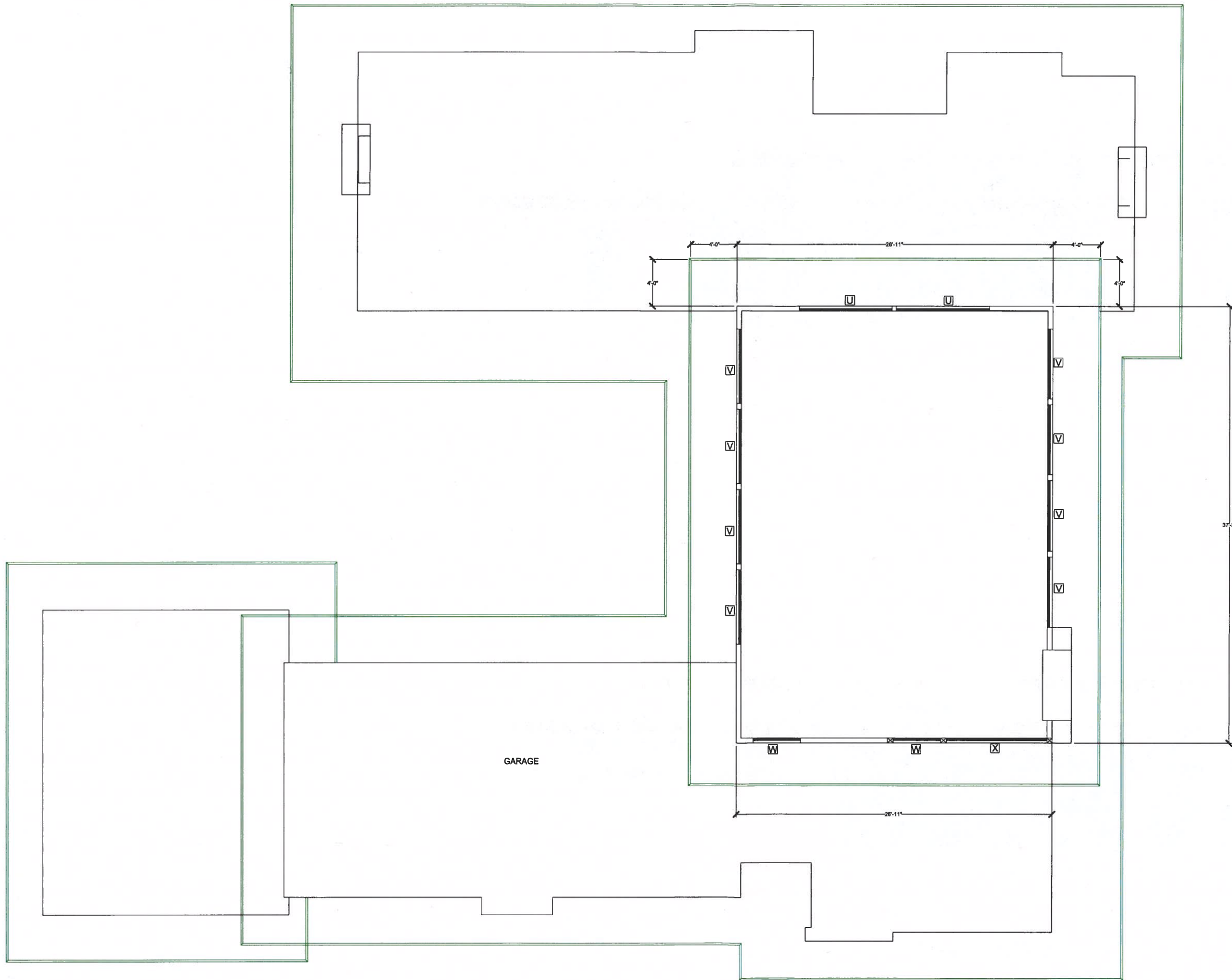
DRAWN BY:  
CHRIS WALLACE

TITLE:

DRAWING SCALE:  
1/4"=1'-0"

DATE:  
01/01/21  
SHEET

**MAIN LEVEL FLOOR PLAN**



CLEAR STORY

GENERAL NOTES

1. PROVIDE GFCI RECEPTACLES, 12X12 ACCESS PANEL FOR TUB, CEILING FAN TO EXHAUST AIR.
2. LIGHTING EFFICIENCY MIN 40 LUMENS PER WATT.
3. WATER CLOSETS TO BE 30" MIN IN WIDTH WITH 24" MIN CLEAR IN FRONT OF TOILET PER (CBC 2204).
4. WALL COVERINGS SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL 7'0" ABOVE DRAIN INLET AT SHOWER TUB OR SHOWER. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT (CBC 1210.3).
5. BATHROOMS CONTAINING A BATHTUB SHOWER, OR SUBSHOWER SHALL BE MECHANICALLY VENTED FOR HUMIDITY CONTROL. VAPOR BARRIER: VAPOR BARRIER ARE REQUIRED ON THE CONDITIONED SPACE SIDE OF ALL EXTERIOR WALLS AND ATTIC SPACE AND FLOORS OVER UNVENTED CRAWL SPACES FOR INSULATION CONDENSATION PREVENTION SAFETY GLAZING: WINDOWS WITHIN 18" OF FINISHED FLOOR OR 24" OF DOORS, WINDOWS INSIDE OF DOORS, TUBS AND SHOWER ENCLOSURES THAT ARE SUBJECT TO HUMAN IMPACT SHALL BE SAFETY GLASS CONFORMING TO UBC SECTION 2405. WHERE THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE GRADE OF OTHER SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR SURFACE OF THE ROOM. GLAZING BETWEEN THE FLOOR AND SILL SHALL BE FIXED OR HAVE OPENINGS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS (CBC 1405.12.2). BEDROOMS: SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH A MINIMUM OPERABLE WIDTH OF 20" AND THE MINIMUM OPERABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS (CBC 310.4). LAUNDRY: PROVIDE 20 AMP GFCI RECEPTACLES, VENT DRYER TO OUTSIDE. PROVIDE VENTS IN THE LAUNDRY ROOM DOOR CAPABLE OF 100 SQ IN MAKE UP AIR. CLOTHES DRYER MOISTURE EXHAUST DUCT MUST BE 4" IN DIAMETER AND LENGTH IS LIMITED TO 14' WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2' FOR EVERY ELBOW IN EXCESS OF 2 (MC 504.3.2).

ELECTRICAL SCHEDULE

	OUTLET	S <sub>3</sub>	3-WAY SWITCH
	GFCI OUTLET	S <sub>3DM</sub>	DIMMER SWITCH
	AFCI OUTLET TAMPER RESISTANT	S <sub>3OS</sub>	OCCUPANT SENSOR SWITCH
	WALL FIXTURE		CEILING FAN
	WEATHERPROOF PHOTOCELL / MOTION DETECTOR	WP	WEATHERPROOF COVER
	CEILING FIXTURE		NATURAL GAS OUTLET
	FLOURESCENT CEILING FIXTURE		HOSE BIB
	(AT) CAN LIGHT FIXTURE		PHONE JACK
	FLOURESCENT FIXTURE OR LED FIXTURE		TV OUTLET
	EXHAUST FAN & LIGHT		SMOKE DETECTOR (HARD WIRED w BATTERY BACKUP)
	CARBON MONOXIDE DETECTOR (HARDWIRED)		

ELECTRICAL NOTES

1. CONSULT LOCAL UTILITY & LOCAL CODES FOR PROPER GROUNDING REQUIREMENTS.
2. RECEPTACLES SHALL BE SPACED ACCORDINGLY SO THAT AT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM AN OUTLET. NO SPACES FURTHER APART THAN 12' UNLESS NOTED OTHERWISE OR PER SPECIFIC CODES.
3. ALL RECEPTACLES IN BATHROOMS, GARAGES, OR OUTDOORS SHALL BE PROTECTED BY A GFCI OUTLET AND AS NOTED ON DRAWINGS.
4. OUTLET BOXES IN WALL BETWEEN THE LIVING AREA AND THE GARAGE SHALL BE METAL OR UL APPROVED PLASTIC.
5. SMOKE DETECTORS SHALL BE PLACED NOT MORE THAN 12" FROM CEILING AND 9'-0" FROM DUCT OPENINGS. DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED WITH BATTERY BACK UP. PROTECT ALL SLEEPING AREAS PER CODE. SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE UNIT. PROVIDE 20 AMP ELECTRICAL FOR SMOKE DETECTORS. COMPLY WITH CBC SEC 907.2.10.1.
6. SWITCH PLATES TO BE PLACED 42" ABOVE FINISH FLOOR TO CENTER OF SWITCH PANEL.
7. AT LEAST (2) 20 AMP SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED TO SERVE THE KITCHEN, NOOK, AND DINING AREAS. THESE CIRCUITS ARE TO HAVE NO OTHER OUTLETS. CONFORM TO NEG ART 220-30.
8. ALL LIGHTING FIXTURES LOCATED IN CLOSETS OR STORAGE AREAS SHALL BE LOCATED A MINIMUM OF 18" FROM ALL SHELVING.
9. PROVIDE MINIMUM 100 AMP ELECTRICAL SERVICE PANEL WITH METER EQUIP.
10. PROVIDE DISCONNECT SWITCH FOR AIR HANDLER IN SPACE REQUIRED.

BUILDER ELECTRICAL NOTES

1. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIXTURE LOCATIONS WITH OWNER PRIOR TO INSTALLATION
2. ELECTRICAL CONTRACTOR TO INSTALL EVERY HABITUAL ROOM (INCLUDING KITCHEN), WIRING FOR CABLE TV & TELEPHONE PER OWNERS INSTRUCTIONS
3. THE WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST ADDITION OF THE NATIONAL ELECTRICAL CODE AND ALL CITY, COUNTY, AND STATE BUILDING CODES REFER TO THE ATTACHED T-2 PAGE FOR MORE ELECTRICAL NOTES.

WINDOW LEGEND

ALL DOORS AND WINDOWS TO BE TEMPERED ON ONE SIDE  
SHGC=0.19  
U FACTOR=.24  
FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS

	WINDOW SIZE: 8'-0" W X 2'-0" H STYLE: PICTURE
	WINDOW SIZE: 8'-0" W X 2'-0" H STYLE: PICTURE
	WINDOW SIZE: 4'-0" W X 2'-0" H STYLE: PICTURE WINDOW
	WINDOW SIZE: 8'-0" W X 8'-0" H STYLE: PICTURE

REVISIONS

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STACK RESIDENCE  
2368 CITY VIEW DRIVE  
PALM SPRINGS, CA 92262

DRAWN BY:  
CHRIS WALLACE

TITLE:

DRAWING SCALE:  
1/4"=1'-0"

DATE:  
01/01/21

SHEET

A-3

ENGINEER  
 BRYANT BERGESON  
 26748 HWY 189  
 BLUE JAY, CA 92317  
 (909)336-6970

DRAFTING & DESIGN:  
 CHRIS WALLACE  
 PO BOX 536  
 BLUE JAY, CA 92317

STACK RESIDENCE  
 2368 CITY VIEW DRIVE  
 PALM SPRINGS, CA 92262

DRAWN BY:  
 CHRIS WALLACE

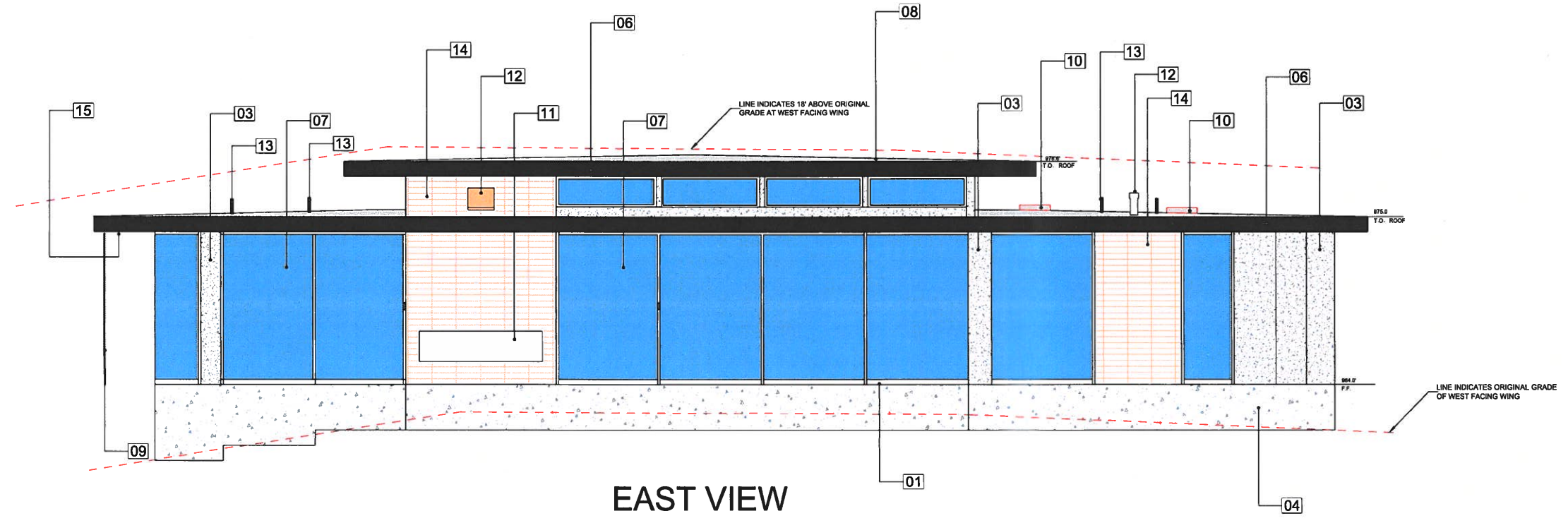
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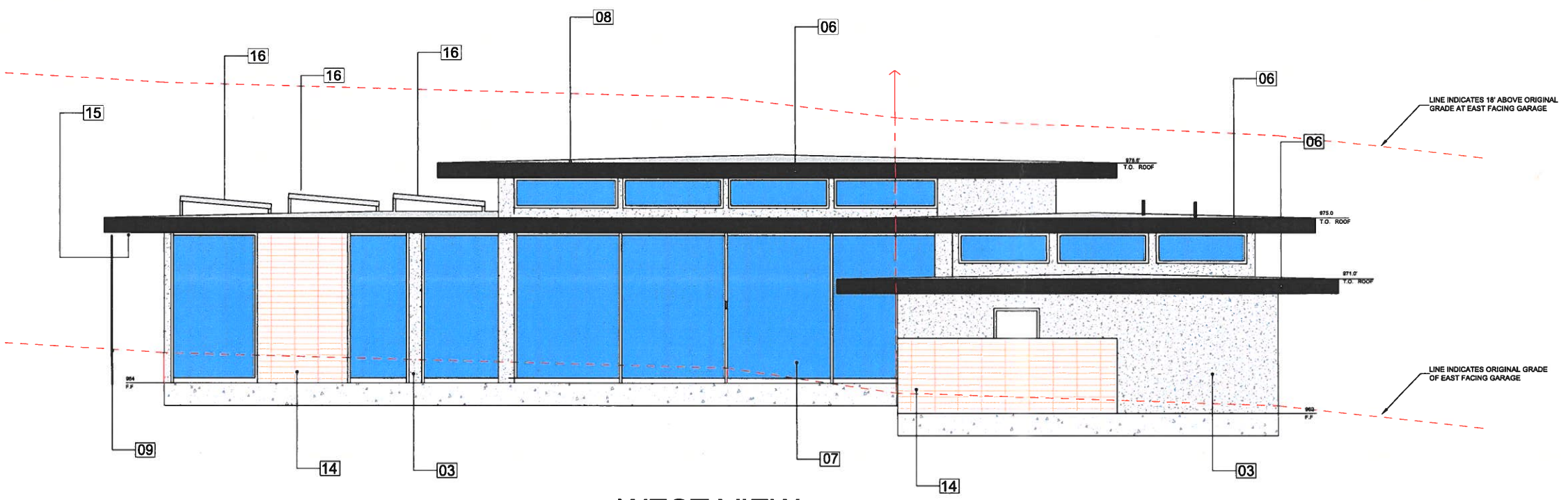
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A-5



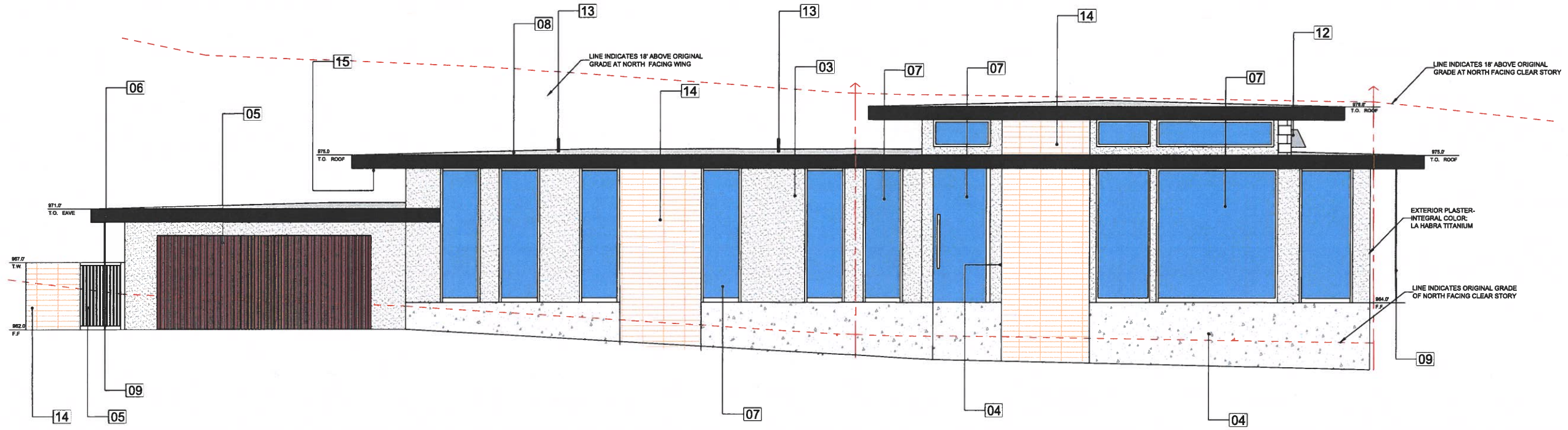
EAST VIEW

- FINISH KEY
- 01 CONCRETE
  - 02 PERMEABLE CONCRETE PAVERS
  - 03 LA HABRA "BAY RIDGE" PLASTER WITH SANTA BARBARA FINISH
  - 04 HORIZONTAL 5.5" BOARD-FORMED CONCRETE
  - 05 1"x2" IPE
  - 06 METAL IN MATTE BLACK FINISH
  - 07 ANODIZED BLACK WINDOWS AND DOORS
  - 08 TWO-PLY SBS MODIFIED ROOFING SYSTEM
  - 09 METAL RAIN CHAIN IN MATTE BLACK
  - 10 SKYLIGHT
  - 11 GAS FIREPLACE
  - 12 FLUE FOR GAS FIREPLACE
  - 13 PLUMBING VENT
  - 14 2" x 4" x 16" ANGELUS BRICK VENEER IN SAND COLOR
  - 15 1" x 4" IPE
  - 16 SOLAR PANELS



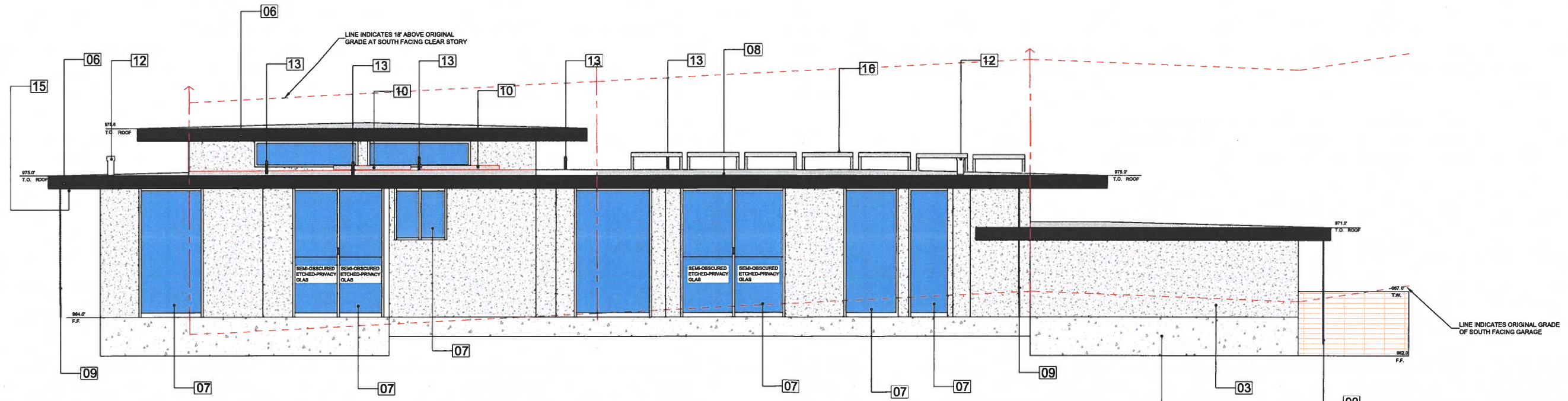
WEST VIEW

ELEVATIONS



SOUTH VIEW

- FINISH KEY**
- 01 CONCRETE
  - 02 PERMEABLE CONCRETE PAVERS
  - 03 LA HABRA "BAY RIDGE" PLASTER WITH SANTA BARBARA FINISH
  - 04 HORIZONTAL 5.5" BOARD-FORMED CONCRETE
  - 05 1"x2" IPE
  - 06 METAL IN DARK BRONZE FINISH
  - 07 ANODIZED DARK BRONZE WINDOWS AND DOORS
  - 08 TWO-PLY SBS MODIFIED ROOFING SYSTEM
  - 09 METAL RAIN CHAIN IN DARK BRONZE
  - 10 SKYLIGHT
  - 11 GAS FIREPLACE
  - 12 FLUE FOR GAS FIREPLACE
  - 13 PLUMBING VENT
  - 14 2" x 4" x 18" ANGELUS BRICK VENEER IN SAND COLOR
  - 15 1" x 4" IPE
  - 16 SOLAR PANELS



NORTH VIEW

ELEVATIONS

REVISIONS

ENGINEER  
 BRYANT BERGESON  
 26748 HWY 189  
 BLUE JAY, CA 92317  
 (909)336-6970

DRAFTING & DESIGN:  
 CHRIS WALLACE  
 PO BOX 536  
 BLUE JAY, CA 92317

STACK RESIDENCE  
 2368 CITY VIEW DRIVE  
 PALM SPRINGS, CA 92262

DRAWN BY:  
 CHRIS WALLACE

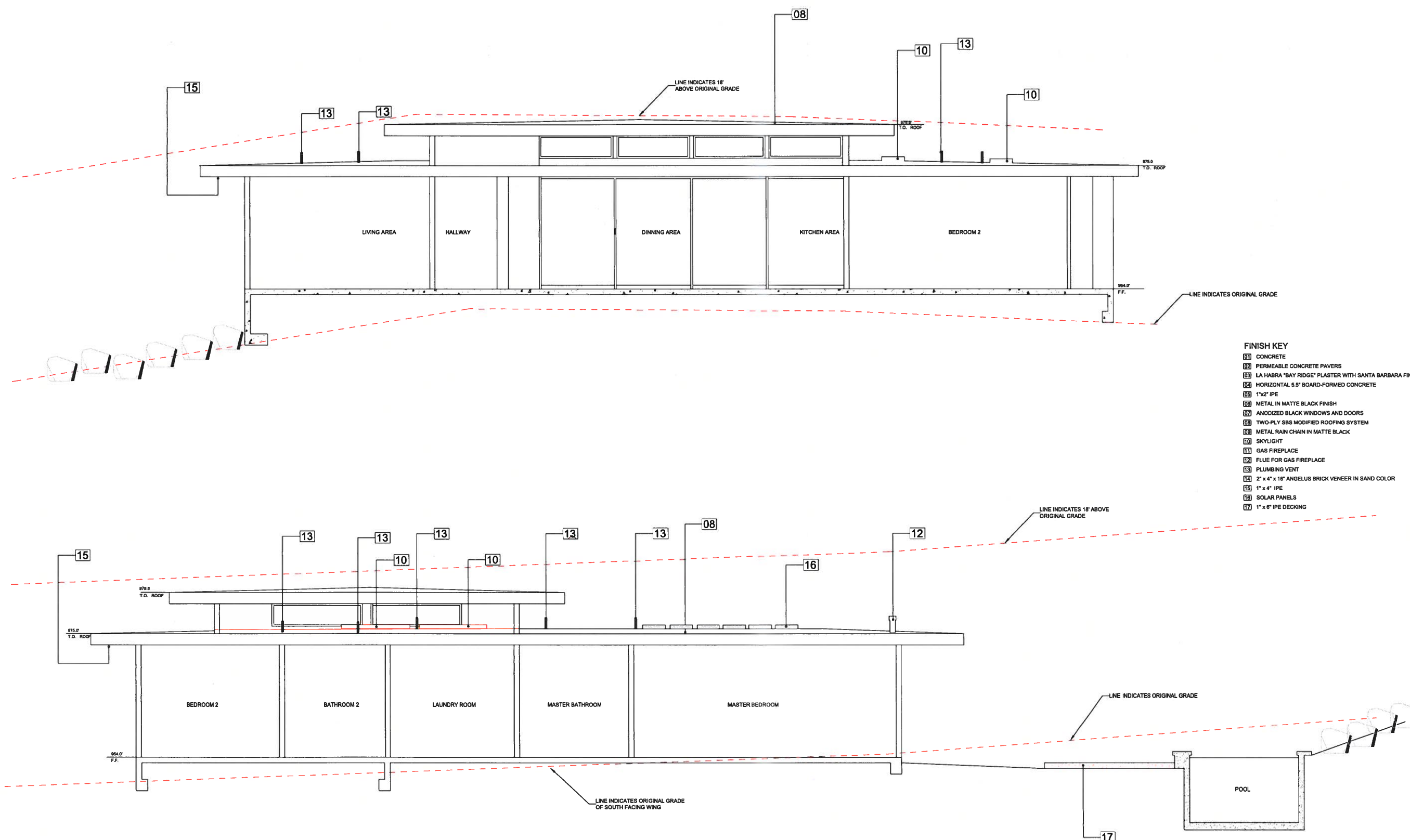
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DRAWING SCALE:  
 1/4"=1'-0"

DATE:  
 10/28/20

SHEET

A-4



- FINISH KEY**
- 01 CONCRETE
  - 02 PERMEABLE CONCRETE PAVERS
  - 03 LA HABRA "BAY RIDGE" PLASTER WITH SANTA BARBARA FINISH
  - 04 HORIZONTAL 5.5" BOARD-FORMED CONCRETE
  - 05 1"x2" IPE
  - 06 METAL IN MATTE BLACK FINISH
  - 07 ANODIZED BLACK WINDOWS AND DOORS
  - 08 TWO-PLY SRS MODIFIED ROOFING SYSTEM
  - 09 METAL RAIN CHAIN IN MATTE BLACK
  - 10 SKYLIGHT
  - 11 GAS FIREPLACE
  - 12 FLUE FOR GAS FIREPLACE
  - 13 PLUMBING VENT
  - 14 2" x 4" x 16" ANGELUS BRICK VENEER IN SAND COLOR
  - 15 1" x 4" IPE
  - 16 SOLAR PANELS
  - 17 1" x 8" IPE DECKING

# BUILDING SECTIONS

REVISIONS

ENGINEER  
 BRYANT BERGESON  
 26748 HWY 189  
 BLUE JAY, CA 92317  
 (909)336-6970

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 CHRIS WALLACE  
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 PALM SPRINGS, CA 92262

DRAWN BY:  
 CHRIS WALLACE

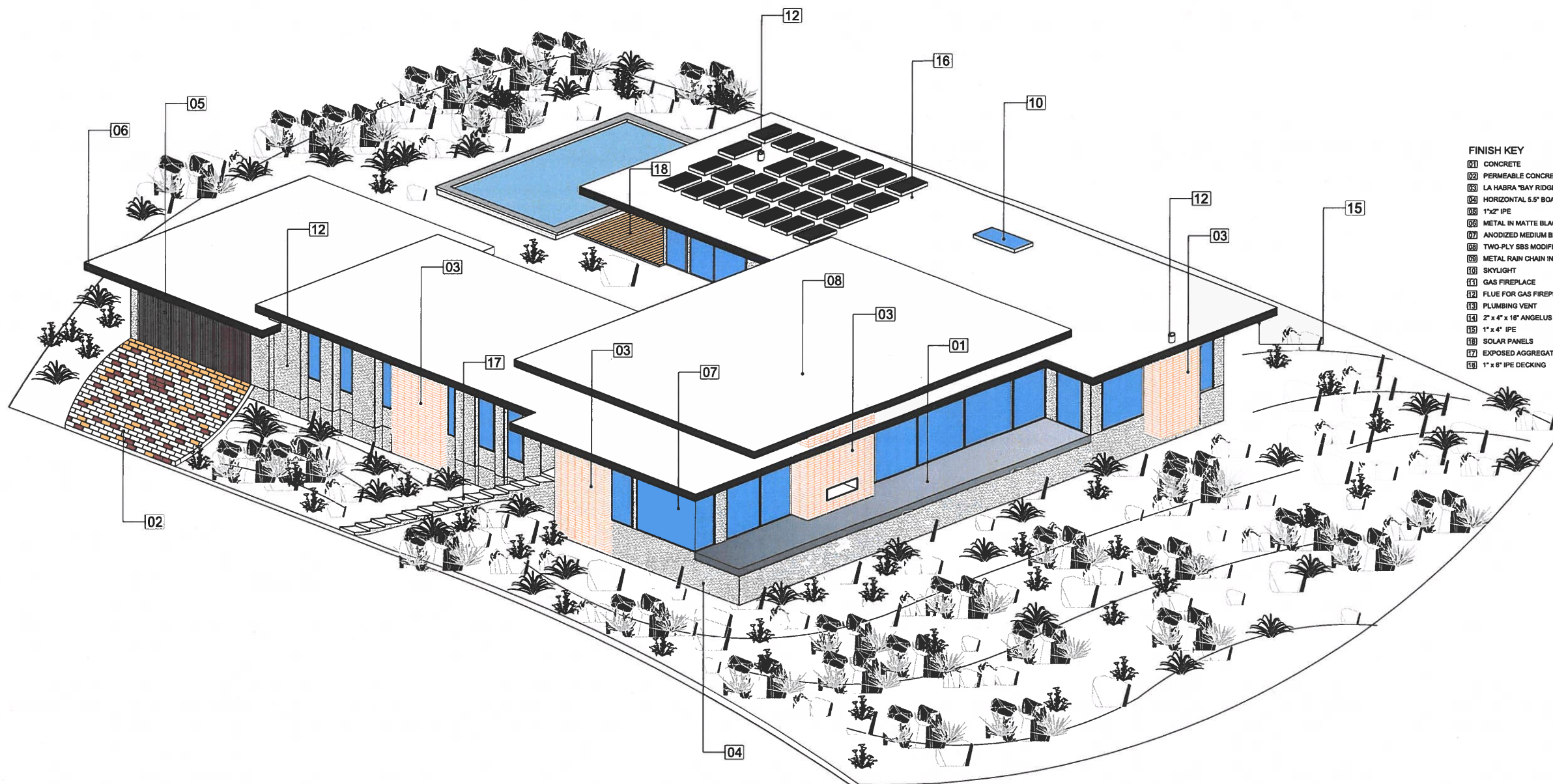
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DATE:  
 10/28/20

SHEET

A-6



- FINISH KEY**
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  - 02 PERMEABLE CONCRETE PAVERS
  - 03 LA HABRA "BAY RIDGE" PLASTER WITH SANTA BARBARA FINISH
  - 04 HORIZONTAL 5.5" BOARD-FORMED CONCRETE
  - 05 1"x2" IPE
  - 06 METAL IN MATTE BLACK FINISH
  - 07 ANODIZED MEDIUM BRONZE WINDOWS AND DOORS
  - 08 TWO-PLY SBS MODIFIED ROOFING SYSTEM
  - 09 METAL RAIN CHAIN IN MATTE BLACK
  - 10 SKYLIGHT
  - 11 GAS FIREPLACE
  - 12 FLUE FOR GAS FIREPLACE
  - 13 PLUMBING VENT
  - 14 2" x 4" x 16" ANGELUS BRICK VENEER IN SAND COLOR
  - 15 1" x 4" IPE
  - 16 SOLAR PANELS
  - 17 EXPOSED AGGREGATE CONCRETE
  - 18 1" x 6" IPE DECKING

AXIOMETRIC VIEW

REVISIONS

ENGINEER  
 BRYANT BERGESON  
 26748 HWY 189  
 BLUE JAY, CA 92317  
 (909)336-6970

DRAFTING & DESIGN:  
 CHRIS WALLACE  
 PO BOX 536  
 BLUE JAY, CA 92317

STACK RESIDENCE  
 2368 CITY VIEW DRIVE  
 PALM SPRINGS, CA 92262

DRAWN BY:  
 CHRIS WALLACE

TITLE:

DRAWING SCALE:  
 1/4"=1'-0"

DATE:  
 10/28/20

SHEET

A-7

**Fixed Skylights:**  
As manufactured by Velux, curb mounted "FCM" model with standard aluminum clad paint finish "battleship gray" color. Refer to door schedule for size, operation, glazing, and additional information.

**Membrane Roofing**  
**ROOFING/INTEGRAL FLASHING SYSTEM:**  
2" POLY-ISO (R15 VALUE) OVER CLASS A, MECHANICALLY ATTACHED 80 MIL THICK PVC SINGLE PLY MEMBRANE, GREY COLOR, WITH PREFABRICATED FLASHINGS AND OTHER ITEMS TO COMPOSE A ROOFING/INTEGRAL FLASHING SYSTEM DESIGNED FOR APPLICATION OVER 1/2" PLYWOOD AND 1/2" DENSDECK, AS MANUFACTURED BY IB ROOF SYSTEMS OR APPROVED EQUAL.

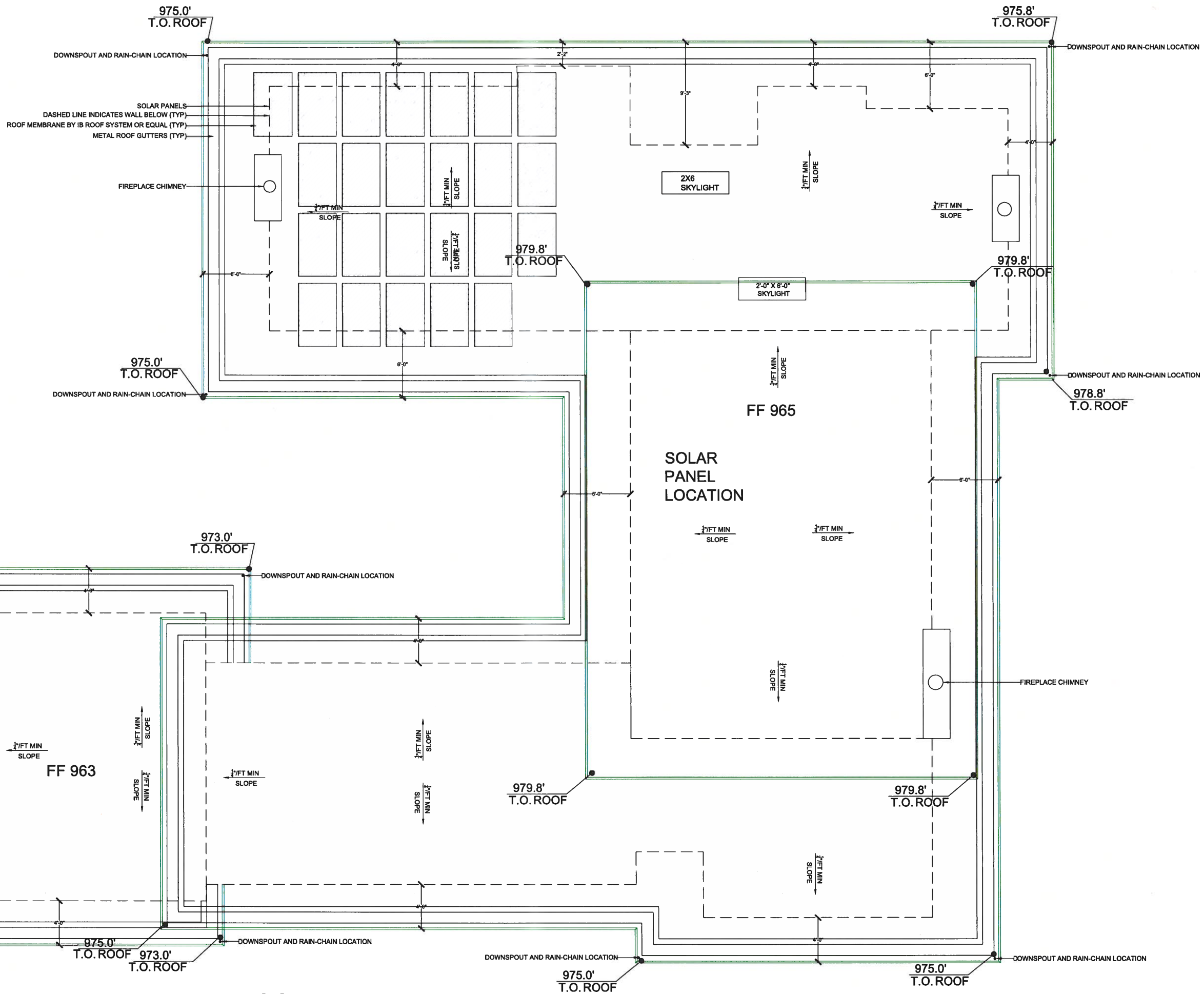
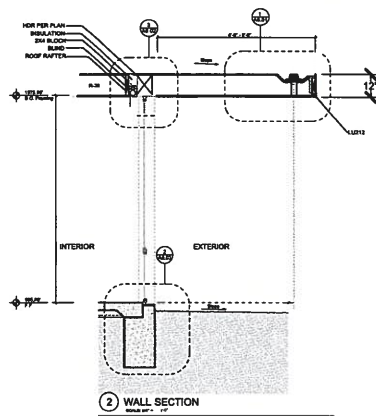
**System shall**  
be installed by a contractor authorized by IB Roof systems prior to bid and in accordance with manufacturer's specifications and warranty requirements. Provide manufacturer's 100% lifetime material warranty.

**Integral Roof Drain & Gutter**  
IB Roof Systems Pre-Flushed U-Flow Roof drain with over-flow drain, as manufactured by IB Roof Systems, or approved equal. Cast-iron internal concealed piping.

**Roof Gutters:**  
Custom shaped roof gutter integrated into wood framing members per structural engineer. Refer to structural drawings. Roof gutters shall be provided with a means to prevent the accumulation of leaves and debris in the gutter.

**Flashing**  
Custom fabricated flashings from 20 oz minimum Zinc. Fabricate flashings in conformance with SMACNA standards.

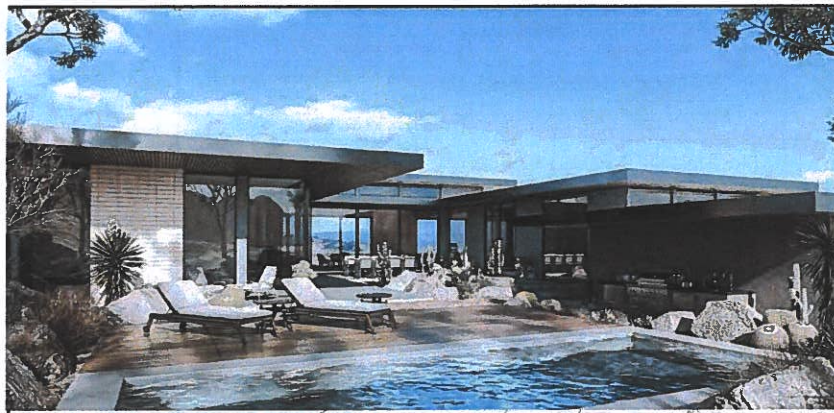
**Sheet Metal Trim**  
Custom fabricated Zinc sheet metal trim. Alternate: pre-finished painted gray color metal to match metal roofing gutters. Refer to exterior elevation sheets A3.01, A3.02, and A3.03 for exterior color & material finish specifications.



**ROOF PLAN**

REVISIONS	
ENGINEER BRYANT BERGESON 26748 HWY 189 BLUE JAY, CA 92317 (909)336-6970	
DRAFTING & DESIGN: CHRIS WALLACE PO BOX 536 BLUE JAY, CA 92317	
STACK RESIDENCE 2368 CITY VIEW DRIVE PALM SPRINGS, CA 92262	
DRAWN BY:	CHRIS WALLACE
TITLE:	
DRAWING SCALE:	1/4"=1'-0"
DATE:	01/01/21
SHEET	
<b>S-7</b>	

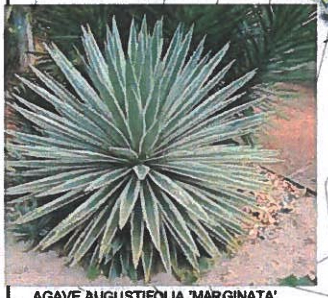




BACK YARD VIEW - POOL AREA



BAILEYA MULTIRADIATA



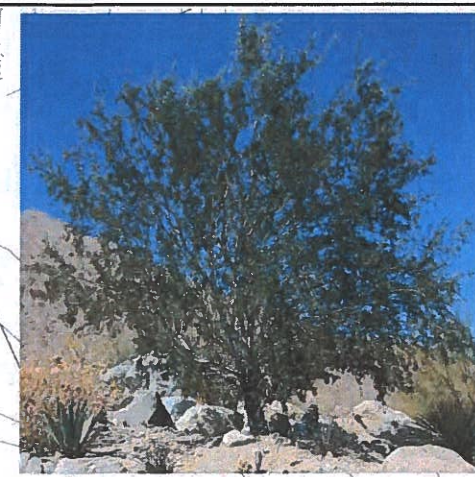
AGAVE AUGUSTIFOLIA 'MARGINATA'



FRONT YARD VIEW



OPTIONAL DALEA GREGGII



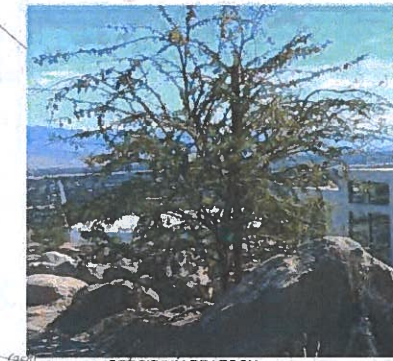
OLNEYA TESOTA



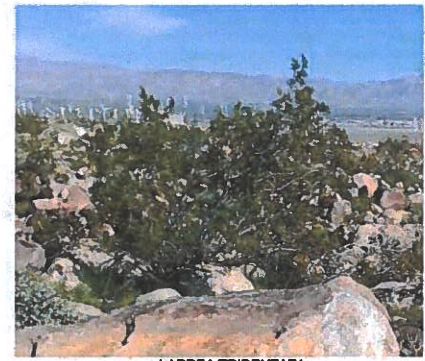
**PLANTING LEGEND**

TREES	PLANTING SIZE	SCIENTIFIC NAME	COMMON NAME	WATER PLANT NEEDS FACTOR
	3 36"/48"-BOX Multi tr.	CERCIDIUM PRAECOX	SONORAN PALO VERDE	LOW 0.2
	3 36"/48"-BOX Multi tr.	OLNEYA TESOTA	DESERT IRONWOOD	LOW 0.2
SUCCULENTS	PLANTING SIZE	SCIENTIFIC NAME	COMMON NAME	WATER PLANT NEEDS FACTOR
	17 15-GAL	AGAVE AMERICANA or AGAVE WEBERII	CENTURY PLANT or BLUE AGAVE	LOW 0.2
	17 5/15-GAL MIX	AGAVE DESERTI or AGAVE ALIGUSTIFOLIA 'MARGINATA'	DESERT AGAVE or CARIBBEAN AGAVE	LOW 0.2
	24 5/15-GAL MIX	AGAVE PARRYII 'Truncata'	ARTRICHOKE AGAVE	LOW 0.2
	19 1-GAL	BAILEYA MULTIRADIATA	DESERT MARIGOLD	LOW 0.2
	optional 5-GAL	DALEA GREGGII	TRAILING INDIGO BUSH	LOW 0.2
	33 8"-10"-12" DIA. MIX	ECHINOCACTUS GRUSONII	BARELL CACTUS	LOW 0.2
	58 5-GAL	ENCELIA FARINOSA	BRITTLEBUSH	LOW 0.2
	8 5/15-GAL	LARREA TRIDENTATA	CREOSOTE BUSH	LOW 0.2
	17 6"-1'-2" HT. Specimens	YUCCA ROSTRATA	BEAKED YUCCA	LOW 0.2
	23 15-GAL	DASYLIRION WHEELERI	DESERT SPOON	LOW 0.2

2'-10" DIA EXISTING BOULDERS TO REMAIN AND SOME TO BE RELOCATED  
NATIVE SOIL TO MATCH EXISTING



CERCIDIUM PRAECOX



LARREA TRIDENTATA



ENCELIA FARINOSA



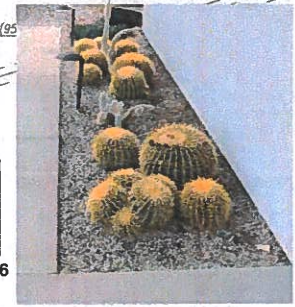
YUCCA ROSTRATA 'SKY BLUE'



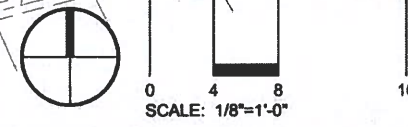
AGAVE DESERTI



AGAVE WEBERII



ECHINOCACTUS GRUSONII



SCALE: 1/8"=1'-0"

**PLANTING PLAN**

LANDSCAPE ARCHITECTURAL SERVICES BY:  
**DESERT MODERN**  
LANDSCAPE DESIGN

LANDSCAPE PLANS FOR  
**DESERT PALISADES**  
2368 CITY VIEW DRIVE LOT 53  
PALM SPRINGS, CALIFORNIA

DESERT MODERN  
LANDSCAPE DESIGN  
11500 N. CALIFORNIA AVE  
P.O. BOX 1000  
PALM SPRINGS, CALIFORNIA 92262  
PHONE: 951-251-1111  
WWW.DMDESIGN.COM

REVISION
01-28-22
02-07-22

SCALE: 1/8"=1'-0"

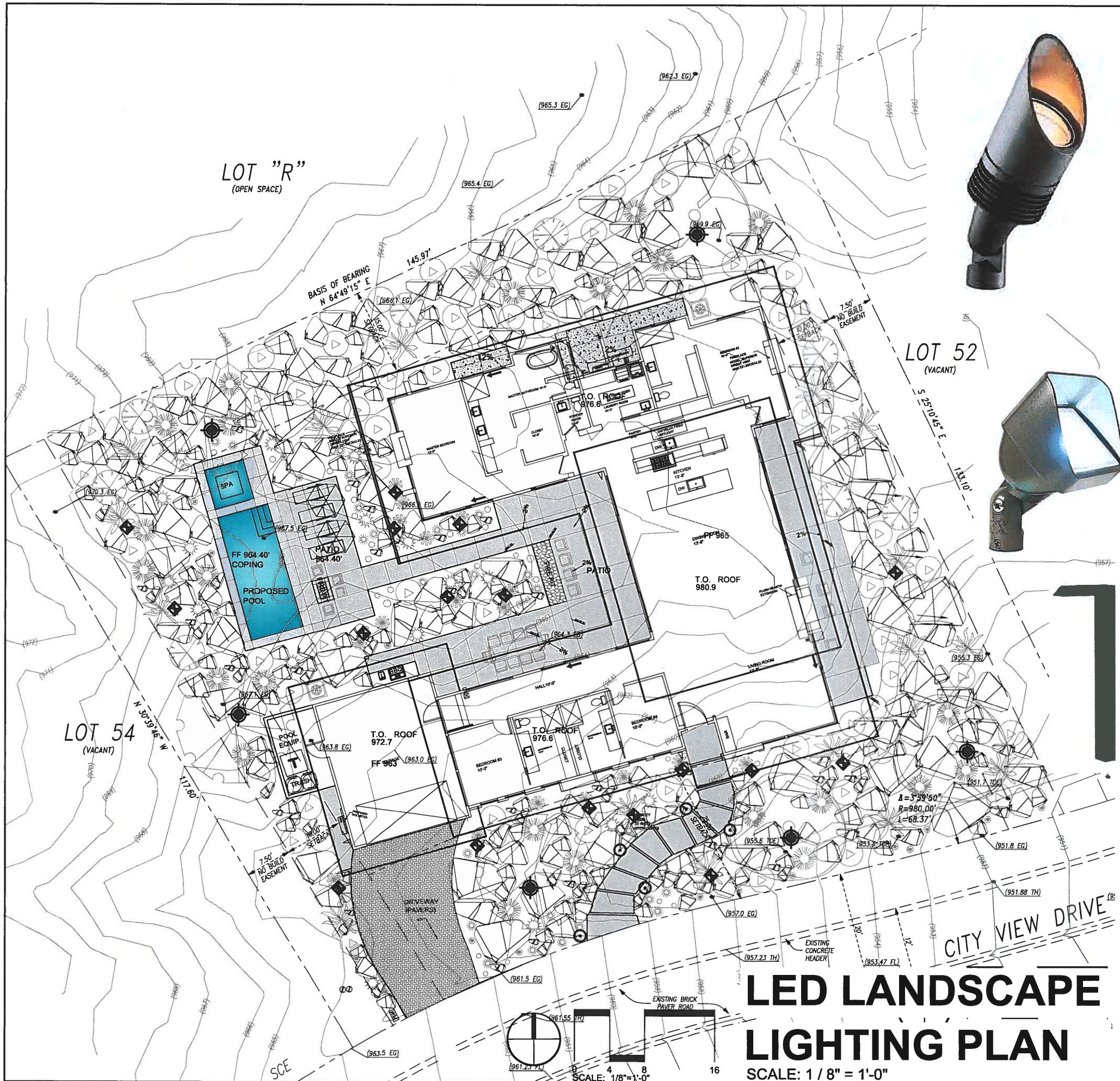
**DWA LANDSCAPE APPROVAL**

These plans have been reviewed by the Desert Water Agency in accordance with California Government Code, Section 45391 et seq, requiring efficient landscape and irrigation design in cooperation with the local governing agency (City or County).

Approval of this drawing by DWA staff does not constitute approval to encroach into district and USBR Rights-of-Way. Trees, plants, walls, and permanent structures of any kind may not be planted or installed in DWA and USBR easements or right-of-way without first obtaining an encroachment permit from DWA.

Date \_\_\_\_\_ WATER MANAGEMENT DEPARTMENT  
DWA Plan # \_\_\_\_\_ DEVELOPMENT SERVICES DEPARTMENT

SHEET  
**L-1.0**



**LIGHTING SCHEDULE**

SYMBOL	QTY.	FIXTURE	COMMENTS
⊙	6	FX Model: LC-ZD-9LED-BZ Dimmable Electrical: 12V	LED TREE FLOOD LIGHT Architectural Bronze Finish 2700 K Warm White
◊	17	FX Model: NP9LED-BZ Fully Dimmable Accent Fixture Electrical: 12V	ACCENTS LED ACCENT LIGHT Architectural Bronze Finish 2700 K Warm White
⊙	5	FX Model: MPL1LEDFB Electrical: 12V	LED PATH LIGHT Architectural Black Finish 2 Watt 27K
T	1	FX Model: DX-300-M or FX Model: LUX-300-SS WiFi Mod 2	Transformer Controller or Digital Controller TRANSFORMER with WiFi

LIGHTING CONTRACTOR TO VERIFY LIGHTING COUNT BEFORE ORDERING FIXTURES.  
 (H) - SATELLITE HUB (WIRE JUNCTION MANIFOLD)

**NOTES:**

1. ALL WIRING SHOULD BE INSTALLED IN ACCORDANCE WITH LOCAL STATE AND NATIONAL ELECTRICAL CODES, UL SAFETY STANDARDS AND BE INSTALLED BY QUALIFIED LICENSED ELECTRICIAN.
2. SEE ASSEMBLY AND INSTALLATION INSTRUCTIONS PROVIDED WITH ALL KICHLER FIXTURE/ ACCESSORY FOR ACCURATE AND SAFE INSTALLATION.
3. USE ONLY KICHLER FIXTURES AND ACCESSORIES FOR THIS INSTALLATION.
4. FAILURE TO ADHERE TO ABOVE NEC CODES AND INSTRUCTIONS MAY RESULT IN SERIOUS INJURY AND/ OR PROPERTY DAMAGE.
5. ALL FIXTURES MUST BE AT LEAST 10FT. AWAY FROM A SWIMMING POOL WHERE APPLIED TO MET THE NEC CODE.
6. LAYOUT DESIGN FOR REFERENCE ONLY. FINAL PRODUCT PLACEMENT MAY BE SUBJECT TO CHANGE PER ELECTRICIAN OR INSTALLER.
7. FIXTURES ARE SHOWN IN APPROXIMATE LOCATION. THE CONTRACTOR SHALL VERIFY THE ACTUAL FIELD PLACEMENT OF EACH FIXTURE UPON COMPLETION OF LANDSCAPE INSTALLATION.
8. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING FIXTURES AT NIGHT TO HELP ELIMINATE GLARE AND TO ENSURE OPTIMUM LIGHTING EFFECT.
9. INSTALLER SHALL BURY LOW VOLTAGE CABLE NO LESS THAN 6" IN GROUND.
10. CONTRACTOR TO FOLLOW INSTALLATION INSTRUCTIONS TO SET UP FIXTURES FOR A BRIGHTER SETTING.

**NOTES:**

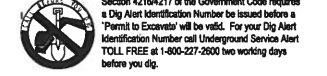
1. THIS SHEET IS FOR REFERENCE ONLY AND THESE LIGHTING PLAN REQUIREMENTS ARE INCORPORATED ON THE ELECTRICAL
2. LIGHTING CONTRACTOR TO CONTACT KICHLER LIGHTING FOR ANY TYPE OF ASSISTANCE IN LAYOUT OF WIRE AND SIZE.
3. LIGHTING CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR FOR LOCATION OF IRRIGATION CLOCK AND LIGHTING TRANSFORMER(S) AWAY FROM PUBLIC VIEW.
4. PROVIDE LIGHTING TRANSFORMERS WATTAGE AS NECESSARY WITH PHOTOCELL. PHOTOCELLS ARE TO BE LOCATED IN SUN ACCESSIBLE AREAS.

Please contact: Raul Avila for installation questions  
 FX Luminaire (619) 719-2337  
 Raul.Avila@Hunterindustries.com

**ELECTRICAL NOTES**

1. ELECTRICIAN IS TO PROVIDE ALL NECESSARY PLANS, SPECIFICATIONS, AND DOCUMENTS, ETC. AND OBTAIN ALL REQUIRED APPROVALS AND PERMITS.
2. UNLESS OTHERWISE PROVIDED BY CONTRACTOR, ELECTRICIAN IS TO SIZE AND CIRCUIT ALL ELECTRICAL REQUIREMENTS SHOWN ON PLANS. (I.E. LIGHTS, PUMPS, POOLS EQUIPMENT, TIME CLOCKS, IRRIGATION CONTROLLERS, ETC.) CONTRACTOR IS TO PROVIDE AS BUILTS.
3. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES AND ACCEPTABLE STANDARDS OF PRACTICE.
4. COORDINATE ALL WORK, ESPECIALLY SLEEVING, TRENCHING AND BACKFILLING WITH IRRIGATION, CONCRETE AND MASONRY SUBCONTRACTORS AS REQUIRED.
5. LIGHTING CONTROLLERS WILL BE LOCATED ADJACENT TO IRRIGATION CONTROLLERS WHENEVER POSSIBLE.
6. ELECTRICIAN IS TO CONFIRM EXACT TREE LOCATION SO AS TO INSURE PROPER INSTALLATION OF LIGHT FIXTURES.
7. ALL JUNCTION BOXES WITHOUT A LIGHT FIXTURE WILL BE PUT IN A CARSON BELOW GRADE.
8. JUNCTION BOXES ON WALK LIGHTS ARE TO BE 6" TO 8" ABOVE FINISH GRADE MEASURED TO THE BOTTOM OF THE BOX. THESE NEED TO BE 6" MIN. AWAY FROM THE EDGE OF THE CONCRETE DECKING.
9. LIGHT FIXTURES LOCATED WITHIN (10) TEN FEET FROM EDGE OF WATERFEATURES ARE TO BE EQUIPPED WITH A GFCI PER ELECTRICAL ENGINEERS PLAN AND PER LOCAL AND COUNTY CODES.
10. THE DESIGNER SHALL IN NO WAY BE HELD RESPONSIBLE FOR THE METHODS AND OR TIMELINESS IN WHICH WORK IS PERFORMED.
11. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE FIXTURES AT NIGHT TO ELIMINATE GLARE AND INSURE OPTIMUM LIGHTING EFFECT.
12. ALL WIRE SHOULD RUN PARALLEL TO HARD SURFACES, SUCH AS SIDEWALKS, DRIVEWAYS AND WALLS, WHEN POSSIBLE.
13. COORDINATE ALL WORK, ESPECIALLY SLEEVING, TRENCHING AND BACKFILLING WITH IRRIGATION, CONCRETE AND MASONRY SUBCONTRACTORS AS REQUIRED. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING SLEEVES UNDER THE HARD SURFACES, USING A 1-INCH PIPE MINIMUM.
14. ALL 120 VOLT OUTSIDE ELECTRICAL OUTLETS SHALL BE PROTECTED BY THE GFI AS PER NATIONAL ELECTRICAL CODE.
15. THE LIGHTING PLAN IS DIAGRAMMATIC AND IS NOT INTENDED TO SHOW EXACT LOCATION OF CABLE RUNS. THE INSTALLING CONTRACTOR SHALL RUN WIRES TO BEST SUIT FIELD CONDITIONS. AN AS-BUILT PLAN IS TO BE COMPLETED AND LEFT WITH THE OWNER.

**Important Notice - Underground Service Alert**



Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property, that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.



**LED LANDSCAPE LIGHTING PLAN**

SCALE: 1/8" = 1'-0"

LANDSCAPE ARCHITECTURAL SERVICES BY:  
**DESERT MODERN**  
 LANDSCAPE DESIGN

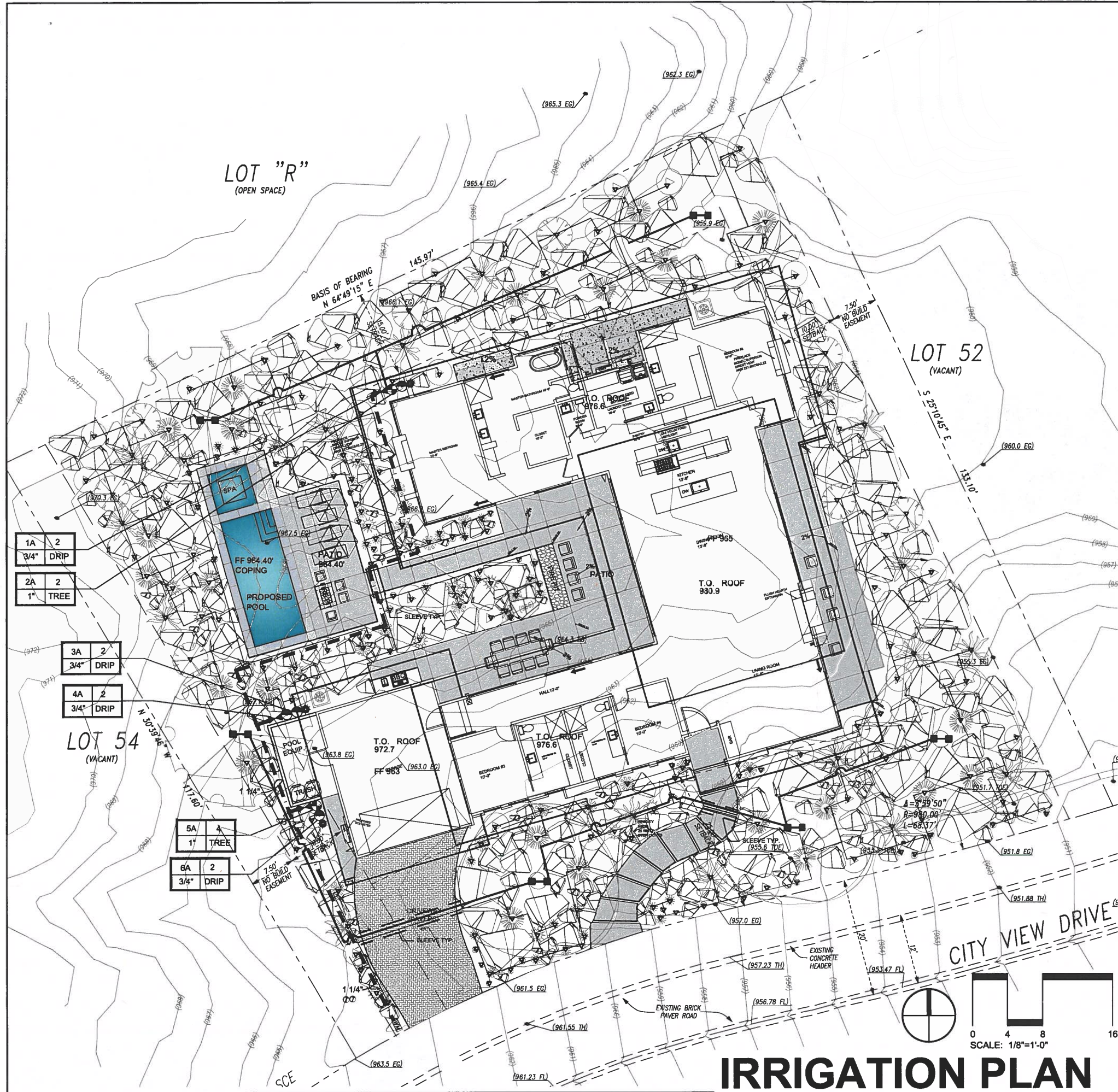
LANDSCAPE PLANS FOR  
**DESERT PALISADES**  
 2368 CITY VIEW DRIVE LOT 53  
 PALM SPRINGS, CALIFORNIA

DESERT MODERN  
 LANDSCAPE DESIGN  
 11750 SAN JORDINO ROAD  
 PALM SPRINGS, CALIFORNIA 92262  
 TELEPHONE (951) 251-1344 FAX (951) 251-1345

REVISION
01-28-22
02-07-22

SCALE: 1/8"=1'-0"

SHEET  
**L-2.0**



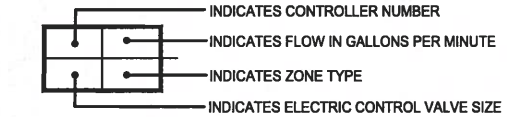
**EMITTER / BUBBLER LEGEND**

TREES	SCIENTIFIC NAME	COMMON NAME	WATER NEEDS	PLANT FACTOR
4	CERCIDIUM PRAECOX	SONORAN PALO VERDE	LOW	0.2
2	OLNEYA TESOTA	DESERT IRONWOOD	LOW	0.2
17	AGAVE AMERICANA or AGAVE WEBERI	CENTURY PLANT or BLUE AGAVE	LOW	0.2
17	AGAVE DESERTI or AGAVE AUGUSTIFOLIA 'MARGINATA'	DESERT AGAVE or CARIBBEN AGAVE	LOW	0.2
19	BAILEYA MULTIRADIATA	DESERT MARIGOLD	LOW	0.2
optional	DALEA GREGGII	TRAILING INDIGO BUSH	LOW	0.2
33	ECHINOCACTUS GRUSONII	BARELL CACTUS	LOW	0.2
58	ENCELIA FARINOSA	BRITTLEBUSH	LOW	0.2
8	LARREA TRIDENTATA	CREOSOTE BUSH	LOW	0.2
17	YUCCA ROSTRATA 'SKY BLUE'	BEAKED YUCCA	LOW	0.2
23	DASYLIRION WHEELERI	DESERT SPOON	LOW	0.2

**IRRIGATION WHEEL**

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	NOZZLE	FLOW GPM	PSI	PATTERN
□	RAINBIRD	PFR/FRA	XERI-BUG EMITTER	XB-20PC-1032	.20	30	DRIP
▽	RAINBIRD	PFR/FRA	XERI-BUG EMITTER	XB-10PC-1032	.10	30	DRIP
■	RAINBIRD	SCH. 80 RISER	BUBBLER	1402	.50	30	TRICKLE PATTERN

- ESP-LXMEF WEATHER BASED CONTROLLER SEE SHEET LD-2
- RAINBIRD 100-EFB-CP MASTER BRASS VALVE WITH 1" BRASS TEE FLOW SENSOR
- RAINBIRD 100-PEB-SERIES ELECTRIC CONTROL VALVE FOR TREES BUBBLERS, SIZE AS NOTED ON PLAN. REFER TO DETAIL ON IRRIGATION DETAIL SHEET
- RAINBIRD XCZ-075-PRF ELECTRIC CONTROL VALVE FOR DRIP AREAS, SIZE AS NOTED ON PLAN.
- NETAFIM 3/4" AUTOMATIC END FLUSH VALVE BY NETAFIM
- NIBCO T-113 FULL PORT VALVE (LINE SIZE). REFER TO DETAIL ON IRRIGATION DETAIL SHEET LD-2.
- RAINBIRD 33DRC 3/4" QUICK COUPLER REFER TO DETAIL ON IRRIGATION DETAIL SHEET
- FEBCO 805 Y CONTRACTOR TO ENSURE THAT BACKFLOW PREVENTOR IS SCREENED BY PUBLIC VIEW
- PRESSURE MAINLINE PIPING USE SCHEDULE 40 - SIZE AS NOTED
- NON-PRESSURE LATERAL LINE PIPING - PVC CLASS 200
- 3/4" IRRIGATION POINT OF CONNECTION - IRRIGATION POINT OF CONNECTION FROM WATER METER SOURCE.
- PIPE SLEEVING SHALL OCCUR UNDER ALL MAJOR HARDSCAPE. SLEEVING SHALL BE 2X THE DIAMETER OF THE PIPE.



- NOTES:**
- IRRIGATION LAYOUT IS DIAGRAMMATIC.
  - ALL VALVES AND MAINLINE ARE TO BE LOCATED ON PROPERTY AND IN THE PLANTING AREAS.
  - CONTRACTOR TO PROVIDE 100% IRRIGATION COVERAGE
  - NO OVER SPRAY ON HARDSCAPE OR WALLS WILL BE PERMITTED.
  - CONTRACTOR TO SLEEVE ALL LATERALS UNDER HARDSCAPE USING SCH. 40 PVC 2-TIME LATERAL SIZE.
  - VALVE BOXES WILL BE BASED WITH PEA GRAVEL.
  - VALVE BOXES WILL BE TAN COLOR WHEN IN CRUSHED ROCK AREAS
  - THERE ARE NO CONFLICTING UTILITIES WITHIN THE PROJECT AREA.
  - LANDSCAPE CONTRACTOR TO VERIFY EXISTING IRRIGATION CONTROLLER LOCATIONS. CONTRACTOR TO INSTALL A NEW SMART CONTROLLER.
  - LANDSCAPE CONTRACTOR TO SIZE ALL LATERALS ACCORDING TO WATER DEMANDS.
  - CONTRACTOR TO PROVIDE 100% IRRIGATION COVERAGE FOR DRIP IRRIGATION LAYOUT. ALL PLANTS ARE TO RECEIVE 100% IRRIGATION.
- NOTE:** MAINLINE, LATERALS AND VALVES ARE SHOWN OUTSIDE PLANTING AREAS FOR GRAPHIC CLARITY ONLY. THEY SHOULD BE INSTALLED IN SHRUB AREAS WITHIN THE PROPERTY LINES. LANDSCAPE CONTRACTOR IS TO RUN A PRESSURE TEST AT THE P.O.C. LOCATION TO ASSURE ADEQUATE PRESSURE.

**WATER USE CALCULATIONS**

Zone 5 - 10170 square feet - Proposed Landscape Area  
 Low Plants EAAW= 83.00 x 0.2 x 10170 s.f. x 0.62 / 748 / 0.81 = 139.93 CCF  
 Moderate Plants EAAW= 83.00 x 0.5 x 0 s.f. x 0.62 / 748 / 0.81 = 0 CCF  
 Pool/ Spa EAAW= 83.00 x 1.0 x 250 s.f. x 0.62 / 748 / 1 = 17.20 CCF  
**ETWU TOTAL = 157.13 CCF**  
 Maximum Water Allowance = 83.00 x 0.45 x 10420 s.f. x 0.62 / 748 = 322.58 CCF

**PIPE SIZING CHART**

PIPE SIZE	MAX. ALLOWABLE FLOW
1/2"	5 GPM
3/4"	10 GPM
1"	16 GPM
1-1/4"	26 GPM
1-1/2"	40 GPM
2"	60 GPM

LANDSCAPE ARCHITECTURAL SERVICES BY:  
**DESERT MODERN**  
 LANDSCAPE DESIGN

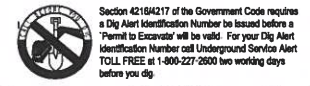
LANDSCAPE PLANS FOR  
**DESERT PALISADES**  
 2368 CITY VIEW DRIVE LOT 53  
 PALM SPRINGS, CALIFORNIA

DESERT MODERN  
 LANDSCAPE DESIGN  
 1715 W. GARDEN ROAD  
 PALM SPRINGS, CALIFORNIA 92262  
 TEL: 951-251-9911 FAX: 951-251-9912  
 www.desertmodern.com

REVISION
01-28-22

SCALE: 1/8"=1'-0"

SHEET  
**L-3.0**

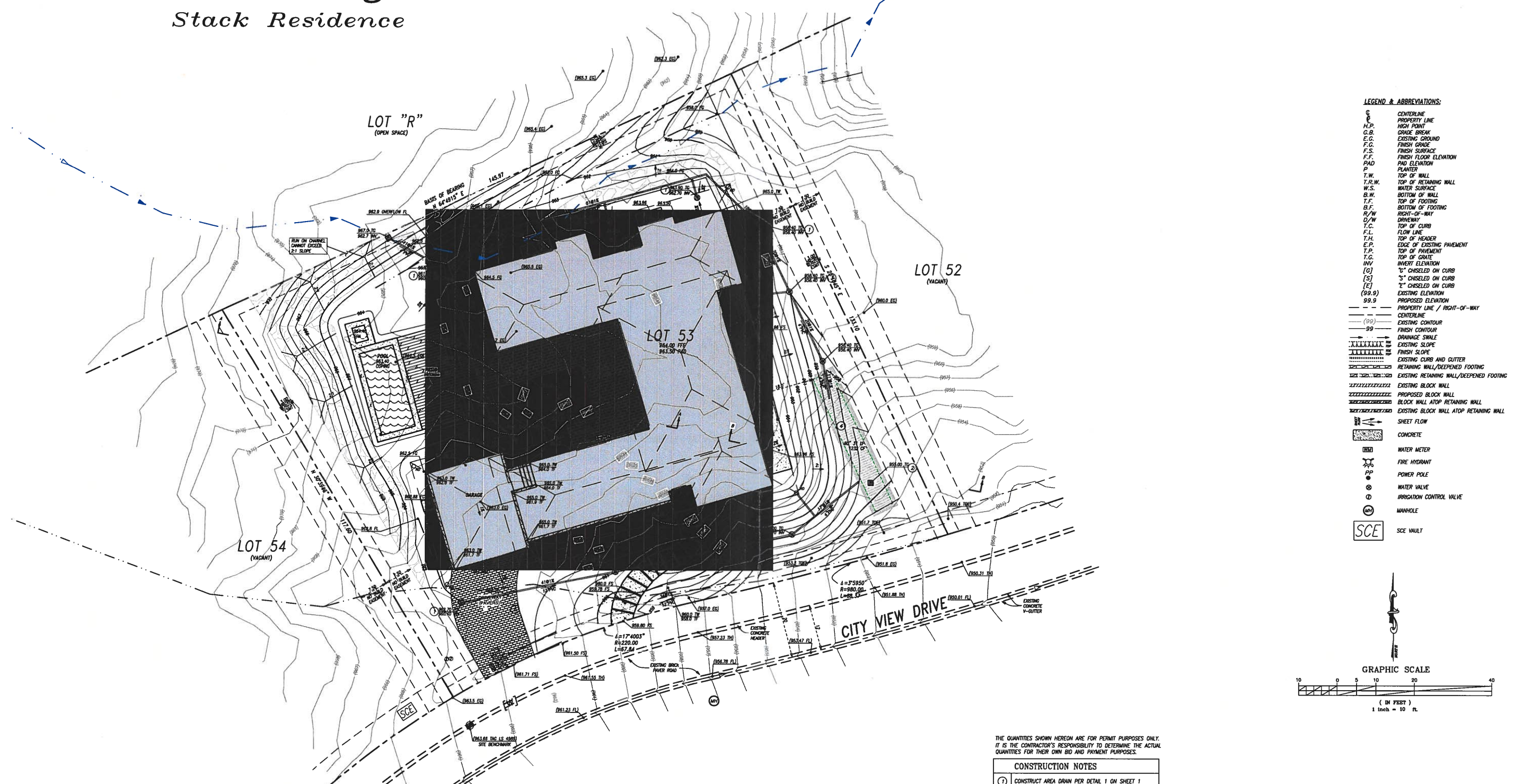


Section 42184217 of the Government Code requires a Dig Alert Identification Number to be issued before a Permit to Excavate will be valid. For your Dig Alert Identification Number call Underground Services Alert TOLL FREE at 1-800-227-2600 two working days before you dig.

practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

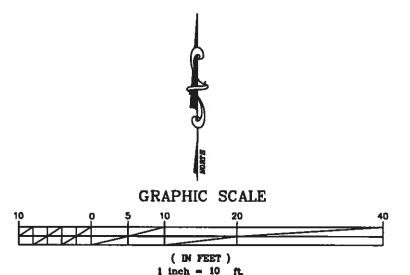
**IRRIGATION PLAN**

In the City of Palm Springs  
**Precise Grading Plan**  
 Stack Residence



**LEGEND & ABBREVIATIONS:**

C	CENTERLINE
P	PROPERTY LINE
H.P.	HIGH POINT
G.B.	GRADE BREAK
E.G.	EXISTING GROUND
F.G.	FINISH GRADE
F.S.	FINISH SURFACE
F.F.	FINISH FLOOR ELEVATION
PAD	PAD ELEVATION
P	PLANTER
T.W.	TOP OF WALL
T.R.W.	TOP OF RETAINING WALL
W.S.	WATER SURFACE
B.W.	BOTTOM OF WALL
T.F.	TOP OF FOOTING
B.F.	BOTTOM OF FOOTING
R/W	RIGHT-OF-WAY
D/W	DRAINAGE
T.C.	TOP OF CURB
F.L.	FLOW LINE
T.H.	TOP OF HEADER
E.P.	EDGE OF EXISTING PAVEMENT
T.P.	TOP OF PAVEMENT
T.G.	TOP OF GATE
INV	INVERT ELEVATION
[G]	"G" CHISELED ON CURB
[S]	"S" CHISELED ON CURB
[E]	"E" CHISELED ON CURB
(99.9)	EXISTING ELEVATION
99.9	PROPOSED ELEVATION
---	PROPERTY LINE / RIGHT-OF-WAY
---	CENTERLINE
(99)	EXISTING CONTOUR
-99-	FINISH CONTOUR
-99	DRAINAGE SWALE
XXXXXX	EXISTING SLOPE
XXXXXX	FINISH SLOPE
=====	EXISTING CURB AND GUTTER
=====	RETAINING WALL/DEEPEMED FOOTING
=====	EXISTING RETAINING WALL/DEEPEMED FOOTING
=====	EXISTING BLOCK WALL
=====	PROPOSED BLOCK WALL
=====	BLOCK WALL ATOP RETAINING WALL
=====	EXISTING BLOCK WALL ATOP RETAINING WALL
=====	SHEET FLOW
=====	CONCRETE
=====	WATER METER
=====	FIRE HYDRANT
=====	POWER POLE
=====	WATER VALVE
=====	IRRIGATION CONTROL VALVE
=====	MANHOLE
SCE	SCE VAULT



THE QUANTITIES SHOWN HEREON ARE FOR PERMIT PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL QUANTITIES FOR THEIR OWN BID AND PAYMENT PURPOSES.

**CONSTRUCTION NOTES**

1	CONSTRUCT AREA DRAIN PER DETAIL 1 ON SHEET 1
2	INSTALL 36" CONTECH POLYMER COATED CORRUGATED METAL PIPE ACCESS RISER WITH GRATE. (SOLID COVERS WILL NOT BE APPROVED)
3	CONSTRUCT 4" PVC SDR-35
4	60" CONTECH POLYMER COATED CORRUGATED METAL PIPE - VOLUME 882CF
5	CONSTRUCT EXTERIOR HARDSCAPE (SEE ARCHITECTURAL PLANS FOR TYPE, COLOR & FINISH)

**BASE OF BEARINGS:**  
 NORTH PROPERTY LINE OF LOT 53  
 N 84°49'15" E, PER MB 443/65-78

**BENCHMARK:**  
 CITY OF PALM SPRINGS BM 3-11  
 TOP OF FIRE HYDRANT 531 S.E. CORNER OF N. MILD  
 DRIVE AND W. RACQUET CLUB ROAD.  
 ELEVATION= (804.922)

**SITE BENCHMARK:**  
 TAG LS 4989 AT TOP OF HEADER AT SOUTHWEST  
 CORNER OF LOT 53. ELEVATION=(963.66 TAG LS4989)

**SITE BENCHMARK:**  
 INDICATES THE BENCHMARK AT THE SITE WHICH THE ENGINEER OF  
 RECORD SHALL USE TO CERTIFY PAD ELEVATION AND FINAL GRADING  
 CERTIFICATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF  
 RECORD OF ANY DISCREPANCIES BETWEEN THIS BENCHMARK AND THE  
 BENCHMARK USED BY THE CONTRACTOR PRIOR TO ANY GRADING.

**SOURCE OF TOPOGRAPHY:**  
 THE TOPOGRAPHY SHOWN HEREON WAS OBTAINED BY A  
 FIELD SURVEY BY FEIRO ENGINEERING, INC ON 1-27-2021

PRELIMINARY GRADING PLAN NOT FOR CONSTRUCTION

In the City of Palm Springs

**Precise Grading Plan**

Lot 53, Tract Map No. 35540  
 Per MB 443/65-78, APN 504-390-053

FOR: **Stack Residence**

25-080 Gerald Ford Drive, Suite 3  
 Palm Desert, California 92211  
 (760) 346-8015

Civil Engineering  
 Land Surveying

www.feiro.net

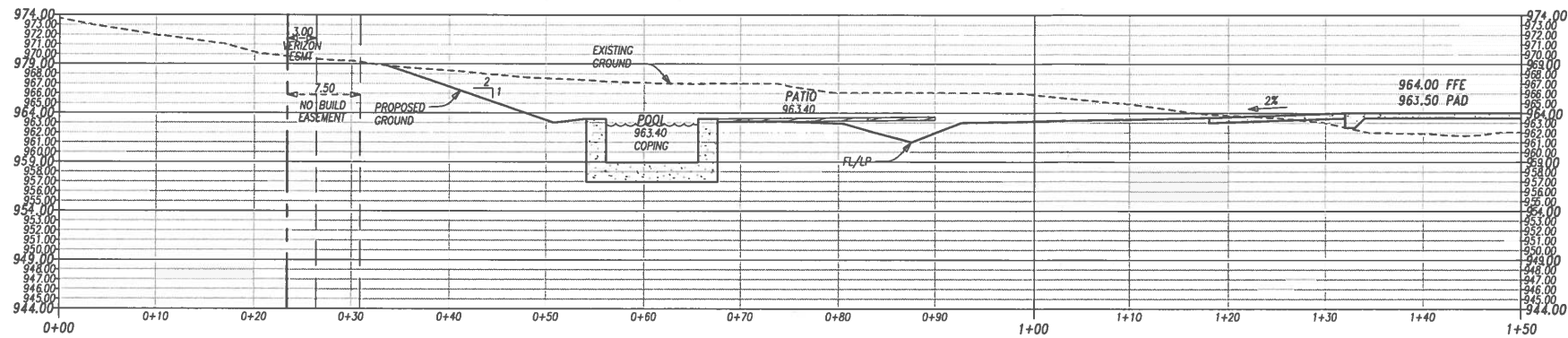
PREPARED UNDER THE DIRECT SUPERVISION OF:  
 RONALD K. FEIRO R.C.E. 52260 DATE

SHEET NUMBER: **2**  
 TOTAL SHEETS: 3  
 DWG FILE: 33251p01  
 LAYOUT: 1001

JOB NUMBER: 3325-001

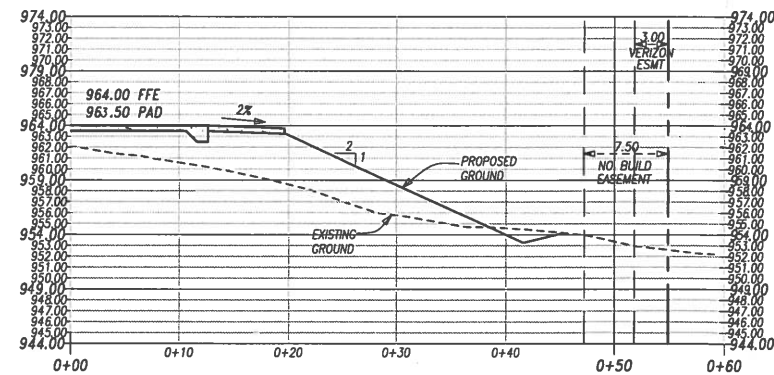
In the City of Palm Springs  
**Precise Grading Plan**  
 Stack Residence

Section A-A Profile



PROFILE SCALE:  
 1" = 10' HORIZONTAL  
 1" = 10' VERTICAL

Section B-B Profile



PROFILE SCALE:  
 1" = 10' HORIZONTAL  
 1" = 10' VERTICAL

LEGEND & ABBREVIATIONS:

- C CENTERLINE
- PL PROPERTY LINE
- H.P. HIGH POINT
- G.B. GRADE BREAK
- E.G. EXISTING GROUND
- F.G. FINISH GRADE
- F.S. FINISH SURFACE
- F.F. FINISH FLOOR ELEVATION
- PAD PAD ELEVATION
- P PLANTER
- T.W. TOP OF WALL
- T.R.W. TOP OF RETAINING WALL
- W.S. WATER SURFACE
- B.W. BOTTOM OF WALL
- T.F. TOP OF FOOTING
- B.F. BOTTOM OF FOOTING
- R/W RIGHT-OF-WAY
- D/W DRIVEWAY
- T.C. TOP OF CURB
- F.L. FLOW LINE
- T.H. TOP OF HEADER
- E.P. EDGE OF EXISTING PAVEMENT
- T.P. TOP OF PAVEMENT
- T.G. TOP OF GRADE
- INV INVERT ELEVATION
- [G] 1" CHISELED ON CURB
- [S] 3" CHISELED ON CURB
- [E] 1" CHISELED ON CURB
- (98.9) EXISTING ELEVATION
- 99.9 PROPOSED ELEVATION
- PROPERTY LINE / RIGHT-OF-WAY
- CENTERLINE
- EXISTING CONTOUR
- FINISH CONTOUR
- DRAINAGE SWALE
- EXISTING SLOPE
- FINISH SLOPE
- EXISTING CURB AND GUTTER
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- EXISTING BLOCK WALL
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- WATER METER
- FIRE HYDRANT
- POWER POLE
- WATER VALVE
- IRRIGATION CONTROL VALVE
- MANHOLE
- SCE SCE VAULT

**BASIS OF BEARINGS:**  
 NORTH PROPERTY LINE OF LOT 53  
 N 64°49'15" E, PER MB 443/65-78

**BENCHMARK:**  
 CITY OF PALM SPRINGS BM 3-11  
 TOP OF FIRE HYDRANT 1/2 MI. S.E. CORNER OF N. MILO  
 DRIVE AND W. RACQUET CLUB ROAD.  
 ELEVATION = (804.929)

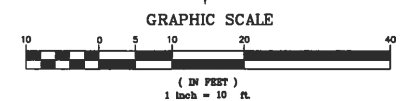
**SITE BENCHMARK:**  
 TAG LS 4989 AT TOP OF HEADER AT SOUTHWEST  
 CORNER OF LOT 53. ELEVATION = (963.66 TAG LS4989)

**SITE BENCHMARK:**  
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**SOURCE OF TOPOGRAPHY:**  
 THE TOPOGRAPHY SHOWN HEREON WAS OBTAINED BY A  
 FIELD SURVEY BY FEIRO ENGINEERING, INC ON 1-27-2021

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 IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL  
 QUANTITIES FOR THEIR OWN BID AND PAYMENT PURPOSES.

CONSTRUCTION NOTES	
1	CONSTRUCT AREA DRAIN PER DETAIL 1 ON SHEET 1
2	INSTALL 3/8" CONTECH POLYMER COATED CORRUGATED METAL PIPE ACCESS RISER WITH GRATE. (SOLID COVERS WILL NOT BE APPROVED)
3	CONSTRUCT 4" PVC SDR-35
4	60" CONTECH POLYMER COATED CORRUGATED METAL PIPE - VOLUME BS2CF
5	CONSTRUCT EXTERIOR HARDSCAPE (SEE ARCHITECTURAL PLANS FOR TYPE, COLOR & FINISH)



PRELIMINARY GRADING PLAN NOT FOR CONSTRUCTION

	Civil Engineering Land Surveying www.feiro.net	75-000 Grand Ford Drive, Suite 3 Palm Desert, California 92211 (760) 346-8015	In the City of Palm Springs <b>Precise Grading Plan</b> Lot 53, Tract Map No. 35540 Per MB 443/65-78; APN 504-390-053 FOR: Stack Residence	SHEET NUMBER: 3 OF 3 SHEETS DWG FILE: 33251b01 LAYOUT: 1P01 JOB NUMBER: 3325-001
	PREPARED UNDER THE DIRECT SUPERVISION OF:		FOR: Stack Residence	

# STACK RESIDENCE / DESERT PALISADES

2368 CITY VIEW DRIVE



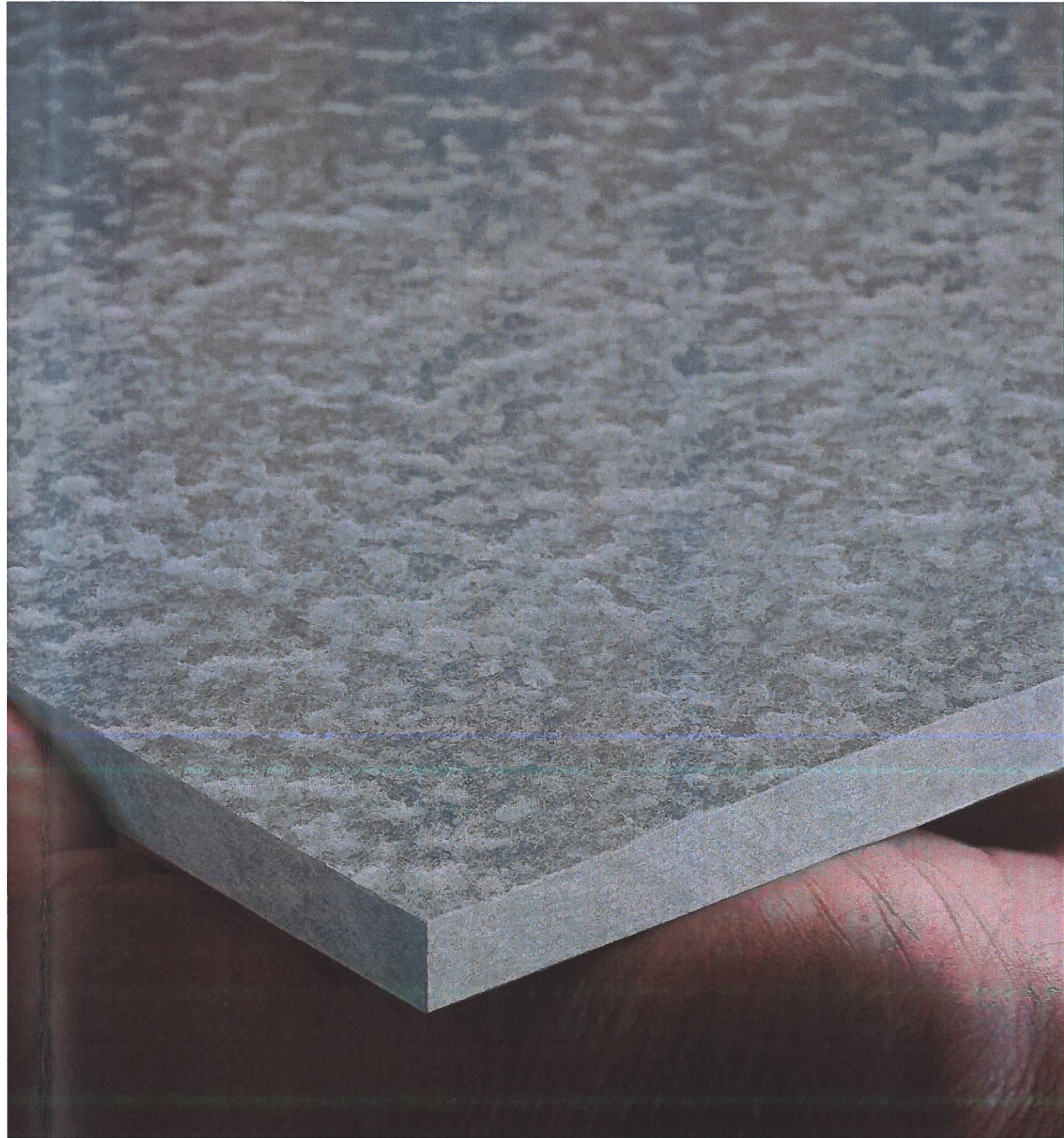






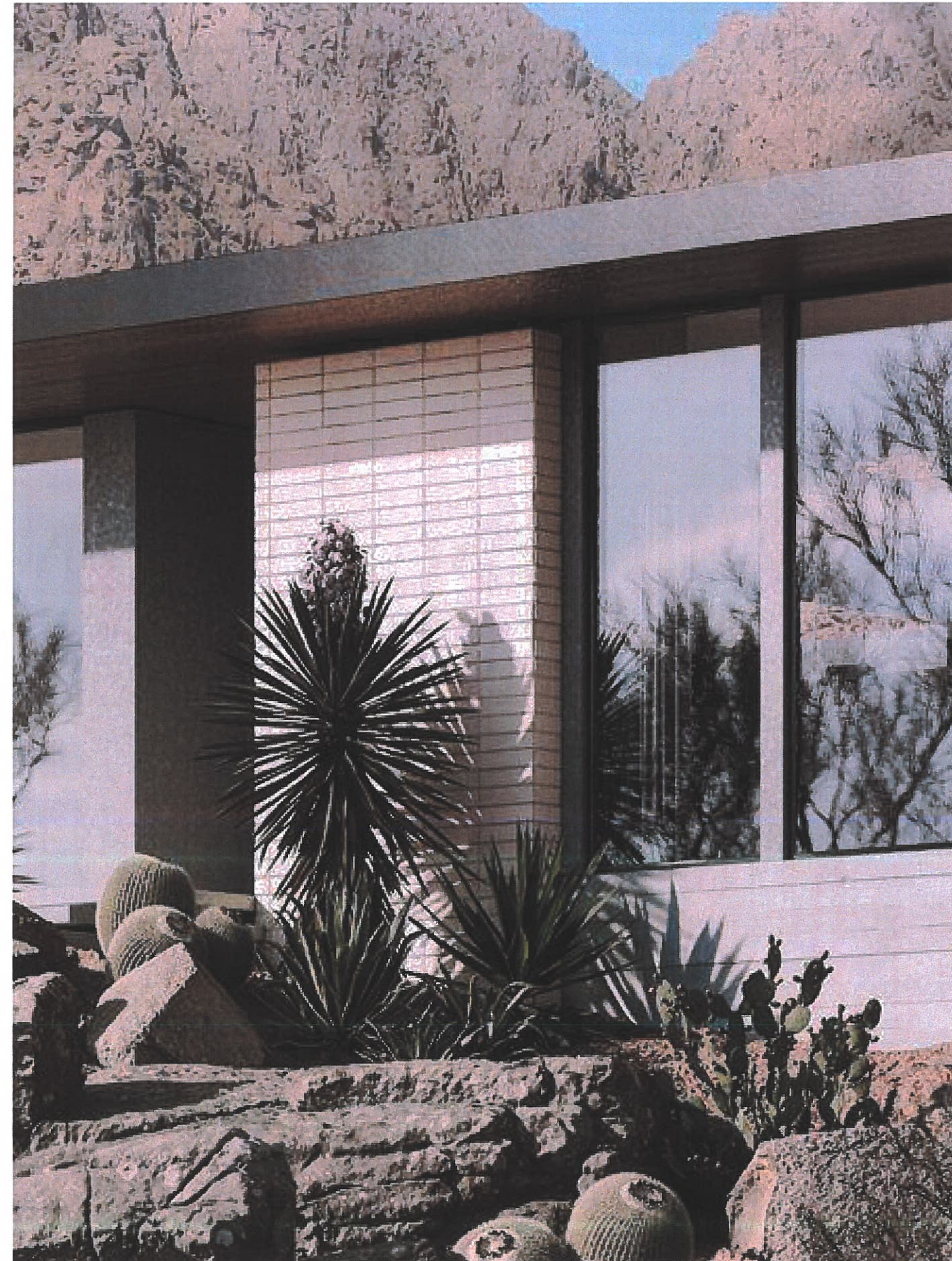
# EXTERIOR STUCCO

La Habra  
Santa Barbara Finish  
Color: Bay Ridge



# BRICK COLUMNS

Angelus Block Co  
Color: Precision, Sand



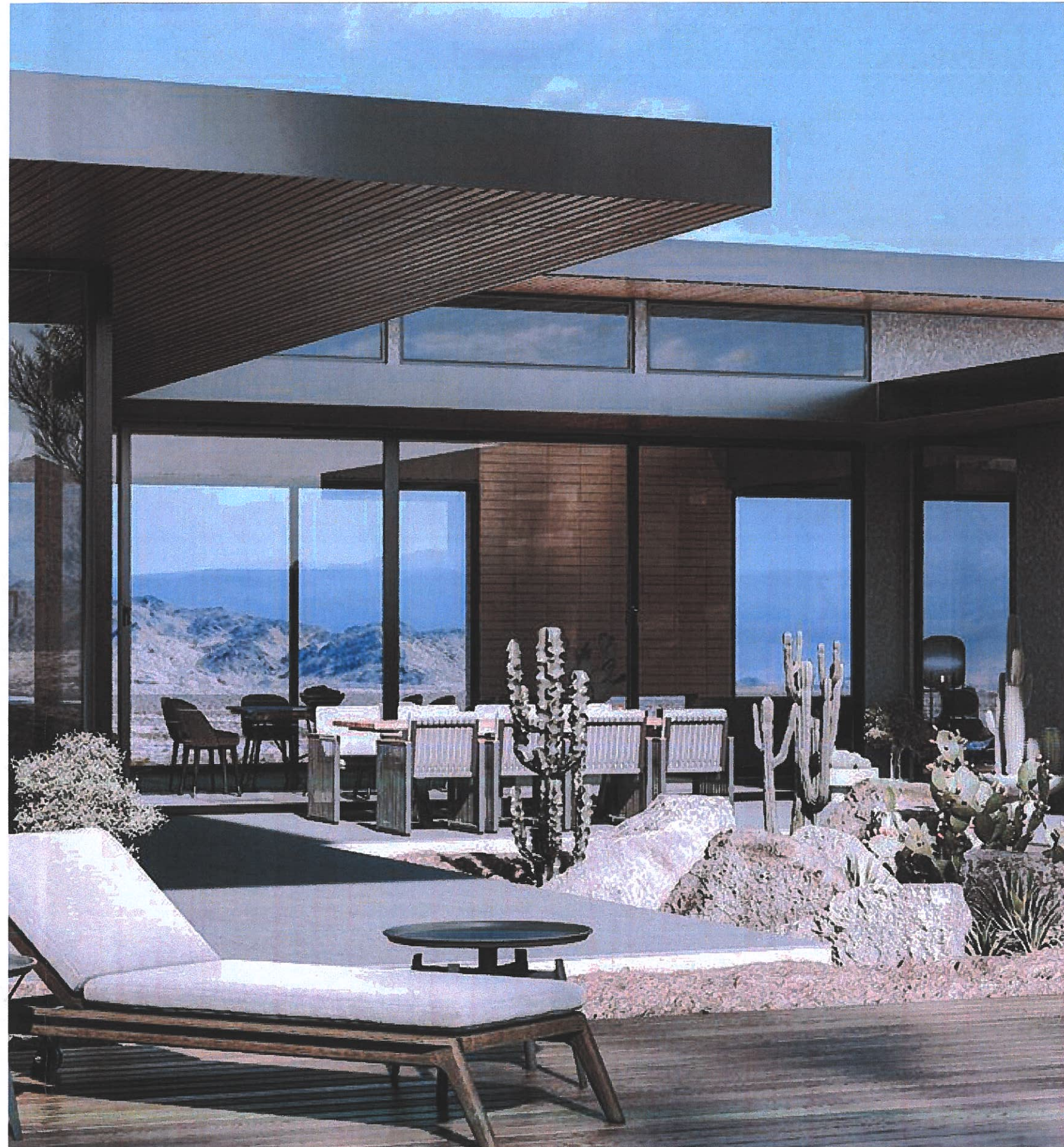
# WINDOWS/SLIDERS

Fleetwood  
Dark Bronze Anodized



# CEILING UNDER EXTERIOR EYES

Ipe 1X4" Mid brown



# EXTERIOR EYES LIGHTING



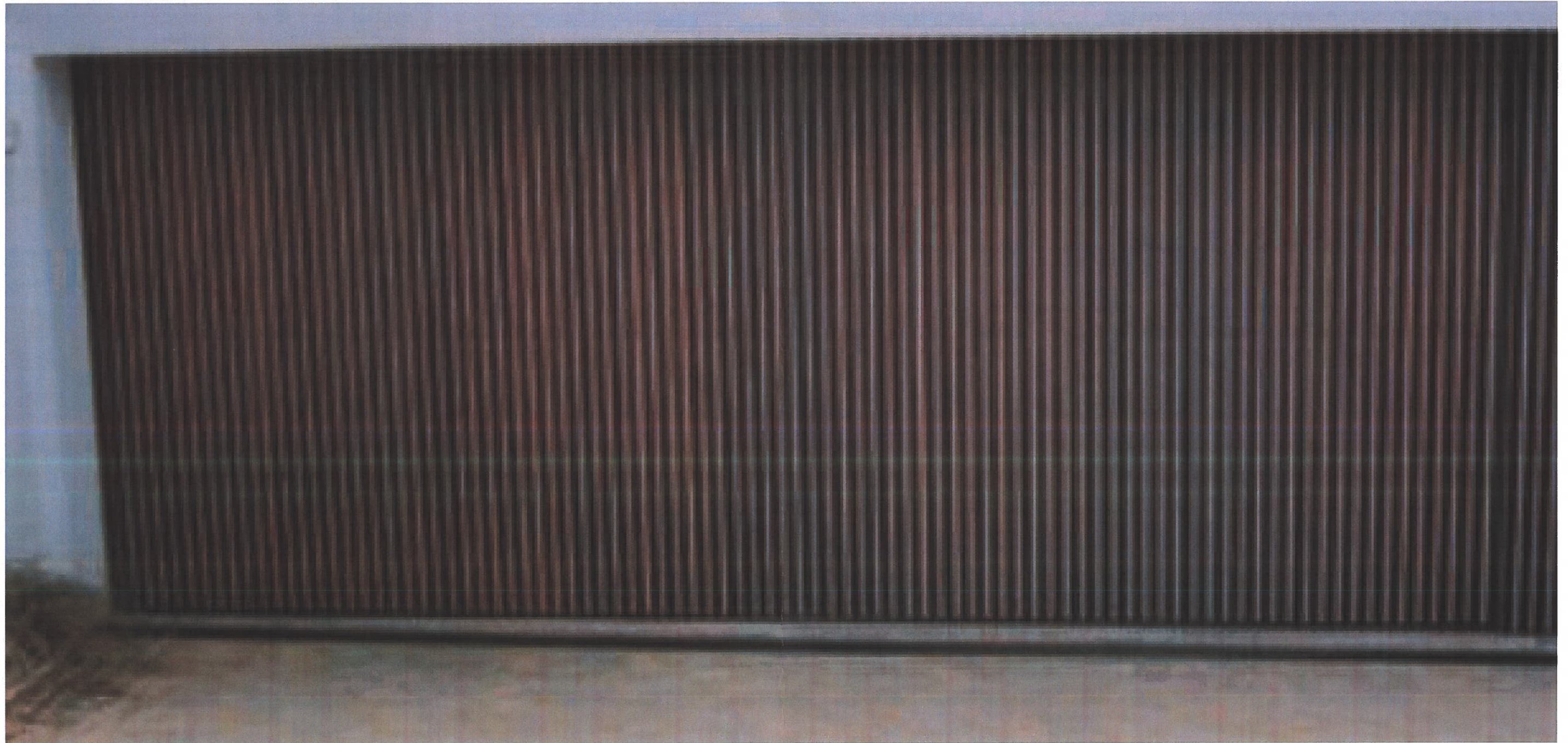
**NL-3412BB**  
Specular Black Reflector  
Black Trim

Nora Lights  
8 Watt LED  
Dimmable



# GARAGE DOOR

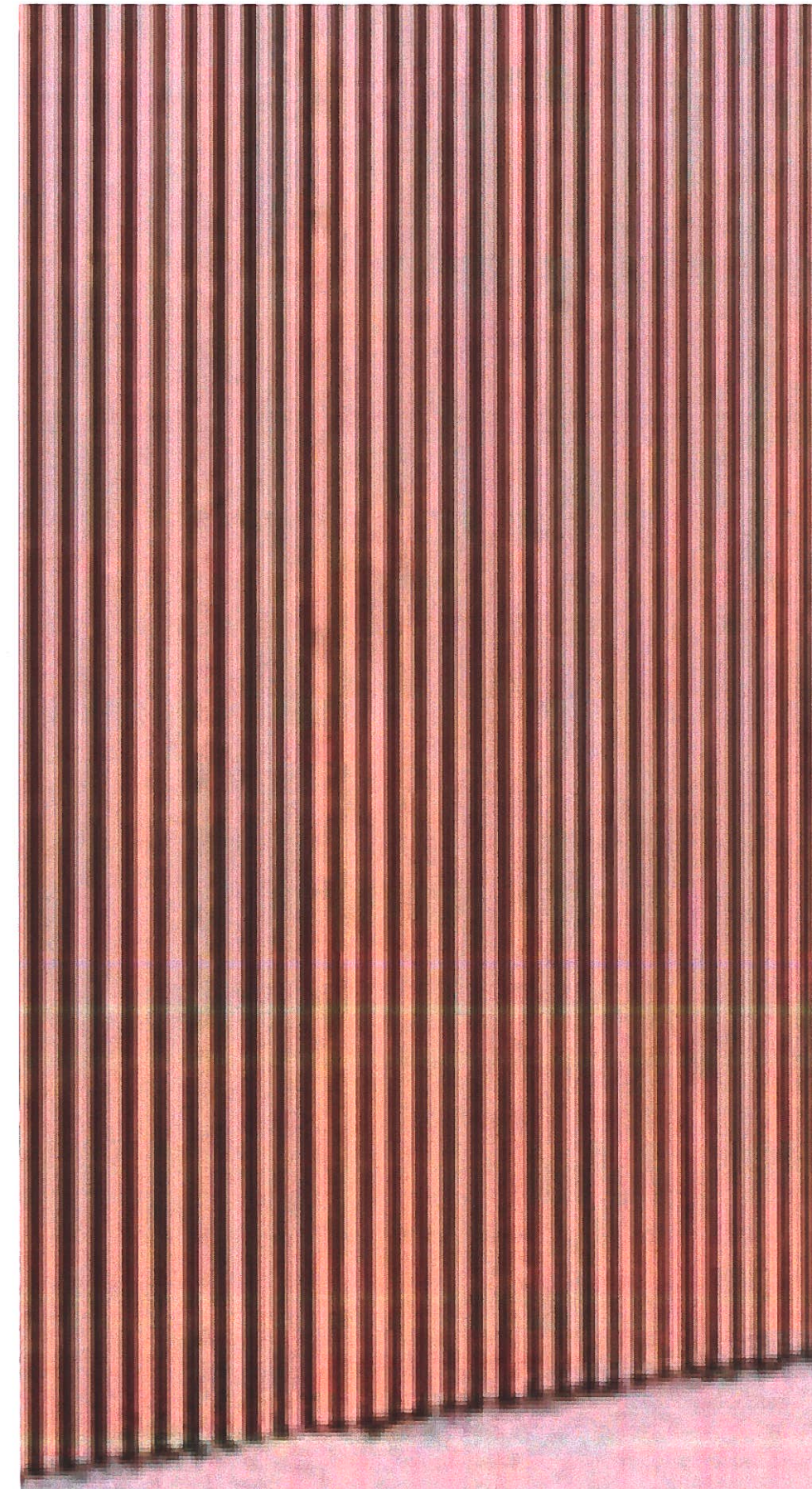
Vertical Battens



# VERTICAL BATTENS

1"x2" IPE

Adjacent to front door



# ROOF COLOR

Pantone 429C

