

ATTACHMENT 8

REVISED PLANS

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 2 OF PARCEL MAP NO. 27912, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP ON FILE IN BOOK 183, PAGES 35 TO 37 INCLUSIVE OF PARCEL MAPS, RIVERSIDE COUNTY RECORDS.

FOR CONVEYANCING PURPOSES ONLY: APN 677-260-027

SURVEY DATA:

AREA OF EXISTING PARCEL (TOTAL):
154,457 sqft/ 3.55 Acres (Gross)
152,334 sqft/ 3.50 Acres (Net)

BENCHMARK:

2" BRONZE DISC STAMPED "CPS GEMINI RESET 1984" IN W.S.W. RETURN 1" SOUTH OF FACE OF CURB AT THE INTERSECTION OF VISTA CHINO AND VIA ROBERTO MIGUEL.

ELEVATION: 465.272FT (NGVD29)

BASIS OF BEARINGS:

THE BEARING ALONG THE CENTERLINE OF GENE AUTRY TRAIL AS SHOWN ON PARCEL MAP FILED IN BOOK 183 OF PARCEL MAPS, AT PAGES 35 TO 37, RIVERSIDE COUNTY RECORDS, WITH A BEARING OF N28°01'38"W, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN HEREON.

Flood Zone Information

This property lies in Zone "X" as shown on Federal Emergency Management Agency (FEMA) Alameda County and Incorporated Areas, California, Map No. 06065C1559G Map Revised: August 28, 2008.

Flood Zone "X" is described as "Area with reduced flood risk due to levee."

General Site Information

- A Title Report was supplied by First American Title Company, order number NCS-1053742-HHLV dated April 22, 2021.
- The Title to said estate of interest at the date hereof is vested in:
Knollwood Partnership / Palm Springs, LLC, a California Limited Liability Company
- The property consists of Assessor Parcel Number 677-260-027.
- The site address is 890 N Gene Autry Trail, Palm Springs, CA 92262.
- The property contains: 154,457 sqft/ 3.55 Acres (Gross)

Zoning Information

Source: City of Palm Springs, CA, Municipal Codes
Status:
Zone District: PD - Planned Development

Minimum Setbacks (ft.):

Front: Per PD APPROVALS
Interior Side: Per PD APPROVALS
Street Side: Per PD APPROVALS
Rear: Per PD APPROVALS
Floor Space Area Restrictions (%): Per PD APPROVALS
Maximum Building Height: Per PD APPROVALS

Surveyor's Notes

- There are no buildings on the property.
- The property consists of 1 Assessor's parcel number.
- The property abuts the following street:
N. Gene Autry Trail.

SCHEDULE B EXCEPTIONS FROM COVERAGE

- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.
- (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
- Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
- (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
- General and special taxes and assessments for the fiscal year 2021-2022, a lien not yet due or payable.
- This item has been intentionally deleted.
- This item has been intentionally deleted.
- This item has been intentionally deleted.
- The lien of supplemental taxes, if any, assessed pursuant to Chapter 3.5 commencing with Section 75 of the California Revenue and Taxation Code.
- This item has been intentionally deleted.
- This item has been intentionally deleted.
- This item has been intentionally deleted.
- A deed of trust to secure an original indebtedness of \$713,516.00 recorded November 12, 2004 as Instrument No. 2004-0901570 of Official Records.

Dated: November 04, 2004
Trustor: A.D.B. Exchange Accomodator, L.L.C., a California limited liability company
Trustee: Chicago Title Company, a California corporation
Beneficiary: Fon Partners

A document recorded February 03, 2005 as Instrument No. 2005-0097510 of Official Records, provides that the obligation secured by the deed of trust was assumed by Arnold Familian and Edith Familian, Co-Trustees of the Arnold and Edith Familian Family Trust dated July 10, 1992.
- An easement for right of way and incidents thereto for a public highway and incidental purposes, recorded November 12, 2020 as Instrument No. 2020-0562571 of Official Records.

In Favor of: the State of California, Department of Transportation
Affects: as described therein
- Water rights, claims or title to water, whether or not shown by the Public Records.
- This item has been intentionally deleted.
- Rights of parties in possession.

Title Legend:

- Indicates Preliminary Title Report Item is BLANKET in nature and affects entire subject parcel and/or other properties.
- Indicates Preliminary Title Report Schedule B Item is PLOTTABLE and is plotted hereon.
- Indicates Preliminary Title Report Schedule B Item is NOT PLOTTABLE due to the nature of its affect.
- Indicates that the Preliminary Title Report Item DOES NOT AFFECT the subject property.
- Indicates that the affect of Preliminary Title Report Item CANNOT BE DETERMINED due to erroneous information or undocumented recording.
- Indicates that the Preliminary Title Report Item is a TAX item or TITLE reference only.



TOPOGRAPHIC LEGEND & ABBREVIATIONS

EXISTING GROUND CONTOUR	---	BSW	BACK OF WALK
EXISTING ELEVATION	533.00	C	CONCRETE
SIGN	○	DRVWY	DRIVEWAY
PROPERTY LINE	---	P	PAVEMENT
EASEMENT LINE	---	EMCS	EMERGENCY FLOWLINE
CURB & GUTTER	==	FL	FLOWLINE
CONCRETE CURB	==	MH	MANHOLE
FLOWLINE	---	SDMH	STORM DRAIN MAN HOLE
UNDERGROUND WATERLINE	---	SSMH	SANITARY SEWER MAN HOLE
UNDERGROUND TELEPHONE LINE	---	TC	TOP OF CURB
UNKNOWN UNDERGROUND UTILITY	---	SIG BOX	TRAFFIC SIGNAL BOX
UNDERGROUND ELECTRIC LINE	---	WALL	WALL
NATURAL GAS	---	WM	WATER METER
CONCRETE BLOCK WALL	---	WV	WATER VALVE
CHAIN LINK FENCE	---		
WOOD FENCE	---		
STORM DRAIN LINE	---		
SANITARY SEWER MAIN	---		
BOLLARD	---		
WATER VALVE	---		
GUY	---		
SANITARY SEWER MANHOLE	---		

FOUND MONUMENT NOTES

- FOUND 2" BRASS DISK DOWN 0.5' IN MONITORING WELL, PER BOOK 183 OF PARCEL MAPS, AT PAGES 35 TO 37, RIVERSIDE COUNTY RECORDS.
- 2" BRASS DISK DOWN 0.5' IN MONITORING WELL, PER BOOK 183 OF PARCEL MAPS, AT PAGES 35 TO 37, RIVERSIDE COUNTY RECORDS.

BOUNDARY LEGEND:

- MONUMENT FOUND AND ACCEPTED AS NOTED
- EXCEPTIONS TO COVERAGE

SURVEYOR'S CERTIFICATE

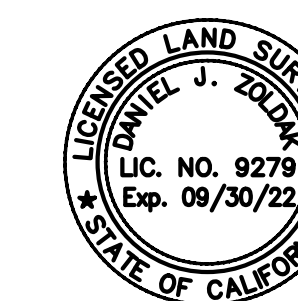
This Survey is made for the benefit of :

Knollwood Partnership / Palm Springs, LLC

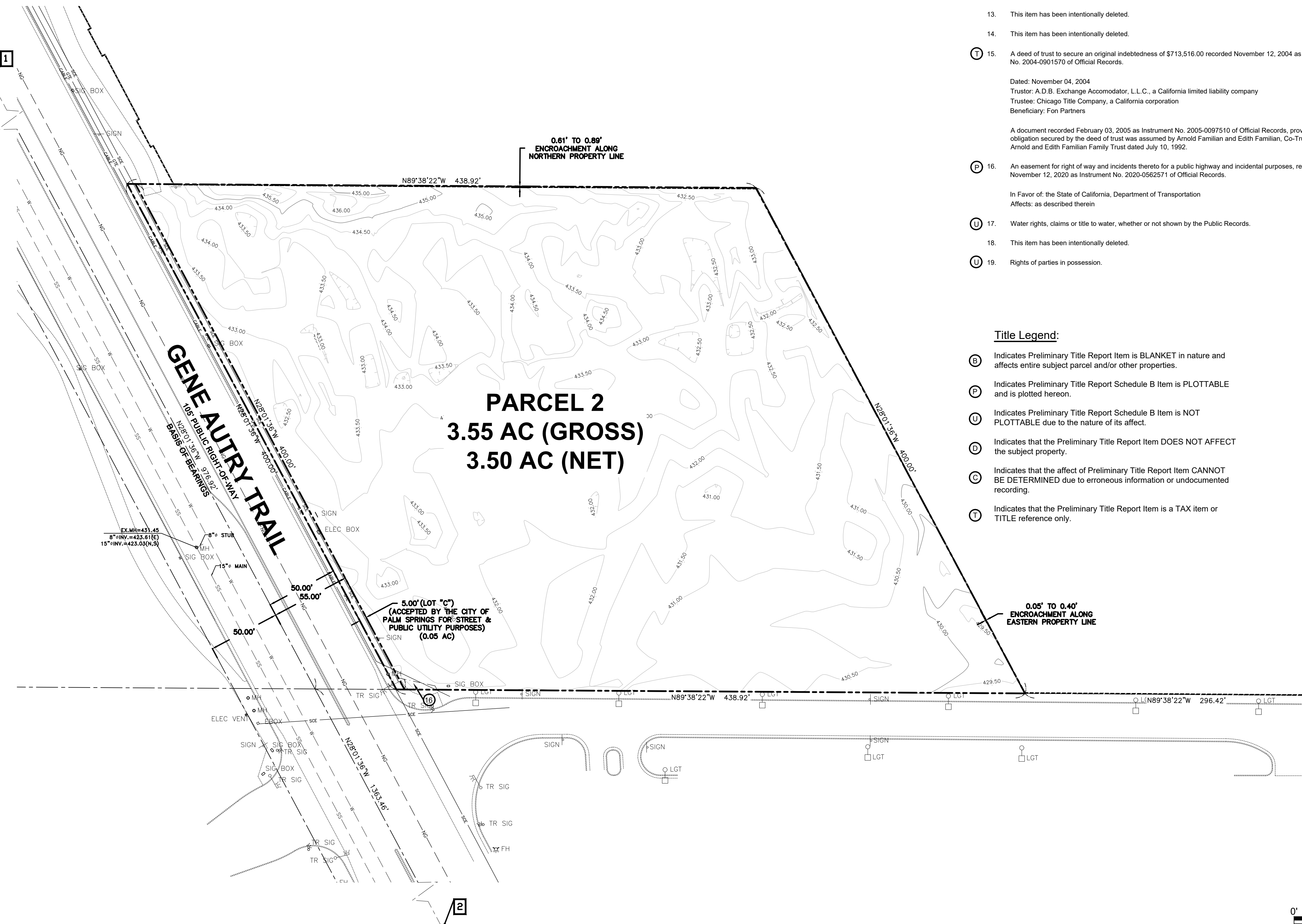
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA / NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6, 7(a), 7(b1), 8, 9, 10, 11(a), 11(b), 13, and 19 of Table A, thereof.

Date of Plat or Map: June 6, 2021.

By: _____
Name: DANIEL J. ZOLDAK
Registered Professional Land Surveyor No. 9279
Date: _____



According to Section 8770.6 of the Business and Professions Code, State of California, Professional Surveyors Act, as amended January 1, 2011, the use of the word "certify" or "certification" by a Licensed Land Surveyor or Registered Civil Engineer in the practice of professional engineering or land surveying or the preparation of maps, plats, reports, descriptions, or other surveying documents only constitutes an expression of professional opinion regarding those facts or findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.



SCALE 1"=40'

ALTA/NSPS LAND TITLE SURVEY

For
Knollwood Partnership / Palm Springs, LLC
890 N. Gene Autry Trail
City of Palm Springs, County of Riverside, State of California

LARS ANDERSEN & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS - PLANNERS
4694 WEST JACQUELYN AVENUE FRESNO CALIFORNIA 93722
TEL: 569 276-2790 FAX: 569 276-0850 WWW.LARSANDERSEN.COM

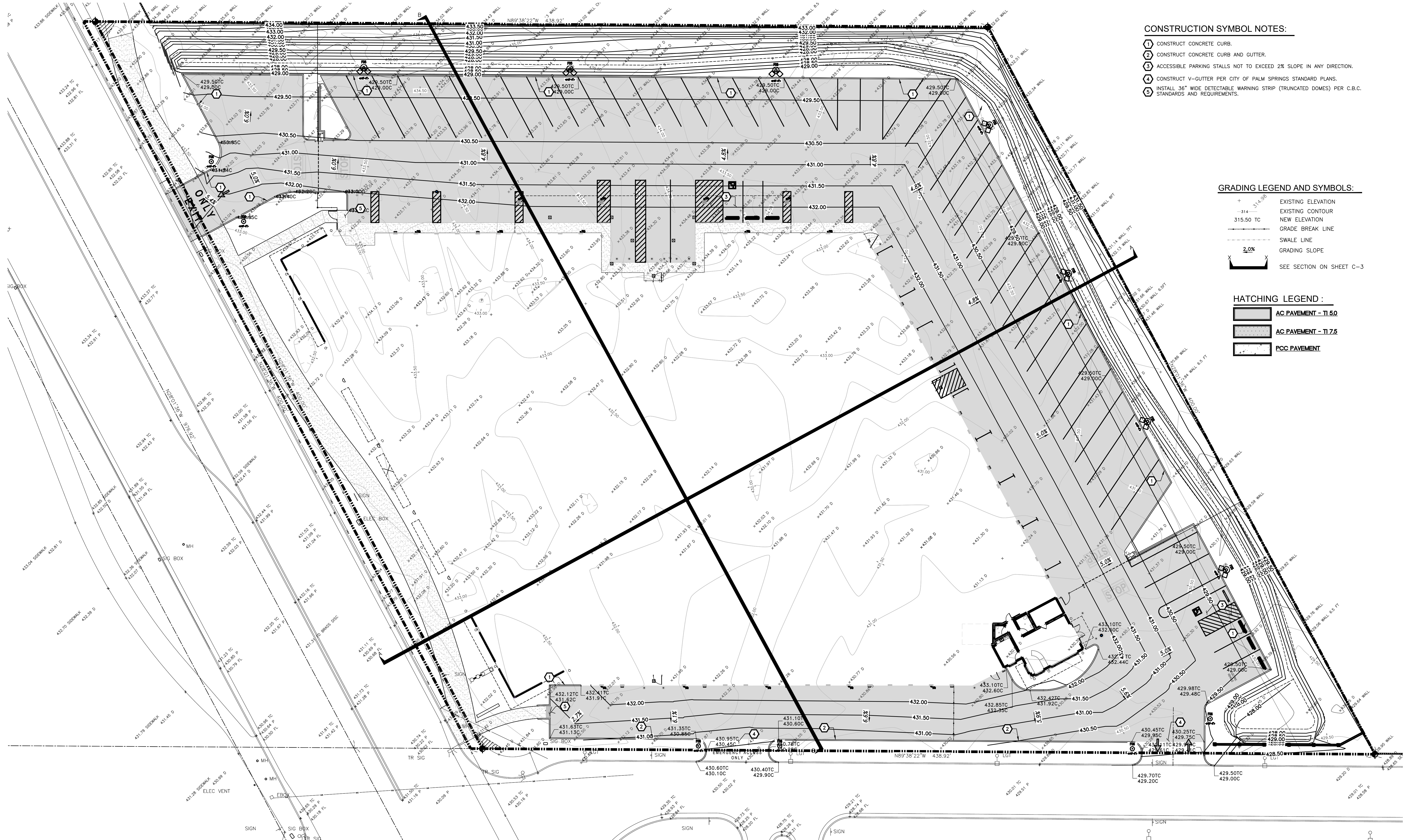
REVISIONS

DATE:	DWG. BY:
06/08/2021	DF
DATE:	DWG. BY:

DATE: 06/08/2021
SHEET NO. 1 OF 1
SCALE: 1"=40'
JOB NO. 999999.00
DRAWN BY: DF
CHECKED BY: DZ
PALM SPRINGS, CA

PREPARED FOR:
West Coast Self-Storage
City of Palm Springs, County of Riverside, State of California

L.A. PROJECT NO. 096989.00

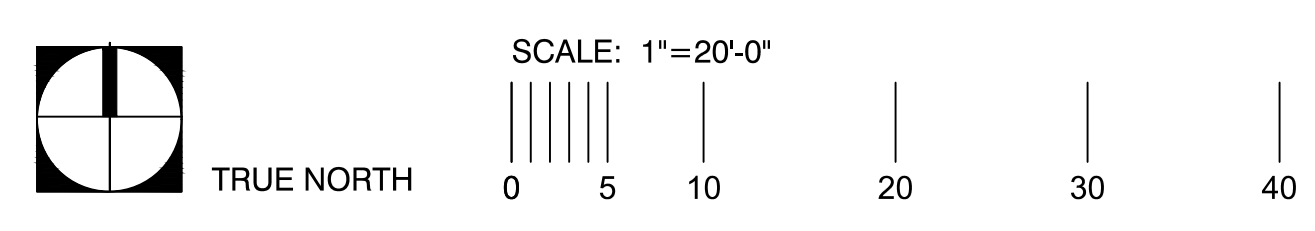


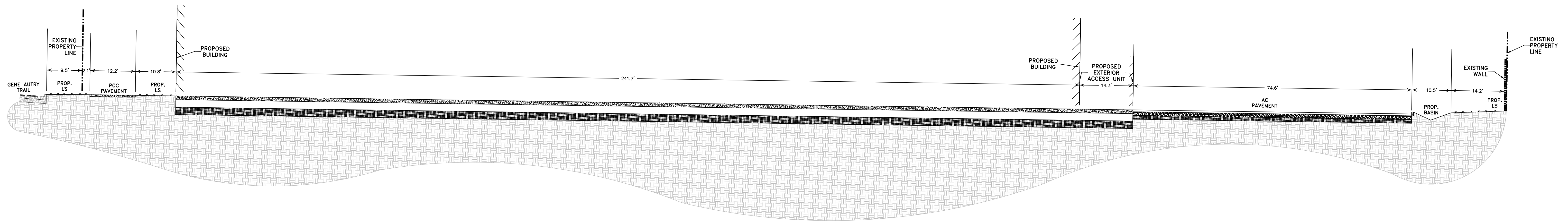
- CONSTRUCTION SYMBOL NOTES:**
- 1 CONSTRUCT CONCRETE CURB.
 - 2 CONSTRUCT CONCRETE CURB AND GUTTER.
 - 3 ACCESSIBLE PARKING STALLS NOT TO EXCEED 2% SLOPE IN ANY DIRECTION.
 - 4 CONSTRUCT V-GUTTER PER CITY OF PALM SPRINGS STANDARD PLANS.
 - 5 INSTALL 36" WIDE DETECTABLE WARNING STRIP (TRUNCATED DOMES) PER C.B.C. STANDARDS AND REQUIREMENTS.

- GRADING LEGEND AND SYMBOLS:**
- + 314.505 EXISTING ELEVATION
 - 314 EXISTING CONTOUR
 - 315.50 TC NEW ELEVATION
 - GRADE BREAK LINE
 - - - SWALE LINE
 - 2.0% GRADING SLOPE
 - SEE SECTION ON SHEET C-3

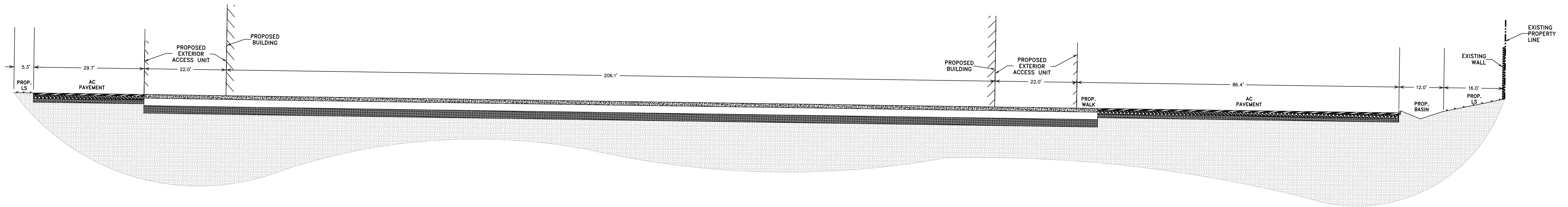
- HATCHING LEGEND:**
- AC PAVEMENT - TI 5.0
 - AC PAVEMENT - TI 7.5
 - PCC PAVEMENT

CONCEPTUAL GRADING PLAN



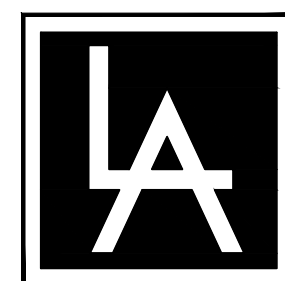


SECTION A-A
NO SCALE

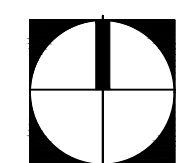


SECTION B-B
NO SCALE

CONCEPTUAL SITE SECTIONS

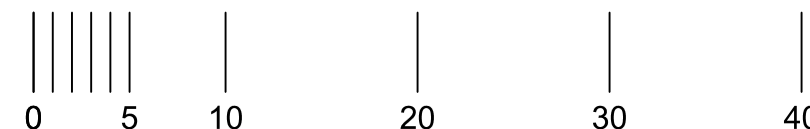


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 TEL: 559 276-2790 FAX: 559 276-0850 WWW.LARSANDERSEN.COM



TRUE NORTH

SCALE: 1"=20'-0"



WEST COAST SELF STORAGE
 890 NORTH GENE AUTRY TRAIL
 PALM SPRINGS, CA 92262

**CONCEPTUAL PLAN SET
 NOT FOR CONSTRUCTION**

C-3

21022.00

11.30.2021

8.70.100 - On-Site Stormwater Retention
 (i) A required on-site stormwater retention system shall have sufficient capacity to contain the volume of stormwater runoff representing the difference between the existing (undeveloped) condition and the proposed (developed) condition resulting from the most conservative duration (1-hour, 3-hour, 6-hour, or 24-hour) 100-year storm (hereafter defined as the "project storm"). This volume of stormwater runoff is defined as the "incremental volume of stormwater runoff".

NOAA Precipitation Frequency Data
 Location Name: Palm Springs, California, USA
 Latitude: 33.8275°, Longitude: -116.5097°

100-year storm	
1-hour	1.73in/hr
3-hour	0.87in/hr
6-hour	0.59in/hr
24-hour	0.24in/hr

DMA 1 TABLE

PAVEMENT/ BUILDING	NAME	AREA (S.F.)
	D1	40,994
LANDSCAPE	B2	890
	B3	815
	B4	1,822
	B5	496
TOTAL	Σ B + Σ D	45,017
REQ'D BASIN STORAGE		11,806 CF

DMA 2 TABLE

PAVEMENT/ BUILDING	NAME	AREA (S.F.)
	D2	33,615
LANDSCAPE	B6	1,568
	B7	264
TOTAL	Σ B + Σ D	35,183
REQ'D BASIN STORAGE		9,681 CF

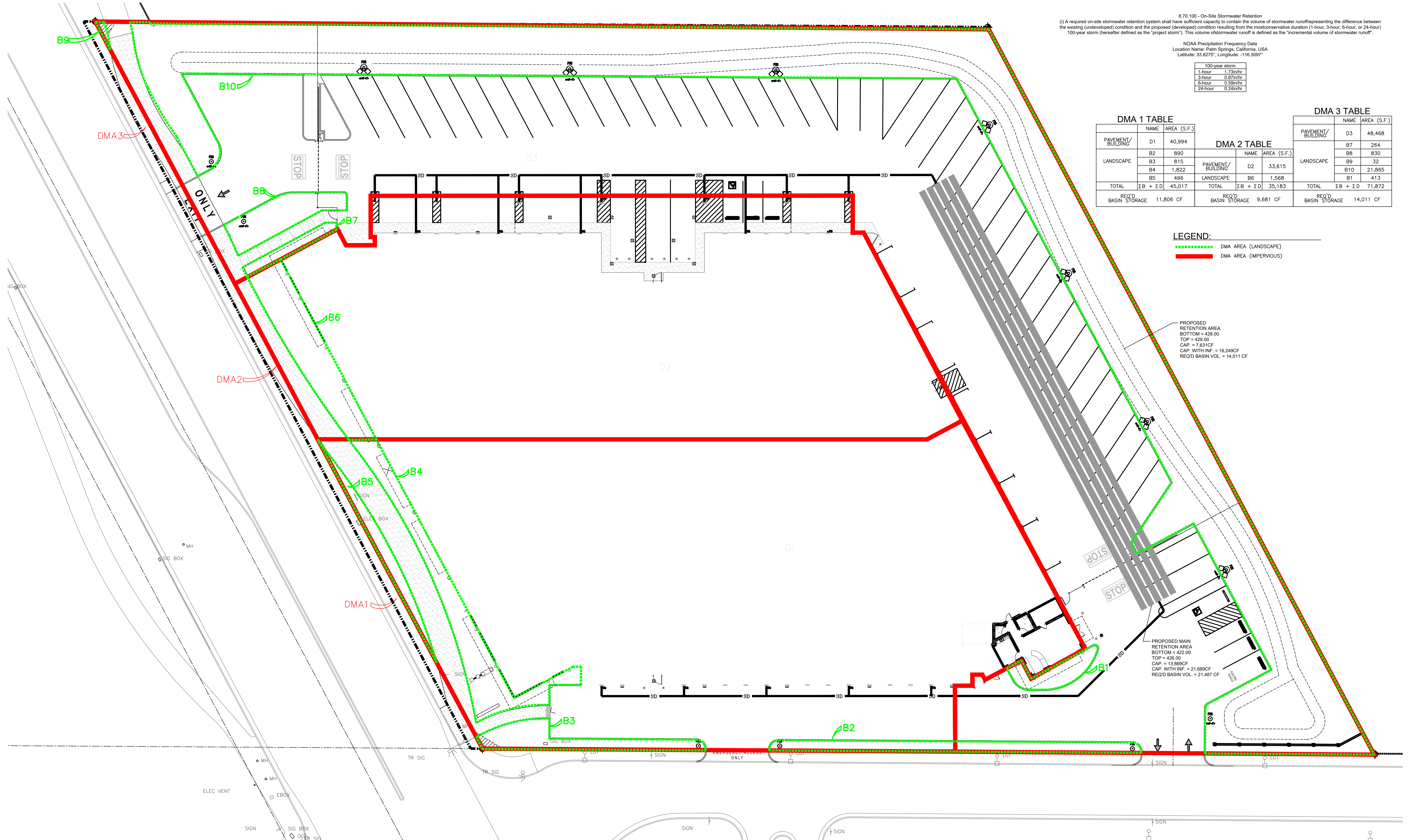
DMA 3 TABLE

PAVEMENT/ BUILDING	NAME	AREA (S.F.)
	D3	48,468
LANDSCAPE	B8	830
	B9	32
	B10	21,865
	B1	413
TOTAL	Σ B + Σ D	71,872
REQ'D BASIN STORAGE		14,011 CF

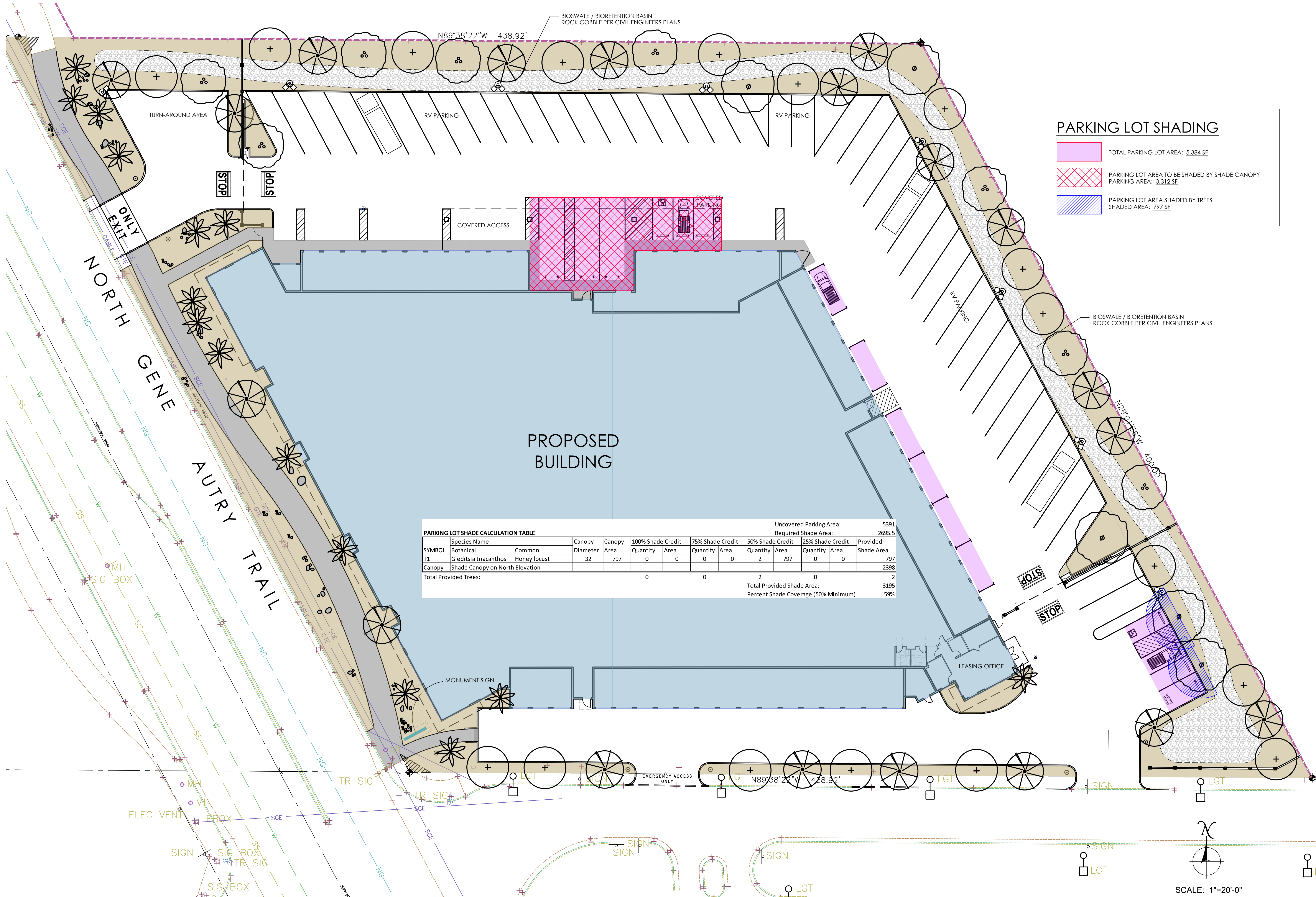
LEGEND:
 DMA AREA (LANDSCAPE)
 DMA AREA (IMPERVIOUS)

PROPOSED
RETENTION AREA
 BOTTOM = 428.00
 TOP = 429.00
 CAP = 7,651CF
 CAP. WITH INF. = 16,249CF
 REQ'D BASIN VOL. = 14,011 CF

PROPOSED MAIN
RETENTION AREA
 BOTTOM = 422.00
 TOP = 426.00
 CAP = 13,869CF
 CAP. WITH INF. = 21,689CF
 REQ'D BASIN VOL. = 21,487 CF



ONSITE HYDROLOGY PLAN



PARKING LOT SHADING

- TOTAL PARKING LOT AREA: 5,384 SF
- PARKING LOT AREA TO BE SHADED BY SHADE CANOPY: 3,312 SF
- PARKING LOT AREA SHADED BY TREES: 797 SF

PARKING LOT SHADE CALCULATION TABLE

SYMBOL	Species Name	Botanical	Common	Canopy Diameter	Canopy Area	100% Shade Credit		75% Shade Credit		50% Shade Credit		25% Shade Credit		Provided Shade Area
						Quantity	Area	Quantity	Area	Quantity	Area	Quantity	Area	
T1	Gleditsia triacanthos		Honey Locust	32	797	0	0	0	0	2	797	0	0	797
Canopy Shade Canopy on North Elevation										2				2398
Total Provided Trees:						0	0	0	0	2	0	0	0	2
Total Provided Shade Area:														3195
Percent Shade Coverage (50% Minimum):														59%

Uncovered Parking Area: 5391
Required Shade Area: 2695.5

Colleen M. Nolan
Landscape Architect, #5439
cnolan@cmn.net
13355 Silverado Court, Corona 92883
714.743.7915 cell



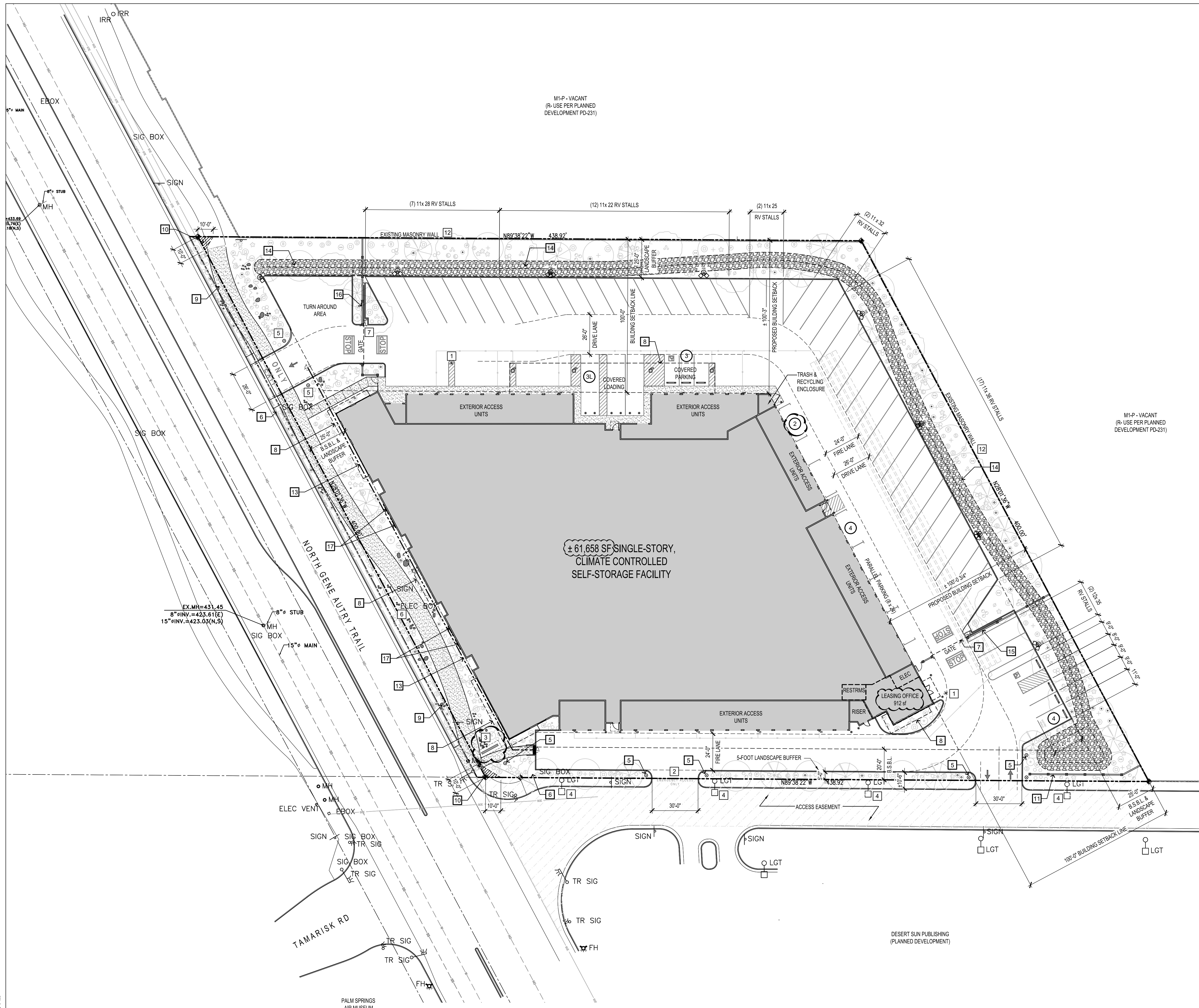
WEST COAST SELF STORAGE
PALM SPRINGS
890 NORTH GENE AUTRY TRAIL
PALM SPRINGS, CALIFORNIA 92262

DATE	NO.	DESCRIPTION
2022-06-22		ISSUE FOR ARC #2

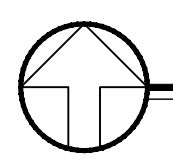
PROJECT NO.: 21059.00
PROJECT MGR.: C. NOLAN
DRAWN BY: CN
CHECKED BY: CN

SHADING PLAN

L1.3



21 June 2022, 02:19 PM



ARCHITECTURAL SITE PLAN

SCALE: 1" = 30'

KEY NOTES

- 1 KEYPAD BOLLARD WITH FOOTING. PROVIDE CONDUIT PER DETAIL.
- 2 'EMERGENCY VEHICLE ONLY' ACCESS GATE
- 3 MONUMENT SIGN: DOUBLE-SIDED, INTERNALLY ILLUMINATED, MAX. 74 SF, MAX. 8-FT HIGH; PROVIDE CONDUIT & POWER SUPPLY, UNDER SEPARATE PERMIT
- 4 EXISTING (OFF SITE) LIGHT POLE & FIXTURE(S); G.C. TO FIELD VERIFY AND PROVIDE UTILITY LOCATE(S) FOR CONDUIT(S) SERVING FIXTURES, TYPICAL.
- 5 NEW SITE LIGHT FIXTURES PER PLANS AND SITE PHOTOMETRIC STUDY, TYPICAL AS SCHEDULED.
- 6 EXISTING UTILITY BOX. G.C. TO FIELD VERIFY AND PROVIDE UTILITY LOCATE(S), TYPICAL.
- 7 6-FT H., SIGHT-OBSCURING AUTOMATIC ROLLING GATE & MOTOR OPERATOR
- 8 EXTENT OF CANOPY (OR) SUN-SHADE ABOVE
- 9 SEPARATE PARCEL 'C'. NOT A PART OF THIS PROJECT.
- 10 INTERSECTION VISIBILITY AREA (REF. PSZC 93.02.00,(D)(5))
- 11 4-FOOT HIGH, SPLIT FACE MASONRY BLOCK WALL w/ 16"x16" PILASTERS @ 12' O.C.; PRE-CAST WALL AND PILASTER CAPS; TIE INTO EXISTING WALL AT EASTERN TERMINUS.
- 12 EXISTING MASONRY WALL TO REMAIN. HEIGHT VARIES (± 6.5'- TO ± 8.5'- FEET FROM EXISTING GRADE). EXISTING HEIGHT IS ACCEPTABLE PER PLANNING DEPT. DETERMINATION.
- 13 150-FOOT FIRE HOSE/EMERGENCY ACCESS DISTANCE
- 14 BIO-INFILTRATION SWALE. REF. CIVIL DRAWINGS FOR DETAILS AND LANDSCAPE DRAWINGS FOR PLANTINGS
- 15 6-FOOT HIGH, SPLIT FACE (CMU-2) MASONRY BLOCK WALL w/ 16"x16" PILASTERS @ (MAX.) 12' O.C.; PRE-CAST WALL AND PILASTER CAPS; TIE INTO EXISTING WALL AT EASTERN TERMINUS.
- 16 6-FOOT HIGH, SPLIT FACE (CMU-2) MASONRY BLOCK WALL w/ 16"x16" PILASTERS @ (MAX.) 12' O.C.; PRE-CAST WALL AND PILASTER CAPS; TIE INTO EXISTING WALL AT NORTHERN TERMINUS.
- 17 GREENSCREEN TRELLIS PANELS - PER PLANS & ELEVATIONS. REFER TO LANDSCAPE DRAWINGS FOR PLANT MATERIALS.

FAR CALCULATIONS

FAR CALCULATIONS	
SITE AREA (sf)	154,457
ALLOWABLE FAR	50%
ALLOWABLE BUILDING AREA (sf)	77,229
PROPOSED BUILDING AREA (sf)	61,658
PROPOSED FAR	39.92%

SITE PLAN LEGEND

- PARKING COUNT
- LOADING BERTH COUNT
- FIRE HYDRANT
- SECURITY FENCING; 7- FEET HIGH
- LIGHT POLE, BASE AND FIXTURE PER PLANS AND DETAIL; NUMBER OF HEADS AND HEAD CONFIGURATION AS SHOWN IN PLAN; FIXTURE PER SCHEDULE <HEIGHT ABOVE FIN. GRADE> [PER PLANS]



**WEST COAST SELF STORAGE
PALM SPRINGS**
890 NORTH GENE AUTRY TRAIL
PALM SPRINGS, CALIFORNIA 92262

DATE	NO.	DESCRIPTION
2022-06-22	1	ISSUE FOR ARG #2

PROJECT NO.: 21059.00
PROJECT MGR.: DYM
DRAWN BY: DYM
CHECKED BY: TB

ARCHITECTURAL
SITE PLAN

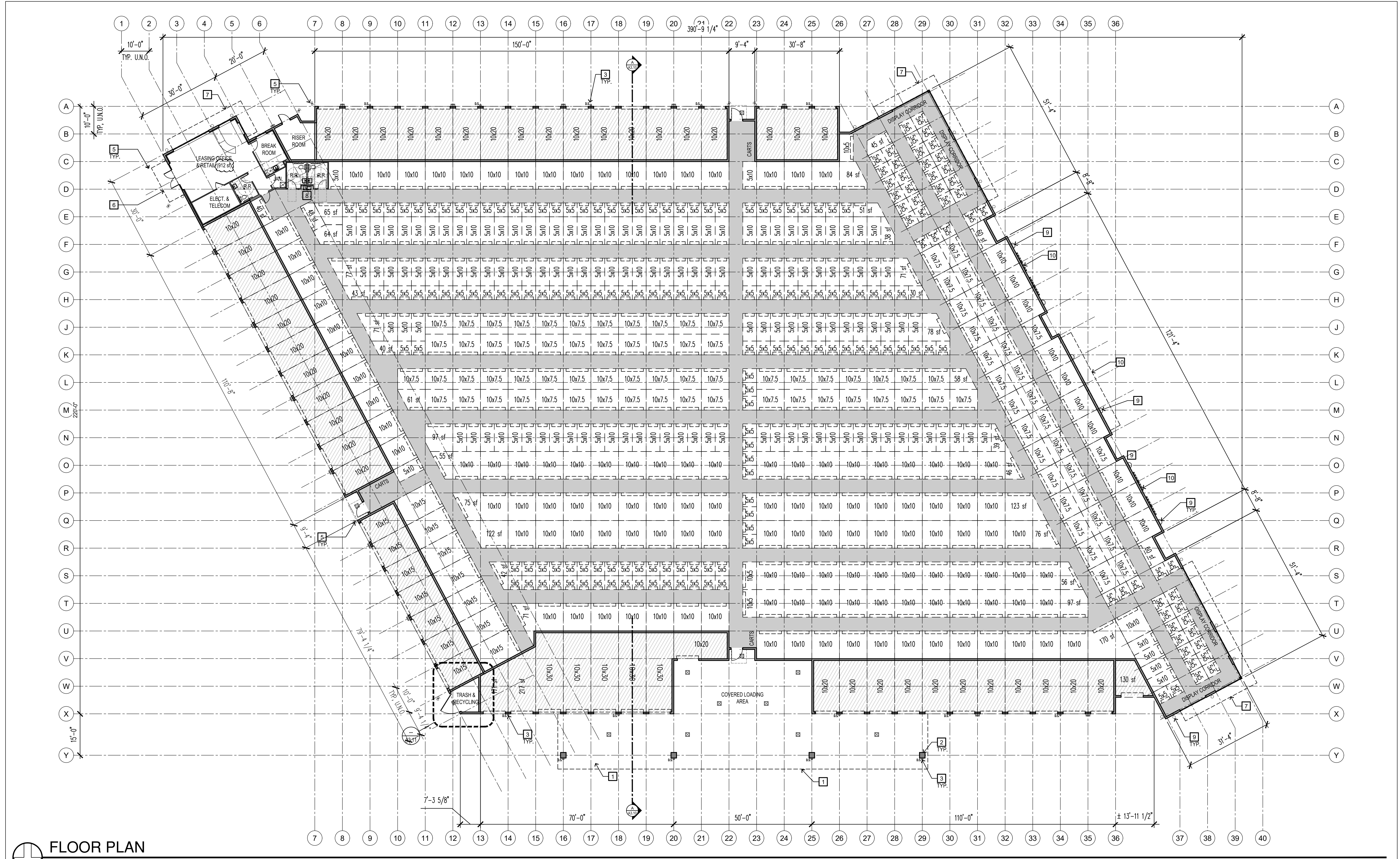
A1.10

DATE	NO.	DESCRIPTION
2022-06-22	1	ISSUE FOR ARG #2

PROJECT NO.:	21059.00
PROJECT MGR.:	DYM
DRAWN BY:	DYM
CHECKED BY:	TB

FLOOR PLAN

A2.10



FLOOR PLAN
 SCALE: 1/16" = 1'-0"

BUILDING DATA

REFER TO F.A.R. CALCULATIONS ON SHEET A1.10 FOR BUILDING AREA(S)

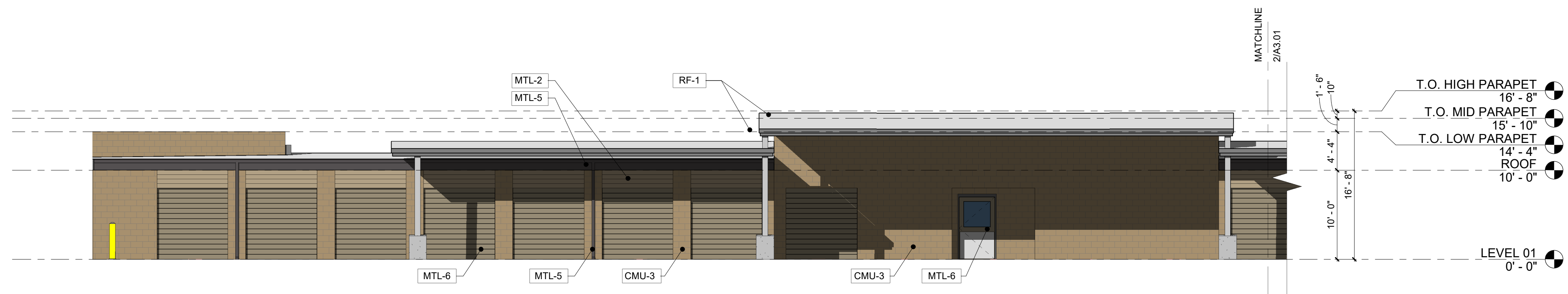
OCCUPANCY TYPE: S-1 (SELF-STORAGE) & B (ACCESSORY OFFICE)
 CONSTRUCTION TYPE: TYPE II-B
 FIRE SPRINKLERS: YES

STRUCTURE DESIGNATION: COVERED LOADING & PARKING AREA CANOPY
 OCCUPANCY TYPE: S-2 (OPEN PARKING GARAGE)
 CONSTRUCTION TYPE: TYPE II-B
 FIRE SPRINKLERS: YES

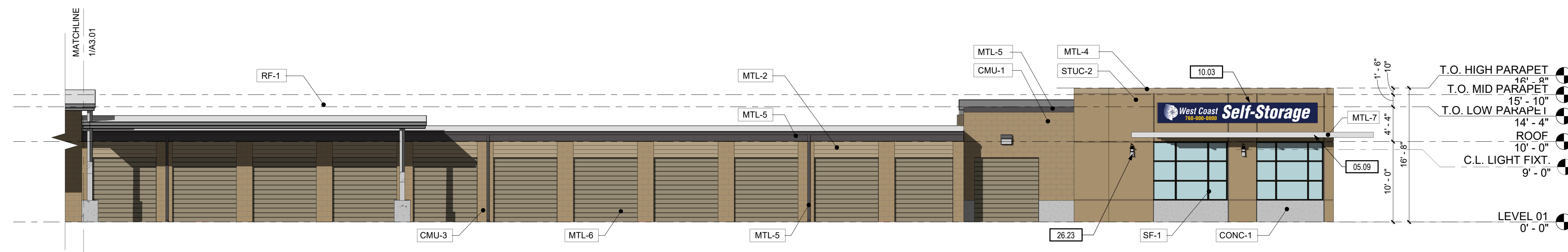
MAXIMUM COMBINED STRUCTURE AREA IS BASED ON NONSEPARATED OCCUPANCIES PER CBC SECTION 508.3

KEY NOTES

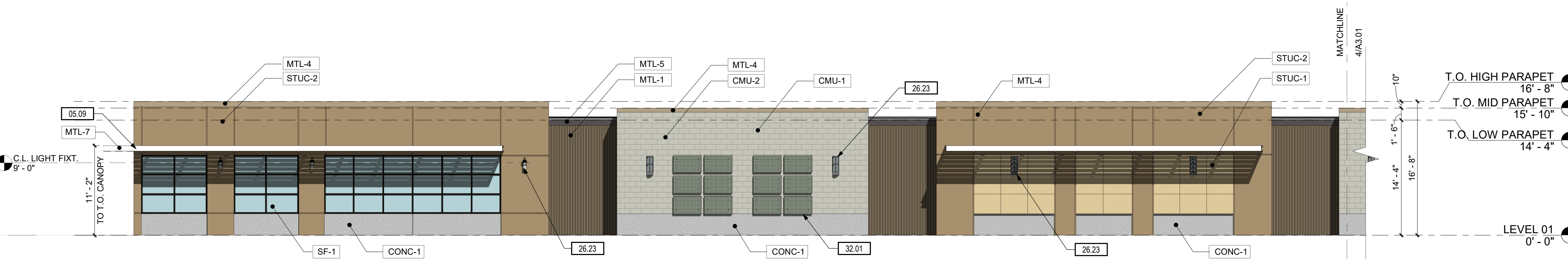
- | | |
|--|--|
| <ul style="list-style-type: none"> 1 EXTENT OF CANOPY OVER COVERED LOADING & PARKING AREA 2 CANOPY COLUMN PER STRUCTURAL, TYPICAL. 3 5'x 4", PRE-FINISHED DOWNSPOUT, TYPICAL. 4 NOT USED 5 BOLLARD WITH SLEEVE PER DETAIL 6 EXTENT OF CANOPY ABOVE | <ul style="list-style-type: none"> 7 EXTENT OF SUN-SHADE CANOPY ABOVE 8 ADA COMPLIANT DRINKING FOUNTAIN 9 EXTERIOR LIGHT FIXTURE PER ELEVATIONS & PHOTOMETRIC STUDY 10 GREENSCREEN TRELLIS SYSTEM PANELS PER PLANS & ELEVATIONS; REFER TO LANDSCAPE FOR PLANT MATERIALS. |
|--|--|



1 NORTH ELEVATION 1
1/8" = 1'-0"



2 NORTH ELEVATION 2
1/8" = 1'-0"



3 WEST ELEVATION 1 - N. GENE AUTRY TRAIL
1/8" = 1'-0"



4 WEST ELEVATION 2 - N. GENE AUTRY TRAIL
1/8" = 1'-0"

MATERIAL LEGEND:

EXTERIOR FINISH SCHEDULE				
I.D.	DESCRIPTION	COLOR (MANUF.)	PATTERN or ORIENTATION	FINISH
CMU-1	BURNISHED FACE CMU BLOCK	WHITE MW (ORCO)	RUNNING BOND	CLEAR BLOCK SEALER
CMU-2	SPLIT FACE CMU BLOCK	BROWN MW (ORCO)	RUNNING BOND	CLEAR BLOCK SEALER
CMU-3	BURNISHED FACE CMU BLOCK	BROWN MW (ORCO)	RUNNING BOND	CLEAR BLOCK SEALER
STUC-1	CEMENT PLASTER STUCCO	LION'S MANE (SENERGY)	FINE TEXTURE	---
STUC-2	CEMENT PLASTER STUCCO	RAW HIDE (SENERGY)	FINE TEXTURE	---
CONC-1	CAST-IN-PLACE CONCRETE WALL	NATURAL	SMOOTH FINISH; REVEALS PER ELEVATIONS	CTS WUNDERFIXX SMOOTHING & PATCHING COMPOUND
MTL-1	4-INCH BOX RIB ARCHITECTURAL METAL PANEL (CORRUGATED METALS, INC.)	MEDIUM BRONZE (CM)	VERTICAL	FACTORY APPLIED
MTL-2	4-INCH BOX RIB ARCHITECTURAL METAL PANEL (CORRUGATED METALS, INC.)	SIERRA TAN (CM)	HORIZONTAL	FACTORY APPLIED
MTL-3	METAL ARCHITECTURAL ELEMENTS & TRIM; CANOPY, GUTTERS & DOWNSPOUTS, ETC.	MEDIUM BRONZE	---	FACTORY APPLIED (or) PRIMED & PAINTED
MTL-4	COPINGS	SIERRA TAN (PAC-CLAD)	---	FACTORY APPLIED
MTL-5	COPINGS	GRAPHITE (PAC-CLAD)	---	FACTORY APPLIED
MTL-6	COILING METAL STORAGE DOORS; STORAGE AREA ENTRY DOORS	DESERT SAND (JANUS)	---	FACTORY APPLIED (or) PRIMED & PAINTED
MTL-7	LOUVERED SUNSHADES	WHITE	---	POWDER COATED
SF-1	STOREFRONT FRAMES w/ CLEAR GLAZING	MEDIUM BRONZE (KAVNEER)	---	ANODIZED
RF-1	24 GA. STANDING SEAM METAL ROOFING w/ STIFFENER RIBS	PARCHMENT (AEP SPAN)	PER PLANS	PVDF
RF-2	60 MIL FULLY ADHERED TPO SINGLE-PLY ROOF MEMBRANE	WHITE	---	---

KEYNOTES:

#	NOTE
05.09	4'-0" DEEP LOUVERED SUN SHADE PER PLANS
10.01	INTERNALLY ILLUMINATED, 1-SIDED, 3-COLOR WALL SIGN; 25'-0" W X 3'-1.5" H; 78 SF PROPOSED (104 SF MAX. ALLOWED).
10.02	INTERNALLY ILLUMINATED, 2-SIDED, 3-COLOR MONUMENT SIGN ON CMU BASE; SIGN FACE: 12' W X 5' H; 75 SF PROPOSED PER FACE (74 SF MAX. ALLOWED PER FACE); 7'-8" OVERALL HEIGHT. REFER TO SITE PLAN FOR LOCATION RELATIVE TO BUILDING FACADE.
10.03	INTERNALLY ILLUMINATED, 1-SIDED, 3-COLOR WALL SIGN; 40' W X 2.5' H; 100 SF PROPOSED.
26.23	EXTERIOR LIGHTING. REF. ELECTRICAL
32.01	GREENSCREEN 3" DEEP PANELS PER ELEVATIONS AND PLANTING PER LANDSCAPE PLAN. #5104 TOP AND SIDE TRIM PANELS. INSTALL PER MFR'S REQUIREMENTS W/ #5132R MOUNTING CLIPS & #5136 SPACERS



**WEST COAST SELF STORAGE
PALM SPRINGS**
890 NORTH GENE AUTRY TRAIL
PALM SPRINGS, CALIFORNIA 92262

DATE	NO.	DESCRIPTION
2022-06-22	1	ISSUE FOR ARG #2

PROJECT NO.: 21059.00
PROJECT MGR.: DYM
DRAWN BY: DYM / MT
CHECKED BY: TB

EXTERIOR
ELEVATIONS

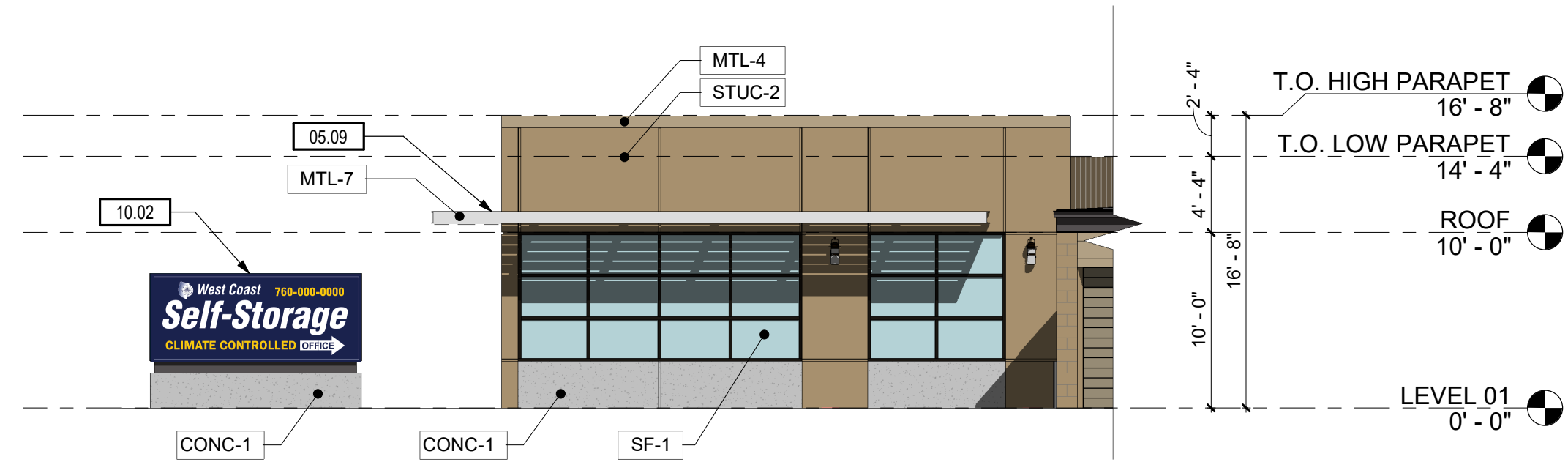
A3.01

DATE	NO.	DESCRIPTION
2022-06-22		ISSUE FOR ARC #2

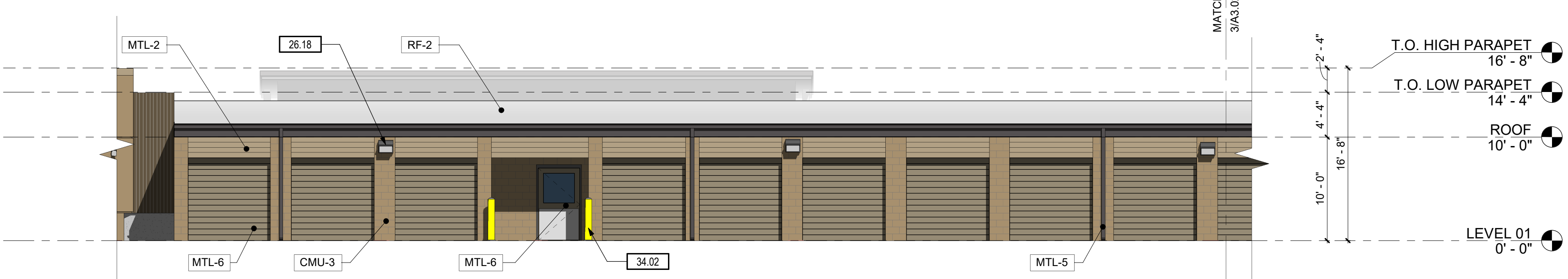
PROJECT NO.: 21059.00
 PROJECT MGR.: DYM
 DRAWN BY: DYM / MT
 CHECKED BY: TB

EXTERIOR ELEVATIONS

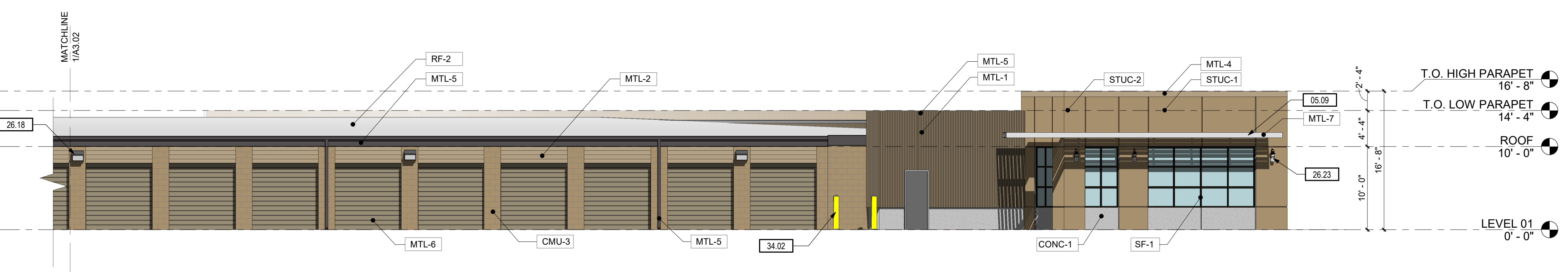
A3.02



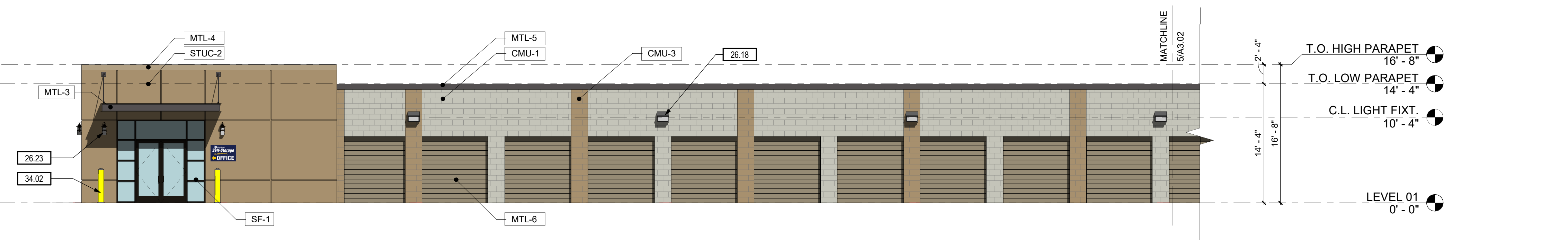
2 OBLIQUE ELEVATION @ SOUTHWEST CORNER
 1/8" = 1'-0"



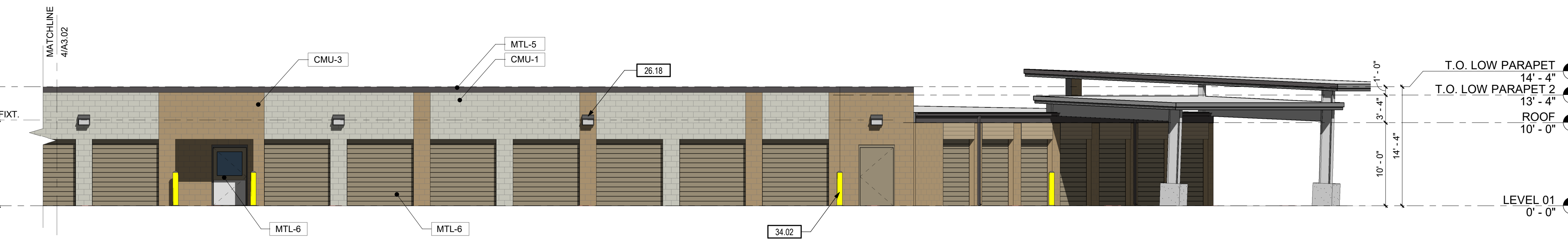
1 SOUTH ELEVATION 1 - TAMARISK ROAD
 1/8" = 1'-0"



3 SOUTH ELEVATION 2 - TAMARISK ROAD
 1/8" = 1'-0"



4 EAST ELEVATION 1
 1/8" = 1'-0"



5 EAST ELEVATION 2
 1/8" = 1'-0"

MATERIAL LEGEND:

EXTERIOR FINISH SCHEDULE				
ID.	DESCRIPTION	COLOR (MANUF.)	PATTERN or ORIENTATION	FINISH
CMU-1	BURNISHED FACE CMU BLOCK	WHITE MW (ORCO)	RUNNING BOND	CLEAR BLOCK SEALER
CMU-2	SPLIT FACE CMU BLOCK	BROWN MW (ORCO)	RUNNING BOND	CLEAR BLOCK SEALER
CMU-3	BURNISHED FACE CMU BLOCK	BROWN MW (ORCO)	RUNNING BOND	CLEAR BLOCK SEALER
STUC-1	CEMENT PLASTER STUCCO	LUCK'S MANE (SENERGY)	FINE TEXTURE	---
STUC-2	CEMENT PLASTER STUCCO	RAW HIDE (SENERGY)	FINE TEXTURE	---
CONC-1	CAST-IN-PLACE CONCRETE WALL	NATURAL	SMOOTH FINISH; REVEALS PER ELEVATIONS	CTS WUNDERFIXX SMOOTHING & PATCHING COMPOUND
MTL-1	4-INCH BOX RIB ARCHITECTURAL METAL PANEL (CORRUGATED METALS, INC.)	MEDIUM BRONZE (CM)	VERTICAL	FACTORY APPLIED
MTL-2	COR-RIB ARCHITECTURAL METAL PANEL (CORRUGATED METALS, INC.)	SIERRA TAN (CM)	HORIZONTAL	FACTORY APPLIED
MTL-3	METAL ARCHITECTURAL ELEMENTS & TRIM; CANOPY, GUTTERS & DOWNSPOUTS, ETC.	MEDIUM BRONZE	---	FACTORY APPLIED (or) PRIMED & PAINTED
MTL-4	COPINGS	SIERRA TAN (PAC-CLAD)	---	FACTORY APPLIED
MTL-5	COPINGS	GRAPHITE (PAC-CLAD)	---	FACTORY APPLIED
MTL-6	COILING METAL STORAGE DOORS; STORAGE AREA ENTRY DOORS	DESERT SAND (JANUS)	---	FACTORY APPLIED (or) PRIMED & PAINTED
MTL-7	LOUVERED SUNSHADES	WHITE	---	POWDER COATED
SF-1	STOREFRONT FRAMES w/ CLEAR GLAZING	MEDIUM BRONZE (KAWNEER)	---	ANODIZED
RF-1	24 GA. STANDING SEAM METAL ROOFING w/ STIFFENER RIBS	PARCHMENT (AEP SPAN)	PER PLANS	PVDF
RF-2	80 MIL FULLY ADHERED TPO SINGLE-PLY ROOF MEMBRANE	WHITE	---	---

KEYNOTES:

#	NOTE
05.09	4'-0" DEEP LOUVERED SUN SHADE PER PLANS
10.02	INTERNALLY ILLUMINATED, 2-SIDED, 3-COLOR MONUMENT SIGN ON CMU BASE; SIGN FACE: 12' W X 5' H; 75 SF PROPOSED PER FACE (74 SF MAX. ALLOWED PER FACE); 7'-8" OVERALL HEIGHT. REFER TO SITE PLAN FOR LOCATION RELATIVE TO BUILDING FACADE.
26.18	LED WALL PACK REF ELECTRICAL, TYP.
26.23	EXTERIOR LIGHTING, REF. ELECTRICAL
34.02	BOLLARD, REF. CIVIL TYP.