



# ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: March 7, 2022

NEW BUSINESS

SUBJECT: FLANNERY EXCHANGE LLC, OWNER, FOR A MINOR ARCHITECTURAL APPLICATION PROPOSING THE CONSTRUCTION OF METAL FRAME SHADE STRUCTURE ON THE SECOND FLOOR BALCONY, ADDITION OF AN EXTERIOR SPIRAL STAIRCASE, PERMANENT INSTALLATION ON THE SECOND FLOOR BALCONY OF AN AIRSTREAM TRAILER TO SERVE AS A BAR LOCATED AT 750 NORTH PALM CANYON DRIVE, ZONE C1/R3 (CASE # 3.3795 MAA) (RB)

FROM: Development Services Department – Planning Division

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## PROJECT DESCRIPTION:

This is a request for approval of a Minor Architectural Application for the placement of a shade structure on the second story balcony, the addition of an exterior spiral staircase and, permanent installation on the second-floor balcony of an Airstream trailer serving as a bar.

## RECOMMENDATION:

That the Architectural Review Committee approve the application, subject to the following conditions:

1. Provide adequate screening of the Airstream trailer from the north and west street view.
2. Vegetative materials to screen this recreational vehicle from public scenery.

## BUSINESS PRINCIPAL DISCLOSURE:

The Public Integrity Disclosure Form is included as an attachment to the report.

## BACKGROUND INFORMATION:

<i>Related Relevant City Actions</i>	
1980	Original construction of the commercial building.
03/18/2019	Architectural Advisory Committee approved interior/exterior renovation of the commercial building.

STAFF ANALYSIS:

<i>Site Area</i>	
Net Acres	1.13 Acres

<i>Conformance to Development Standards</i>	
Conformance to Development Standards	The project was analyzed for conformance to development standards as listed in PSZC Section 92.12.03 and staff determined the proposed modifications comply with the height, setbacks and other required standards.

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i> The proposed exterior modifications are consistent with the existing structure on all elevations.	Y
2.	<i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i> The proposed second-floor shade structure is consistent in material with an existing ground-level shade structure. The Airstream trailer installed on the second-floor patio will be shaded by the proposed shade structure, therefore giving a continuity of shape and form to the streetscape.	Y
3.	<i>The façade elements and fenestration are composed in a harmonious manner;</i> The proposed Airstream trailer will be set back from the front edge facade of the second-floor patio with screening installed to further complement the street view. Staff is recommending the addition of permanent screening to improve the exterior composition.	Y with conditions
4.	<i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i> The proposed materials will complement the existing architecture. The addition of a vegetative border along the front edge of the second-floor patio will bring a cohesive look to the surrounding environment. Staff recommends vegetative border or similar material.	Y with conditions
5.	<i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i>	Y with conditions

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The proposed exterior modifications are appropriate to the existing architecture and color scheme and desert environment.	
6.	<i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i>	Y
	The commercial building is oriented with the front of the building facing west North Palm Canyon Drive. The windows are protected with either shade structures or awnings above the windows.	
7.	<i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i>	N/A
	No landscaping changes are being proposed.	
8.	<i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i>	N/A
	No landscaping changes are being proposed.	
9.	<i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i>	Y
	The main entrances are shaded with shade structures.	
10.	<i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i>	N/A
	No additional lighting is being proposed.	
11.	<i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i>	N/A
	No signage is being proposed with this application.	
12.	<i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i>	N/A
	No modifications to the roof or mechanical equipment is proposed.	
13.	<i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i>	N/A
	The subject property is not with a Specific Plan or Planned Development.	

**ENVIRONMENTAL ANALYSIS:**

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”) and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines.

**CONCLUSION:**

The proposed exterior modifications integrate with the surrounding structures for the business, retail commercial zone. The structural additions being proposed will be of cohesive design with the existing character of the building and with adjacent development. Staff recommends approval with the following conditions:

1. Provide adequate screening of the Airstream trailer from the north and west street view sheds.
2. Vegetative materials to screen this recreational vehicle from public scenery.

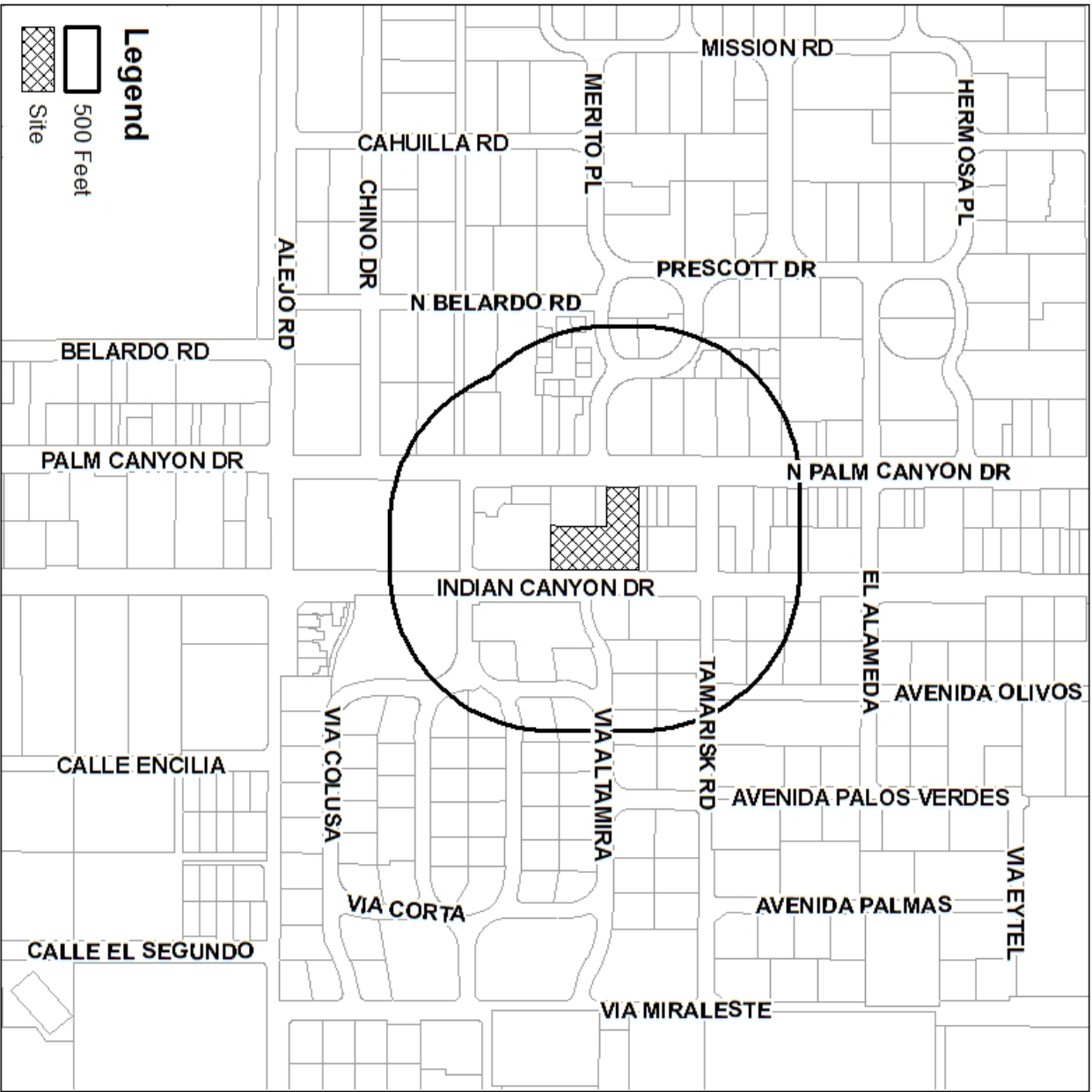
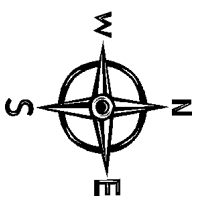
PREPARED BY:	Planning Technician: Richard Bruno
REVIEWED BY:	Assistant Director of Planning: David Newell

**ATTACHMENTS:**

1. Vicinity Map
2. Public Integrity Disclosure Form
3. Justification Letter
4. Plans



Department of Planning Services  
Vicinity Map



**Legend**  
500 Feet  
Site

City of Palm Springs  
750 North Palm Canyon Drive  
3.3795 MAA




## PUBLIC INTEGRITY DISCLOSURE APPLICANT DISCLOSURE FORM

<b>1.</b>	<b>Name of Entity</b>	Flannery Exchange LLC
<b>2.</b>	<b>Address of Entity (Principle Place of Business)</b>	750 N Palm Canyon Dr. Palm Springs, CA 92262
<b>3.</b>	<b>Local or California Address (if different than #2)</b>	
<b>4.</b>	<b>State where Entity is Registered with Secretary of State</b>	CA  <i>If other than California, is the Entity also registered in California?</i> <input type="checkbox"/> Yes <input type="checkbox"/> No
<b>5.</b>	<b>Type of Entity</b>	<input type="checkbox"/> Corporation <input checked="" type="checkbox"/> Limited Liability Company <input type="checkbox"/> Partnership <input type="checkbox"/> Trust <input type="checkbox"/> Other (please specify)
<b>6.</b>	<b>Officers, Directors, Members, Managers, Trustees, Other Fiduciaries (please specify)</b> <i>Note: If any response is not a natural person, please identify all officers, directors, members, managers and other fiduciaries for the member, manager, trust or other entity</i>	 Michael Flannery _____ <input type="checkbox"/> Officer <input type="checkbox"/> Director <input type="checkbox"/> Member <input type="checkbox"/> Manager [name] <input type="checkbox"/> General Partner <input type="checkbox"/> Limited Partner sole member <input checked="" type="checkbox"/> Other _____   _____ <input type="checkbox"/> Officer <input type="checkbox"/> Director <input type="checkbox"/> Member <input type="checkbox"/> Manager [name] <input type="checkbox"/> General Partner <input type="checkbox"/> Limited Partner <input type="checkbox"/> Other _____   _____ <input type="checkbox"/> Officer <input type="checkbox"/> Director <input type="checkbox"/> Member <input type="checkbox"/> Manager [name] <input type="checkbox"/> General Partner <input type="checkbox"/> Limited Partner <input type="checkbox"/> Other _____

7. Owners/Investors with a 5% beneficial interest in the Applicant Entity or a related entity	
<b>EXAMPLE</b>	
<i>JANE DOE</i>	<i>50%, ABC COMPANY, Inc.</i>
_____	_____
[name of owner/investor]	[percentage of beneficial interest in entity and name of entity]
A.	
Michael Flannery	100%
_____	_____
[name of owner/investor]	[percentage of beneficial interest in entity and name of entity]
B.	
_____	_____
[name of owner/investor]	[percentage of beneficial interest in entity and name of entity]
C.	
_____	_____
[name of owner/investor]	[percentage of beneficial interest in entity and name of entity]
D.	
_____	_____
[name of owner/investor]	[percentage of beneficial interest in entity and name of entity]
E.	
_____	_____
[name of owner/investor]	[percentage of beneficial interest in entity and name of entity]

**I DECLARE UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING IS TRUE AND CORRECT.**

Signature of Disclosing Party, Printed Name, Title	Date
	2/9/2022

Applicant: Flannery Exchange, LLC  
Michael Flannery its Sole member  
750 N Palm Canyon Drive  
Palm Springs, CA 92262  
[mike@acmehouseco.com](mailto:mike@acmehouseco.com)  
760.861.3771

City of Palm Springs Planning Department  
3200 E Tahquitz Canyon Way  
Palm Springs, CA 92262  
Subject: Minor Architectural Application for 750 N Palm Canyon  
January 5, 2022

To whom it may concern,

Thank you for reviewing our application for architectural changes for 750 N Palm Canyon Drive.

**Current building use:**

The current use of the building is vacant as it has been in flux for a new project going back many years. During this interim period, the building was vacant and not maintained, becoming blighted. Previous to this period, the entire building was office use for many years, and before that, it was built ground up and operated as a bank of America branch with administrative offices since the early 1980's.

Starting in summer 2019, I remodeled the building to become offices, co work, event space and retail, restaurant. The building is now a huge asset to the uptown design district with 4 retailers, 80 members of the offices and co work, and regular birthdays, weddings and corporate events on the rooftop events deck.

With the addition of the full kitchen to the cafe, we are now able to cater events and offer food onsite and to go for Cafe la Jefa and building patrons.

The last phase of this project, will be to add the restaurant (under construction), outdoor bar, upstairs bar, and patio covers.



### **Changes proposed:**

- a. Patio cover to shade patrons from the sun.
  1. In the warmer months, the bulk of the roof top and first floor deck are not usable as they are west facing.
  2. Our cover will have a retractable or fin aspect to it, so that we can let light in or be a solid cover in case of inclement weather.
- b. Stairs to the second floor deck.
  1. Visitors to the building are always asking if they can access the second floor. If you haven't been up there, you should see the view from there, it is incredible. This plan will allow more patrons to enjoy the views.
  2. The existing egress & ADA plan would remain unchanged, where anyone who needs immediate alternate access downstairs would be able to enter the building and go down any of the 2 stairs, or use the elevator. Those with disabilities or the need for an elevator would also be able to use the elevator in the building. The exterior deck doors allow for unrestricted 24 hour entrance to the building.
- c. Airstream bar:
  1. Initially we are proposing a temporary use of an airstream trailer bar, for Cafe La Jefa, across from the cafe on the first floor near the breezeway.
  2. When it becomes permanent, it would be moved to the rooftop as a bar there, again, as part of the Cafe.
  3. When it moves to the second floor, we will be proposing to build a permanent bar on the first floor.
  4. People love airstreams, they are nostalgic and fun, and remind people of a simpler time. The county health department is looking at the plans for this, and has indicated they have no problem with the design and use as a bar.
  5. Preliminary Timeline for construction on permanent bar, will be starting in August 2022, completion in November 2022.

Thank you for your consideration. Please contact me directly for any questions or concerns,

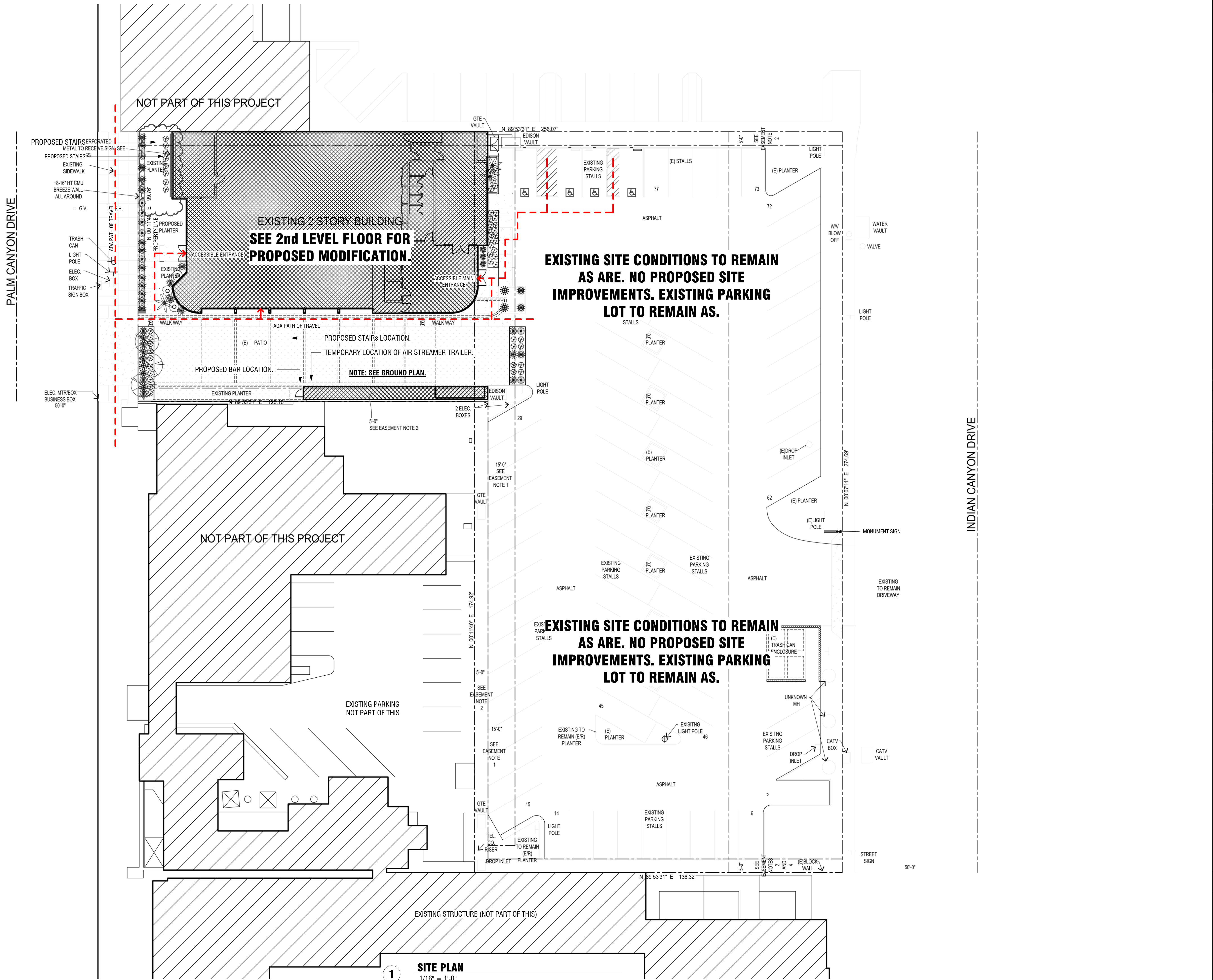
Michael Flannery

A handwritten signature in black ink, appearing to read 'M. Flannery', with a stylized flourish at the end.

Flannery Exchange, LLC. Sole Member  
President Acme House Company & Solterra Builders  
760.861.3771  
[mike@acmehouseco.com](mailto:mike@acmehouseco.com)



**118-403 WALKING SURFACES**  
**118-403.1 GENERAL.** WALKING SURFACES THAT ARE A PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 118-403.  
**118-403.2 FLOOR OR GROUND SURFACE.** FLOOR OR GROUND SURFACES SHALL COMPLY WITH SECTION 118-302.  
**118-403.3 SLOPE.** THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.  
**EXCEPTION:** THE RUNNING SLOPE OF SIDEWALKS SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY.  
**118-403.4 CHANGES IN LEVEL.** CHANGES IN LEVEL SHALL COMPLY WITH SECTION 118-303.  
**118-403.5 CLEARANCES.** WALKING SURFACES SHALL PROVIDE CLEARANCES COMPLYING WITH SECTION 118-403.5.  
**EXCEPTION:** WITHIN EMPLOYEE WORK AREAS, CLEARANCES ON COMMON USE CIRCULATION PATHS SHALL BE PERMITTED TO BE DECREASED BY WORK AREA EQUIPMENT PROVIDED THAT THE DECREASE IS ESSENTIAL TO THE FUNCTION OF THE WORK BEING PERFORMED.  
**118-403.6 CLEAR WIDTH.** EXCEPT AS PROVIDED IN SECTIONS 118-403.2 AND 118-403.3, THE CLEAR WIDTH OF WALKING SURFACES SHALL BE 36 INCHES (914 MM) MINIMUM.  
**EXCEPTIONS:**  
 1. THE CLEAR WIDTH SHALL BE PERMITTED TO BE REDUCED TO 32 INCHES (813 MM) MINIMUM FOR A LENGTH OF 24 INCHES (610 MM) MAXIMUM PROVIDED THAT REDUCED WIDTH SEGMENTS ARE SEPARATED BY SEGMENTS THAT ARE 48 INCHES (1219 MM) LONG MINIMUM AND 36 INCHES (914 MM) WIDE MINIMUM.  
 2. THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44 INCHES (1118 MM) MINIMUM.  
 3. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48 INCHES (1219 MM) MINIMUM. WHEN, BECAUSE OF RIGHT-OF-WAY RESTRICTIONS, NATURAL BARRIERS OR OTHER EXISTING CONDITIONS, THE ENFORCING AGENCY DETERMINES THAT COMPLIANCE WITH THE 48-INCH (1219 MM) CLEAR SIDEWALK WIDTH WOULD CREATE AN UNREASONABLE HARSHIP, THE CLEAR WIDTH MAY BE REDUCED TO 36 INCHES (914 MM).  
 4. THE CLEAR WIDTH FOR ACES SHALL BE 36 INCHES (914 MM) MINIMUM IF SERVING ELEMENTS ON ONLY ONE SIDE, AND 44 INCHES (1118 MM) MINIMUM IF SERVING ELEMENTS ON BOTH SIDES.  
 5. THE CLEAR WIDTH FOR ACCESSIBLE ROUTES TO ACCESSIBLE TOILET COMPARTMENTS SHALL BE 44 INCHES (1118 MM) EXCEPT FOR DOOR-OPENING WIDTHS AND DOOR SWINGS.  
**118-403.7 CLEAR WIDTH AT TURN.** WHERE THE ACCESSIBLE ROUTE MAKES A 180 DEGREE TURN AROUND AN ELEMENT WHICH IS LESS THAN 48 INCHES (1219 MM) WIDE, CLEAR WIDTH SHALL BE 42 INCHES (1067 MM) MINIMUM APPROACHING THE TURN, 48 INCHES (1219 MM) MINIMUM AT THE TURN AND 42 INCHES (1067 MM) MINIMUM LEAVING THE TURN.  
**EXCEPTION:** WHERE THE CLEAR WIDTH AT THE TURN IS 60 INCHES (1524 MM) MINIMUM COMPLIANCE WITH SECTION 118-403.2 SHALL NOT BE REQUIRED.  
**118-403.8 PASSING SPACES.** AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN 60 INCHES (1524 MM) SHALL PROVIDE PASSING SPACES AT INTERVALS OF 200 FEET (60.960 MM) MAXIMUM. PASSING SPACES SHALL BE EITHER A SPACE 60 INCHES (1524 MM) MINIMUM BY 80 INCHES (2032 MM) MINIMUM OR, AN INTERSECTION OF TWO WALKING SURFACES PROVIDING A T-SHAPED SPACE COMPLYING WITH SECTION 118-304.3.2 WHERE THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND 48 INCHES (1219 MM) MINIMUM BEYOND THE INTERSECTION.  
**118-403.9 HANDRAILS.** WHERE HANDRAILS ARE PROVIDED ALONG WALKING SURFACES WITH RUNNING SLOPES NOT STEEPER THAN 1:20 THEY SHALL COMPLY WITH SECTION 118-505.  
**118-403.10 CONTINUOUS GRADIENT.** ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE RESTING AREAS, 60 INCHES (1524 MM) IN LENGTH, AT INTERVALS OF 400 FEET (121.920 MM) MAXIMUM. THE RESTING AREA SHALL BE AT LEAST AS WIDE AS THE WALK. THE SLOPE OF THE RESTING AREA IN ALL DIRECTIONS SHALL BE 1:48 MAXIMUM.  
**118-206.4.1 ENTRANCES AND EXTERIOR GROUND FLOOR EXITS.** ALL ENTRANCES AND EXTERIOR GROUND-FLOOR EXITS TO BUILDINGS AND FACILITIES SHALL COMPLY WITH SECTION 118-404.  
**EXCEPTIONS:**  
 1. EXTERIOR GROUND FLOOR EXITS SERVING SMOKE-PROOF ENCLOSURES, STAIRWELLS, AND EXIT DOORS SERVING STAIRS ONLY SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 118-404.  
 2. EXITS IN EXCESS OF THOSE REQUIRED BY CHAPTER 10, AND WHICH ARE MORE THAN 24 INCHES (610 MM) ABOVE GRADE SHALL NOT BE REQUIRED TO COMPLY WITH SECTION 118-404. DIRECTIONAL SIGNS SHALL COMPLY WITH CHAPTER 10, SECTION 1009.10.  
**118-502 GENERAL.** CAR AND VAN PARKING SPACES SHALL COMPLY WITH SECTION 118-502. WHERE PARKING SPACES ARE MARKED WITH LINES, WIDTH MEASUREMENTS OF PARKING SPACES AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE MARKINGS.  
**EXCEPTION:** WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLE, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.  
**118-502.1 VEHICLE SPACES.** CAR AND VAN PARKING SPACES SHALL BE 216 INCHES (5486 MM) LONG MINIMUM. CAR PARKING SPACES SHALL BE 108 INCHES (2743 MM) WIDE MINIMUM AND VAN PARKING SPACES SHALL BE 144 INCHES (3658 MM) WIDE MINIMUM. SHALL BE MARKED TO DEFINE THE WIDTH, AND SHALL HAVE AN ADJACENT ACCESS AISLE COMPLYING WITH SECTION 118-502.3.  
**EXCEPTION:** VAN PARKING SPACES SHALL BE PERMITTED TO BE 108 INCHES (2743 MM) WIDE MINIMUM WHERE THE ACCESS AISLE IS 96 INCHES (2438 MM) WIDE MINIMUM.  
 118-502.2 ACCESS AISLE. ACCESS AISLES SERVING PARKING SPACES SHALL COMPLY WITH SECTION 118-502.3. ACCESS AISLES SHALL ADJOIN AN ACCESSIBLE ROUTE. TWO PARKING SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS AISLE.  
 118-502.3.1 WIDTH. ACCESS AISLES SERVING CAR AND VAN PARKING SPACES SHALL BE 80 INCHES (2032 MM) WIDE MINIMUM.  
 118-502.3.2 LENGTH. ACCESS AISLES SHALL EXCEED THE FULL REQUIRED LENGTH OF THE PARKING SPACES THEY SERVE.  
 118-502.3.3 MARKING. ACCESS AISLES SHALL BE MARKED WITH A BLUE PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BLUE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAXIMUM OF 36 INCHES (914 MM) ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE AISLE SURFACE, PREFERABLY BLUE OR WHITE. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE SURFACE WITHIN EACH ACCESS AISLE IN WHITE LETTERS A MINIMUM OF 12 INCHES (305 MM) IN HEIGHT AND LOCATED TO BE VISIBLE FROM THE ADJACENT VEHICULAR WAY. ACCESS AISLE MARKINGS MAY EXTEND BEYOND THE MINIMUM REQUIRED LENGTH.  
 118-502.3.4 LOCATION. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.  
**118-502.4 FLOOR OR GROUND SURFACES.** PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH SECTION 118-302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.  
**EXCEPTION:** SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED.  
**118-502.5 VERTICAL CLEARANCE.** PARKING SPACES, ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF 98 INCHES (2489 MM) MINIMUM.  
**118-502.6 IDENTIFICATION.** PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 118-703.7.2.1 IN WHITE ON A BLUE BACKGROUND. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE". SIGNS SHALL BE 60 INCHES (1524 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.  
**EXCEPTION:** SIGNS LOCATED WITHIN A CIRCULATION PATH SHALL BE A MINIMUM OF 80 INCHES (2032 MM) ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.  
**118-502.6.1 FINISH AND SIZE.** PARKING IDENTIFICATION SIGNS SHALL BE REFLECTORIZED WITH A MINIMUM AREA OF 70 SQUARE INCHES (45,161 MM²).  
**118-502.6.2 MINIMUM FINE.** ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FINE \$25".  
**118-502.6.3 LOCATION.** A PARKING SPACE IDENTIFICATION SIGN SHALL BE VISIBLE FROM EACH PARKING SPACE. SIGNS SHALL BE PERMANENTLY POSTED OTHER IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE.  
**118-502.6.4 MARKING.** EACH ACCESSIBLE CAR AND VAN SPACE SHALL HAVE SURFACE IDENTIFICATION COMPLYING WITH EITHER SECTION 118-502.6.4.1 OR 118-502.6.4.2.  
**118-502.6.4.1 THE PARKING SPACE SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 118-703.7.2.1 IN WHITE ON A BLUE BACKGROUND A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH (914 MM BY 914 MM). THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES (152 MM) FROM THE CENTERLINE OF THE PARKING SPACE. ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT OR LOWER SIDE ALIGNED WITH THE END OF THE PARKING SPACE LENGTH.  
**118-502.6.4.2 THE PARKING SPACE SHALL BE OUTLINED IN BLUE OR PAINTED BLUE AND SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 118-703.7.2.1 A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH (914 MM BY 914 MM) IN WHITE OR A SUITABLE CONTRASTING COLOR. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES (152 MM) FROM THE CENTERLINE OF THE PARKING SPACE. ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT OR LOWER SIDE ALIGNED WITH THE END OF THE PARKING SPACE.****

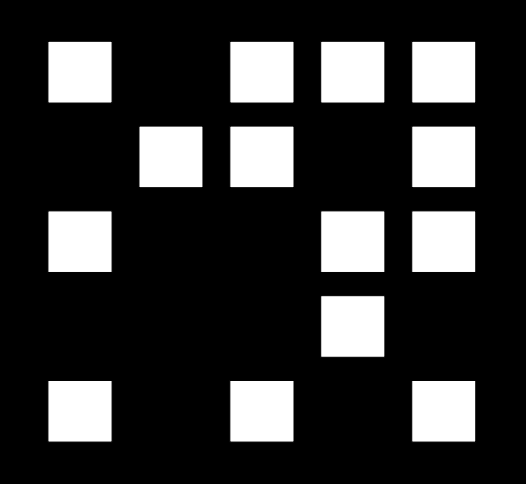


**SITE GENERAL NOTES**

1. GENERAL (E) SURFACE DRAINAGE PATTERN, INCLUDING (E) ROOF DRAINAGE LOAD TRANSFERRED TO GROUND LEVEL, IS TO REMAIN AS IS.
2. THIS IS A CONCEPTUAL SITE PLAN. UNLESS OTHERWISE NOTED, ALL ELEMENTS AND CONDITIONS ARE EXISTING.
3. VEHICULAR ACCESS DRIVES MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT CONSTRUCTION.
4. CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SIGNS AND TRAFFIC CONES PER LOCAL REQUIREMENTS. ACCESS TO DRIVEWAYS TO BE MAINTAINED AT ALL TIMES. ALL TRAFFIC CONTROL MEASURES SHALL BE APPROVED AND IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY.
5. ALL MATERIALS AND WORKMANSHIP FOR PUBLIC FACILITIES TO CONFORM TO CITY STANDARD CONSTRUCTION SPECIFICATIONS.
6. CONTRACTOR SHALL SWEEP ENTIRE SITE OR PORTIONS OF SITE TO BE USED BY THE PUBLIC AND SURROUNDING RIGHT-OF-WAY AREA OF THE STREET PRIOR TO USE BY THE GENERAL PUBLIC.
7. THE SITE SHALL BE KEPT FREE OF FIRE HAZARDS FROM THE START OF CONSTRUCTION TO FINAL INSPECTION.
8. THE G.C. SHALL IMPLEMENT A BEST MANAGEMENT PRACTICE STORMWATER FOR ALL ACTIVITIES PER CAL GREEN REQUIREMENTS.
9. THE G.C. IS RESPONSIBLE TO VERIFY ALL UNDERGROUND UTILITIES PRIOR TO PERFORMING EXTERIOR WORK. CALL 811 BEFORE DIGGING.
10. G.C. TO VERIFY ANY ABRUPT CHANGE IN LEVEL EXCEEDING 1/2" EXISTING CONCRETE SLAB/ASPHALT TRANSITION FROM ENTRY TO PUBLIC WAY/ACCESS. G.C. TO PROVIDE CLEAR PATH OF TRAVEL, PER SECTION 118-303.
11. SITE & PARKING ARE EXISTING TO REMAIN UNCHANGED.
12. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, CONTRASTING WITH THEIR BACKGROUND. NUMBERS SHALL BE A MINIMUM OF 6 INCHES HIGH WITH A MINIMUM STROKE OF .5 INCHES. WHERE ACCESS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. (CFC 505.1)
13. THE G.C. IS RESPONSIBLE TO FIELD VERIFY AND LOCATE ALL WET AND DRY UTILITIES CONNECTION POINTS PRIOR TO ANY DEMOLITION OR CONSTRUCTION. (I.E. GAS, WATER AND SEWER, CLEAN OUTS, ETC.
14. GENERAL CONTRACTOR SHALL REDUCE CONSTRUCTION WASTE BY 65%.
15. GENERAL CONTRACTOR SHALL VERIFY THAT CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND DIVERTED FROM LANDFILLS.

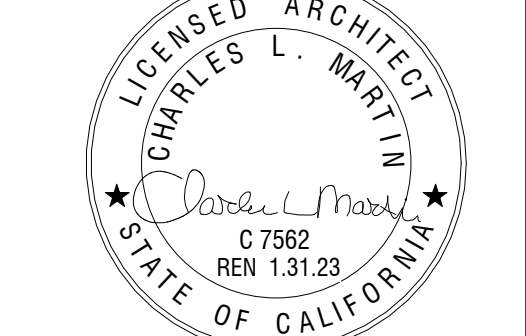
**EXISTING SITE CONDITIONS**

EXISTING SITE ITEMS INCLUDING PARKING, CURBS, RAMPS, STAIRS, ELEVATORS, ETC. ARE HC COMPLYING EXCEPT FOR WHAT IS BEING MODIFIED AS PER PROPOSED PLANS, SUBJECT TO FIELD VERIFICATION.



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**NARKWEATHER**  
 ARCHITECTS INCORPORATED

73330 HWY 111 SUITE A  
 PALM DESERT, CA 92260



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No.	Desc.	Date
2	COUNTY REV	12AUG20

No.	Desc.	Date

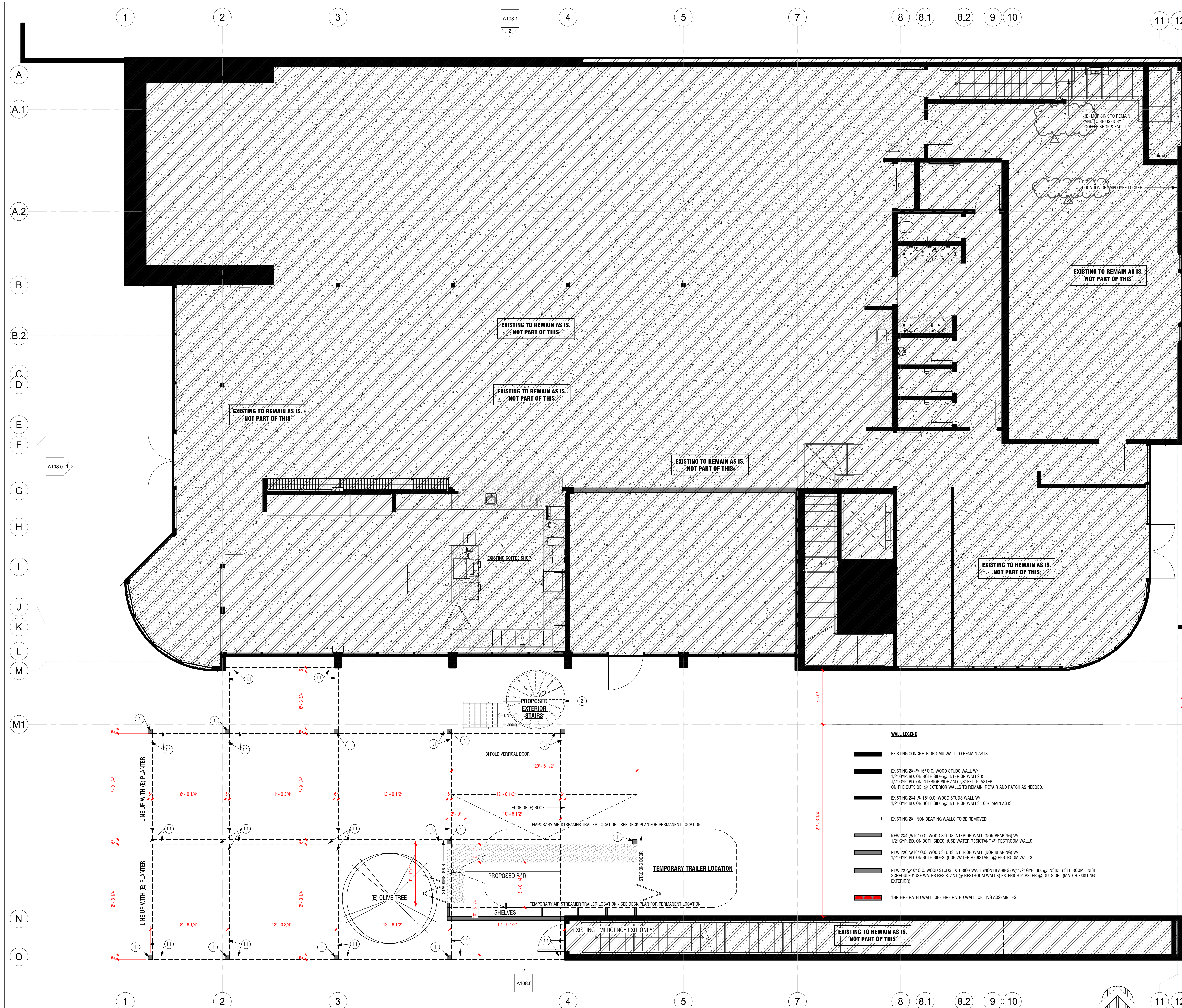
**EXTERIOR OPEN STAIRS & METAL STRUCTURE @ 2nd FLOOR**  
 750 NORTH PALM CANYON DRIVE PALM SPRINGS, CA 92262  
 APN 505-503-018

PLANNING SUBMITTAL

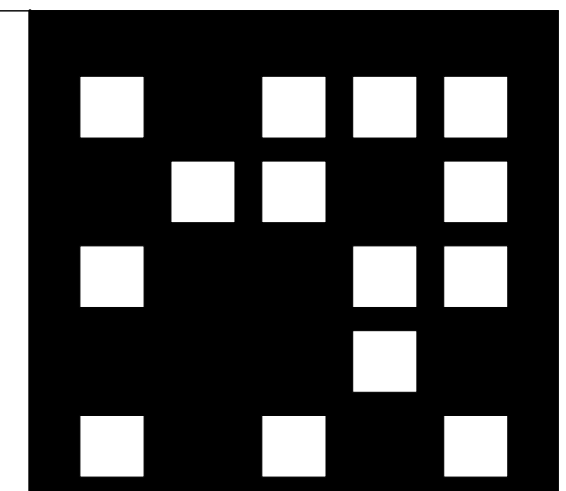
**SITE PLAN**

Project number	2K1931
Date	20211122
Drawn by	YAS
Checked by	A.A.

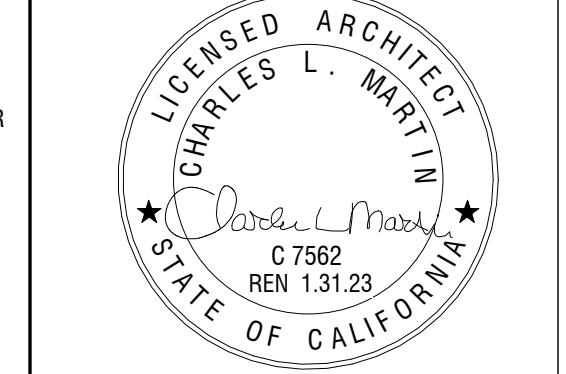
**A104.0**  
 Scale 1/16" = 1'-0"



GENERAL NOTES:  
 1. SEE REFLECTED CEILING PLAN FOR SOFFIT AND LIGHTING INFORMATION.  
 2. NOTIFY ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES WITH PLANS IN RELATION TO EXISTING FIELD CONDITIONS.  
 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE ON THE CONSTRUCTION DOCUMENTS. DO NOT EVER SCALE DRAWINGS.  
 4. DIMENSIONS ARE FROM FACE OF FINISHED WALL (GWB) TO FACE OF FINISHED WALL (GWB), UNLESS OTHERWISE NOTED ON PLANS.  
 5. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND/OR INSTRUCTIONS.  
 6. ALL WORK SHALL BE EXECUTED IN A MANNER ACCEPTABLE TO THE ARCHITECT, OWNER, AND LAND/ORG UNLESS NOTED OTHERWISE.  
 7. THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY ALL LABOR, MATERIAL EQUIPMENTS, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, TRANSPORTATION AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF WORK.  
 8. THE CONTRACTOR WARRANTS TO THE OWNER AND TO THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT ARE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORKS SHALL BE AS SPECIFIED AND FREE OF DEFECTS.  
 9. ALL OUTSIDE CORNERS AT DRYWALL PARTITION AND FURRING TO HAVE METAL CORNER BEADS SPACKLE AND SMOOTH.  
 10. PROVIDE DIAGONAL BRACING TO STRUCTURE ABOVE ALL NEW DOORS, GLAZING HEADS AND JAMBS AS REQUIRED TO MAKE ASSEMBLY RIGID.  
 11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTINUOUS CLEAN UP, AS WELL AS THE FINAL CLEAN UP OF THE AREA OF WORK AND AREA AFFECTED BY CONSTRUCTION TO INCLUDE BUT NOT LIMITED TO FLOORS, MILLWORK, FIXTURES, ETC. FOLLOWING THE INSTALLATION OF THE MILLWORK.  
 12. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS FOR THE WALL MOUNTED TELEVISIONS AND GRAPHIC SIGNAGE TO PROVIDE BLOCKING FOR MOUNTING.  
 13. ALL WET PLUMBING WALLS ARE TO BE PROVIDED WITH MOISTURE RESISTANT BOARD, UNLESS TILE IS TO BE USED, THEN PROVIDE CEMENT BACKER BOARD.  
 14. ALL PLUMBING WALLS ARE TO BE 8" METAL STUD FRAMING, PROVIDE REQUIRED BLOCKING FOR WALL MOUNTED FIXTURES, GRAB BARS, SHELVING, CABINETS, ETC.  
 15. THERE SHALL BE NO PENETRATION TO A DEMISING WALL, UNLESS OTHERWISE NOTED. IF PENETRATIONS ARE TO BE NOTED, THEN ALL PENETRATIONS INCLUDING CONDUITS, PIPES, DUCTWORK, ETC. SHALL BE UL RATED PER CURRENT CODE REQUIREMENTS.  
 16. NO PLUMBING IS ALLOWED IN DEMISING WALLS. FURR OUT AS REQUIRED.  
 17. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. CBC 10101.9 IN LIEU OF THE ABOVE, IN GROUP B, OR S OCCUPANCIES OR GROUP A OCCUPANCIES HAVING AN OCCUPANT LOAD OF 300 OR LESS) PROVIDE A SIGN ON OR NEAR THE EXIT DOOR, READING "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED." THIS SIGNAGE IS ONLY ALLOWED AT THE MAIN EXIT. CBC 10101.9.3



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No.	Desc.	Date
2	COUNTY REV	12AUG20

**EXTERIOR OPEN STAIRS & METAL STRUCTURE @ 2nd FLOOR**  
 750 NORTH PALM CANYON DRIVE PALM SPRINGS, CA 92262  
 APN: 505-303-018

PLANNING SUBMITTAL

Ground PROPOSED PLAN

Project number: 2K1931  
 Date: 20211122  
 Drawn by: YAS  
 Checked by: A.A.

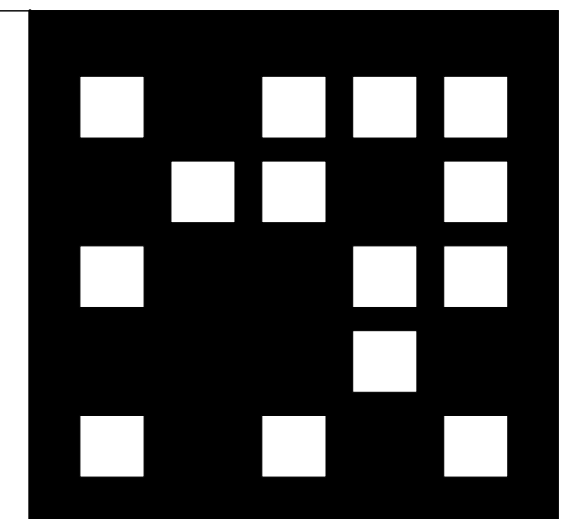
**Ground LEVEL KEYNOTES**

NOTE #	NOTE TEXT
1	NEW METAL POST. 6X6. PAINTED BLACK TO MATCH EXISTING RAILINGS.
1.1	NEW METAL FRAME ABOVE. TO BE PAINTED BLACK TO MATCH EXISTING RAILINGS.
2	NEW PROPOSED PRE FAB SPIRAL STAIRS. MATCH EXISTING RAILINGS TO BE PAINTED BLACK.

**1 PROPOSED PLAN**  
 1/4" = 1'-0"

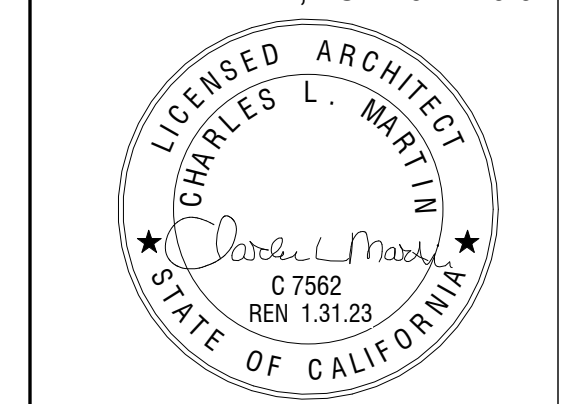
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 Scale: 1/4" = 1'-0"

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No.	Desc.	Date

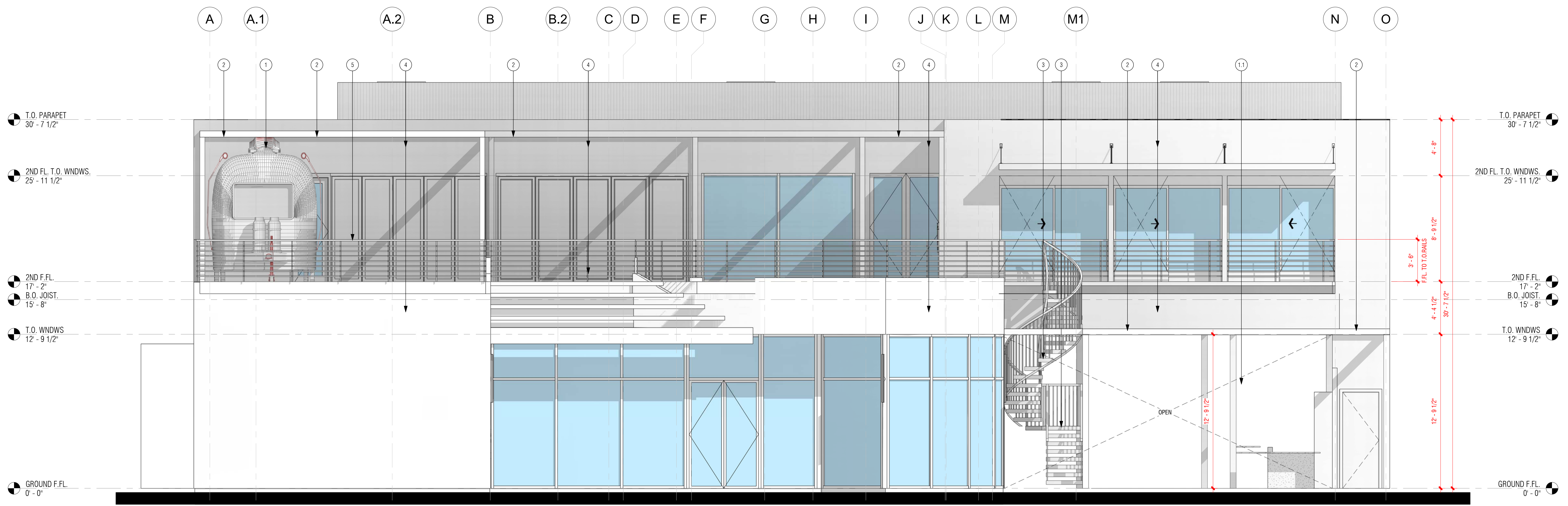
**EXTERIOR OPEN STAIRS & METAL STRUCTURE @ 2nd FLOOR**  
 750 NORTH PALM CANYON DRIVE PALM SPRINGS, CA 92262  
 APN: 505-303-018

PLANNING SUBMITTAL

**EXTERIOR BUILDING ELEVATIONS**

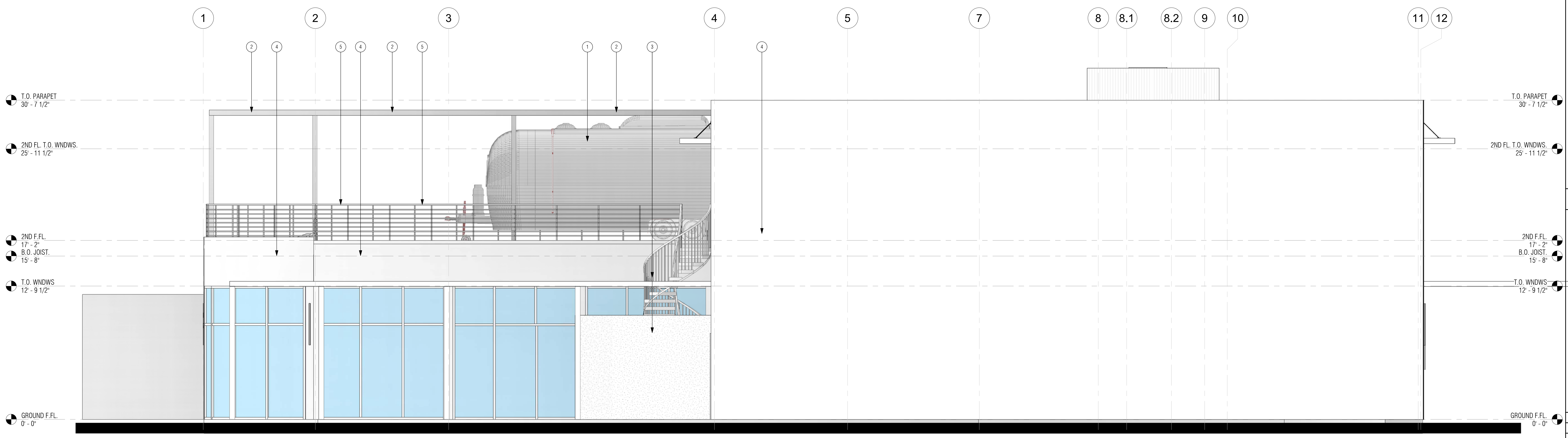
Project number: 2K1931  
 Date: 20211122  
 Drawn by: YAS  
 Checked by: A.A.

**A108.0**  
 Scale: 1/4" = 1'-0"

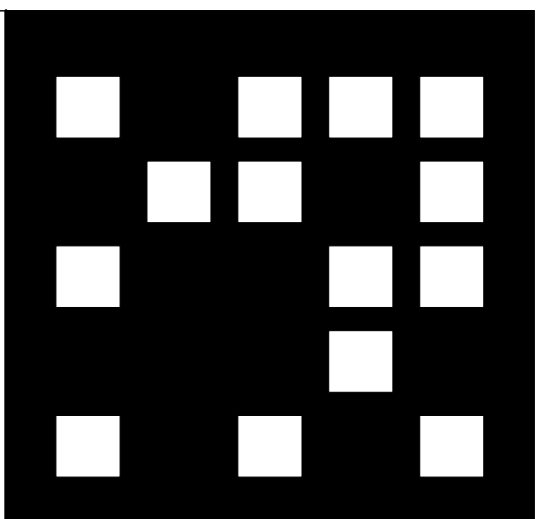


**1 WEST ELEVATION**  
 1/4" = 1'-0"

NOTE #	NOTE TEXT
1	PROPOSED AIRSTREAM RV - 28FT LONG
1.1	TEMPORARY LOCATION OF AIRSTREAM TRAILER: 28FT LONG
2	PROPOSED PREFAB METAL FRAME STRUCTURE, TO BE INSTALLED PER MANUFACTURER SPECS.
3	PROPOSED EXTERIOR STAIRS.
4	EXISTING EXTERIOR PLASTER 'STRUCCO' TO REMAIN AS IS.
5	EXISTING GUARD RAILS TO REMAIN AS ARE.



**2 SOUTH ELEVATION**  
 1/4" = 1'-0"



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No.	Desc.	Date

**EXTERIOR OPEN STAIRS & METAL STRUCTURE @ 2nd FLOOR**  
 750 NORTH PALM CANYON DRIVE PALM SPRINGS, CA 92262  
 APN: 505-303-018

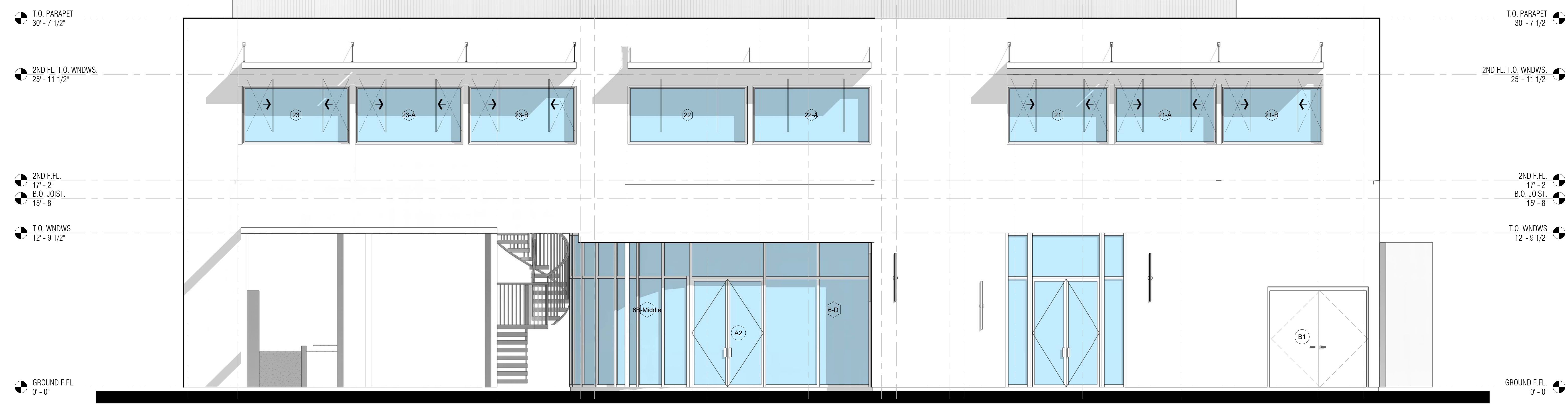
PLANNING SUBMITTAL

**EXTERIOR BUILDING ELEVATIONS**

Project number: 2K1931  
 Date: 20211122  
 Drawn by: YAS  
 Checked by: A.A.

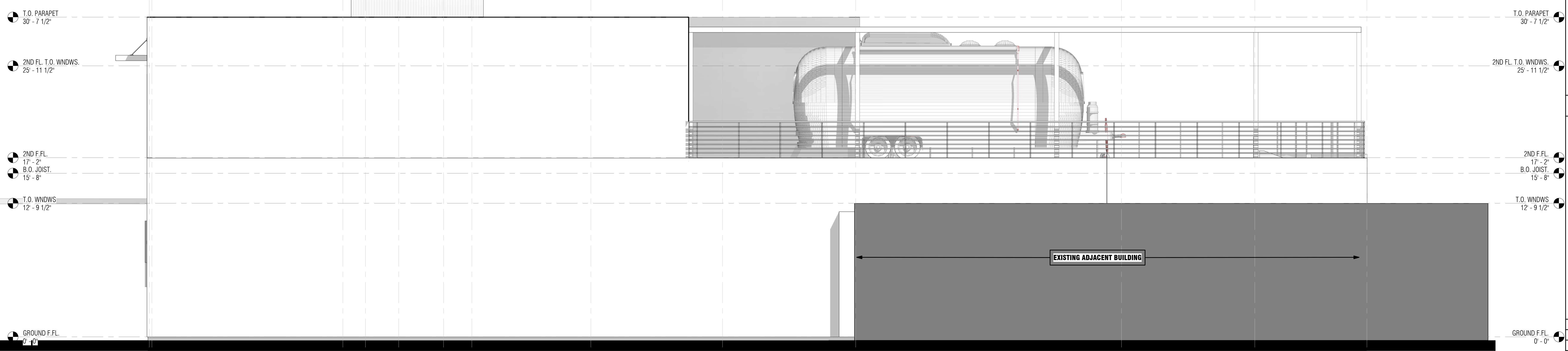
**A108.1**  
 Scale: 1/4" = 1'-0"

O N M1 M L J K I H G F E D C B.2 B A.2 A.1 A

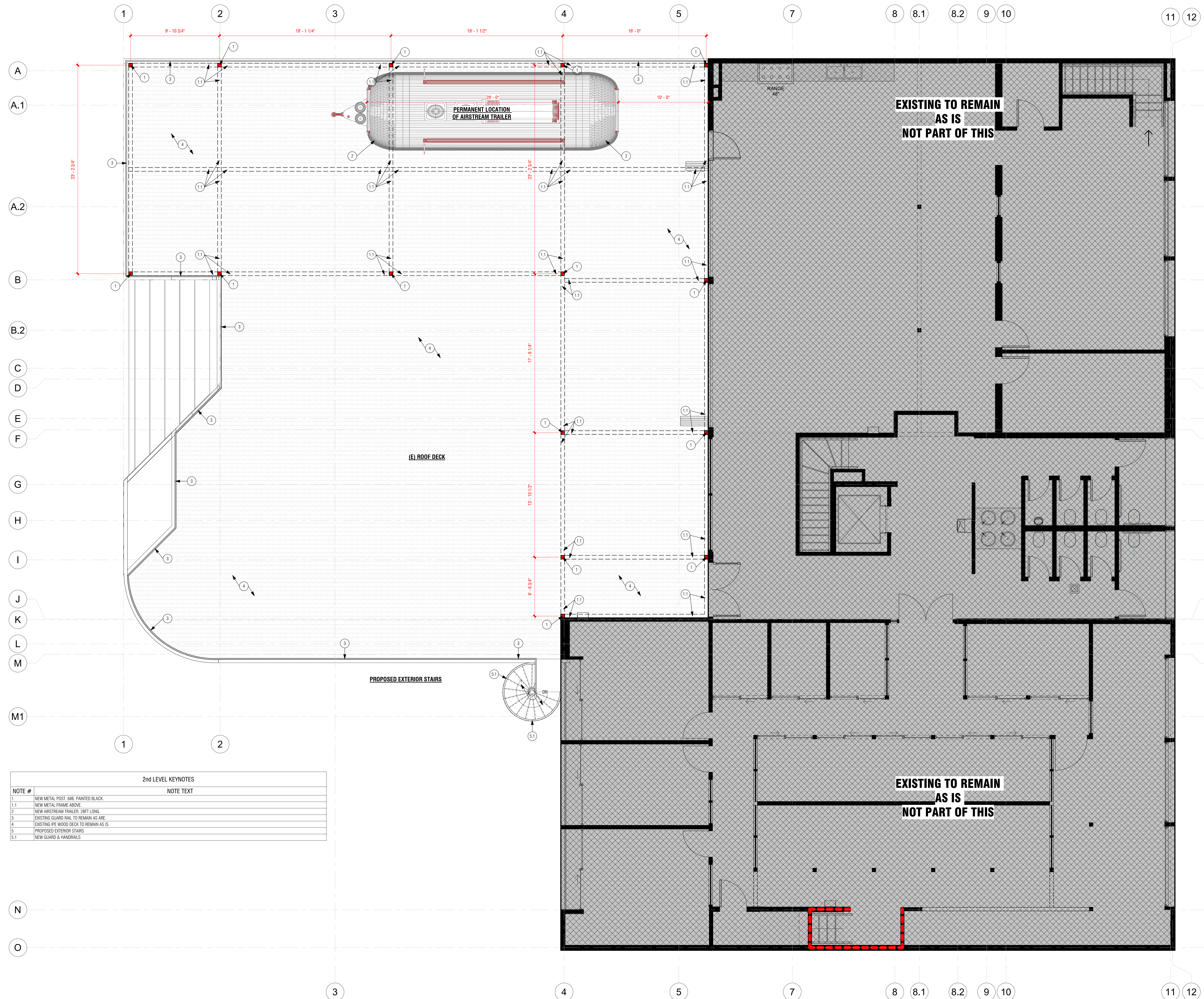


**1 East**  
 1/4" = 1'-0"

12 11 10 9 8.2 8.1 8 7 5 4 3 2 1



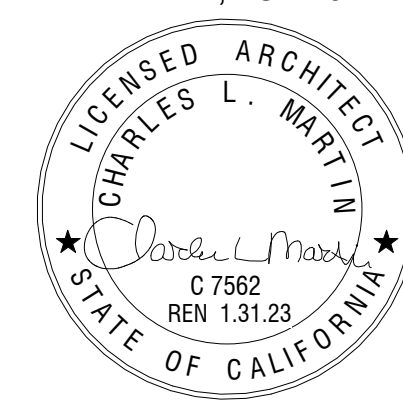
**2 North**  
 1/4" = 1'-0"



2nd LEVEL KEYNOTES	
NOTE #	NOTE TEXT
1	NEW METAL POST, 6X6, PAINTED BLACK
1.1	NEW METAL FRAME ABOVE
2	NEW AIRSTREAM TRAILER, 28FT LONG
3	EXISTING GUARD RAIL TO REMAIN AS ARE
4	EXISTING IPE WOOD DECK TO REMAIN AS IS
5	PROPOSED EXTERIOR STAIRS
5.1	NEW GUARD & HANDRAILS

**1 Level 2 PROPOSED PLAN**  
1/4" = 1'-0"

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No.	Desc.	Date

**EXTERIOR OPEN STAIRS & METAL STRUCTURE @ 2nd FLOOR**  
750 NORTH PALM CANYON DRIVE PALM SPRINGS, CA 92262  
APN: 505-303-018

PLANNING SUBMITTAL

Level 2 - PROPOSED PLAN

Project number	2K1931
Date	20211122
Drawn by	YAS
Checked by	AA

**A205.0**  
Scale 1/4" = 1'-0"

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