



## **ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM**

DATE: July 5, 2022 NEW BUSINESS

SUBJECT: REQUEST BY WILLIAM DUMKA OF MCGEE SHARON ARCHITECTS, FOR A MAJOR DEVELOPMENT PERMIT APPLICATION TO CONSTRUCT A 6,785-SQUARE FOOT WAREHOUSE FACILITY ON A 13,099-SQUARE FOOT UNDEVELOPED PARCEL LOCATED AT 3581 WEST DEL SOL ROAD (APN: 669-451-004), ZONE M-1-SP, (CASE 3.4322 MAJ/DP). (AP)

FROM: Development Services Department – Planning Division

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### PROJECT DESCRIPTION:

This is a request for an approval of a Major Architectural Application to develop a 6,785-square foot warehouse facility on an undeveloped parcel. In addition to the new building, with the maximum building height of 24 feet 10 inches, the construction of customer parking spaces, and new landscaping is also proposed. The proposed uses are permitted by right in the M-1-SP Zone of the College Park Specific Plan.

The following application has been filed in conjunction with this request:

1. Case 3.4313 MAJ/DP (Major Architectural Application Development Permit).

On May 25, 2022 the Planning Commission reviewed the proposed project and recommended approval to the Architecture Review Committee, subject to the conditions included in Exhibit A of the attached draft resolution.

### RECOMMENDATION:

That the Architectural Review Committee approve the proposed project subject to the conditions of approval included in Exhibit A of the attached draft resolution.

### BUSINESS PRINCIPAL DISCLOSURE:

Public Integrity Disclosure Form is attached to this report.

**BACKGROUND INFORMATION:**

<i>Related Relevant City Actions</i>	
05/25/2022	Planning Commission approved a Major Development Permit application subject to conditions of approval.

**STAFF ANALYSIS:**

<i>Site Area</i>	
Net Acres	.30 acres

<i>Conformance to Development Standards</i>	
Conformance to Development Standards	The project was analyzed for conformance to development standards as listed in PSZC Section 92.16.03 as part of Development Permit application (Case 3.4313 MAJ DEV). The Planning Commission found the project to be in conformance at a public meeting on May 25, 2022, subject to conditions.

PSZC Section 94.04.00(E)(13) requires that the proposed application be consistent with any adopted Specific Plan or Planned Development District Design Standards:

<i>Applicable Specific Plan Area or Design Standards</i>	<i>Compliance</i>
College Park Specific Plan	Y

**Architectural Review Criteria and Findings:**

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i> The project proposes consistent architectural treatment on all sides, as exemplified by the application of identical construction materials, color theme, and architectural elements in similar scale, shape, and form. The treatment consists of insulated metal siding, concrete masonry, grey metal roll-up garage door, and an accent yellow metal pedestrian door.	Y
2.	<i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i> There are no accessory structures proposed.	N/A
3.	<i>The façade elements and fenestration are composed in a harmonious manner;</i>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The façade and fenestration are composed in a harmonious manner. All windows and doors on the proposed building's face east and will be visible from West Del Sol Road.	
4.	<i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i> The proposed materials include desert neutral colors and consist of metal siding, and concrete. These materials are commonly used in local construction and are contextually appropriate. The adjacent properties have been constructed using similar colors and materials.	Y
5.	<i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i> The project proposes a desert-neutral color palette that include various beige, grey, tan and a yellow awning and pedestrian door. The proposed colors are appropriate to the desert environment.	Y
6.	<i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i> The proposed design incorporates a small overhang on the east elevation where the front entrance of the facility will be located. No other shade devices are proposed.	Y
7.	<i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i> The proposed plant palette consists of the plant materials that are included in the Lush and Efficient landscape gardening book. There is no turf application proposed for this project. The project is consistent with the College Park Specific Plan, which specifically mentions the plant palette should be in compliance with the Palm Springs Water Conservation Ordinance (PSMC Chapter 8.60) and Desert Water Agency Ordinance 31.	Y
8.	<i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i> The project proposes landscape on portions of the north, south and east property lines. The proposed landscape is consistent with the zoning requirements found in the College Park Specific Plan.	Y
9.	<i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i> Due to the nature of the proposed use, the visitors' primary mode of transportation is expected to be a motor vehicle. There is no additional shading proposed.	N/A
10.	<i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00. The Outdoor Lighting Standards expressly prohibit disability glare, discomfort glare, light trespass, and/or light pollution as defined in Palm Springs Zoning Code Sections 93.21.00(A)(7), (8), (9), and (10). The project is subject to condition of approval PLN 1, which is intended to ensure conformance to this requirement.	
11.	<i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i> A Sign Permit application has not been submitted at the time this report was written. All signage is required to conform to the Sign Ordinance regulations as a standard condition of approval; therefore, the project will comply with this finding.	N/A
12.	<i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i> The project proposes the installation of mechanical equipment, which will be centrally located within the landscape area behind the perimeter wall, which will be screened from the public right of-way.	Y
13.	<i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i> The project site is consistent with the College Park Specific Plan, Commercial and Industrial Architectural Guidelines (C.3.2.1), which states Designs in the industrial area may be traditional or contemporary as long as they are consistent and substantially compatible with the common design themes: building height and building entries. The proposed building is compatible with the surrounding development and will not overwhelm the streetscape. The entry to the building will be easy to identify and provide a well-defined safe and unobstructed pedestrian access.	Y

ENVIRONMENTAL ANALYSIS:

The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of Title 14, Chapter 3 of the California Code of Regulations (Class 32, In-Fill Development Projects). The proposed warehouse facility is consistent with the intent of the Mixed Use (MU) General Plan land use designation area and policies, as well as the intent and zoning regulations of the M-1-SP (Service Manufacturing) Zone.

**CONCLUSION:**

On May 25, 2022, the Planning Commission approved the Major Development Permit application subject to conditions of approval. Additionally, the proposed project is consistent with the architectural review criteria listed above. Therefore, staff recommends that the ARC approve the Major Architectural (MAJ) application, Case 3.4322 MAJ, subject to conditions of approval included in Exhibit A of the attached draft resolution.

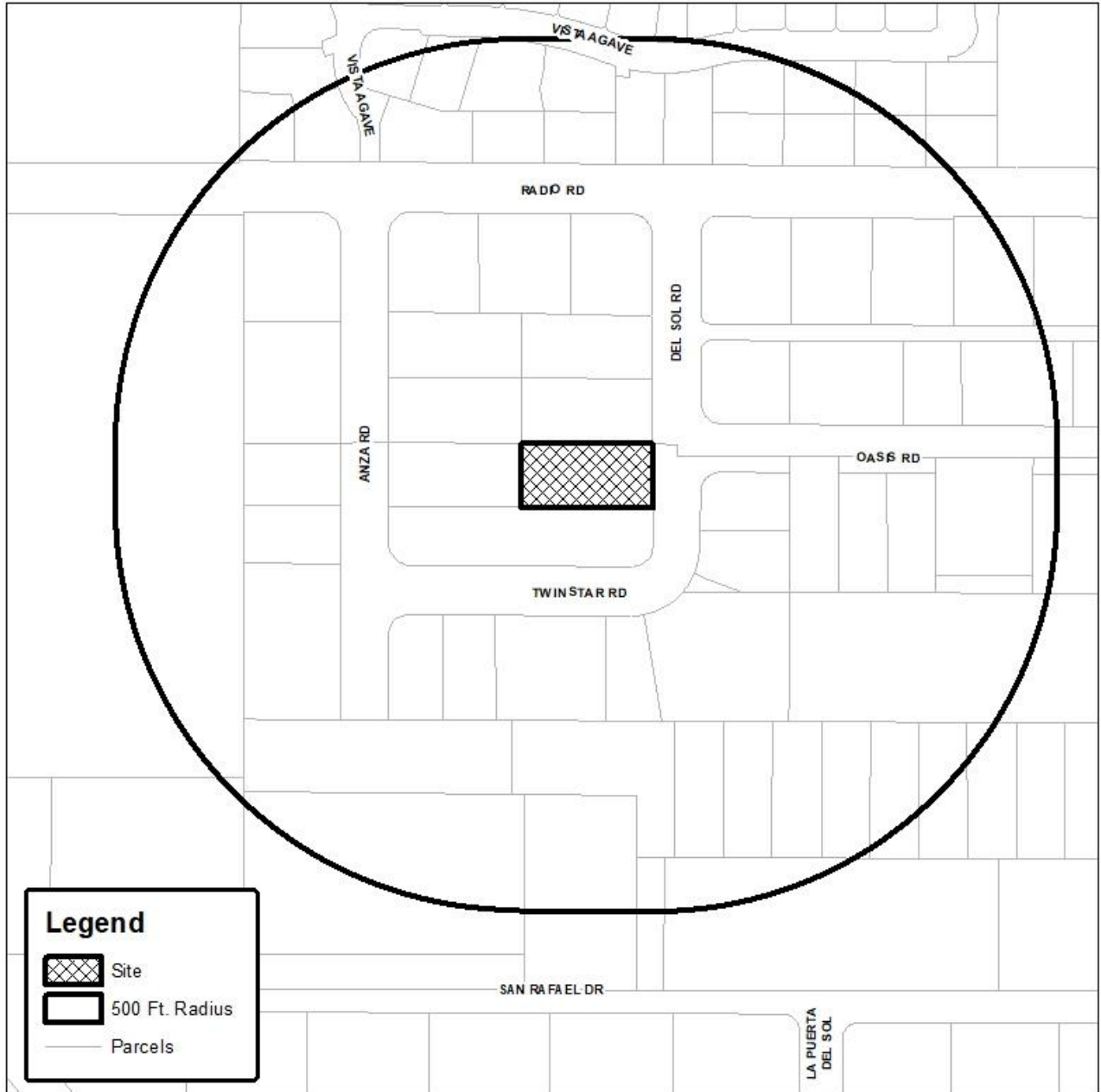
PREPARED BY:	Alex Rubalcava, Assistant Planner
REVIEWED BY:	Edward Robertson, Principal City Planner

**ATTACHMENTS:**

1. Vicinity Map
2. ARC Resolution and Conditions of Approval Exhibit A
3. Justification Letter
4. Public Integrity Disclosure Form
5. PC Resolution and Conditions of Approval
6. Arch Plans



# Department of Planning Services Vicinity Map



**CITY OF PALM SPRINGS**  
**3581 West Del Sol Road**

RESOLUTION NO.

A RESOLUTION OF THE ARCHITECTURE REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING MAJOR DEVELOPMENT PERMIT APPLICATION, CASE 3.4322 MAJ, TO CONSTRUCT A 6,785-SQUARE-FOOT WAREHOUSE FACILITY ON AN UNDEVELOPED PARCEL LOCATED AT 3581 WEST DEL SOL ROAD (APN: 669-451-004), ZONE M-1-SP.

THE ARCHITECTURE REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

WHEREAS, William Dumka, with McGee Architects (the "Applicant") has filed a Major Architecture Permit application, Case 3.4322 MAJ, in accordance with Section 94.04.00 (Architecture Review) of the Plan Springs Zoning to construct a 6,785-square-foot warehouse facility on a .30-acre undeveloped parcel located at 3581 West Del Sol Road, Zone M-1-SP (College Park Specific Plan).

WHEREAS, On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City's Planning Commission to the City's Architectural Review Committee.

WHEREAS, On May 25, 2022, the Planning Commission approved the associated Major Development Permit, Case 3.4313 MAJ in accordance with Section 94.04.01 of the Zoning Code; and

WHEREAS, on July 5, 2022, the City's Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURE REVIEW COMMITTEE RESOLVES:

Section 1: Architecture Review Committee Findings.

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

1. *The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;*

The project proposes consistent architectural treatment on all sides, as exemplified by the application of identical construction materials, color theme, and architectural elements in similar scale, shape, and form. The treatment consists of insulated metal siding, concrete masonry, grey metal roll-up garage door, and an accent yellow metal pedestrian door.

2. *The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;*

There are no accessory structures proposed.

3. *The façade elements and fenestration are composed in a harmonious manner;*

The façade and fenestration are composed in a harmonious manner. All windows and doors on the proposed buildings face east and will be visible from West Del Sol Road.

4. *The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;*

The proposed materials include desert neutral colors and consist of metal siding, and concrete. These materials are commonly used in local construction and are contextually appropriate. The adjacent properties have been constructed using similar colors and material.

5. *The proposed color scheme is appropriate to the desert environment and consistent with the site context;*

The project proposes a desert-neutral color palette that include various beige, grey, tan and a yellow awning and pedestrian door. The proposed colors are appropriate to the desert environment.

6. *Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;*

The proposed design incorporates a small overhang on the east elevation where the front entrance of the facility will be located. No other shade devices are proposed.

7. *The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;*



The proposed plant palette consists of the plant materials that are included in the Lush and Efficient landscape gardening book. There is no turf application proposed for this project. The project is consistent with the College Park Specific Plan, which specifically mentions the plant palette should be in compliance with the Palm Springs Water Conservation Ordinance (PSMC Chapter 8.60) and Desert Water Agency Ordinance 31.

8. *The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;*

The project proposes landscape on portions of the north, south and east property lines. The proposed landscape is consistent with the zoning requirements found in the College Park Specific Plan.

9. *The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;*

Due to the nature of the proposed use, the visitors' primary mode of transportation is expected to be a motor vehicle. There is no additional shading proposed.

10. *The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;*

The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00. The Outdoor Lighting Standards expressly prohibit disability glare, discomfort glare, light trespass, and/or light pollution as defined in Palm Springs Zoning Code Sections 93.21.00(A)(7), (8), (9), and (10). The project is subject to condition of approval PLN 1, which is intended to ensure conformance to this requirement.

11. *Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;*

A Sign Permit application has not been submitted at the time this report was written. All signage is required to conform to the Sign Ordinance regulations as a standard condition of approval; therefore, the project will comply with this finding.

12. *Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;*

The project proposes the installation of mechanical equipment, which will be centrally located within the landscape area behind the perimeter wall, which will be screened from the public right-of-way.

13. *The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.*

The project site consistent is with the College Park Specific Plan, Commercial and Industrial Architectural Guidelines (C.3.2.1), which states Designs in the industrial area may be traditional or contemporary as long as they are consistent and substantially compatible with the common design themes: building height and building entries. The proposed building is compatible with the surrounding development and will not overwhelm the streetscape. The entry of the building will be easy to identify and provide a well-defined safe and unobstructed pedestrian access.

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Section 94.04.00 (“architectural review”);

NOW, THEREFORE, BE IT RESOLVED that, based upon the foregoing, the Architecture Review Committee hereby approves Case 3.4322 MAJ, a Major Architectural application, for the construction of a 6,785-square-foot warehouse facility on an undeveloped parcel at 3581 West Del Sol Road subject to those conditions set forth in the Exhibit A.

ADOPTED THIS 5th DAY of July, 2022.

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST: CITY OF PALM SPRINGS, CALIFORNIA

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David Newell, AICP  
Assistant Director of Planning

RESOLUTION NO. 6914

**EXHIBIT A**

Warehouse Facility  
3581 West Del Sol Road  
Case 34322 MAJ

July 5, 2022

**CONDITIONS OF APPROVAL**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

**ADMINISTRATIVE CONDITIONS**

ADM 1. Project Description. This approval is for the project described per Case 3.4322 MAJ; except as modified with the conditions below;

ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped April 12, 2022, including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.

ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.

ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.

ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.4322 MAJ. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City

of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05. Permits will not be issued until the appeal period has concluded.
- ADM 9. Public Art Fees. This project shall be subject to Chapters 2.24 and 3.37 of the Municipal Code regarding public art. The project shall either provide public art or payment of an in-lieu fee. In the case of the in-lieu fee, the fee shall be based upon the total building permit valuation as calculated pursuant to the valuation table in the Uniform Building Code, the fee being 1/2% for commercial projects or 1/4% for residential projects with first \$100,000 of total building permit valuation for individual single-family units exempt. Should the public art be located on the project site, said location shall be reviewed and approved by the Director of Planning and Zoning and the Public Arts Commission, and the property owner shall enter into a recorded agreement to maintain the artwork and protect the public rights of access and viewing.
- ADM 10. Comply with City Noise Ordinance. This use shall comply with the provisions of Section 11.74 Noise Ordinance of the Palm Springs Municipal Code. Violations may result in revocation of this Conditional Use Permit.

## PLANNING DEPARTMENT CONDITIONS

- PLN 1. Outdoor Lighting Conformance. Outdoor lighting shall fully conform to the requirements of Palm Springs Zoning Code and shall not produce disability glare, discomfort glare, light trespass, and/or light pollution as defined in Palm Springs Zoning Cod Sections 93.21.00(A)(7), (8), (9), and (10). Additionally, the outdoor lighting shall conform to the requirement by the Riverside County Airport Land Use Commission (ALUC). Also see Condition ALUC 1.
- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 3. Sign Applications Required. No signs are approved by this action. Separate approval and permits shall be required for all signs in accordance with Zoning Ordinance Section 93.20.00. The applicant shall submit a sign program to the Department of Planning Services prior to the issuance of building permits.
- PLN 4. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.
- PLN 5. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 6. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 7. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 8. ARC Review. The proposed project is subject to Architectural Review Committee (ARC) review pursuant to Palm Springs Zoning Code Section 94.04.00. The Major Architectural Review (MAJ) application and materials/plans for review by the ARC shall include any revisions identified in these conditions.

## **BUILDING DIVISION CONDITIONS**

The Following Standard Building & Safety Conditions of Approval Are Applicable to This Project:

BLDG 1. Separate permits are required for Site Walls, Trash Enclosures, Signs, PV (Photovoltaic), Construction Trailers.

BLDG 2. Grading & ROW permits are to be issued by our Engineering Division.

BLDG 3. Utilities on the utility side of any meter are to be arranged with the respective Utility Company. Any utilities after a meter will be included in the Building Departments scope of work for inspections.

### **The Following Standard Building & Safety Conditions of Approval Are Applicable to This Project:**

#### **General Conditions**

1. Shall comply with the latest adopted edition of the following codes as applicable:

- A. 2019 California Building Code
- B. 2019 California Electrical Code
- C. 2019 California Mechanical Code
- D. 2019 California Plumbing Code
- E. 2019 California Energy Code
- F. 2019 California Fire Code
- G. 2019 California Green Building Standards Code

- 2. Any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project shall comply with City Code.
- 3. In addition to approval from Building & Safety, approval is required from the County of Riverside, Department of Public Health for occupancies involving fueling stations and foods and beverages.
- 4. All exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.
- 5. All development impact fees including but not limited to TUMF, CVMSHCP, Sewer Connection and Public Arts shall be paid at time of permit issuance.

## **ENGINEERING DIVISION CONDITIONS:**

The Engineering Services Department recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

### **STREETS**

- ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.
- ENG 2. Asphalt concrete paving for parking lot prior to completion of on-site construction activities, will require additional paving requirements prior to acceptance of the parking lot improvements, including, but not limited to removal and replacement of damaged asphalt concrete pavement, overlay, slurry seal, or other repairs, as required by the City Engineer.
- ENG 3. Applicant shall pay a street assessment fee of \$16,317.15 in accordance with the terms of the Street Improvement Construction Refund Agreement between the City of Palm Springs and Frank J. Burgess, Agreement No. A5664. The fee shall be paid to the City of Palm Springs prior to issuance of a building permit.
- ENG 4. Applicant shall pay a fire hydrant assessment fee of \$4,313.00 in accordance with the terms of the Fire Hydrant Construction Refund Agreement between the City of Palm Springs and Frank J. Burgess, Agreement No. 5665. The fee shall be paid to the City of Palm Springs prior to issuance of a building permit.

### **DEL SOL ROAD**

- ENG 5. Construct a 24 feet wide driveway approach in accordance with City of Palm Springs Standard Drawing No. 201.
- ENG 6. If the proposed driveway approach to be constructed in accordance with City of Palm Springs Standard Drawing No. 201 results in a portion of the sidewalk to be within the project property, dedicate an easement along the back of the driveway approach for sidewalk purposes as required. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A right-

of-way plan check fee shall be paid by the applicant in effect at the time that the dedication is submitted.

ENG 7. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

#### ON-SITE

ENG 8. The minimum pavement section for all on-site pavement (drive aisles, parking spaces) shall be 2-1/2 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal. If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.

#### SANITARY SEWER

ENG 9. All sanitary facilities shall be connected to the public sewer system. New laterals shall not be connected at manholes.

ENG 10. Pay a sewer assessment fee of \$2,225.43 in accordance with the terms of the Sewer Construction Refund Agreement between the City of Palm Springs and Mike Sirelson, Sewer Agreement No. 3283. The fee shall be paid prior to issuance of a building permit.

#### GRADING

ENG 11. Submit a Precise Grading and Paving Plan prepared by a California registered Civil engineer to the Engineering Services Department for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.

a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion



from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related “PM10” Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report; a copy of the project-specific Final Water Quality Management Plan.

- ENG 12. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be provided to the City). The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at [ACBCI-THPO@aguacaliente.net](mailto:ACBCI-THPO@aguacaliente.net) to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.
- ENG 13. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed prior to issuance of Grading Permit and commencement of grading operations.
- ENG 14. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 15. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all

disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.

- ENG 16. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 17. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan. (if required)
- ENG 18. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided prior to issuance of Building Permits.
- ENG 19. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval.
- ENG 20. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, CA 90040 (Phone (760) 782-3271, (562) 505-6415), [Sonia.Oran@cdfa.ca.gov](mailto:Sonia.Oran@cdfa.ca.gov).

#### WATER QUALITY MANAGEMENT PLAN

- ENG 21. This project shall be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating contaminated stormwater and non-stormwater runoff, shall be required by regulations imposed by the RWQCB. It shall be the

applicant's responsibility to design and install appropriate BMP's, in accordance with the NPDES Permit, that effectively intercept and pre-treat contaminated stormwater and non-stormwater runoff from the project site, prior to release to the City's municipal separate storm sewer system ("MS4"), to the satisfaction of the City Engineer and the RWQCB. Such measures shall be designed and installed on-site; and provisions for perpetual maintenance of the measures shall be provided to the satisfaction of the City Engineer, including provisions in Covenants, Conditions, and Restrictions (CC&R's) required for the development (if any).

ENG 22. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a grading or building permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to the adjacent property (or public streets) is prohibited. Construction of operational BMP's shall be incorporated into the Precise Grading and Paving Plan.

ENG 23. Prior to issuance of any grading or building permits, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement the approved Final Project-Specific Water Quality Management Plan (WQMP). Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include requiring the implementation of the Final Project-Specific WQMP in Homeowners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&Rs); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to issuance of any grading or building permits.

## DRAINAGE

ENG 24. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property. Provide a hydrology study to determine the volume of increased stormwater runoff due to development of the site, and to determine required stormwater runoff mitigation measures for the proposed development. Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and approval of the

hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study. No more than 40-50% of the street frontage parkway/setback areas should be designed as retention basins. On-site open space, in conjunction with dry wells and other subsurface solutions should be considered as alternatives to using landscaped parkways for on-site retention.

- ENG 25. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$7,287.76 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

#### GENERAL

- ENG 26. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.
- ENG 27. All proposed utility lines shall be installed underground.
- ENG 28. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 29. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing filetype), DXF (AutoCAD ASCII drawing exchange filetype), and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 30. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 31. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 32. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers

installed in accordance with City of Palm Springs Standard Drawing No. 904.

- ENG 33. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation Fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

#### TRAFFIC

- ENG 34. A minimum of 48 inches of clearance for accessibility shall be provided on public sidewalks. Minimum clearance on public sidewalks shall be provided by either an additional dedication of a sidewalk easement if necessary and widening of the sidewalk, or by the relocation of any obstructions within the public sidewalk along the frontage of the subject property.

- ENG 35. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and streetlights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.

- ENG 36. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

- ENG 37. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

#### **FIRE DEPARTMENT CONDITIONS**

FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

FID 2. Fire Department Conditions were based on the 2019 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "T" Development Requirements and latest adopted NFPA Standards. Three (3) complete sets of plans for fire sprinkler system plans, underground water improvement plans, & fire alarm plans must be submitted prior to a building permit being released.

**FID 3. Conditions of Approval** – “Conditions of Approval” received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

**FID 4. Plans and Permits (CFC 105.1):**

Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer’s technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

**FID 5. Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

**FID 6. Required access (CFC 504.1):** Exterior doors and openings required by this code, or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway

leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

**FID 7. Key Box Required to be Installed (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for lifesaving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be flush mount type and shall contain keys to gain necessary access as required by the fire code official.

Secured emergency access gates serving apartment, town home or condominium complex courtyards must provide a key box in addition to association or facility locks. The nominal height of Knox lock box installations shall be 5 feet above grade. Location and installation of Knox key boxes must be approved by the fire code official.

**FID 8. Key Box Contents (CFC 506.1):** The Knox key box shall contain keys to all areas of ingress/egress, alarm rooms, fire sprinkler riser/equipment rooms, mechanical rooms, elevator rooms, elevator controls, plus a card containing the emergency contact people and phone numbers for the building/complex.

**FID 9. NFPA 13 Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13, 2016 Editions, as modified by local ordinance.

**FID 10. Fire Alarm System Required:** An automatic or manual fire alarm system is required. Only a C-10 licensed fire alarm contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 72, 2016 editions, as modified by local ordinance.

**FID 11. Designated Fire Lanes:** in private developments shall be not less than 24 feet wide (curb face to curb face) with no parking on either side and shall be identified as fire lanes with red curb, stating in white lettering "NO PARKING FIRE LANE", or by approved signage, or by both red curb with lettering and signage.

FID 12. **Fire Department Access Roads/Driveways:** Shall be provided so that no portion of the exterior wall of the first floor of any building will be more than 150 feet from such roads.

FID 13. **Private Fire Hydrants:** Additional private hydrants may be required.

FID 14. **Security Gates:** A Knox key operated switch shall be installed at every automatic gate. Secured automated vehicle gates or entries shall utilize a combination of a Tomar Strobeswitch™, or approved equal, and an approved Knox key switch when required by the fire code official. Secured non-automated vehicle gates or entries shall utilize an approved padlock or chain (maximum link or lock shackle size of ¼ inch) when required by the fire code official.

**END OF CONDITIONS**



# *McGee Sharon Architects Inc*

3479 Kurtz Street  
San Diego CA 92110  
619-299-9111

74020 Alessandro Dr Ste F  
Palm Desert CA 92260  
mcgeesharon.com

## **Justification Letter, 4/07/2022**

Project Address: West Del Sol Road / APN 669-451-004  
Project Name: Ryan Wood Storage

## **Project Description**

This letter is provided for a new project located at Del Sol Road in the City of Palm Springs and is part of a Major Architectural Application. This project proposes the construction of a new single-story building for a proposed storage warehouse located in an existing vacant lot within an industrial zone. The building will be used for the warehousing of construction equipment, materials, and supplies in a protected indoor and climate-controlled facility. The building is in an existing manufacturing zone that has automobile repair shops, service shops, and manufacturers within the vicinity. The storing of construction equipment will complement already existing manufacturing uses in the area.

## **General Information**

The number of anticipated employees will vary from 1-6 people per day, given the operational needs of the warehouse. Employees will include administrative representatives, construction managers, and technical personnel. Hours of operation will be 24 hours/day with customer service from 7am to 5pm, 7 days per week. Licensing and insurance will be maintained through the State of California as mandated.

## **Findings**

Per the City of Palm Springs Zoning Code (PSZC), this project is intended to match the industrial/service character of the surrounding buildings and in keeping with the M-1 zone requirements.

The building conforms to the zoning standards for height, area, and setbacks. The overall height at the roof parapets is no greater than 26'. The building area coverage at 52% maximizes the building footprint, but which is below the 60% maximum allowance. Setbacks requirements for the front and rear yards follow City requirements. Parking is provided per City requirements and accessibility requirements.

Ryan Wood Storage is designed to utilize the existing unimproved lot, infilling for efficiency and potential. The site layout is oriented towards the existing street and public way with autos and pedestrians entering directly from Del Sol Road to the east. The

## Justification Letter

3/2/2022

vehicular driveway entrance is enhanced by low masonry walls to be stucco finished and surrounded by decomposed granite and appropriate desert landscape planters and trees. The parking area has a decorative paving surrounded by landscape planters, trees, and sidewalks.

The overall massing is similar to many of the older factory and manufacturing buildings in this unique industrial area with a simple rectangular mass further enhanced and composed to create a modern style façade with contemporary entry features and window glazing. The rectangular massing is offset by brushstrokes of desert landscaping and trees intended to soften the overall approach.

Air conditioning equipment at grade is concealed at the rear setback and away from public view. Roof parapets will hide any venting and piping. No roof mounted mechanical equipment is proposed.

In terms of design context, materials have been chosen with the industrial context of neighboring buildings in mind. The building is made from conventional steel framing with painted insulated metal panels with a simulated stucco finish at the exterior envelope. Above the painted building entry door is a metal awning overhang with steel bracing with matching color. The painted metal awning will provide shade, contrast, and break up the massing of the structure from the public view. A factory painted roll-up door adds more color to the massing. A large window with reflective spandrel glazing in a clear aluminum frame is provided to break up the front elevation. Landscape, plants, and trees will stand out compared to the restrained building design by providing natural colors and textures. The overall composition of the building is contemporary and industrial to suit the neighborhood.

The color scheme for the building and environment at this property is a result of the site context as well. This main accent color and other elements is intended to match already established color schemes at the adjacent property, 3540 North Anza Road. The new exterior building panels will have a textured sandstone finish color that matches the adjacent building's base color. Similarly at the main entry, the metal awning and metal door will have the color "dark tangerine" to match the distinct color at the building to the north as well. The roll-up garage door will be powder coated in flat slate/gray smooth finish. Black is used for an accent contrast at the exterior light fixtures. At the storefront window, clear anodized aluminum is used in conjunction with a opaque spandrel glazing. Concrete masonry units at the low exterior walls and trash enclosure will be natural gray with a "shot blast" finish to expose the aggregate in the cement mix.

# *McGee Sharon Architects Inc*

1530 West Lewis Street  
San Diego CA 92103  
619-299-9111

74020 Alessandro Dr Ste F  
Palm Desert CA 92260  
mcgeesharon.com

## **Existing Site Photographs**

Project Address: Del Sol Road /APN 669-451-004



Site – Street view looking South at Del Sol Road

Site Photographs



Site – Street view looking West at Del Sol Road



Site – Street view looking North at Del Sol Road

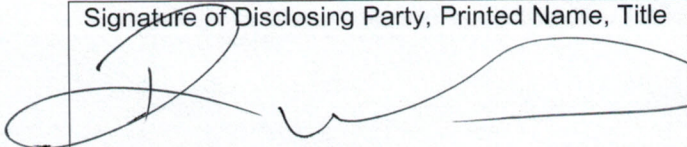


# PUBLIC INTEGRITY DISCLOSURE APPLICANT DISCLOSURE FORM

1. Name of Entity
RWC Management Incorporated
2. Address of Entity (Principle Place of Business)
2000 Executive Drive, Yucca Valley, CA 92284
3. Local or California Address (if different than #2)
4. State where Entity is Registered with Secretary of State
California
<i>If other than California, is the Entity also registered in California?</i> <input type="checkbox"/> Yes <input type="checkbox"/> No
5. Type of Entity
<input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability Company <input type="checkbox"/> Partnership <input type="checkbox"/> Trust <input type="checkbox"/> Other (please specify)
6. Officers, Directors, Members, Managers, Trustees, Other Fiduciaries (please specify) <i>Note: If any response is not a natural person, please identify all officers, directors, members, managers and other fiduciaries for the member, manager, trust or other entity</i>
Ryan Patrick Wood <input checked="" type="checkbox"/> Officer <input type="checkbox"/> Director <input type="checkbox"/> Member <input type="checkbox"/> Manager _____ [name] <input type="checkbox"/> General Partner <input type="checkbox"/> Limited Partner <input type="checkbox"/> Other _____
_____ [name] <input type="checkbox"/> Officer <input type="checkbox"/> Director <input type="checkbox"/> Member <input type="checkbox"/> Manager <input type="checkbox"/> General Partner <input type="checkbox"/> Limited Partner <input type="checkbox"/> Other _____
_____ [name] <input type="checkbox"/> Officer <input type="checkbox"/> Director <input type="checkbox"/> Member <input type="checkbox"/> Manager <input type="checkbox"/> General Partner <input type="checkbox"/> Limited Partner <input type="checkbox"/> Other _____

7. Owners/Investors with a 5% beneficial interest in the Applicant Entity or a related entity	
<b>EXAMPLE</b>  <i>JANE DOE</i> <hr/> [name of owner/investor]	50%, ABC COMPANY, Inc. <hr/> [percentage of beneficial interest in entity and name of entity]
<b>A.</b>  Ryan Patrick Wood <hr/> [name of owner/investor]	100%, RWC Management Incorporated <hr/> [percentage of beneficial interest in entity and name of entity]
<b>B.</b>  <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]
<b>C.</b>  <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]
<b>D.</b>  <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]
<b>E.</b>  <hr/> [name of owner/investor]	<hr/> [percentage of beneficial interest in entity and name of entity]

**I DECLARE UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING IS TRUE AND CORRECT.**

Signature of Disclosing Party, Printed Name, Title 	Date 05/12/2022
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**PENALTIES**  
 Falsification of information or failure to report information required to be reported may subject you to administrative action by the City.

## RESOLUTION NO.

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING MAJOR DEVELOPMENT PERMIT APPLICATION, CASE 3.4322 MAJ, TO CONSTRUCT A 6,785-SQUARE-FOOT WAREHOUSE FACILITY ON AN UNDEVELOPED PARCEL LOCATED AT 3581 WEST DEL SOL ROAD (APN: 669-451-004), ZONE M-1-SP.

### THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

- A. William Dumka, with McGee Architects (the “Applicant”) has filed a Major Development Permit application, Case 3.4322 MAJ, in accordance with Section 94.04.01 (Development Permit) of the Plan Springs Zoning to construct a 6,785-square-foot warehouse facility on a .30-acre undeveloped parcel located at 3581 West Del Sol Road, Zone M-1-SP (College Park Specific Plan).
- B. On May 25, 2022, a public meeting on Case 3.4322 MAJ was held by the Planning Commission in accordance with applicable law.
- C. The proposed project is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”), and it is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of Title 14, Chapter 3 of the California Code of Regulations (Class 32, In-Fill Development Projects).
- D. At its public meeting of the May 25, 2022, the Planning Commission carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

### THE PLANNING COMMISSION RESOLVES:

Section 1: Major Development Permit Findings. The findings for approving a Major Development Permit are outlined in Section 94.04.01(D) (Development Permit – Criteria and Findings) of the Palm Springs Zoning Ordinance (PSZO). The Planning Commission finds the following in response to each required finding:

1. *The proposed project is consistent with the General Plan and any applicable specific plan;*

Warehouse facilities are not expressly listed as a land use in the Mixed Use (MU) designation area. Specific uses intended in this area include community-serving retail commercial, professional offices, services businesses, restaurants, daycare

centers, public and quasi-public uses. However, warehouse uses are considered a service business; therefore, the facility is consistent with the objectives of the MU designation area, and the proposed project is consistent with the General Plan. The project site is also located within the College Park Specific Plan (M-1-SP), which permits warehouse uses by right pursuant to Table II-14 of the Specific Plan.

2. *The proposed uses are in conformance to the use permitted in the zone district where the site is located, and are not detrimental to adjacent properties or residents;*

The proposed warehousing use is permitted by right in the M-1-SP Zone, pursuant to Table II-14 of the College Park Specific Plan. The site is adjacent to a similar warehouse and surrounded by industrial buildings on all sides. Because these are all similar uses, the project will not cause detrimental impact on the adjacent properties or residents.

3. *The proposed project is in conformance to the property development standards for the zone district where the site is located;*

As analyzed in the development standards table earlier in this report, the proposed project conforms to the development standards of the M-1-SP Zone, including max. height (25 proposed where 30 ft. maximum is allowed), front setback (45 ft. proposed where 5 ft. minimum is required) and lot coverage (52% proposed where 60% maximum is permitted). No deviations from the applicable development standards are requested for this project.

4. *The proposed height and massing of the project is consistent with applicable standards and compatible with adjacent development;*

The project site is adjacent to several other warehouse buildings that are similar in height and mass as the proposed structure. The proposed building is one-story, 24'-10 inches high, which is consistent with adjacent developments as well as the development standards in the College Park Specific Plan which states the maximum building height is 30 feet tall. The existing buildings on the north and west sides are all 24 feet tall. The height of the building on the south is unknown; however, it appears to be the same height as existing adjacent buildings.

5. *The proposed setbacks and placement of the building are consistent with applicable standards and consistent with setbacks of adjacent buildings;*

All development standards, including proposed setbacks and placement of the building, meet the minimum yard setback requirements of the M-1-SP Zone as analyzed in the staff report. These setbacks and placement are consistent with adjacent buildings that also follow the same standards, for example, the adjacent



buildings on the north, south and west have a front yard setback of 25 feet.

6. *The site for the proposed project has adequate access to streets and highways property designed and improved to carry the type and quantity of traffic to be generated by the proposed uses, and the design for the site plan enhances or continues the city's existing grid in accordance with the Circulation Plan of the General Plan;*

The project site will be accessible from West Del Sol Road and has adequate access to streets designed to carry traffic that is typically generated from a warehouse development of 6,785-square feet in size.

7. *On-site circulation conforms to minimum standards, and accommodations are made for safe on-site pedestrian circulation;*

Due to the nature of the proposed use, the visitors' primary mode of transportation is expected to be a motor vehicle. Customer parking areas are located on the north and south ends of the proposed parking lot. There is only one way to access the site and that is via West Del Sol Road. The proposed on-site circulation conforms to the development standards.

8. *Landscape areas and open space are in conformance to applicable standards, and the design of stormwater management features are appropriately integrated with other elements of the site design;*

The project site is designed with landscape along the front and side perimeter adjacent to the parking lot. The Landscape plan includes various drought tolerant species, such as (3) Acacia Salicina, (5) Acacia Aneura, (4) Dasyliroon Longissimum, (5) Agave Desmettiana, and (19) Aloe Blue Elf. Proposed ground cover includes boulders and a ¾" "Desert Gold" gravel base. Additionally, the applicant is proposing an underground retention system for stormwater management, which will be located underneath the proposed parking lot and appropriately integrated with site. The proposed landscape is in conformance to the standards.

9. *Public infrastructure, such as water, sewer, and similar utilities, is adequate to serve the proposed project;*

The proposed project is considered an in-fill project in an urban area. There is an existing sewer main located along West Del Sol Road. Water and electricity will be provided by the DWA and Southern California Edison. There is adequate infrastructure available to accommodate the proposed development.

10. *Based on environmental review, the proposed project either has no potentially significant environmental impacts, any potentially significant impacts have been*

*reduced to less than significant levels because of mitigation measures incorporated in the project, or a Statement of Overriding Considerations has been adopted to address unmitigated significant environmental impacts;*

The proposed project is categorically exempt from further CEQA review under Section 15332 of Title 14, Chapter 3 of the California Code of Regulations (Class 32, In-Fill Development Projects), which involves no potentially significant environmental impact. The project is consistent with the General Plan, is less than five (5) acres in size, has no known value as habitat for endangered, rare, or threatened species, and would not result in any significant effects relating to traffic, noise, air or water quality. The site is equipped with an existing curb and gutter, and a proposed water retention system will be located under the parking lot area which will assist in water filtration.

11. *The proposed project has no unacceptable adverse effects on public welfare, health or safety.*

The proposed warehouse facility will not contain any outdoor storage. There will be no activities conducted at the site which would cause public nuisance such as noise or odor. Additionally, the owners will be required to abide by the facility usage rules and regulations in zoning and municipal code. The development is located in an area surrounded by industrial uses. There are no known unacceptable adverse effects on public welfare, health or safety.

Section 2: Approval. Based upon the foregoing, the Planning Commission hereby approves Case 3.4322 MAJ, a Major Development Permit, for the construction of a 6,785-square-foot warehouse facility on a .30-acre undeveloped parcel at 3581 West Del Sol Road subject to those conditions set forth in the Exhibit A.

ADOPTED THIS 25th DAY of May, 2022.

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

---

David Newell, AICP  
Assistant Director of Planning

RESOLUTION NO.

**EXHIBIT A**

Warehouse Facility  
3581 West Del Sol Road  
Case 34322 MAJ

May 25, 2022

**CONDITIONS OF APPROVAL**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

**ADMINISTRATIVE CONDITIONS**

ADM 1. Project Description. This approval is for the project described per Case 3.4322 MAJ; except as modified with the conditions below;

ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped April 12, 2022, including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.

ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.

ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.

ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.4322 MAJ. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City

of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05. Permits will not be issued until the appeal period has concluded.
- ADM 9. Public Art Fees. This project shall be subject to Chapters 2.24 and 3.37 of the Municipal Code regarding public art. The project shall either provide public art or payment of an in-lieu fee. In the case of the in-lieu fee, the fee shall be based upon the total building permit valuation as calculated pursuant to the valuation table in the Uniform Building Code, the fee being 1/2% for commercial projects or 1/4% for residential projects with first \$100,000 of total building permit valuation for individual single-family units exempt. Should the public art be located on the project site, said location shall be reviewed and approved by the Director of Planning and Zoning and the Public Arts Commission, and the property owner shall enter into a recorded agreement to maintain the art work and protect the public rights of access and viewing.
- ADM 10. Comply with City Noise Ordinance. This use shall comply with the provisions of Section 11.74 Noise Ordinance of the Palm Springs Municipal Code. Violations may result in revocation of this Conditional Use Permit.

## PLANNING DEPARTMENT CONDITIONS

- PLN 1. Outdoor Lighting Conformance. Outdoor lighting shall fully conform to the requirements of Palm Springs Zoning Code and shall not produce disability glare, discomfort glare, light trespass, and/or light pollution as defined in Palm Springs Zoning Code Sections 93.21.00(A)(7), (8), (9), and (10). Additionally, the outdoor lighting shall conform to the requirement by the Riverside County Airport Land Use Commission (ALUC). Also see Condition ALUC 1.
- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 3. Sign Applications Required. No signs are approved by this action. Separate approval and permits shall be required for all signs in accordance with Zoning Ordinance Section 93.20.00. The applicant shall submit a sign program to the Department of Planning Services prior to the issuance of building permits.
- PLN 4. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.
- PLN 5. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 6. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 7. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 8. ARC Review. The proposed project is subject to Architectural Review Committee (ARC) review pursuant to Palm Springs Zoning Code Section 94.04.00. The Major Architectural Review (MAJ) application and materials/plans for review by the ARC shall include any revisions identified in these conditions.

## **BUILDING DIVISION CONDITIONS**

The Following Standard Building & Safety Conditions of Approval Are Applicable to This Project:

BLDG 1. Separate permits are required for Site Walls, Trash Enclosures, Signs, PV (Photovoltaic), Construction Trailers.

BLDG 2. Grading & ROW permits are to be issued by our Engineering Division.

BLDG 3. Utilities on the utility side of any meter are to be arranged with the respective Utility Company. Any utilities after a meter will be included in the Building Departments scope of work for inspections.

### **The Following Standard Building & Safety Conditions of Approval Are Applicable to This Project:**

#### **General Conditions**

1. Shall comply with the latest adopted edition of the following codes as applicable:

- A. 2019 California Building Code
- B. 2019 California Electrical Code
- C. 2019 California Mechanical Code
- D. 2019 California Plumbing Code
- E. 2019 California Energy Code
- F. 2019 California Fire Code
- G. 2019 California Green Building Standards Code

- 2. Any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project shall comply with City Code.
- 3. In addition to approval from Building & Safety, approval is required from the County of Riverside, Department of Public Health for occupancies involving fueling stations and foods and beverages.
- 4. All exterior lighting shall be oriented, directed, and/or shielded as much as possible so that direct illumination does not infringe onto adjoining properties.
- 5. All development impact fees including but not limited to TUMF, CVMSHCP, Sewer Connection and Public Arts shall be paid at time of permit issuance.

## **ENGINEERING DIVISION CONDITIONS:**

The Engineering Services Department recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

### **STREETS**

- ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.
- ENG 2. Asphalt concrete paving for parking lot prior to completion of on-site construction activities, will require additional paving requirements prior to acceptance of the parking lot improvements, including, but not limited to: removal and replacement of damaged asphalt concrete pavement, overlay, slurry seal, or other repairs, as required by the City Engineer.
- ENG 3. Applicant shall pay a street assessment fee of \$16,317.15 in accordance with the terms of the Street Improvement Construction Refund Agreement between the City of Palm Springs and Frank J. Burgess, Agreement No. A5664. The fee shall be paid to the City of Palm Springs prior to issuance of a building permit.
- ENG 4. Applicant shall pay a fire hydrant assessment fee of \$4,313.00 in accordance with the terms of the Fire Hydrant Construction Refund Agreement between the City of Palm Springs and Frank J. Burgess, Agreement No. 5665. The fee shall be paid to the City of Palm Springs prior to issuance of a building permit.

### **DEL SOL ROAD**

- ENG 5. Construct a 24 feet wide driveway approach in accordance with City of Palm Springs Standard Drawing No. 201.
- ENG 6. If the proposed driveway approach to be constructed in accordance with City of Palm Springs Standard Drawing No. 201 results in a portion of the sidewalk to be within the project property, dedicate an easement along the back of the driveway approach for sidewalk purposes as required. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A right-

of-way plan check fee shall be paid by the applicant in effect at the time that the dedication is submitted.

ENG 7. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

#### ON-SITE

ENG 8. The minimum pavement section for all on-site pavement (drive aisles, parking spaces) shall be 2-1/2 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal. If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.

#### SANITARY SEWER

ENG 9. All sanitary facilities shall be connected to the public sewer system. New laterals shall not be connected at manholes.

ENG 10. Pay a sewer assessment fee of \$2,225.43 in accordance with the terms of the Sewer Construction Refund Agreement between the City of Palm Springs and Mike Sirelson, Sewer Agreement No. 3283. The fee shall be paid prior to issuance of a building permit.

#### GRADING

ENG 11. Submit a Precise Grading and Paving Plan prepared by a California registered Civil engineer to the Engineering Services Department for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.

a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion



from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related “PM10” Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report; a copy of the project-specific Final Water Quality Management Plan.

- ENG 12. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be provided to the City). The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at [ACBCI-THPO@aguacaliente.net](mailto:ACBCI-THPO@aguacaliente.net) to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.
- ENG 13. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed prior to issuance of Grading Permit and commencement of grading operations.
- ENG 14. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 15. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all

disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.

- ENG 16. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 17. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan. (if required)
- ENG 18. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided prior to issuance of Building Permits.
- ENG 19. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval.
- ENG 20. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, CA 90040 (Phone (760) 782-3271, (562) 505-6415), [Sonia.Oran@cdfa.ca.gov](mailto:Sonia.Oran@cdfa.ca.gov).

#### WATER QUALITY MANAGEMENT PLAN

- ENG 21. This project shall be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating contaminated stormwater and non-stormwater runoff, shall be required by regulations imposed by the RWQCB. It shall be the

applicant's responsibility to design and install appropriate BMP's, in accordance with the NPDES Permit, that effectively intercept and pre-treat contaminated stormwater and non-stormwater runoff from the project site, prior to release to the City's municipal separate storm sewer system ("MS4"), to the satisfaction of the City Engineer and the RWQCB. Such measures shall be designed and installed on-site; and provisions for perpetual maintenance of the measures shall be provided to the satisfaction of the City Engineer, including provisions in Covenants, Conditions, and Restrictions (CC&R's) required for the development (if any).

ENG 22. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a grading or building permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to the adjacent property (or public streets) is prohibited. Construction of operational BMP's shall be incorporated into the Precise Grading and Paving Plan.

ENG 23. Prior to issuance of any grading or building permits, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement the approved Final Project-Specific Water Quality Management Plan (WQMP). Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include: requiring the implementation of the Final Project-Specific WQMP in Home Owners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&Rs); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to issuance of any grading or building permits.

## DRAINAGE

ENG 24. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property. Provide a hydrology study to determine the volume of increased stormwater runoff due to development of the site, and to determine required stormwater runoff mitigation measures for the proposed development. Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and approval of the

hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study. No more than 40-50% of the street frontage parkway/setback areas should be designed as retention basins. On-site open space, in conjunction with dry wells and other subsurface solutions should be considered as alternatives to using landscaped parkways for on-site retention.

- ENG 25. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$7,287.76 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

#### GENERAL

- ENG 26. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.
- ENG 27. All proposed utility lines shall be installed underground.
- ENG 28. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 29. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing filetype), DXF (AutoCAD ASCII drawing exchange filetype), and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 30. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 31. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 32. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers

installed in accordance with City of Palm Springs Standard Drawing No. 904.

- ENG 33. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation Fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

#### TRAFFIC

- ENG 34. A minimum of 48 inches of clearance for accessibility shall be provided on public sidewalks. Minimum clearance on public sidewalks shall be provided by either an additional dedication of a sidewalk easement if necessary and widening of the sidewalk, or by the relocation of any obstructions within the public sidewalk along the frontage of the subject property.

- ENG 35. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and streetlights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.

- ENG 36. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

- ENG 37. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

#### **FIRE DEPARTMENT CONDITIONS**

- FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.
- FID 2. Fire Department Conditions were based on the 2019 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "T" Development Requirements and latest adopted NFPA Standards. Three (3) complete sets of plans for fire sprinkler system plans, underground water improvement plans, & fire alarm plans must be submitted prior to a building permit being released.

**FID 3. Conditions of Approval** – “Conditions of Approval” received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

**FID 4. Plans and Permits (CFC 105.1):**

Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer’s technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

**FID 5. Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

**FID 6. Required access (CFC 504.1):** Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway

leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

**FID 7. Key Box Required to be Installed (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be flush mount type and shall contain keys to gain necessary access as required by the fire code official.

Secured emergency access gates serving apartment, town home or condominium complex courtyards must provide a key box in addition to association or facility locks. The nominal height of Knox lock box installations shall be 5 feet above grade. Location and installation of Knox key boxes must be approved by the fire code official.

**FID 8. Key Box Contents (CFC 506.1):** The Knox key box shall contain keys to all areas of ingress/egress, alarm rooms, fire sprinkler riser/equipment rooms, mechanical rooms, elevator rooms, elevator controls, plus a card containing the emergency contact people and phone numbers for the building/complex.

**FID 9. NFPA 13 Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13, 2016 Editions, as modified by local ordinance.

**FID 10. Fire Alarm System Required:** An automatic or manual fire alarm system is required. Only a C-10 licensed fire alarm contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 72, 2016 editions, as modified by local ordinance.

**FID 11. Designated Fire Lanes:** in private developments shall be not less than 24 feet wide (curb face to curb face) with no parking on either side and shall be identified as fire lanes with red curb, stating in white lettering " NO PARKING FIRE LANE", or by approved signage, or by both red curb with lettering and signage.

FID 12. **Fire Department Access Roads/Driveways:** Shall be provided so that no portion of the exterior wall of the first floor of any building will be more than 150 feet from such roads.

FID 13. **Private Fire Hydrants:** Additional private hydrants may be required.

FID 14. **Security Gates:** A Knox key operated switch shall be installed at every automatic gate. Secured automated vehicle gates or entries shall utilize a combination of a Tomar Strobeswitch™, or approved equal, and an approved Knox key switch when required by the fire code official. Secured non-automated vehicle gates or entries shall utilize an approved padlock or chain (maximum link or lock shackle size of ¼ inch) when required by the fire code official.

**END OF CONDITIONS**



# FIRE DEPT. CONDITIONS

1. THESE FIRE DEPARTMENT CONDITIONS MAY NOT PROVIDE ALL REQUIREMENTS. OWNER/DEVELOPER IS RESPONSIBLE FOR ALL APPLICABLE STATE AND LOCALLY ADOPTED FIRE CODES. DETAILED PLANS ARE STILL REQUIRED FOR REVIEW. CONDITIONS ARE SUBJECT TO FIRE PLAN CHECK AND REVIEW.  
 2. FIRE DEPARTMENT CONDITIONS WERE BASED ON THE 2016 CALIFORNIA FIRE CODE AS ADOPTED BY THE CITY OF PALM SPRINGS, PALM SPRINGS MUNICIPAL CODE, AND APPENDIX 7 DEVELOPMENT REQUIREMENTS, AND LATEST ADOPTED NFPA STANDARDS. THREE (3) COMPLETE SETS OF PLANS FOR FIRE SPRINKLER SYSTEM, UNDERGROUND WATER IMPROVEMENT PLANS, AND FIRE ALARM MUST BE SUBMITTED PRIOR TO BUILDING PERMIT BEING RELEASED.  
 3. CONDITIONS OF APPROVAL - "CONDITIONS OF APPROVAL" RECEIVED FROM THE PALM SPRINGS PLANNING DEPARTMENT MUST BE SUBMITTED WITH EACH PLAN SET. FAILURE TO SUBMIT WILL RESULT IN A DELAY OF PLAN APPROVAL.  
 4. PLANS AND PERMITS (CFC 105.1): PERMITS AND SCALED DRAWINGS ARE REQUIRED FOR THIS PROJECT. PLAN REVIEWS CAN TAKE UP TO 20 WORKING DAYS. SUBMIT A MINIMUM OF THREE (3) SETS OF DRAWINGS FOR REVIEW. UPON APPROVAL, THE FIRE PREVENTION BUREAU WILL RETAIN ONE SET. PLANS SHALL BE SUBMITTED TO:

CITY OF PALM SPRINGS  
 BUILDING AND SAFETY DEPARTMENT  
 3200 E. TAHQUITZ CANYON WAY  
 PALM SPRINGS, CA 92262

COUNTER HOURS: 8:00 AM - 6:00 PM, MONDAY - THURSDAY

A DEPOSIT FOR PLAN CHECK AND INSPECTION FEES IS REQUIRED AT THE TIME OF PLAN SUBMITTAL. THESE FEES ARE ESTABLISHED BY RESOLUTION OF THE PALM SPRINGS CITY COUNCIL.

COMPLETE LISTINGS AND MANUFACTURER'S TECHNICAL DATA SHEETS FOR ALL SYSTEM MATERIALS SHALL BE INCLUDED WITH PLAN SUBMITTALS. ALL SYSTEM MATERIALS SHALL BE UL LISTED OR FM APPROVED FOR FIRE PROTECTION SERVICE AND APPROVED BY THE FIRE PREVENTION BUREAU PRIOR TO INSTALLATION.

PLANS SHALL INCLUDE ALL NECESSARY ENGINEERING FEATURES, INCLUDING ALL HYDRAULIC REFERENCE NODES, PIPE LENGTHS AND PIPE DIAMETERS AS REQUIRED BY THE APPROPRIATE CODES AND STANDARDS. PLANS AND SUPPORTING DATA, (CALCULATIONS AND MANUFACTURER'S TECHNICAL DATA SHEETS) INCLUDING FIRE FLOW DATA, SHALL BE SUBMITTED WITH EACH PLAN SUBMITTAL. COMPLETE AND ACCURATE LEGENDS FOR ALL SYMBOLS AND ABBREVIATIONS SHALL BE PROVIDED ON THE PLANS.

5. ACCESS DURING CONSTRUCTION (CFC 503): ACCESS FOR FIREFIGHTING EQUIPMENT SHALL BE PROVIDED TO THE IMMEDIATE JOB SITE AT THE START OF CONSTRUCTION AND MAINTAINED UNTIL ALL CONSTRUCTION IS COMPLETE. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 24 FEET AND UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13'-6". FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN ALL-WEATHER DRIVING SURFACE AND SUPPORT A MINIMUM WEIGHT OF 73,000 LBS.

6. REQUIRED ACCESS (CFC 504.1): EXTERIOR DOORS AND OPENINGS REQUIRED BY THIS CODE OR THE CALIFORNIA BUILDING CODE SHALL BE MAINTAINED READILY ACCESSIBLE FOR EMERGENCY ACCESS BY THE FIRE DEPARTMENT. AN APPROVED ACCESS WALKWAY LEADING FROM FIRE APPARATUS ACCESS ROADS TO EXTERIOR OPENINGS SHALL BE PROVIDED WHEN REQUIRED BY THE FIRE CODE OFFICIAL.

7. KEY BOX REQUIRED TO BE INSTALLED (CFC 506.1): WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFE-SAVING OR FIRE-FIGHTING PURPOSES, THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE A KEY BOX TO BE INSTALLED IN AN APPROVED LOCATION. THE KEY BOX SHALL BE FLUSH MOUNT TYPE AND SHALL CONTAIN KEYS TO GAIN NECESSARY ACCESS AS REQUIRED BY THE FIRE CODE OFFICIAL.

SECURED EMERGENCY ACCESS GATES SERVING APARTMENT, TOWN HOME OR CONDOMINIUM COMPLEX COURTYARDS MUST PROVIDE A KEY BOX IN ADDITION TO ASSOCIATION OR FACILITY LOCKS. THE NOMINAL HEIGHT OF KNOX LOCK BOX INSTALLATIONS SHALL BE 5 FEET ABOVE GRADE. LOCATION AND INSTALLATION OF KNOX KEY BOXES MUST BE APPROVED BY THE FIRE CODE OFFICIAL.

8. KEY BOX CONTENTS (CFC 506.1): THE KNOX KEY BOX SHALL CONTAIN KEYS TO ALL AREAS OF INGRESS/EGRESS, ALARM ROOMS, FIRE SPRINKLER RISER/EQUIPMENT ROOMS, MECHANICAL ROOMS, ELEVATOR ROOMS, ELEVATOR CONTROLS, PLUS A CARD CONTAINING THE EMERGENCY CONTACT PEOPLE AND PHONE NUMBERS FOR THE BUILDING/COMPLEX.

9. NFPA 13 FIRE SPRINKLERS REQUIRED: AN AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED. ONLY A C-16 LICENSED FIRE SPRINKLER CONTRACTOR SHALL PERFORM SYSTEM DESIGN AND INSTALLATION. SYSTEM TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA STANDARD 13, 2016 EDITIONS, AS MODIFIED BY LOCAL ORDINANCE.

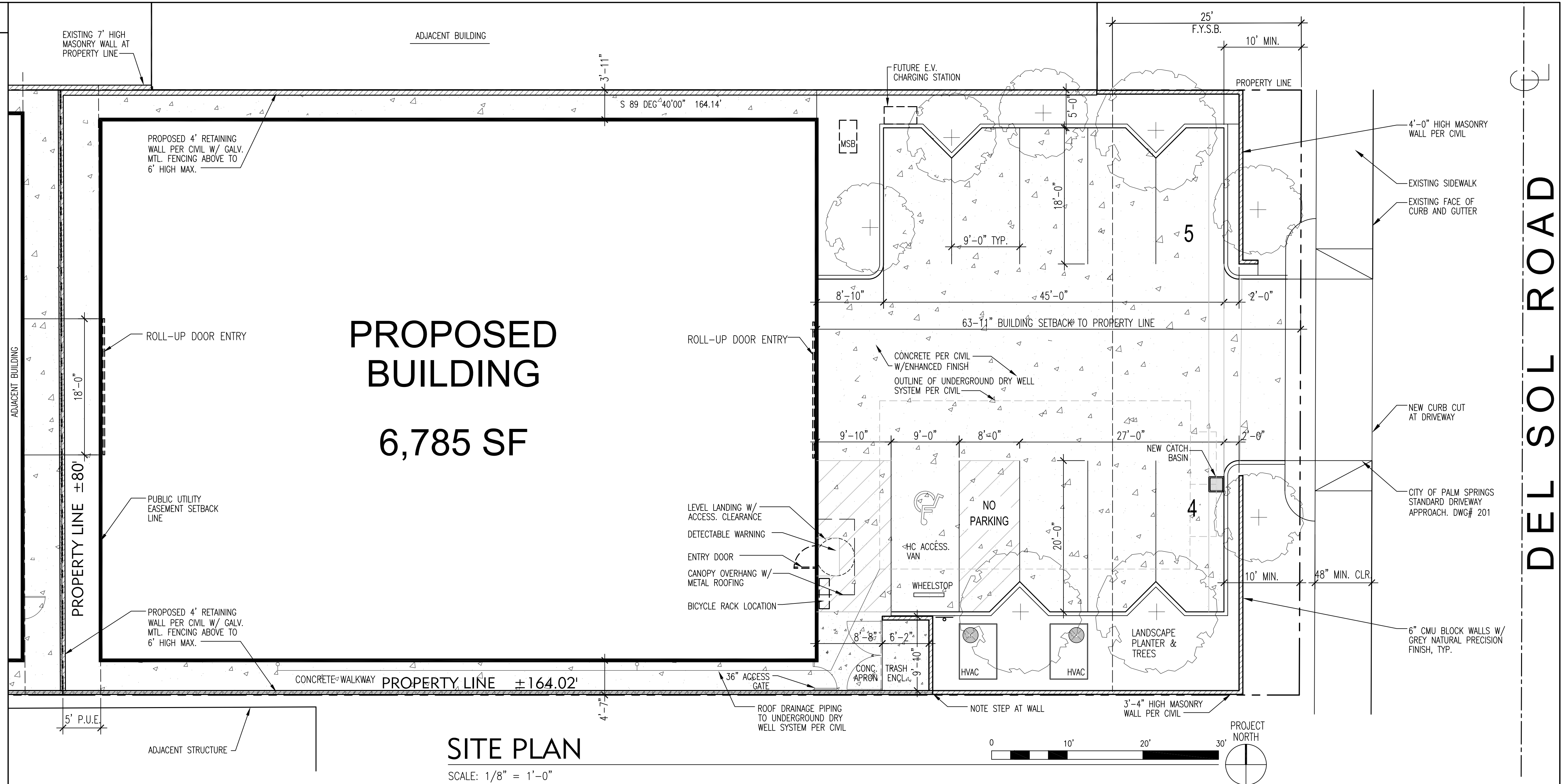
10. FIRE ALARM SYSTEM REQUIRED: AN AUTOMATIC OR MANUAL FIRE ALARM SYSTEM IS REQUIRED. ONLY A C-10 LICENSED FIRE ALARM CONTRACTOR SHALL PERFORM SYSTEM DESIGN AND INSTALLATION. SYSTEM TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA STANDARD 72, 2016 EDITIONS, AS MODIFIED BY LOCAL ORDINANCE.

11. DESIGNATED FIRE LANES: IN PRIVATE DEVELOPMENTS SHALL BE NOT LESS THAN 24 FEET WIDE (CURB FACE TO CURB FACE) WITH NO PARKING ON EITHER SIDE AND SHALL BE IDENTIFIED AS FIRE LANES WITH RED CURB, STAINING IN WHITE LETTERING "NO PARKING FIRE LANE", OR BY APPROVED SIGNAGE, OR BY BOTH RED CURB WITH LETTERING AND SIGNAGE.

12. FIRE DEPARTMENT ACCESS ROADS/DRIVEWAYS: SHALL BE PROVIDED SO THAT NO PORTION OF THE EXTERIOR WALL OF THE FIRST FLOOR OF ANY BUILDING WILL BE MORE THAN 150 FEET FROM SUCH ROADS.

13. PRIVATE FIRE HYDRANTS: ADDITIONAL PRIVATE HYDRANTS MAY BE REQUIRED.

14. SECURITY GATES: A KNOX KEY OPERATED SWITCH SHALL BE INSTALLED AT EVERY AUTOMATIC GATE. SECURED AUTOMATED VEHICLE GATES OR ENTRIES SHALL UTILIZE A COMBINATION OF A TOMAR STROBESWITCH™, OR APPROVED EQUAL, AND AN APPROVED KNOX KEY SWITCH WHEN REQUIRED BY THE FIRE CODE OFFICIAL. SECURED NON-AUTOMATED VEHICLE GATES OR ENTRIES SHALL UTILIZE AN APPROVED PADLOCK OR CHAIN (MAXIMUM LINK OR LOCK SHACKLE SIZE OF 1/4 INCH) WHEN REQUIRED BY THE FIRE CODE OFFICIAL.



DRAWING SYMBOLS	
	KEY NOTE REFERENCE
	DOOR NUMBER DESIGNATION
	WINDOW NUMBER DESIGNATION
	CONTROL DATUM POINT
	INTERIOR ELEVATION SYMBOL
	GRID LINE LETTER OR NUMBER DESIGNATION
	WALL OR DETAIL SECTION INDICATES REFERENCE NUMBER INDICATES SHEET WHERE SECTION RESIDES
	OVERALL BUILDING SECTION INDICATES REFERENCE NUMBER INDICATES SHEET WHERE SECTION RESIDES
	ENLARGED DETAIL INDICATES REFERENCE NUMBER INDICATES SHEET WHERE DETAIL RESIDES
	DIMENSION TO FACE OF (BUILDING MATERIAL)
	DIMENSION TO CENTER OF (BUILDING MATERIAL)

PLAN FILE NO.	PERMIT NO.	SCOPE OF WORK
		CONSTRUCTION OF NEW SINGLE-STORY STRUCTURE WITH MANUFACTURED STEEL FRAMING SYSTEM ON NEW CONCRETE PAD FOR WAREHOUSE STORAGE FACILITY. INSULATED METAL PANEL WALLS AND ROOFING SYSTEM TO BE INSTALLED OVER FRAMING STEEL FRAME. EXTERIOR WORK TO INCLUDE WALKWAYS, PLANTERS, DRIVEWAY AND PARKING AREA. INTERIOR WORK AS FOLLOWS: NEW PARTITION AND CEILING AREA AT RESTROOM AND MOP SINK. NEW PLUMBING FIXTURES AND PIPING. NEW HVAC UNITS AND DUCTING. NEW ELECTRICAL POWER, OUTLETS, AND DATA.  PROVISIONS FOR SANITARY, HVAC, TITLE 24, ACCESSIBLE ACCESS REGULATIONS REGULATIONS AND ENERGY CONSERVATION MEASURES TO BE COMPLIED WITH.

PROJECT DATA	
OCCUPANCY GROUP:	S2
OCCUPANCY LOAD:	14 = 6,785 SF/500 (OLF)
DESCRIPTION OF PROPOSED USE:	WAREHOUSE
TYPE OF CONSTRUCTION:	TYPE 5-B
FIRE SPRINKLERED:	YES
TOTAL BUILDING AREA:	6,785 S.F.
No. OF STORIES:	1 STORIES
OVERALL PROPOSED HEIGHT:	25'-0"
EXISTING PARCEL INFORMATION	
ZONING:	M-1 (SERVICE/MANUFACTURING)
EXISTING USE:	NONE (EMPTY LOT)
A.P.N. :	669-451-004
BUILDING AREA CALCULATION	
LOT SIZE:	13,099 S.F.
TOTAL COVERED ALLOWED:	7,859 S.F. (60%)
TOTAL COVERED PROPOSED:	6,785 S.F. (52%)
PARKING CALCULATION	
1 SPACE/800 S.F. GROSS FLOOR AREA (WAREHOUSE)	
TOTAL GROSS S.F.:	6,785 S.F. / 800 = 8.5 REQUIRED
9 PARKING SPACES PROPOSED	
TOTAL PARKING AREA:	1,626 S.F.
(1-25 SPACES = 1 ACCESSIBLE SPACE REQ'D)	
9 SPACES < 25 = 1 ACCESSIBLE SPACE PROVIDED	
LANDSCAPE CALCULATIONS	
TOTAL LANDSCAPE AREA =	1,287 S.F.
PARKING SHADE REQUIRED = PARKING AREA X 30% =	1,626 S.F. X .3 = 488 S.F.
PARKING SHADE PROVIDED =	492 S.F.

PROJECT DIRECTORY	
<b>OWNER:</b>	<b>CIVIL ENGINEER:</b>
RYAN WOOD P.O. BOX 262 PALM SPRINGS, CA 92263 PHONE: (760) 902-5190 E-MAIL: ryan.wood.gr@gmail.com CONTACT: RYAN WOOD	EGAN CIVIL, INC. 42945 MADRID STREET, SUITE A INDIO, CA 92201 PHONE: (760) 404-7663 E-MAIL: began@egancivil.com CONTACT: BENJAMIN DANIEL EGAN, PE PLS
<b>ARCHITECT:</b>	
McGEE SHARON ARCHITECTS 1530 WEST LEWIS STREET SAN DIEGO, CA 92103 PHONE: (619) 299-9111 E-MAIL: wsharon@mcgeesharon.com CONTACT: MELVIN MCGEE, ARCHITECT	

GOVERNING CODES	
2019 CALIFORNIA BUILDING CODE	
2019 CALIFORNIA ELECTRICAL CODE	
2019 CALIFORNIA MECHANICAL CODE	
2019 CALIFORNIA PLUMBING CODE	
2019 CALIFORNIA FIRE CODE	
2019 CALIFORNIA ENERGY CODE	
2019 CALIFORNIA GREEN BUILDING CODE	

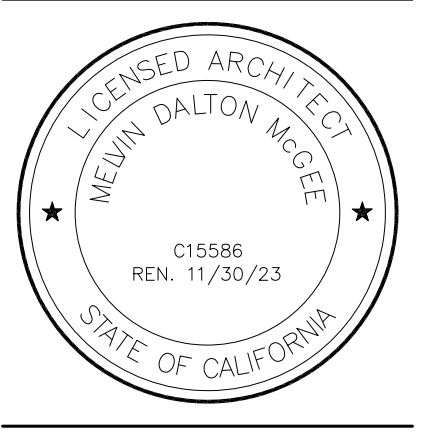
SHEET INDEX	
SHT. NO.	CONTENTS
AS1.0	TITLE SHEET - SITE PLAN & PROJECT DATA
A-1	FLOOR PLANS
A-2	ROOF PLANS
A-3	ELEVATIONS
A-4	BUILDING SECTIONS
L-1	LANDSCAPE PLAN
C-1	GRADING, DRAINAGE & UTILITY PLAN

VICINITY MAP	
PROJECT SITE W. DEL SOL ROAD	
NOT TO SCALE	

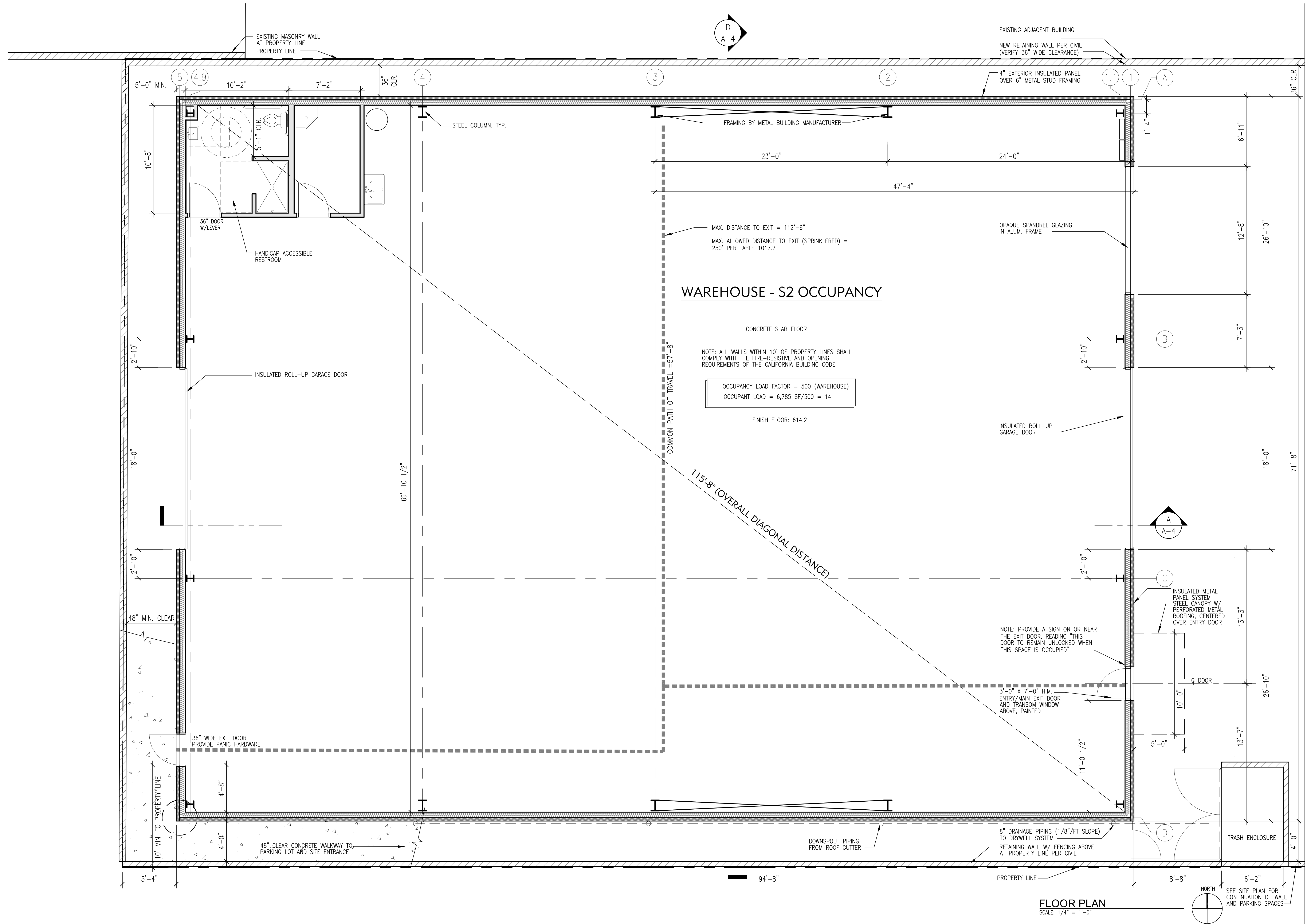
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	WINDOW NUMBER DESIGNATION
	CONTROL DATUM POINT
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	DIMENSION TO FACE OF (BUILDING MATERIAL)
	DIMENSION TO CENTER OF (BUILDING MATERIAL)

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Scale	AS NOTED
Job #	1360
Revisions	
MAA_Submittal	4/07/22
Sheet Number	
<b>AS1.0</b>	
<b>SITE PLAN</b>	



**WAREHOUSE - S2 OCCUPANCY**

CONCRETE SLAB FLOOR

NOTE: ALL WALLS WITHIN 10' OF PROPERTY LINES SHALL COMPLY WITH THE FIRE-RESISTIVE AND OPENING REQUIREMENTS OF THE CALIFORNIA BUILDING CODE

OCCUPANCY LOAD FACTOR = 500 (WAREHOUSE)  
OCCUPANT LOAD = 6,785 SF/500 = 14

FINISH FLOOR: 614.2

EXISTING ADJACENT BUILDING  
NEW RETAINING WALL PER CIVIL (VERIFY 36" WIDE CLEARANCE)

4" EXTERIOR INSULATED PANEL OVER 6" METAL STUD FRAMING

OPAQUE SPANDREL GLAZING IN ALUM. FRAME

INSULATED ROLL-UP GARAGE DOOR

INSULATED METAL PANEL SYSTEM STEEL CANOPY W/ PERFORATED METAL ROOFING, CENTERED OVER ENTRY DOOR

NOTE: PROVIDE A SIGN ON OR NEAR THE EXIT DOOR, READING "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED"

3'-0" X 7'-0" H.M. ENTRY/MAIN EXIT DOOR AND TRANSOM WINDOW ABOVE, PAINTED

8" DRAINAGE PIPING (1/8" FT SLOPE) TO DRYWELL SYSTEM

RETAINING WALL W/ FENCING ABOVE AT PROPERTY LINE PER CIVIL

TRASH ENCLOSURE

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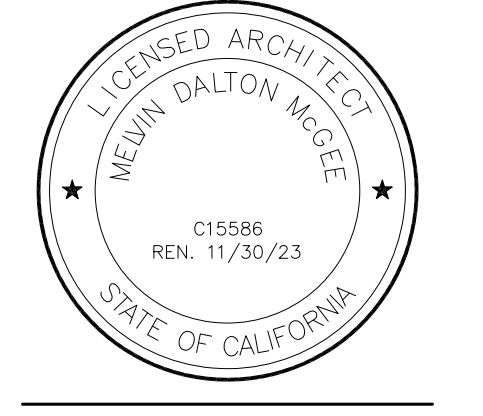
PROPERTY LINE

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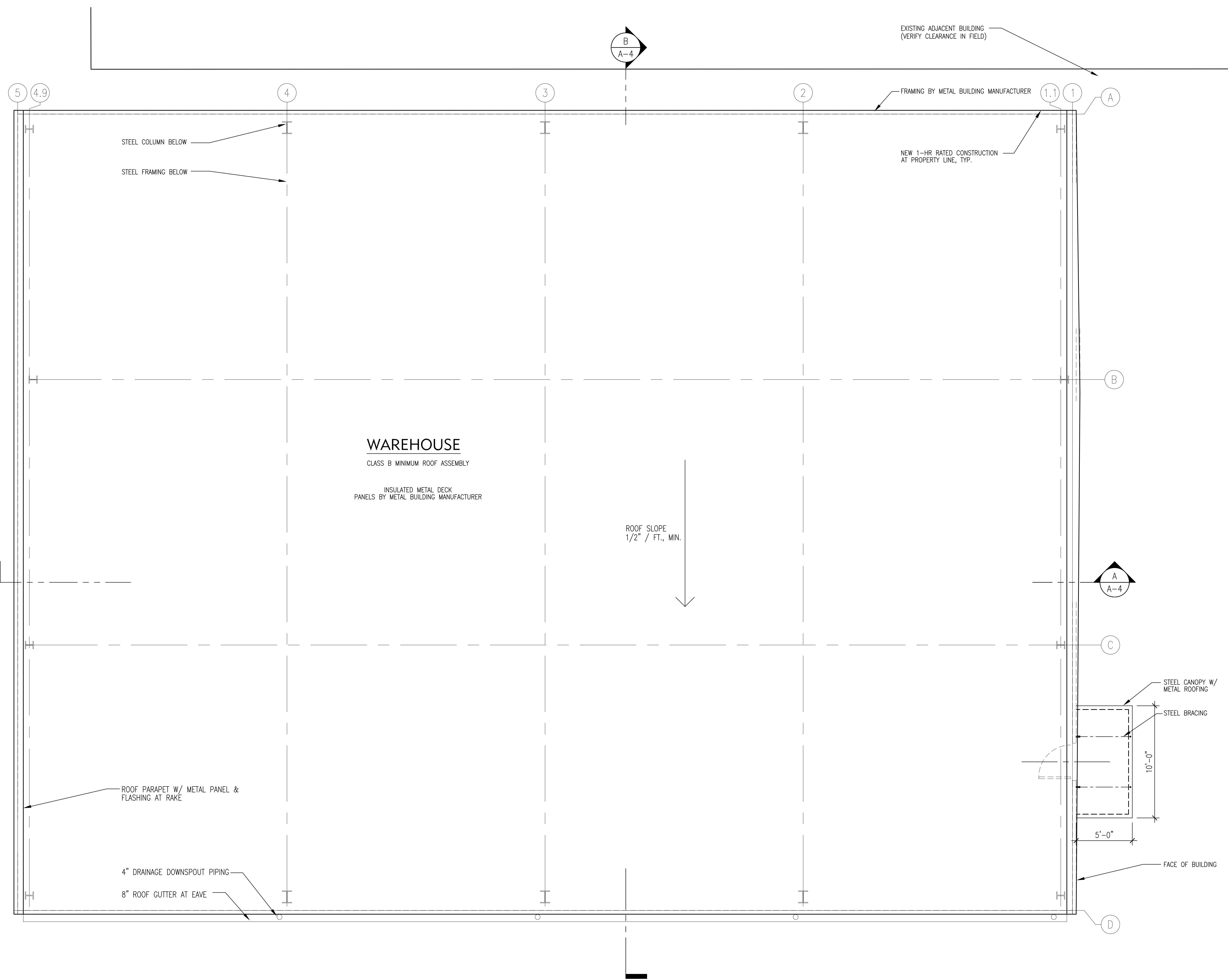
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Revisions  
MAA\_Submittal 4/07/22

Sheet Number  
**A-1.0**  
FLOOR PLANS

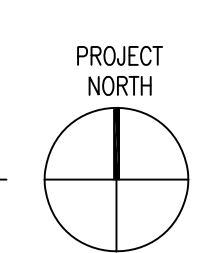
**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



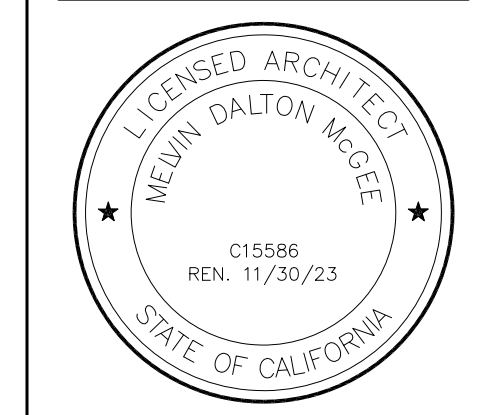
SEE SITE PLAN FOR CONTINUATION OF WALL AND PARKING SPACES



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



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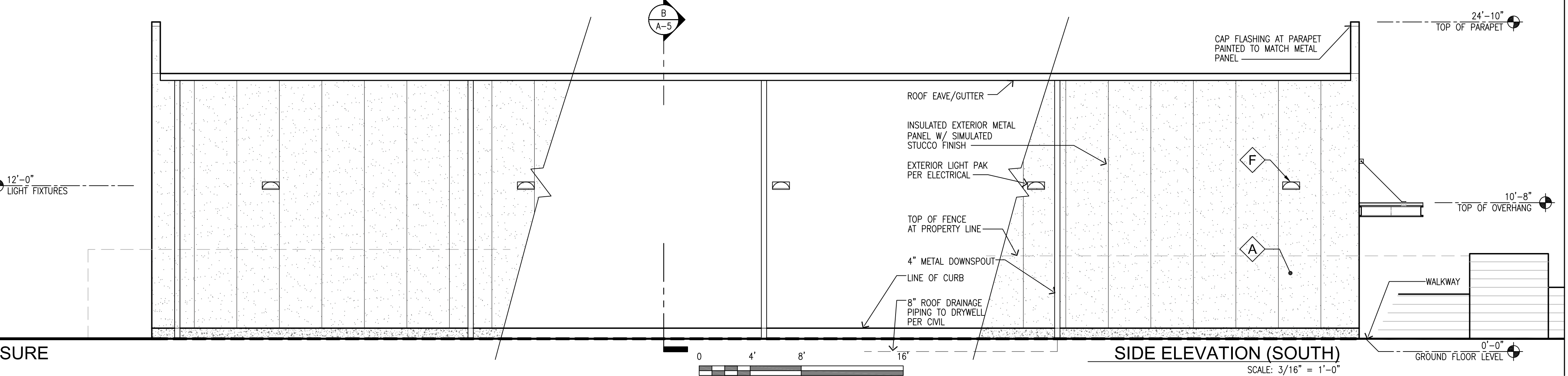
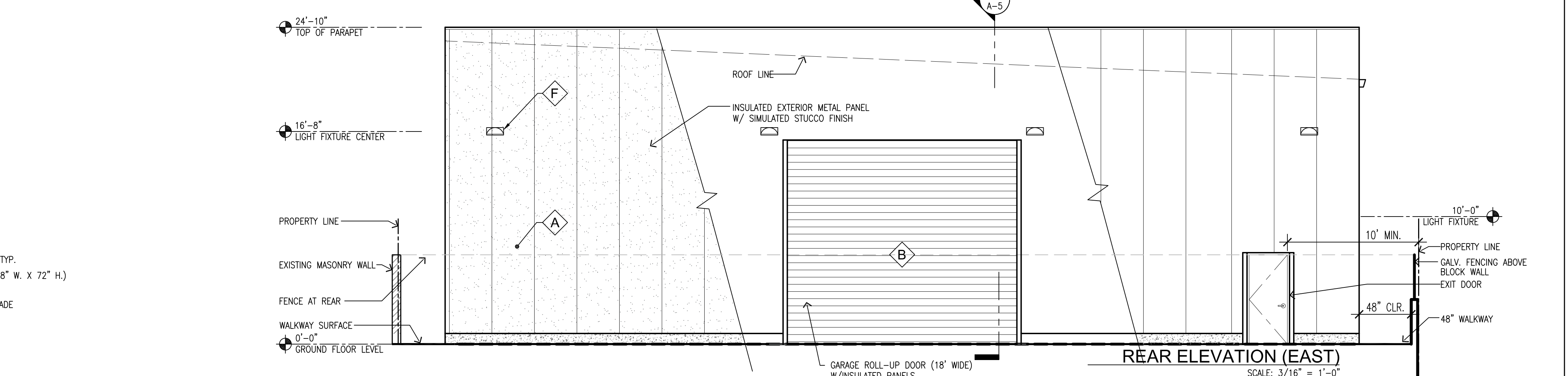
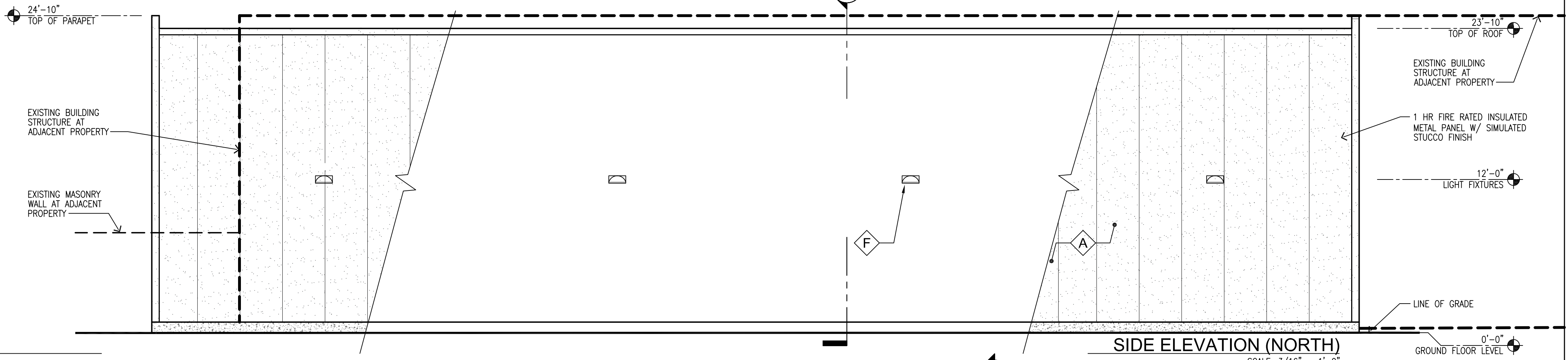
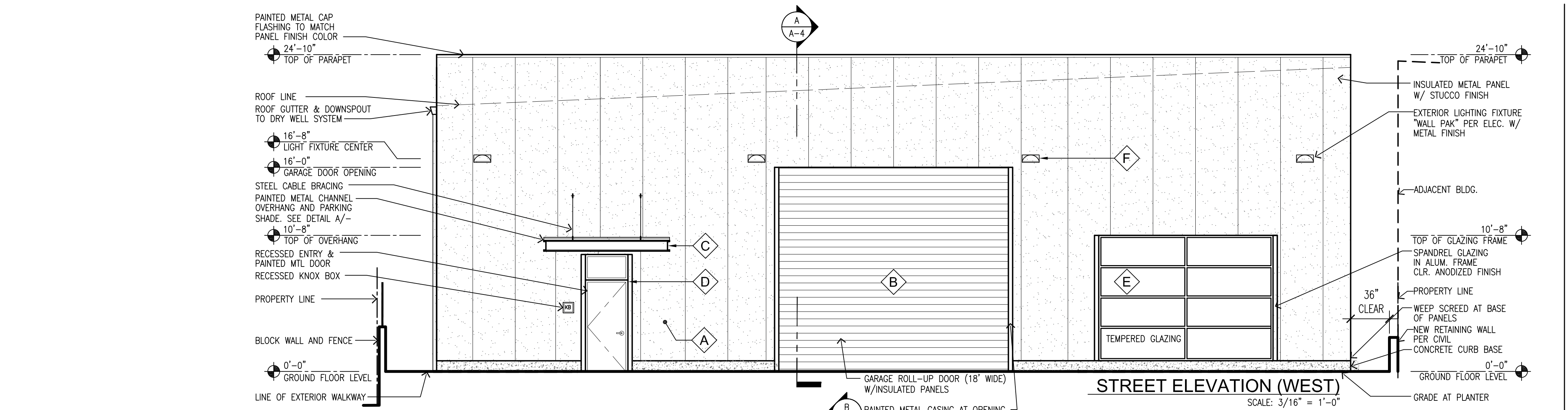
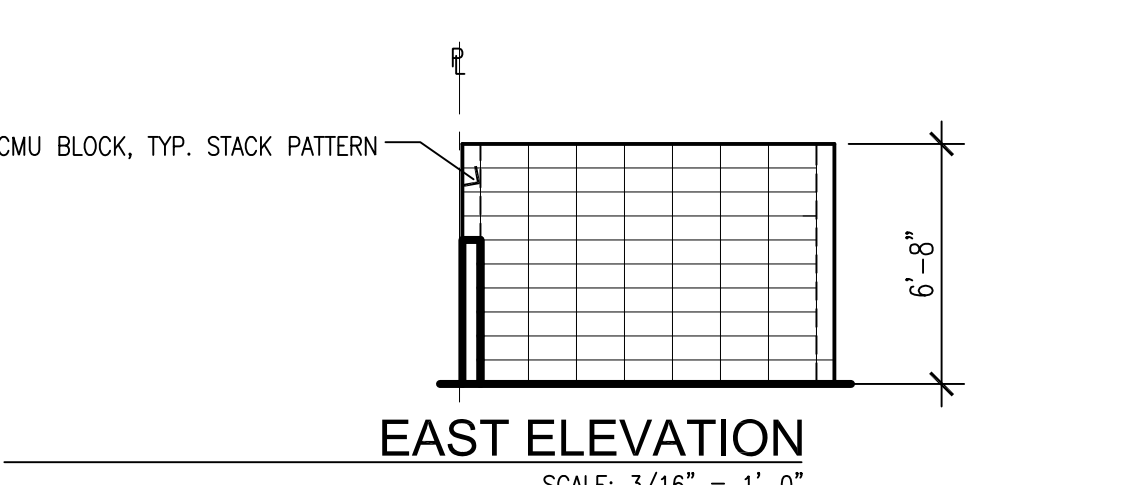
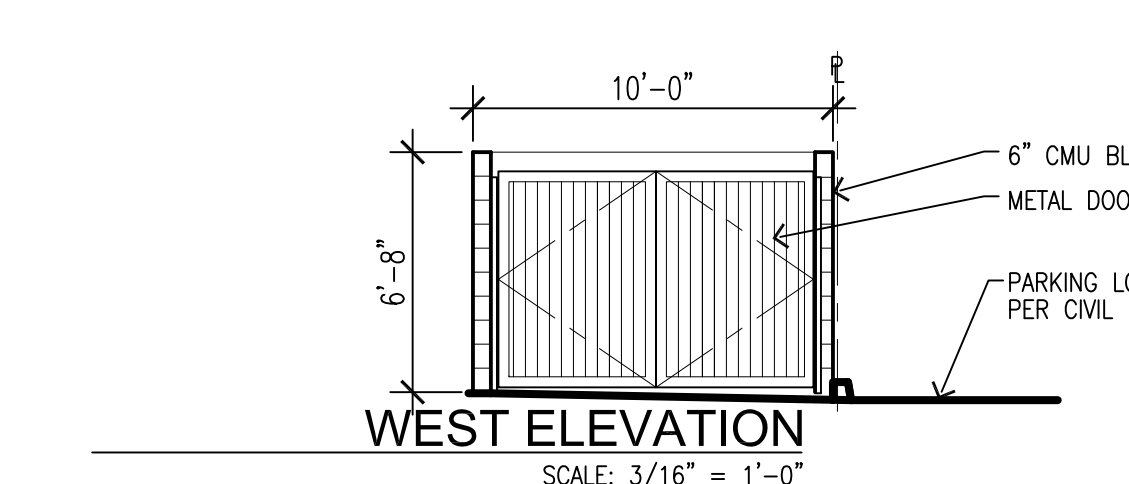
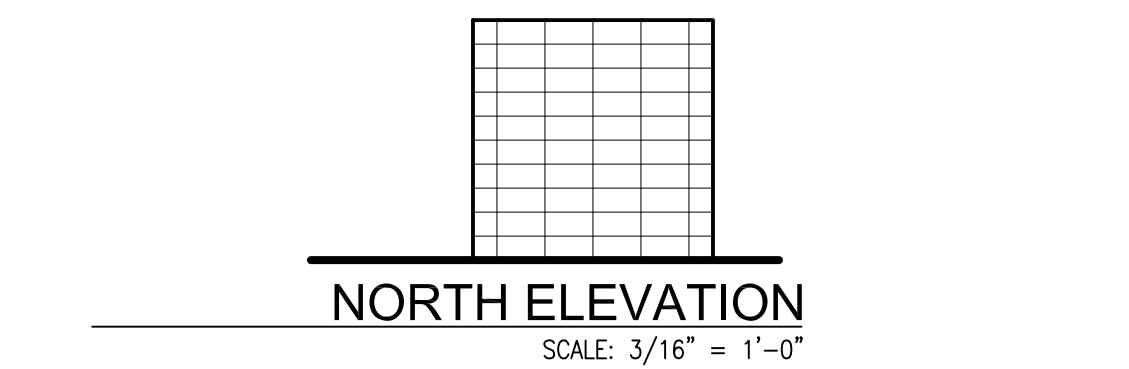
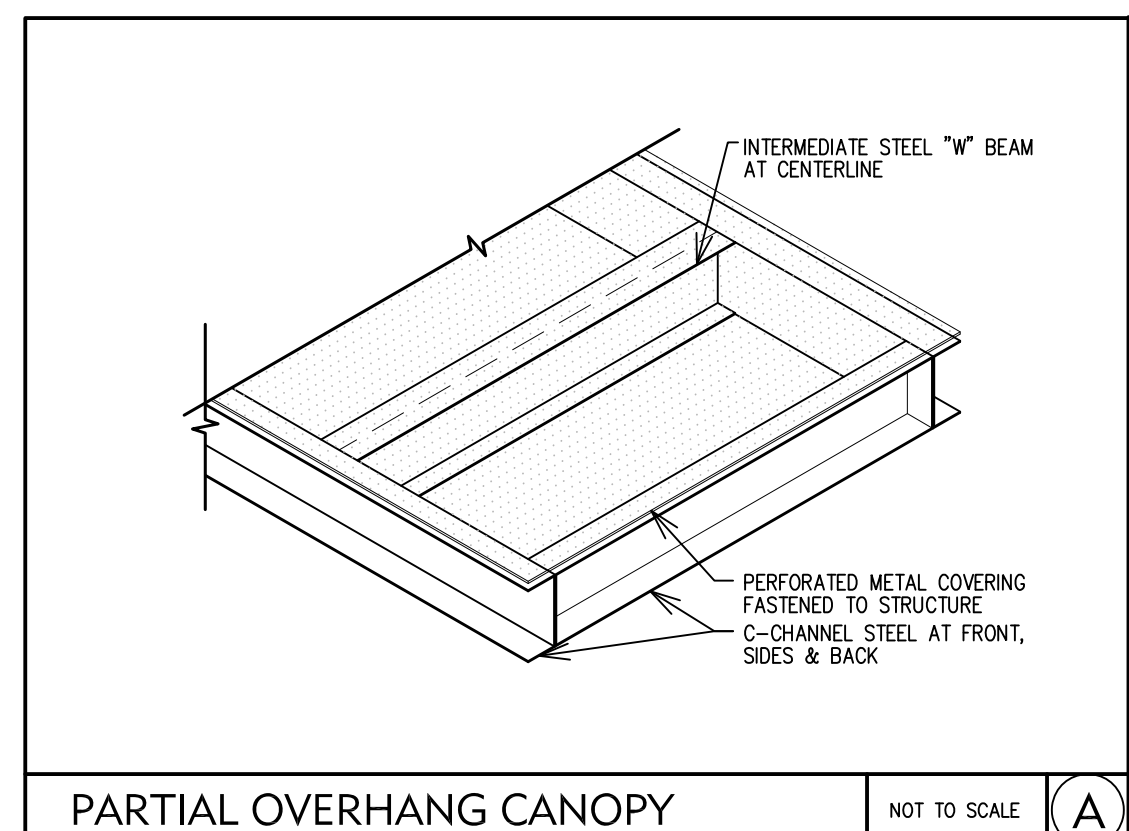
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Sheet Number  
**A-2**  
**ROOF PLAN**

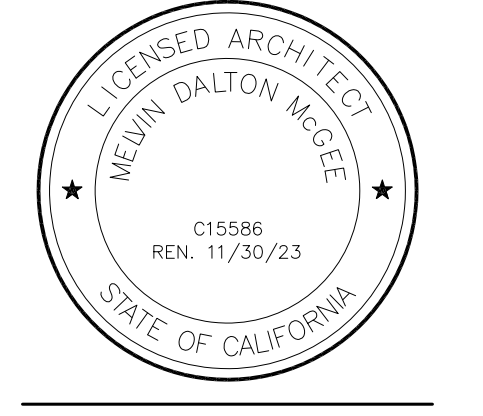
**EXTERIOR MATERIALS AND COLORS**

- A** EXTERIOR INSULATED METAL SIDING PANELS  
MFR: METL SPAN / MODEL: TUFFCAST (3" THK. X 42" WIDTH)  
COLOR & FINISH: SANDSTONE TEXTURED
- B** INSULATED ROLL-UP GARAGE DOOR W/FLAT SLATS  
MFR: OVERHEAD DOOR / MODEL: F-265  
COLOR & FINISH: POWDER COATED GRAY
- C** METAL OVERHANG ENTRY CANOPY  
MFR: WHITESTEEL / MODEL: WELDED 10" CHANNEL STEEL W/METAL PANEL  
COLOR & FINISH: PAINTED DARK TANGERINE (HEX# FEAB10)
- D** EXTERIOR FRONT ENTRY DOOR  
WELDED METAL FRAME AND INSULATED HOLLOW METAL DOOR  
COLOR & FINISH: PAINTED "DARK TANGERINE" FRAME AND DOOR
- E** STOREFRONT WINDOW AT FRONT ELEVATION  
ALUMINUM METAL FRAME AND INSULATED SPANDREL GLAZING, TEMPERED  
COLOR & FINISH: CLEAR ANODIZED FRAME W/OPAQUE GLAZING TINTED
- F** EXTERIOR WALL-PAK LIGHT FIXTURES  
MFR: LITHONIA / MODEL: WSP-LED OR EQUIVALENT DOWNLIGHT  
COLOR & FINISH: BLACK MATTE
- G** CONCRETE MASONRY UNITS (CMU) AT SITE PROPERTY  
8" PRECISION BLOCK (6" x 8" x 16") RUNNING BOND  
COLOR & FINISH: "SHOT BLAST" NATURAL GRAY
- H** CONCRETE MASONRY UNITS (CMU) AT TRASH ENCLOSURE  
8" PRECISION STACK BLOCK (6" x 8" x 16")  
COLOR & FINISH: "SHOT BLAST" NATURAL GRAY
- J** CONCRETE CURB  
COLOR & FINISH: NATURAL CAST



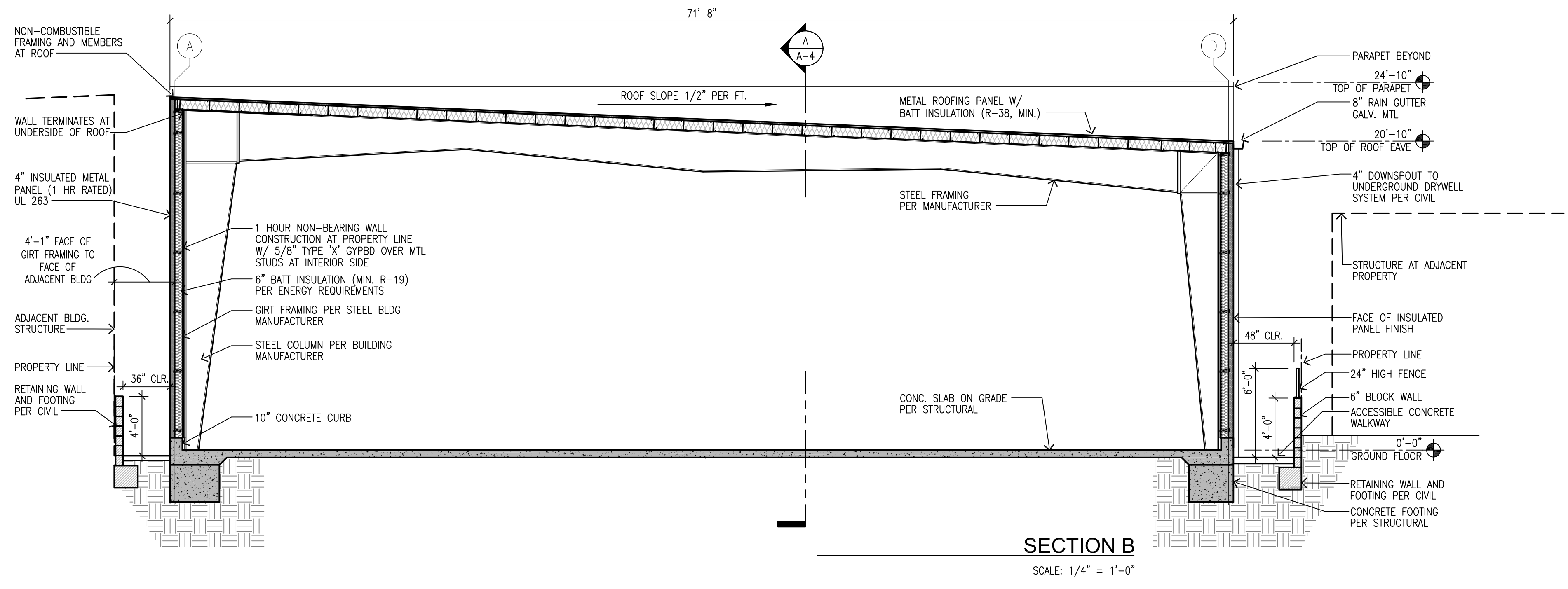
**TRASH ENCLOSURE**

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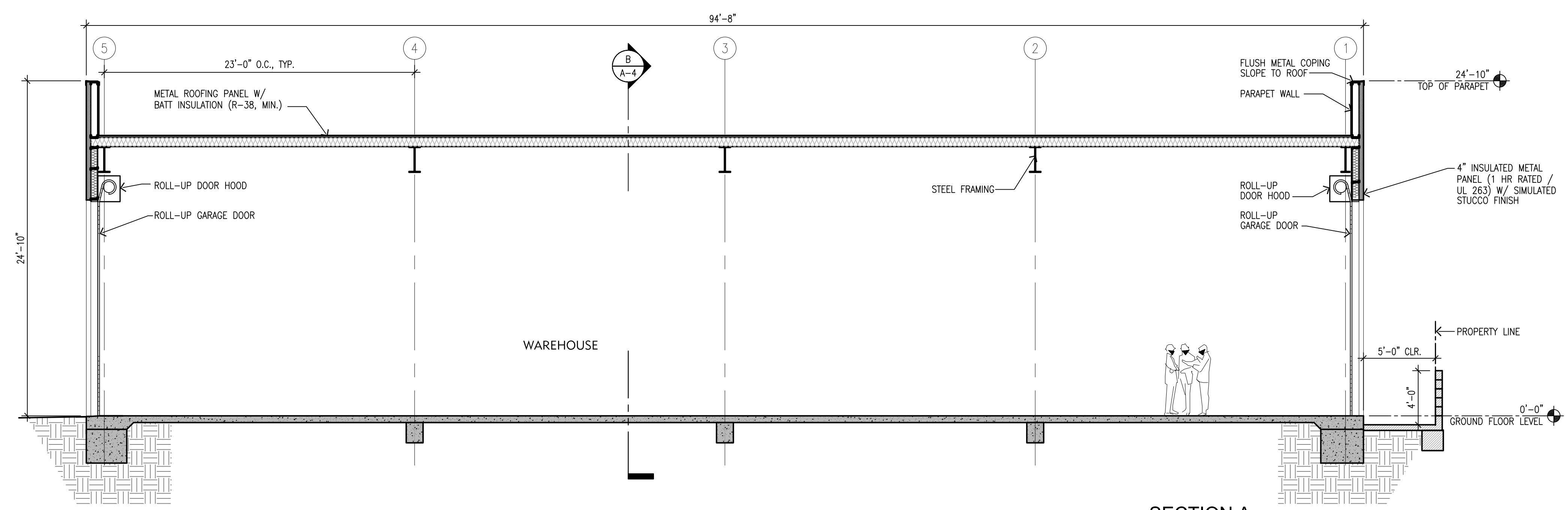


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Sheet Number **A-3**  
**ELEVATIONS**

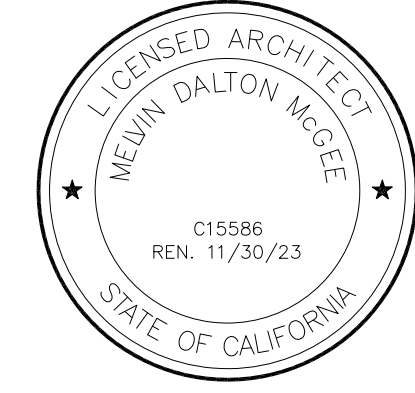


**SECTION B**  
SCALE: 1/4" = 1'-0"



**SECTION A**  
SCALE: 1/4" = 1'-0"

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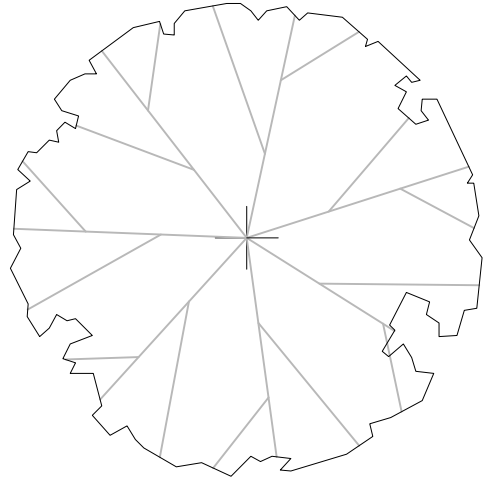
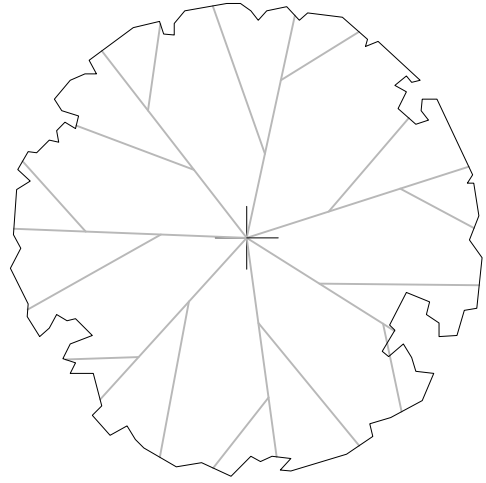
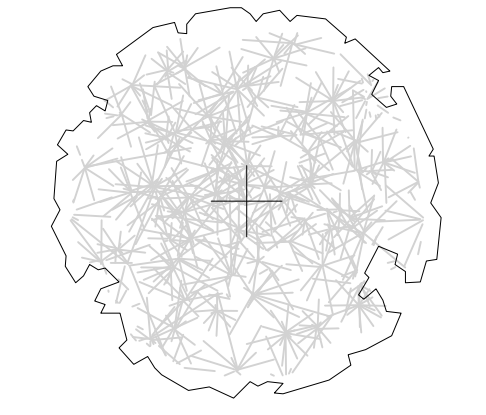
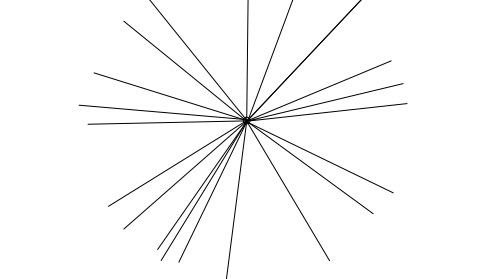
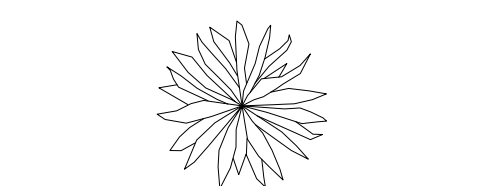
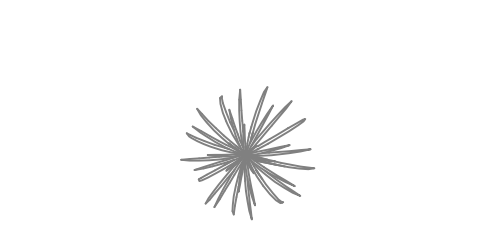
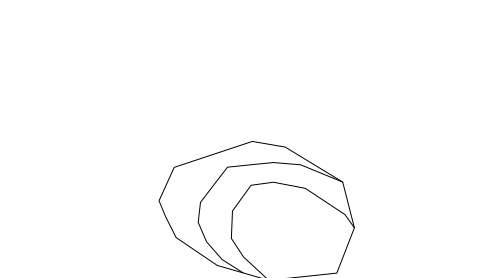
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Sheet Number  
**A-4**  
BLDG. SECTIONS

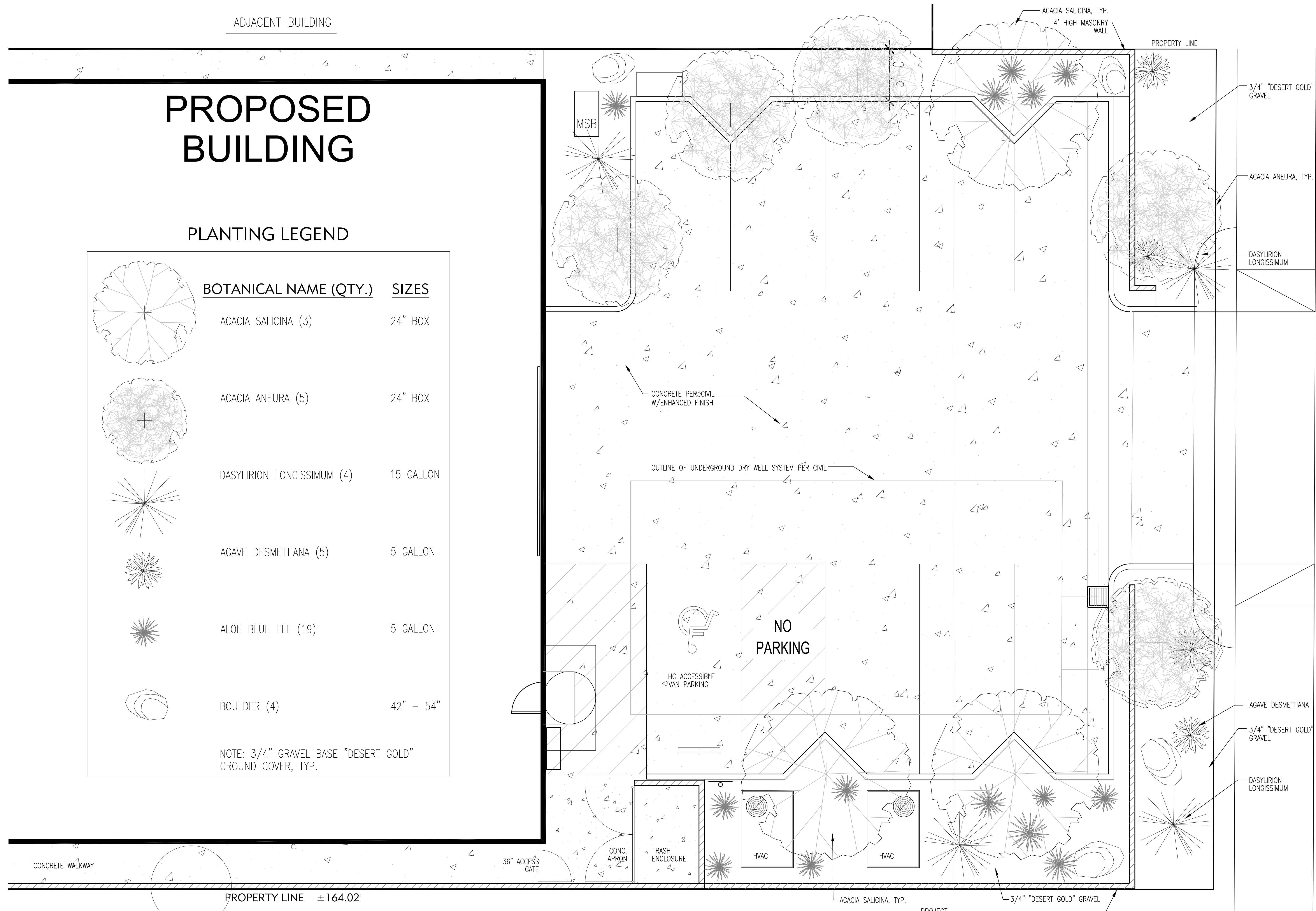
ADJACENT BUILDING

# PROPOSED BUILDING

## PLANTING LEGEND

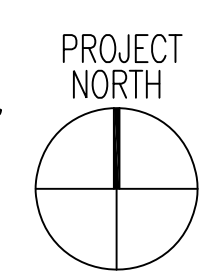
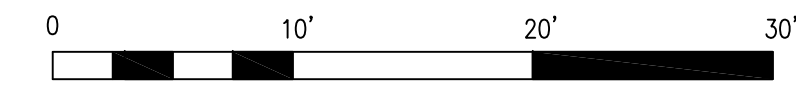
	BOTANICAL NAME (QTY.)	SIZES
	ACACIA SALICINA (3)	24" BOX
	ACACIA ANEURA (5)	24" BOX
	DASYLIRION LONGISSIMUM (4)	15 GALLON
	AGAVE DESMETTIANA (5)	5 GALLON
	ALOE BLUE ELF (19)	5 GALLON
	BOULDER (4)	42" - 54"

NOTE: 3/4" GRAVEL BASE "DESERT GOLD" GROUND COVER, TYP.

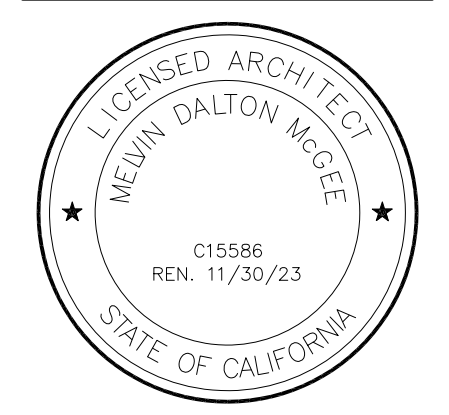


# LANDSCAPE PLANTING PLAN

SCALE: 1/4" = 1'-0"



**McGee-Sharon Architects, Inc.**  
 3479 Kurtz Street  
 San Diego CA 92110  
 74-020 Alessandro Dr Ste F  
 Palm Desert CA 92260  
 Tel: 619.299.9111  
 mcgeesharon.com



**Ryan Wood Storage**  
 WEST DEL SOL ROAD  
 PALM SPRINGS, CALIFORNIA  
 APN: 669-451-004

OWNERSHIP OF DOCUMENTS  
 DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO MCGEE SHARON ARCHITECTS  
 © COPYRIGHT 2022  
 MCGEE SHARON ARCHITECTS INC  
 Original Drawing Date 01/26/2022  
 Scale AS NOTED  
 Job # 1360  
 Revisions  
 MAA\_Submittal 4/07/22

**GRADING NOTES:**

- THE WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF PALM SPRINGS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN EFFECTIVE MEANS OF DUST CONTROL WHICH SHALL INCLUDE PROVISIONS FOR ADEQUATE WATERING DURING THE GRADING PROCESS AND PROVISIONS FOR CONTINUANCE OF DUST CONTROL UNTIL THE GRADED SURFACE PRESENTS SUFFICIENT COVER AGAINST WIND OR WATER EROSION, SO THAT SPECIAL DUST CONTROL MEASURES ARE NO LONGER NECESSARY.
- NOTHING IN THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM OBTAINING PERMITS AS REQUIRED BY CHAPTER 14.16 OF THE CITY OF PALM SPRINGS MUNICIPAL CODE.
- THE CONTRACTOR SHALL SET AN APPOINTMENT FOR INSPECTION WITH THE ENGINEERING INSPECTOR A MINIMUM OF 24 HOURS PRIOR TO THE DATE OF INSPECTION.
- ALL GRADING SHALL COMPLY WITH SECTION 1804 AND APPENDIX J OF THE 2010 CALIFORNIA BUILDING CODE.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE TO BE SHOWN IN A SCHEMATIC MANNER ONLY. SUBJECT TO THE PROVISIONS OF SECTION 4215 OF THE CALIFORNIA GOVERNMENT CODE, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING THE WORK. CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-227-2600 TWO WORKING DAYS PRIOR TO ANY EXCAVATION.
- DIMENSIONING TO CURBS SHALL BE TO FACE OF CURB.
- CONTRACTOR SHALL DISPOSE OF ALL DEBRIS OFF-SITE DAILY, UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER.
- CONTRACTOR SHALL REMOVE ANY ABANDONED UTILITY FACILITIES AND SHOW LIMITS OF REMOVALS ON THE RECORD DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, REPLACEMENT OR RELOCATION OF ALL REGULATORY, WARNING AND GUIDE SIGNS.
- A "RECORD DRAWING" (FORMERLY CALLED "AS-BUILT" DRAWING) OF THIS PLAN SHALL BE SUBMITTED BY THE PROJECT ENGINEER OF RECORD TO THE CITY ENGINEER, FOR APPROVAL PRIOR TO ACCEPTANCE OF THE WORK.
- CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE PROVIDED ON ALL PROJECTS AS REQUIRED BY CITY STANDARDS OR AS DIRECTED BY THE CITY ENGINEER. AS A MINIMUM, ALL CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE IN ACCORDANCE WITH PART 6 "TEMPORARY TRAFFIC CONTROL" OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, DATED JANUARY 13, 2012, OR SUBSEQUENT EDITIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- THE FLOW LINE OF ALL CURB AND GUTTERS AND CROSS GUTTERS SHALL BE WATER TESTED BEFORE ACCEPTANCE OF THE WORK.
- PARKING STALLS SHALL BE CLEARLY DELINEATED WITH A 4 TO 6 INCH STRIPE "HAIRPIN" OR ELONGATED "U" DESIGN OR OTHER APPROVED STRIPING OR STALL DELINEATION.
- FINAL SITE GRADING AND DRAINAGE FLOW LINES SHALL BE CERTIFIED, IN WRITING, BY THE ENGINEER OF RECORD TO BE IN CONFORMANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL INSPECTION.
- FOR PROJECTS IN EXCESS OF 1 ACRE, A NOTICE OF INTENT TO COMPLY WITH CALIFORNIA GENERAL CONSTRUCTION STORMWATER PERMIT (WATER QUALITY ORDER 2009-0009-DWO AS MODIFIED SEPTEMBER 2, 2009, AS WELL AS A COPY OF THE EXECUTED LETTER ISSUING A WASTE DISCHARGE IDENTIFICATION (WDI) NUMBER, IS REQUIRED PRIOR TO ISSUANCE OF GRADING OR BUILDING PERMIT, VIA THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (PHONE NO. (760) 346-7491). A UPDATED COPY OF THE PROJECT-SPECIFIC STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST BE KEPT AT THE PROJECT SITE AT ALL TIMES.
- A CITY APPROVED FUGITIVE DUST (PM-10) CONTROL PLAN IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT. ALL DUST CONTROL MEASURES DESCRIBED IN AQMD RULE 403 (BEST AVAILABLE CONTROL MEASURES) AND IN THE CITY-APPROVED FUGITIVE DUST CONTROL PLAN SHALL BE IMPLEMENTED AT ALL TIMES. A WIND FENCE AND PROPER SIGNAGE, SHALL BE ERECTED, INSPECTED AND APPROVED BY THE CITY'S DUST CONTROL INSPECTOR PRIOR TO INITIATION OF CLEARING, GRUBBING, GRADING OR IMPORT/EXPORT OF SOIL, OR FILL MATERIAL AT THE SITE. FAILURE TO CALL 760-323-8253, EXTENSION 8740 FOR INSPECTION 72 HOURS PRIOR TO INITIATING WORK WILL RESULT IN ISSUANCE OF CITATION BY THE CITY.
- THE BLOCK WALLS, RETAINING WALLS, AND OTHER STRUCTURES SHOWN ON THE GRADING PLAN ARE FOR LOCATION PURPOSES ONLY. SEPARATE PERMITS FOR THE ABOVE ARE REQUIRED FROM THE BUILDING DEPARTMENT.
- ALL PROVISIONS OF THE GEOTECHNICAL INVESTIGATION (PROJECT NO. 544-20167 20-06-318) DATED JUNE 17, 2020 PREPARED BY SLADDEN ENGINEERING SHALL BE COMPLIED WITH.

**STREET PAVEMENT:**

- THE ASPHALT CONCRETE DESIGN SHALL MEET THE CITY OF PALM SPRINGS STD. DWG. NO 110 AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION; USE TYPE B FOR THE BASE LIFT AND TYPE C2 FOR THE FINAL 1" CAP. THE DESIGN SHALL HAVE A HYEM STABILITY OF 35 AND 33 RESPECTIVELY PER THE CALIFORNIA TEST METHOD 304 AND 366. PERFORMANCE GRADE ASPHALT (PG 70-)
- MEETING THE 2010 CALTRANS STANDARD SPECIFICATIONS SHALL BE USED. THE SPECIFIED MISCELLANEOUS BASE SHALL BE CRUSHED MISCELLANEOUS BASE ACCORDING TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION.

**TRENCH PAVEMENT:**

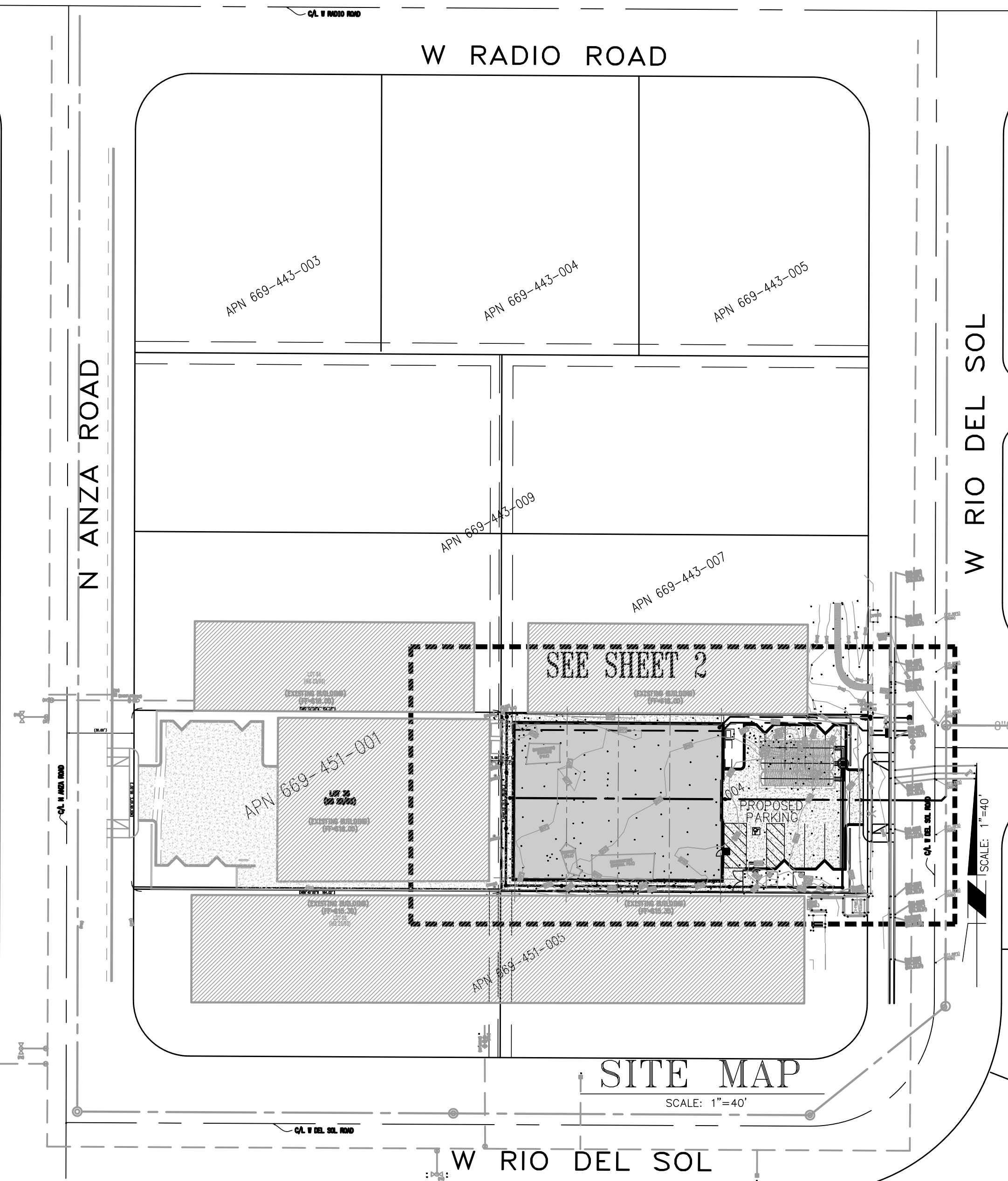
- STREET CUTS SHALL BE PAVED WITH TEMPORARY A.C. PAVING IMMEDIATELY. MAJOR AND SECONDARY THOROUGHFARES SHALL BE PERMANENTLY PAVED WITHIN 15 DAYS OF THE INITIAL EXCAVATION (30 DAYS ON COLLECTOR AND RESIDENTIAL STREETS) PER CITY OF PALM SPRINGS STD. DWG. NO. 115. SEE ORDINANCE NO. 14-16-375.
- TRENCHES SHALL BE COMPLETELY BACKFILLED AND COMPACTED TO SUPPORT TRAFFIC AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL PLACE PERMANENT PAVEMENT THROUGH INTERSECTIONS AT THE END OF EACH WORK DAY. NO TRENCH EXCAVATION OR PIPE LAYING ON FRIDAYS, WEEKENDS OR HOLIDAYS WILL BE PERMITTED ON MAJOR AND SECONDARY THOROUGHFARES OR COLLECTOR STREETS WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER. CONTRACTOR SHALL PLACE PERMANENT PAVING EACH FRIDAY.
- IF, IN THE OPINION OF THE CITY ENGINEER, THE TRENCH BACKFILL IS UNSAFE TO TRAFFIC, THE CONTRACTOR SHALL PLACE PERMANENT PAVING AT THE END OF EACH WORK DAY.
- STEEL TRENCH PLATING SHALL CONFORM TO THE CALTRANS ENCROACHMENT PERMIT MANUAL SECTION 602.1 AS REVISED JULY, 2009.
- THE SPECIFIED MISCELLANEOUS BASE SHALL BE CRUSHED MISCELLANEOUS BASE ACCORDING TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION.

**WQMP NOTES:** (FOR USE ON GRADING PLANS ONLY IF PROJECT HAS WQMP REQUIREMENT)

- EROSION CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IMPLEMENTED AND MAINTAINED TO MINIMIZE AND/OR PREVENT THE ENTRAINMENT OF SOIL IN RUNOFF FROM DISTURBED SOIL AREAS ON CONSTRUCTION SITES.
- SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AND MAINTAINED TO PREVENT AND/OR MINIMIZE THE TRANSPORT OF SOIL FROM THE CONSTRUCTION SITE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO ELIMINATE OR REDUCE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJACENT PROPERTIES BY WIND OR RUNOFF.
- BMPs SHALL BE INSPECTED PRIOR TO PREDICTED STORM EVENTS AND FOLLOWING STORM EVENTS, AND SHALL BE PROPERLY MAINTAINED.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS, ADJACENT ROADWAYS, CATCH BASINS, OR OTHER COMPONENTS OF THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN COVERED TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OTHER THAN STORMWATER (I.E., NON-STORMWATER DISCHARGES) ARE PROHIBITED, EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT, THE GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY, OR THE GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM SMALL LINEAR UNDERGROUND/OVERHEAD PROJECTS. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES, ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; CONCRETE WASHOUT; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES MAY REQUIRE A NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR WASTE DISCHARGE REQUIREMENTS (WDRS) ISSUED BY THE COLORADO RIVER BASIN REGIONAL WATER QUALITY CONTROL BOARD.
- CONSTRUCTION SITES SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREAS THROUGH PHASING AND SCHEDULING OF GRADING TO THE EXTENT FEASIBLE AND THE USE OF TEMPORARY AND PERMANENT SOIL STABILIZATION.

IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

**PRECISE GRADING PLAN**  
**W. DEL SOL ROAD - STORAGE FACILITY**  
 LOT 38 OF MB 23/83



**GENERAL PLAN DESIGNATION:**

MIXED USE/MULTI-USE

**ZONING:**

M1 - SERVICE/MANUFACTURING ZONE

**CURRENT LAND USE:**

VACANT AND UNDEVELOPED LAND

**PROPOSED LAND USE:**

WAREHOUSE/STORAGE FACILITY

**LEGAL DESCRIPTION:**

LOT 38 OF THE WRIGHT AND LEONARD TRACT AS SHOWN BY MAP ON FILE IN BOOK 23 OF MAPS, PAGE 83, RECORDS OF THE COUNTY OF RIVERSIDE.

**ASSESSOR'S PARCEL NO.:**

APN 669-451-004

CONSTRUCTION contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property, that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

PREPARED UNDER THE DIRECT SUPERVISION OF:  
**EGAN CIVIL, INC.**  
 1861 W. REDLANDS BLVD., RIVERSIDE, CA 92503  
 (760) 404-7852 WWW.EGANCIVIL.COM

DESIGN BY: BOE  
 CHECKED BY: BOE  
 DATE: APR. 07, 2022

RIGHT-OF-WAY: INITIAL : DATE :  
 TRAFFIC ENG'G : : :  
 FIELD ENG'G : : :  
 EXISTING : : :

EXISTING CONTOUR -----(100)-----  
 PROPOSED CONTOUR -----100-----  
 EXISTING ELEVATION ..... (100.50)  
 FINISHED ELEVATION ..... 101.50  
 DRAINAGE SWALE  
 PROPERTY LINE  
 CENTERLINE  
 RIGHT-OF-WAY (R/W)  
 EXIST. 8" SEWER LINE  
 EXIST. 8" WATER LINE  
 RETAINING WALL  
 SCREEN/GARDEN WALL  
 CONCRETE FINISH

REVIEWED BY: JOHN M. BRUDIN  
 R.C.E. NO. 41836  
 DATE: \_\_\_\_\_

RECOMMENDED BY: CITY OF PALM SPRINGS, CALIFORNIA  
 JOEL MONTALVO, PE, CITY ENGINEER  
 R.C.E. NO. 62624  
 DATE: \_\_\_\_\_



**FEMA FLOOD DATA**

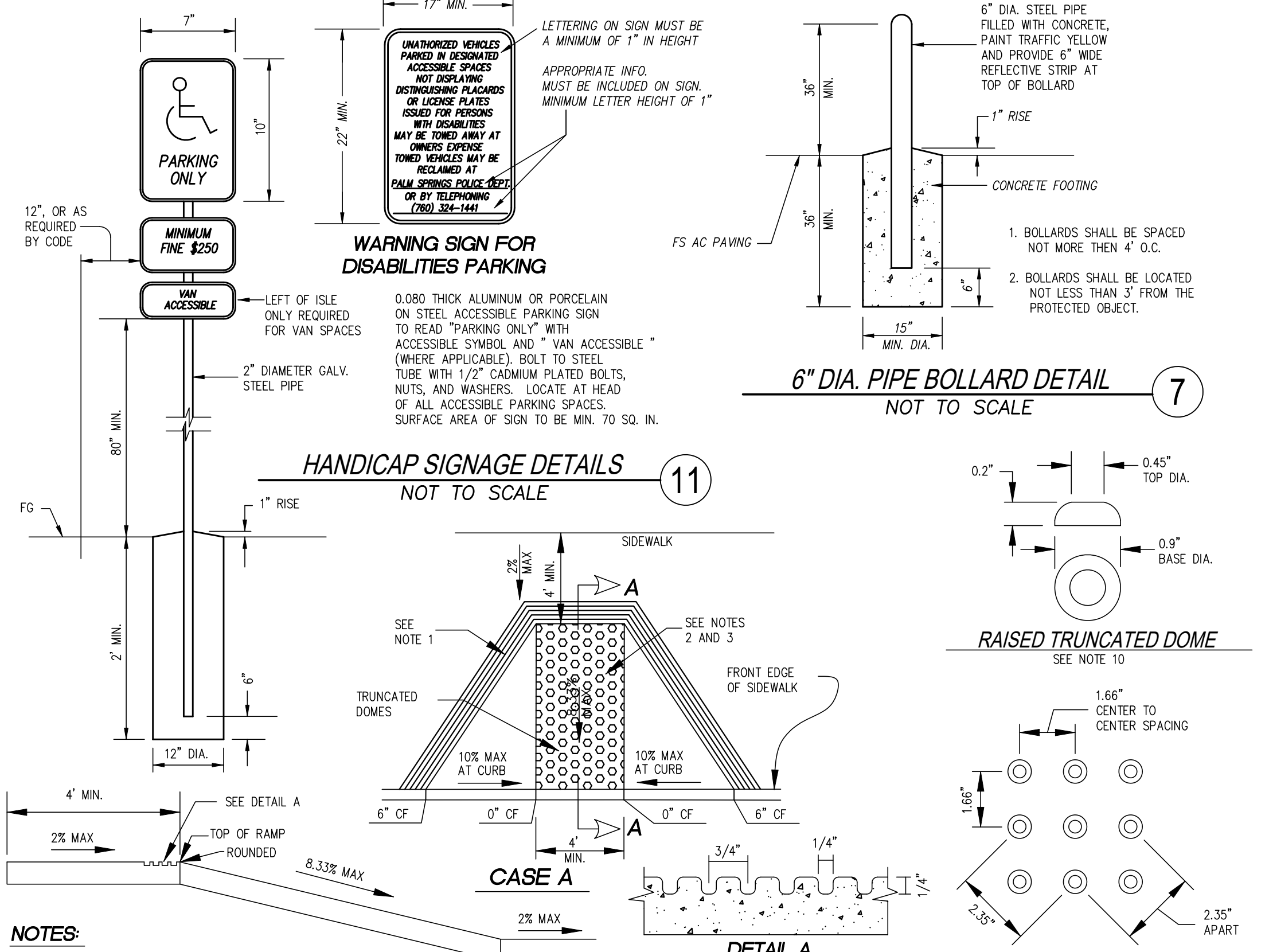
ZONE: 'X' FEMA MAP NO. 06065C1556G DATED 08-28-2008  
 AREA PROTECTED BY LEVEE WITH 1% ANNUAL CHANCE FLOOD

**ESTIMATED EARTHWORK QUANTITIES**

CUT = 600 CUBIC YARDS  
 FILL = 100 CUBIC YARDS  
 NOTE: ESTIMATED QUANTITIES ARE SHOWN FOR PERMIT PURPOSES ONLY  
 CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN QUANTITIES

**PERMITS REQUIRED**

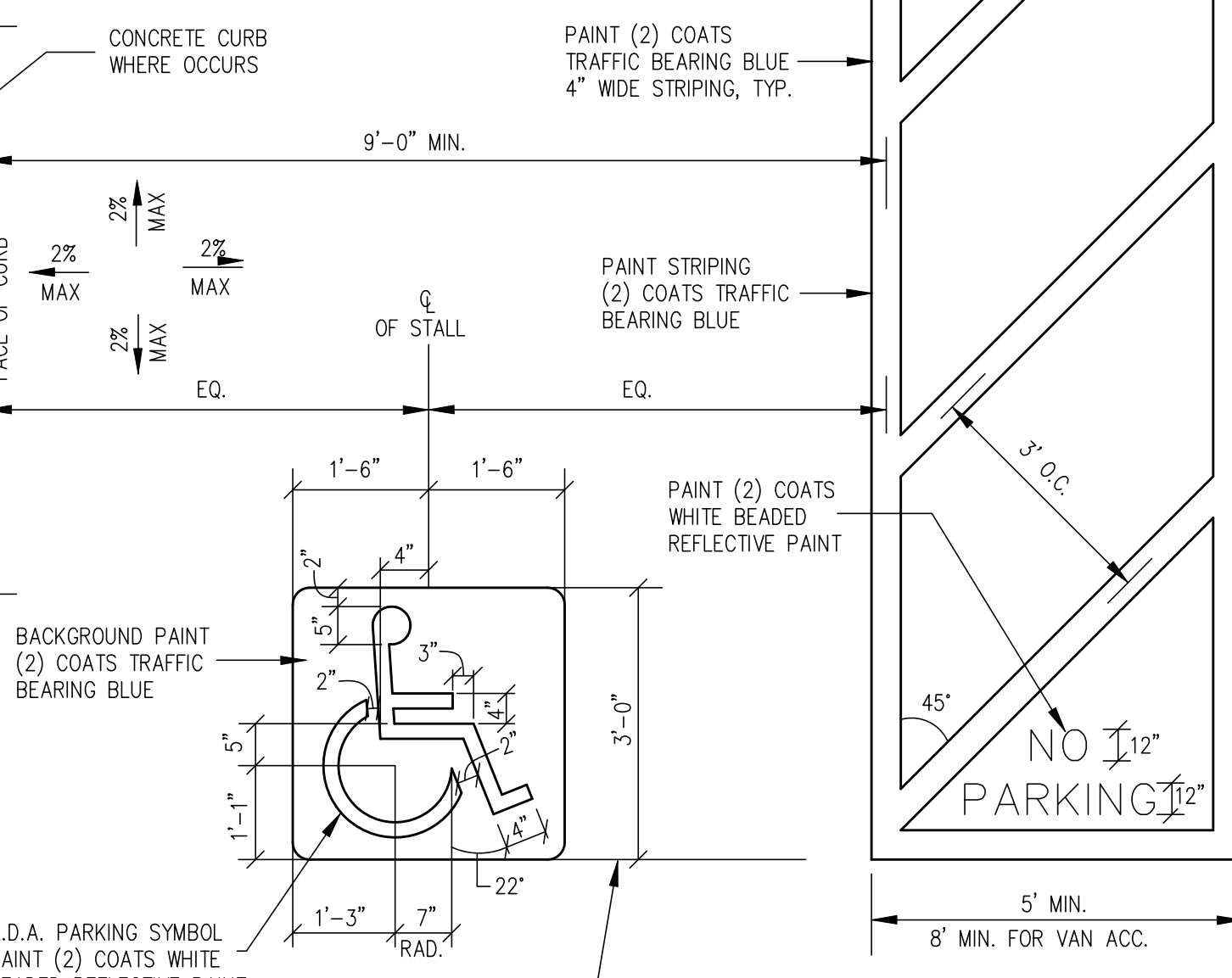
WALL PERMIT  
 GRADING PERMIT  
 ENCROACHMENT PERMIT  
 PM10



**NOTES:**

- THE CURB RAMP SHALL BE OUTLINED, AS SHOWN, WITH A 300 MM (12") WIDE BORDER WITH 6 MM (1/4") GROOVES APPROXIMATELY 20 MM (3/4") ON CENTER. SEE GROOVING DETAIL.
- CURB RAMP SHALL HAVE A WAUSAU TILE, TYPE 3, SERIES U408 (STOCK COLOR/TEXTURE AND EQUIVALENT TO QUARRY/BRICK RED) OR EQUAL. FULL LENGTH AND WIDTH. NO SURFACE APPLIED DOME MATS TO BE UTILIZED FOR NEW CONSTRUCTION.
- THE EDGE OF THE DETECTABLE WARNING SURFACE NEAREST THE STREET SHALL BE BETWEEN 6" AND 8" FROM THE GUTTER FLOWLINE.

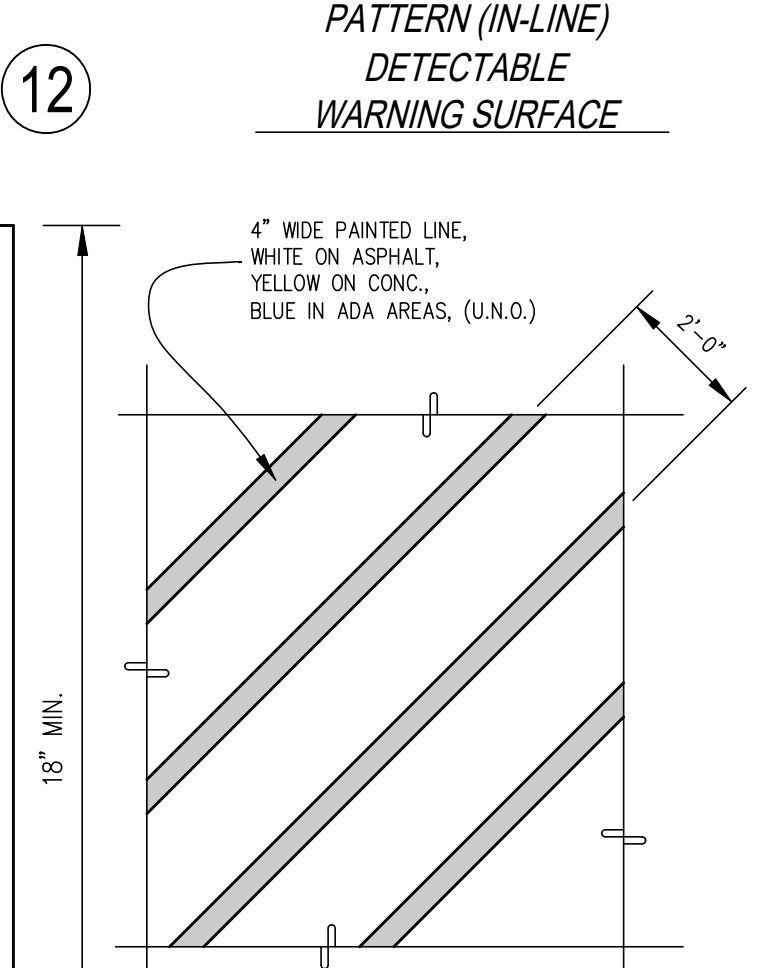
**PAINTED ACCESSIBLE PARKING EMBLEM AND STRIPING**



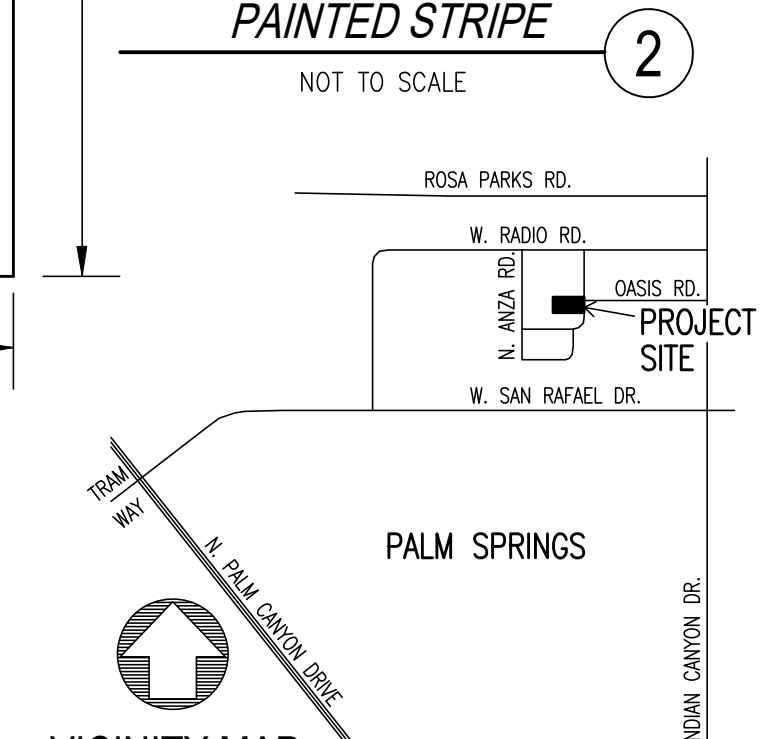
**NOTES:**

- PAINT WITH (2) COATS TRAFFIC BEARING PAINT, DRY BETWEEN COATS
- MINIMUM VERTICAL CLEARANCE IS 98" IN PARKING STRUCTURE (NO VALET PARKING)

**PAINTED STRIPE**



**VICINITY MAP**



NO.	REVISION	APPROVED	DATE
1	ADDED SHEET 5		02/22/2022

**DIG ALERT**  
 CALL 811  
 DIAL TOLL FREE 800-422-4133  
 AT LEAST TWO DAYS BEFORE YOU DIG  
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

NO.	REVISION	APPROVED	DATE
1	ADDED SHEET 5		02/22/2022

**BENCH MARK:** 626.116 (INGV29)  
**LOCATION:** 2" C.P.S. BRONZE DISK STAMPED "34-19" SET IN ENE CURB RETURN AT INT. LAS VEGAS RD AND GRADANA AVE.

**BASIS OF BEARINGS:** THE CENTERLINE OF ANZA ROAD PER "WRIGHT AND LEONARD TRACT", AS SHOWN BY A MAP ON FILE IN BOOK 23 OF MAPS, PAGE 83, BEING: SOUTH 00'08"20" WEST.

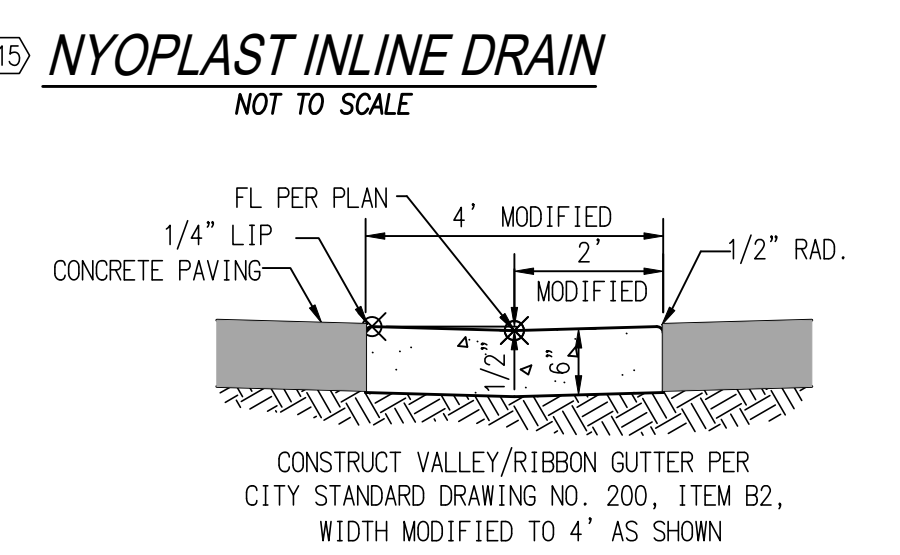
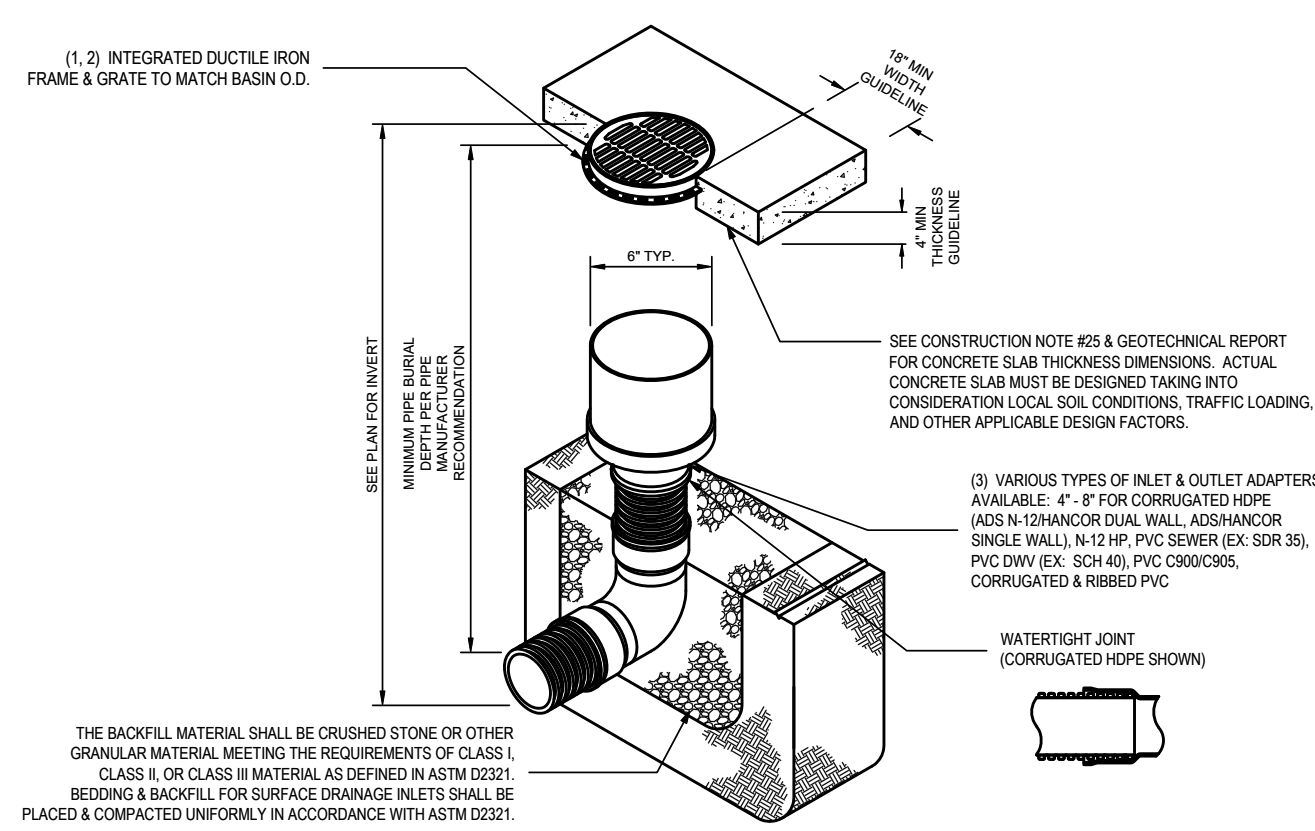
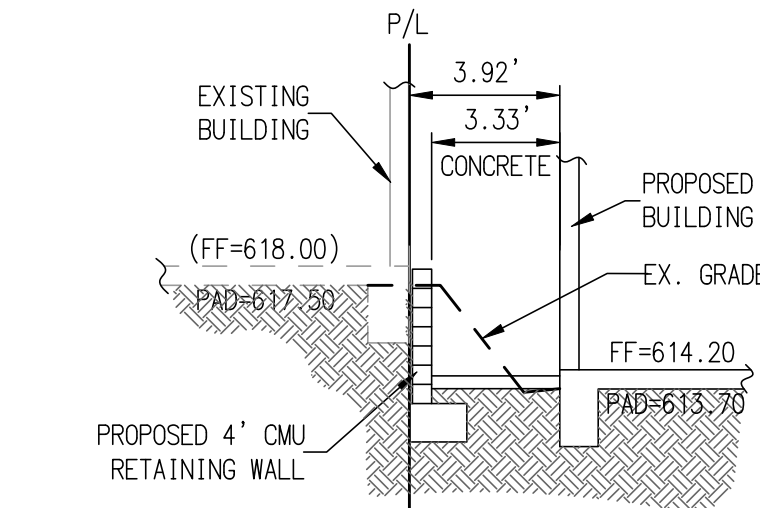
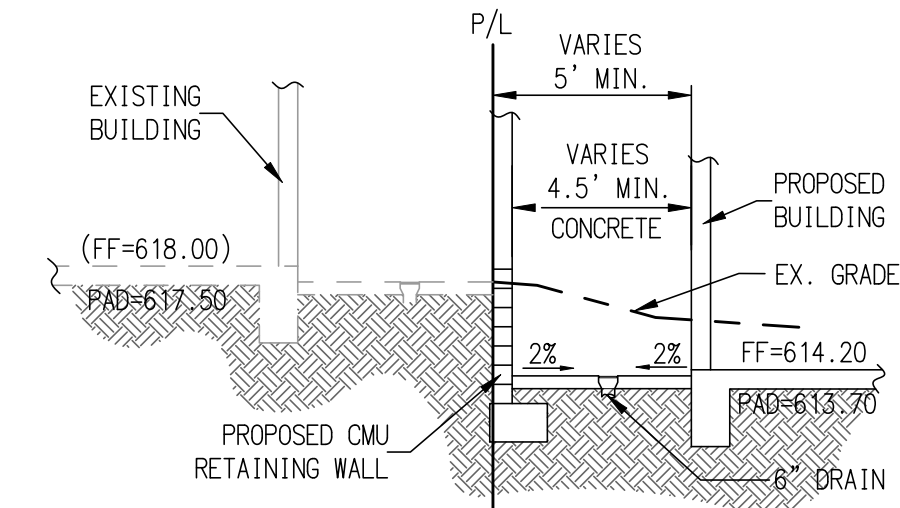
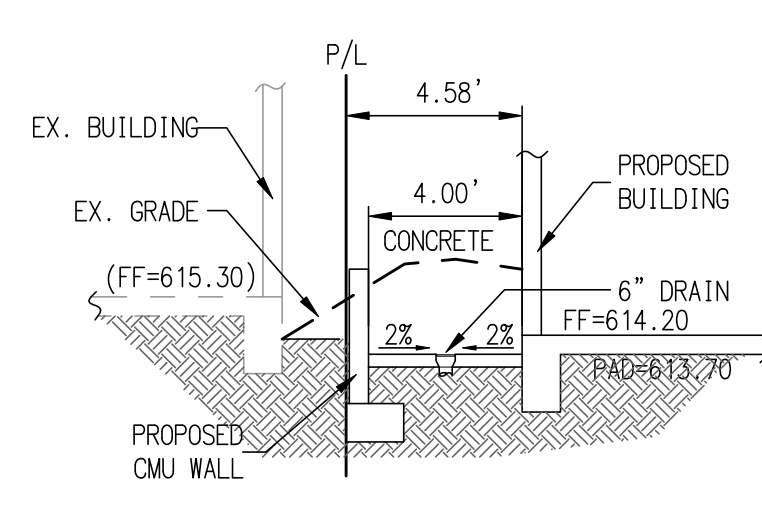
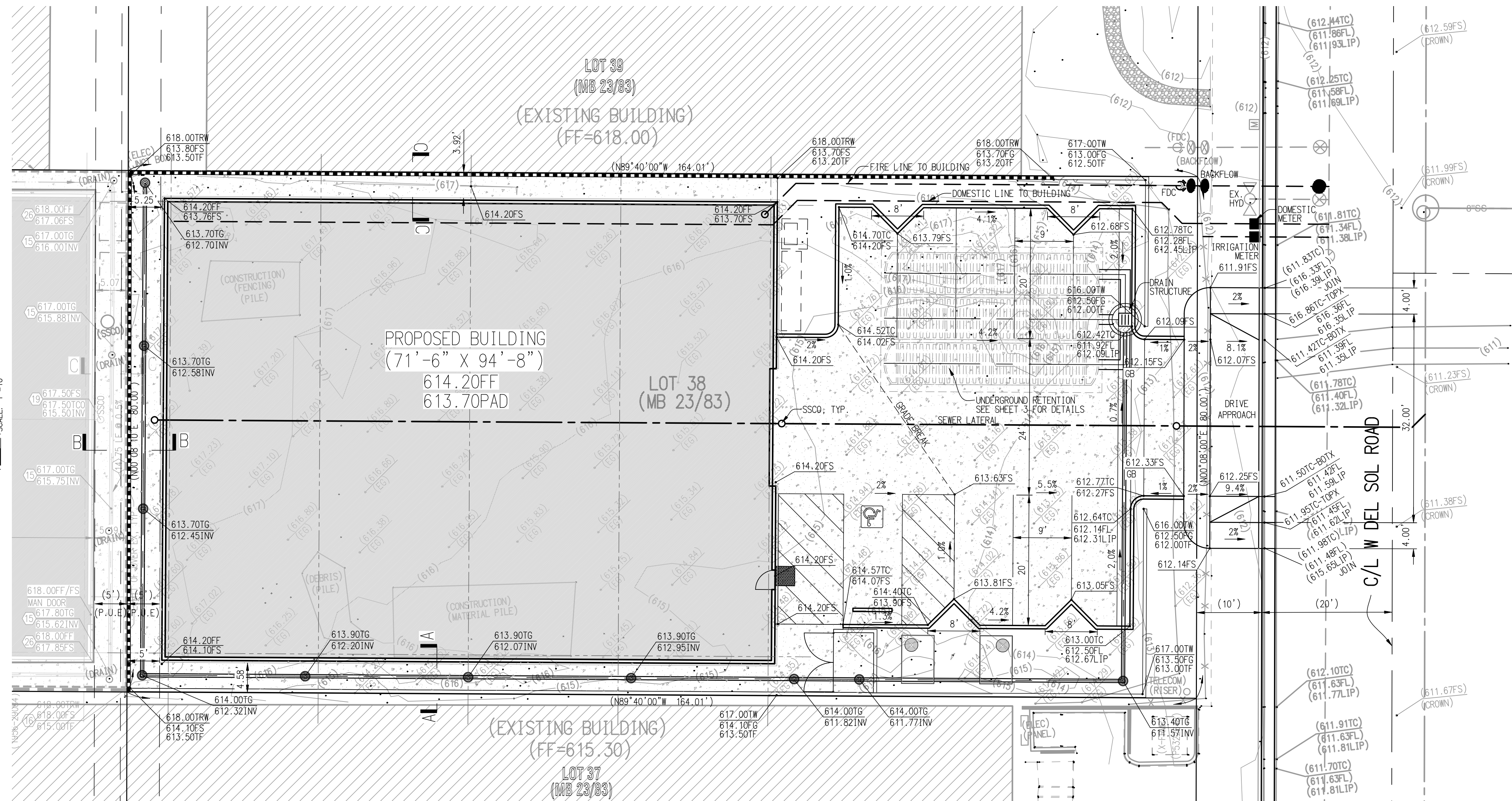
**FILE NO.:** 20221011  
**DWG. NO.:** 20221011  
**CADD FILE NAME:** 1011-PG-001

**CITY OF PALM SPRINGS, CALIFORNIA**  
**PRECISE GRADING PLAN - COVER SHEET**  
 W. DEL SOL RD. - STORAGE FACILITY  
 LOCATED IN THE SE 1/4 OF SECTION 34, T 3 S, R 4 E, SBM

**DATE:** 04/07/2022

**SHEET 1**  
 OF 3 SHEETS

IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
**PRECISE GRADING, DRAINAGE AND UTILITY PLAN**  
 --- STORAGE - W. DEL SOL ROAD  
 LOT 38 OF MB 23/83



NO.	REVISION	APPROVED	DATE
1	ADDED SHEET 5		02/22/2022

**DIG ALERT** CALL 811  
 DIAL TOLL FREE 800-422-4133  
 AT LEAST TWO DAYS BEFORE YOU DIG  
 UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

**EGAN CIVIL, INC.**  
 DESIGN BY: BDE  
 CHECK: SPE  
 RIGHT-OF-WAY: :  
 TRAFFIC ENG'G: :  
 FIELD ENG'G: :  
 DATE: APR. 07, 2022

DESIGNED BY: BDE  
 CHECK: SPE  
 RIGHT-OF-WAY: :  
 TRAFFIC ENG'G: :  
 FIELD ENG'G: :  
 DATE: APR. 07, 2022

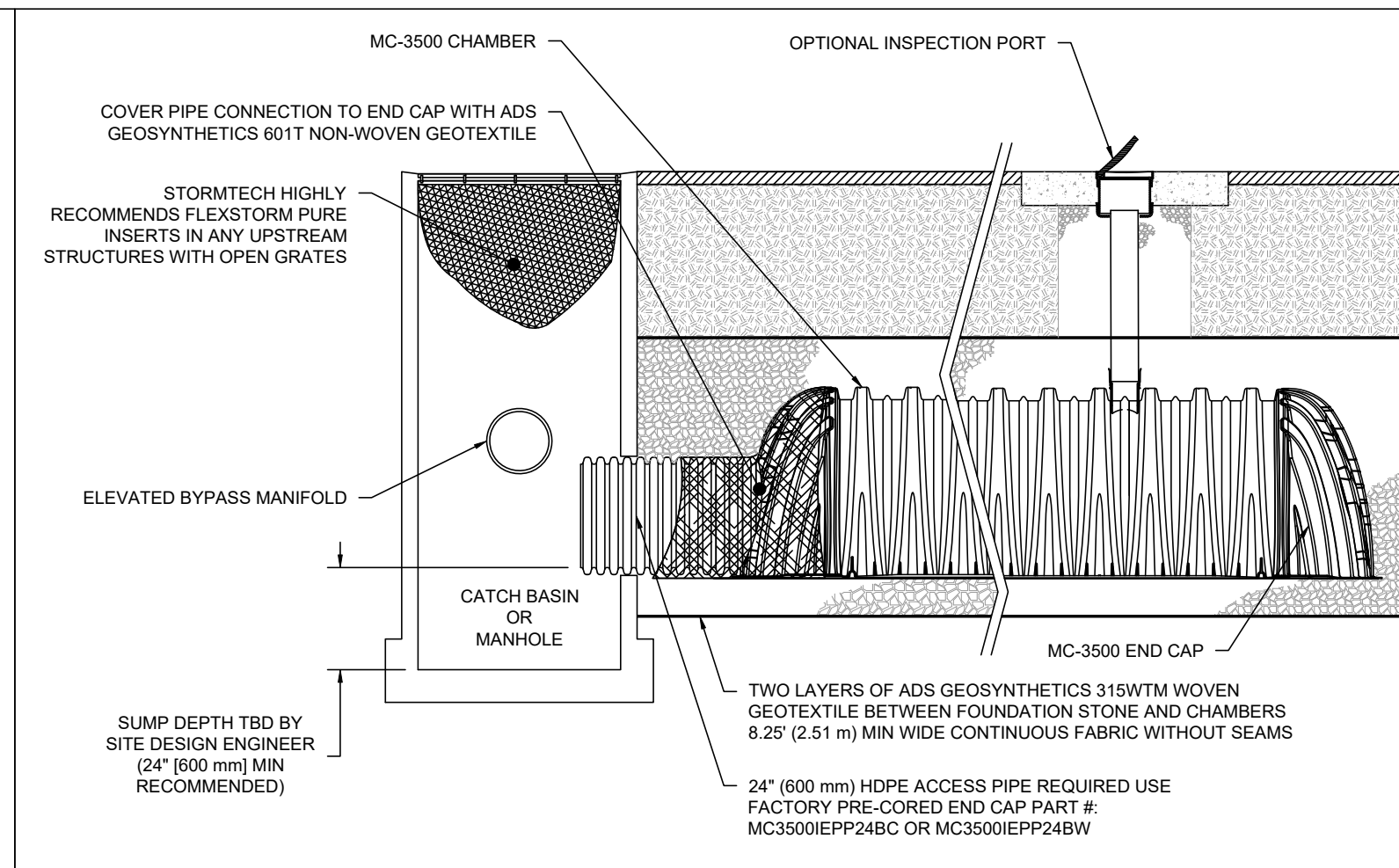
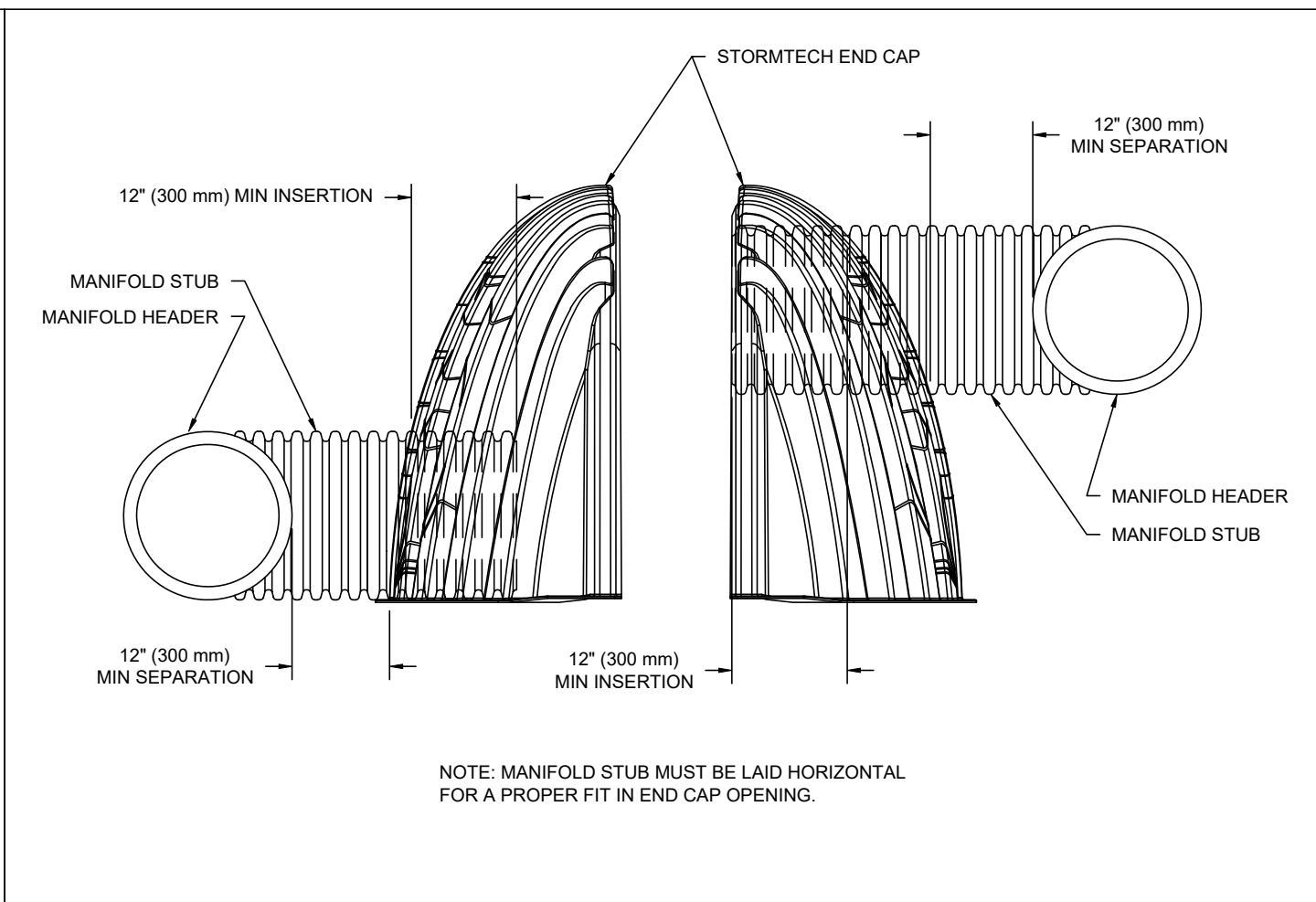
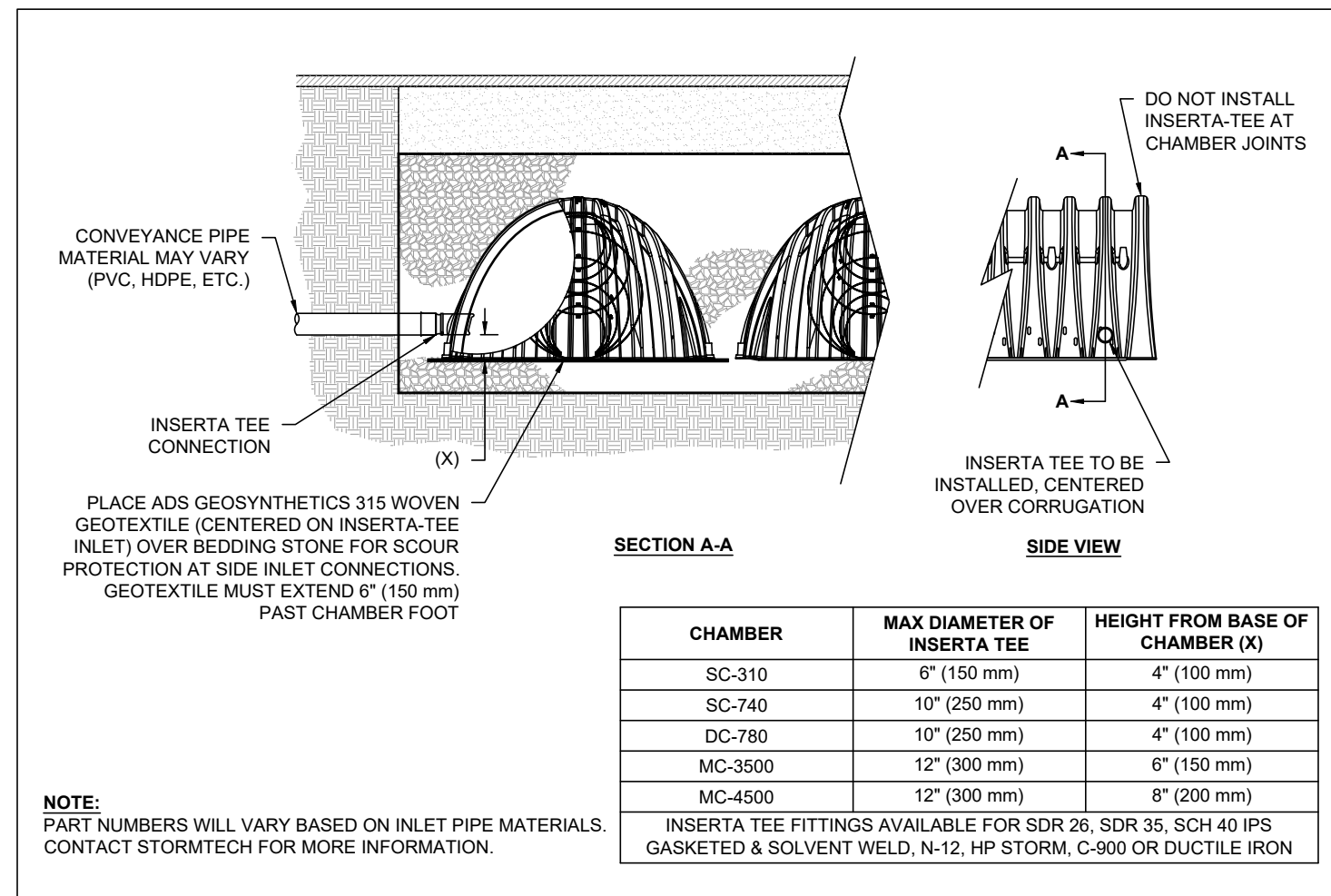
REVIEWED BY: JOHN M. BRUDIN  
 R.C.E. NO. 41836  
 DATE: :  
 FIELD ENG'G: :  
 DATE: :  
 RECOMMENDED BY: CITY OF PALM SPRINGS, CALIFORNIA  
 JOEL MONTALVO, PE, CITY ENGINEER  
 R.C.E. NO. 62824



CITY OF PALM SPRINGS, CALIFORNIA  
**PRECISE GRADING, DRAINAGE & UTILITY PLAN**  
 --- W. DEL SOL RD. - STORAGE FACILITY  
 LOCATED IN THE SE 1/4 OF SECTION 34, T 3 S., R 4 E., SBM

FILE NO. :  
 SHEET 2 OF 3 SHEETS  
 PLOT DATE: 04/07/2022





**INSPECTION & MAINTENANCE**

STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT

A. INSPECTION PORTS (IF PRESENT)

A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN

A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED

A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG

A.4. LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)

A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR ROWS

B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW

B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE

B.3. MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY

B.4. FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE

B.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS

A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED

B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN

C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

**NOTES**

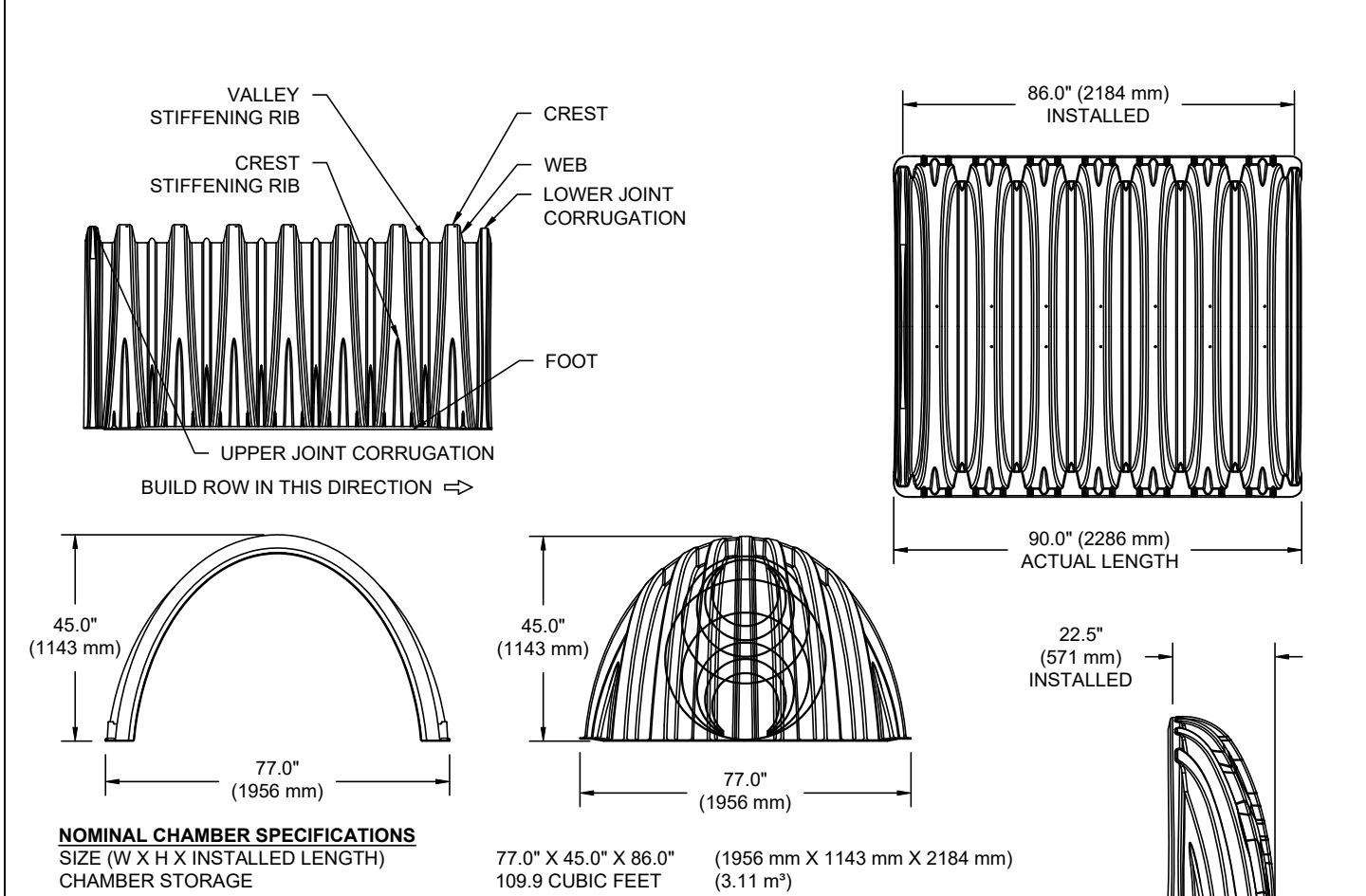
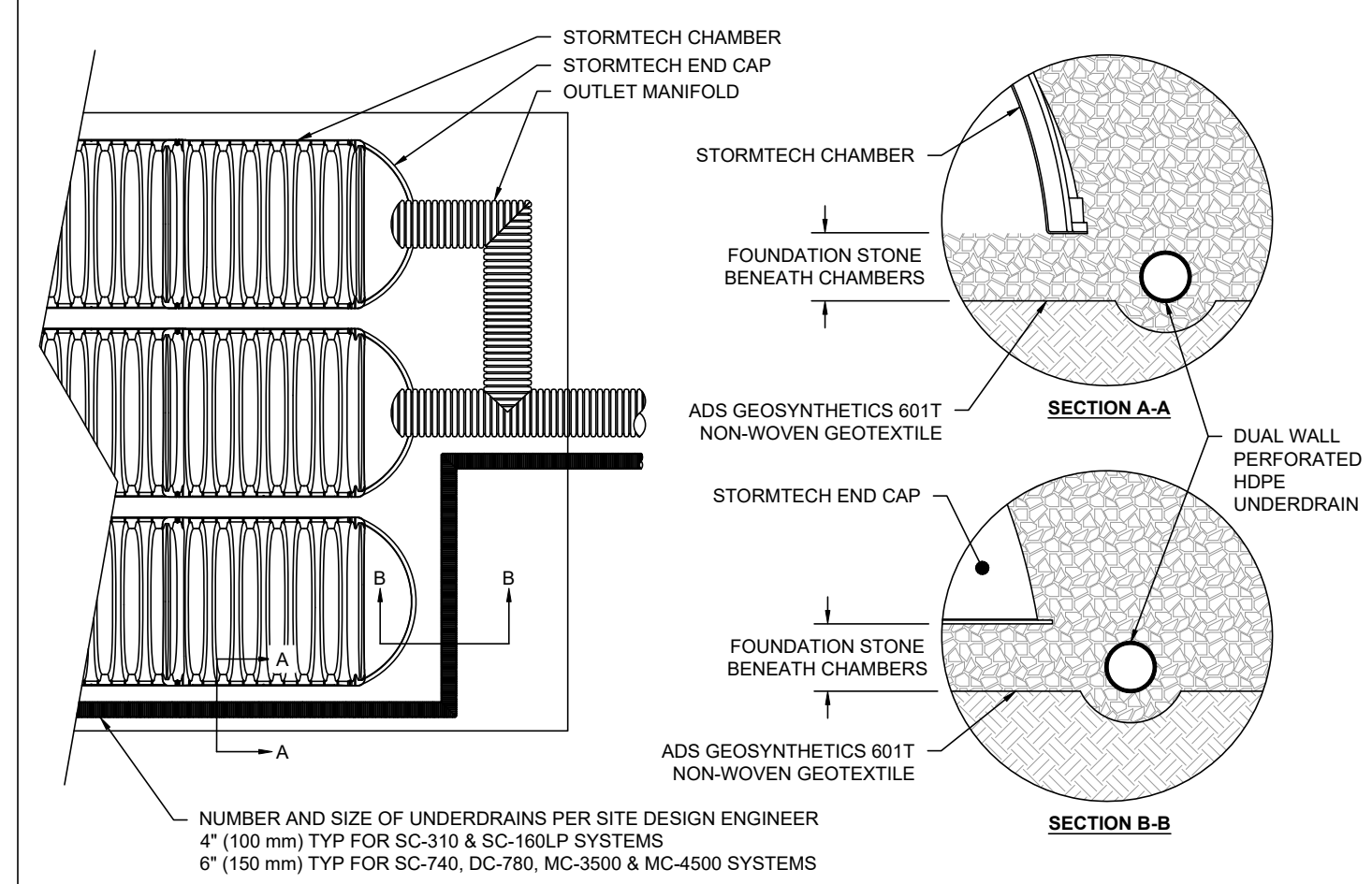
1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.

2. CONDUCT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

6 INSERTA-TEE SIDE INLET DETAIL

7 MC-SERIES END CAP INSERTION DETAIL

3 MC-3500 ISOLATOR ROW DETAIL



ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 <sup>1</sup> A-1, A-2-4, A-3 OR AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 <sup>1</sup> 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 <sup>1</sup> 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>2,3</sup>

5 UNDERDRAIN DETAIL

**NOMINAL CHAMBER SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
77.0" X 45.0" X 86.0" (1956 mm X 1143 mm X 2184 mm)	109.9 CUBIC FEET (3.11 m <sup>3</sup> )	175.0 CUBIC FEET (4.96 m <sup>3</sup> )	136.0 lbs. (61.2 kg)

**NOMINAL END CAP SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	END CAP STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT
77.0" X 45.0" X 22.5" (1956 mm X 1143 mm X 571 mm)	14.9 CUBIC FEET (0.42 m <sup>3</sup> )	45.1 CUBIC FEET (1.28 m <sup>3</sup> )	60.0 lbs. (27.2 kg)

\*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION, 6" (152 mm) STONE BETWEEN CHAMBERS, 6" (152 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"  
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"  
END CAPS WITH A WELDED CROWN PLATE END WITH "C"  
END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

PART #	STUB	B	C
MC3500IEPP06T	6" (150 mm)	33.21" (844 mm)	---
MC3500IEPP06B	---	---	0.66" (17 mm)
MC3500IEPP08T	8" (200 mm)	31.16" (791 mm)	---
MC3500IEPP08B	---	---	0.81" (21 mm)
MC3500IEPP10T	10" (250 mm)	29.04" (738 mm)	---
MC3500IEPP10B	---	---	0.93" (24 mm)
MC3500IEPP12T	12" (300 mm)	26.36" (670 mm)	---
MC3500IEPP12B	---	---	1.35" (34 mm)
MC3500IEPP15T	15" (375 mm)	23.39" (594 mm)	---
MC3500IEPP15B	---	---	1.50" (38 mm)
MC3500IEPP18TC	18" (450 mm)	20.03" (509 mm)	---
MC3500IEPP18TB	---	---	1.77" (45 mm)
MC3500IEPP18BW	---	---	---
MC3500IEPP24TC	24" (600 mm)	14.48" (368 mm)	---
MC3500IEPP24BC	---	---	2.06" (52 mm)
MC3500IEPP24BW	---	---	---
MC3500IEPP30BC	30" (750 mm)	---	2.75" (70 mm)

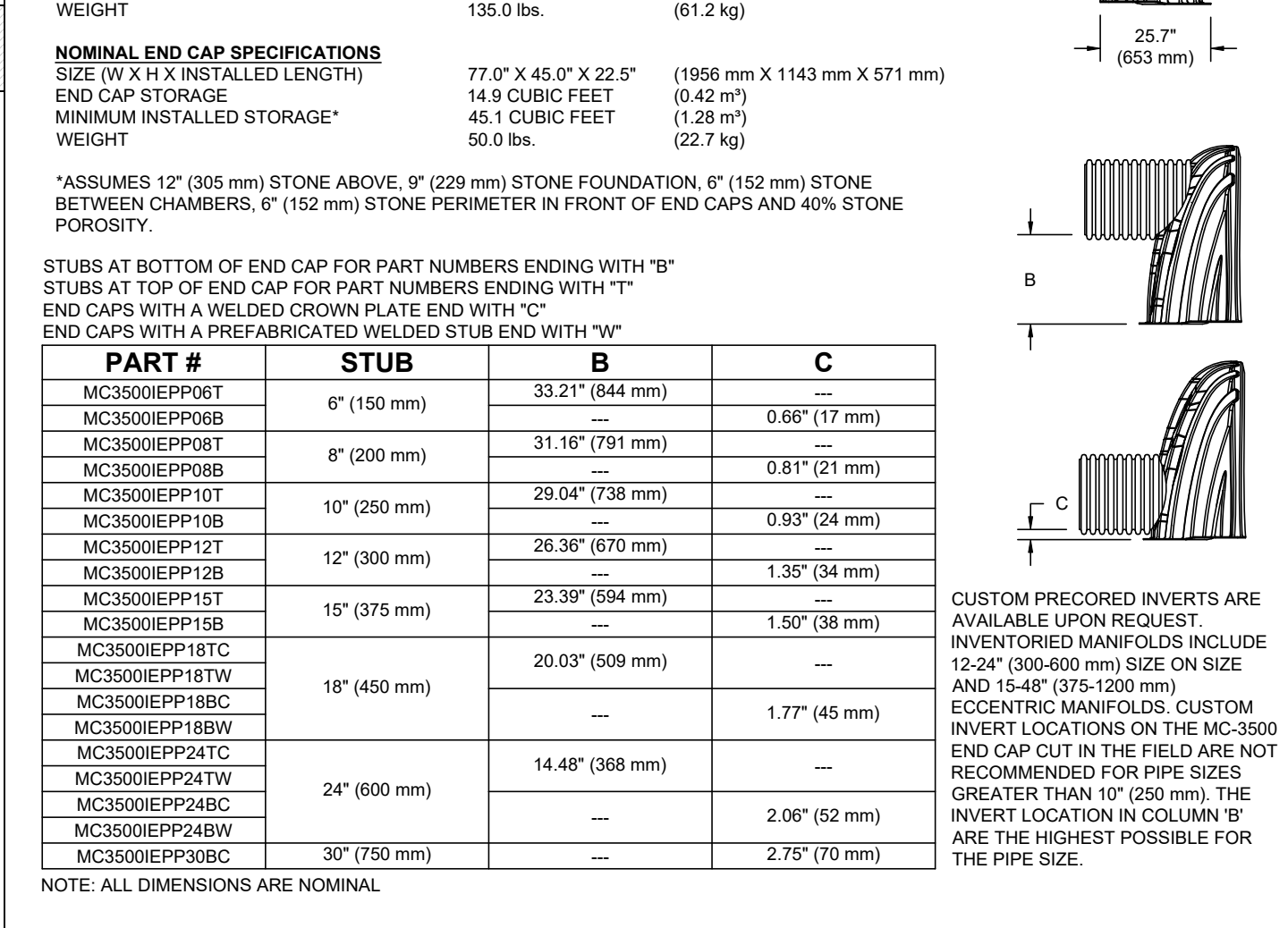
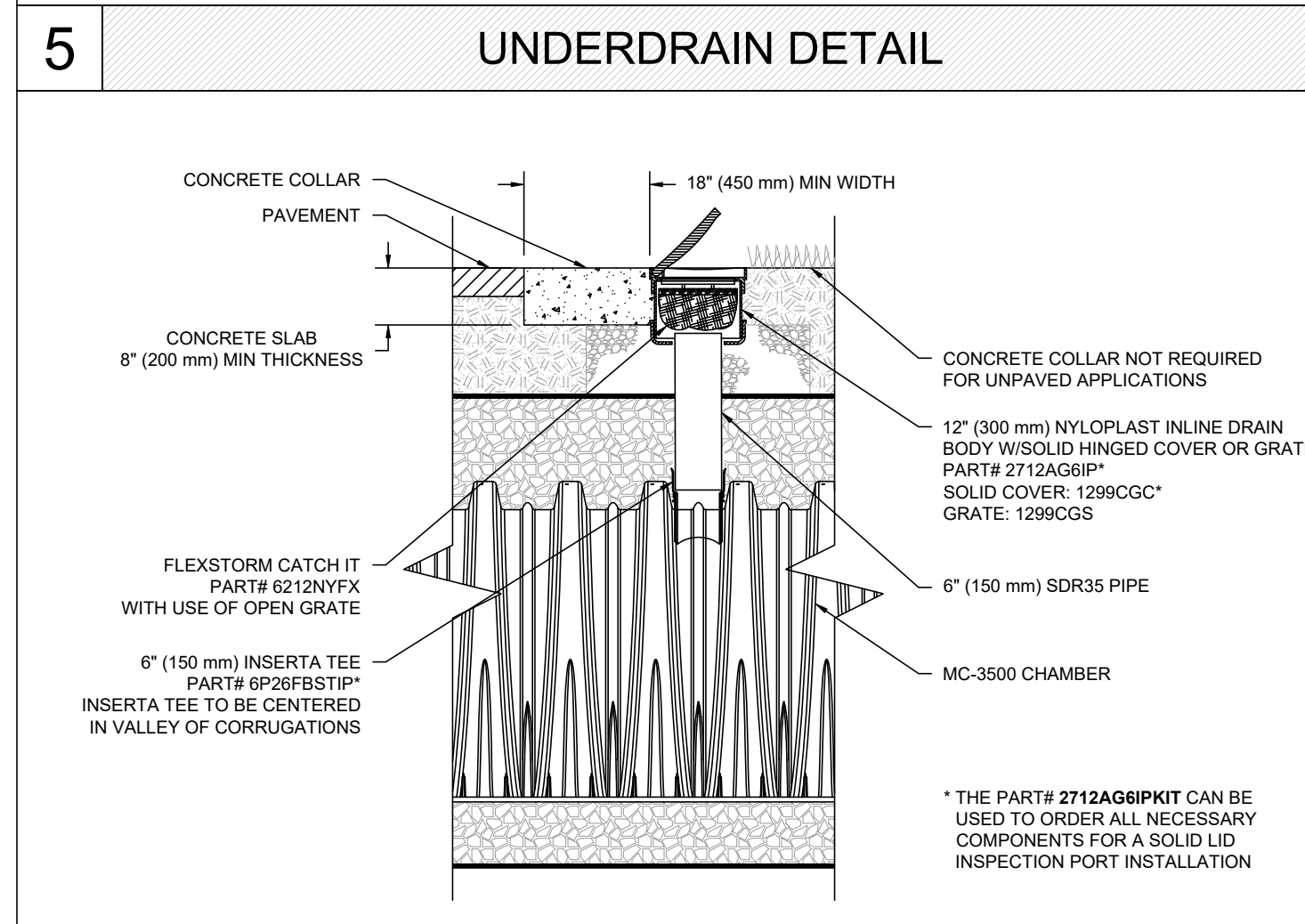
NOTE: ALL DIMENSIONS ARE NOMINAL.

PLEASE NOTE:

1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".

2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.

3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY BRAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



**NOTES:**

1. MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".

2. MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".

3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.

4. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.

5. ONCE LAYER 'C' IS PLACED, ANY SOLID MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.

4 MC-3500 6" (150 mm) INSPECTION PORT DETAIL

2 MC-3500 TECHNICAL SPECIFICATIONS

1 MC-3500 CROSS SECTION DETAIL

**"RECORD DRAWING"**

CORRECTED BY: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_

DATE: \_\_\_\_\_ DATE: \_\_\_\_\_

**DIG ALERT** CALL 811 DIAL TOLL FREE 800-422-4133 AT LEAST TWO DAYS BEFORE YOU DIG UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

NO. 1 REVISION 1 ADDED SHEET 5 APPROVED: 02/22/2022

BENCH MARK: 626.116 (INGV029) LOCATION: 2" C.P.S. BRONZE DISK STAMPED "34-19" SET IN ENE CURB RETURN AT INT. LAS VEGAS RD AND GRADANA AVE

BASIS OF BEARINGS: THE CENTERLINE OF ANZA ROAD PER "WRIGHT AND LEONARD TRACT", AS SHOWN BY A MAP ON FILE IN BOOK 23 OF MAPS, PAGE 83, BEING: SOUTH 00°08'20" WEST.

PREPARED UNDER THE DIRECT SUPERVISION OF: **EGAN CIVIL, INC.** BENJAMIN DANIEL EGAN, P.E., PLS RCE73070 DATE: APR. 07, 2022

DESIGN BY: BOE CHECK: BOE RIGHT-OF-WAY: INITIAL: DATE: REVIEWED BY: JOHN M. BRUDIN R.C.E. NO. 41836

RECOMMENDED BY: CITY OF PALM SPRINGS, CALIFORNIA JOEL MONTALVO, PE, CITY ENGINEER R.C.E. NO. 62624

CITY OF PALM SPRINGS, CALIFORNIA

FILE NO. E-20221011 SHEET 3 OF 3 PLOTS DATE: 04/07/2022

**REGISTERED PROFESSIONAL ENGINEER** BENJAMIN DANIEL EGAN NO. 73070 CIVIL STATE OF CALIFORNIA

**REGISTERED PROFESSIONAL ENGINEER** JOHN M. BRUDIN No. 41836 CIVIL STATE OF CALIFORNIA

**ADS** ADVANCED DRAINAGE SYSTEMS, INC.

CITY OF PALM SPRINGS, CALIFORNIA

**STORMTECH MC3500 DETAILS**

W. DEL SOL RD. - STORAGE FACILITY LOCATED IN THE SE 1/4 OF SECTION 34, T 3 S, R 4 E, SBM

FILE NO. E-20221011 SHEET 3 OF 3 PLOTS DATE: 04/07/2022



INSULATED METAL SIDING



ROLL-UP GARAGE DOOR



METAL ENTRY CANOPY



WINDOW GLAZING



EXTERIOR LIGHT FIXTURE



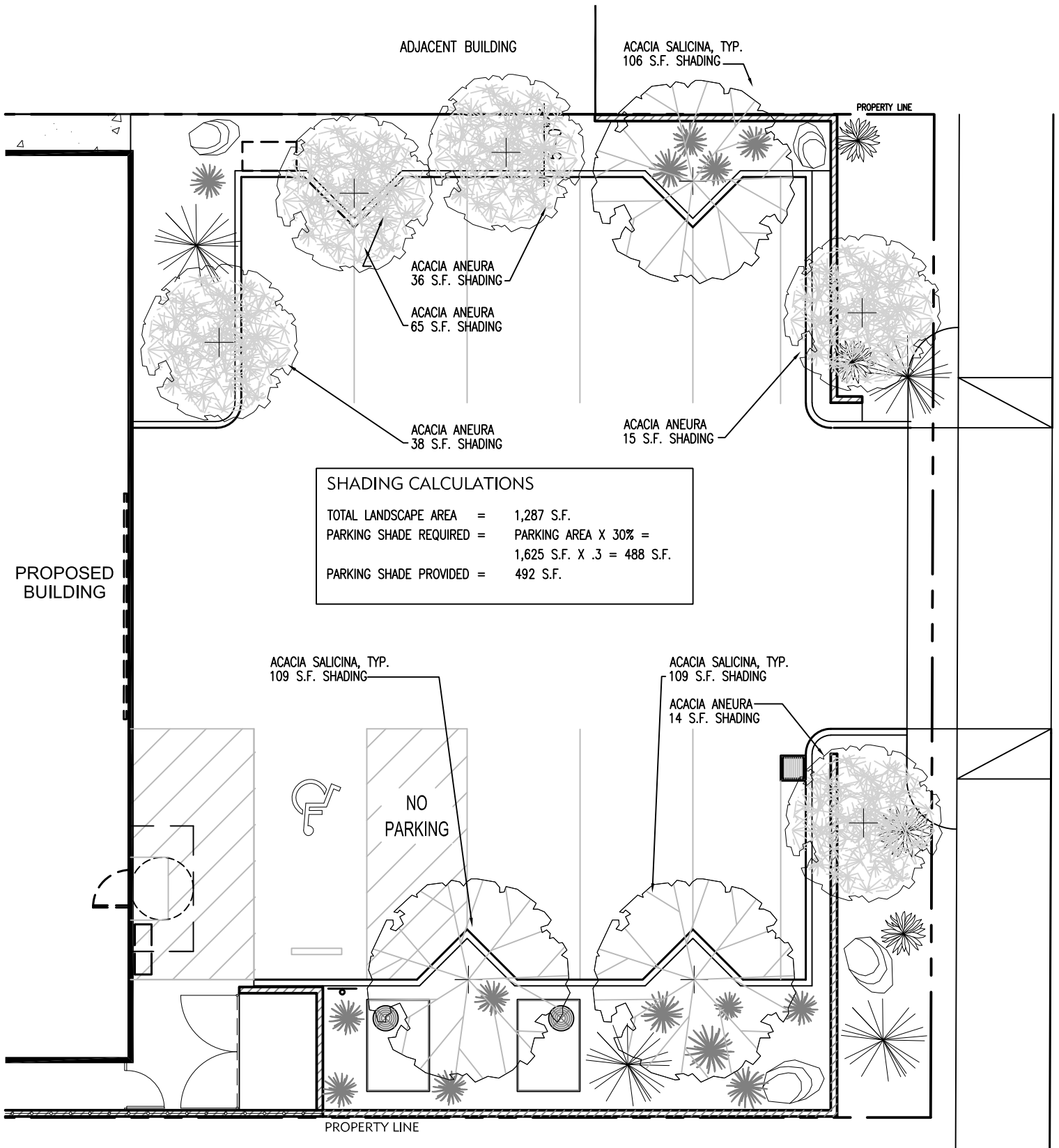
CONCRETE MASONRY



MODULAR PAVERS

RYAN WOOD STORAGE  
DEL SOL ROAD  
PALM SPRINGS, CA

**McGee-Sharon-Architects, Inc.**  
3479 Kurtz Street | 74-020 Alessandro Dr., Ste. F | Tel: 619.299.9111  
San Diego, CA 92110 | Palm Desert, CA 92260 | mcgeesharon.com



MARCH 3, 2022  
MSA PROJECT NO. 1360

**PARKING LOT SHADING**

SCALE: 3/32" = 1"

NORTH



**RYAN WOOD STORAGE**  
DEL SOL ROAD  
PALM SPRINGS, CA

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