



## **ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM**

DATE: JULY 5, 2022

NEW BUSINESS

SUBJECT: REQUEST BY O2 ARCHITECTURE, FOR A MAJOR ARCHITECTURAL APPLICATION TO CONSTRUCT A 3,675-SQUARE-FOOT SINGLE-FAMILY RESIDENCE AND AN ADMINISTRATIVE MINOR MODIFICATION FOR A FRONT YARD SETBACK REDUCTION ON A HILLSIDE LOT LOCATED AT 2399 CITY VIEW DRIVE (APN: 504-400-001), ZONE ESA-SP, SECTION 4 (CASE 3.4330 MAJ & CASE 7.1653 AMM). (GM)

FROM: Development Services Department – Planning Division

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### PROJECT DESCRIPTION:

This is a request for approval of a Major Architectural (MAJ) application for the construction of a new 3,675-square-foot single-family residence on a 22,310-square-foot site within the Desert Palisades Specific Plan area. The siting of the house requires the review of an Administrative Minor Modification (AMM) for a front yard setback reduction of 2'-4" at the west corner of the garage. The Desert Palisades Specific Plan was adopted by the City Council on January 5, 2011 (Case 5.1154 SP). This project is required to be evaluated for consistency against the following guidelines and standards:

- Section 93.13.00 of the Zoning Code (Hillside Development).
- Section 94.04 of the Zoning Code (Architectural Review).
- Section III "Development Standards" (page 58), Section V "Architecture & Site Design Guidelines" (page 70), and Section VI "Landscaping Guidelines of the DPSP" (page 96).
- Section 92.21.1.05 of the Zoning Code (Design Guidelines for the ESA-SP zone) including mandatory standards in Part "D" and findings outlined in Part "I".
- Section 94.06.01(B)(3) of the Zoning Code (Administrative Minor Modification)

### RECOMMENDATION:

That the Architectural Review Committee approve the Major Architectural Application and the Administrative Minor Modification for a front yard setback reduction of 2'-4" subject to the attached conditions.

**BACKGROUND INFORMATION:**

<i>Related Relevant City Actions</i>	
01/05/2011	The City Council approved the Desert Palisades Specific Plan and certified the Final Environmental Impact Report (EIR) for the project.
01/07/2015	The City Council approved an addendum to the previously certified EIR to extend the time frame in which grading activities could occur from December 31 <sup>st</sup> to January 31 <sup>st</sup> .

<i>Neighborhood Meeting/Neighborhood Notice</i>	
06/8/2022	Notice mailed by staff to adjacent property owners notifying that the subject application had been filed with the Planning Division, in accordance with 93.13.00 of the Zoning Code.
06/22/2022	Notice mailed by staff to adjacent property owners notifying that the subject project would be reviewed by the Architectural Review Committee on July 5, 2022.
06/30/2022	The surrounding neighborhood organizations within one (1) mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on July 5, 2022.

**STAFF ANALYSIS:**

<i>Site Area</i>	
Net Acres	22,310-square feet

<i>General Plan and Zoning Designations</i>		
<i>General Plan Designation</i>	<i>Permitted Density (Max)</i>	<i>Compliance</i>
SPA	1 DU/40 Acres	Y
<i>Zoning Designation</i>		
ESA-SP Planning Area 4 (Desert Palisades Specific Plan)		

PSZC Section 94.04.00(E)(13) requires that the proposed application be consistent with any adopted Specific Plan or Planned Development District Design Standards:

<i>Applicable Specific Plan Area or Design Standards</i>	<i>Compliance</i>
Desert Palisades Specific Plan	Y

Development Standards:

Pursuant to PSZC Section 92.01.03, the following development standards apply:

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks <ul style="list-style-type: none"> <li>• Front</li> <li>• Side</li>   <li>• Rear</li> </ul>	25 Feet 10 Feet  15 Feet	22'-6" Feet 10 Feet + 7'-6" no build easement  15 Feet	Y with AMM Y  Y
Max. Lot Coverage	35%	19%	Y
Max. Building Height	18 Feet	11 Feet	Y
Parking	2 spaces (covered)	2 spaces within garage	Y

ARCHITECTURAL PROJECTION:

A metal shade trellis on the west facing front façade leads to the entry door and extends beyond the front setback of the house a distance of eight (8') feet. The projection is permitted per Palm Springs Zoning Code Section 93.01.00(F)(3)(b), which states as follows:

*“Pedestrian entry features which encompass an area no greater than sixty (60) square feet, and do not provide usable interior space, may extend or project into a required front yard not more than eight (8) feet.”*

Hillside Review Criteria:

PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
1.	<i>Rock and soil exposure;</i> The proposed dwelling sits on top of the native terrain on an ungraded lot. The construction of the house on the rocky site will limit disturbance as much as possible and there will be no disturbance of the “no-build” easement, which will stay in its naturalized appearance.	Y
2.	<i>Size of building pad;</i> The footprint is minimal, keeping the area of the site disturbance minimum. Conforms to DPSP standards for non-mass grading.	Y
3.	<i>Design considerations, such as supporting stilts, colors and building arrangement;</i>	Y

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
	The proposed home is contemporary/modern in its aesthetic and proposed colors and materials harmonious with the site.	
4.	<i>Screening of parking areas;</i> The 2-car garage door will be accessed from a twelve (12') foot wide driveway leading to motor court with garage door not visible from the street.	Y
5.	<i>Landscaping plans;</i> The proposed landscape plan includes minimal plantings to include Desert Museum Palo Verde trees, and Yucca interspersed between boulders.	Y
6.	<i>Continuity with surrounding development;</i> Proposed house is similar in design to others currently built and under construction in DP.	Y
7.	<i>Sensitivity to existing view corridors.</i> Views are preserved and directed, building and landscape sited to not block views from adjacent parcels.	Y

Conclusion: The project is consistent with the architectural guidelines of Zoning Code Section 93.13.00. (“Hillside Development”).

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i> The home is appropriately sited on the lot with the outdoor living areas oriented along the south side of the home taking advantage of views and solar angles and will be finished on all sides with a consistent design.	Y
2.	<i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i> There are no accessory structures proposed.	Y
3.	<i>The façade elements and fenestration are composed in a harmonious manner;</i>	Y



	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The project proposes very simplistic façade elements and fenestration treatment to showcase the details and contrast of building materials and colors. The position of the proposed residence is slightly angled, and sits eight (8) feet below street level with its primary elevation not completely parallel to the street. The angled position will add movement and interest to the residence when viewed from the street.	
4.	<i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i> Building materials suitable for harsh desert climate and conforming to the architectural guidelines of the DPSP are proposed.	Y
5.	<i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i> Materials and colors proposed (plaster, structural steel, glass, brick veneer façade system, metal cladding, and dark bronze window frames) are durable and appropriate for a harsh desert climate.	Y
6.	<i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i> Multiple wide roof overhangs, and eaves, provide solar control and interest for the building architecture.	Y
7.	<i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i>	Y
	The site is proposed in a naturalized form, with limited disturbance to the existing terrain. The “no-build” easement on the north property line will be maintained as well as an open space area to the south which borders an existing trail that runs through the development. Any new plants will meet the planting requirements for the DPSP for plant type and species.	
8.	<i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i> Where new landscape material is proposed, the landscape plan submitted includes minimal plantings to include Desert Museum Palo Verde trees, and Yucca interspersed between boulders.	Y
9.	<i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i> There are no public sidewalks or pathways present on Lot 57.	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
10.	<i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i> The project proposes a variety of landscape light fixtures, which include but are not limited to, seven (7) accent lights, and seven (7) tree up lights step lights at low levels of brightness meeting the specifications of the DPSP.	Y
11.	<i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i> No signage proposed.	N/A
12.	<i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i> The mechanical equipment will be ground mounted placed in the southwest corner at the front of the house screened by a low wall. Trash receptacles will be stored within the garage out of public view.	Y
13.	<i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i> The proposed dwelling demonstrates an integrated solution to the challenges inherent with construction in an environmentally sensitive area. The project is comprehensive in its coordination of materials, landscape, color, massing and an overall design sensitive to the unique characteristics of the site.	Y

Furthermore; Sections V (“Architecture and Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC Section 92.21.1.05 (“Findings Required for Approval”) have been reviewed and the project is consistent with these sections.

Administrative Minor Modification (AMM) Criteria and Findings:

PSZC Section 94.06.01(B)(3) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.06.01(B)(3)]</i>	<i>Compliance</i>
1.	<i>The requested minor modification is consistent with the general plan, applicable specific plan(s) and overall objectives of the zoning ordinance.</i>	Y

	<i>Criteria and Findings [PSZC 94.06.01(B)(3)]</i>	<i>Compliance</i>
	The Administrative Minor Modification (AMM) requests a front yard reduction of 2'-4" to allow a small corner portion of the garage to project into the setback. The Palm Springs Zoning Code Section 94.06.01(A)(5) allows the request as part of the development of a single-family residence on a hillside lot, which is consistent with the objectives of the General Plan and zoning ordinance and Desert Palisades Specific Plan.	
2.	<p><i>The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the minor modification.</i></p> <p>The adjacent lot to the north (Lot 58), and to the west (Lot 55) across the street are undeveloped. The house will sit eight (8) feet below the street and there will be sufficient separation distance provided between the project site and the future residence on Lot 58 because of the non-build easement and side yard setback. Therefore, the approval of this AMM application will not adversely affect the neighboring properties.</p>	Y
3.	<p><i>The approval or conditional approval of the minor modification will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity.</i></p> <p>The approval of this AMM application will not affect or alter the single-family residential use of the subject property. The proposed residence will be required to be constructed in accordance with the applicable zoning code regulations and the California Building Code for safety compliance. Therefore, it will not adversely affect the individuals who live or work on the site or in its vicinity.</p>	Y
4.	<p><i>The approval of the minor modification is justified by environmental features, site conditions, location of existing improvements, or historic development patterns of the property or neighborhood.</i></p> <p>The natural features of the lot will place the house eight (8') feet below City View Drive which has a gentle curve resulting in a front lot line that is not square to the street. The setback reduction request of 2'-4" for a small portion of the garage allows the overall structure to sit on the parcel with the main portion placed at the rear of the lot taking advantage of the views to the east. There will be no adverse impact to the future home to the east as a result of the front yard setback, therefore, staff finds that the proposed reduction request is justified by site conditions.</p>	Y

**ENVIRONMENTAL ANALYSIS:**

The proposed development is considered a "project" pursuant to the terms of the California Environmental Quality Act ("CEQA"), and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Single-Family Residence).

**CONCLUSION:**

The project proposes good integration of the structure, terraces, and other elements into the natural features of the site with minimal disturbance to terrain and vegetation. Where disturbance is unavoidable, appropriate site restoration techniques are proposed. Full integration of the proposed dwelling into the natural characteristics of the site has been achieved to the greatest extent possible. The proposed dwelling is consistent with the design guidelines of the DPSP with respect to low roof lines, minimal cut and fill and thoughtful solutions to integrate the home into the site and Staff recommends approval. As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”) and 94.04.00 (“architectural review”); the Architecture, Landscaping and Design Guidelines of Desert Palisades Specific Plan Sections V (“Architecture and Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC Section 92.21.1.05 (“Findings Required for Approval”).

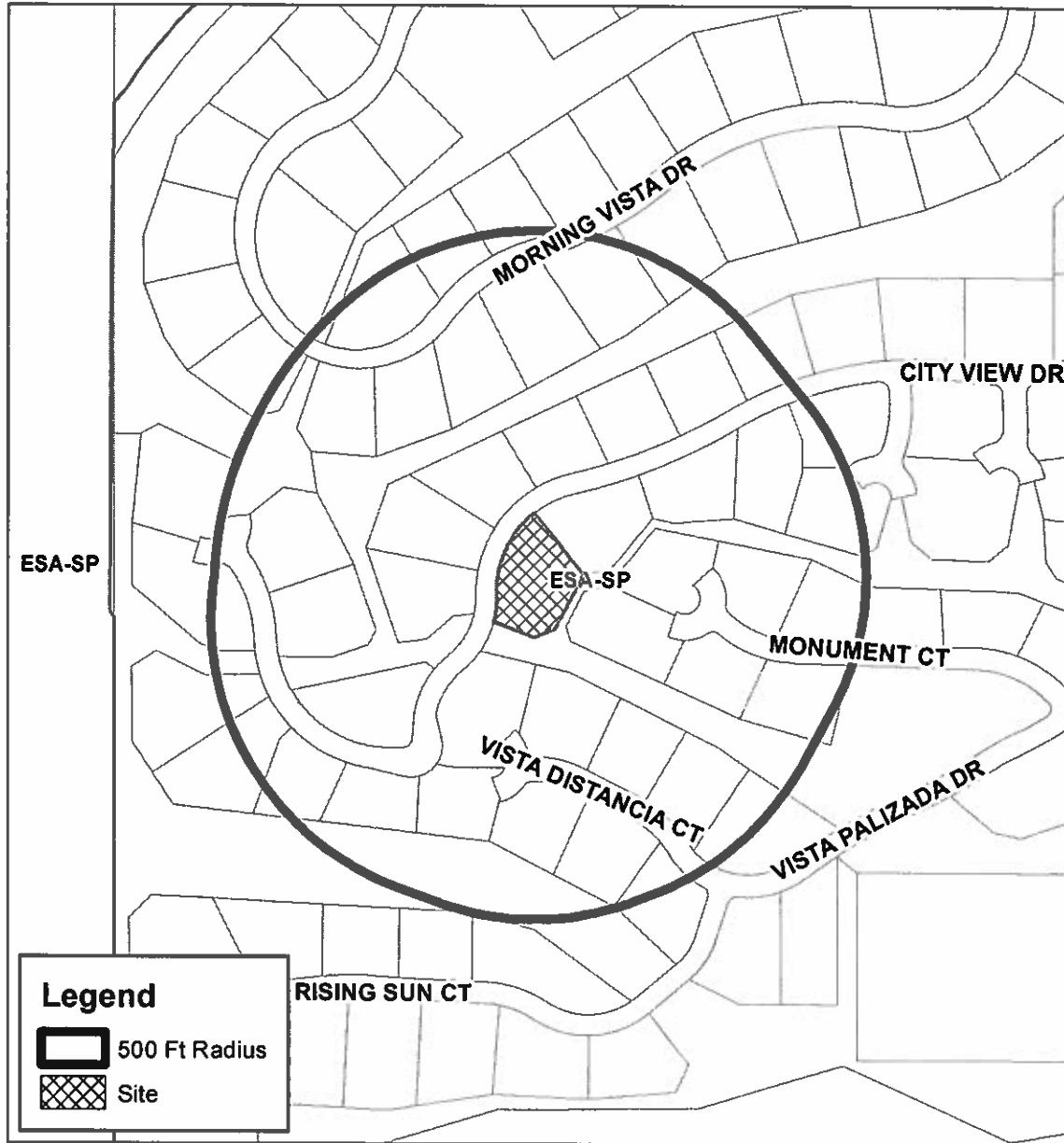
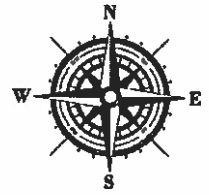
PREPARED BY:	Glenn Mlaker, AICP, Associate Planner
REVIEWED BY:	David Newell, AICP, Assistant Director of Planning

**ATTACHMENTS:**

1. Vicinity Map
2. Draft Resolution
3. Conditions of Approval
4. Justification Letter
5. Site Photos
6. Exhibit Package



# Department of Planning Services Vicinity Map



**CITY OF PALM SPRINGS**  
**Case # 3.4330 MAJ**  
**Desert Palisades**  
**2399 City View Drive – Lot 57**

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION FOR DEVELOPMENT OF 3,675-SQUARE FOOT SINGLE FAMILY RESIDENCE AND AN ADMINISTRATIVE MINOR MODIFICATION FOR A FRONT YARD SETBACK REDUCTION ON A HILLSIDE LOT LOCATED AT 2399 CITY VIEW DRIVE, LOT 57, ZONE ESA-SP PLANNING AREA, DESERT PALISADES SPECIFIC PLAN, SECTION 3 (CASE 3.4330 MAJ AND 7.1653 AMM).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

A. O2 Architecture (“Applicant”) filed an application with the City, pursuant to the Palm Springs Zoning Code (PSZC) Sections 94.04.00 (E) (architectural review), 93.13.00 (hillside development), and 94.06.01(B)(3) (Administrative Minor Modification) of the Palm Springs Zoning Code, for construction of a 3,675-square foot single-family residence and a front yard setback reduction of 2’-4” located at 2399 City View Drive (“the Project”).

B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City’s Planning Commission to the City’s Architectural Review Committee.

B. On June 22, 2022, City staff notified the owners of properties immediately adjacent to the Project site of the scheduling of an Architectural Review Committee meeting to consider the subject application, pursuant to PSZC 93.13.00 (B,1,c).

C. On July 5, 2022, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Construction or Conversion of Small Structures).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”), 94.04.00 (“architectural review”); the Architecture, Landscaping and Design Guidelines of Desert Palisades

Specific Plan Sections V (“Architecture and Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC 92.12.1.05 (“Findings Required for Approval”).

Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Case 3.4330 MAJ, for the construction of a 3,675-squae foot house on a hillside lot and a granting a front yard setback reduction of 2’-4” located at 2399 City View Drive, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 5th day of July, 2022.

AYES:

NOES:

ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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David Newell, AICP  
Assistant Planning Director

## EXHIBIT A

Case 3.4330 MAJ and 7.1653 AMM  
Proposed Single Family Residence on a hillside lot  
Located at 2399 City View Drive, Desert Palisades,  
ESA-SP Zone, Planning Area 4.

July 5, 2022

### CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

### ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case (3.4330 MAJ and 7.1653 AMM).
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped (May 10, 2022), including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.4330 MAJ and 7.1653 AMM. The City of Palm



- Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.
- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Approval shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.

## **ENVIRONMENTAL ASSESSMENT CONDITIONS**

- ENV 1. Coachella Valley Multiple-Species Habitat Conservation Plan (CVMSHCP) Local Development Mitigation Fee (LDMF) required. All projects within the City of Palm Springs, not within the Agua Caliente Band of Cahuilla Indians reservation are subject to payment of the CVMSHCP LDMF prior to the issuance of certificate of occupancy.
- ENV 2. Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA); therefore, an administrative fee of \$50 shall be submitted by the applicant in the form of a money order or a cashier's check payable to the Riverside County Clerk within two business days of the Commission's

- final action on the project. This fee shall be submitted by the City to the County Clerk with the Notice of Exemption. Action on this application shall not be considered final until such fee is paid (projects that are Categorically Exempt from CEQA).
- ENV 3. Cultural Resource Survey Required. Prior to any ground disturbing activity, including clearing and grubbing, installation of utilities, and/or any construction related excavation, an Archaeologist qualified according to the Secretary of the Interior's Standards and Guidelines, shall be employed to survey the area for the presence of cultural resources identifiable on the ground surface.
- ENV 4. Cultural Resource Site Monitoring. There is a possibility of buried cultural or Native American tribal resources on the site. A Native American Monitor shall be present during all ground-disturbing activities. (check for duplication in engineering conditions)
- ENV 5. a). A Native American Monitor(s) shall be present during all ground disturbing activities including clearing and grubbing, excavation, burial of utilities, planting of rooted plants, etc. Contact the Agua Caliente Band of Cahuilla Indian Cultural Office for additional information on the use and availability of Cultural Resource Monitors. Should buried cultural deposits be encountered, the Monitor shall contact the Director of Planning. After consultation the Director shall have the authority to halt destructive construction and shall notify a Qualified Archaeologist to further investigate the site. If necessary, the Qualified Archaeologist shall prepare a treatment plan for submission to the State Historic Preservation Officer and Agua Caliente Cultural Resource Coordinator for approval.
- b). Two copies of any cultural resource documentation generated in connection with this project, including reports of investigations, record search results and site records/updates shall be forwarded to the Tribal Planning, Building, and Engineering Department and one copy to the City Planning Department prior to final inspection.
- ENV 6. Protect Soil during Acid-washing of concrete. Ensure all appropriate measures are used in handling the acid-etching of the concrete so as not to contaminate the adjacent soil.

## **PLANNING DEPARTMENT CONDITIONS**

### **Conditions imposed by Architectural Review Committee (ARC)**

- PLN 1. Administrative Minor Modification. Granting of a front yard setback reduction of 2'-4" allowing a small portion of the garage and a trellis structure as an architectural pedestrian feature to project into the setback.

- PLN 2. Solar Panels. Solar panels to be placed on the roof in a manner that the equipment will not be visible from adjoining properties or the public street.
- PLN 3. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.
- PLN 4. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 5. Provide smart controllers on irrigation system.
- PLN 6. Roof surfaces shall be tan, beige, grey, sand or other color that blends with the natural color in the area; no white or off-white roofs.
- PLN 7. Drainage at Concrete Terraces. Provide drainage at the joints in the impervious concrete terraces. (Per Section III, DPSP).
- PLN 8. Drainage. The project shall be conditioned to conform to the Guiding Principles for Drainage pursuant PSZC Section 92.21.1.05.
- PLN 9. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 10. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 11. Boulder Relocation. Place boulders and rocks that are relocated as a result of the project's construction in a naturalized manner with boulders "settled" into the soil, not piled up.

## **BUILDING DEPARTMENT CONDITIONS**

BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

## **ENGINEERING CONDITIONS**

### **GENERAL**

- ENG 1. The applicant shall comply with all required Standard Conditions and Mitigation Measures identified in the Final Environmental Impact Report for the Desert Palisades development, as applicable to the individual lots, whether or not restated in these conditions of approval. All required plans shall be prepared in conformance with all applicable Standard Conditions and Mitigation Measures.
- ENG 2. Development of the site is subject to all applicable provisions of Chapter 92.21.1.05 "Design Standards" of the Palm Springs Zoning Code, whether or not restated in these conditions of approval. All required plans shall be prepared in conformance with all applicable provisions of the Code.
- ENG 3. The Property is located in the Environmentally Sensitive Area – Specific Plan ("ESA-SP") zone. Pursuant to Section 92.21.1.05(J) of the Palm Springs Zoning Code, prior to the issuance of any permit for grading or construction of any improvement on any property within the ESA-SP zone, the property owner shall enter into an agreement with the City ensuring that should the improvement not be completed as permitted, that the land will be re-naturalized. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. Security Bond and agreement preparation fee in effect at the time that the agreement is submitted shall be paid by the applicant prior to issuance of any grading or building permits.

### **SANITARY SEWER**

- ENG 4. All sanitary facilities shall be connected to the private sewer system. New laterals shall not be connected at manholes.
- ENG 5. Applicant shall pay a sewer assessment fee of \$3,628.77 in accordance with the terms of the Racquet Club Road Sewer Construction Refund Agreement between the City of Palm Springs and the Pirozzi Family Trust Established November 30, 1992, Sewer Agreement No. 6253. The fee shall be paid to the City of Palm Springs prior to issuance of a building permit.

### **GRADING**

- ENG 6. Mass grading of the site shall be prohibited.

- ENG 7. Rock crushing operations shall be limited to off-site locations only, as analyzed within the EIR for Desert Palisades. On-site rock crushing for individual home sites is not permissible under the Desert Palisades Specific Plan.
- ENG 8. Rough grading of the lot requires architectural approval, in accordance with the development standards for Planning Area 4 of the ESA-SP Zone, as defined by the Desert Palisades Specific Plan (Case 5.1154). Submit a Grading Plan prepared by a California registered Civil engineer to the City Engineer for review and approval. The Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.
- ENG 9. The applicant's contractors shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant's contractor shall provide the Engineering Division with current and valid Certificates of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Division prior to approval of plans, which shall be approved by the City Engineer prior to issuance of any permits.
- ENG 10. In accordance with Standard Condition (SC) 3.5-1 of the Final Environmental Impact Report, approved Native American cultural resource monitors and archaeological monitors shall be present during all ground disturbing activities. The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at (760) 699-6800, to coordinate scheduling of monitors prior to construction. No permits shall be issued for ground disturbance activities until evidence is provided to the City Engineer demonstrating that monitoring by approved Native American cultural resource monitors has been coordinated by the applicant.
- ENG 11. In accordance with an approved PM-10 Dust Control Plan, perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.

- ENG 12. Perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 13. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 14. Prior to issuance of any permit for ground disturbance activities, the applicant shall provide verification to the City that applicable fees have been paid to the Agua Caliente Band of Cahuilla Indians in accordance with the Tribal Habitat Conservation Plan (THCP).
- ENG 15. In accordance with City of Palm Springs Municipal Code, Section 8.50.025 (c), the applicant shall post with the City a cash bond of two thousand dollars (\$2,000.00) per disturbed acre for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 16. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the plans for the project. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Division with the first submittal of any plans.
- ENG 17. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan (if required), to the Engineering Services Department for review and approval.
- ENG 18. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved plans shall be certified by a California registered geotechnical or civil engineer, certifying that all construction was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided. No final approval will be issued until the required certification is provided to the City Engineer.

## WATER QUALITY MANAGEMENT PLAN

- ENG 19. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to adjacent properties is prohibited. Construction of operational BMP's shall be incorporated into required plans.
- ENG 20. Prior to issuance of any permit, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement the approved Final Project-Specific WQMP. Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include: requiring the implementation of the Final Project-Specific WQMP in Home Owners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&R's); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to the issuance of any permit.
- ENG 21. Prior to any final City approvals, the applicant shall: (a) demonstrate that all structural BMP's have been constructed and installed in conformance with approved plans and specifications; (b) demonstrate that applicant is prepared to implement all non-structural BMP's included in the approved Final Project-Specific WQMP, conditions of approval, or grading/building permit conditions; and (c) demonstrate that an adequate number of copies of the approved Final Project-Specific WQMP are available for the future owners (where applicable).

## DRAINAGE

- ENG 22. In accordance with Chapter 92.21.1.05 "Design Standards" of the Palm Springs Zoning Code, development of the site shall preserve existing drainage patterns, natural streams and local watershed boundaries.
- ENG 23. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property, as described in the Preliminary Hydrology Report for TTM35540, prepared by MSA Consulting, Inc., dated July 1, 2009 (or as may be amended). Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and

approval of the hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study.

ENG 24. This project will be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating stormwater runoff, will be required by regulations imposed by the RWQCB. It shall be the applicant's responsibility to design and install appropriate BMP's, in accordance with the NPDES Permit, that effectively intercept and pre-treat stormwater runoff from the project site, prior to release to the City's municipal separate storm sewer system ("MS4"), to the satisfaction of the City Engineer and the RWQCB. Such measures shall be designed and installed on-site; and provisions for perpetual maintenance of the measures shall be provided to the satisfaction of the City Engineer.

ENG 25. The project is subject to flood control and drainage implementation fees. The drainage fee at the present time is \$6,511.00 per acre per Resolution No. 15189.

#### GENERAL

ENG 26. Any utility trenches or other excavations of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115. The developer shall be responsible for removing, replacing, or repairing any existing off-site streets as required by and at the discretion of the City Engineer, including additional pavement repairs to pavement repairs made by utility companies for utilities installed for the benefit of the proposed development (i.e. Desert Water Agency, Southern California Edison, Southern California Gas Company, Time Warner, Frontier, etc.). Multiple excavations, trenches, and other street cuts within existing structural sections of off-site streets required by the proposed development may require complete removal and replacement of the streets structural section of the affected off-site streets, at the discretion of the City Engineer. The pavement condition of the existing off-site streets shall be returned to a condition equal to or better than existed prior to construction of the proposed development.

ENG 27. All proposed utility lines shall be installed underground.

ENG 28. All existing utilities shall be shown on the improvement plans required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.



- ENG 29. Upon approval of any improvement plan by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval of the City Engineer.
- ENG 30. The original improvement plans prepared for the proposed development and approved by the City Engineer shall be documented with record drawing “as-built” information and returned to the Engineering Division prior to issuance of final approvals. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 31. Nothing shall be constructed or planted in the corner cut-off area of any intersection or driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.

#### TRAFFIC

- ENG 32. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 “Temporary Traffic Control” of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.
- ENG 33. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

#### FIRE DEPARTMENT CONDITIONS

These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire & building codes. Detailed plans are still required for review.

- FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.
- FID 2. Fire Department Conditions were based on the 2020 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix “T” Development Requirements. and latest adopted NFPA

Standards. Three (3) complete sets of plans for fire sprinkler systems must be submitted prior to a building permit being released.

FID 3. **Conditions of Approval** – “Conditions of Approval” received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 4. **Plans and Permits (CFC 105.1):**  
Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set. Plans shall be submitted to:

City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer’s technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 5. **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

- FID 6. **NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2016 Editions, as modified by local ordinance.
- FID 7. **Residential Smoke Alarms Required:** Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke alarms within the dwelling & guest house to sound and activate the exterior horn/strobe.
- FID 8. **Required access (CFC 504.1):** Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

**END OF CONDITIONS**

Date: 05.10.2022

David A. Newell, AICP, MPA  
Assistant Director of Planning  
City of Palm Springs  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

Re: Major Architectural Application, Justification Letter



1089 N. Palm Canyon Dr.  
Suite B  
Palm Springs, CA 92262  
760 778 8165 TEL  
760 406 7946 FAX  
www.o2arch.com

Dear David:

We are submitting this application in accordance with City of Palm Springs Planning Review guidelines for a property (APN: 504-400-001) that is considered a Hillside Lot and is within the Desert Palisades Specific Plan.

The project consists of a new 3,675 SF residence with a 580 SF-attached two car garage (4,255 total) on a 0.51-acre lot in the Desert Palisades Development. The project is a one-story single-family residence with a maximum height—from the lowest floor to the uppermost roof—is 11'-10". The existing topography drops 20' (west to east) from the upper edge at City View Drive to the bottom of the site. However, the topography has a long horizontal expanse from left to right (north to south) allowing placement of the proposed single-level design to sit comfortably within the existing conditions. The finish floor elevation +962.00' is located 8' down from the street above and 12' above the lowest contour on the east boundary. While some of the existing arroyos are naturally modified, in our proposed design, these arroyos are re-naturalized to retain seamless continuity with the adjacent conditions.

The home's driveway and side approach garage add subtle restraint to the home's long steel post and beam horizontal expanse. The home's indoor/outdoor flow onto patios/decks/pool step with the natural topography and together with the overall massing meet all the Palisades Specific Plan guidelines for height and site development—including the 18' *height blanket*. Complementing the deeply shaded modern architecture are passive comfort strategies utilizing concrete block, steel and plaster with a solar electric system seamlessly integrated into the roof.

The scale and modern architectural style, of the proposed new structure, are consistent with adjacent developments due to the slope of the site and the height differential between adjacent properties at their respective lot boundaries. The proposed design has minimal impact on view corridors of the adjacent properties—with the maximum building height at +/-973.80'—only six feet above the average level of the street at City View Drive at +/-968.00'. A minor modification (AMM) is requested to allow the west corner of the Garage to encroach 2'-4" (11 SF) into the 25' front yard setback. We kindly request that planning staff recommend this project for approval to the Planning Director, Architectural Review Committee and/or Planning Commission based on the aforementioned project description.

Please find the enclosed drawing exhibits which illustrate the proposed project for your consideration and review. Feel free to contact me with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Lance O'Donnell'.

Lance O'Donnell, AIA  
o2 Architecture





1

SHEET DESCRIPTION  
**SITE PHOTOGRAPHS**  
SCALE: N.T.S.  
DATE: 06.01.22

PROJECT TITLE:  
**PALISADES LOT 57**  
2399 CITY VIEW DRIVE  
PALM SPRINGS, CA

**o2 Architecture**  
1089 N. PALM CANYON DR., STE. B  
PALM SPRINGS, CA 92262  
TEL. 760 . 778 . 8165  
EMAIL: lance@o2arch.com  
www.o2arch.com









3

SHEET DESCRIPTION

**SITE PHOTOGRAPHS**

SCALE: N.T.S.  
DATE: 06.01.22

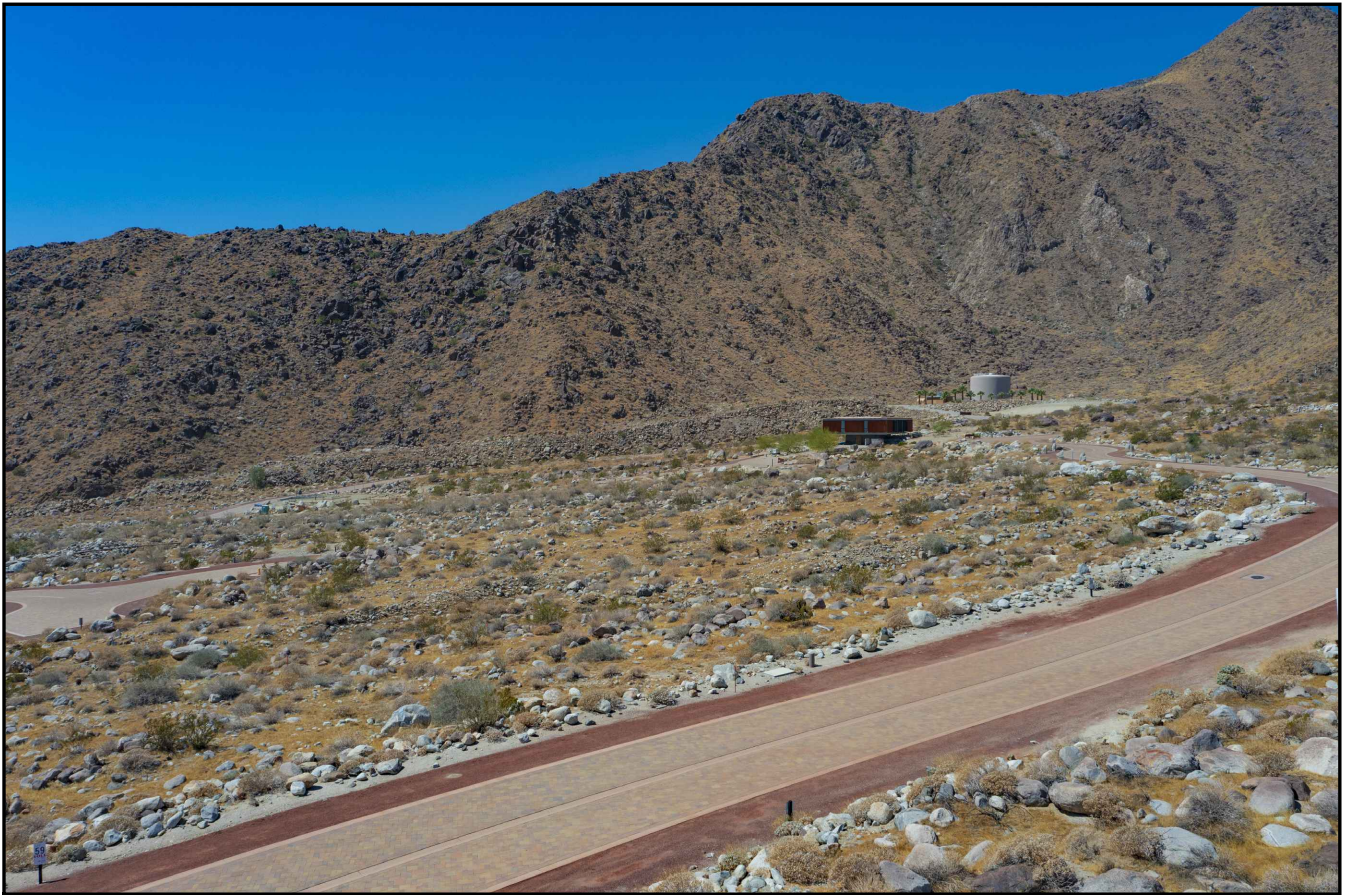
PROJECT TITLE:

**PALISADES LOT 57**  
2399 CITY VIEW DRIVE  
PALM SPRINGS, CA

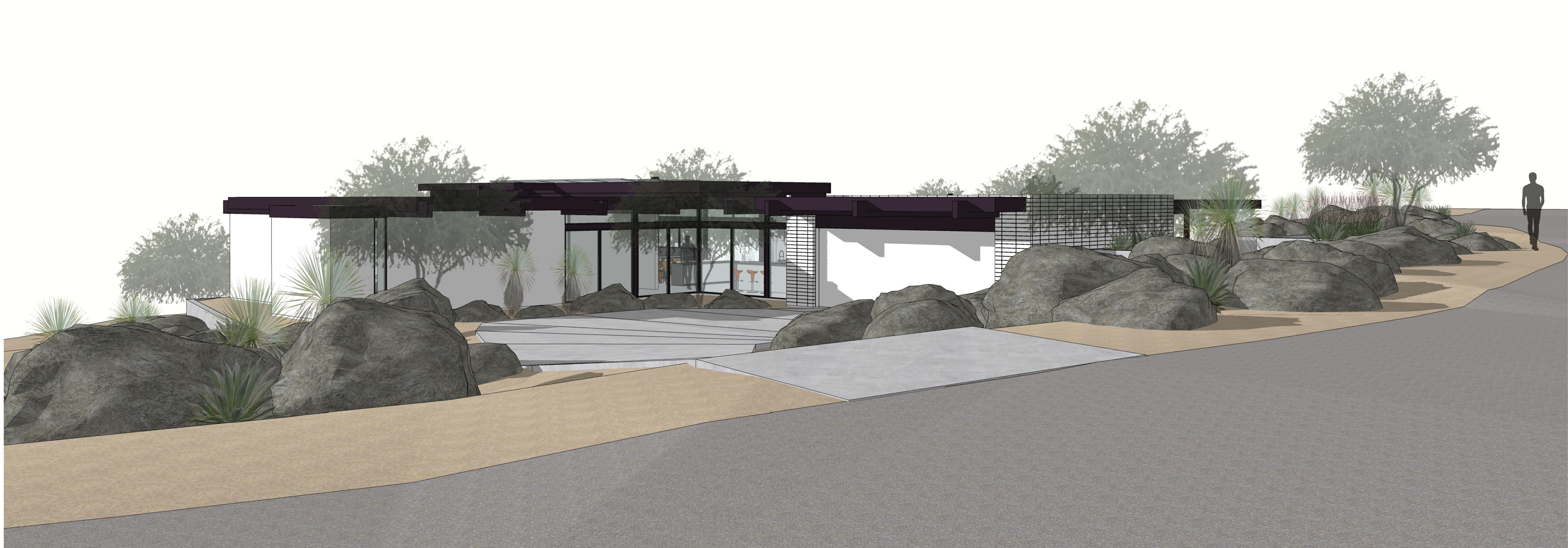
**o2 Architecture**

1089 N. PALM CANYON DR., STE. B  
PALM SPRINGS, CA 92262  
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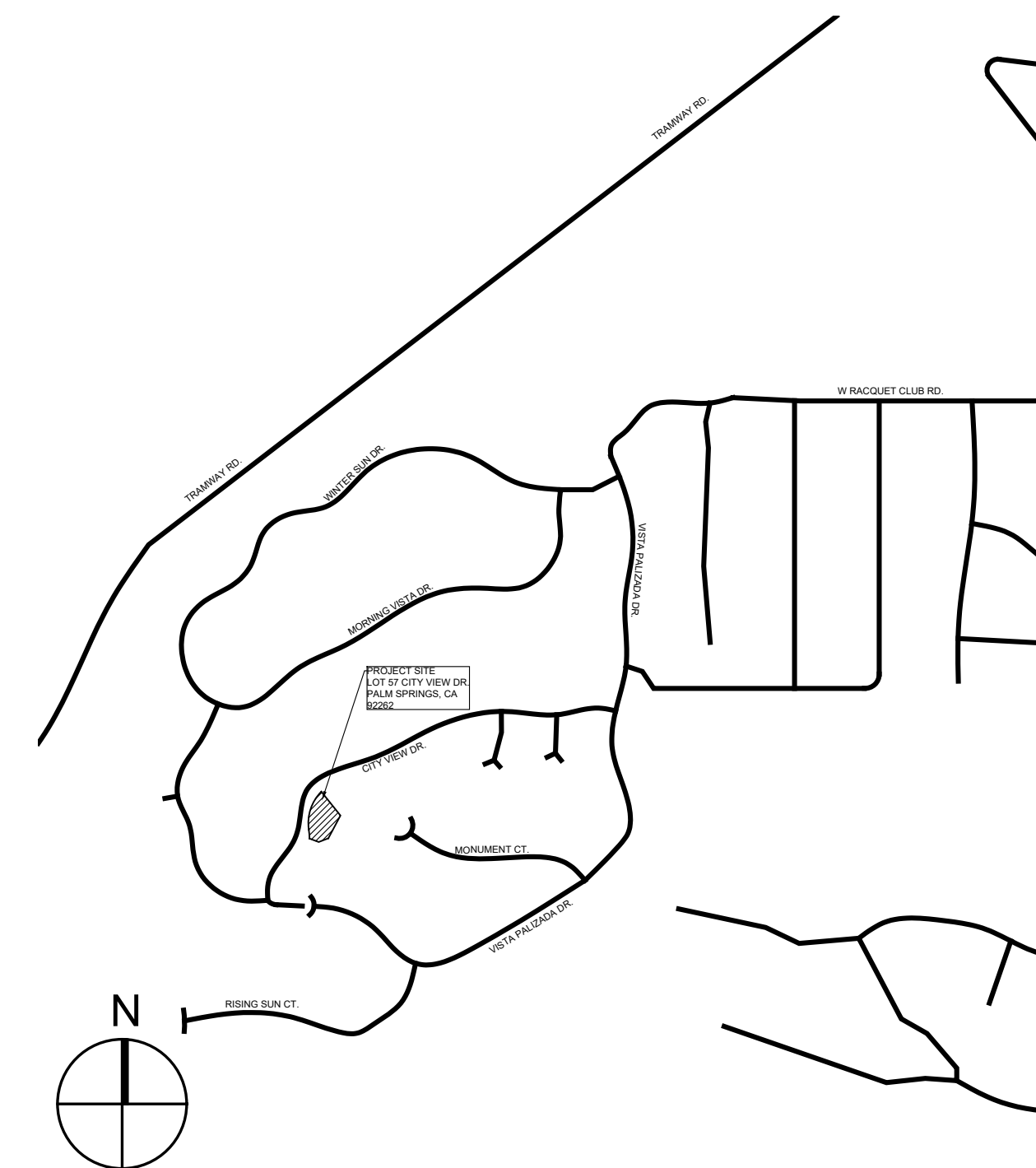




# PALISADES LOT 57

PALM SPRINGS, CA 92262

**VICINITY MAP:**  
SCALE: N.T.S.



**SCHEDULE OF DRAWINGS:**

- A0.0 COVER SHEET
- A0.1 MATERIALS BOARD
- C1.0 EXISTING TOPOGRAPHIC SURVEY
- A1.0 SITE GRADING PLAN
- L1.0 SITE LANDSCAPE PLAN
- A1.1 FLOOR PLAN
- A2.1 EXTERIOR ELEVATIONS
- A3.1 SITE SECTIONS
- A3.2 SITE SECTIONS
- A7.1 ROOF PLAN (LOWER)
- A7.2 ROOF PLAN (UPPER)

**GENERAL PROJECT INFORMATION:**

**OWNER**

-  
-

**ARCHITECT**

O2 ARCHITECTURE  
1089 N. PALM CANYON DR., SUITE B  
PALM SPRINGS, CA 92262  
P: (760) 778-8165

**PROPERTY INFORMATION:**

**LOT INFO:**

LEGAL DESCRIPTION: .50 ACRES M/L IN LOT 57 MB 443/065 TR 35540

**TOWNSHIP/RANGE:**

APN: 504 400 001

LOT SIZE: 22,310 SF (.51 ACRES)

ZONING/LANDUSE: ESA-SP

**SETBACKS:**

FRONT YARD: 25 FEET  
SIDE YARD: 10 FEET  
REAR YARD: 15 FEET

**BUILDING INFORMATION:**

TYPE OF CONSTRUCTION: TYPE V-B  
SPRINKLERS: YES / PER SECTION R313.2  
BUILDING HEIGHT / NUMBER OF STORIES: 11 FEET 10 INCHES, 1 STORY  
BUILDING SITE COVERAGE AREA: 4,303 sf / 22,310 sf = 19%

**AREA TABULATION:**

	CONDITIONED	UNCONDITIONED	TOTAL
MAIN HOUSE	3,675 SF	-	3,675 SF
ATTACHED GARAGE	-	580 SF	580 SF
OUTDOOR SHOWER	-	48 SF	48 SF
<b>GRAND TOTAL</b>	<b>3,675 SF</b>	<b>628 SF</b>	<b>4,303 SF</b>

**EXTERIOR COVERAGE:**

COVERED PATIOS AND SHADE STRUCTURES: 1,820 SF

**SCOPE OF WORK:**

NEW SINGLE STORY +/- 4,303 SF SINGLE FAMILY RESIDENCE, INCLUDING 2-CAR GARAGE, LANDSCAPE & HARDSCAPE ON A VACANT LOT IN THE DESERT PALISADES.



project title:

W\_O Modern

address:  
2399 City View Drive  
Palm Springs, CA  
92262

Schematic Design  
-not for construction-

sheet description:

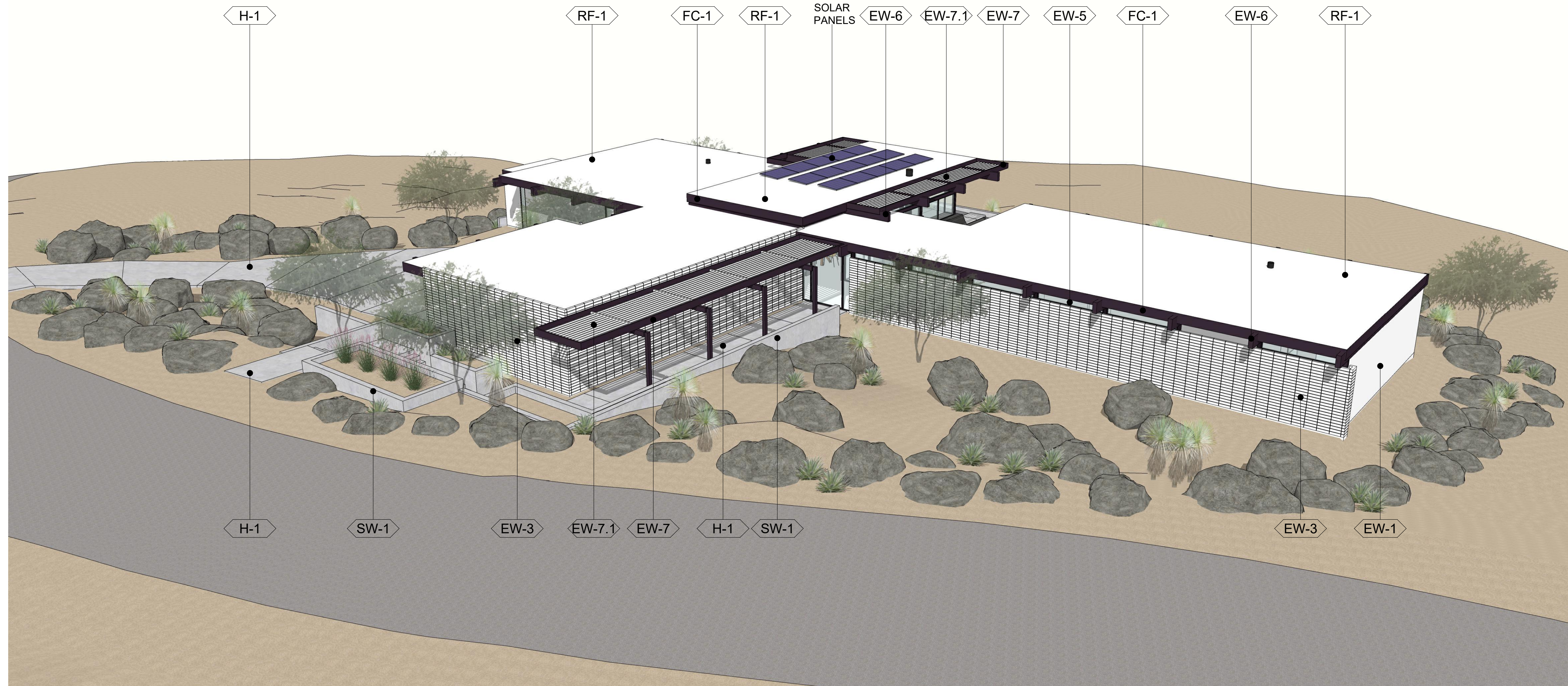
Cover Sheet

Scale: N.T.S.

date: 06\_01\_2022

A0.0

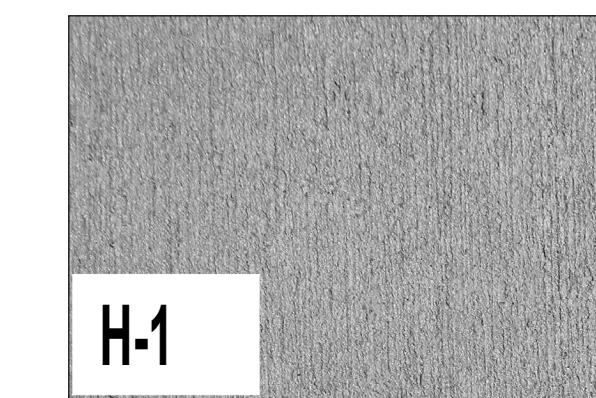




PERSPECTIVE VIEW - FRONT



PERSPECTIVE VIEW - REAR



# Material Legend

## Site Wall

- SW-1 CONCRETE BLOCK WALL  
TYPE: 8x8x16, MEDIUM WEIGHT CMU  
BLOCK WALL, STACKED PATTERN  
PRECISION NATURAL GRAY  
NATURAL SEALED FINISH
- G-1 STEEL GATES & FENCES  
MATERIAL: PAINTED STEEL  
COLOR: LEGENDARY GRAY DE6369

## Hardscape

- H-1 CONCRETE FLAT WORK  
FINISH: SAND WASHED  
COLOR: NATURAL GRAY

## Ground Cover

- S-1 INDIGO CRUSHED STONE CHIPS  
TYPE: MEXICAN BEACH  
SIZE: 3/8"  
COLOR: COAL BLACK
- S-2 PEBBLE MIX  
TYPE: MEXICAN BEACH  
SIZE: 1/2" - 1"  
COLOR: CHARCOAL
- S-3 DECOMPOSED GRANITE SOIL TOPPING  
TYPE: DESERT GOLD  
COLOR: LIGHT TAN

## Exterior Finishes

- EW-1 PLASTER WALL FINISH  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: DOVE GRAY 40
- EW-2 CMU BLOCK WALL  
TYPE: 8x8x16, PRECISION CMU, STACKED  
BOND  
MANUF: ANGELUS  
COLOR: NATURAL GRAY W/ MATCHING  
MORTAR
- EW-3 HANDMADE BRICK VENEER FACADE SYSTEM  
MANUF: PETERSEN TEGL  
COLOR: KOLUMBA K51
- EW-4 BREAK METAL CLADDING  
MATERIAL: ALUMINUM  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-5 GLAZED FENESTRATION UNITS  
FRAME MATERIAL: ALUMINUM  
FRAME COLOR: BRONZE ANODIZED  
GLAZING: LOW E CLEAR
- EW-6 STRUCTURAL STEEL (EXPOSED)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-7 STEEL SHADING TRELLIS (FRAME)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-7.1 STEEL SHADING TRELLIS (LOUVERS)  
FINISH: PAINTED  
COLOR: COOL DECEMBER DEW383

## Ceiling

- EC-1 WOOD CEILING  
TYPE: 1x6 T&G VERTICAL GRAIN SIDING  
FINISH: CLEAR SEALED (MATTE)  
COLOR: STAINED, TBD

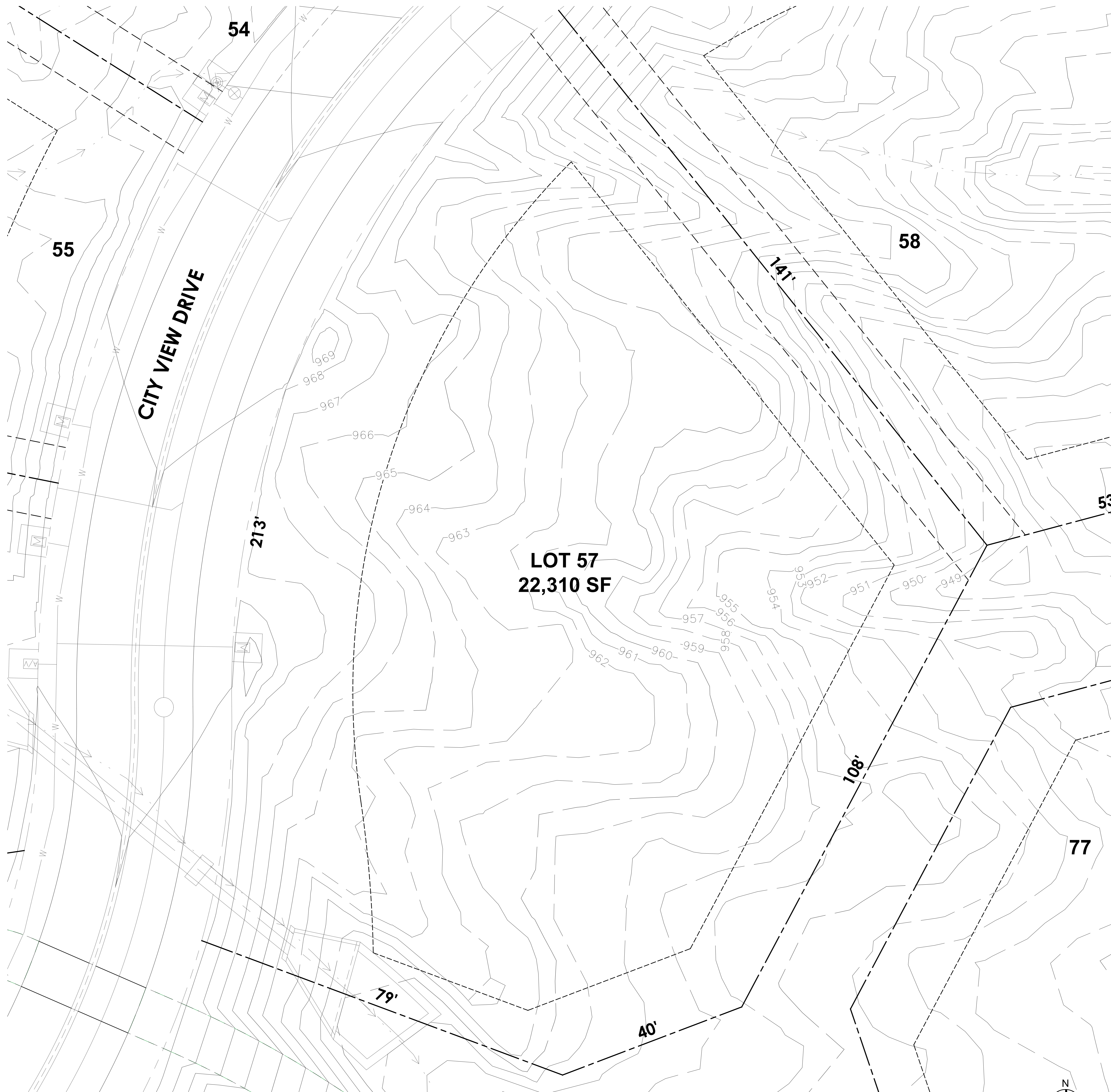
## Fascia

- FC-1 PLASTER FASCIA  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: PAINTED TO MATCH WINDOW  
FRAMES

## Roof

- RF-1 SINGLE-PLY ROOFING SYSTEM  
MANUF: FIBERTITE  
COLOR: CR GRAY



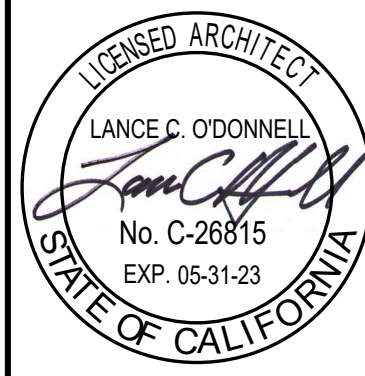


LEGEND:

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- DRAINAGE FLOW PATH

LEGEND

TOPOGRAPHIC SURVEY  
SCALE: 1/8" = 1'-0"



project title:  
**W\_O Modern**  
address:  
2399 City View Drive  
Palm Springs, CA  
92262

Schematic Design  
-not for construction-

sheet description:  
Topographic Survey  
Scale: 1/8" = 1'-0"

date: 06\_01\_2022





- LEGEND:**
- PROPERTY LINE
  - - - SETBACK LINE
  - - - EASEMENT LINE
  - [Pattern] HARDSCAPE
  - [Pattern] CONC. BLOCK WALLS
  - [Pattern] BUILDING FOOTPRINT
  - - - EXISTING TOPO CONTOUR
  - - - XXX PROPOSED TOPO CONTOUR
  - - - EXISTING DRAINAGE FLOW PATH
  - [Triangle] HOME ENTRY
  - - - UNDERGROUND DRAIN PIPE
  - - - F.L. DRAINAGE FLOW LINE
  - [Circle] AREA DRAIN

**LOT INFORMATION:**  
 APN NUMBER: 504-400-001  
 LEGAL DESCRIPTION: LOT 57, MB 443/065 TR 35540

**AREA TABULATION:**

FLOOR AREA:	COND.	UNCOND.	TOTAL ENCLOSED	GROSS
RESIDENCE	3,675sf	0sf	3,675sf	3,675sf
GARAGE	0sf	580sf	580sf	580sf
OUTDOOR SHOWER	0sf	48sf	0sf	48sf
<b>TOTAL</b>	<b>3,675sf</b>	<b>628sf</b>	<b>4,255sf</b>	<b>4,303sf</b>

LOT AREA: 22,310 sf (.51 ACRES)  
 BUILDING SITE COVERAGE AREA: 4,303 sf / 22,310 sf = 19%  
 BUILDING HEIGHT: 11 FEET 10 INCHES, 1 STORY RESIDENCE

**AREA NOTES**

**SITE GRADING & DRAINAGE PLAN**  
 SCALE: 1/8" = 1'-0"

**Material Legend**

- Site Wall**
- [SW-1] CONC BLOCK WALL  
 TYPE: 8x16 PRECISION MEDIUM WEIGHT CMU  
 BLOCK WALL, STACKED PATTERN  
 FINISH: PRECISION NATURAL GRAY  
 NATURAL SEALED FINISH
  - [G-1] STEEL GATES & FENCES  
 MATERIAL: PAINTED STEEL  
 COLOR: LEGENDARY GRAY DE6369
- Hardscape**
- [H-1] CONCRETE FLAT WORK  
 FINISH: SAND WASHED  
 COLOR: NATURAL GRAY
- Ground Cover**
- [S-1] INDIGO CRUSHED STONE CHIPS  
 TYPE: MEXICAN BEACH  
 SIZE: 3/8"  
 COLOR: 'COAL BLACK'
  - [S-2] PEBBLE MIX  
 TYPE: MEXICAN BEACH  
 SIZE: 1/2" - 1"  
 COLOR: 'CHARCOAL'
  - [S-3] DECOMPOSED GRANITE SOIL TOPPING  
 TYPE: DESERT GOLD  
 COLOR: LIGHT TAN
- Exterior Finishes**
- [EW-1] PLASTER WALL FINISH  
 TYPE: 3 COAT PORTLAND CEMENT  
 FINISH: SAND W/ACRYLIC COATING  
 MANUF: LA HABRA  
 COLOR: DOVE GRAY 40
  - [EW-2] CMU BLOCK WALL  
 TYPE: 8x16, PRECISION CMU, STACKED  
 BOND  
 MANUF: ANGELUS  
 COLOR: NATURAL GRAY W/ MATCHING  
 MORTAR
  - [EW-3] HANDMADE BRICK VENEER FACADE SYSTEM  
 MANUF: PETERSEN TEOL  
 COLOR: KOLUMBA K51
  - [EW-4] BREAK METAL CLADDING  
 MATERIAL: ALUMINUM  
 FINISH: PAINTED  
 COLOR: TO MATCH WINDOW FRAMES
  - [EW-5] GLAZED FENESTRATION UNITS  
 FRAME MATERIAL: ALUMINUM  
 FRAME COLOR: BRONZE ANODIZED  
 GLAZING: LOW 'E' CLEAR
  - [EW-6] STRUCTURAL STEEL (EXPOSED)  
 FINISH: PAINTED  
 COLOR: TO MATCH WINDOW FRAMES
  - [EW-7] STEEL SHADING TRELLIS (FRAME)  
 FINISH: PAINTED  
 COLOR: TO MATCH WINDOW FRAMES
  - [EW-7-1] STEEL SHADING TRELLIS (LOUVERS)  
 FINISH: PAINTED  
 COLOR: COOL DECEMBER DEW383
- Ceiling**
- [EC-1] WOOD CEILING  
 TYPE: 1x6 T&G VERTICAL GRAIN SIDING  
 FINISH: CLEAR SEALED (MATTE)  
 COLOR: STAINED, T&D
- Fascia**
- [FC-1] PLASTER FASCIA  
 TYPE: 3 COAT PORTLAND CEMENT  
 FINISH: SAND W/ACRYLIC COATING  
 MANUF: LA HABRA  
 COLOR: PAINTED TO MATCH WINDOW  
 FRAMES
- Roof**
- [RF-1] SINGLE PLY ROOFING SYSTEM  
 MANUF: FIBERTITE  
 COLOR: CR GRAY



Architecture  
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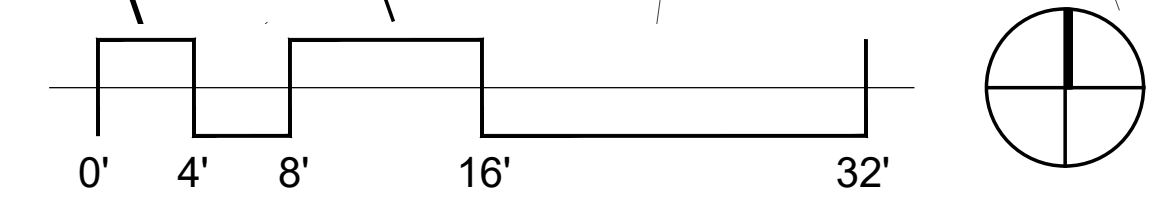
project title:  
**W\_O Modern**  
 address:  
 2399 City View Drive  
 Palm Springs, CA  
 92262

Schematic Design  
 -not for construction-

sheet description:  
 Site Grading & Drainage  
 Plan

Scale: 1/8" = 1'-0"  
 date: 06\_22\_2022

A1.0





**LEGEND:**

---	PROPERTY LINE
- - - -	SETBACK LINE
- - - -	EASEMENT LINE
[Pattern]	HARDSCAPE
[Pattern]	CONC. BLOCK WALLS
[Pattern]	BUILDING FOOTPRINT
---	EXISTING TOPO CONTOUR
- - - -	PROPOSED TOPO CONTOUR
---	EXISTING DRAINAGE FLOW PATH
▲	HOME ENTRY

**LEGEND**

SYMBOL	QTY.	FIXTURE	LIGHT SOURCE	COMMENTS
[Symbol]	7	PB-1LED-FB-Fixture Electrical: 12v	4W LED / 2700K	By FX Luminaire, Accent Light
[Symbol]	7	FR-1LED-FB-Fixture Electrical: 12v	4W LED / 2700K	By FX Luminaire, Tree Uplight

NOTE: ALL LIGHTING FIXTURES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND DETAILS.

**LIGHTING SCHEDULE**

IMAGE	SYMBOL	QTY.	NAME	SIZE
[Image]	[Symbol]	7	Common: Palo Verde Scientific: 'Cercidium'	36" Box
[Image]	[Symbol]	21	Common: Beaked Yucca Scientific: Yucca Rostrata	5 Gal.
[Image]	[Symbol]	TBD	Existing Boulders	-

NOTE: PLANT QUANTITIES TO BE VERIFIED BY CONTRACTOR

**PLANTING LEGEND**

**LOT INFORMATION:**  
 APN NUMBER: 504-400-001  
 LEGAL DESCRIPTION: LOT 57, MB 443/065 TR 35540

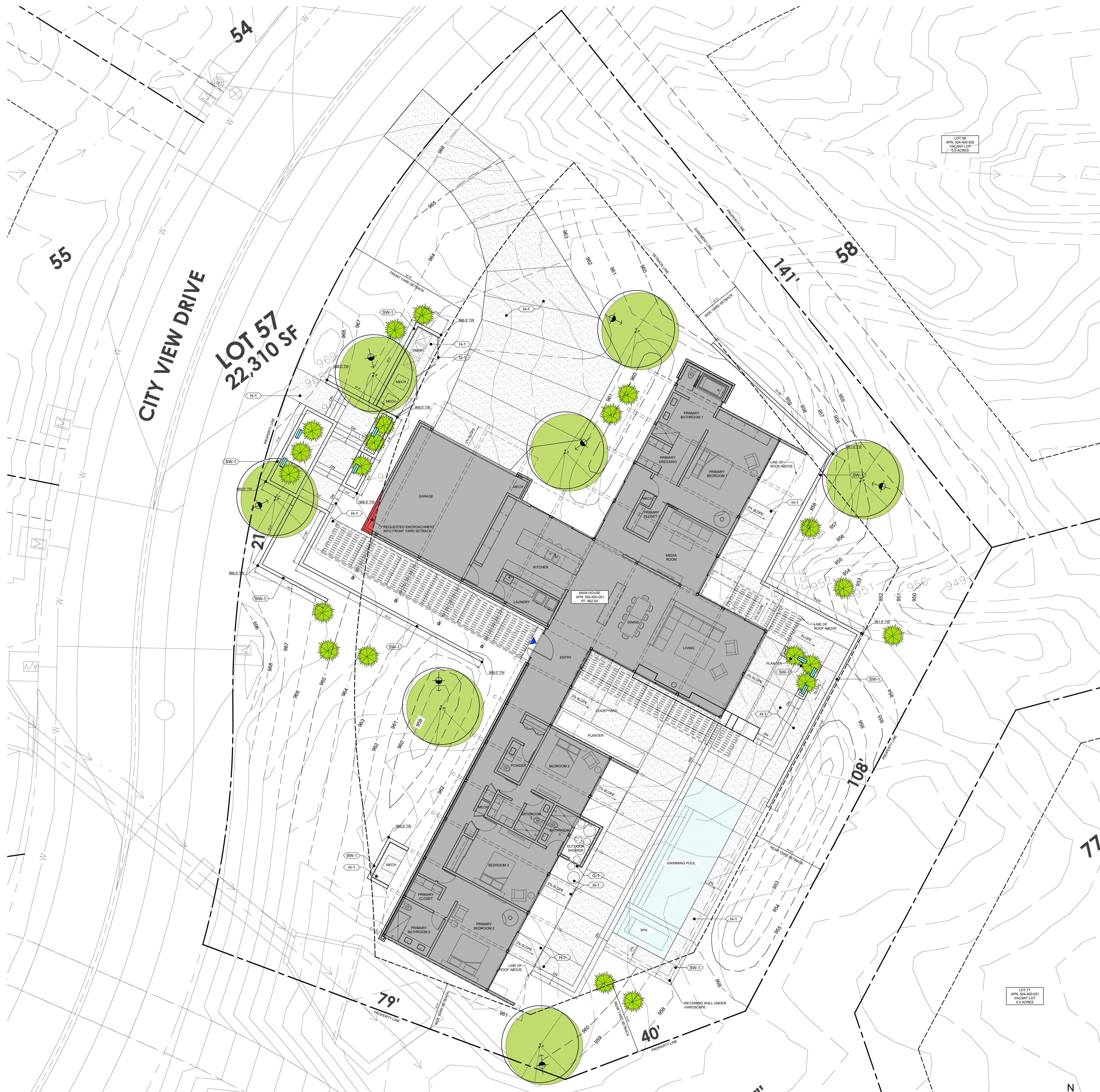
**AREA TABULATION:**

FLOOR AREA:	COND.	UNCOND.	TOTAL ENCLOSED	GROSS
RESIDENCE	3,675sf	0sf	3,675sf	3,675sf
GARAGE	0sf	580sf	580sf	580sf
OUTDOOR SHOWER	0sf	48sf	0sf	48sf
TOTAL	3,675sf	628sf	4,255sf	4,303sf

LOT AREA: 22,310 sf (.51 ACRES)  
 BUILDING SITE COVERAGE AREA: 4,303 sf / 22,310 sf = 19%  
 BUILDING HEIGHT: 11 FEET 10 INCHES, 1 STORY RESIDENCE

**AREA NOTES**

**SITE LANDSCAPE PLAN**  
 SCALE: 1/8" = 1'-0"



**Material Legend**

**Site Wall**

- SW-1 CONC BLOCK WALL  
8x8x16 PRECISION MEDIUM WEIGHT CMU  
BLOCK WALL, STACKED PATTERN  
PRECISION NATURAL GRAY  
NATURAL SEALED FINISH
- G-1 STEEL GATES & FENCES  
MATERIAL: PAINTED STEEL  
COLOR: LEGENDARY GRAY DE6369

**Hardscape**

- H-1 CONCRETE FLAT WORK  
FINISH: SAND WASHED  
COLOR: NATURAL GRAY

**Ground Cover**

- G-1 INDIGO CRUSHED STONE CHIPS  
TYPE: MEXICAN BEACH  
SIZE: 3/8"  
COLOR: COAL BLACK
- G-2 PEBBLE MIX  
TYPE: MEXICAN BEACH  
SIZE: 1/2" - 1"  
COLOR: CHARCOAL
- G-3 DECOMPOSED GRANITE SOIL TOPPING  
TYPE: DESERT GOLD  
COLOR: LIGHT TAN

**Exterior Finishes**

- EW-1 PLASTER WALL FINISH  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: DOVE GRAY 40
- EW-2 CMU BLOCK WALL  
TYPE: 8x8x16, PRECISION CMU, STACKED  
BOND  
MANUF: ANGELLUS  
COLOR: NATURAL GRAY W/ MATCHING  
MORTAR
- EW-3 HANDMADE BRICK VENEER FACADE SYSTEM  
MANUF: PETERSEN TEGL  
COLOR: KOLUMBA K51
- EW-4 BREAK METAL CLADDING  
MATERIAL: ALUMINUM  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-5 GLAZED FENESTRATION UNITS  
FRAME MATERIAL: ALUMINUM  
FRAME COLOR: BRONZE ANODIZED  
GLAZING: LOW E CLEAR
- EW-6 STRUCTURAL STEEL (EXPOSED)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-7 STEEL SHADING TRELLIS (FRAME)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-8 STEEL SHADING TRELLIS (LOUVERS)  
FINISH: PAINTED  
COLOR: COOL DECEMBER DEW383

**Ceiling**

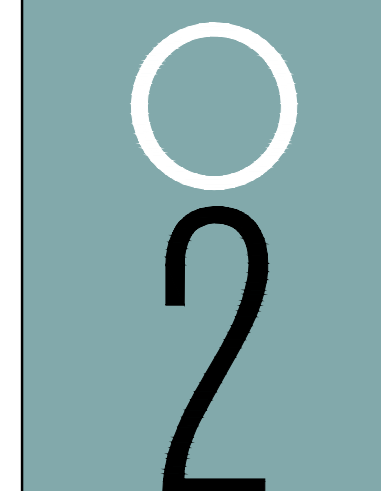
- EC-1 WOOD CEILING  
TYPE: 1x6 T&G VERTICAL GRAIN SIDING  
FINISH: CLEAR SEALED (MATTE)  
COLOR: STAINED, T&D

**Fascia**

- FC-1 PLASTER FASCIA  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: PAINTED TO MATCH WINDOW  
FRAMES

**Roof**

- RF-1 SINGLE PLY ROOFING SYSTEM  
MANUF: FIBERTITE  
COLOR: CR GRAY



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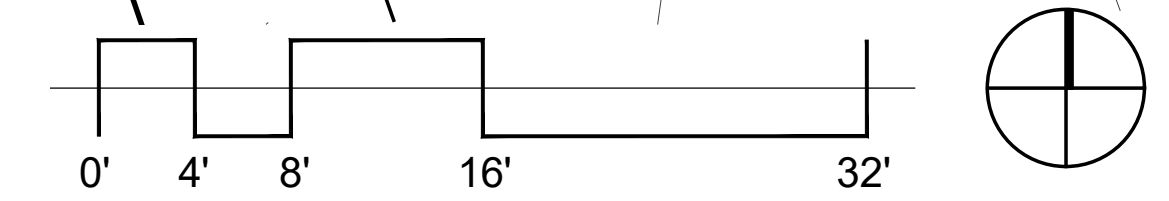
project title:  
**W\_O Modern**  
 address:  
 2399 City View Drive  
 Palm Springs, CA  
 92262

Schematic Design  
 -not for construction-

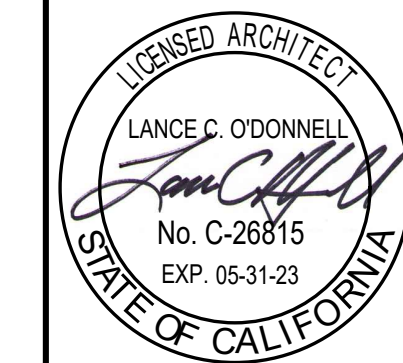
sheet description:  
 Site Landscape Plan  
 Scale: 1/8" = 1'-0"

date: 06\_22\_2022

L1.0







project title:

W\_O Modern

address:  
2399 City View Drive  
Palm Springs, CA  
92262

Schematic Design  
-not for construction-

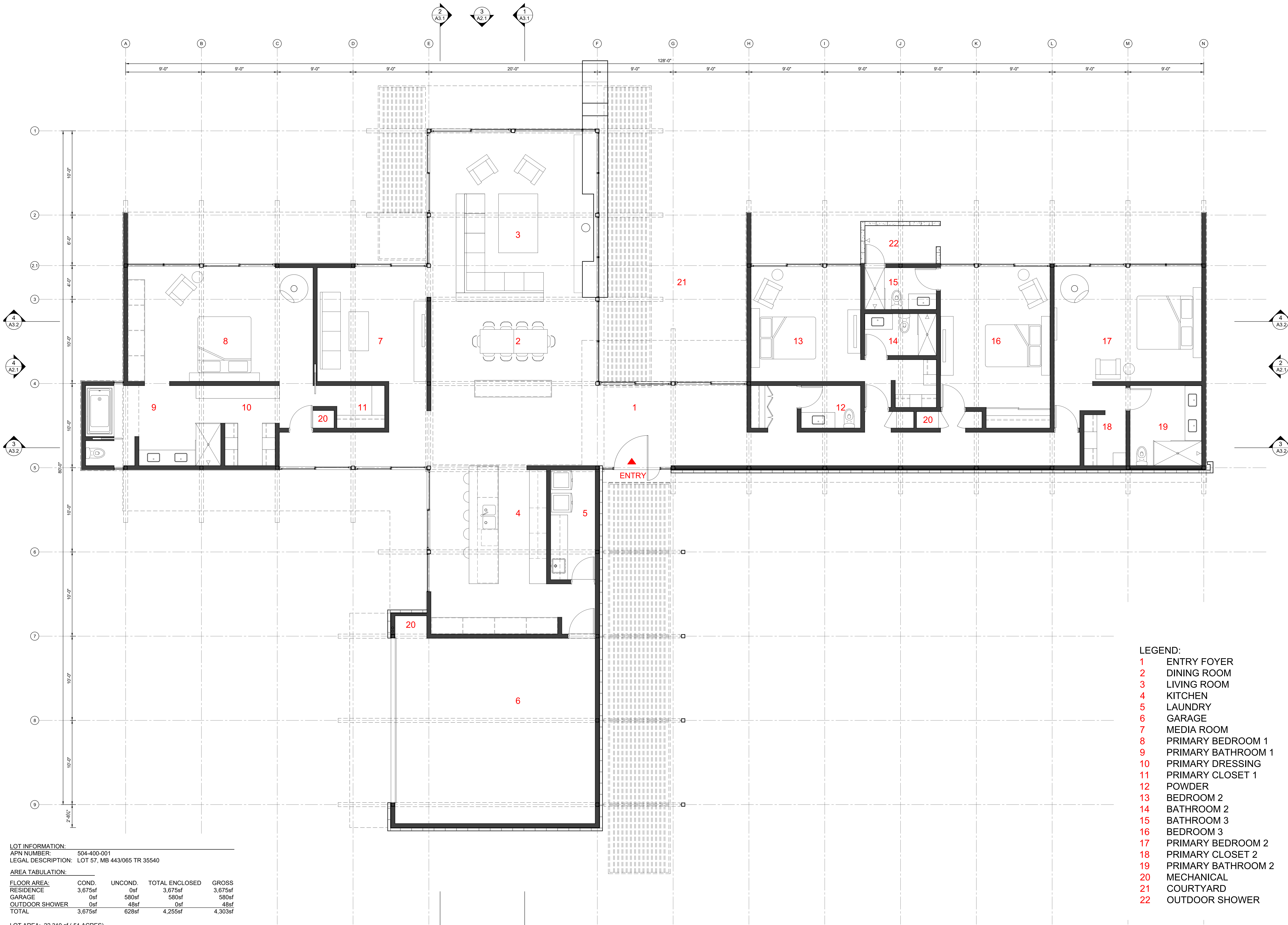
sheet description:

Floor Plan

Scale: 1/4" = 1'-0"

date: 06\_01\_2022

A1.1



- LEGEND:**
- 1 ENTRY FOYER
  - 2 DINING ROOM
  - 3 LIVING ROOM
  - 4 KITCHEN
  - 5 LAUNDRY
  - 6 GARAGE
  - 7 MEDIA ROOM
  - 8 PRIMARY BEDROOM 1
  - 9 PRIMARY BATHROOM 1
  - 10 PRIMARY DRESSING
  - 11 PRIMARY CLOSET 1
  - 12 POWDER
  - 13 BEDROOM 2
  - 14 BATHROOM 2
  - 15 BATHROOM 3
  - 16 BEDROOM 3
  - 17 PRIMARY BEDROOM 2
  - 18 PRIMARY CLOSET 2
  - 19 PRIMARY BATHROOM 2
  - 20 MECHANICAL
  - 21 COURTYARD
  - 22 OUTDOOR SHOWER

**LOT INFORMATION:**

APN NUMBER: 504-400-001  
 LEGAL DESCRIPTION: LOT 57, MB 443/065 TR 35540

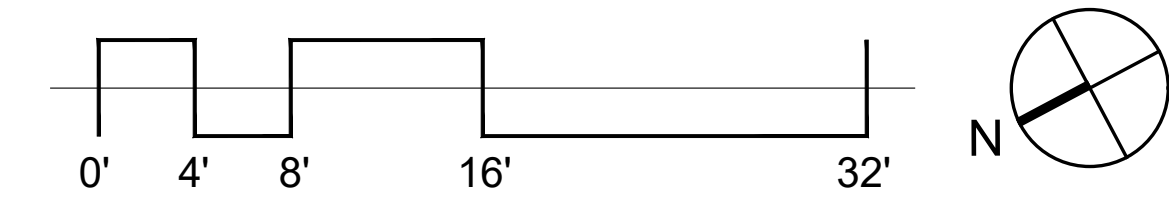
**AREA TABULATION:**

FLOOR AREA:	COND.	UNCOND.	TOTAL ENCLOSED	GROSS
RESIDENCE	3,675sf	0sf	3,675sf	3,675sf
GARAGE	0sf	580sf	580sf	580sf
OUTDOOR SHOWER	0sf	48sf	48sf	48sf
<b>TOTAL</b>	<b>3,675sf</b>	<b>628sf</b>	<b>4,255sf</b>	<b>4,303sf</b>

LOT AREA: 22,310 sf ( .51 ACRES)  
 BUILDING SITE COVERAGE AREA: 4,303 sf / 22,310 sf = 19%  
 BUILDING HEIGHT: 11 FEET 10 INCHES, 1 STORY RESIDENCE

AREA NOTES

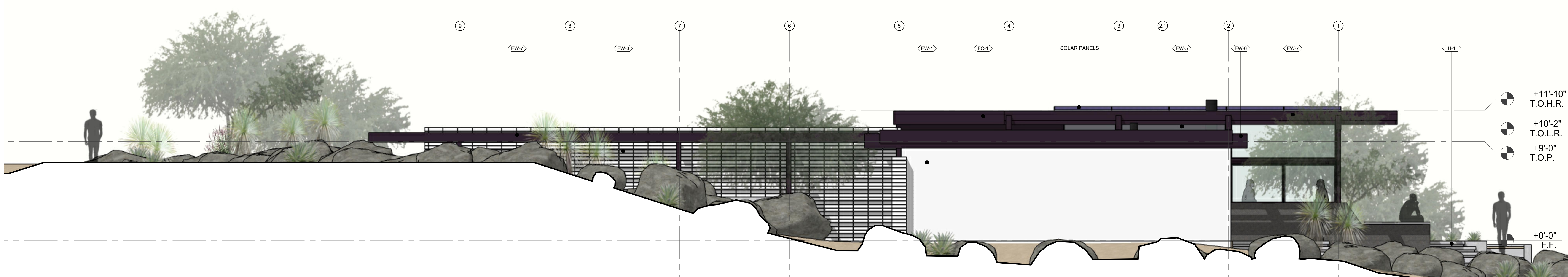
**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"







1 WEST ELEVATION



2 SOUTH ELEVATION



3 EAST ELEVATION



4 NORTH ELEVATION

# Material Legend

## Site Wall

- SW-1 CONG BLOCK WALL  
TYPE: 8x16 PRECISION MEDIUM WEIGHT CMU  
BLOCK WALL, STACKED PATTERN  
PRECISION NATURAL GRAY  
NATURAL SEALED FINISH
- G-1 STEEL GATES & FENCES  
MATERIAL: PAINTED STEEL  
COLOR: LEGENDARY GRAY DE6369

## Hardscape

- H-1 CONCRETE FLAT WORK  
FINISH: SAND WASHED  
COLOR: NATURAL GRAY

## Ground Cover

- S-1 INDIGO CRUSHED STONE CHIPS  
TYPE: MEXICAN BEACH  
SIZE: 3/8"  
COLOR: 'COAL BLACK'
- S-2 PEBBLE MIX  
TYPE: MEXICAN BEACH  
SIZE: 1/2" - 1"  
COLOR: 'CHARCOAL'
- S-3 DECOMPOSED GRANITE SOIL TOPPING  
TYPE: DESERT GOLD  
COLOR: LIGHT TAN

## Exterior Finishes

- EW-1 PLASTER WALL FINISH  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: DOVE GRAY 40
- EW-2 CMU BLOCK WALL  
TYPE: 8x16, PRECISION CMU, STACKED  
BOND  
MANUF: ANGELUS  
COLOR: NATURAL GRAY W/ MATCHING  
MORTAR
- EW-3 HANDMADE BRICK VENEER FACADE SYSTEM  
MANUF: PETERSEN TEGL  
COLOR: KOLUMBA K51
- EW-4 BREAK METAL CLADDING  
MATERIAL: ALUMINUM  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-5 GLAZED FENESTRATION UNITS  
FRAME MATERIAL: ALUMINUM  
FRAME COLOR: BRONZE ANODIZED  
GLAZING: LOW E CLEAR
- EW-6 STRUCTURAL STEEL (EXPOSED)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-7 STEEL SHADING TRELLIS (FRAME)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-7 STEEL SHADING TRELLIS (LOUVERS)  
FINISH: PAINTED  
COLOR: COOL DECEMBER DEW383

## Ceiling

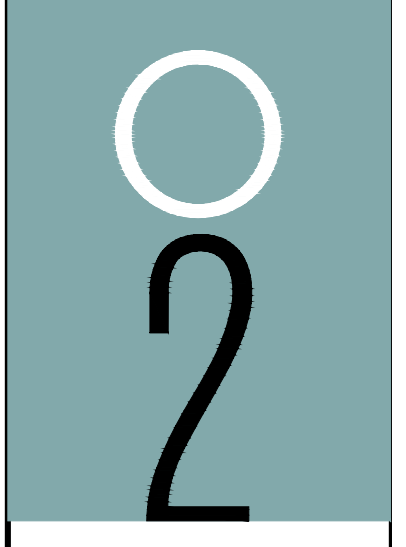
- EC-1 WOOD CEILING  
TYPE: 1x6 T&G VERTICAL GRAIN SIDING  
FINISH: CLEAR SEALED (MATTE)  
COLOR: STAINED, TBD

## Fascia

- FC-1 PLASTER FASCIA  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: PAINTED TO MATCH WINDOW  
FRAMES

## Roof

- RF-1 SINGLE PLY ROOFING SYSTEM  
MATERIAL: FIBRETE  
COLOR: CR GRAY



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address:  
2399 City View Drive  
Palm Springs, CA  
92262

Schematic Design  
-not for construction-

sheet description:  
Exterior Elevations  
Scale: 1/4" = 1'-0"

date: 06\_01\_2022

A2.1



# Material Legend

## Site Wall

- SW-1** CONG BLOCK WALL  
8x16 PRECISION MEDIUM WEIGHT CMU  
BLOCK WALL, STACKED PATTERN  
PRECISION NATURAL GRAY  
NATURAL SEALED FINISH
- G-1** STEEL GATES & FENCES  
MATERIAL: PAINTED STEEL  
COLOR: LEGENDARY GRAY DE6369

## Hardscape

- H-1** CONCRETE FLAT WORK  
FINISH: SAND WASHED  
COLOR: NATURAL GRAY

## Ground Cover

- G-1** INDIGO CRUSHED STONE CHIPS  
TYPE: MEXICAN BEACH  
SIZE: 3/8"  
COLOR: COAL BLACK
- G-2** PEBBLE MIX  
TYPE: MEXICAN BEACH  
SIZE: 1/2" - 1"  
COLOR: CHARCOAL
- G-3** DECOMPOSED GRANITE SOIL TOPPING  
TYPE: DESERT GOLD  
COLOR: LIGHT TAN

## Exterior Finishes

- EW-1** PLASTER WALL FINISH  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: DOVE GRAY 40
- EW-2** CMU BLOCK WALL  
TYPE: 8x8x16, PRECISION CMU, STACKED BOND  
MANUF: ANGELUS  
COLOR: NATURAL GRAY W/ MATCHING MORTAR
- EW-3** HANDMADE BRICK VENEER FACADE SYSTEM  
MANUF: PETERSEN TECL  
COLOR: KOLUMBA K51
- EW-4** BREAK METAL CLADDING  
MATERIAL: ALUMINUM  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-5** GLAZED FENESTRATION UNITS  
FRAME MATERIAL: ALUMINUM  
FRAME COLOR: BRONZE ANODIZED  
GLAZING: LOW E CLEAR
- EW-6** STRUCTURAL STEEL (EXPOSED)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-7** STEEL SHADING TRELLIS (FRAME)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-7** STEEL SHADING TRELLIS (LOUVERS)  
FINISH: PAINTED  
COLOR: COOL DECEMBER DEW383

## Ceiling

- EC-1** WOOD CEILING  
TYPE: 1x6 T&G VERTICAL GRAIN SIDING  
FINISH: CLEAR SEALED (MATTE)  
COLOR: STAINED, TBD

## Fascia

- FC-1** PLASTER FASCIA  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: PAINTED TO MATCH WINDOW FRAMES

## Roof

- RF-1** SINGLE PLY ROOFING SYSTEM  
MANUF: FIBERTITE  
COLOR: CR GRAY

2

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project title:  
**W\_O Modern**  
address:  
2399 City View Drive  
Palm Springs, CA  
92262

Schematic Design  
-not for construction-

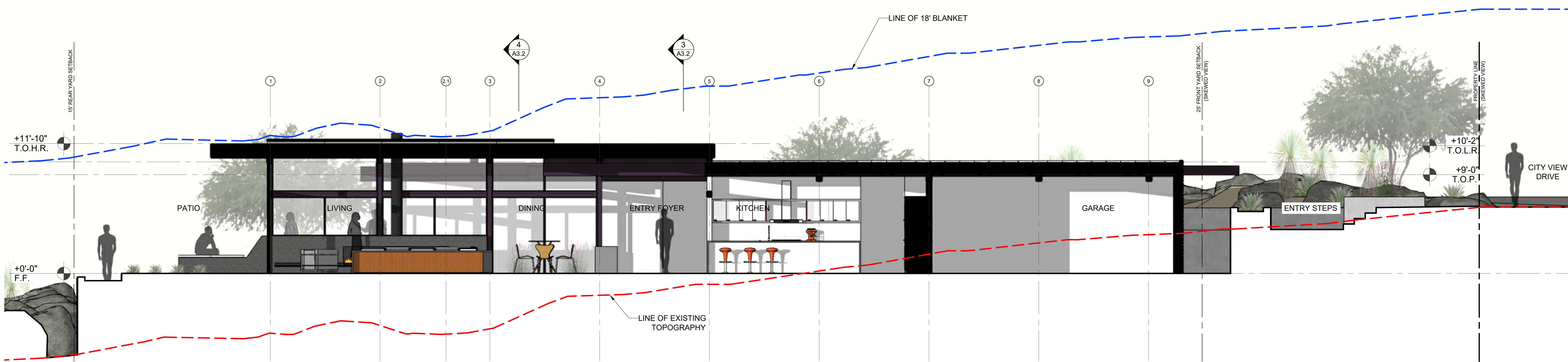
sheet description:  
Site Sections  
Scale: 1/4" = 1'-0"

date: 06\_01\_2022

A3.1



1 EAST-WEST SECTION



2 EAST-WEST SECTION



# Material Legend

## Site Wall

- SW-1** CONG BLOCK WALL  
TYPE: 8x16 PRECISION MEDIUM WEIGHT CMU  
BLOCK WALL, STACKED PATTERN  
PRECISION NATURAL GRAY  
NATURAL SEALED FINISH
- G-1** STEEL GATES & FENCES  
MATERIAL: PAINTED STEEL  
COLOR: LEGENDARY GRAY DE6369

## Hardscape

- H-1** CONCRETE FLAT WORK  
FINISH: SAND WASHED  
COLOR: NATURAL GRAY

## Ground Cover

- S-1** INDIGO CRUSHED STONE CHIPS  
TYPE: MEXICAN BEACH  
SIZE: 3/8"  
COLOR: COAL BLACK
- S-2** PEBBLE MIX  
TYPE: MEXICAN BEACH  
SIZE: 1/2" - 1"  
COLOR: CHARCOAL
- S-3** DECOMPOSED GRANITE SOIL TOPPING  
TYPE: DESERT GOLD  
COLOR: LIGHT TAN

## Exterior Finishes

- EW-1** PLASTER WALL FINISH  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: DOVE GRAY 40
- EW-2** CMU BLOCK WALL  
TYPE: 8x8x16, PRECISION CMU, STACKED BOND  
MANUF: ANGELUS  
COLOR: NATURAL GRAY W/ MATCHING MORTAR
- EW-3** HANDMADE BRICK VENEER FACADE SYSTEM  
MANUF: PETERSEN TEGL  
COLOR: KOLUMBA K51
- EW-4** BREAK METAL CLADDING  
MATERIAL: ALUMINUM  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-5** GLAZED FENESTRATION UNITS  
FRAME MATERIAL: ALUMINUM  
FRAME COLOR: BRONZE ANODIZED  
GLAZING: LOW E CLEAR
- EW-6** STRUCTURAL STEEL (EXPOSED)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-7** STEEL SHADING TRELLIS (FRAME)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-7** STEEL SHADING TRELLIS (LOUVERS)  
FINISH: PAINTED  
COLOR: COOL DECEMBER DEW383

## Ceiling

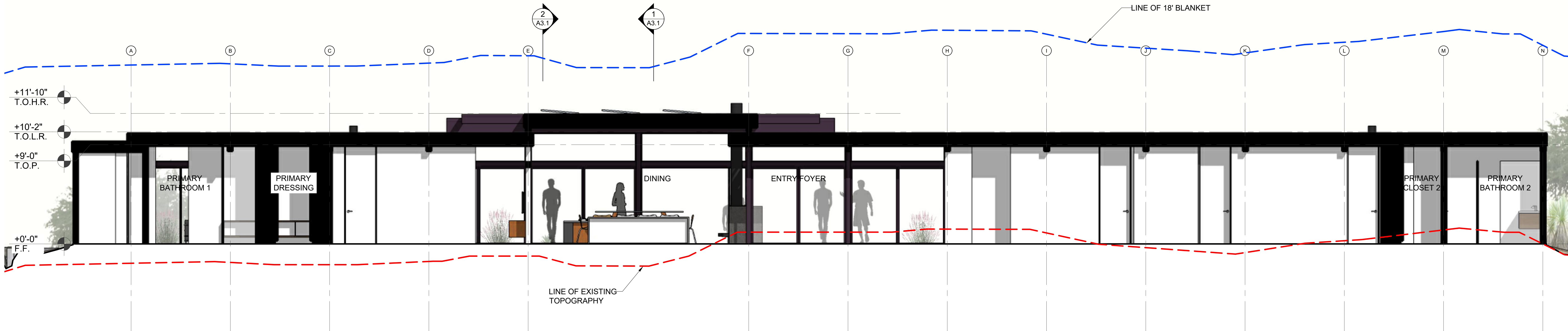
- EC-1** WOOD CEILING  
TYPE: 1x6 T&G VERTICAL GRAIN SIDING  
FINISH: CLEAR SEALED (MATTE)  
COLOR: STAINED, TBD

## Fascia

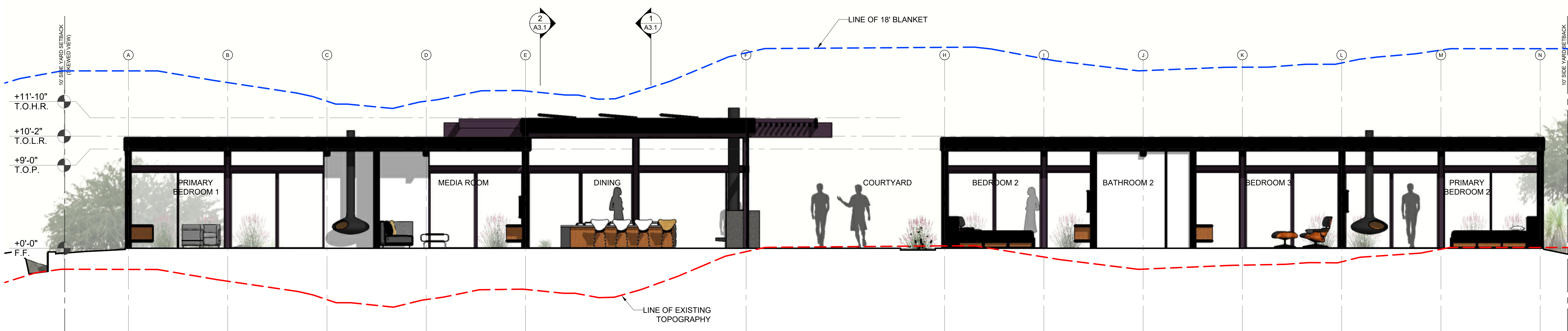
- FC-1** PLASTER FASCIA  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: PAINTED TO MATCH WINDOW FRAMES

## Roof

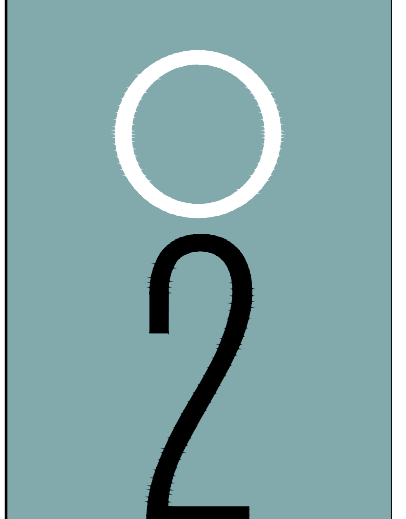
- RF-1** SINGLE PLY ROOFING SYSTEM  
MANUF: FIBERTITE  
COLOR: CR GRAY



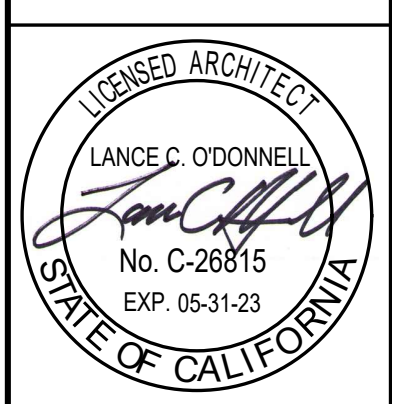
3 NORTH-SOUTH SECTION



4 NORTH-SOUTH SECTION



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address:  
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Palm Springs, CA  
92262

Schematic Design  
-not for construction-

sheet description:  
Site Sections  
Scale: 1/4" = 1'-0"

date: 06\_01\_2022



# Material Legend

## Site Wall

- SW-1** CONG BLOCK WALL  
 SIZE: 16" PRECISION MEDIUM WEIGHT CMU  
 BLOCK WALL, STACKED PATTERN  
 FINISH: PRECISION NATURAL GRAY  
 NATURAL SEALED FINISH
- G-1** STEEL GATES & FENCES  
 MATERIAL: PAINTED STEEL  
 COLOR: LEGENDARY GRAY DE6369

## Hardscape

- H-1** CONCRETE FLAT WORK  
 FINISH: SAND WASHED  
 COLOR: NATURAL GRAY

## Ground Cover

- S-1** INDIGO CRUSHED STONE CHIPS  
 TYPE: MEXICAN BEACH  
 SIZE: 3/8"  
 COLOR: COAL BLACK
- S-2** PEBBLE MIX  
 TYPE: MEXICAN BEACH  
 SIZE: 1/2" - 1"  
 COLOR: CHARCOAL
- S-3** DECOMPOSED GRANITE SOIL TOPPING  
 TYPE: DESERT GOLD  
 COLOR: LIGHT TAN

## Exterior Finishes

- EW-1** PLASTER WALL FINISH  
 TYPE: 3 COAT PORTLAND CEMENT  
 FINISH: SAND W/ACRYLIC COATING  
 MANUF: LA HABRA  
 COLOR: DOVE GRAY 40
- EW-2** CMU BLOCK WALL  
 TYPE: 8x8x16, PRECISION CMU, STACKED  
 BOND  
 MANUF: ANGELUS  
 COLOR: NATURAL GRAY W/ MATCHING  
 MORTAR
- EW-3** HANDMADE BRICK VENEER FACADE SYSTEM  
 MANUF: PETERSEN TEO  
 COLOR: KOLUMBA K51
- EW-4** BREAK METAL CLADDING  
 MATERIAL: ALUMINUM  
 FINISH: PAINTED  
 COLOR: TO MATCH WINDOW FRAMES
- EW-5** GLAZED FENESTRATION UNITS  
 FRAME MATERIAL: ALUMINUM  
 FRAME COLOR: BRONZE ANODIZED  
 GLAZING: LOW E CLEAR
- EW-6** STRUCTURAL STEEL (EXPOSED)  
 FINISH: PAINTED  
 COLOR: TO MATCH WINDOW FRAMES
- EW-7** STEEL SHADING TRELLIS (FRAME)  
 FINISH: PAINTED  
 COLOR: TO MATCH WINDOW FRAMES
- EW-7.1** STEEL SHADING TRELLIS (LOUVERS)  
 FINISH: PAINTED  
 COLOR: COOL DECEMBER DEW383

## Ceiling

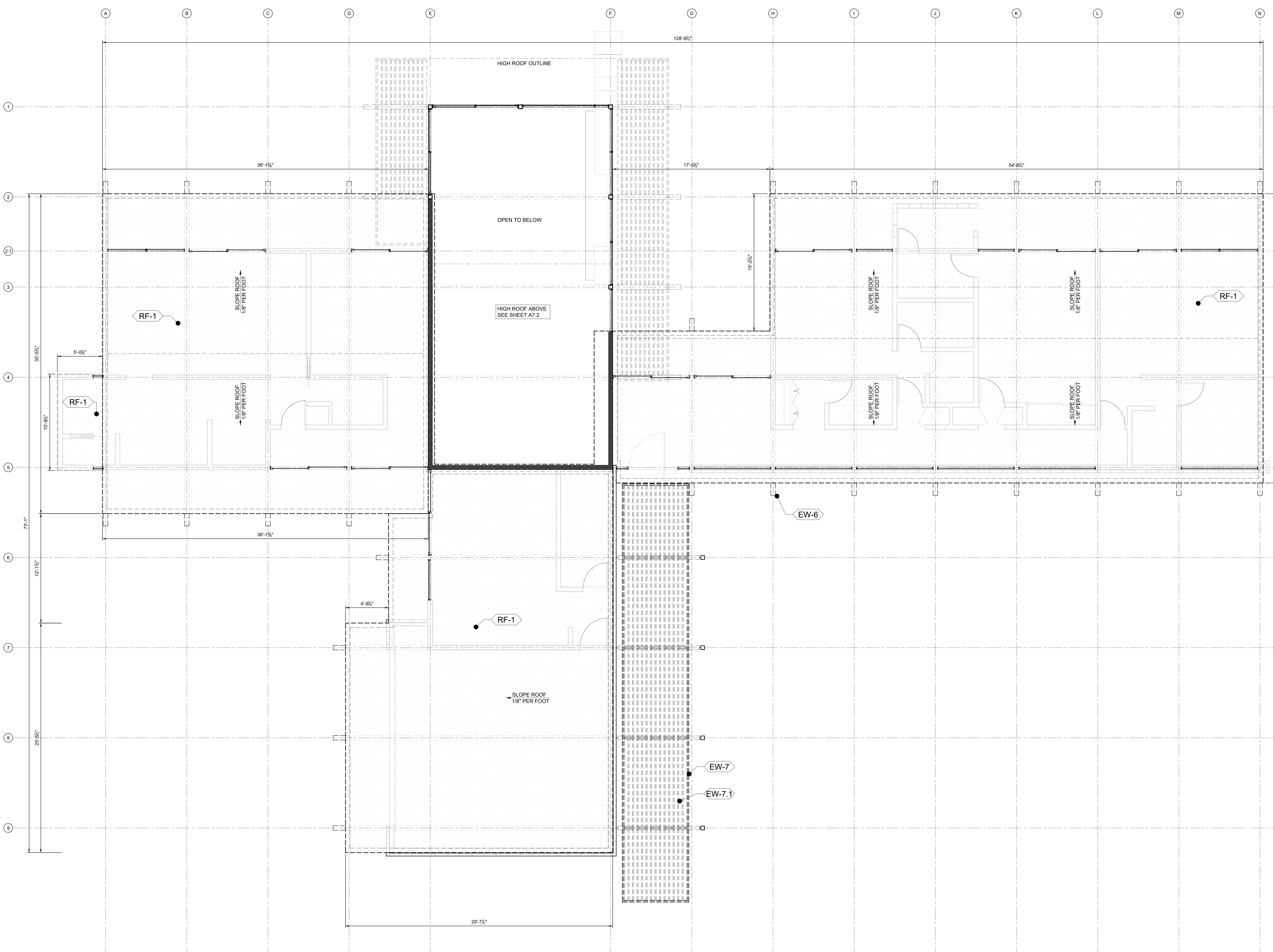
- EC-1** WOOD CEILING  
 TYPE: 1x6 T&G VERTICAL GRAIN SIDING  
 FINISH: CLEAR SEALED (MATTE)  
 COLOR: STAINED, TBD

## Fascia

- FC-1** PLASTER FASCIA  
 TYPE: 3 COAT PORTLAND CEMENT  
 FINISH: SAND W/ACRYLIC COATING  
 MANUF: LA HABRA  
 COLOR: PAINTED TO MATCH WINDOW  
 FRAMES

## Roof

- RF-1** SINGLE PLY ROOFING SYSTEM  
 MANUF: FIBERTITE  
 COLOR: CR GRAY



2

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 www.o2arch.com

LICENSED ARCHITECT

LANCE C O'DONNELL

No. C-26815

EXP. 05-31-23

STATE OF CALIFORNIA

project title:  
**W\_O Modern**

address:  
 2399 City View Drive  
 Palm Springs, CA  
 92262

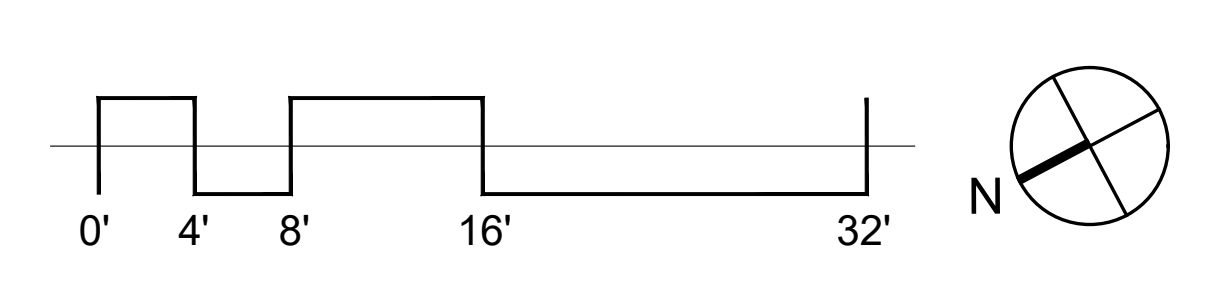
Schematic Design  
 -not for construction-

sheet description:  
**Roof Plan (Lower)**

Scale: 1/4" = 1'-0"

date: 06\_01\_2022

**ROOF PLAN (LOWER)**  
 SCALE: 1/4" = 1'-0"



# Material Legend

## Site Wall

- ◀SW-1 CONCRETE BLOCK WALL  
TYPE: 8x16 PRECISION MEDIUM WEIGHT CMU  
BLOCK WALL, STACKED PATTERN  
PRECISION NATURAL GRAY  
NATURAL SEALED FINISH
- ◀G-1 STEEL GATES & FENCES  
MATERIAL: PAINTED STEEL  
COLOR: LEGENDARY GRAY DE6369

## Hardscape

- ◀H-1 CONCRETE FLAT WORK  
FINISH: SAND WASHED  
COLOR: NATURAL GRAY

## Ground Cover

- ◀S-1 INDIGO CRUSHED STONE CHIPS  
TYPE: MEXICAN BEACH  
SIZE: 3/8"  
COLOR: COAL BLACK
- ◀S-2 PEBBLE MIX  
TYPE: MEXICAN BEACH  
SIZE: 1/2" - 1"  
COLOR: CHARCOAL
- ◀S-3 DECOMPOSED GRANITE SOIL TOPPING  
TYPE: DESERT GOLD  
COLOR: LIGHT TAN

## Exterior Finishes

- ◀EW-1 PLASTER WALL FINISH  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: DOVE GRAY 40
- ◀EW-2 CMU BLOCK WALL  
TYPE: 8x16, PRECISION CMU, STACKED  
BOND  
MANUF: ANGELUS  
COLOR: NATURAL GRAY W/ MATCHING  
MORTAR
- ◀EW-3 HANDMADE BRICK VENEER FACADE SYSTEM  
MANUF: PETERSEN TEO  
COLOR: KOLUMBA K51
- ◀EW-4 BREAK METAL CLADDING  
MATERIAL: ALUMINUM  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- ◀EW-5 GLAZED FENESTRATION UNITS  
FRAME MATERIAL: ALUMINUM  
FRAME COLOR: BRONZE ANODIZED  
GLAZING: LOW E CLEAR
- ◀EW-6 STRUCTURAL STEEL (EXPOSED)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- ◀EW-7 STEEL SHADING TRELLIS (FRAME)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- ◀EW-8 STEEL SHADING TRELLIS (LOUVERS)  
FINISH: PAINTED  
COLOR: COOL DECEMBER DEW383

## Ceiling

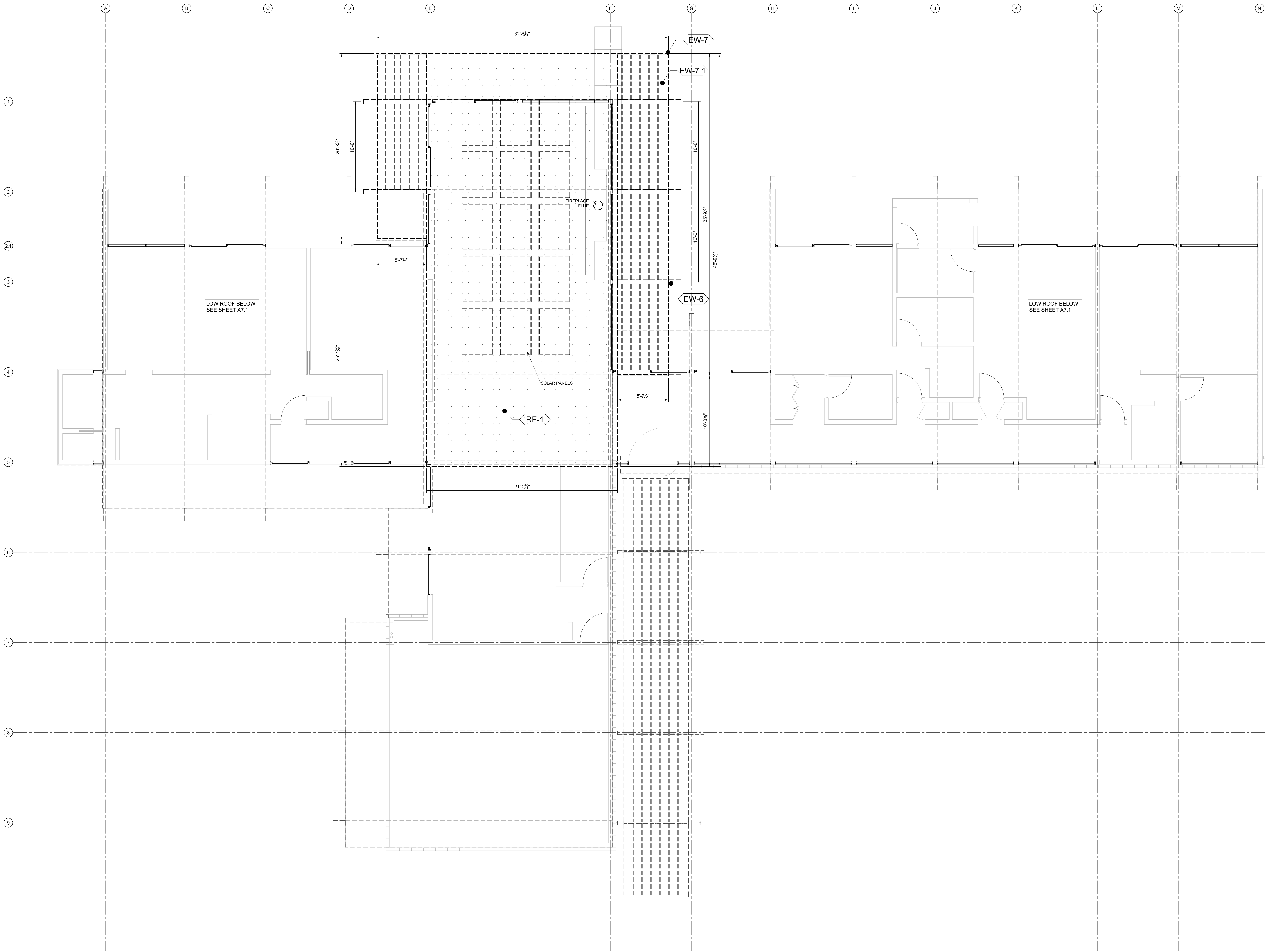
- ◀EC-1 WOOD CEILING  
TYPE: 1x6 T&G VERTICAL GRAIN SIDING  
FINISH: CLEAR SEALED (MATTE)  
COLOR: STAINED, TBD

## Fascia

- ◀FC-1 PLASTER FASCIA  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: PAINTED TO MATCH WINDOW  
FRAMES

## Roof

- ◀RF-1 SINGLE PLY ROOFING SYSTEM  
MANUF: FIBERTITE  
COLOR: CR GRAY



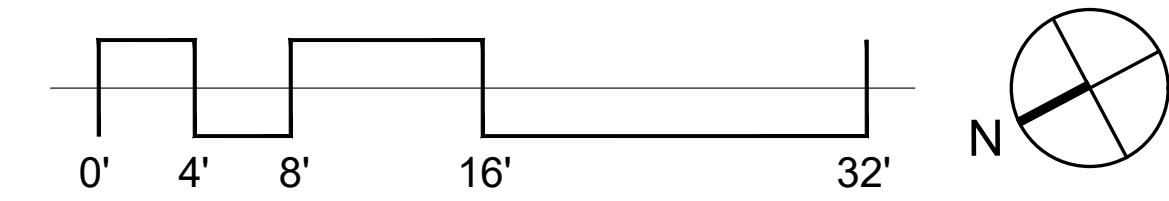
LOW ROOF BELOW  
SEE SHEET A7.1

LOW ROOF BELOW  
SEE SHEET A7.1

RF-1

FIREPLACE  
FLUE

SOLAR PANELS





# Material Legend

## Site Wall

- SW-1** CONG BLOCK WALL  
TYPE: 8x8x16 PRECISION MEDIUM WEIGHT CMU  
BLOCK WALL, STACKED PATTERN  
PRECISION NATURAL GRAY  
NATURAL SEALED FINISH
- G-1** STEEL GATES & FENCES  
MATERIAL: PAINTED STEEL  
COLOR: LEGENDARY GRAY DE6369

## Hardscape

- H-1** CONCRETE FLAT WORK  
FINISH: SAND WASHED  
COLOR: NATURAL GRAY

## Ground Cover

- S-1** INDIGO CRUSHED STONE CHIPS  
TYPE: MEXICAN BEACH  
SIZE: 3/4"  
COLOR: COAL BLACK
- S-2** PEBBLE MIX  
TYPE: MEXICAN BEACH  
SIZE: 1/2" - 1"  
COLOR: CHARCOAL
- S-3** DECOMPOSED GRANITE SOIL TOPPING  
TYPE: DESERT GOLD  
COLOR: LIGHT TAN

## Exterior Finishes

- EW-1** PLASTER WALL FINISH  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: DOVE GRAY 40
- EW-2** CMU BLOCK WALL  
TYPE: 8x8x16, PRECISION CMU, STACKED BOND  
MANUF: ANGELLUS  
COLOR: NATURAL GRAY W/ MATCHING MORTAR
- EW-3** HANDMADE BRICK VENEER FACADE SYSTEM  
MANUF: PETERSEN TECL  
COLOR: KOLUMBA K51
- EW-4** BREAK METAL CLADDING  
MATERIAL: ALUMINUM  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-5** GLAZED FENESTRATION UNITS  
FRAME MATERIAL: ALUMINUM  
FRAME COLOR: BRONZE ANODIZED  
GLAZING: LOW E CLEAR
- EW-6** STRUCTURAL STEEL (EXPOSED)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-7** STEEL SHADING TRELLIS (FRAME)  
FINISH: PAINTED  
COLOR: TO MATCH WINDOW FRAMES
- EW-8** STEEL SHADING TRELLIS (LOUVERS)  
FINISH: PAINTED  
COLOR: COOL DECEMBER DEW383

## Ceiling

- EC-1** WOOD CEILING  
TYPE: 1x6 T&G VERTICAL GRAIN SIDING  
FINISH: CLEAR SEALED (MATTE)  
COLOR: STAINED, TBD

## Fascia

- FC-1** PLASTER FASCIA  
TYPE: 3 COAT PORTLAND CEMENT  
FINISH: SAND W/ACRYLIC COATING  
MANUF: LA HABRA  
COLOR: PAINTED TO MATCH WINDOW FRAMES

## Roof

- RF-1** SINGLE PLY ROOFING SYSTEM  
MANUF: FIBERTITE  
COLOR: CR GRAY

0  
2

Architecture

1089 n. palm canyon dr.  
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project title:

W\_O Modern

address:  
2399 City View Drive  
Palm Springs, CA  
92262

Schematic Design  
-not for construction-

sheet description:

Site Section (Culvert)

Scale: 1/4" = 1'-0"

date: 06\_22\_2022

A3.1

