



## **ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM**

DATE: JULY 18, 2022

NEW BUSINESS

SUBJECT: KAPPE ARCHITECTS, ON BEHALF OF MICHAEL SHAHBAZ AND BRIAN GLASER, FOR MAJOR ARCHITECTURAL AND ADMINISTRATIVE MINOR MODIFICATION APPLICATIONS TO CONSTRUCT A 6,180-SQUARE-FOOT SINGLE-FAMILY RESIDENCE ON A 19,602-SQUARE-FOOT HILLSIDE PARCEL LOCATED AT 850 SOUTH VIA LAS PALMAS (APN: 505-082-011), ZONE R-1-C, SECTION 10 (CASES 3.4329 MAJ & 7.1652 AMM). (NK)

FROM: Development Services Department – Planning Division

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### PROJECT DESCRIPTION:

This is a request for approval of an Architectural Review Application for the construction of a 6,180-square-foot single-family residence, which includes a 1,190-square-foot Accessory Dwelling Unit (ADU), 470-square-foot garage, and 340-square-foot gym, on a hillside parcel. Due to the site's hillside topography, the building height of the rear portion of the proposed residence exceeds the maximum allowable building height of 12 feet at the rear and side yard setbacks. The applicant is seeking a relief from the 12-foot-maximum building height restriction for the building height of 13 feet via an Administrative Minor Modification (AMM) as prescribed in Palm Springs Zoning Code Section 94.06.01(A)(10).

### RECOMMENDATION:

That the Architectural Review Committee approve the application, subject to conditions, which include the following:

1. Reduce and rearrange the row of Dwarf Olive near the pool. Dwarf Olive shall be installed sparingly for a more natural appearance.
2. Mulga along the south property line shall be installed in such a manner that the trees do not define the property line.
3. New planting materials that exceed 3.5 feet in height shall be located out of the cutback area except for the existing California Fan Palm.

**BACKGROUND INFORMATION:**

<i>Neighborhood Meeting/Neighborhood Notice</i>	
06/10/2022	Notice mailed by staff to adjacent property owners notifying that the subject application had been filed with the Planning Division, in accordance with 93.13.00 of the Zoning Code.
07/06/2022 07/07/2022	Notice mailed by staff to adjacent property owners notifying that the subject project would be reviewed by the Architectural Review Committee on July 18, 2022.
07/14/2022	The surrounding neighborhood organizations within one (1) mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on July 18, 2022.

**STAFF ANALYSIS:**

<i>Site Area</i>	
Net Acres	0.45 Acre (19,602 SF)

<i>General Plan and Zoning Designations</i>		
<i>General Plan Designation</i>	<i>Permitted Density</i>	<i>Compliance</i>
VLDR (Very Low Density Residential)	2.1 – 4.0 DU/AC	Y (1 DU allowed based on the lot size)
<i>Zoning Designation</i>		
R-1-C (Single-Family Residential)		

**Development Standards:**

Pursuant to PSZC Section 92.01.03, the following development standards apply:

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks			
• Front (South)	25 Feet	27 Feet	Y
• Side (West)	20 Feet/ 10 Feet	20 Feet/ 10 Feet	Y
• Side (East)	10 Feet	10 Feet	Y
• Rear (North)	15 Feet	15 Feet	Y
Max. Lot Coverage	35%	31.5%	Y

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Max. Building Height	12~18 Feet	13 feet at the rear and side yard setbacks (ADU, Office/Gym/Garage)	Yes, subject to AMM approval (ADU, Office/Gym/Garage) only. The rest of the residence meets the building height regulation (16'-1" max.)
Building Separation	Min. 6 Feet	12 Feet (Freestanding Shade Structure in the Front Yard)	Y
Perimeter Wall Height			
• North	Max. 6 Feet	6 Feet	Y
• South	Max. 6 Feet	6 Feet	Y
• East	Max. 6 Feet	6 Feet (Existing)	Y
• West	Max. 6 Feet	4.5 ~ 6 Feet	Y
Parking	2 spaces (Covered)	2 spaces	Y

**ACCESSORY DWELLING UNIT (ADU):**

Pursuant to Palm Springs Zoning Code (PSZC) Section 92.01.01(A)(3), Accessory Dwelling Units (ADUs) are permitted in the R-1-C Zone subject to the requirements of PSZC Section 93.23.14 (ADU Ordinance). The proposed 1,190-square-foot ADU is a Type 1 ADU and meets the following criteria: 1) the project proposes only one ADU for a proposed single-family residence on a single-family lot; 2) the proposed ADU will be located within the proposed single-family residence; 3) the proposed ADU is designed with an exterior entrance that is independent of the primary residence; and 4) the proposed ADU provides setbacks that are satisfactory to the Building & Safety and Fire Department regulations. The proposed driveway is adequate in size to accommodate one (1) unenclosed off-street parking space required for the ADU per PSZC Sections 93.23.14(E)(2)(a) and (d)(i).

**BUILDING HEIGHT:**

Pursuant to PSZC Section 92.01.03(B)(5), the maximum allowable building height for a single-family residence is 12 feet measured at a setback. The height can be further increased up to 18 feet following the roof slope ratio of 4:12. Building height is defined in PSZC Section 91.00.10(B) as follows:

*“Building height” means the vertical distance plus eighteen (18) inches measured from the average grade at the curb adjacent to the property or from the top of the crown of the roadway if there is no curb, exclusive of exceptions permitted in Section 93.03.00. In the event of hillside lots...the Director or planning commission may establish the point of measurement at a level higher or lower than the curb or crown of street...”*

The proposed building pad elevations range from 592 to 595 feet. In accordance with PSZC Section 91.00.10(B) above, the point of building height measurement is set at the elevation of 592 feet where a large portion of the proposed residence will be located. Although the height of the proposed rear portion of the residence (ADU, Office/Gym, Garage) measured from the adjacent grade (elevation 595 feet) is 10 feet, the building height measured from the point of measurement (elevation 592 feet) will be 13 feet. The applicant is requesting a relief from the 12-foot-maximum building height restriction for the rear portion of the residence for the building height of 13 feet. The total building height proposed for this project is 16'-1" (excluding the height of the chimney), which is within the maximum allowable building height of 18 feet for a single-family residence per PSZC Section 92.01.03(B)(5). The projection of the chimney above the building height limit is allowed subject to Planning Director or Planning Commission approval per PSZC Section 93.03.00(A)(1).

**PUBLIC COMMENTS:**

As of July 13, 2022, four public comments have been submitted for the proposed project. The comments are attached to this Staff Report for consideration (Attachment #4).

**Hillside Review Criteria:**

PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
1.	<p><i>Rock and soil exposure;</i></p> <p>The project site was previously developed with a tennis court as a part of the adjacent property to the west (1350 Ladera Circle). Hence, a large portion of the site is relatively level. The site’s natural geography, which includes boulders, shrubs, and palms, is retained along the south/front property line. The proposed residence will be situated on the leveled area to minimize site engineering.</p>	Y
2.	<p><i>Size of building pad;</i></p> <p>The proposed building pad size is approximately 8,475 square feet (building pad size includes the building area, covered patio, and a 3-foot buffer), which is 43.2 % of the lot size. The location of the building pad is generally consistent with the flat portion of the parcel. The proposed lot coverage is 31.5% and meets the zoning regulation.</p>	Y

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
3.	<p><i>Design considerations, such as supporting stilts, colors and building arrangement;</i></p> <p>The project proposes a desert-neutral color palette which is appropriate for a hillside development. The project site was previously developed with a tennis court, and the proposed residence will be primarily located on the leveled portion of the lot. Retaining walls with deepened footing are proposed for structural support instead of stilts.</p>	Y
4.	<p><i>Screening of parking areas;</i></p> <p>The project proposes a two-car garage. Although the garage opening faces the street, it is located approximately 56 feet away from the driveway approach for minimized visual impact.</p>	Y
5.	<p><i>Landscaping plans;</i></p> <p>The landscape plan proposes rows of dwarf Olive and Mulga in the front yard. Mulga defines the property line, and dwarf Olive placed in a lineal form does not complement the undulated form of the front yard, as well as the general planting pattern of the immediate area. The void created between the rows of Mulga and Olive does not naturally fit within the landscape composition. To address these issues, staff is recommending conditions of approval which require: 1) Reduce and rearrange the row of dwarf Olive; dwarf Olive to be installed sparingly for a more natural appearance; and 2) Mulga installation location to be modified in such a manner that the trees will not define the property line for smoother spatial transition to the site's surroundings. As conditioned, the project meets this finding.</p>	Yes, subject to condition
6.	<p><i>Continuity with surrounding development;</i></p> <p>As summarized in the Adjacent Property development Comparison Sheet (Attachment #3), the average lot coverage of the site's adjacent properties is 23.7%, which is lower than the proposed project (31.5% proposed). However, the lot coverage of two existing residences on Ladera Circle exceeds the average, and the proposed lot coverage at the project site is comparable to 31.3% at 1345 Ladera Circle. Therefore, the proposed project is compatible with the surrounding development.</p>	Y
7.	<p><i>Sensitivity to existing view corridors.</i></p> <p>The site's topography slopes down from the northwest corner to the southeast corner with a total elevation difference of approximately 15 feet. The finished floor elevation of the adjacent properties to the west and north, which are located at a higher elevation, are 599.25 feet (1350 Ladera Circle) and 612.40 feet (803 W. Stevens Road), respectively. The proposed finished floor at the project site where the highest portion of the building will be located is 592.00 feet. The cross section (Sheet A1.2) exhibits</p>	Y

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
	<p>ample separation distance between the proposed residence and the new residence at 803 W. Stevens Road. The eye-level elevation at 803 W. Stevens Road is approximately 617.4 feet (finished pad height of 612.40 feet plus 5 feet), which will be higher than the highest point of the proposed residence (608.08 feet) by 8.6 feet. The portion of the proposed residence closest to 1350 Ladera Circle is the 10-foot-high garage. The eye-level at 1350 Ladera Circle is approximately 604.25 feet (finished floor elevation of 599.25 feet plus 5 feet), which is almost identical to the height of the garage measured at the elevation of 605.00 feet. This indicates that the impact of the proposed residence on the view corridors will be insignificant.</p>	

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<p><i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i></p> <p>The architectural treatment of the proposed residence is consistent on all sides as exemplified by the extensive integration of vertical (e.g. glazing) and horizontal (e.g. clerestory windows, fascia, steel grille) lines. Identical building materials will be applied on all elevations in a similar yet different fashion for consistency while avoiding a monotonous appearance.</p>	Y
2.	<p><i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i></p> <p>The project proposes a freestanding covered patio in the front yard which will be constructed of painted steel and a fabric or perforated metal shade. Both materials are appropriate for the shade structure, and the overall form of the structure incorporates the rectilinear form of the primary residence for continuity.</p>	Y
3.	<p><i>The façade elements and fenestration are composed in a harmonious manner;</i></p> <p>The vertical windows and doors are arranged in such a manner to compensate the strong horizontal profile of the proposed residence. The exterior of the residence is devoid of ornamental features, and the windows and doors add details and rhythm to the building elevations adequately to avoid a static look.</p>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
4.	<p><i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i></p> <p>The project proposes the use of various construction materials which include weathered and painted steel, plaster, concrete, and anodized aluminum for window systems. These building materials are commonly used locally, and they are appropriate for the desert environment. The project site is adjacent to a Class 1 historic property to the west (1350 Ladera Circle). Although the proposed construction materials may not be exactly identical to those found at the adjacent properties, such materials are contextually appropriate for the neighborhood which exhibits the collection of eclectic architecture and buildings that have been constructed in different periods of architectural significance.</p>	Y
5.	<p><i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i></p> <p>The proposed color palette consists of desert-neutral colors, such as gray, beige, brown, and black, which are appropriate for the desert environment.</p>	Y
6.	<p><i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i></p> <p>The proposed residence is designed with prominent roof overhang for sun control as exemplified by the roof overhang on the south elevation which extends to the covered patio in the front yard.</p>	Y
7.	<p><i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i></p> <p>The project proposes turf areas totaling 317 square feet in area. The proposed turf area is approximately 5.3% of the total landscape area (total landscape area: 5,939 SF) and meets the 15-percent-maximum turf limitation for a new single-family residential requirement. The proposed plant palette includes materials that are not listed in the Lush &amp; Efficient gardening book. However, they will be generally located in the interior landscape area and they will have little impact on the overall landscape or the site's character.</p>	Y
8.	<p><i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i></p> <p>Pursuant to PSZC Sections 93.02.00(D)(1) and (2), landscaping which exceeds a height of 3.5 feet is considered a visual obstruction and cannot be located within the corner cutback area. The landscape plan proposes plant materials that exceed 3.5 feet in height in the corner cutback area (e.g. Mexican Fan Palm, Ocotillo, Mexican Grass Tree). To address this issue, staff is</p>	Yes, as conditioned

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	recommending a condition of approval, which requires the planting materials that exceed 3.5 feet in height to be located out of the cutback area, except for the existing California Fan Palm. As conditioned, the project meets this criteria.	
9.	<i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i>	Y
	A steel trellis is proposed for the main entrance on the west elevation, and shade is provided over the pedestrian path that leads from the driveway to the secondary access to the north elevation of the primary residence by a roof overhang.	
10.	<i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i>	Yes, as conditioned
	The project proposes the installation of outdoor landscape light fixtures, which include LED spotlight, wide spot lights, and path lights. The light sources are shielded in compliance with the applicable law. A few landscape light fixtures are directed towards the adjacent property, which need to be adjusted. Staff is recommending a condition which requires all outdoor light fixtures to be directed towards the project site. As conditioned, the project meets this criteria.	
11.	<i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i>	N/A
	Signage is not proposed for the project.	
12.	<i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i>	Y
	Mechanical equipment will be installed in the east and west side yards. The equipment will be enclosed by a 6-foot-high wall, and it will be located behind the 6-foot-high weathered steel fence and gate for concealed view from the adjacent streets.	
13.	<i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i>	N/A
	The project site is located neither within a Specific Plan area nor Planned Development District, and there are no specific design standards or regulations that are applicable to the project.	



Administrative Minor Modification (AMM) Findings:  
PSZC Section 94.06.01(B)(3) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Guidelines [PSZC 94.06.01(B)(3)]</i>	<i>Compliance</i>
1.	<p><i>The requested minor modification is consistent with the general plan, applicable specific plan(s) and overall objectives of the zoning ordinance;</i></p> <p>This AMM is requested in accordance with PSZC Section 94.06.01(A)(10), which allows a building height increase up to 30 feet on a hillside property, given that granting such a modification will not have detrimental effect on the adjacent properties. Granting AMM approval will not create detrimental impact on the adjacent properties as analyzed below. Additionally, the AMM approval will not alter the nature of the project, which proposes the construction of a single-family residence in the VLDR (Very Low Density Residential) General Plan land use designation area. Therefore, the requested AMM is consistent with the objectives of the General Plan and Zoning Code.</p>	Y
2.	<p><i>The neighboring properties will not be adversely affected as a result of the approval or conditional approval of the minor modification;</i></p> <p>As noted earlier in this report, AMM approval is requested for the rear portion of the residence where the ADU, gym/office, and garage will be located. The building height of this portion of the residence measured from the adjacent grade is 10 feet. However, the point of building height measurement is set at a lower elevation of 592 feet due to the site's hillside topography. Based on this measurement method, the rear building height is 13 feet and exceeds the 12-foot-maximum permitted at the rear and side yard setbacks. The total building height proposed for the residence is 16'-1", and it is within the maximum allowable building height of 18 feet for a single-family residence. As explained in Criterion 7 of the Hillside Review Criteria above, the proposed building height will not cause visual impact or negatively affect the privacy of the neighboring properties due to elevation difference and setback. Therefore, the project meets this finding.</p>	Y
3.	<p><i>The approval or conditional approval of the minor modification will not be detrimental to the health, safety, or general welfare of persons residing or working on the site or in the vicinity; and</i></p> <p>The approval of this AMM application will not affect or alter the single-family residential use of the subject property. The proposed residence will be required to be constructed in accordance with the applicable Zoning Code regulations and the California Building Code for safety compliance. Therefore, it will not adversely affect the individuals who live or work on the site or its vicinity.</p>	Y

	<i>Guidelines [PSZC 94.06.01(B)(3)]</i>	<i>Compliance</i>
4.	<p><i>The approval of the minor modification is justified by environmental features, site conditions, location of existing improvements, or historic development patterns of the property or neighborhood.</i></p> <p>The proposed garage and office/gym will be located in the area where the elevation is naturally higher than the rest of the project site (the elevations of the area range from 592 feet to 601.4 feet). The proposed site layout takes the site’s existing conditions into consideration as exemplified by the location of the driveway. Although the proposed building height measured from the point of measurement (elevation 592 feet) is 13 feet at the rear, the building height measured from the adjacent grade is only 10 feet. Should the building height of the rear portion of the residence be lowered for the purpose of a one-foot building height reduction to meeting the 12-foot-maximum building height limit, it would require further site engineering, particularly at the northwest corner of the residence. Therefore, the approval of this AMM is justified by the site’s existing conditions.</p>	Y

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”), and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Single-Family Residence).

CONCLUSION:

The proposed project generally meets the applicable development standards except for the building height which is 13 feet measured at the rear of the residence in accordance with PSZC Section 91.00.10(B). Palm Springs Zoning Code Section 94.06.01(A)(10) provides a mechanism which allows the applicant to seek relief from the 12-foot-maximum (at the setbacks) building height regulation, and the applicant has submitted an AMM application to request the increased building height in accordance with applicable law. With regards to the proposed landscape design, the developer shall address the plant height issue in the corner cutback area in the front yard and changes to the rows of Olive and Mulga in the front yard for a more natural appearance, enhanced composition, and smoother spatial transition, as set forth in the conditions of approval. The proposed building design is appropriate for the site, and modifications to the landscape plan to address the design issues will not alter the character of the proposed project. In conclusion, staff recommends that the Architectural Review Committee (ARC) approve the proposed project subject to conditions of approval included in attached draft resolution (Exhibit A).

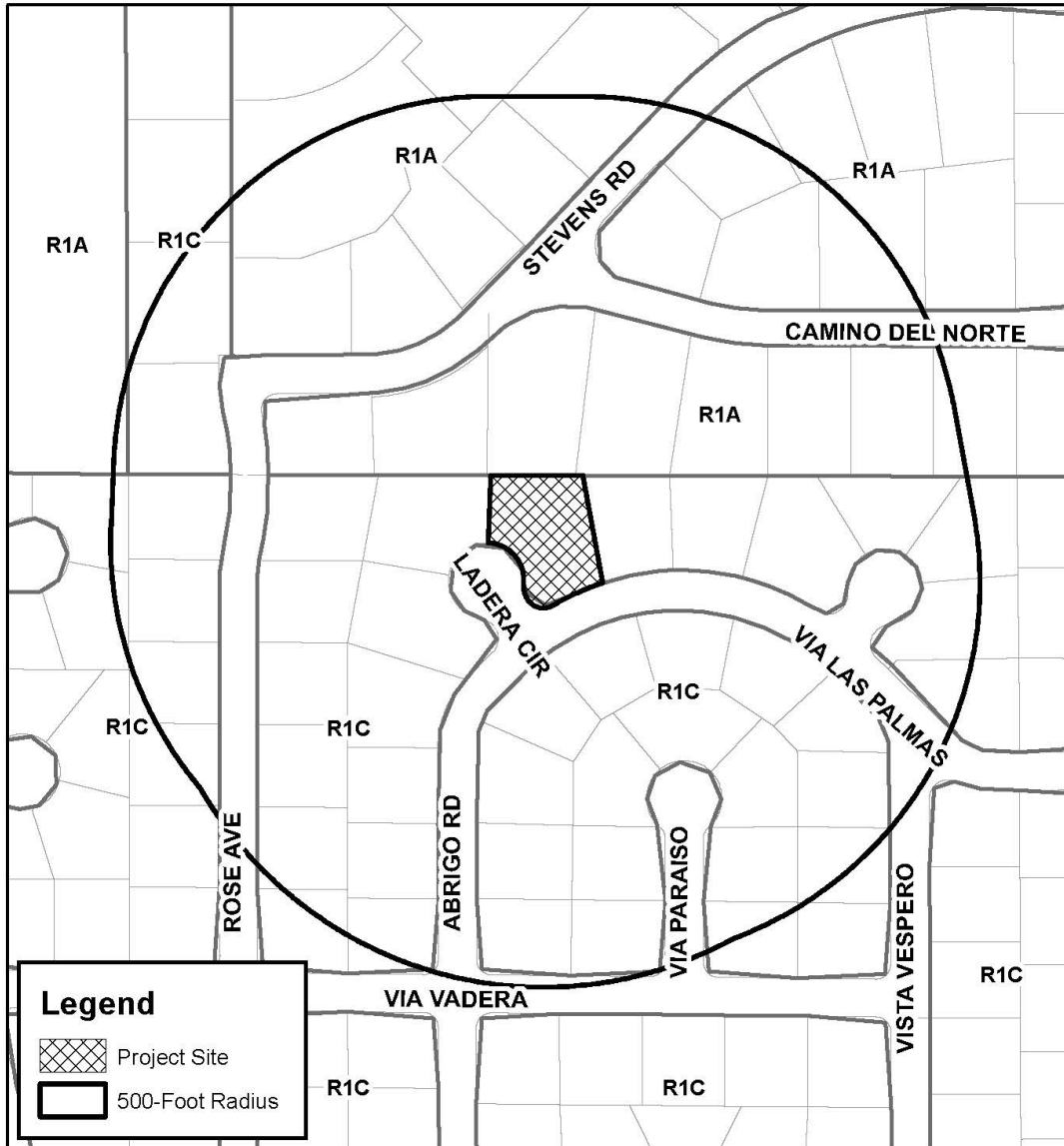
PREPARED BY:	Noriko Kikuchi, AICP, Associate Planner
REVIEWED BY:	David Newell, AICP, Assistant Director of Planning

ATTACHMENTS:

1. Vicinity Map
2. Resolution and Conditions of Approval
3. Adjacent Property Development Comparison Sheet
4. Aerial View
5. Public Comments
6. Pool enclosure details
7. Plans



# Department of Planning Services Vicinity Map



## CITY OF PALM SPRINGS

### Case 3.4329 MAJ & Case 7.1652 AMM

850 Via Las Palmas  
Shahbaz/Glaser Residence  
(APN: 505-082-011)

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING MAJOR ARCHITECTURAL AND ADMINISTRATIVE MINOR MODIFICATION APPLICATIONS TO CONSTRUCT A 6,180-SQUARE-FOOT SINGLE-FAMILY RESIDENCE ON A 19,602-SQUARE-FOOT HILLSIDE PARCEL LOCATED AT 850 SOUTH VIA LAS PALMAS (APN: 505-082-011), ZONE R-1-C, SECTION 10 (CASES 3.4329 MAJ & 7.1652 AMM).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

- A. Kappe Architects (“Applicant”), on behalf of Michael Shahbaz and Brian Glaser (“Owners”), filed applications with the City, pursuant to Palm Springs Zoning Code (PSZC) Sections 94.04.00 (Architectural Review), 93.13.00 (Hillside Development), and 94.06.01 (Minor Modifications) of the Palm Springs Zoning Code, for construction of a 6,180-square foot single family residence with the building height of 13 feet for the rear portion of the residence at 850 South Via Las Palmas (“the Project”).
- B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City’s Planning Commission to the City’s Architectural Review Committee.
- C. On July 6 and 7, 2022, City staff notified the owners of properties immediately adjacent to the Project site of the scheduling of an Architectural Review Committee meeting to consider the subject application, pursuant to PSZC 93.13.00 (B,1,c).
- D. On July 18, 2022, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Construction or Conversion of Small Structures).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”) and 94.04.00 (“architectural review”), in addition to the findings of 94.06.01 (Minor Modifications), subject to conditions.

Section 3:

Based upon the foregoing, the Architectural Review Committee hereby approves Case 3.4329 MAJ and Case 7.652 AMM, for the construction of a 6,180-square-foot single-family residence with the building height of 13 feet for the rear portion of the residence located at 850 South Via Las Palmas, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 18th day of July, 2022.

AYES:  
NOES:  
ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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David Newell, AICP  
Assistant Director of Planning

RESOLUTION NO. \_\_\_\_\_

**EXHIBIT A**

Case 3.4329 MAJ & Case 7.1652 AMM

Shahbaz/Glaser Residence (Hillside Single-Family Residence)

850 South Via Las Palmas  
(APN: 505-082-011)

July 18, 2022

**CONDITIONS OF APPROVAL**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, Development Services Director, Building Official, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

**ADMINISTRATIVE CONDITIONS**

- ADM 1. Project Description. This approval is for the project described per Case 3.4329 MAJ and Case 7.1652 AMM except as modified by the conditions below.
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, which include site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Development Services or designee may approve minor deviations to the project description and approved

plans in accordance with the provisions of the Palm Springs Zoning Code.

- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Cases 3.4329 MAJ and Case 7.1652 AMM. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.
- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.

## **ENVIRONMENTAL ASSESSMENT CONDITION**

- ENV 1. Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA), and a Riverside County Clerk processing fee of \$50 will be required.



## PLANNING DEPARTMENT CONDITIONS

- PLN 1. Building Height. The building height of 13 feet measured at the rear portion of the residence (garage, office/gym, ADU) shall be subject to the approval of the Administrative Minor Modification (AMM) application, Case 7.1652 AMM.
- PLN 2. Pad Elevations. Final building pad elevations shall not vary more than 12 inches above or below the pad elevation established by the approved preliminary grading plan and / or tentative map. Any deviations from this provision shall require approval by the Planning Commission.
- PLN 3. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit the final landscape and irrigation plans to the Planning Division for review prior to the issuance of a building permit. Prior to the final submission, the landscape plan shall be reviewed and approved (wet-stamped) by the Riverside County Agricultural Commissioner's Office. The landscape plans also shall be certified by the local water agency that the plans are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances. The irrigation plan shall be prepared in accordance with PSMC Section 8.60.070 (Irrigation Design Plan) ([https://library.qcode.us/lib/palm\\_springs\\_ca/pub/municipal\\_code/item/title\\_8-chapter\\_8\\_60?view=all](https://library.qcode.us/lib/palm_springs_ca/pub/municipal_code/item/title_8-chapter_8_60?view=all)). Submit wet-stamp approved plans to the Planning Division.
- PLN 4. Olive (*Olea Europa* 'Montra'). Remove the row of Olive proposed in the front yard. Instead, install them sparingly for a more natural appearance.
- PLN 5. Mulga (*Acacia aneura*). The installation location of Mulga in the front yard shall be modified in such a manner that the trees will not define the property line for smoother spatial transition to the site's surroundings.
- PLN 6. Landscaping in Corner Cutback Area. Planting materials that exceed 3.5 feet in height shall be located out of the cutback area, except for the existing California Fan Palm.
- PLN 7. Outdoor/Landscape Lighting. The light source of all outdoor lighting fixture shall be directed towards the project site. Outdoor/landscape lighting shall not cause disability glare, discomfort glare, light trespass, or light pollution as required in the Outdoor Lighting Standards (PSZC Section 93.21.00).

## **BUILDING DEPARTMENT CONDITIONS**

The Following Standard Building & Safety Conditions of Approval Are Applicable to This Project:

BLDG 1. Prior to any construction on-site, all appropriate permits must be secured.

BLDG 2. Shall comply with the latest adopted edition of the following codes as applicable:

- A. 2019 California Residential Code
- B. 2019 California Electrical Code
- C. 2019 California Mechanical Code
- D. 2019 California Plumbing Code
- E. 2019 California Energy Code
- F. 2019 California Fire Code
- G. 2019 California Green Building Standards Code

## **ENGINEERING DEPARTMENT CONDITIONS**

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

### **STREETS**

ENG 1. The Engineering Services Department recommends deferral of off-site improvement items (identified as "**Deferred**") at this time due to lack of full improvements in the immediate area. The owner shall execute a street improvement covenant agreeing to construct all required street improvements upon the request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner(s) prior to approval of the Grading Plan or issuance of grading or building permits. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.

ENG 2. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.

- ENG 3. **Provide revised design due to drainage easement along western property line. Provide determination regarding the necessity of a private drainage easement for the proposed drainage systems meant to direct off-site flows through the property. This information required prior to site plan approval.**

#### VIA LAS PALMAS

- ENG 4. Construct a future 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210. **Deferred.**
- ENG 5. Construct a future Type B curb ramp meeting current California State Accessibility standards at the northeastern corner of the intersection of Via Las Palmas and Ladera Circle in accordance with City of Palm Springs Standard Drawing No. 213. **Deferred.**
- ENG 6. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards. **Deferred.**
- ENG 7. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

#### LADERA CIRCLE

- ENG 8. Construct a 6-inch concrete driveway, unless otherwise approved by the City Engineer, from the property line to the existing back of curb.
- ENG 9. Construct a future 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210. **Deferred.**
- ENG 10. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards. **Deferred.**
- ENG 11. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

#### SANITARY SEWER

- ENG 12. All sanitary facilities shall be connected to the public sewer system. New laterals shall not be connected at manholes.

#### GRADING

ENG 13. Submit a Precise Grading Plan prepared by a California registered Civil engineer to the Engineering Services Department for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.

a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report.

ENG 14. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be provided to the City). The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at [ACBCI-THPO@aguacaliente.net](mailto:ACBCI-THPO@aguacaliente.net) to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.

- ENG 15. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed prior to issuance of Grading Permit and commencement of grading operations.
- ENG 16. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 17. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 18. Prior to issuance of grading permit, the applicant shall provide verification to the City that the Tribal Habitat Conservation Plan (THCP) fee has been paid to the Agua Caliente Band of Cahuilla Indians in accordance with the THCP.
- ENG 19. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.
- ENG 20. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 21. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan. (if required)
- ENG 22. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be

provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.

- ENG 23. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval.
- ENG 24. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, CA 90040 (Phone (760) 782-3271, (562) 505-6415), [Sonia.Oran@cdfa.ca.gov](mailto:Sonia.Oran@cdfa.ca.gov).

#### DRAINAGE

- ENG 25. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property. Provide a hydrology study to determine the volume of increased stormwater runoff due to development of the site, and to determine required stormwater runoff mitigation measures for the proposed development. Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and approval of the hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study. No more than 40-50% of the street frontage parkway/setback areas should be designed as retention basins. On-site open space, in conjunction with dry wells and other subsurface solutions should be considered as alternatives to using landscaped parkways for on-site retention.
- ENG 26. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$10,311.99 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

#### GENERAL

- ENG 27. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.
- ENG 28. All proposed utility lines shall be installed underground.
- ENG 29. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 30. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing filetype), DXF (AutoCAD ASCII drawing exchange filetype), and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 31. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 32. Nothing shall be constructed or planted in the corner cut-off area of any intersection or driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 33. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.

#### TRAFFIC

- ENG 34. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and streetlights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.
- ENG 35. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control"

of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

- ENG 36. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

## **FIRE DEPARTMENT CONDITIONS**

- FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

- FID 2. Fire Department Conditions were based on the 2019 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "T" Development Requirements. This building will require fire sprinklers.

- FID 3. Materials and Construction Methods for Exterior Wildfire Exposure: All Materials and Construction Methods shall comply with Chapter 7A of the Building Code for High Fire Areas.

- FID 4. Conditions of Approval – "Conditions of Approval" received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

- FID 5. Plans and Permits (CFC 105.1):

Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

City of Palm Springs

Building and Safety Department

3200 E. Tahquitz Canyon Way

Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday



A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

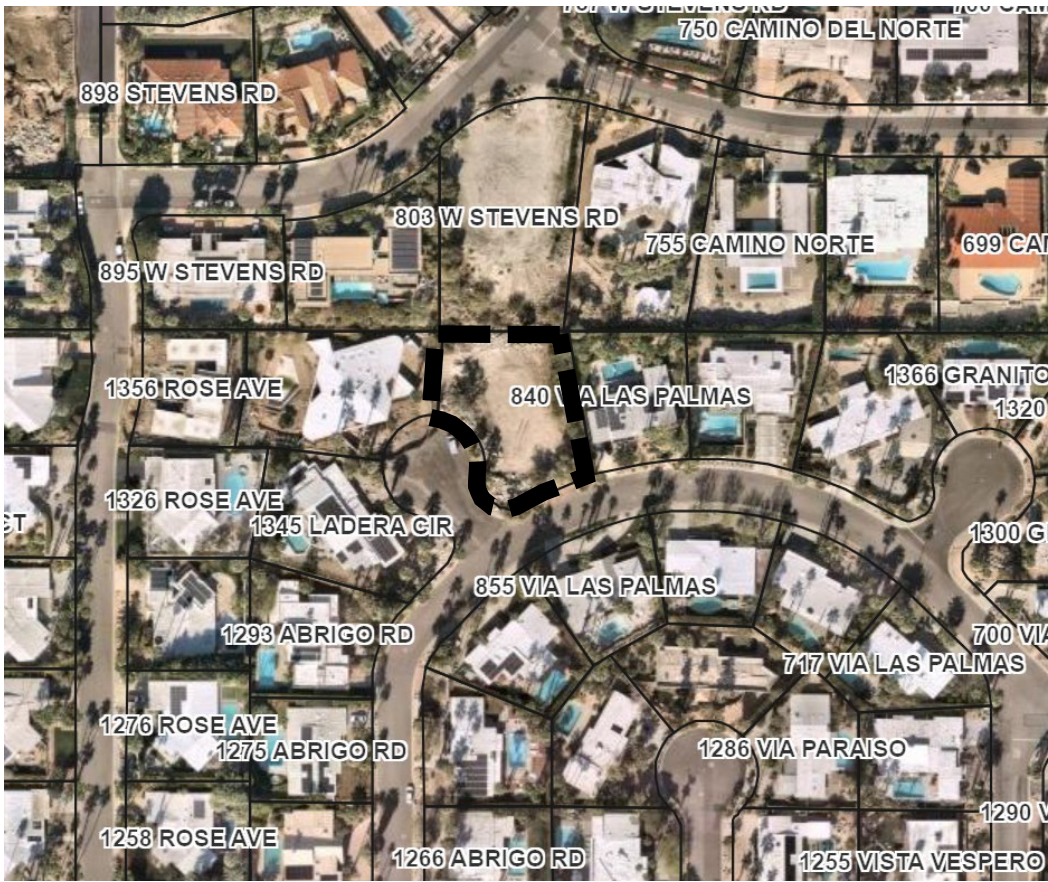
- FID 6. Access During Construction (CFC 503): Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.
- FID 7. Required access (CFC 504.1): Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.
- FID 8. NFPA 13D Fire Sprinklers Required: An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2016 Editions, as modified by local ordinance.
- FID 9. Residential Smoke Alarms Required: Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke alarms within the dwelling & guest house to sound and activate the exterior horn/strobe

**END OF CONDITIONS**

	<b>Property</b>	<b>General Plan</b>	<b>Zone</b>	<b>Lot Size (Acre)</b>	<b>Residence Size* (Includes Garage/Carport)</b>	<b>Lot Coverage</b>
<b>1</b>	<b>850 Via Las Palmas (Project Site)</b>	<b>VLDR</b>	<b>R-1-C</b>	<b>0.45</b>	<b>6,180 SF</b>	<b>31.5%</b>
2	1350 Ladera Circle	VLDR	R-1-C	0.48	5,505 SF	26.3%
3	1345 Ladera Circle	VLDR	R-1-C	0.45	6,130 SF	31.3%
4	877 Via Las Palmas	VLDR	R-1-C	0.27	3,160 SF	26.9%
5	855 Via Las Palmas	VLDR	R-1-C	0.27	Data Not Available	N/A
6	840 Via Las Palmas	VLDR	R-1-C	0.32	2,882 SF	20.7%
7	777 Camino Del Norte	ER	R-1-A	0.60	4,747 SF	18.2%
8	803 W. Stevens	ER	R-1-A	0.63	5,170 SF**	18.8 %
	<b>Average – Existing (Excludes 855 Via Las Palmas)</b>					<b>23.7%</b>

\*Data obtained from City of Palm Springs GISNexus Parcel Explorer

\*\*New SFR in construction. Per Resolution No. 1003.



 Project Site

## Noriko Kikuchi

---

**From:** Doug Barnum <dsbarnum@gmail.com>  
**Sent:** Wednesday, July 06, 2022 7:33 PM  
**To:** Noriko Kikuchi  
**Subject:** 850 South Via Las Palmas

**NOTICE:** This message originated outside of The City of Palm Springs -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Hi Noriko,

I write to you and the ARC to enthusiastically embrace the proposed new design for the Shahbaz / Glaser residence at 850 S Via Las Palmas.

My partner and I reside at 1345 Ladera Circle, directly across the circle from the proposed building site. We're about to begin our own renovation project, and along with the "Elvis house" renovation between us, it is great to see all 3 lots on the circle reach their potential.

We love this design, and appreciate the massing and the siting on the lot. In particular, tucking the garage and ADU back against the sharp upslope at the N lot line seems ideal. The materials palette is pleasant and harmonious with the surrounding properties. We would wholeheartedly welcome this addition to the neighborhood as presented in the mailing.

Best regards,

Douglas Barnum  
1345 Ladera Cir

p.s. Apologies for this letter being a bit tardy-- I've been getting over Covid, like everyone else, the past week or so.

## Noriko Kikuchi

---

**From:** Dan Bridge <bridgeseattle@gmail.com>  
**Sent:** Wednesday, July 06, 2022 10:29 PM  
**To:** Noriko Kikuchi  
**Cc:** Michael Shahbaz; brianjasonglaser1@gmail.com  
**Subject:** In support of 850 via Las Palmas

**NOTICE:** This message originated outside of The City of Palm Springs -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Ms. Noriko Kikuchi  
Associate Planner  
City of Palm Springs  
3200 E. Tahquitz Canyon  
Palm Springs, CA 92262  
[noriko.kikuchi@palmspringsca.gov](mailto:noriko.kikuchi@palmspringsca.gov)

July 6,2022

Dear Ms. Kikuchi,

I am co-owner of the Palm Springs Class 1 Historic Alexander Residence (aka The House of Tomorrow).

This note is to indicate my support for home proposed by Michael Shahbaz and Brian Glaser next door to me, at 850 Via las Palmas.

The owners have taken care to select a design, materials, and landscape that will fit well into the Vista las Palmas neighborhood.

Please know that I support this project and look forward to its completion and to having Michael and Brian as neighbors.

Sincerely,

Rabbi Dan Bridge  
1350 Ladera Circle  
Palm Springs, CA 92262

## Noriko Kikuchi

---

**From:** fracarpsla@aol.com  
**Sent:** Saturday, July 09, 2022 10:10 AM  
**To:** Noriko Kikuchi  
**Subject:** new home 850 Via Las Palmas

**NOTICE:** This message originated outside of The City of Palm Springs -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Dear Noriko I am the owner of the house at 840 Via Las Palmas in Palm Springs and the next door neighbor to Brian Glaser and Michael Shahbaz. I am completely supportive of the new home that's going to be built on the lot next to me at 850 Via Las Palmas. The landscape design, material palette, and overall feel of the proposed design will only enhance our neighborhood . The simplicity of the architectural lines,along with the house layout, has been well thoughtfully designed and will maintain the aesthetic standards that this neighborhood has become known for. I fully support this project and look forward to its completion Best, Frank Carroll

## Noriko Kikuchi

---

**From:** kevin@kevinjcorcoran.com  
**Sent:** Monday, July 11, 2022 11:15 AM  
**To:** Noriko Kikuchi  
**Cc:** kevin@kevinjcorcoran.com  
**Subject:** 850 Via Las Palmas Review - questions for staff and ARC

**NOTICE:** This message originated outside of The City of Palm Springs -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

Noriko:

Thanks for sharing information and providing direction for the review of 850 Via Las Palmas. As you know, we provided a list of questions from several homeowners to the owners and had a zoom call with their architect, Finn Kappe. Based on information shared in the call, here are a list of comments and questions that we would like to share with city staff and the ARC.

1. **Requested Administrative Minor Modification to increase roof height to 19 feet ++. Is it necessary?** The architect said that the proposed roof height and overall density of the plan would not impact views from the east or the north of the property. We suggested that the architect (or contractor) conduct a story pole test and provide sight renderings from the properties to the north as was done for all impacted neighbors when we submitted the application for 803 Stevens Road. None of these renderings were included in the original packet. We would like to see this information and the story pole test before the review is completed.
2. **Roof top solar panels on the north roof of the property – can they be moved?** We were told that the proposed landscaping plan from 803 Stevens would more than cover the exposed panels on the north side of the property. The plan does not include tall trees in the middle of the lot to block the proposed house or solar panels. Is there another spot for these panels?
3. **Replacng 2 jacaranda trees proposed for the back wall – can they be replaced?** Several neighbors were concerned with the choice of jacaranda trees on the north side of the house. The concern was that the trees grow very large quickly blocking views and are extremely messy. My landscape architect, Bennett Peterbaugh, suggested other, less obtrusive options. Would like to see the landscape update reflecting the changes.
4. **Roof color – Tan.** We requested a physical sample of the roof color and are awaiting follow up from the architect.
5. **Engaging more than the 7 neighbors that boarder the property, why not?** The owners have not been transparent with enough neighbors about this project. It is concerning that only 7 neighbors were contacted about this application and that the review session is scheduled for July when most neighbors have left the desert for the summer. I think the neighbors on Stevens Rd, Camino del Norte and especially Via Las Palmas need to see the plans and understand the density, scale and design of the home and its impact on the street. The project plans should be shared with all neightbors within 500 feet which has been standard for other projects of this nature and in this neighborhood.

Let me know if you have any questions.

All the best,

Kevin  
Kevin J. Corcoran  
P.O. Box 5537  
Palm Springs, CA 92263

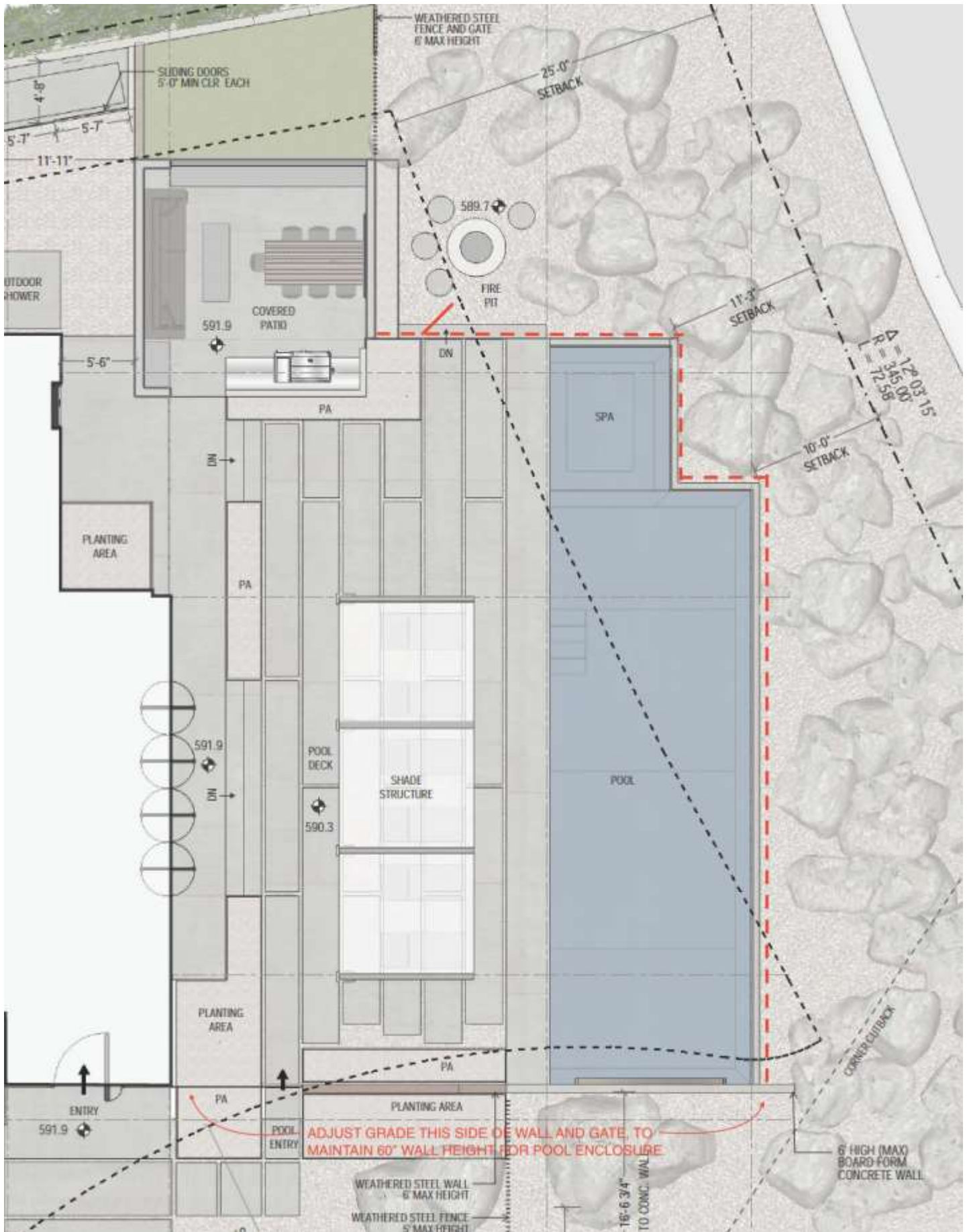
[Kevin@kevinjcorcoran.com](mailto:Kevin@kevinjcorcoran.com)

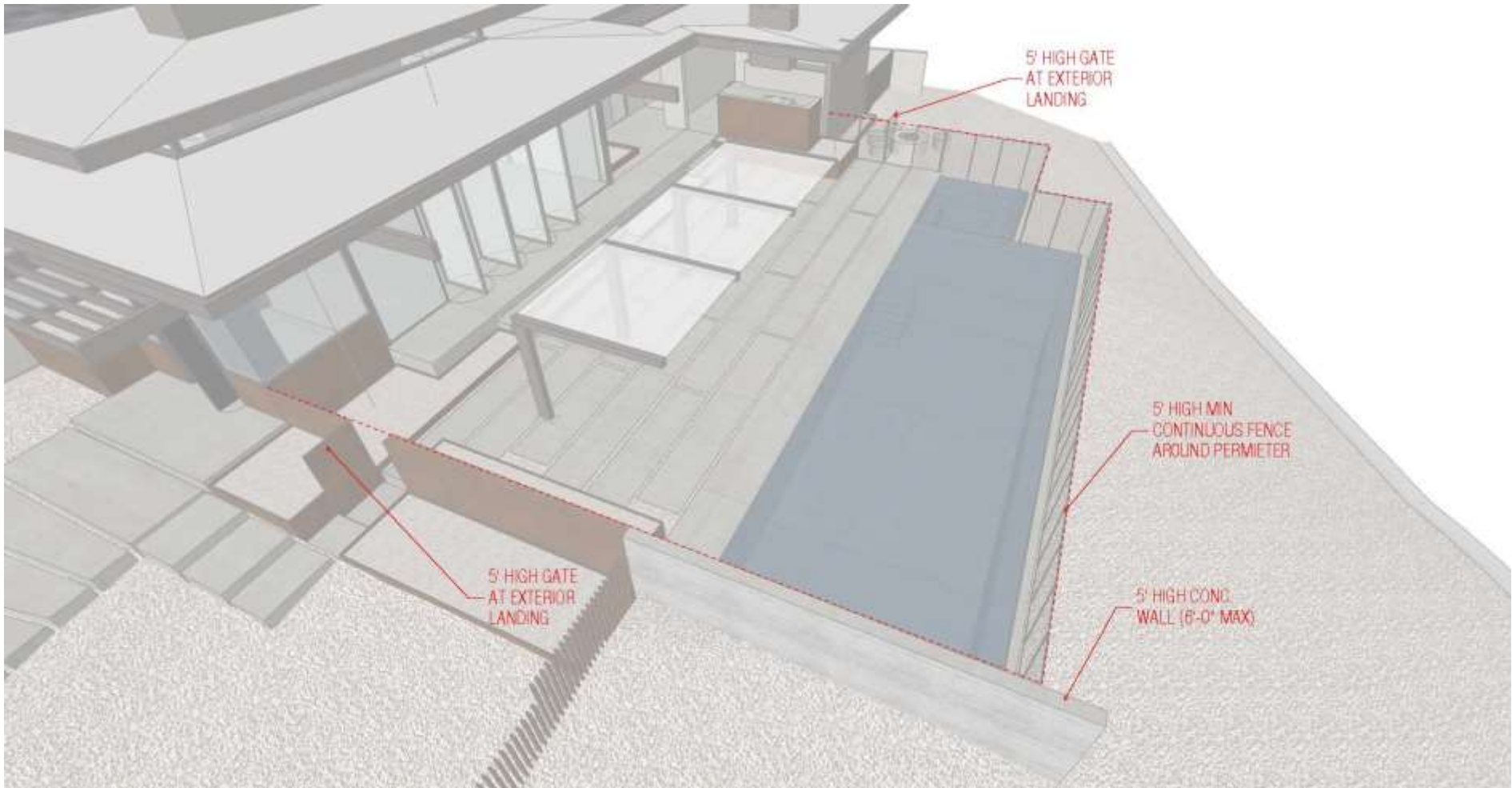
[www.kevinjcorcoran.com](http://www.kevinjcorcoran.com)

(206) 617-9098

BCC: Neighbors on Stevens, Camino Norte and Via Las Palmas







5' HIGH GATE  
AT EXTERIOR  
LANDING

5' HIGH MIN  
CONTINUOUS FENCE  
AROUND PERMIETER

5' HIGH GATE  
AT EXTERIOR  
LANDING

5' HIGH CONC.  
WALL (6'-0" MAX)



# SHAHBAZ / GLASER RESIDENCE

850 VIA LAS PALMAS  
PALM SPRINGS, CALIFORNIA

KAPPE ARCHITECTS

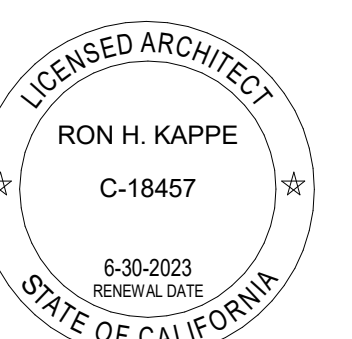
801 D STREET SAN RAFAEL CA 94901  
TEL: 415.457.7801

SHAHBAZ / GLASER RESIDENCE

MICHAEL SHAHBAZ AND BRIAN GLASER  
325 W 13TH STREET UNIT 2  
NEW YORK, NEW YORK 10014

Project:  
850 VIA LAS PALMAS  
PALM SPRINGS, CA 92262  
APN: 505082011

Registration:



Project No: **21002**  
Drawn By: **JK**  
Checked By: **FK**  
MAJ REVIEW 06/24/2022 REV 07/11/2022  
All drawings and written material herein are the original and unpublished property of and all rights are reserved by Kappe Architects. The same may not be duplicated, used without written or disclosed consent. Material herein is for use by authorized contractors, bidders and subcontractors in connection with this project only. All dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall be responsible to verify all dimensions and conditions on the job. This office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop drawings must be reviewed by this office before proceeding with fabrication.

Sheet Title:  
**COVER SHEET AND PROJECT INFORMATION**

Sheet Number:

**T1.0**

## VICINITY MAP



## FIRE DEPARTMENT NOTES

FIRE DEPARTMENT NOTES (NFPA 13D):

- THE INSTALLATION OF THE SPRINKLER SYSTEM OR MODIFICATIONS TO EXISTING SPRINKLER SYSTEMS SHALL COMPLY WITH:
  - NFPA 13D
  - CALIFORNIA RESIDENTIAL CODE (2019 EDITION)
  - CALIFORNIA FIRE CODE (2019 EDITION)
  - THE CITY OF PALM SPRINGS MUNICIPAL CODE CHAPTER 8, SECTIONS 8.04.500 AND 8.04.510
  - PALM SPRINGS FIRE DEPARTMENT DEVELOPMENT REQUIREMENTS, APPENDIX "T"
- WATER FLOW SWITCH AND ALARM. A WATER FLOW SWITCH SHALL BE INSTALLED IN EVERY DWELLING UNIT FIRE SPRINKLER SYSTEM. THE SYSTEM SHALL INCLUDE:
  - AN APPROVED AUDIBLE SPRINKLER FLOW ALARM (HORN/STROBE WITH WEATHER-PROOF BACK BOX OR EQUAL) SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. THE HORN/STROBE SHALL BE OUTDOOR-RATED.
  - RESIDENTIAL SMOKE ALARMS (RELAY/POWER SUPPLY MODULE CONNECTED TO MULTISTATION INTERCONNECTED SMOKE ALARMS AND FIRE SPRINKLER FLOW SWITCH) SHALL BE INTERCONNECTED SO THAT OPERATION OF ANY SMOKE ALARM OR FIRE SPRINKLER FLOW SWITCH CAUSES ALL SMOKE ALARMS WITHIN THE DWELLING TO SOUND AND ACTIVATE THE EXTERIOR HORN/STROBE. THE WIRING OF THIS SYSTEM SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

## PROJECT TEAM

OWNER: MICHAEL SHAHBAZ AND BRIAN GLASER 325 W 13TH STREET UNIT 2 NEW YORK, NEW YORK 10014	SURVEYOR: FIERO ENGINEERING, INC. 75060 GERALD FORD DRIVE PALM DESERT, CA 92211 760.346.8016
ARCHITECT: KAPPE ARCHITECTS 801 D STREET SAN RAFAEL, CA 94901 310.383.5637	CIVIL: FIERO ENGINEERING, INC. 75060 GERALD FORD DRIVE PALM DESERT, CA 92211 760.346.8016
STRUCTURAL: REISS, BROWN, EKMEKJI, INC. 18980 VENTURA BOULEVARD SUITE 350 TARZANA, CA 91356 818.757.1501	GEOTECHNICAL: EARTH SYSTEMS PACIFIC 79-811 COUNTRY CLUB DRIVE, SUITE B BERMUDA DUNES, CA 92203 760.345.1586
MEP: CMEP ENGINEERS 28439 RANCHO PKWY S., SUITE 120 LAKE FOREST, CA 92630 949.267.9095	LANDSCAPE: KAPPE ARCHITECTS 801 D STREET SAN RAFAEL, CA 94901 310.383.5637
LANDSCAPE LIGHTING, IRRIGATION, AND POOL DESIGN: GM FUTURE DESIGNS, INC P.O. BOX 5703, LA QUINTA, CA. 92248 760.315.7473	

## PROJECT DATA

SCOPE OF WORK:  
NEW SINGLE-FAMILY RESIDENCE AND ATTACHED ADU WITH TWO-CAR GARAGE, POOL AREA WITH SHADE STRUCTURE AND SPA, PHOTOVOLTAIC ARRAYS, AND SITE LANDSCAPING.

ZONE: R1C  
HILLSIDE PARCEL: YES  
OCCUPANCY: R-3/U  
LOT AREA: .45 AC PER RIVERSIDE COUNTY ASSESSOR  
MAX LOT COVERAGE: 35%

PROJECT AREAS:  
RESIDENCE: 4,180 SF  
ADU: 1,190 SF  
OFFICE / GYM: 340 SF  
GARAGE: 470 SF  
TOTAL: 6,180 SF

LOT COVERAGE: 6,180 SF/19,602 SF = 31.5%

SETBACKS:  
FRONT YARD: 25'-0"  
CUL-DE-SAC: 20'-0"  
SIDE YARDS: 10'-0"  
REAR YARD: 15'-0"

BUILDING HEIGHT: 21'-7 1/2" TO ROOF EAVE FROM CALCULATED BUILDING HEIGHT ELEVATION DATUM PER PSZC 91.00.10

## INDEX OF DRAWINGS

GENERAL	T1.0 COVER SHEET AND PROJECT INFORMATION
	T1.5 SURVEY
ARCHITECTURAL	A1.0 SITE PLAN
	A1.2 SITE SECTIONS
	A2.1 FLOOR PLAN
	A2.3 ROOF PLAN
	A3.1 BUILDING ELEVATIONS
	A4.1 BUILDING SECTIONS
	A8.0 EXTERIOR COLORS AND MATERIALS
	A8.1 SITE PHOTOS
	A9.0 PERSPECTIVE VIEWS
CIVIL	C1.1 PRELIMINARY GRADING PLAN
	C1.2 PRELIMINARY GRADING PLAN
LANDSCAPE	L1.1 LANDSCAPE AND PLANTING PLAN
	L1.1A LANDSCAPE PLANT PALETTE
	L1.2 LANDSCAPE LIGHTING PLAN
	L2.1 IRRIGATION PLAN
	L2.2 IRRIGATION DETAILS
EXHIBITS	EX1 ADDITIONAL VIEWS

REVISIONS TO **2022/06/24 Drawing Package**  
TO ADDRESS NEIGHBOR CONCERNS AND SITE CONDITIONS AT THE REAR YARD:

MODIFICATIONS TO BUILDING ELEVATIONS (A3.1) AND BUILDING SECTIONS (A4.1) AT THE REAR YARD:

SITE WALL AND FENCING AT NORTH PROPERTY LINE CLARIFIED ON NORTH ELEVATION, SHOWING EXISTING GRADE, OUTLINE OF SITE WALL, AND OUTLINE OF FENCING. FENCING ADDED TO BUILDING SECTIONS AT NORTH PROPERTY LINE.

MODIFICATIONS TO LANDSCAPE AND PLANTING PLAN (L1.1) AT THE REAR YARD:

-CERCIDIMUM X DESERT MUSEUM (PALO VERDE) SUBSTITUTED FOR JACARANDA MIMOSIFOLIA

-BOUGAINVILLEA COLOR CHANGED FROM PURPLE TO CALIFORNIA GOLD

-ALOE TONGAENSIS 'MEDUSA' (MOZAMBIQUE TREE ALOE) SUBSTITUTED FOR HYOPHORBE LAGENICALUS (BOTTLE PALM)

-THREE (3) YUCCA ROSTRATA 'BLUE VELVET' ADDED

LANDSCAPE PLANT PALETTE (L1.1A) ADDED FOR FURTHER CLARIFICATION OF PLANT TYPES.

EXHIBIT SHEET OF ADDITIONAL VIEWS (EX1) ADDED FOR FURTHER CLARIFICATION OF SITE CONDITIONS AT THE NORTH PROPERTY LINE AND REAR YARD.

In the City of Palm Springs  
**Topographic Survey map**  
 Shahbaz Residence



**LEGEND & ABBREVIATIONS:**

C	CENTERLINE
P.L.	PROPERTY LINE
H.P.	HIGH POINT
G.B.	GRADE BREAK
E.G.	EXISTING GROUND
F.G.	FINISH GRADE
F.S.	FINISH SURFACE
F.F.E.	FINISH FLOOR ELEVATION
PAD	PAD ELEVATION
P	PLANTER
T.W.	TOP OF WALL
T.R.W.	TOP OF RETAINING WALL
W.S.	WATER SURFACE
B.W.	BOTTOM OF WALL
T.F.	TOP OF FOOTING
B.F.	BOTTOM OF FOOTING
R/W	RIGHT-OF-WAY
D/W	DRIVEWAY
T.C.	TOP OF CURB
F.L.	FLOW LINE
T.H.	TOP OF HEADER
E.P.	EDGE OF EXISTING PAVEMENT
T.P.	TOP OF PAVEMENT
T.G.	TOP OF GRADE
INV	INVERT ELEVATION
[G]	"G" CHISELED ON CURB
[S]	"S" CHISELED ON CURB
[E]	"E" CHISELED ON CURB
99.9	EXISTING ELEVATION
---	PROPOSED ELEVATION
---	PROPERTY LINE / RIGHT-OF-WAY
---	CENTERLINE
(99)	EXISTING CONTOUR
99	FINISH CONTOUR
---	FINISH GRADE
---	EXISTING SWALE
---	EXISTING SLOPE
---	FINISH SLOPE
---	EXISTING CURB AND GUTTER
---	RETAINING WALL/DEEPEMED FOOTING
---	EXISTING RETAINING WALL/DEEPEMED FOOTING
---	EXISTING BLOCK WALL
---	PROPOSED BLOCK WALL
---	BLOCK WALL ATOP RETAINING WALL
---	EXISTING BLOCK WALL ATOP RETAINING WALL
---	SHEET FLOW
---	CONCRETE
---	WATER METER
---	FIRE HYDRANT
---	POWER POLE
---	WATER VALVE
---	IRRIGATION CONTROL VALVE
---	SPIGOT
---	MANHOLE
---	POLE
---	MAILBOX
---	TREE
---	PALM TREE
---	TREE STUMP

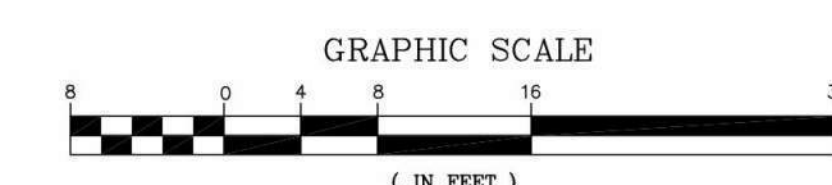
**BASIS OF BEARINGS:**  
 CENTERLINE OF LADERA CIRCLE AS  
 N 37°58'06" W, PER MB 32/45.

**BENCHMARK:**  
 CITY OF PALM SPRINGS #10-2  
 CHISELED BOX AT N.W. B.C.R., VIA MONTE VISTA AND  
 LAS PALMAS  
 ELEVATION = 582.813'

**SITE BENCHMARK:**  
 TAG LS 8508 ON CURB IN FRONT OF LOT 24 ON  
 SOUTHERN CORNER.  
 (ELEVATION = 582.92')

**SITE BENCHMARK:**  
 INDICATES THE BENCHMARK AT THE SITE WHICH THE ENGINEER OF  
 RECORD SHALL USE TO CERTIFY PAD ELEVATION AND FINAL GRADING  
 CERTIFICATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF  
 RECORD OF ANY DISCREPANCIES BETWEEN THIS BENCHMARK AND THE  
 BENCHMARK USED BY THE CONTRACTOR PRIOR TO ANY GRADING.

**SOURCE OF TOPOGRAPHY:**  
 THE TOPOGRAPHY SHOWN HEREON WAS OBTAINED BY A  
 FIELD SURVEY BY FEIRO ENGINEERING, INC ON  
 5-31-2021 AND SURVEYED AGAIN ON 4-6-2022.



**FEIRO ENGINEERING, INC.**  
 75-060 Gerald Ford Drive, Suite 3  
 Palm Desert, California 92211  
 (760) 346-8015  
 www.feiro.net  
 PREPARED UNDER THE DIRECT SUPERVISION OF:  
 RONALD K. FEIRO R.C.E. 52260 DATE

In the City of Palm Springs  
**Topographic Survey Map**  
 Lot 24, Vista Las Palmas No.1  
 Per MB 32/45; APN 505-082-011  
 FOR: **SHAHBAZ RESIDENCE**

SHEET NUMBER:  
 1  
 OF 1 SHEETS  
 DWG. FILE:  
 33961tp02  
 LAYOUT:  
 TFS1  
 JOB NUMBER:  
 3356-001

**KAPPE ARCHITECTS**  
 801 D STREET SAN RAFAEL CA 94901  
 TEL: 415.457.7801

**SHAHBAZ / GLASER RESIDENCE**  
 MICHAEL SHAHBAZ AND BRIAN GLASER  
 325 W 13TH STREET UNIT 2  
 NEW YORK, NEW YORK 10014

Project:  
**850 VIA LAS PALMAS**  
**PALM SPRINGS, CA 92262**  
 APN: 505082011

Registration:  
  
**RON H. KAPPE**  
 C-18457  
 6-30-2023 RENEWAL DATE  
 STATE OF CALIFORNIA

Project No: **21002**  
 Drawn By: **JK**  
 Checked By: **FK**  
 MAJ REVIEW 06/24/2022 REV1 07/11/2022

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Sheet Title:  
**SURVEY**

Scale: 1" = 1'-0"

Sheet Number:  
T1.5



- MATERIALS AND FINISHES:**
- EXTERIOR:**
    - BUILDING WALLS: EXTERIOR CEMENT STUCCO, SMOOTH TROWELED OR OTHER.
    - FRONT YARD AND CURB-DE-SAC SITE WALLS: WEATHERED STEEL WITH INTEGRATED, AUTOMATED DRIVEWAY AND ENTRANCE GATES.
    - INTERIOR SITE WALLS (I.N.O.): EXTERIOR CEMENT STUCCO FINISH AT SIDE AND REAR YARDS, WEATHERED STEEL AT MECHANICAL AREA WEST OF GARAGE.
    - CONCRETE FLATWORK: LIGHT BROOM FINISH.
    - EXPOSED EXTERIOR STEEL STRUCTURE AND TRELLISES: HSS COLUMNS AND BEAMS, PAINTED.
    - GLAZING: FLEETWOOD WINDOWS: ALT WESTERN WINDOWS, INSULATED GLASS, TYP.
    - GUTTERS AND FASCIA: CUSTOM-FORMED BRAKE METAL.
    - ROOFING: TPO SYSTEM ON RIGID INSULATION.
  - INTERIOR:**
    - FLOORS: GROUND-POLISHED CONCRETE, LARGE FORMAT PORCELAIN TILE (ALT).
    - INTERIOR FINISHES: GYPSUM WALL BOARD ON TYPICAL WALLS; WOOD VENEER PANELS VGGF ON FEATURE WALLS.
    - CEILINGS, TYPICAL: GYPSUM WALL BOARD, LEVEL 5 FINISH.
    - CEILING AT CENTRAL SPACE (HIGH CEILING): 2x12 JOISTS AND EXPOSED REDWOOD OR RED CEDAR, 1x4 T&G; ALT GYPSUM BOARD ATTACHED TO THE UNDERSIDE OF IJS.
    - MILLWORK: VERTICAL GRAIN DOUGLAS FIR\*
    - COUNTERTOPS: CAESARSTONE\*
    - BUILDING FRAMING: HSS COLUMNS AND BEAMS AT CENTRAL SPACE; WOOD-FRAMED WALLS AT PERIMETER SPACES; WOOD-FRAMED ROOF DECKS.
    - HVAC: MULTI-ZONE VRF SYSTEMS; ALTERNATE GEOTHERMAL HEAT PUMP SYSTEM.
    - PLUMBING FIXTURES: HIGH LEVEL SPEC: ALLOWANCE FOR DORNBRACH\* MEDIUM LEVEL ALLOWANCE FOR HANS GROHE\* TOTO NEXUS TOILETS\*
    - FIREPLACES: DINING ROOM/LIVING ROOM: GAS BURNING; PRIMARY BEDROOM: ETHANOL BURNING (NO VENT REQ.)
    - LOW VOLTAGE: SMART HOME FEATURES THROUGHOUT, E.G. AUTOMATED BLINDS, SECURITY PACKAGE, ETC.
    - APPLIANCES: GAGGENAU AT KITCHEN; SAMSUNG W/D AT LAUNDRY.
    - LIGHTING FIXTURES: RECESSED CANS, TYP. AT GY/BD CEILINGS; SOME SURFACE MOUNT PENDANTS AT D.R. AND LIBRARY; PROVIDE ALLOWANCE FOR EXTERIOR LIGHTING.
- \* OR APPROVED EQUAL

**KAPPE ARCHITECTS**  
 801 D STREET SAN RAFAEL CA 94901  
 TEL: 415.457.7801

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 MICHAEL SHAHBAZ AND BRIAN GLASER  
 325 W 13TH STREET UNIT 2  
 NEW YORK, NEW YORK 10014

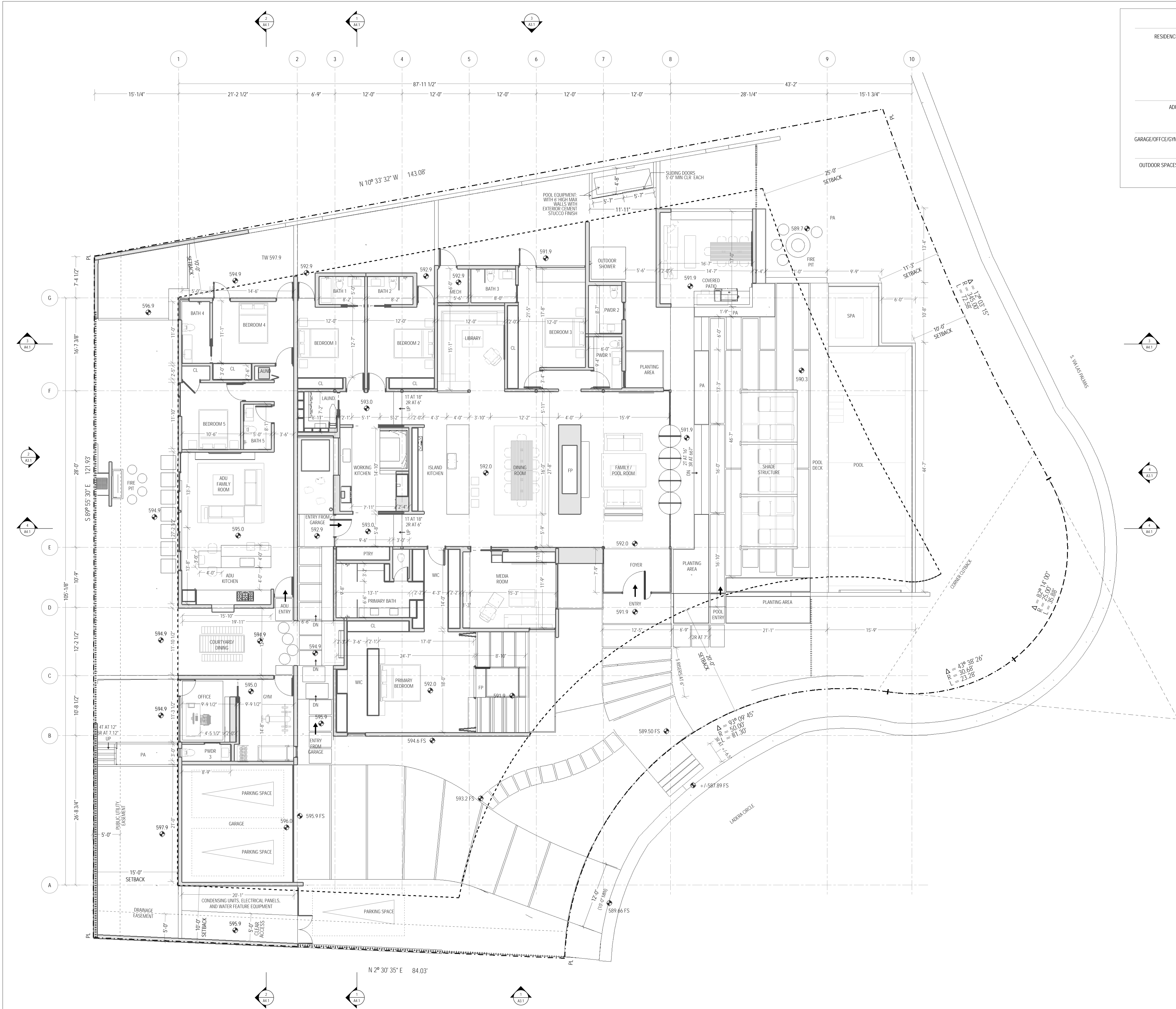
Project:  
**850 VIA LAS PALMAS**  
**PALM SPRINGS, CA 92262**  
 APN: 505082011  
 Registration:

Project No: **21002**  
 Drawn By: **JK**  
 Checked By: **FK**  
 MAJ REVIEW 06/24/2022 REV 07/11/2022  
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Sheet Title:  
**SITE PLAN**  
 Scale: 1/8" = 1'-0"  
 Sheet Number:

**A1.0**





	ROOM NAME	APPROXIMATE AREA (SF)	CEILING HEIGHT (FT)
RESIDENCE	PRIMARY BEDROOM	409	10
	BEDROOM 1	157	9
	BEDROOM 2	152	9
	BEDROOM 3	226	10
	LIBRARY	181	10
	WORKING KITCHEN	168	14
	ISLAND KITCHEN	2231	15
	DINING ROOM	95	15
ADU	BEDROOM 4	161	9
	BEDROOM 5	125	9
	ADU FAMILY ROOM	223	9
GARAGE/OFFICE/GYM	GARAGE	420	8
	OFFICE	110	9
	GYM	146	9
OUTDOOR SPACES	OUTDOOR PATIO	273	10
	COURTYARD DINING	209	9
	PRIMARY PATIO	159	10

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Sheet Title:  
**FLOOR PLAN**  
 Scale: 1/8" = 1'-0"  
 Sheet Number:



ROOF PLAN LEGEND AND NOTES:

- (R) RAIN CHAIN
- (D) IN-WALL DOWNSPOUT
- FG FINISHED GRADE
- EG EXISTING GRADE
- ROOF SLOPE 2% MINIMUM

ROOFING MEMBRANE: CARLSLE SURE-WELD TPO ROOFING (TAN COLOR) OR APPROVED EQUAL

ROOF DRAINAGE SUMMARY:  
 UPPER ROOF TO DRAIN TO LOWER ROOF VIA RAIN CHAINS AT PERIMETER  
 LOWER ROOF DRAINS TO PERIMETER GUTTERS. RAIN CHAINS AT PERIMETER DRAIN TO PLANTERS OR CATCH BASINS. REFERENCE CIVIL DRAWINGS FOR CATCH BASIN INFORMATION AND SITE DRAINAGE  
 GUTTERS DRAIN TO IN-WALL DOWNSPOUTS TO SITE DRAINS AT PRIMARY BEDROOM ONLY

KAPPE ARCHITECTS

801 D STREET SAN RAFAEL CA 94901  
TEL: 415.457.7801

SHAHBAZ / GLASER RESIDENCE

MICHAEL SHAHBAZ AND BRIAN GLASER  
325 W 13TH STREET UNIT 2  
NEW YORK, NEW YORK 10014

Project:  
850 VIA LAS PALMAS  
PALM SPRINGS, CA 92262

APN: 505082011

Registration:

LICENSED ARCHITECT

RON H. KAPPE

C-18457

6-30-2023  
RENEWAL DATE

STATE OF CALIFORNIA

Project No.: 21002  
 Drawn By: JK  
 Checked By: FK  
 MAJ REVIEW 06/24/2022 REV1 07/11/2022

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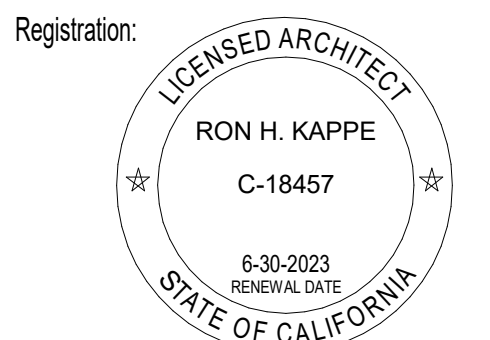
Sheet Title:  
**ROOF PLAN**

Scale: 1/8" = 1'-0"

Sheet Number:  
**A2.3**



Project:  
850 VIA LAS PALMAS  
PALM SPRINGS, CA 92262  
APN: 505082011



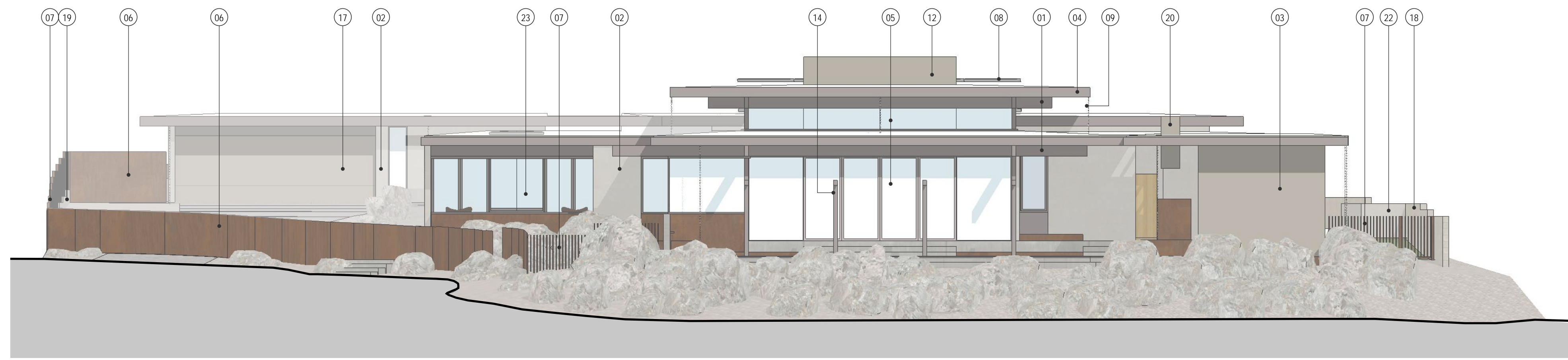
Project No: 21002  
Drawn By: JK  
Checked By: FK  
MAJ REVIEW 06/24/2022 REV1 07/11/2022  
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Sheet Title:  
BUILDING ELEVATIONS

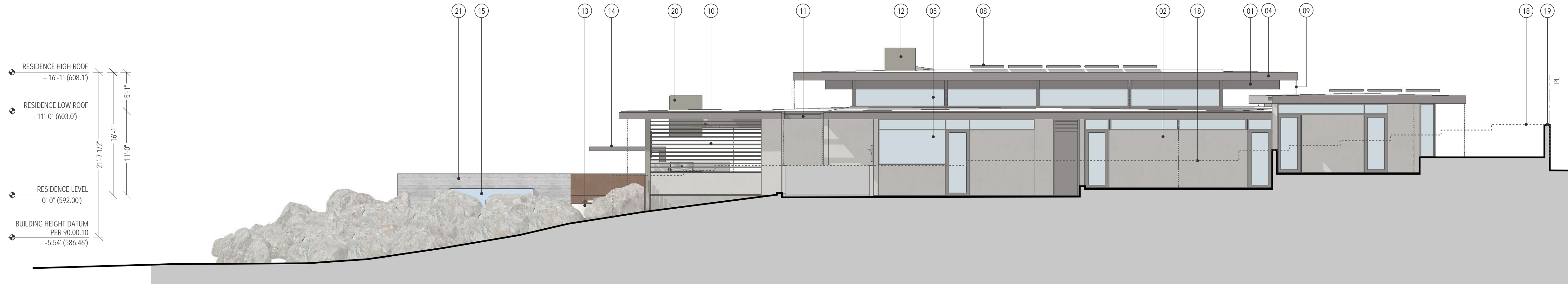
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Sheet Number:

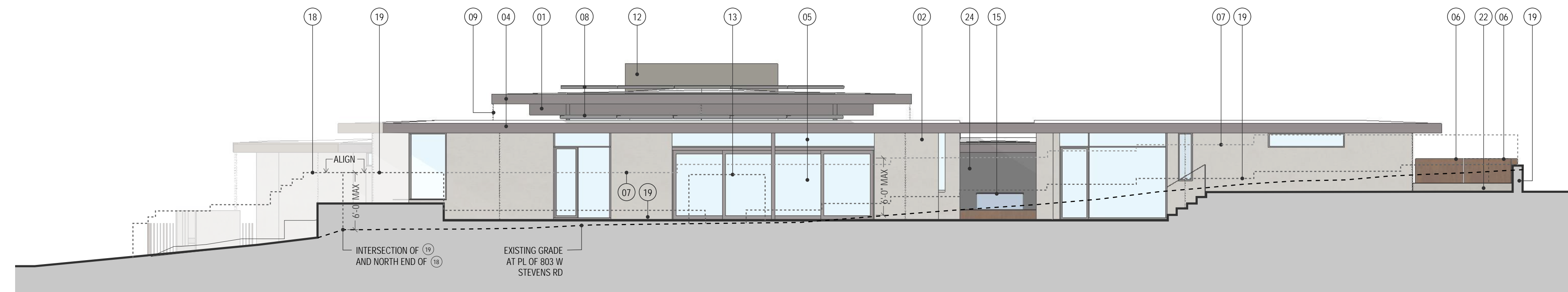
A3.1



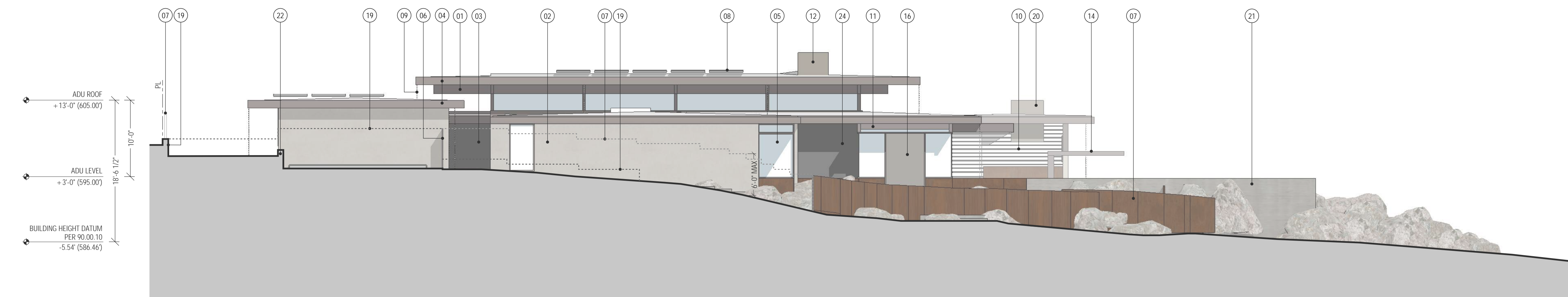
4 | SOUTH ELEVATION



3 | EAST ELEVATION



2 | NORTH ELEVATION



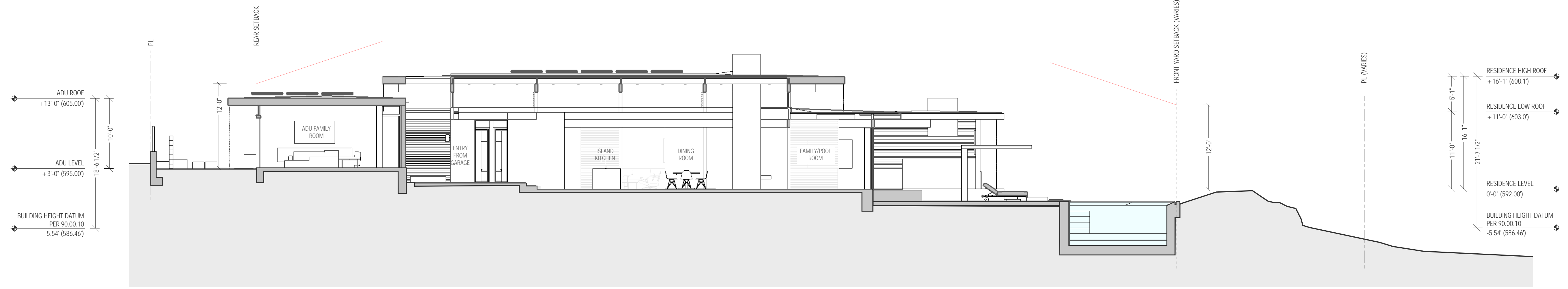
1 | WEST ELEVATION

ELEVATION KEYNOTES

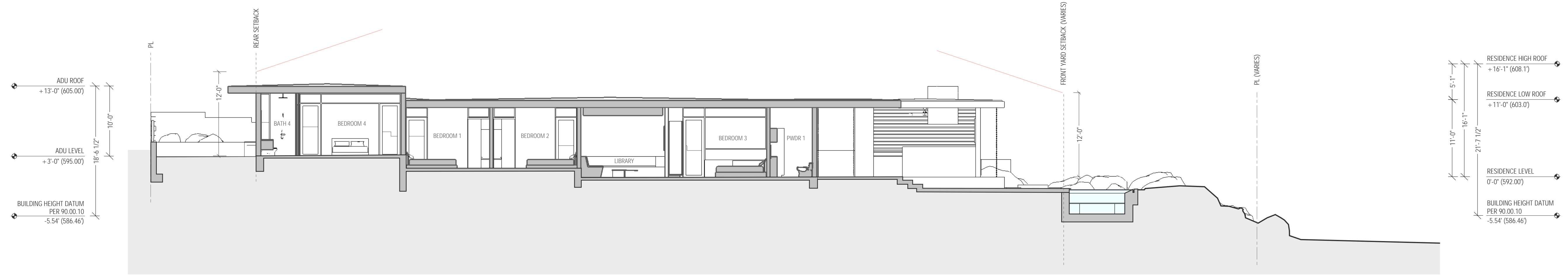
- |   |   |
|---|---|
| 01 EXPOSED STEEL FRAMING, PAINTED                 | 13 FIRE PIT                                       |
| 02 EXTERIOR CEMENT STUCCO, COLOR 1                | 14 STEEL SHADE STRUCTURE, PAINTED                 |
| 03 EXTERIOR CEMENT STUCCO, COLOR 2                | 15 SPILL FOR WATER FEATURE / POOL                 |
| 04 METAL ROOF FASCIA AND GUTTERS, PAINTED, TYP    | 16 SOLID WOOD FRONT DOOR, PAINTED                 |
| 05 PTD ALUM DOORS/WINDOWS WITH LOW-E COATING, TYP | 17 METAL GARAGE DOOR PAINTED TO MATCH 03          |
| 06 WEATHERED STEEL SITE WALL OR OPERABLE GATE     | 18 EXISTING CMU SITE WALL AT 840 S VIA LAS PALMAS |
| 07 WEATHERED STEEL FENCE                          | 19 CMU STACKED BOND SITE WALL                     |
| 08 PHOTOVOLTAIC ARRAY                             | 20 EXTERIOR CEMENT STUCCO ON OUTDOOR GRILL VENT   |
| 09 RAIN CHAIN                                     | 21 CONCRETE SITE/POOL WALL                        |
| 10 STEEL GRILLE, PAINTED                          | 22 EXTERIOR CEMENT STUCCO SITE WALL               |
| 11 STEEL TRELLIS, PAINTED                         | 23 OPERABLE EXTERIOR TRANSLUCENT GLASS SCREEN     |
| 12 EXTERIOR CEMENT STUCCO ON CHIMNEY              | 24 EXTERIOR CEMENT STUCCO, COLOR 3                |

NOTES:

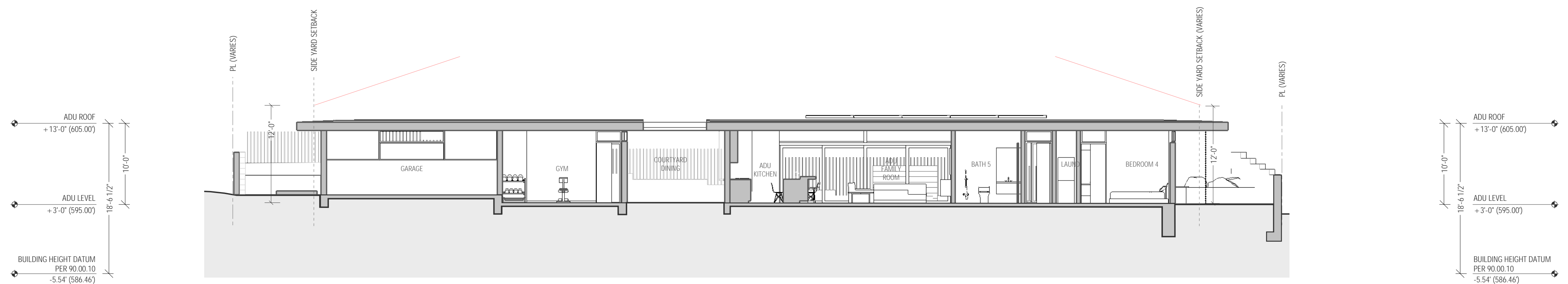
1. REFERENCE A1.0 SITE PLAN FOR SITE WALL HEIGHTS
2. SITE WALLS IN FOREGROUND SHOWN AS DASHED FOR CLARITY
3. REFERENCE A1.2 FOR CALCULATION OF BUILDING HEIGHT DATUM



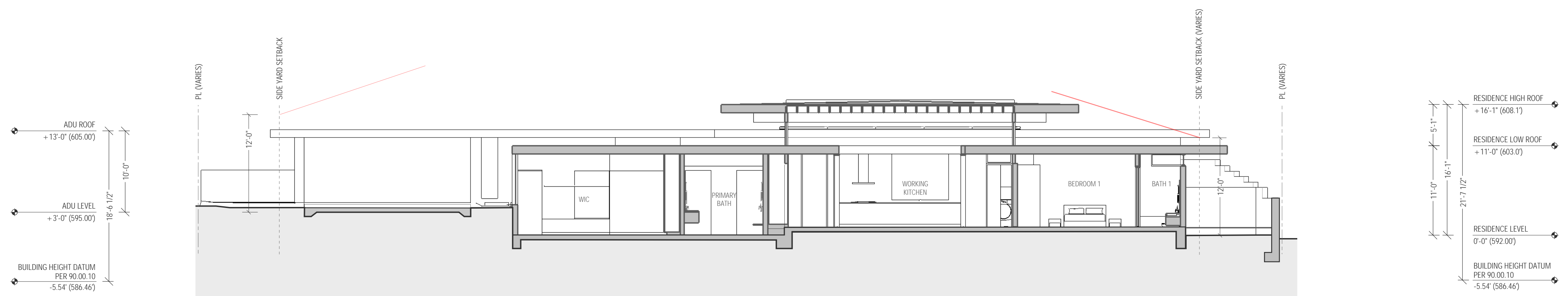
4 | SECTION THROUGH K / D / L



3 | SECTION THROUGH BEDROOMS / LIBRARY



2 | SECTION THROUGH GARAGE AND ADU

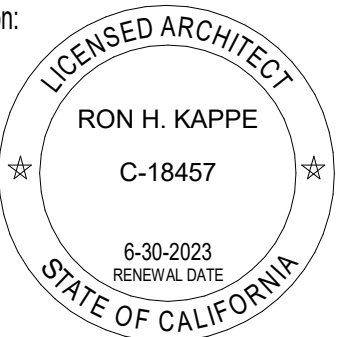


1 | SECTION THROUGH MBR MAIN SPACE AND LIBRARY

Project:  
850 VIA LAS PALMAS  
PALM SPRINGS, CA 92262

APN: 505082011

Registration:



Project No.: 21002

Drawn By: JK

Checked By: FK

MAJ REVIEW 06/24/2022

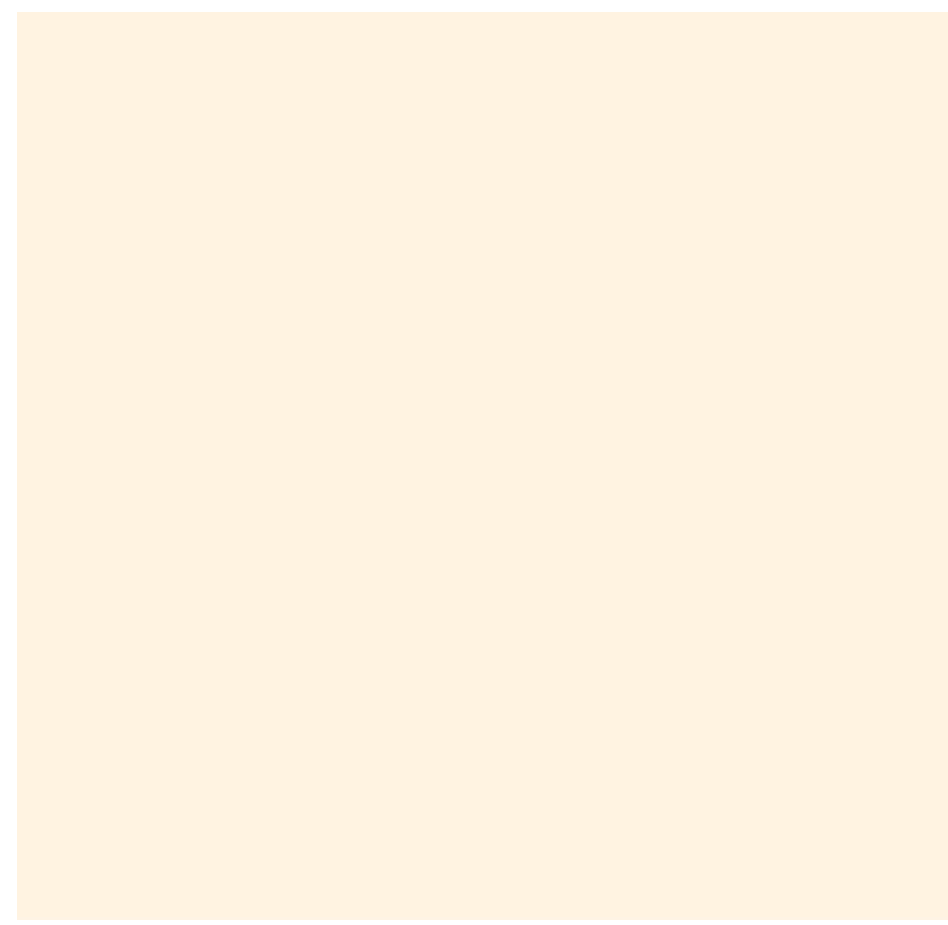
REV1 07/11/2022

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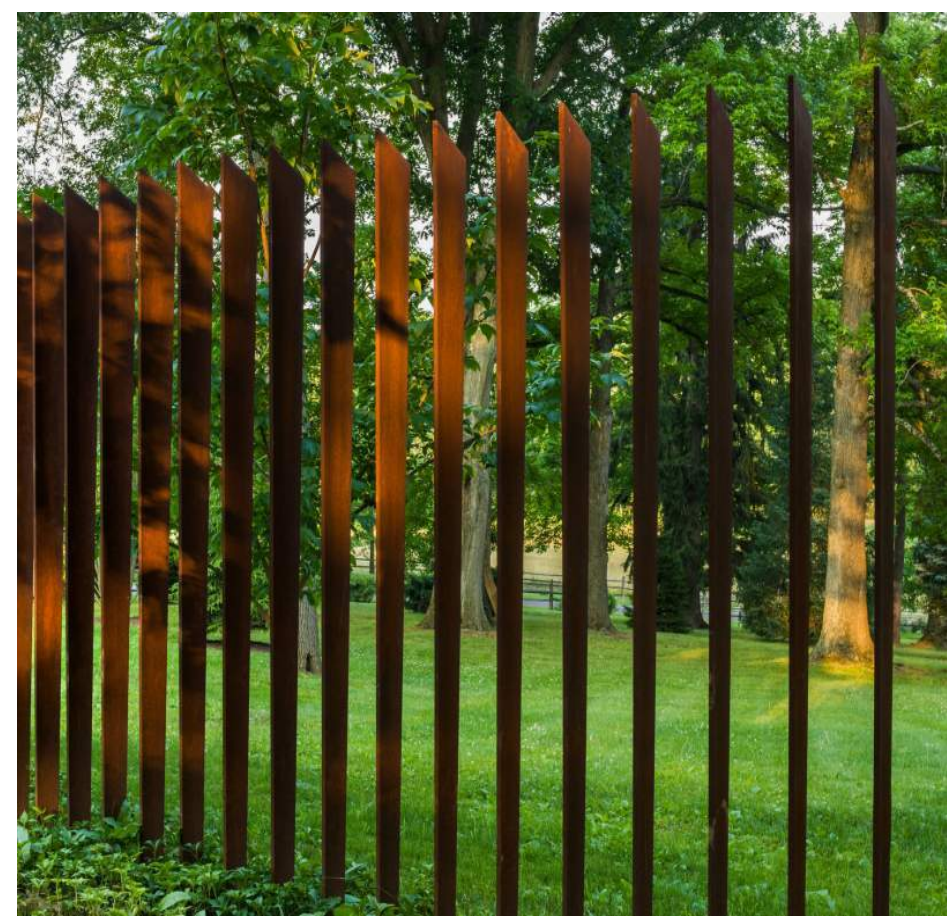
Sheet Title:  
BUILDING SECTIONS

Scale: 1/8" = 1'-0"

Sheet Number:



TPO MEMBRANE  
ROOFING MEMBRANE



WEATHERED STEEL  
SITE FENCING



FABRIC OR PERFORATED METAL  
POOL DECK SUNSHADE



PAINT COLOR:  
BENJAMIN MOORE  
MIDSUMMER NIGHT  
2134-20

PAINTED TUBE STEEL  
EXPOSED STRUCTURE AND TRELLIS MEMBERS



PAINT COLOR:  
BENJAMIN MOORE  
MIDSUMMER NIGHT  
2134-20

PAINTED METAL FASCIA  
ROOF EAVES AND GUTTERS



COLOR 3:  
LA HABRA PAREX  
TUXEDO 3033L (12)

COLOR 2:  
LA HABRA PAREX  
GRAY WHITE 3013L (61)



BOARD FORM CONCRETE  
POOL WALL



SMOOTH TROWELED PLASTER  
ENTRY ACCENT WALL



CLEAR INSULATED GLASS UNITS WITH LOW-E COATING  
EXTERIOR WALL



SMOOTH TROWELED PLASTER  
SELECTED ACCENT WALLS (GARAGE DOOR TO MATCH COLOR)



TRANSLUCENT GLASS  
EXTERIOR WALL



SMOOTH TROWELED PLASTER  
EXTERIOR WALLS AND SOME SITE WALLS



PAINTED BRONZE ANODIZED OR CUSTOM COLOR  
ALUMINUM WINDOW FRAMES AND TRELLIS MEMBERS



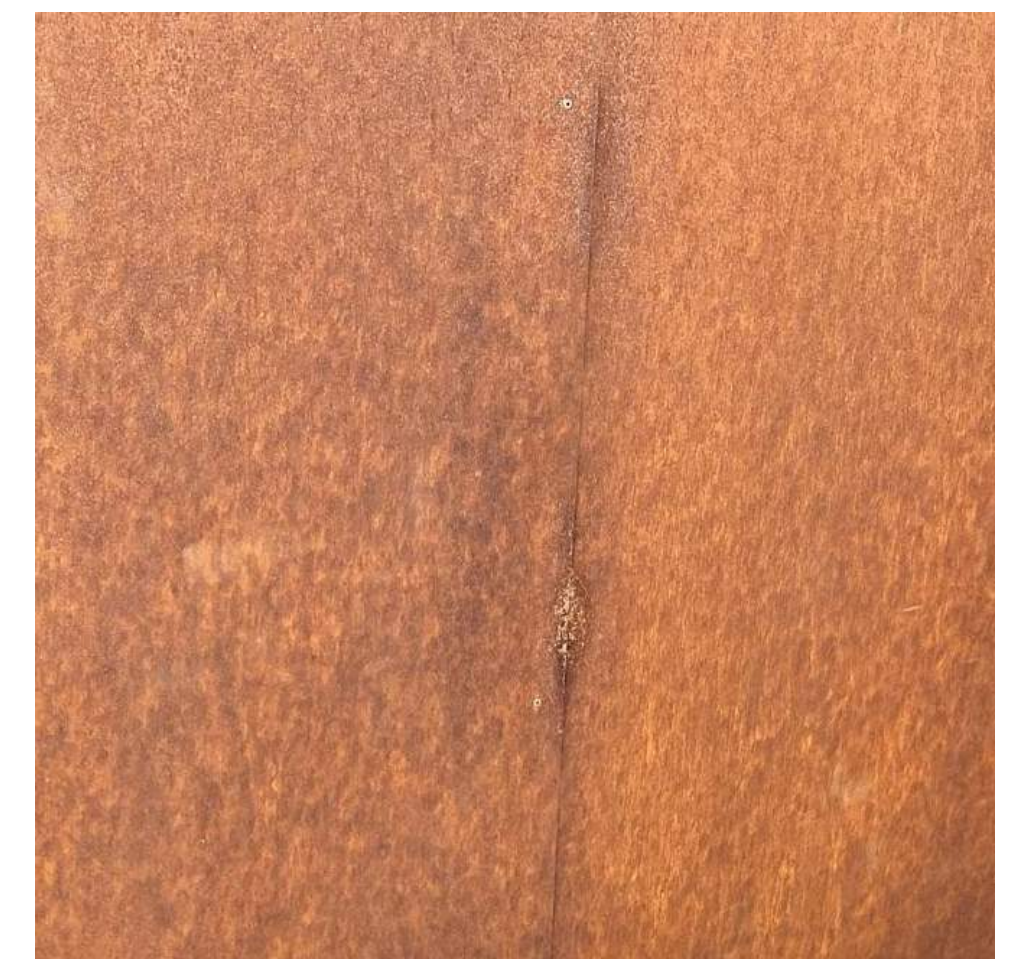
GRAVEL  
SITE GROUNDCOVER



CAST-IN-PLACE CONCRETE WITH EXPOSED AGGREGATE  
DRIVEWAY



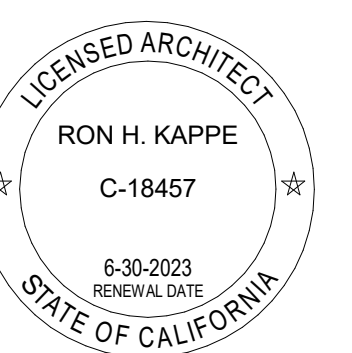
CAST-IN-PLACE CONCRETE  
EXTERIOR PAVERS; INTERIOR FLOOR FINISH



WEATHERED STEEL  
PERIMETER SITE FENCING AND GATES, PLANTERS

Project:  
850 VIA LAS PALMAS  
PALM SPRINGS, CA 92262  
APN: 505082011

Registration:



Project No.: 21002

Drawn By: JK

Checked By: FK

MAJ REVIEW 06/24/2022

REV1 07/11/2022

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Sheet Title:  
EXTERIOR COLORS AND MATERIALS

Scale:

Sheet Number:



VIEW 7 - NORTH



AERIAL VIEW LOOKING NORTH

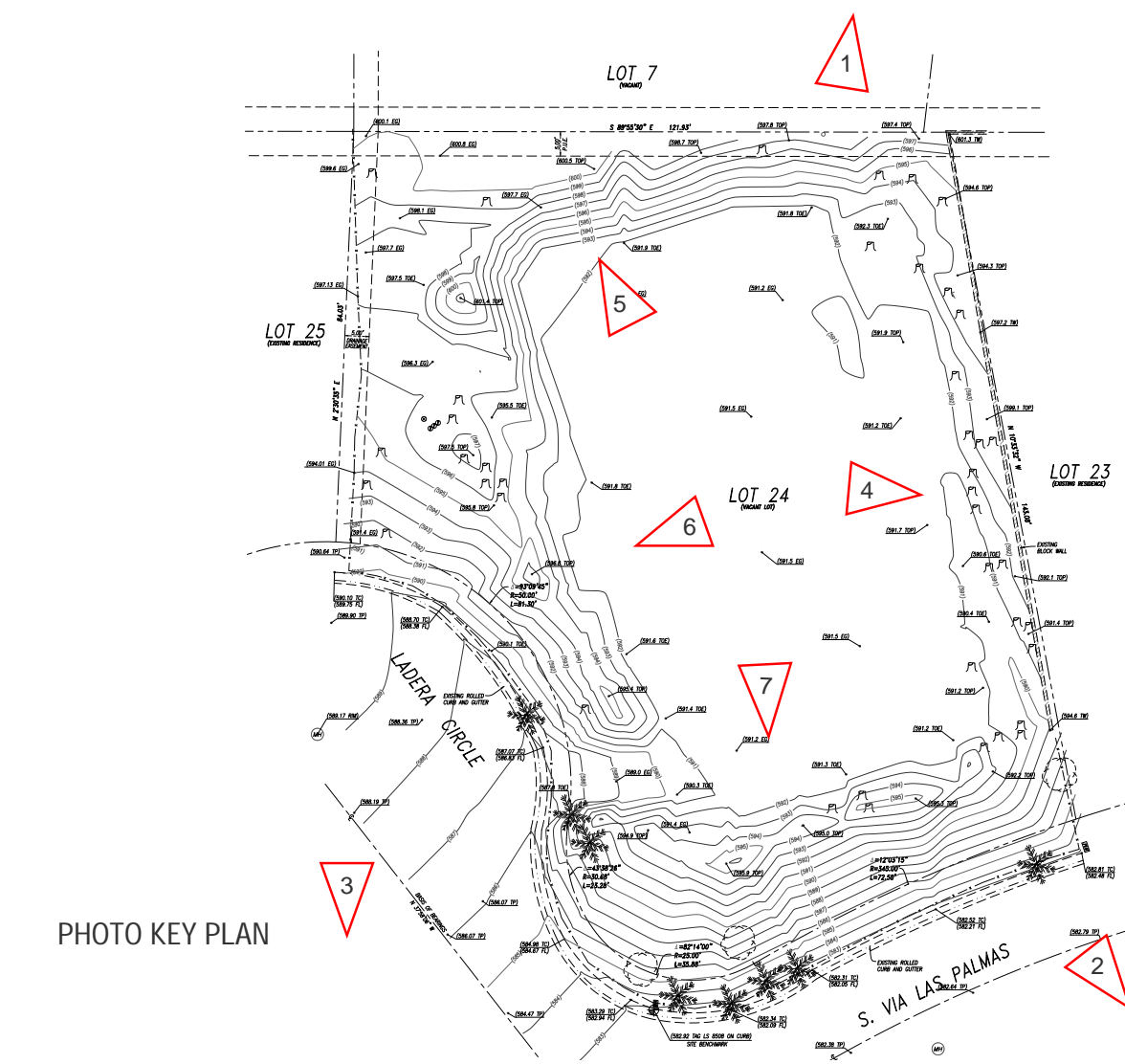


PHOTO KEY PLAN



VIEW 6 - EAST



VIEW 1 - VIEW ABOVE SITE FROM NORTH



VIEW 5 - SOUTH



VIEW 2 - STREET VIEW ON VIA LAS PALMAS LOOKING NORTHWEST



VIEW 4 - WEST



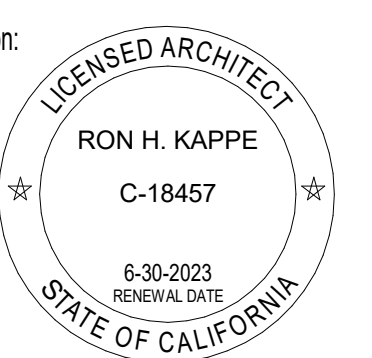
VIEW 3 - STREET VIEW ON LADERA CIRCLE LOOKING NORTH

SHAHBAZ / GLASER RESIDENCE

MICHAEL SHAHBAZ AND BRIAN GLASER  
325 W 13TH STREET UNIT 2  
NEW YORK, NEW YORK 10014

Project:  
850 VIA LAS PALMAS  
PALM SPRINGS, CA 92262  
APN: 505082011

Registration:



Project No.: 21002

Drawn By: JK

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MAJ REVIEW 06/24/2022 REV1 07/11/2022

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Sheet Title:  
SITE PHOTOS

Scale:

Sheet Number:



4 | PANORAMIC VIEW - PHOTO MATCHING STUDY WITH ROBERT ALEXANDER RESIDENCE



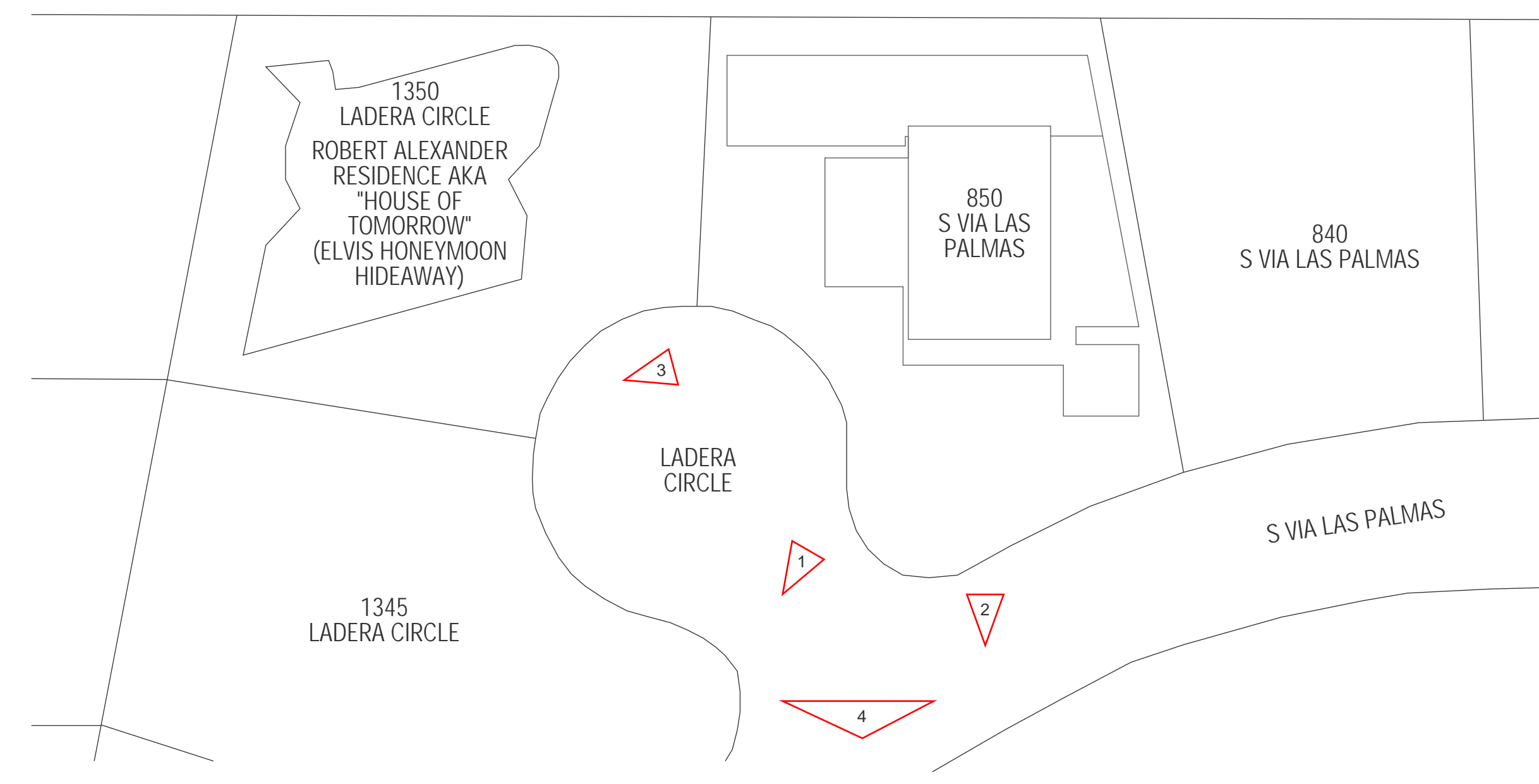
2 | EXTERIOR PERSPECTIVE VIEW



1 | EXTERIOR PERSPECTIVE VIEW



3 | EXTERIOR PERSPECTIVE VIEW



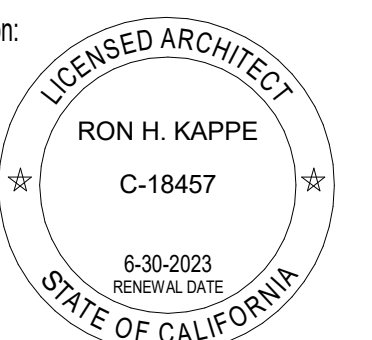
KEY PLAN

SHAHBAZ / GLASER RESIDENCE

MICHAEL SHAHBAZ AND BRIAN GLASER  
325 W 13TH STREET UNIT 2  
NEW YORK, NEW YORK 10014

Project:  
850 VIA LAS PALMAS  
PALM SPRINGS, CA 92262  
APN: 505082011

Registration:



Project No.: 21002  
Drawn By: JK  
Checked By: FK  
MAJ REVIEW 06/24/2022 REV1 07/11/2022

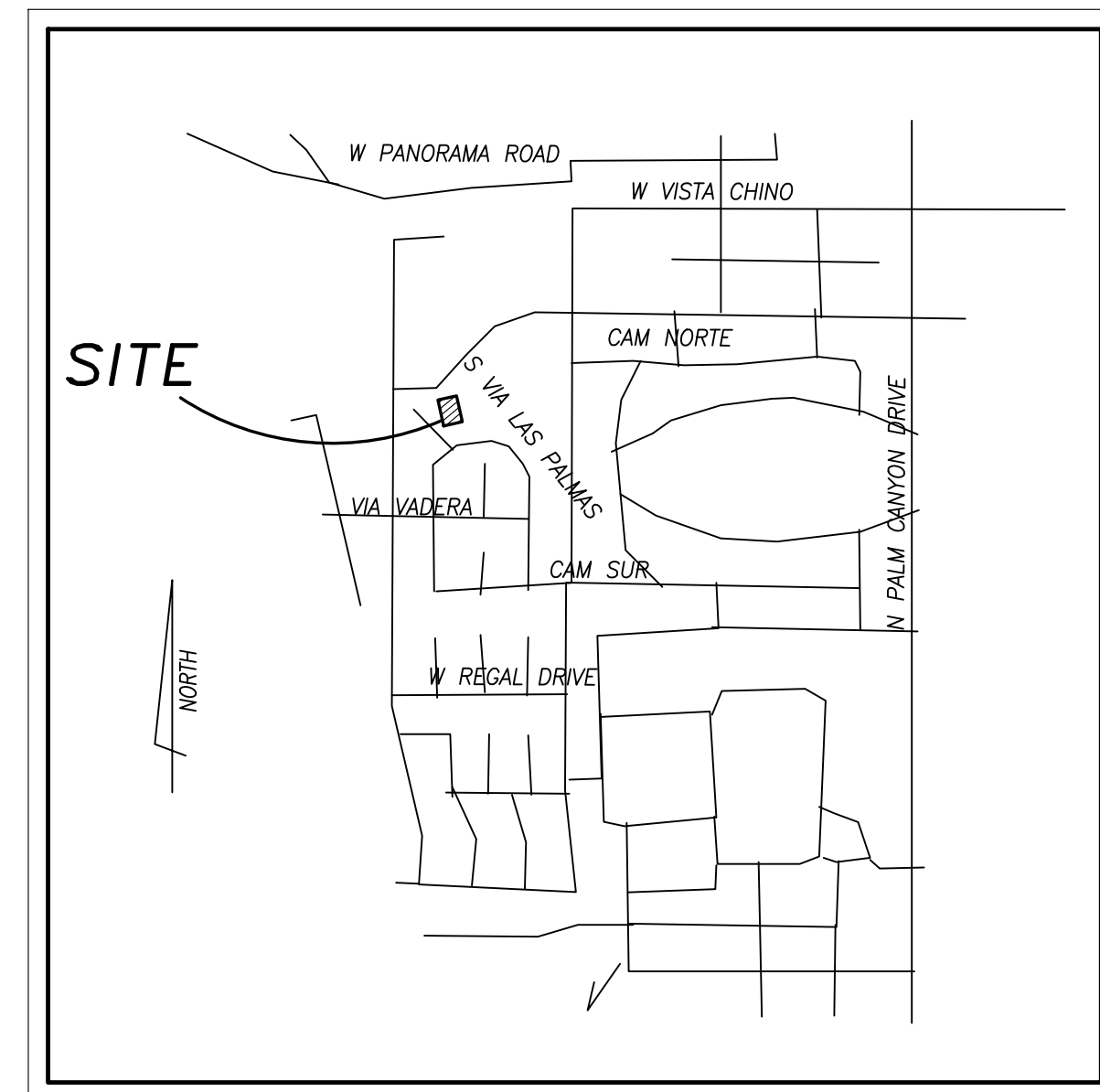
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Sheet Title:  
PERSPECTIVE VIEWS

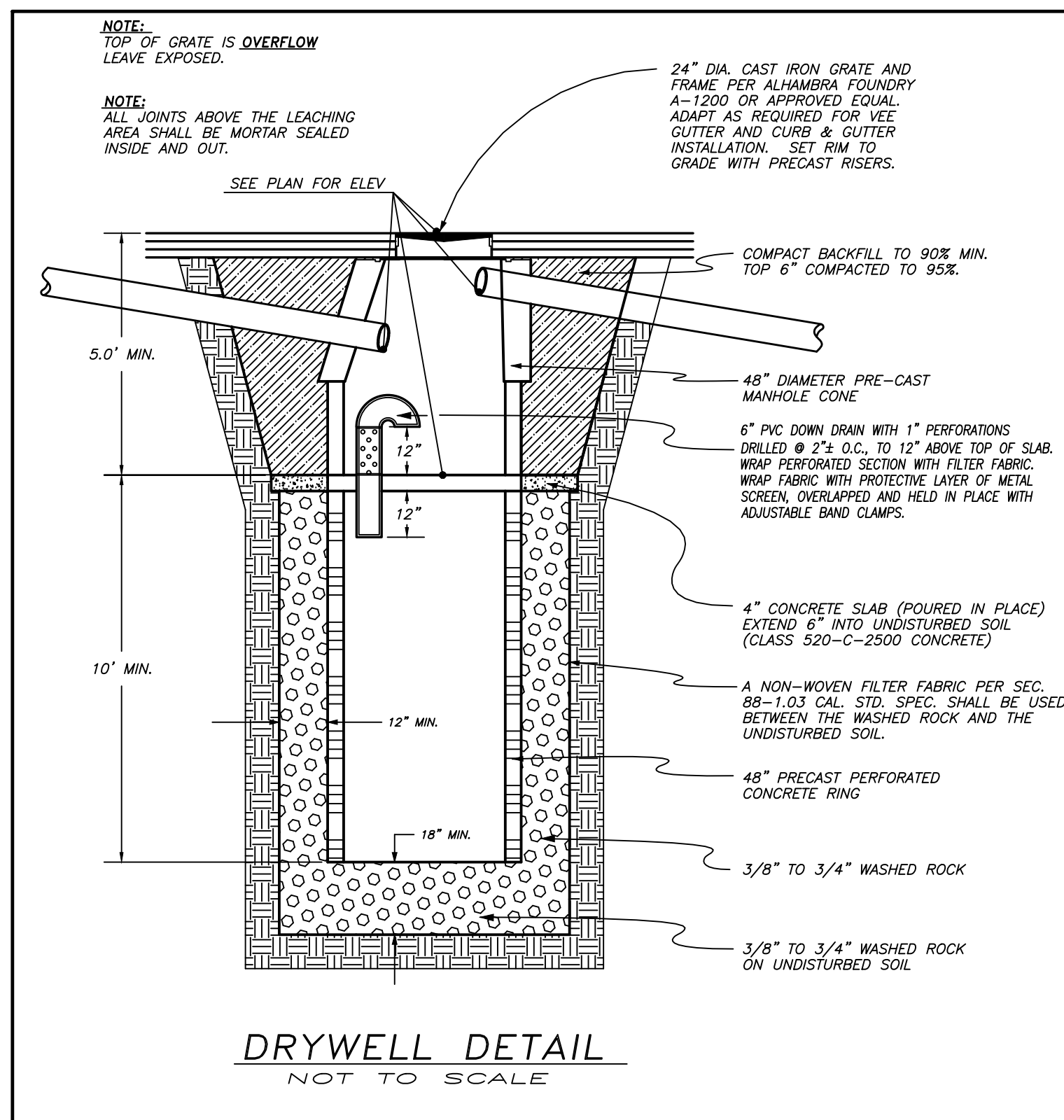
Scale:

Sheet Number:

In the City of Palm Springs  
**Preliminary Grading Plan**  
**850 S Las Palmas**



**VICINITY MAP**  
 NOT TO SCALE



**DRYWELL DETAIL**  
 NOT TO SCALE

**OWNER:**  
 MICHAEL SHAHBAZ  
 325 W 13TH STREET, UNIT 2  
 NEW YORK, NY 10014  
 (408) 425-6865  
 michael.shahbaz@gmail.com

**SITE ADDRESS:**  
 850 S LAS PALMAS,  
 PALM SPRINGS, CA. 92262

**LEGAL DESCRIPTION:**  
 Lot 82, Vista Las Palmas No.1, Per  
 MB 32/45

**BASIS OF BEARINGS:**  
 CENTERLINE OF LADERA CIRCLE AS  
 N 37°58'06" W, PER MB 32/45.

**BENCHMARK:**  
 CITY OF PALM SPRINGS #10-2  
 CHISELED BOX AT N.N.W. B.C.R., VIA MONTE VISTA AND  
 LAS PALMAS  
 ELEVATION = (562.813')

**SITE BENCHMARK:**  
 TAG LS 850B ON CURB IN FRONT OF LOT 24 ON  
 SOUTHERN CORNER.  
 (ELEVATION = 582.92')

**SITE BENCHMARK:**  
 INDICATES THE BENCHMARK AT THE SITE WHICH THE ENGINEER OF  
 RECORD SHALL USE TO CERTIFY PAD ELEVATION AND FINAL GRADING  
 CERTIFICATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF  
 RECORD OF ANY DISCREPANCIES BETWEEN THIS BENCHMARK AND THE  
 BENCHMARK USED BY THE CONTRACTOR PRIOR TO ANY GRADING.

**SOURCE OF TOPOGRAPHY:**  
 THE TOPOGRAPHY SHOWN HEREON WAS OBTAINED BY A  
 FIELD SURVEY BY FEIRO ENGINEERING, INC ON  
 5-31-2021 AND SURVEYED AGAIN ON 4-6-2022.

**NOTE:**  
 QUANTITIES ESTIMATE SHOWN IS FOR PERMIT PURPOSES  
 ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO  
 DETERMINE THE QUANTITIES FOR HIS BID AND PAYMENT  
 PURPOSES.

QUANTITIES ESTIMATE DOES NOT INCLUDE CLEARING,  
 SHRINKAGE, SUBSIDENCE, ANY OTHER LOSSES, OR ANY  
 GRADING OR EXCAVATION COVERED UNDER A SEPARATE  
 PERMIT.

**EARTHWORK QUANTITIES ESTIMATE:**  
 CUT = 350 CU YDS  
 FILL = 150 CU YDS  
 NET = 200 CU YDS [EXPORT]

EARTHWORK QUANTITIES DO NOT INCLUDE LOSSES DUE TO  
 SITE DEMOLITION, POOL, RETENTION, OR WALL FOOTINGS.

**PROJECT & PROPERTY INFORMATION**  
 OCCUPANCY GROUP: R-3/U  
 TYPE OF CONSTRUCTION: TYPE V-B

SCOPE OF WORK: A NEW RETAINING WALL ALONG THE  
 SOUTHERN PROPERTY LINE OF LOT 26 (SUBJECT  
 PROPERTY)

APPLICABLE CODES:  
 2019 CRC  
 2019 CPC  
 2019 CMC  
 2019 CEC  
 2019 CALIFORNIA ENERGY CODE  
 AND INCLUDING ALL LOCAL ORDINANCE AND STATE LAW  
 AS APPLICABLE AS IT RELATES TO THIS SCOPE OF  
 WORK ONLY.

**NOTE:**

UTILITIES SHOWN REFLECT AVAILABLE PUBLIC RECORDS. IT SHALL  
 BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND  
 PROTECT ALL UTILITIES IN THE CONSTRUCTION AREA, WHETHER  
 SHOWN OR NOT HERON, AND TO NOTIFY UNDERGROUND SERVICE  
 ALERT AT 1-800-422-4133, 48 HOURS IN ADVANCE.

**NOTE TO OWNER AND CONTRACTOR:**

IT IS THE OWNER'S RESPONSIBILITY TO SCHEDULE REGULAR MAINTENANCE OF THE DRAINAGE  
 SYSTEM, INCLUDING BUT NOT LIMITED TO AREA DRAINS, DRAIN LINES, DRYWELLS AND BUBBLER  
 BOXES.

CONTRACTOR SHALL RECOMMEND MAINTENANCE SCHEDULE TO OWNER BASED UPON INSTALLED  
 EQUIPMENT AND AS-BUILT CONDITIONS, ROOF DRAINS,

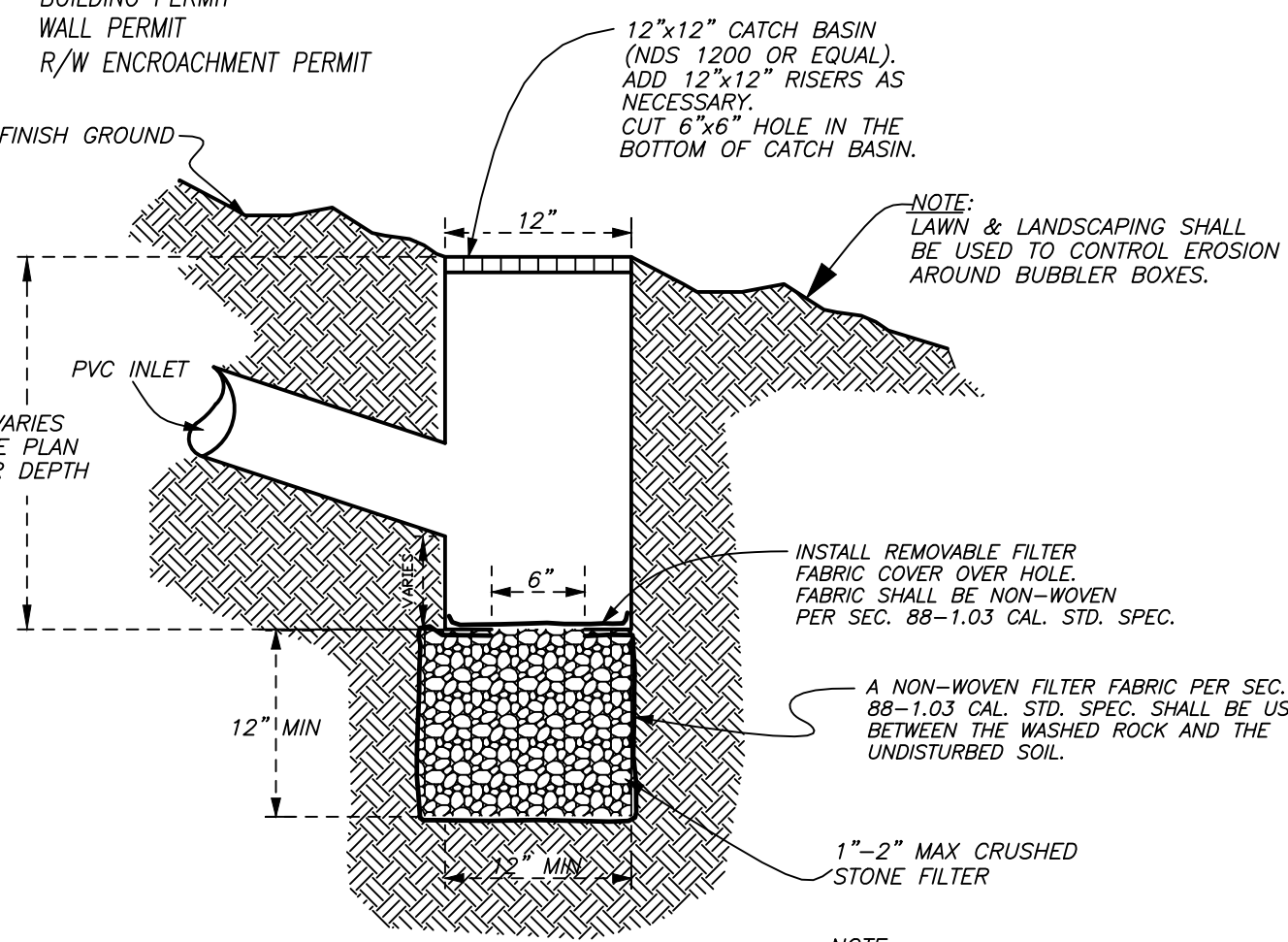
ENGINEER-OF-RECORD SHALL BE CONSULTED PRIOR TO ADDING ADDITIONAL DRAINAGE (ROOF  
 DRAINS, POT DRAINS, ETC) INTO THE SYSTEM SHOWN HEREON TO ENSURE ADEQUATE PIPE  
 SIZING.

**UTILITIES:**

ELECTRIC	SOUTHERN CALIFORNIA EDISON	(760) 202-4250	ATTN: AMBER WRIGHT
WATER	DESERT WATER AGENCY	(760) 323-4971x146	ATTN: DEBBIE RANDALL
SEWER	CITY OF PALM SPRINGS	(760) 323-8166x2	ATTN: GARY GRAY
CABLE TV	TIME WARNER CABLE	(760) 674-5952	ATTN: DALE SCRINER
TELEPHONE	VERIZON TELEPHONE COMPANY	(760) 778-3603	ATTN: LARRY MOORE
GAS	SOUTHERN CALIFORNIA GAS CO.	(800) 427-2200	
WATER	WHITWATER MUTUAL WATER CO.	(760) 323-4971x146	ATTN: DEBBIE RANDALL
	G/O DESERT WATER AGENCY		

**REQUIRED PERMITS:**

- DEMOLITION PERMIT
- GRADING PERMIT
- BUILDING PERMIT
- WALL PERMIT
- R/W ENCROACHMENT PERMIT

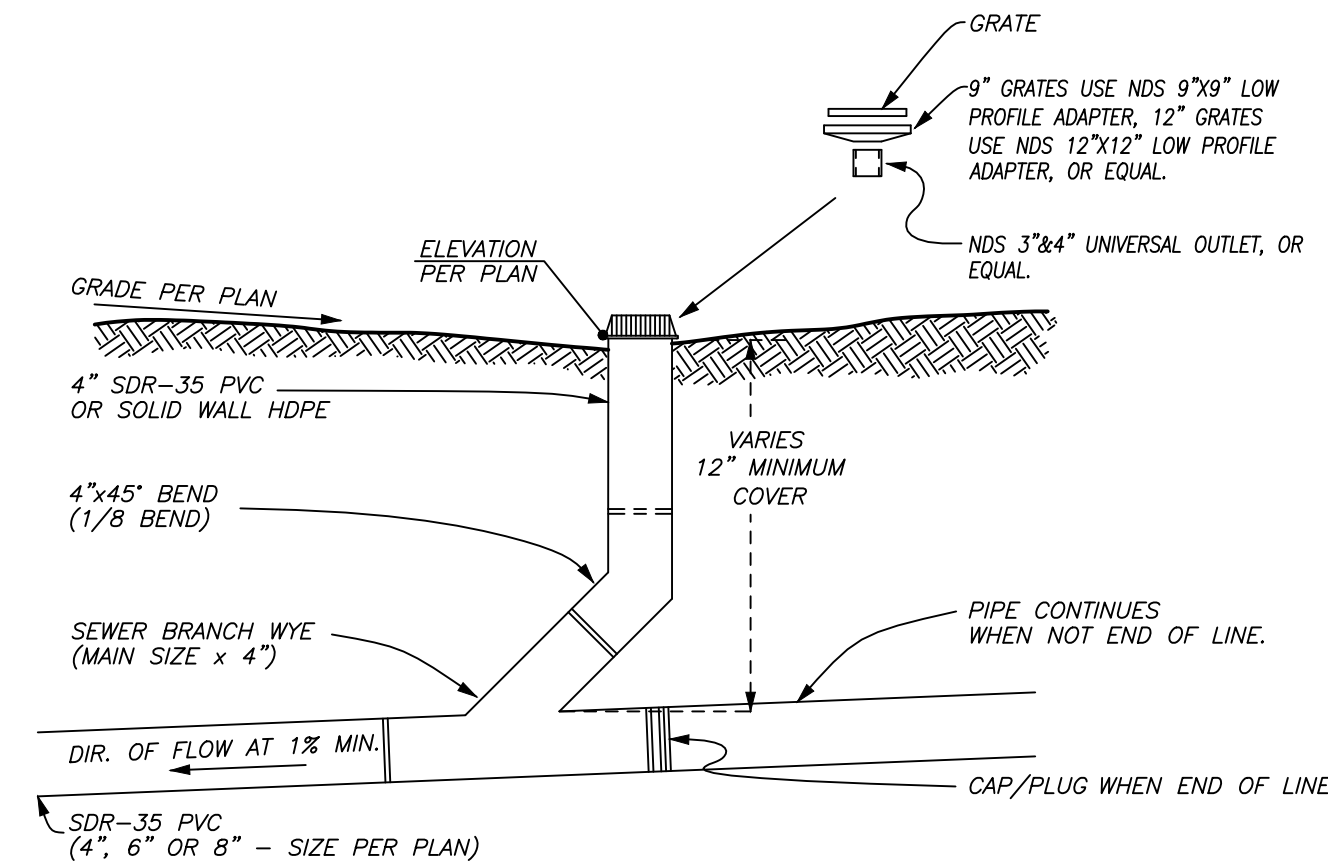


**BUBBLER BOX DETAIL**  
 SCALE: 1" = 1'

INDICATED ON PLAN:

**NOTE:**

GRATE SIZE SHALL BE DETERMINED FROM THESE PLANS (4" UNLESS OTHERWISE NOTED). GRATE STYLE, TYPE, COLOR AND/OR  
 FINISH SHALL BE DETERMINED BY THE OWNER OR LANDSCAPE ARCHITECT.



**DRAIN DETAIL**  
 SCALE: 1" = 1'

INDICATED ON PLAN:

**CITY OF PALM SPRINGS -- GRADING PLAN GENERAL NOTES:**

1. THE WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD DRAWINGS OF THE CITY OF PALM SPRINGS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2016 EDITION.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN EFFECTIVE MEANS OF DUST CONTROL WHICH SHALL INCLUDE PROVISIONS FOR ADEQUATE WATERING DURING THE GRADING PROCESS AND PROVISIONS FOR CONTINUANCE OF DUST CONTROL UNTIL THE GRADED SURFACE PRESENTS SUFFICIENT COVER AGAINST WIND OR WATER EROSION, SO THAT SPECIAL DUST CONTROL MEASURES ARE NO LONGER NECESSARY.
  3. NOTHING IN THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM OBTAINING PERMITS AS REQUIRED BY CHAPTER 14.16 OF THE CITY OF PALM SPRINGS MUNICIPAL CODE.
  4. THE CONTRACTOR SHALL SET AN APPOINTMENT FOR INSPECTION WITH THE ENGINEERING INSPECTOR A MINIMUM OF 24 HOURS PRIOR TO THE DATE OF INSPECTION.
  5. ALL GRADING SHALL COMPLY WITH SECTION 1804 AND APPENDIX J OF THE 2019 CALIFORNIA BUILDING CODE.
  6. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE TO BE SHOWN IN A SCHEMATIC MANNER ONLY. SUBJECT TO THE PROVISIONS OF SECTION 4215 OF THE CALIFORNIA GOVERNMENT CODE, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING THE WORK. CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-422-4133 TWO WORKING DAYS PRIOR TO ANY EXCAVATION.
  7. DIMENSIONING TO CURBS SHALL BE TO FACE OF CURB.
  8. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS OFF-SITE DAILY, UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER.
  9. CONTRACTOR SHALL REMOVE ANY ABANDONED UTILITY FACILITIES AND SHOW LIMITS OF REMOVALS ON THE RECORD DRAWINGS.
  10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, REPLACEMENT OR RELOCATION OF ALL REGULATORY, WARNING AND GUIDE SIGNS.
  11. A "RECORD DRAWING" (FORMERLY CALLED "AS-BUILT" DRAWING) OF THIS PLAN SHALL BE SUBMITTED BY THE PROJECT ENGINEER OF RECORD TO THE CITY ENGINEER, FOR APPROVAL PRIOR TO ACCEPTANCE OF THE WORK.
  12. CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE PROVIDED ON ALL PROJECTS AS REQUIRED BY CITY STANDARDS OR AS DIRECTED BY THE CITY ENGINEER. AS A MINIMUM, ALL CONSTRUCTION SIGNING, LIGHTING AND BARRICADING SHALL BE IN ACCORDANCE WITH PART 6 "TEMPORARY TRAFFIC CONTROL" OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, DATED JANUARY 13, 2012, OR SUBSEQUENT EDITIONS IN FORCE AT THE TIME OF CONSTRUCTION.
  13. THE FLOW LINE OF ALL CURB AND GUTTERS AND CROSS GUTTERS SHALL BE WATER TESTED BEFORE ACCEPTANCE OF THE WORK.
  14. PARKING STALLS SHALL BE CLEARLY DELINEATED WITH A 4 TO 6 INCH STRIPE "HARRPIN" OR ELONGATED "U" DESIGN OR OTHER APPROVED STRIPING OR STALL DELINEATION.
  15. FINAL SITE GRADING AND DRAINAGE FLOW LINES SHALL BE CERTIFIED, IN WRITING, BY THE ENGINEER OF RECORD TO BE IN CONFORMANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL INSPECTION.
  16. FOR PROJECTS IN EXCESS OF 1 ACRE, A NOTICE OF INTENT TO COMPLY WITH CALIFORNIA GENERAL CONSTRUCTION STORMWATER PERMIT (WATER QUALITY ORDER 2009-0009-DWQ AS MODIFIED SEPTEMBER 2, 2009, AS WELL AS A COPY OF THE EXECUTED LETTER ISSUING A WASTE DISCHARGE IDENTIFICATION (WDI) NUMBER, IS REQUIRED PRIOR TO ISSUANCE OF GRADING OR BUILDING PERMIT, VIA THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (PHONE NO. (760) 346-7491). A UPDATED COPY OF THE PROJECT-SPECIFIC STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST BE KEPT AT THE PROJECT SITE AT ALL TIMES.
  17. A CITY APPROVED FUGITIVE DUST (PM-10) CONTROL PLAN IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT. ALL DUST CONTROL MEASURES DESCRIBED IN AQMD RULE 403 (BEST AVAILABLE CONTROL MEASURES) AND IN THE CITY-APPROVED FUGITIVE DUST CONTROL PLAN SHALL BE IMPLEMENTED AT ALL TIMES. A WIND FENCE AND PROPER SIGNAGE, SHALL BE ERRECTED, INSPECTED AND APPROVED BY THE CITY'S DUST CONTROL INSPECTOR PRIOR TO INITIATION OF CLEARING, GRUBBING, GRADING OR IMPORT/EXPORT OF SOIL, OR FILL MATERIAL AT THE SITE. FAILURE TO CALL 760-323-8253, EXTENSION 8740 FOR INSPECTION 72 HOURS PRIOR TO INITIATING WORK WILL RESULT IN ISSUANCE OF CITATION BY THE CITY.
  18. THE BLOCK WALLS, RETAINING WALLS, AND OTHER STRUCTURES SHOWN ON THE GRADING PLAN ARE FOR LOCATION PURPOSES ONLY. SEPARATE PERMITS FOR THE ABOVE ARE REQUIRED FROM THE BUILDING DEPARTMENT.
  19. A GEOTECHNICAL INVESTIGATION REPORT WAS PREPARED FOR THE PROJECT BY SLADDEN ENGINEERING DATED APRIL 12, 2021; PROJECT NO. 544-21078, REPORT NO. 21-04-214, AS "PROPOSED RESIDENTIAL ADDITION/RENOVATION, 1345 LADERA CIRCLE, PALM SPRINGS, CA". IN ADDITION, AN ADDENDUM WAS PREPARED FOR THE PROJECT BY SLADDEN ENGINEERING DATED SEPTEMBER 7, 2021; PROJECT NO. 544-21238, REPORT NO. 21-09-580, AS "PROPOSED RESIDENTIAL ADDITION/RENOVATION, 1345 LADERA CIRCLE, PALM SPRINGS, CA"
- STREET PAVEMENT**
20. THE ASPHALT CONCRETE DESIGN SHALL MEET THE CITY OF PALM SPRINGS STD. DWG. NO 110 AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2016 EDITION; USE TYPE B FOR THE BASE LIFT AND TYPE C2 FOR THE FINAL 1" CAP. THE DESIGN SHALL HAVE A HVEEM STABILITY OF 35 AND 33 RESPECTIVELY PER THE CALIFORNIA TEST METHOD 304 AND 366. PERFORMANCE GRADE ASPHALT (PG 70-10) MEETING THE 2010 CALTRANS STANDARD SPECIFICATIONS SHALL BE USED. THE SPECIFIED MISCELLANEOUS BASE SHALL BE CRUSHED MISCELLANEOUS BASE ACCORDING TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2012 EDITION.
- TRENCH PAVEMENT**
21. STREET CUTS SHALL BE PAVED WITH TEMPORARY A.C. PAVING IMMEDIATELY. MAJOR AND SECONDARY THOROUGHFARES SHALL BE PERMANENTLY PAVED WITHIN 15 DAYS OF THE INITIAL EXCAVATION (30 DAYS ON COLLECTOR AND RESIDENTIAL STREETS) PER CITY OF PALM SPRINGS STD. DWG. NO. 115. SEE ORDINANCE NO. 14.16.375.
  22. TRENCHES SHALL BE COMPLETELY BACKFILLED AND COMPACTED TO SUPPORT TRAFFIC AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL PLACE PERMANENT PAVEMENT THROUGH INTERSECTIONS AT THE END OF EACH WORK DAY. NO TRENCH EXCAVATION OR PIPE LAYING ON FRIDAYS, WEEKENDS OR HOLIDAYS WILL BE PERMITTED ON MAJOR AND SECONDARY THOROUGHFARES OR COLLECTOR STREETS WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER. CONTRACTOR SHALL PLACE PERMANENT PAVING EACH FRIDAY.
  23. IF, IN THE OPINION OF THE CITY ENGINEER, THE TRENCH BACKFILL IS UNSAFE TO TRAFFIC, THE CONTRACTOR SHALL PLACE PERMANENT PAVING AT THE END OF EACH WORK DAY.
  24. STEEL TRENCH PLATING SHALL CONFORM TO THE CALTRANS ENCROACHMENT PERMIT MANUAL SECTION 602.1 AS REVISED JULY, 2009.
  25. THE SPECIFIED MISCELLANEOUS BASE SHALL BE CRUSHED MISCELLANEOUS BASE ACCORDING TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2016 EDITION.

NO.	AS-BUILT	CORRECTED BY	APPROVED BY
NO.	REVISION	APPROVED	DATE

BENCH MARK NO. <b>BM 10-2</b> ELEV. <b>562.813'</b>		DESIGN BY <b>RKF</b>	PREPARED UNDER THE DIRECT SUPERVISION OF	CITY CHECK	RIGHT OF WAY	REVIEWED BY	APPROVED BY:	CITY OF PALM SPRINGS, CALIFORNIA	FILE NO. <b>E-XXXX</b>	SHEET <b>1</b>
LOCATION: CHISELED BOX AT N.N.W. B.C.R., VIA MONTE VISTA AND LAS PALMAS		DRAWN BY <b>JR</b>	SIGNATURE RONALD K. FEIRO	C52260 R.C.E. NO.	TRAFFIC	JOHN M. BRUDIN	JOEL MONTALVO	PRELIMINARY GRADING PLAN 850 S Las Palmas	DRAWING NO. C1.1	OF <b>2</b>
DATE		CHECKED BY <b>RKF</b>	DATE	DATE	OFFICE ENGINEER	DATE	DATE	Lot 82, Vista Las Palmas No.1, Per MB 32/45; APN 505-082-011		SHEETS

**FEIRO ENGINEERING, INC.**  
 Civil Engineering Land Surveying  
 P.O. Box 12980 Palm Desert, California 92255  
 (760) 346-8015  
 www.feiro.net  
 For: **Shahbaz Residence**  
 SHEET NO. 2  
 DWG FILE: 339n1p001  
 PROJECT: PGPD1  
 JOB NUMBER: 339-01






PLANTING PLAN KEY		
BOTANICAL NAME	COMMON NAME	QTY/SIZE
<b>EXISTING TREES</b>		
WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	8-EXISTING
<b>PROPOSED TREES</b>		
ACACIA ANEURA	MULGA	5-36" BOX
ACACIA WILLARDIANA	PALO BLANCO	3-36" BOX
ACER PALMATUM 'SANGO KAKU'	CORAL BARK JAPANESE MAPLE	1-24" BOX
ALOE TONGAENSIS 'MEDUSA'	MOZAMBIQUE TREE ALOE	5-25 GALLON
CERCIDIUM X 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	2-48" BOX
CITRUS	ORANGE, LEMON, LIME, KUMQUAT	5-25 GALLON
FICUS MICROCARPA NITIDA	LAUREL FIG	3-24" BOX
OLEA EUROPA 'MONTRA'	LITTLE OLLIE DWARF OLIVE	16-24" BOX
OLEA EUROPEA 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY OLIVE	4-48" BOX
PLUMERIA RUBRA	DWARF SINGAPORE PINK PLUMERIA	4-24" BOX
WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	7-24" BOX
<b>SHRUBS</b>		
AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	29-5 GALLON
AGAVE DESERTII	DESERT AGAVE	15-5 GALLON
AGAVE DESMETTIANA 'QUICKSILVER'	QUICKSILVER SMOOTH AGAVE	6-5 GALLON
AGAVE DESMETTIANA 'VARIEGATA'	VARIEGATED SMOOTH AGAVE	3-5 GALLON
AGAVE GEMINIFLORA	TWIN-FLOWERED AGAVE	3-5 GALLON
AGAVE PARRYI VAR. TRUNCATA	ARTICHOKE AGAVE	18-5 GALLON
AGAVE VILMOIRAINA	OCTOPUS AGAVE	2-15 GALLON
AGAVE WEBERI	WEBER'S AGAVE	1-15 GALLON
ARTEMISIA 'POWIS CASTLE'	POWIS CASTLE ARTEMISIA	14-5 GALLON
CAREX DIVULSA	EUROPEAN GREY SEDGE	39-1 GALLON
DASYLIRION QUADREANGULATUM	MEXICAN GRASS TREE	18-5 GALLON
DICHONDRA ARGENTEA 'SILVER FALLS'	SILVER FALLS DICHONDRA	16-5 GALLON
ECHEVERIA 'AFTERGLOW'	AFTERGLOW HEN AND CHICKS	5-1 GALLON
ECHEVERIA 'PERLE VON NURNBERG'	PERLE VON NURNBERG HEN AND CHICKS	10-1 GALLON
EUPHORBIA CHARACIAS SSP. WULFENII	LARGE MEDITERRANEAN SPURGE	6-5 GALLON
EUPHORBIA MYRSINITES	MYRTLE SPURGE	6-5 GALLON
FOUQUIERIA SPLENDENS	OCOTILLO	10-15 GALLON
JASMINUM NITIDUM	ANGEL WING JASMINE	8-5 GALLON
JUSTICIA CALIFORNICA	CHUPAROSA	22-5 GALLON
MUHLBERGIA CAPILLARIS	PINK MUHLY	70-5 GALLON
SPHAERALCEA AMBIGUA	DESERT MALLOW	18-5 GALLON
WISTERIA BRACHYBOTRYS	'IKO YAMA FLUJ' WISTERIA	1-15 GALLON
YUCCA ROSTRATA 'BLUE VELVET'	BLUE VELVET BEAKED YUCCA	5-5 GALLON
<b>VINES</b>		
BOUGAINVILLEA 'CALIFORNIA GOLD'	CALIFORNIA GOLD BOUGAINVILLEA	6-5 GALLON
FICUS PUMILA	CREeping FIG VINE	3-5 GALLON
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5-5 GALLON
<b>GROUND COVER</b>		
TURFGRASS	TURFGRASS	
GRAVEL	GRAVEL	
BOULDERS	BOULDERS	

**KAPPE ARCHITECTS**  
 801 D STREET SAN RAFAEL CA 94901  
 TEL: 415.457.7801

**SHAHBAZ / GLASER RESIDENCE**  
 MICHAEL SHAHBAZ AND BRIAN GLASER  
 325 W 13TH STREET UNIT 2  
 NEW YORK, NEW YORK 10014

Project:  
**850 VIA LAS PALMAS**  
**PALM SPRINGS, CA 92262**  
 APN: 505082011  
 Registration:  


Project No: **21002**  
 Drawn By: **JK**  
 Checked By: **FK**  
 MAJ REVIEW 06/24/2022 REV1 07/11/2022  
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Sheet Title:  
**LANDSCAPE AND PLANTING PLAN**  
 Scale:  
 Sheet Number:  
L1.1



FRONT & PRIVATE ENTRY PLANTS



OLEA EUROPEA 'MAJESTIC BEAUTY'  
MAJESTIC BEAUTY OLIVE



MUHLENBERGIA CAPILLARIS  
PINK MUHLY



YUCCA ROSTRATA  
BEAKED YUCCA



AGAVE 'BLUE FLAME'  
BLUE FLAME AGAVE



AGAVE PARRYI  
PARRY'S AGAVE



ACER PALMATUM 'SANGO KAKU'  
CORAL BARK JAPANESE MAPLE



JASMINUM NITIDUM  
ANGELWING JASMINE

BACK COURTYARD



CERCIDIUM X 'DESERT MUSEUM'  
DESERT MUSEUM PALO VERDE



ALOE TONGAENSIS 'MEDUSA'  
MOZAMBIQUE TREE ALOE



BOUGAINVILLEA 'CALIFORNIA GOLD'  
CALIFORNIA GOLD BOUGAINVILLEA



AGAVE 'BLUE FLAME'  
BLUE FLAME AGAVE



PLUMERIA RUBRA 'DWARF SINGAPORE PINK'  
DWARF SINGAPORE PINK PLUMERIA



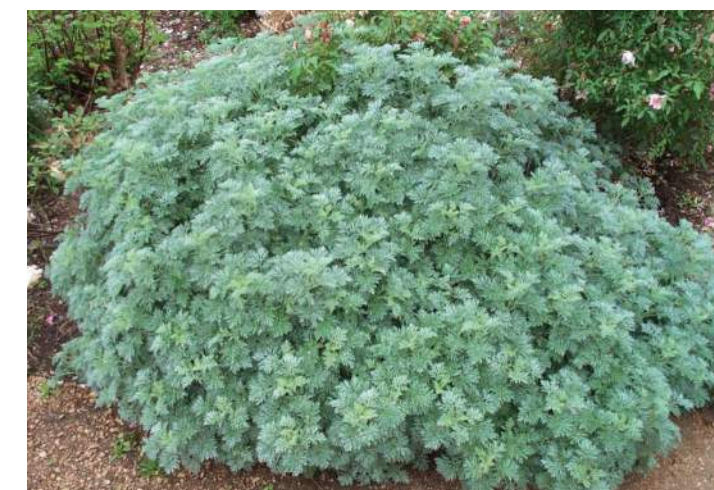
EUPHORBIA CHARACIAS  
LARGE MEDITERRANEAN SPURGE



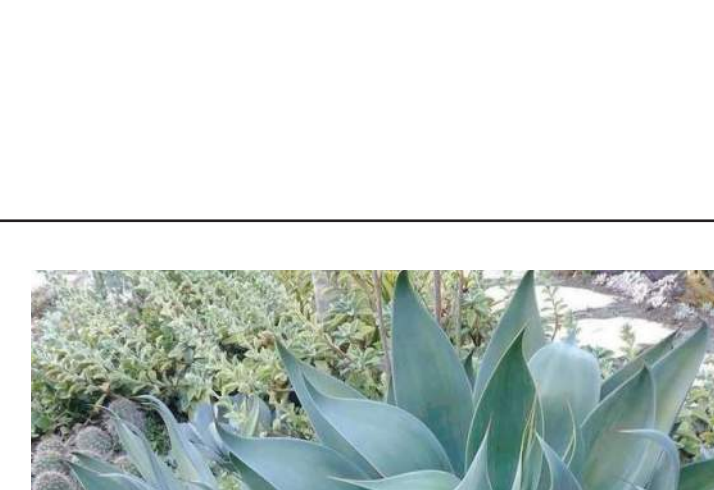
YUCCA ROSTRATA  
BEAKED YUCCA



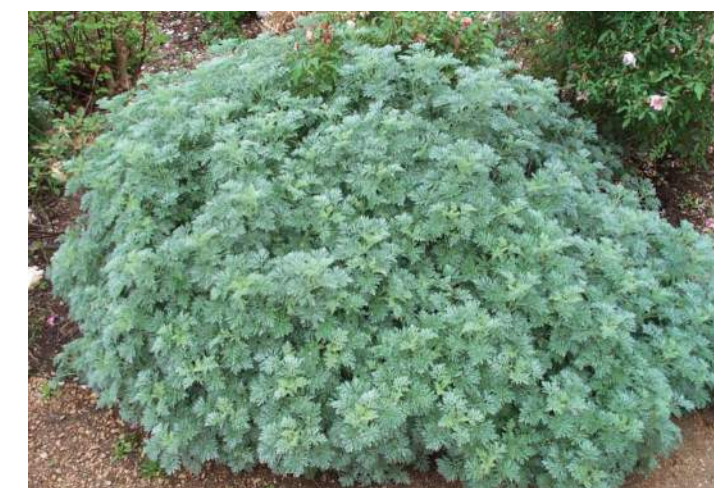
AGAVE 'BLUE FLAME'  
BLUE FLAME AGAVE



ARTEMISIA CALIFORNICA 'POWIS CASTLE'  
POWIS CASTLE ARTEMISIA



AGAVE 'BLUE FLAME'  
BLUE FLAME AGAVE



ARTEMISIA CALIFORNICA 'POWIS CASTLE'  
POWIS CASTLE ARTEMISIA



TRACHELOSPERMUM JASMINOIDES  
STAR JASMINE



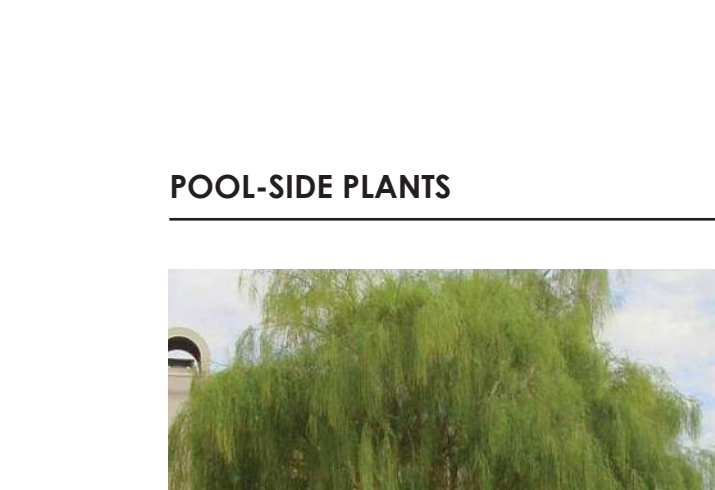
ACACIA WILLARDIANA  
PALO BLANCO



AGAVE DESMETTIANA VARIEGATA  
VARIEGATED SMOOTH AGAVE



CAREX DIVULSA  
BERKELEY GREY SEDGE



OLEA 'LITTLE OLLIE'  
LITTLE OLLIE DWARF OLIVE



WISTERIA BRACHYBOTRYS 'IKO YAMA FUJI'  
IKO YAMA FUJI SILKY WISTERIA

STREET FRONT PLANTS



WASHINGTONIA ROBUSTA  
MEXICAN FAN PALM



FICUS NITIDA  
FICUS



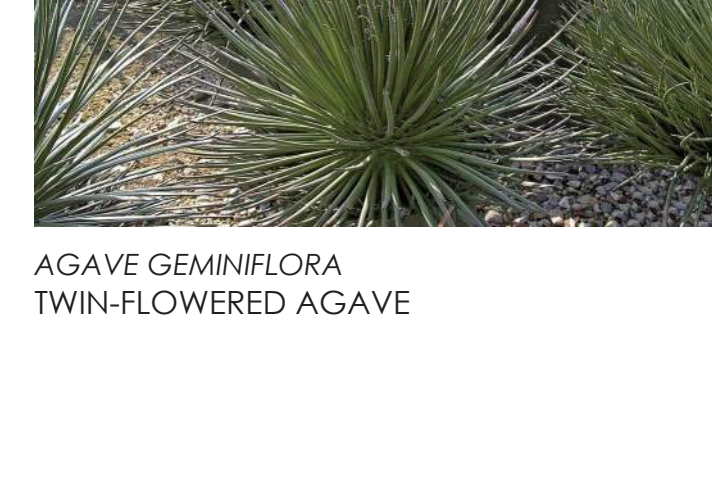
DASYLIIRION QUADREANGULATUM  
MEXICAN GRASS TREE



AGAVE WEBERII  
WEBER'S AGAVE



AGAVE VILMORINIANA  
OCTOPUS AGAVE



AGAVE GEMINIFLORA  
TWIN-FLOWERED AGAVE



ACACIA ANEURA  
MULGA



JUSTICIA CALIFORNICA  
CHUPAROSA



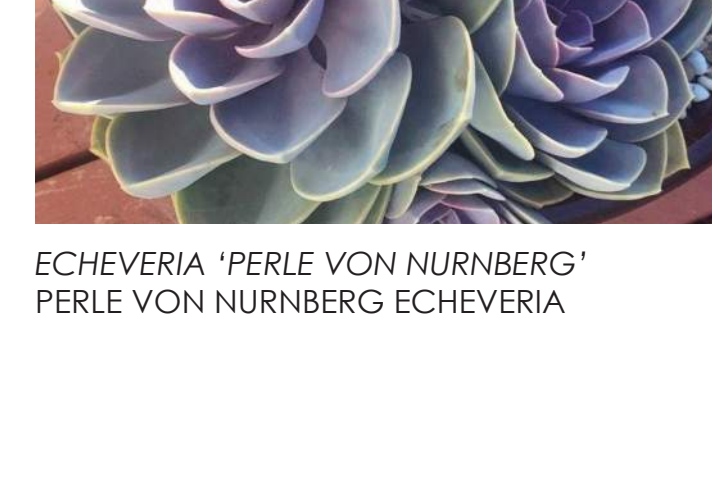
SPHAERALCEA AMBIGUA  
APRICOT MALLOW



AGAVE DESMETTIANA 'QUICKSILVER'  
QUICKSILVER SMOOTH AGAVE



ECHEVERIA 'AFTERGLOW'  
AFTERGLOW ECHEVERIA



ECHEVERIA 'PERLE VON NURNBERG'  
PERLE VON NURNBERG ECHEVERIA



FOUQUIERIA SPLENDENS  
OCOTILLO



AGAVE PARRYI  
PARRY'S AGAVE



AGAVE DESERTII  
DESERT AGAVE



AGAVE PARRYI  
PARRY'S AGAVE



EUPHORBIA MYRSINITES  
CREEPING SPURGE



DICHONDRA ARGENTEA 'SILVER FALLS'  
SILVER FALLS DICONDRA

BEDROOM COURTYARDS



ACACIA WILLARDIANA  
PALO BLANCO



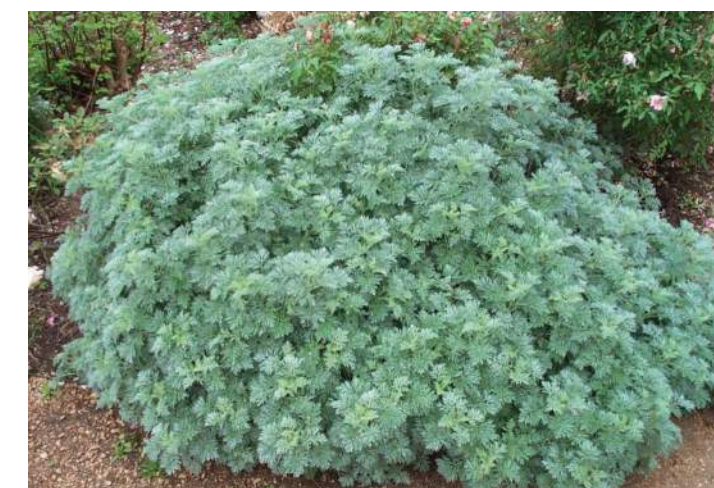
PLUMERIA RUBRA 'DWARF SINGAPORE PINK'  
DWARF SINGAPORE PINK PLUMERIA



EUPHORBIA CHARACIAS  
LARGE MEDITERRANEAN SPURGE



AGAVE 'BLUE FLAME'  
BLUE FLAME AGAVE



ARTEMISIA CALIFORNICA 'POWIS CASTLE'  
POWIS CASTLE ARTEMISIA



TRACHELOSPERMUM JASMINOIDES  
STAR JASMINE

POOL-SIDE PLANTS



ACACIA WILLARDIANA  
PALO BLANCO



OLEA 'LITTLE OLLIE'  
LITTLE OLLIE DWARF OLIVE



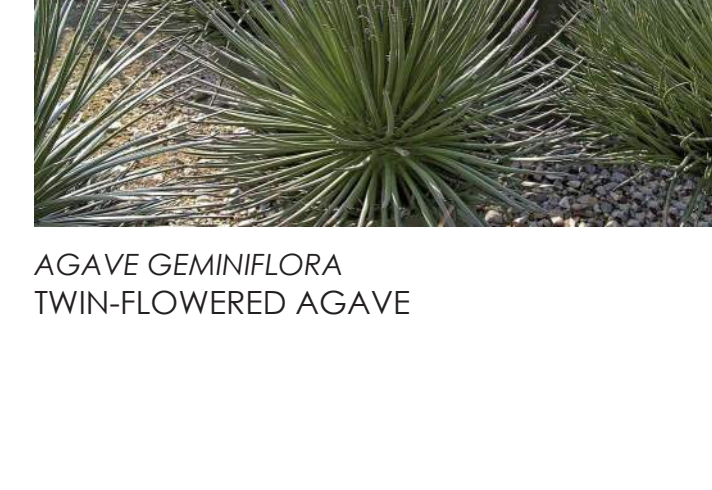
WISTERIA BRACHYBOTRYS 'IKO YAMA FUJI'  
IKO YAMA FUJI SILKY WISTERIA



AGAVE WEBERII  
WEBER'S AGAVE



AGAVE VILMORINIANA  
OCTOPUS AGAVE



AGAVE GEMINIFLORA  
TWIN-FLOWERED AGAVE

KAPPE ARCHITECTS

801 D STREET SAN RAFAEL CA 94901  
TEL: 415.457.7801

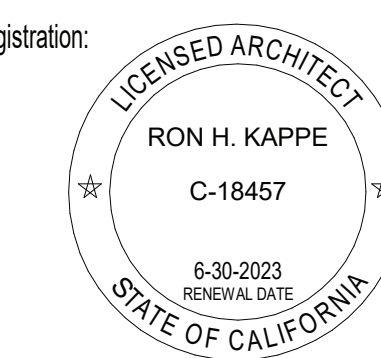
SHAHBAZ / GLASER RESIDENCE

MICHAEL SHAHBAZ AND BRIAN GLASER  
325 W 43TH STREET UNIT 2  
NEW YORK, NEW YORK 10014

Project:  
850 VIA LAS PALMAS  
PALM SPRINGS, CA 92262

APN: 505082011

Registration:



Project No.: 21002  
Drawn By: JK  
Checked By: FK  
MAJ REVIEW 06/24/2022 REV 07/11/2022

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Sheet Title:  
LANDSCAPE PLANT PALETTE

Sheet Number:

L1.1A