



# ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: JULY 18, 2022 NEW BUSINESS

SUBJECT: REQUEST BY RICHARD MEANEY (OWNER), FOR A MAJOR ARCHITECTURAL APPLICATION TO CONSTRUCT A 4,000-SQUARE-FOOT SINGLE-FAMILY RESIDENCE ON A HILLSIDE LOT LOCATED ON LOT 64, 2085 DESERT FLOWER COURT (APN: 504-400-008), ZONE ESA-SP, SECTION 4 (CASE 3.4328 MAJ). (GM)

FROM: Development Services Department – Planning Division

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## PROJECT DESCRIPTION:

This is a request for approval of a Major Architectural (MAJ) application for the construction of a new 4,000-square-foot single-family residence on a 21,109-square-foot site within the Desert Palisades Specific Plan area. The Desert Palisades Specific Plan was adopted by the City Council on January 5, 2011 (Case 5.1154 SP). This project is required to be evaluated for consistency against the following guidelines and standards:

- Section 93.13.00 of the Zoning Code (Hillside Development).
- Section 94.04 of the Zoning Code (Architectural Review).
- Section III “Development Standards” (page 58), Section V “Architecture & Site Design Guidelines” (page 70), and Section VI “Landscaping Guidelines of the DPSP” (page 96) of the Desert Palisades Specific Plan
- Section 92.21.1.05 of the Zoning Code (Design Guidelines for the ESA-SP zone) including mandatory standards in Part “D” and findings outlined in Part “I”.
- Section 94.06.01(B)(3) of the Zoning Code (Administrative Minor Modification)

## RECOMMENDATION:

That the Architectural Review Committee approve the Major Architectural Application subject to the attached conditions.

## BACKGROUND INFORMATION:

<i>Related Relevant City Actions</i>	
01/05/2011	The City Council approved the Desert Palisades Specific Plan and certified the Final Environmental Impact Report (EIR) for the project.

<i>Related Relevant City Actions</i>	
01/07/2015	The City Council approved an addendum to the previously certified EIR to extend the time frame in which grading activities could occur from December 31 <sup>st</sup> to January 31 <sup>st</sup> .

<i>Neighborhood Meeting/Neighborhood Notice</i>	
06/8/2022	Notice mailed by staff to adjacent property owners notifying that the subject application had been filed with the Planning Division, in accordance with 93.13.00 of the Zoning Code.
07/6/2022	Notice mailed by staff to adjacent property owners notifying that the subject project would be reviewed by the Architectural Review Committee on July 18, 2022.
07/14/2022	The surrounding neighborhood organizations within one (1) mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on July 18, 2022.

**STAFF ANALYSIS:**

<i>Site Area</i>	
Net Acres	21,109-square feet

<i>General Plan and Zoning Designations</i>		
<i>General Plan Designation</i>	<i>Permitted Density (Max)</i>	<i>Compliance</i>
SPA	1 DU/40 Acres	Y
<i>Zoning Designation</i>		
ESA-SP Planning Area 4 (Desert Palisades Specific Plan)		

PSZC Section 94.04.00(E)(13) requires that the proposed application be consistent with any adopted Specific Plan or Planned Development District Design Standards:

<i>Applicable Specific Plan Area or Design Standards</i>	<i>Compliance</i>
Desert Palisades Specific Plan	Y

**Development Standards:**

Pursuant to PSZC Section 92.01.03, the following development standards apply:

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks			
• Front	25 Feet	25 Feet on 3 street frontages	Y
• Side	10 Feet	10 Feet + 7'-6" no build easement	Y
• Rear	15 Feet	No rear	Y
Max. Lot Coverage	35%	19%	Y

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Max. Building Height	18 Feet	14' Feet	Y
Parking	2 spaces (covered)	2 spaces in garage	Y

Hillside Review Criteria:

PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
1.	<p><i>Rock and soil exposure;</i></p> <p>Proposed dwelling sits on top of the native terrain on an un-graded lot. The construction of the house on the rocky site will limit disturbance as much as possible and there will be no disturbance of the “no-build” easement and will stay in its naturalized appearance. The adjacent street (Celestial Court) sits sixteen (16) feet above the finished floor of the house and a board formed wall is proposed that ranges in height from seven (7) feet on the north sloping to two (2) feet on the south with stairs adjacent to the west facing façade. A large drainage box culvert on the parcel transports water underneath Celestial Court and will remain.</p>	Y
2.	<p><i>Size of building pad;</i></p> <p>The footprint is minimal, keeping the area of the site disturbance minimum. The proposed building pad, which accommodates a 4,000-square foot building and modest pool deck area will be consistent in size to others in the Desert Palisades. The project conforms to DPSP standards for non-mass grading.</p>	Y
3.	<p><i>Design considerations, such as supporting stilts, colors and building arrangement;</i></p> <p>The proposed home is contemporary/modern in its aesthetic and proposed colors and materials harmonious with the site. The lot has street frontage on three (3) sides and will be setback twenty-five (25) feet from each street.</p>	Y
4.	<p><i>Screening of parking areas;</i></p> <p>The 2-car garage door will be accessed from a twelve (12') foot wide driveway leading from Desert Flower Court acting as a cul-de-sac with garage door not visible from the main street of City View Drive.</p>	Y

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
5.	<i>Landscaping plans;</i> The proposed landscape plan includes Desert Museum Palo Verde, Desert Ironwood trees, a variety of Agave plants, Desert Spoon, Brittlebush, Creosote Bush, Barrell Cactus, Mexican Fence Post, and Yucca interspersed between boulders.	Y
6.	<i>Continuity with surrounding development;</i> Proposed house is similar in design to others currently built and under construction in DP.	Y
7.	<i>Sensitivity to existing view corridors.</i> Views are preserved and directed, building and landscape sited to not block views from adjacent parcels.	Y

Conclusion: The project is consistent with the architectural guidelines of Zoning Code Section 93.13.00. (“Hillside Development”).

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i> The home is appropriately sited on the lot with the outdoor living areas oriented to the east of the parcel taking advantage of views and solar angles and will be finished on all sides with a consistent design.	Y
2.	<i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i> There are no accessory structures proposed.	N/A
3.	<i>The façade elements and fenestration are composed in a harmonious manner;</i>	Y



	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The project proposes very simplistic façade elements and fenestration treatment to showcase the details and contrast of building materials and colors. The position of the proposed residence has the master bedroom, kitchen and an outdoor covered BBQ fronting City View Drive with the outdoor patio/pool facing Desert Flower Court, and a below grade garage underneath the main house. The second master bedroom and office are above the garage and will provide views to the east. The angled position of the house elements will add movement and interest to the residence when viewed from the streets.	
4.	<i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i> Building materials suitable for harsh desert climate and conforming to the architectural guidelines of the DPSP are proposed.	Y
5.	<i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i> Materials and colors proposed include Western Red Cedar in a Dark/Black color for the main body of the structure, board-formed concrete for foundation and walls, sand finished concrete, black anodized aluminum window frames, and pavers for the driveway are durable and appropriate for a harsh desert climate.	Y
6.	<i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i> The facade of the structure facing north, west and south are mostly windowless. The internal terrace on the east side has a wide overhang providing solar control and interest for the building architecture. There are multiple roof skylights that provide light into the interior rooms.	Y
7.	<i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i> The site is proposed in a naturalized form, with limited disturbance to the existing terrain. The “no-build” easement on the south property line will be maintained as well as an open space area adjacent to Celestial Court which sits sixteen (16) feet above the finished floor of the structure. Any new plants will meet the planting requirements for the DPSP for plant type and species and confirm to Chapter 8.60 of the PSMC.	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
8.	<p><i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i></p> <p>Where new landscape material is proposed, the landscape plan submitted includes Desert Museum Palo Verde, Desert Ironwood trees, a variety of Agave plants, Desert Spoon, Brittlebush, Creosote Bush, Barrell Cactus, Mexican Fence Post, and Yucca interspersed between boulders. These plant materials are consistent with the design guidelines.</p>	Y
9.	<p><i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i></p> <p>There are no public sidewalks or pathways present on Lot 64.</p>	N/A
10.	<p><i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i></p> <p>The project proposes a variety of landscape light fixtures, which include but are not limited to, twenty-two (22) accent lights, and ten (10) trees up lights at low levels or brightness. The ARC may recommend that the number of lights be reduced to prevent glare at the hillside.</p>	Y
11.	<p><i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i></p> <p>No signage proposed.</p>	N/A
12.	<p><i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i></p> <p>The mechanical equipment will be placed in a room adjacent to the garage in the lower level underneath the outdoor terrace area.</p>	Y
13.	<p><i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i></p> <p>The proposed dwelling demonstrates an integrated solution to the challenges inherent with construction in an environmentally sensitive area. The project is comprehensive in its coordination of materials, landscape, color, massing and an overall design sensitive to the unique characteristics of the site.</p>	Y

Furthermore; DPSP Sections V (“Architecture and Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC Section 92.21.1.05 (“Findings Required for Approval”) were evaluated and the proposed project is consistent with these regulations.

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”), and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Single-Family Residence).

CONCLUSION:

The project proposes good integration of the structure, terraces, and other elements into the natural features of the site with minimal disturbance to terrain and vegetation. Where disturbance is unavoidable, appropriate site restoration techniques are proposed. Full integration of the proposed dwelling into the natural characteristics of the site has been achieved to the greatest extent possible. The proposed dwelling is consistent with the design guidelines of the DPSP with respect to low roof lines, terraced building elements with the garage underneath the main house and accessed off the cul-de-sac, and thoughtful solutions to integrate the home into the site. As demonstrated in this memo, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”) and 94.04.00 (“architectural review”); the Architecture, Landscaping and Design Guidelines of Desert Palisades Specific Plan Sections V (“Architecture and Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC Section 92.21.1.05 (“Findings Required for Approval”). Therefore, Staff recommends approval.

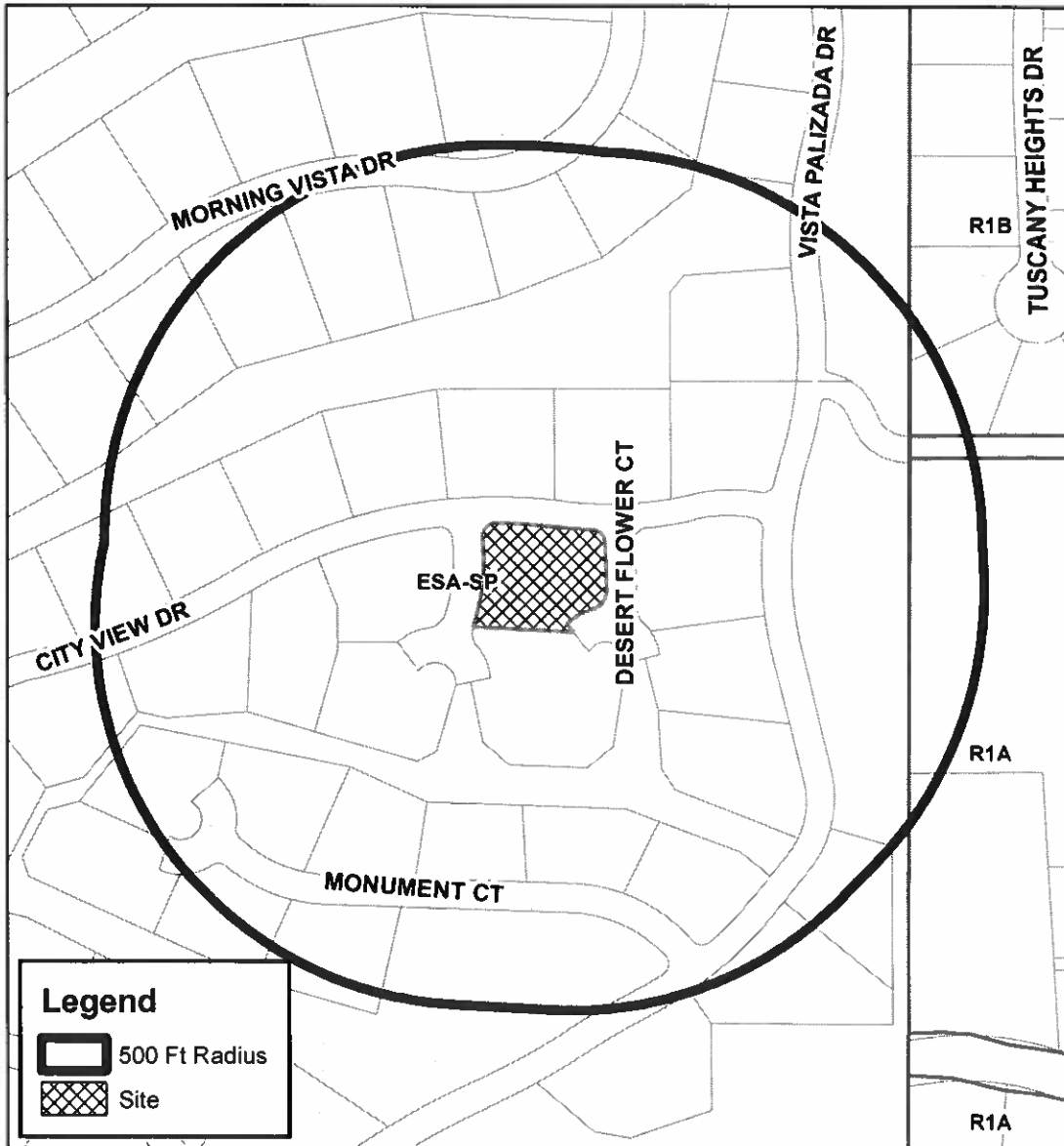
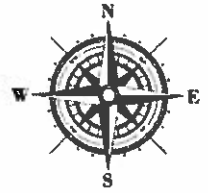
PREPARED BY:	Glenn Mlaker, AICP, Associate Planner
REVIEWED BY:	David Newell, AICP, Assistant Director of Planning

ATTACHMENTS:

1. Vicinity Map
2. Draft Resolution
3. Conditions of Approval
4. Justification Letter
5. Exhibit Package



# Department of Planning Services Vicinity Map



**CITY OF PALM SPRINGS**  
Case # 3.4328 MAJ  
2085 Desert Flower Court

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION FOR DEVELOPMENT OF 5,626-SQUARE FOOT SINGLE FAMILY HOUSE ON A HILLSIDE LOT LOCATED AT 2306 WINTER SUN DRIVE, LOT 6, ZONE ESA-SP PLANNING AREA, DESERT PALISADES SPECIFIC PLAN, SECTION 3 (CASE 3.4324 MAJ).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

A. James Neuhoff, Owner (“Applicant”) filed an application with the City, pursuant to the Palm Springs Zoning Code (PSZC) Sections 94.04.00 (E) (architectural review), and 93.13.00 (hillside development) of the Palm Springs Zoning Code, for construction of a 5,626-square foot single-family residence located at 2306 Winter Sun Drive (“the Project”).

B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City’s Planning Commission to the City’s Architectural Review Committee.

B. On July 6, 2022, City staff notified the owners of properties immediately adjacent to the Project site of the scheduling of an Architectural Review Committee meeting to consider the subject application, pursuant to PSZC 93.13.00 (B,1,c).

C. On July 18, 2022, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Construction or Conversion of Small Structures).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”), 94.04.00 (“architectural review”); the Architecture, Landscaping and Design Guidelines of Desert Palisades Specific Plan Sections V (“Architecture and Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC 92.12.1.05 (“Findings Required for Approval”).

Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Case 3.4324 MAJ, for the construction of a 5,626-squae foot houses on a hillside lot located at 2306 City View Drive, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 18th day of July, 2022.

AYES:

NOES:

ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

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David Newell, AICP  
Assistant Planning Director

## EXHIBIT A

Case 3.4324 MAJ  
Proposed Single Family Residence on a hillside lot  
Located at 2304 Winter Sun Drive, Desert Palisades,  
ESA-SP Zone, Planning Area 4.

July 18, 2022

### CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

### ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case (3.4330 MAJ and 7.1653 AMM).
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped (May 10, 2022), including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.4330 MAJ and 7.1653 AMM. The City of Palm

- Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.
- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Approval shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.

## **ENVIRONMENTAL ASSESSMENT CONDITIONS**

- ENV 1. Coachella Valley Multiple-Species Habitat Conservation Plan (CVMSHCP) Local Development Mitigation Fee (LDMF) required. All projects within the City of Palm Springs, not within the Agua Caliente Band of Cahuilla Indians reservation are subject to payment of the CVMSHCP LDMF prior to the issuance of certificate of occupancy.
- ENV 2. Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA); therefore, an administrative fee of \$50 shall be submitted by the applicant in the form of a money order or a cashier's check payable to the Riverside County Clerk within two business days of the Commission's



- final action on the project. This fee shall be submitted by the City to the County Clerk with the Notice of Exemption. Action on this application shall not be considered final until such fee is paid (projects that are Categorically Exempt from CEQA).
- ENV 3. Cultural Resource Survey Required. Prior to any ground disturbing activity, including clearing and grubbing, installation of utilities, and/or any construction related excavation, an Archaeologist qualified according to the Secretary of the Interior's Standards and Guidelines, shall be employed to survey the area for the presence of cultural resources identifiable on the ground surface.
- ENV 4. Cultural Resource Site Monitoring. There is a possibility of buried cultural or Native American tribal resources on the site. A Native American Monitor shall be present during all ground-disturbing activities. (check for duplication in engineering conditions)
- ENV 5. a). A Native American Monitor(s) shall be present during all ground disturbing activities including clearing and grubbing, excavation, burial of utilities, planting of rooted plants, etc. Contact the Agua Caliente Band of Cahuilla Indian Cultural Office for additional information on the use and availability of Cultural Resource Monitors. Should buried cultural deposits be encountered, the Monitor shall contact the Director of Planning. After consultation the Director shall have the authority to halt destructive construction and shall notify a Qualified Archaeologist to further investigate the site. If necessary, the Qualified Archaeologist shall prepare a treatment plan for submission to the State Historic Preservation Officer and Agua Caliente Cultural Resource Coordinator for approval.
- b). Two copies of any cultural resource documentation generated in connection with this project, including reports of investigations, record search results and site records/updates shall be forwarded to the Tribal Planning, Building, and Engineering Department and one copy to the City Planning Department prior to final inspection.
- ENV 6. Protect Soil during Acid-washing of concrete. Ensure all appropriate measures are used in handling the acid-etching of the concrete so as not to contaminate the adjacent soil.

## **PLANNING DEPARTMENT CONDITIONS**

### **Conditions imposed by Architectural Review Committee (ARC)**

- PLN 1. Solar Panels. Solar panels to be placed on the roof in a manner that the equipment will not be visible from adjoining properties or the public street.

- PLN 2. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.
- PLN 3. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 4. Provide smart controllers on irrigation system.
- PLN 5. Roof surfaces shall be tan, beige, grey, sand or other color that blends with the natural color in the area; no white or off-white roofs.
- PLN 6. Drainage at Concrete Terraces. Provide drainage at the joints in the impervious concrete terraces. (Per Section III, DPSP).
- PLN 7. Drainage. The project shall be conditioned to conform to the Guiding Principles for Drainage pursuant PSZC Section 92.21.1.05.
- PLN 8. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 9. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 10. Boulder Relocation. Place boulders and rocks that are relocated as a result of the project's construction in a naturalized manner with boulders "settled" into the soil, not piled up.

## **BUILDING DEPARTMENT CONDITIONS**

- BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

## **ENGINEERING CONDITIONS**

### **GENERAL**

- ENG 1. The applicant shall comply with all required Standard Conditions and Mitigation Measures identified in the Final Environmental Impact Report for the Desert Palisades development, as applicable to the individual lots, whether or not restated in these conditions of approval. All required plans shall be prepared in conformance with all applicable Standard Conditions and Mitigation Measures.
- ENG 2. Development of the site is subject to all applicable provisions of Chapter 92.21.1.05 "Design Standards" of the Palm Springs Zoning Code, whether or not restated in these conditions of approval. All required plans shall be prepared in conformance with all applicable provisions of the Code.
- ENG 3. The Property is located in the Environmentally Sensitive Area – Specific Plan ("ESA-SP") zone. Pursuant to Section 92.21.1.05(J) of the Palm Springs Zoning Code, prior to the issuance of any permit for grading or construction of any improvement on any property within the ESA-SP zone, the property owner shall enter into an agreement with the City ensuring that should the improvement not be completed as permitted, that the land will be re-naturalized. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. Security Bond and agreement preparation fee in effect at the time that the agreement is submitted shall be paid by the applicant prior to issuance of any grading or building permits.

### **SANITARY SEWER**

- ENG 4. All sanitary facilities shall be connected to the private sewer system. New laterals shall not be connected at manholes.
- ENG 5. Applicant shall pay a sewer assessment fee of \$3,628.77 in accordance with the terms of the Racquet Club Road Sewer Construction Refund Agreement between the City of Palm Springs and the Pirozzi Family Trust Established November 30, 1992, Sewer Agreement No. 6253. The fee shall be paid to the City of Palm Springs prior to issuance of a building permit.

### **GRADING**

- ENG 6. Mass grading of the site shall be prohibited.
- ENG 7. Rock crushing operations shall be limited to off-site locations only, as analyzed within the EIR for Desert Palisades. On-site rock crushing for individual home sites is not permissible under the Desert Palisades Specific Plan.

- ENG 8. Rough grading of the lot requires architectural approval, in accordance with the development standards for Planning Area 4 of the ESA-SP Zone, as defined by the Desert Palisades Specific Plan (Case 5.1154). Submit a Grading Plan prepared by a California registered Civil engineer to the City Engineer for review and approval. The Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.
- ENG 9. The applicant's contractors shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant's contractor shall provide the Engineering Division with current and valid Certificates of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Division prior to approval of plans, which shall be approved by the City Engineer prior to issuance of any permits.
- ENG 10. In accordance with Standard Condition (SC) 3.5-1 of the Final Environmental Impact Report, approved Native American cultural resource monitors and archaeological monitors shall be present during all ground disturbing activities. The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at (760) 699-6800, to coordinate scheduling of monitors prior to construction. No permits shall be issued for ground disturbance activities until evidence is provided to the City Engineer demonstrating that monitoring by approved Native American cultural resource monitors has been coordinated by the applicant.
- ENG 11. In accordance with an approved PM-10 Dust Control Plan, perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 12. Perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.

- ENG 13. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 14. Prior to issuance of any permit for ground disturbance activities, the applicant shall provide verification to the City that applicable fees have been paid to the Agua Caliente Band of Cahuilla Indians in accordance with the Tribal Habitat Conservation Plan (THCP).
- ENG 15. In accordance with City of Palm Springs Municipal Code, Section 8.50.025 (c), the applicant shall post with the City a cash bond of two thousand dollars (\$2,000.00) per disturbed acre for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 16. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the plans for the project. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Division with the first submittal of any plans.
- ENG 17. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan (if required), to the Engineering Services Department for review and approval.
- ENG 18. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved plans shall be certified by a California registered geotechnical or civil engineer, certifying that all construction was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided. No final approval will be issued until the required certification is provided to the City Engineer.

#### WATER QUALITY MANAGEMENT PLAN

- ENG 19. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to adjacent properties is prohibited. Construction of operational BMP's shall be incorporated into required plans.

- ENG 20. Prior to issuance of any permit, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement the approved Final Project-Specific WQMP. Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include: requiring the implementation of the Final Project-Specific WQMP in Home Owners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&R's); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to the issuance of any permit.
- ENG 21. Prior to any final City approvals, the applicant shall: (a) demonstrate that all structural BMP's have been constructed and installed in conformance with approved plans and specifications; (b) demonstrate that applicant is prepared to implement all non-structural BMP's included in the approved Final Project-Specific WQMP, conditions of approval, or grading/building permit conditions; and (c) demonstrate that an adequate number of copies of the approved Final Project-Specific WQMP are available for the future owners (where applicable).

#### DRAINAGE

- ENG 22. In accordance with Chapter 92.21.1.05 "Design Standards" of the Palm Springs Zoning Code, development of the site shall preserve existing drainage patterns, natural streams and local watershed boundaries.
- ENG 23. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property, as described in the Preliminary Hydrology Report for TTM35540, prepared by MSA Consulting, Inc., dated July 1, 2009 (or as may be amended). Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and approval of the hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study.
- ENG 24. This project will be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating stormwater runoff, will be

required by regulations imposed by the RWQCB. It shall be the applicant's responsibility to design and install appropriate BMP's, in accordance with the NPDES Permit, that effectively intercept and pre-treat stormwater runoff from the project site, prior to release to the City's municipal separate storm sewer system ("MS4"), to the satisfaction of the City Engineer and the RWQCB. Such measures shall be designed and installed on-site; and provisions for perpetual maintenance of the measures shall be provided to the satisfaction of the City Engineer.

ENG 25. The project is subject to flood control and drainage implementation fees. The drainage fee at the present time is \$6,511.00 per acre per Resolution No. 15189.

#### GENERAL

ENG 26. Any utility trenches or other excavations of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115. The developer shall be responsible for removing, replacing, or repairing any existing off-site streets as required by and at the discretion of the City Engineer, including additional pavement repairs to pavement repairs made by utility companies for utilities installed for the benefit of the proposed development (i.e. Desert Water Agency, Southern California Edison, Southern California Gas Company, Time Warner, Frontier, etc.). Multiple excavations, trenches, and other street cuts within existing structural sections of off-site streets required by the proposed development may require complete removal and replacement of the streets structural section of the affected off-site streets, at the discretion of the City Engineer. The pavement condition of the existing off-site streets shall be returned to a condition equal to or better than existed prior to construction of the proposed development.

ENG 27. All proposed utility lines shall be installed underground.

ENG 28. All existing utilities shall be shown on the improvement plans required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.

ENG 29. Upon approval of any improvement plan by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval of the City Engineer.

ENG 30. The original improvement plans prepared for the proposed development and approved by the City Engineer shall be documented with record drawing "as-

built” information and returned to the Engineering Division prior to issuance of final approvals. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.

- ENG 31. Nothing shall be constructed or planted in the corner cut-off area of any intersection or driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.

## TRAFFIC

- ENG 32. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 “Temporary Traffic Control” of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

- ENG 33. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

## FIRE DEPARTMENT CONDITIONS

These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire & building codes. Detailed plans are still required for review.

- FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

- FID 2. Fire Department Conditions were based on the 2020 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix “T” Development Requirements. and latest adopted NFPA Standards. Three (3) complete sets of plans for fire sprinkler systems must be submitted prior to a building permit being released.

- FID 3. **Conditions of Approval** – “Conditions of Approval” received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

- FID 4. **Plans and Permits (CFC 105.1):**



Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set. Plans shall be submitted to:

City of Palm Springs  
Building and Safety Department  
3200 E. Tahquitz Canyon Way  
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

- FID 5. **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.
- FID 6. **NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2016 Editions, as modified by local ordinance.
- FID 7. **Residential Smoke Alarms Required:** Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke

alarms within the dwelling & guest house to sound and activate the exterior horn/strobe.

- FID 8. **Required access** (CFC 504.1): Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

**END OF CONDITIONS**

**Major Architectural Application  
Justification Letter  
2085 Desert Flower, Palm Springs, Ca  
Case # 22-019**

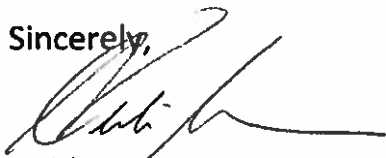
**Project Description:**

The project consists of an approximately 4,000 square foot home on a 21,000 square foot lot in Desert Palisades. The home will feature a 4 car garage, pool and spa with multiple hardscape and landscape areas.

We are submitting this project for major architectural as it is a hillside lot.

Drawings and exhibits have been submitted.

Sincerely,



**Heidi Meaney  
Homeowner**





**PROJECT | DESERT PALISADES HOUSE**

LOT 64 - 2865 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

Sheet Title:  
**RENDERING**

Notes:  
**NOT APPROVED FOR CONSTRUCTION**

Scale:  
**AS NOTED | INT.S. IF PRINTED 24x36**

PREPARED BY: GRACIASTUDIO ARCHITECTS, INC. 6151 PROGRESSIVE AVE. SUITE 200, SAN DIEGO, CA 92104

Designer: Jorge E. Gracia

Issue Date: 07 | MAR | 2022

Sheet:

**R01**

**graciastudio**

PREPARED BY: GRACIASTUDIO ARCHITECTS, INC.  
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6151 Progressive Ave. Suite 200, San Diego, CA, 92104

Tel: +1 619 736 7864

Fax: +1 619 736 7864

www.graciastudio.com





**PROJECT | DESERT PALISADES HOUSE**

LOT 64 - 2865 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

Sheet Title:  
**RENDERING**

Notes:  
**NOT APPROVED FOR CONSTRUCTION**

Scale:  
**AS NOTED | N.T.S. IF PRINTED 24x36**

PREPARED BY: J. GRACIA | ARCHITECTURE | 6151 PROGRESSIVE AVE. SUITE 200, SAN DIEGO, CA 92104 | TEL: 619.736.7864 | WWW.GRACIASTUDIO.COM

Designer: Jorge E. Gracia

Issue Date: 07 | MAR | 2022

Sheet: **R02**

**graciastudio**  
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WWW.GRACIASTUDIO.COM





**PROJECT | DESERT PALISADES HOUSE**

LOT 64 - 2865 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

Sheet Title:  
**RENDERING**

Notes:  
**NOT APPROVED FOR CONSTRUCTION**

Scale:  
**AS NOTED | N.T.S. IF PRINTED 24x36**

PREPARED BY: GRACIASTUDIO ARCHITECTURE INC. 6151 PROGRESSIVE AVE. SUITE 200, SAN DIEGO, CA 92114

Designer:  
Jorge E. Garcia

Issue Date:  
07 | MAR | 2022

Sheet:  
**R03**

**graciastudio**  
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WWW.GRACIASTUDIO.COM





# PROJECT | DESERT PALISADES HOUSE

LOT 64 - 2865 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

Sheet Title:  
**RENDERING**

Notes:  
**NOT APPROVED FOR CONSTRUCTION**

Scale:  
**AS NOTED | N.T.S. | IF PRINTED 24x36"**

PREPARED BY: GRACIASTUDIO ARCHITECTURE  
DESIGNED BY: GRACIASTUDIO ARCHITECTURE  
DATE: 07/11/2022

Designer: Jorge E. Gracia

Issue Date: 07 | MAR | 2022

Sheet:  
**R04**

**graciastudio**  
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6511 Progressive Ave. Suite 200, San Diego, CA, 92114  
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**PROJECT | DESERT PALISADES HOUSE**

LOT 64 - 2865 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

Sheet Title:  
**RENDERING**

Notes:  
**NOT APPROVED FOR CONSTRUCTION**

Scale:  
**AS NOTED | N.T.S. IF PRINTED 24x36**

PREPARED BY: JACOB GRACIA  
DESIGNED BY: JACOB GRACIA  
DATE: 07/11/2022

Designer:  
Jorge E. Gracia

Issue Date:  
07 | MAR | 2022

Sheet:  
**R05**





- WALL TYPE LEGEND**
- 8" CONCRETE WALL
  - 6" CONCRETE WALL
  - 2x6 WOOD STUD DRYWALL
  - 2x4 WOOD STUD DRYWALL
  - DENOTES PROP. LINE
  - DENOTES SETBACK
  - ORIGINAL GRADE CONTOUR
- FINISH KEY**
- 01 SAND FINISH CONCRETE
  - 02 LARGE FORMAT PORCELAIN FLOOR TILE
  - 03 MINI PEBBLES POOL PLASTER
  - 04 FLAGSTONE PAVERS
  - 05 EPOXY FINISH
  - 06 TWO-PLY SBS MODIFIED ROOFING SYSTEM

**SITE PLAN**  
 SCALE: 1/8" = 1'-0" **01**

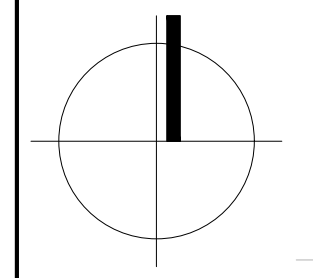
**PROJECT | DESERT PALISADES HOUSE**

LOT 04 - 2860 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

Sheet Title: **SITE PLAN**  
 Designer: Jorge E. Guada  
 Issue Date: 07 | MAR | 2022  
 Noted: **NOT APPROVED FOR CONSTRUCTION**  
 Scale: **AS NOTED | N.T.S. IF PRINTED 11x17**

Sheet: **A100**

Issue Date: 07 | MAR | 2022







- WALL TYPE LEGEND**
- 8" CONCRETE WALL
  - 6" CONCRETE WALL
  - 2x6 WOOD STUD DRYWALL
  - 2x4 WOOD STUD DRYWALL
  - DENOTES PROP. LINE
  - DENOTES SETBACK
  - ORIGINAL GRADE CONTOUR
- FINISH KEY**
- 01 SAND FINISH CONCRETE
  - 02 LARGE FORMAT PORCELAIN FLOOR TILE
  - 03 MINI PEBBLES POOL PLASTER
  - 04 FLAGSTONE PAVERS
  - 05 EPOXY FINISH
  - 06 TWO-PLY SBS MODIFIED ROOFING SYSTEM

GROUND FLOOR  
SCALE: 3/16" = 1'-0" 01

**PROJECT | DESERT PALISADES HOUSE**

LOT 04 - 2885 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

Sheet Title: GROUND FLOOR PLAN

Not: NOT APPROVED FOR CONSTRUCTION

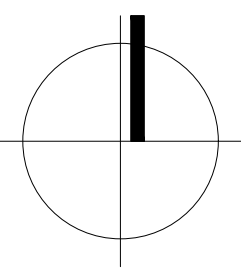
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Designer: Jorge E. Guadalupe

Issue Date: 07 | MAR | 2022

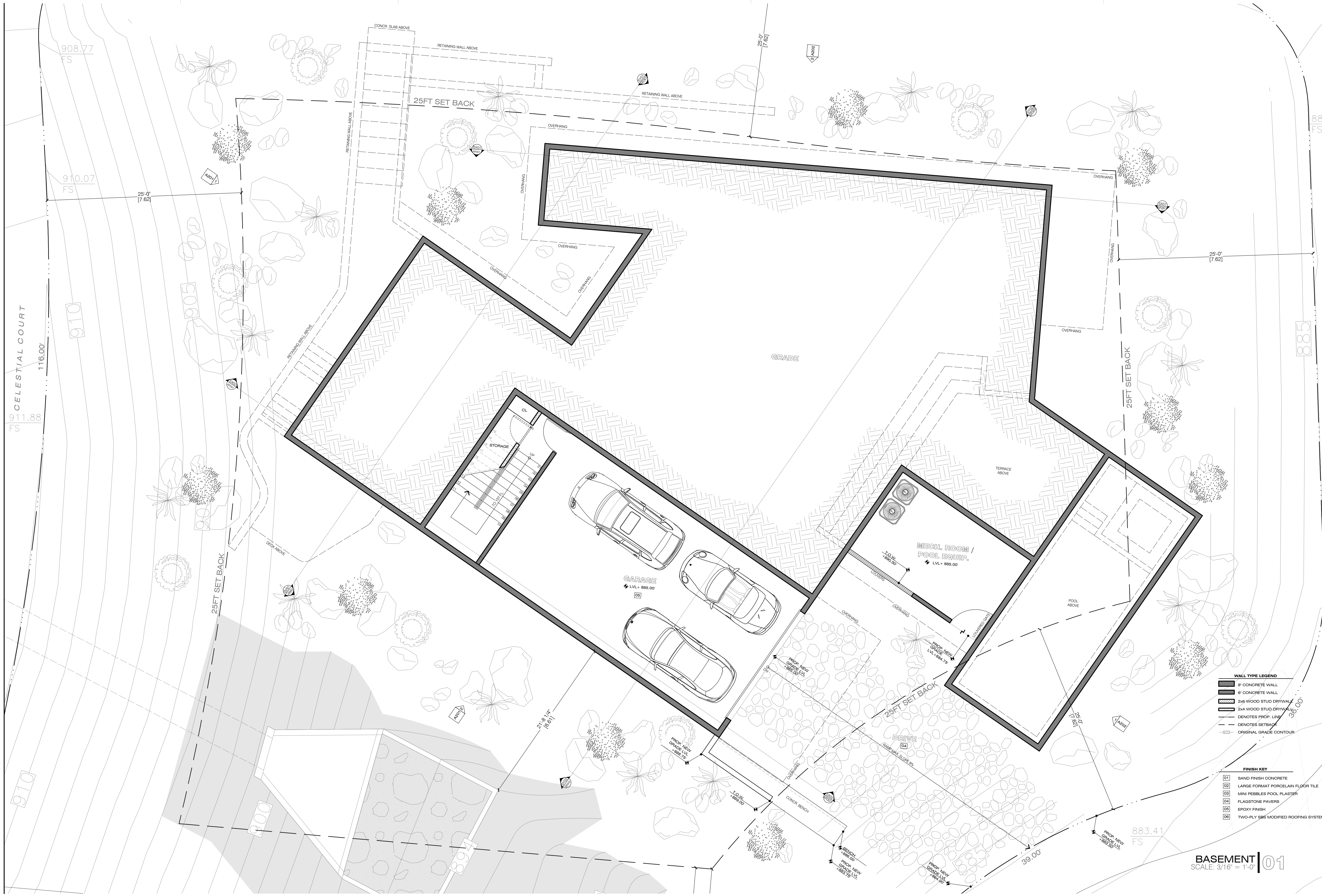
Sheet: A101

Issue Date: 07 | MAR | 2022



graciastudio  
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TEL: 619 796 7864  
WWW: www.graciastudio.com





- WALL TYPE LEGEND**
- 8" CONCRETE WALL
  - 6" CONCRETE WALL
  - 2x6 WOOD STUD DRYWALL
  - 2x4 WOOD STUD DRYWALL
  - DENOTES PROP. LINE
  - DENOTES SETBACK
  - ORIGINAL GRADE CONTOUR
- FINISH KEY**
- 01 SAND FINISH CONCRETE
  - 02 LARGE FORMAT PORCELAIN FLOOR TILE
  - 03 MINI PEBBLES POOL PLASTER
  - 04 FLAGSTONE PAVERS
  - 05 EPOXY FINISH
  - 06 TWO-PLY SBS MODIFIED ROOFING SYSTEM

**BASEMENT**  
SCALE: 3/16" = 1'-0" **01**

**PROJECT | DESERT PALISADES HOUSE**

LOT 04 - 2885 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

Sheet Title: **BASEMENT FLOOR PLAN**

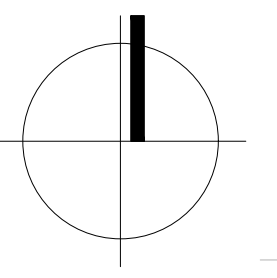
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Scale: **AS NOTED INT.S. IF PRINTED 11x17**

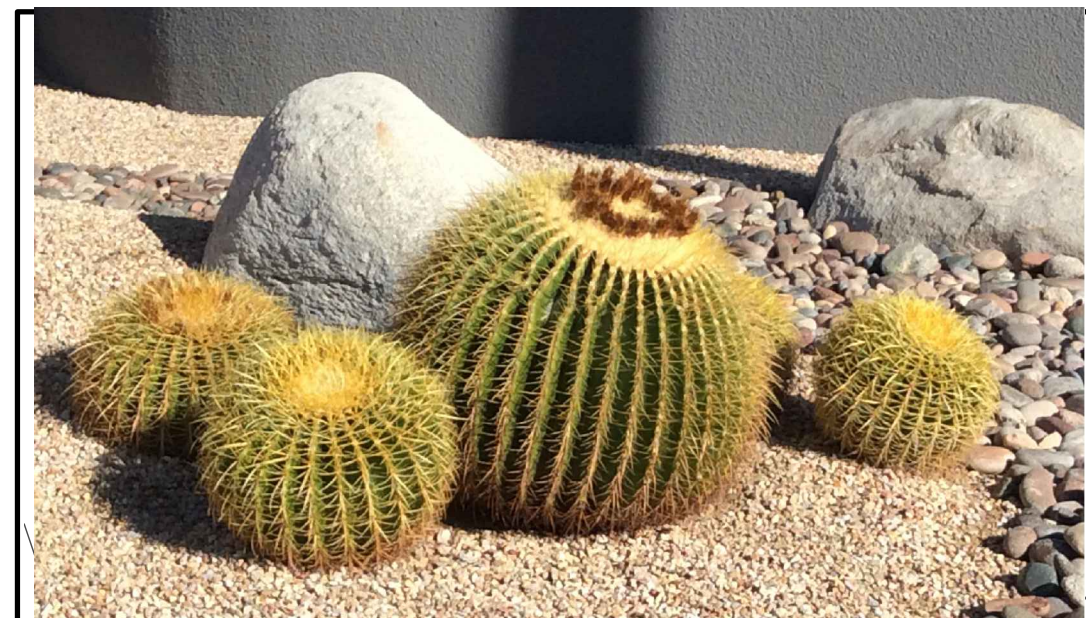
Designer: **Jorge E. Guadalupe**

Sheet: **A102**

Issue Date: **07 | MAR | 2022**







ECHINOCACTUS GRUSONII



AGAVE AMERICANA



FRONT VIEW CITY VIEW DRIVE



AGAVE PARRI 'TRUNCATA'



YUCCA ROSTRATA 'SKY BLUE'

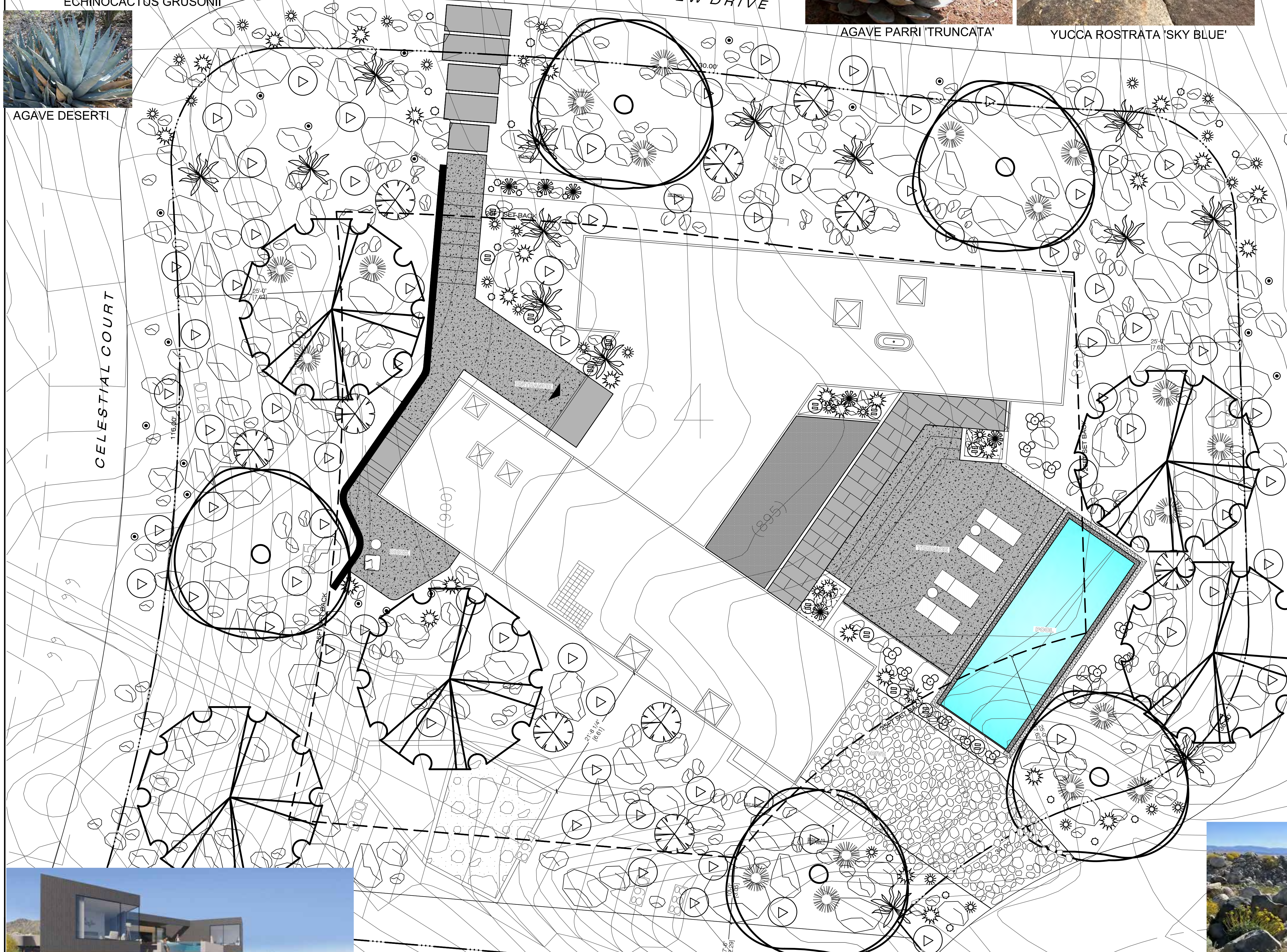


AGAVE DESERTI

### PLANTING LEGEND

TREES	PLANTING SIZE	SCIENTIFIC NAME	COMMON NAME	WATER PLANT NEEDS FACTOR
	5 24"/36"-BOX Multi tr.	CERCIDIUM PRAECOX	SONORAN PALO VERDE	LOW 0.2
	5 36"/48"-BOX Multi tr.	OLNEYA TESOTA	DESERT IRONWOOD	LOW 0.2
CACTI & SUCCULENTS	PLANTING SIZE	SCIENTIFIC NAME	COMMON NAME	WATER PLANT NEEDS FACTOR
	14 15-GAL 24"-BOX MIX.	AGAVE AMERICANA or AGAVE WEBERI	CENTURY PLANT or BLUE AGAVE	LOW 0.2
	29 5/15-GAL MIX	AGAVE DESERTI or AGAVE AUGUSTIFOLIA	DESERT AGAVE or CARIBBEN AGAVE	LOW 0.2
	30 5/15-GAL MIX	AGAVE PARRYII 'Truncata'	ARTRICHOKE AGAVE	LOW 0.2
	19 1-GAL	BAILEYA MULTIRADIATA	DESERT MARIGOLD	LOW 0.2
	18 5/15-GAL MIX	DASYLIRION WHEELERI	DESERT SPOON	LOW 0.2
	13 5-GAL	DICHONDRA 'EMERALD FALLS'		LOW 0.2
	22 8"-10"-12" DIA. MIX	ECHINOCACTUS GRUSONII	BARELL CACTUS	LOW 0.2
	79 5-GAL	ENCELIA FARINOSA	BRITTLEBUSH	LOW 0.2
	10 5/15-GAL	LARREA TRIDENTATA	CREOSOTE BUSH	LOW 0.2
	12 3' 4' 5' Multi HT. Specimens	STENOCEREUS MARGINATUS	MEXICAN FENCE POST	LOW 0.2
	6 6"-11'-2' HT. Specimens	YUCCA ROSTRATA 'SKY BLUE'	BEAKED YUCCA	LOW 0.2

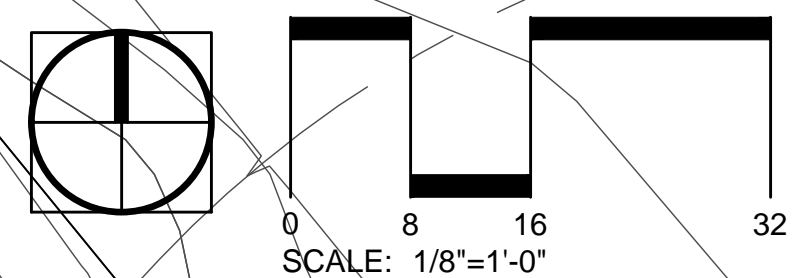
2'-10" DIA. EXISTING BOULDERS TO REMAIN AND SOME TO BE RELOCATED  
NATIVE SOIL TO MATCH EXISTING



DRIVEWAY VIEW

# PLANTING PLAN

SCALE: 1/8" = 1'-0"



STENOCEREUS MARGINATUS



OLNEYA TESOTA



BAILEYA MUTIRADIATA



CERCIDIUM PRAECOX



BAILEYA MUTIRADIATA



LARREA TRIDENTATA



ENCELIA FARINOSA

LANDSCAPE ARCHITECTURAL SERVICES BY:  
**DESERT MODERN**  
LANDSCAPE DESIGN

LANDSCAPE PLANS FOR  
**DESERT PALISADES**  
LOT 64  
PALM SPRINGS, CALIFORNIA

DESERT MODERN  
LANDSCAPE DESIGN  
7735 SAN Geronimo Road  
BANKING HILLS, CALIFORNIA 92506  
TELEPHONE: (760) 664-9791 Email: ad@desertmodern.com  
www.desertmodernlandscape.com

REVISION  
03-14-22

SCALE: 1/8"=1'-0"

**DWA LANDSCAPE APPROVAL**

These plans have been reviewed by the Desert Water Agency in accordance with California Government Code, Section 65591 et seq, requiring efficient landscape and irrigation design in cooperation with the local governing agency (City or County).

Approval of this drawing by DWA staff does not constitute approval to encroach into district and USBR Rights-of-Way. Trees, plants, walls, and permanent structures of any kind may not be planted or installed in DWA and USBR easements or right-of-way without first obtaining an encroachment permit from DWA.

Date \_\_\_\_\_ WATER MANAGEMENT DEPARTMENT  
DWA Plan # \_\_\_\_\_ DEVELOPMENT SERVICES DEPARTMENT

SHEET  
**L-1.0**





- WALL TYPE LEGEND**
- 6" CONCRETE WALL
  - 2x6 WOOD STUD DRYWALL
  - 2x4 WOOD STUD DRYWALL
  - DENOTES PROP. LINE
  - DENOTES SETBACK
  - ORIGINAL GRADE CONTOUR
- FINISH KEY**
- SAND FINISH CONCRETE
  - LARGE FORMAT PORCELAIN FLOOR TILE
  - MINI PEBBLES POOL PLASTER
  - FLAGSTONE PAVERS
  - EPOXY FINISH
  - TWO-PLY SBS MODIFIED ROOFING SYSTEM

**ROOF PLAN**  
SCALE: 3/16" = 1'-0" **01**

**PROJECT | DESERT PALISADES HOUSE**

LOT 04 - 2885 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

Sheet Title:  
**ROOF PLAN**

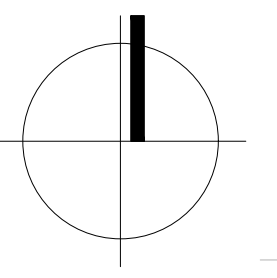
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Scale:  
**AS NOTED | N.T.S. IF PRINTED 11x17**

Designer:  
Jorge E. Guadalupe

Sheet:  
**A103**

Issue Date:  
07 | MAR | 2022



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651 Progressive Ave. Suite 200, San Diego, CA, 92104  
TEL: 619 736 7864  
WWW: www.graciastudio.com

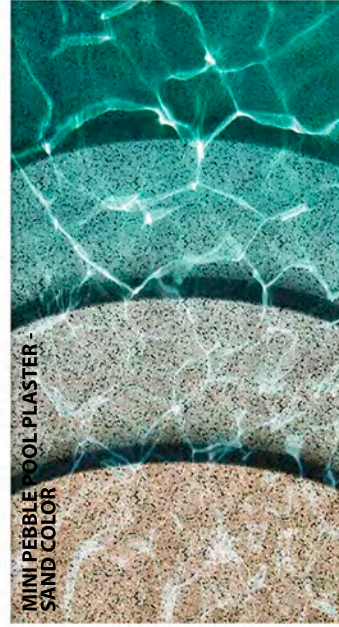




WESTERN RED CEDAR - DARK/BLACK



FORM BOARD CONCRETE



MINI PEBBLE POOL PLASTER - SAND COLOR



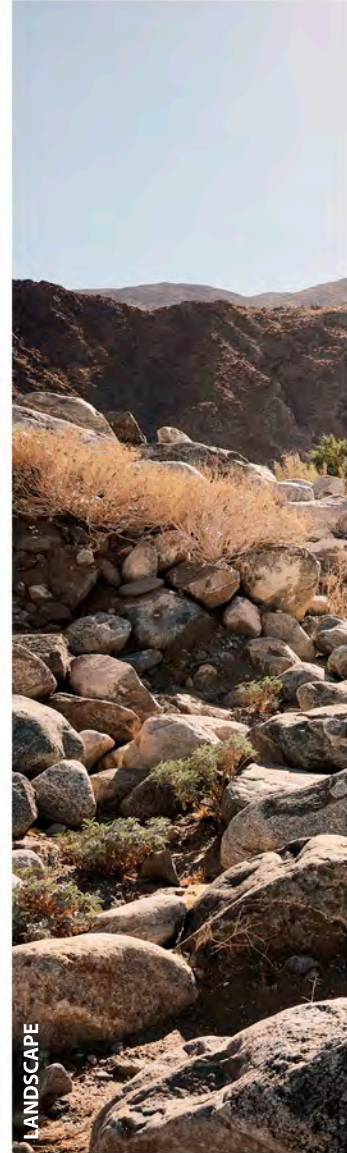
FLOOR TILE - SAND COLOR



SAND FINISH CONCRETE

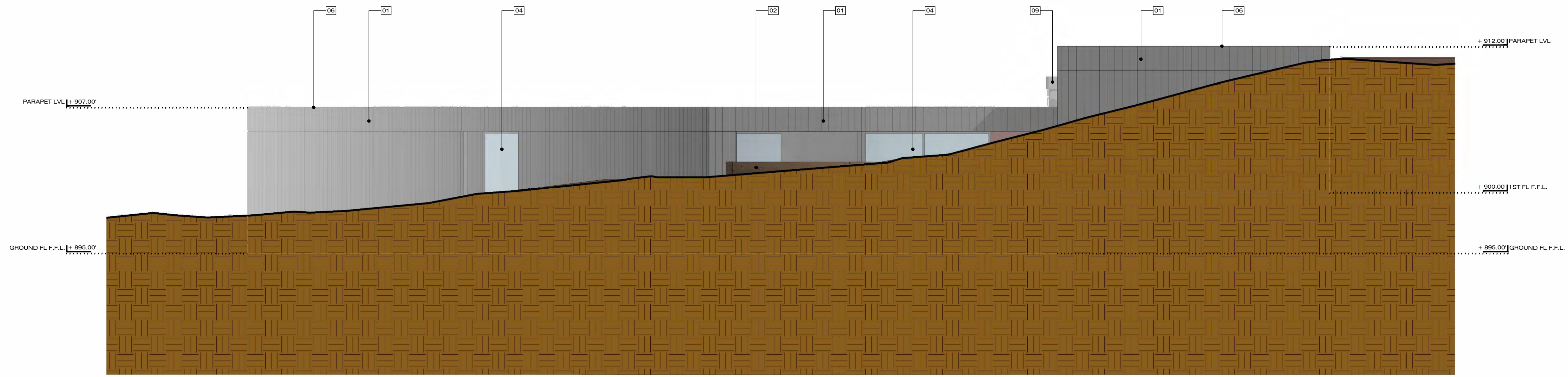


ALUMINUM WINDOW FRAMES - BLACK ANODIZED

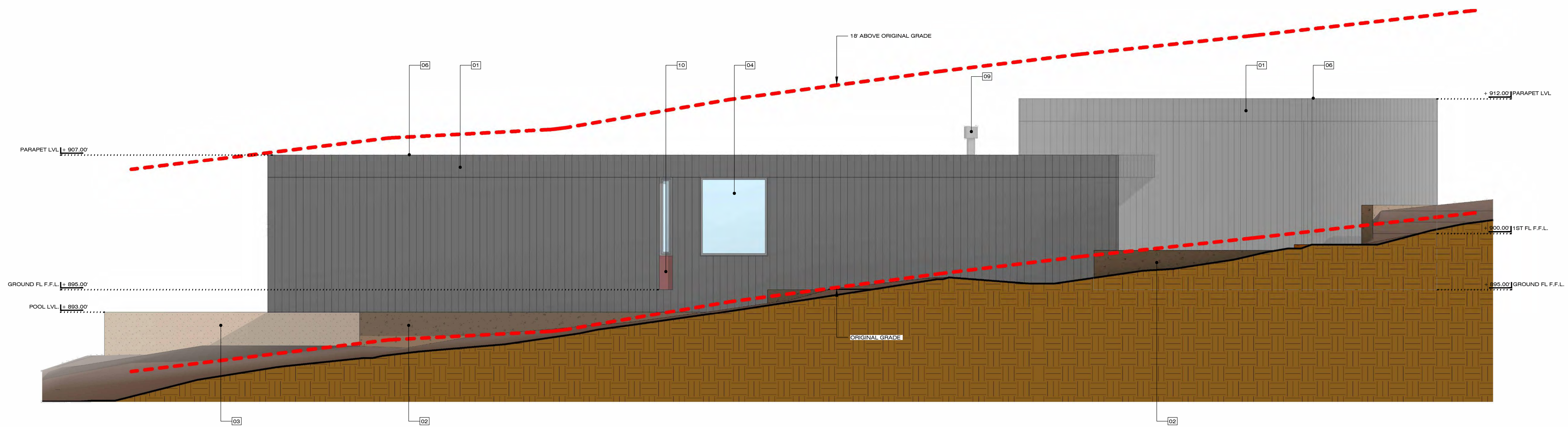


LANDSCAPE





WEST ELEVATION  
SCALE: 3/16" = 1'-0" 01



NORTH ELEVATION  
SCALE: 3/16" = 1'-0" 02

**FINISH KEY**

01	KERONY GATOR SHOU SUGI BAN - VERTICAL TONGUE & GROOVE SIDING
02	FORM BOARD CONCRETE - BROWN COLOR
03	MINI PEBBLES POOL PLASTER
04	BLACK ALUMINUM WINDOWS + DOORS
05	FRAMELESS GLASS GUARDRAIL
06	PARAPET WITH BLACK METAL CAP FLASHING
07	SKYLIGHT
08	TWO-PLY SBS MODIFIED ROOFING SYSTEM
09	FLUE FOR GAS FIREPLACE APPLIANCE
10	METAL IN MATTE DARK RED FINISH
11	METAL IN MATTE BROWN FINISH
12	SAND FINISH CONCRETE
13	FRAMELESS LAMINATED GLASS

PROJECT | DESERT PALISADES HOUSE

LOT 04 - 2865 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

Sheet Title:  
ELEVATIONS

Notes:  
NOT APPROVED FOR CONSTRUCTION

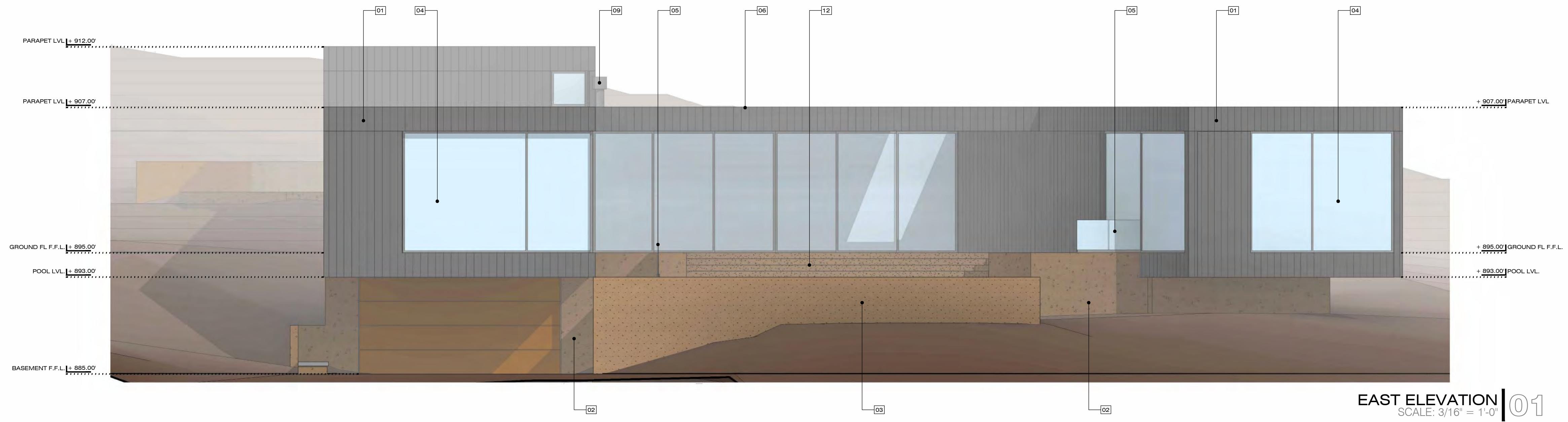
Scale:  
AS NOTED / N.T.S. IF PRINTED 1x17

Designer:  
Jorge E. Guada

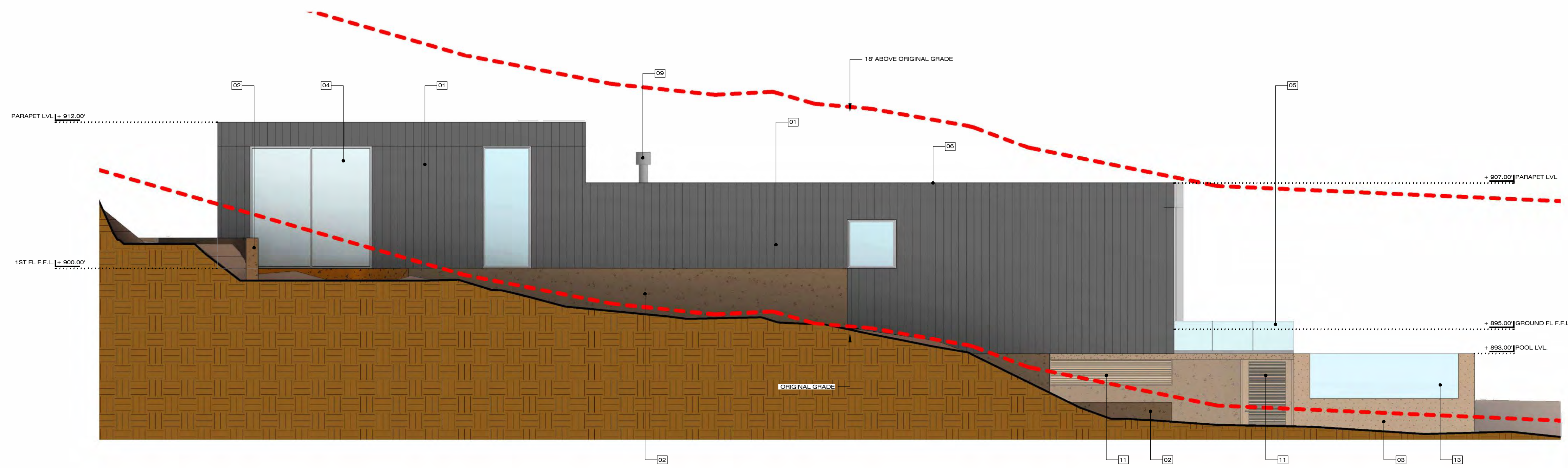
Sheet:  
A201

Issue Date:  
07 | MAR | 2022





**EAST ELEVATION**  
SCALE: 3/16" = 1'-0" | 01



**SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0" | 02

- FINISH KEY**
- 01 KERONY GATOR SHOU SUGI BAN - VERTICAL TONGUE & GROOVE SIDING
  - 02 FORM BOARD CONCRETE - BROWN COLOR
  - 03 MINI PEBBLES POOL FLASTER
  - 04 BLACK ALUMINUM WINDOWS + DOORS
  - 05 FRAMELESS GLASS GUARDRAIL
  - 06 PARAPET WITH BLACK METAL CAP FLASHING
  - 07 SKYLIGHT
  - 08 TWO-PLY SBS MODIFIED ROOFING SYSTEM
  - 09 FLUE FOR GAS FIREPLACE APPLIANCE
  - 10 METAL IN MATTE DARK RED FINISH
  - 11 METAL IN MATTE BROWN FINISH
  - 12 SAND FINISH CONCRETE
  - 13 FRAMELESS LAMINATED GLASS

**PROJECT | DESERT PALISADES HOUSE**

LOT 04 - 2865 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

Sheaf Title:  
ELEVATIONS

Notes:  
NOT APPROVED FOR CONSTRUCTION

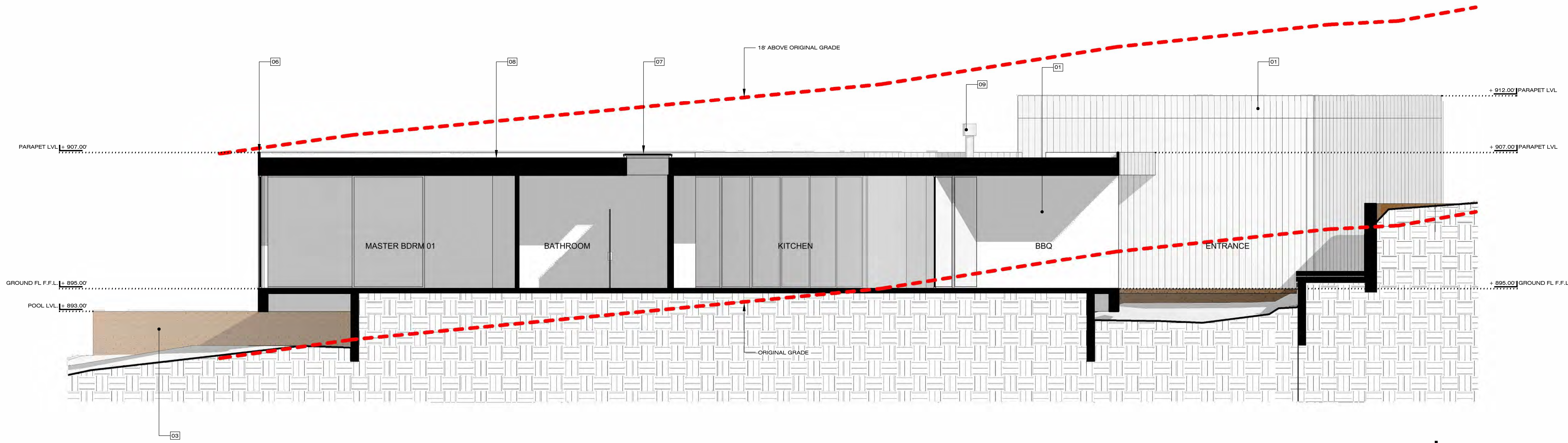
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AS NOTED INT.S. IF PRINTED 11x17

Designer:  
Jorge E. Guada

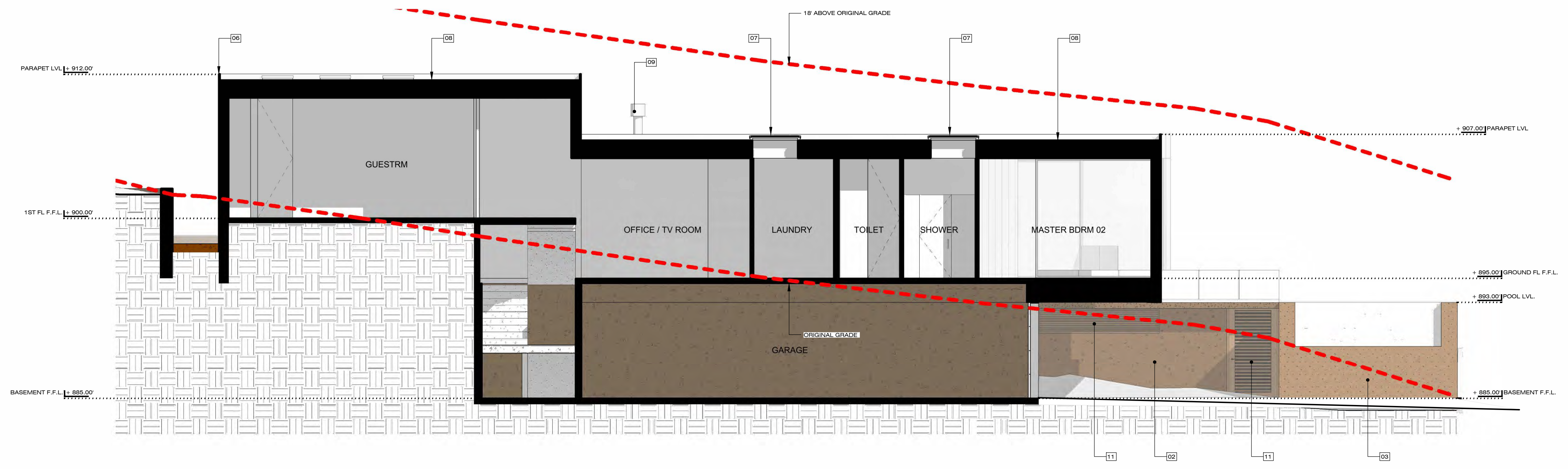
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Issue Date:  
07 | MAR | 2022





SECTION SX | 01  
SCALE: 3/16" = 1'-0"



SECTION SX | 02  
SCALE: 3/16" = 1'-0"

**FINISH KEY**

01	KERONY GATOR SHOU SUGI BAN - VERTICAL TONGUE & GROOVE SIDING
02	FORM BOARD CONCRETE - BROWN COLOR
03	MINI PEBBLES POOL FLASTER
04	BLACK ALUMINUM WINDOWS + DOORS
05	FRAMELESS GLASS GUARDRAIL
06	PARAPET WITH BLACK METAL CAP FLASHING
07	SKYLIGHT
08	TWO-PLY SBS MODIFIED ROOFING SYSTEM
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**PROJECT | DESERT PALISADES HOUSE**

LOT 04 - 2865 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

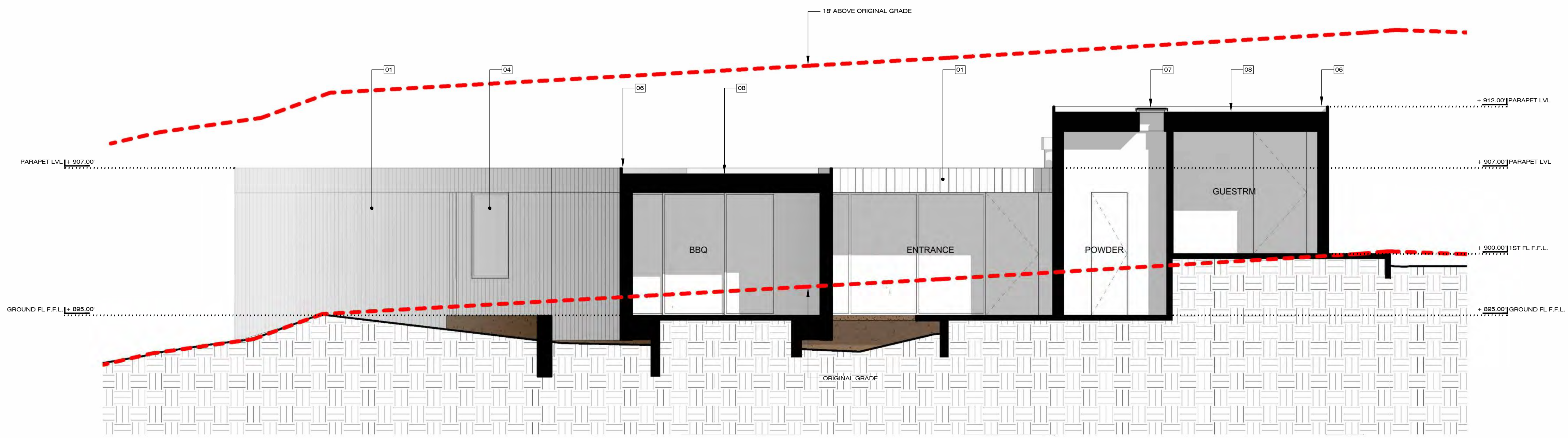
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Number:  
**NOT APPROVED FOR CONSTRUCTION**  
Scale:  
**AS NOTED | N.T.S. IF PRINTED 11x17**

Designer: Jorge E. Guadalupe

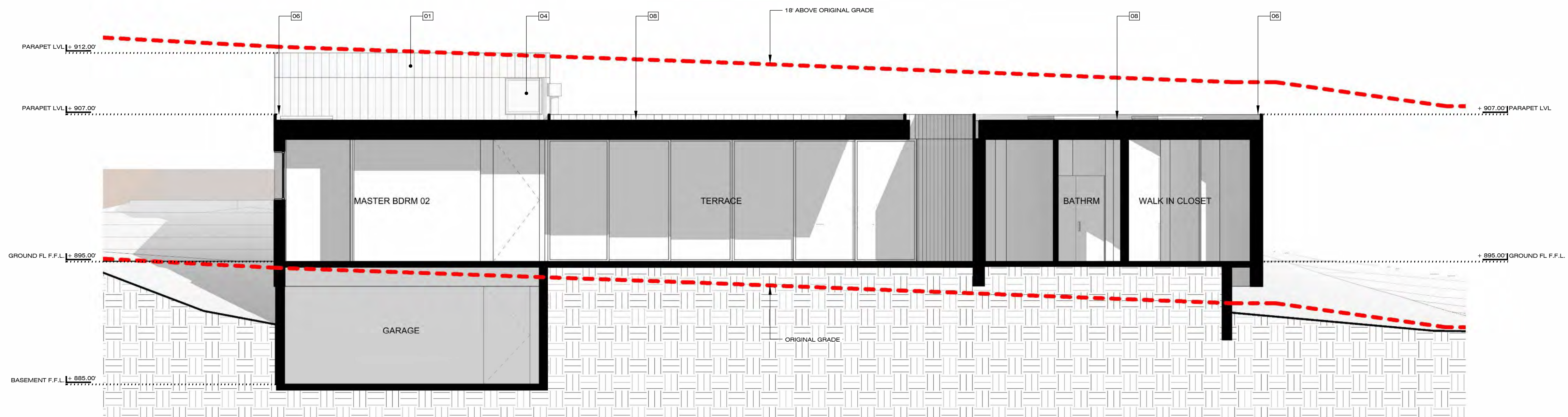
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Issue Date: 07 | MAR | 2022





SECTION SY | 01  
SCALE: 3/16" = 1'-0"



SECTION SY | 02  
SCALE: 3/16" = 1'-0"

**FINISH KEY**

01	KERONY GATOR SHOU SUGI BAN - VERTICAL TONGUE & GROOVE SIDING
02	FORM BOARD CONCRETE - BROWN COLOR
03	MINI PEBBLES POOL FLASTER
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12	SAND FINISH CONCRETE
13	FRAMELESS LAMINATED GLASS

PROJECT | DESERT PALISADES HOUSE

LOT 04 - 2865 DESERT FLOWER COURT, PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

Sheets:  
SECTIONS

Notes:  
NOT APPROVED FOR CONSTRUCTION  
Scale:  
AS NOTED / N.T.S. IF PRINTED 11x17

Designer:  
Jorge E. Guada

Sheet:  
A302

Issue Date:  
07 | MAR | 2022



**PIPE SIZING CHART**

PIPE SIZE	MAX. ALLOWABLE FLOW
1/2"	5 GPM
3/4"	10 GPM
1"	16 GPM
1-1/4"	26 GPM
1-1/2"	40 GPM
2"	60 GPM

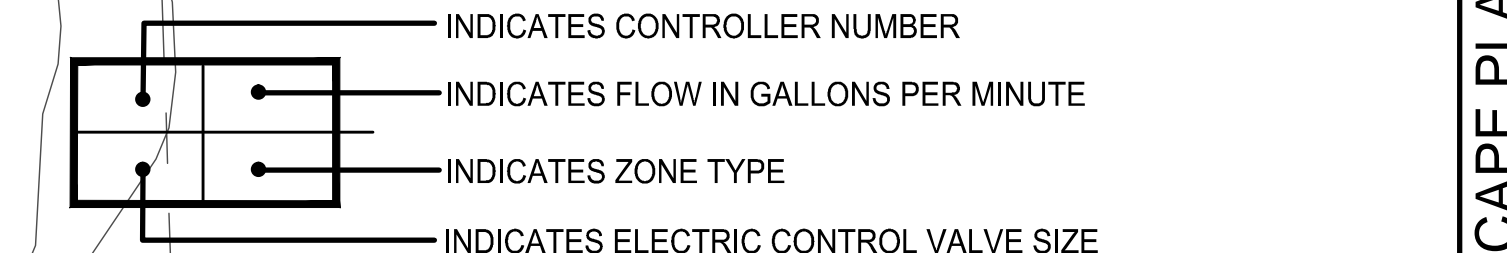
**EMITTER / BUBBLER LEGEND**

TREES	SCIENTIFIC NAME	COMMON NAME	WATER PLANT NEEDS FACTOR	BUBBER EMITTER
5	CERCIDIUM PRAECOX	SONORAN PALO VERDE	LOW 0.2	1402
5	OLNEYA TESOTA	DESERT IRONWOOD	LOW	0.2 1402
14	AGAVE AMERICANA or AGAVE WEBERI	CENTURY PLANT or BLUE AGAVE	LOW 0.2	XB-10PC-1032
29	AGAVE DESERTI or AGAVE AUGUSTIFOLIA 'MARGINATA'	DESERT AGAVE or CARIBBEN AGAVE	LOW 0.2	XB-10PC-1032
30	AGAVE PARRYII 'Truncata'	ARTRICHOKE AGAVE	LOW 0.2	XB-10PC-1032
19	BAILEYA MULTIRADIATA	DESERT MARGOLD	LOW 0.2	XB-10PC-1032
18	DASYLIRION WHEELERI	DESERT SPOON	LOW 0.2	XB-10PC-1032
13	DICHONDRA 'EMERALD FALLS'		MODERATE 0.5	XB-20PC-1032
22	ECHINOCACTUS GRUSONII	BARELL CACTUS	LOW 0.2	XB-10PC-1032
79	ENCELIA FARINOSA	BRITTLEBUSH	LOW 0.2	XB-10PC-1032
10	LARREA TRIDENTATA	CREOSOTE BUSH	LOW 0.2	XB-10PC-1032
12	STENOCEREUS MARGINATUS	MEXICAN FENCE POST	LOW 0.2	XB-10PC-1032
6	YUCCA ROSTRATA 'SKY BLUE'	BEAKED YUCCA	LOW 0.2	XB-10PC-1032

**IRRIGATION LEGEND**

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	NOZZLE	FLOW GPM	PSI	PATTERN
□	RAINBIRD	PFR/FRA	XERI-BUG EMITTER	XB-20PC-1032	.20	30	DRIP
▽	RAINBIRD	PFR/FRA	XERI-BUG EMITTER	XB-10PC-1032	.10	30	DRIP
■	RAINBIRD	SCH. 80 RISER	BUBBLER		1402	.50	TRICKLE PATTERN

- ESP-LXMEF WEATHER BASED CONTROLLER SEE SHEET LD-2
- 12 STATIONS
- 100-EFB-CP MASTER BRASS VALVE WITH 1" BRASS TEE FLOW SENSOR
- FS 100 B ELECTRIC CONTROL VALVE FOR TREES
- PEB SERIES BUBBLERS, SIZE AS NOTED ON PLAN. REFER TO DETAIL ON IRRIGATION DETAIL SHEET
- 100-PEB-PRS-D BUBBLERS, SIZE AS NOTED ON PLAN. REFER TO DETAIL ON IRRIGATION DETAIL SHEET
- XCZ-075-PRF ELECTRIC CONTROL VALVE FOR DRIP AREAS. SIZE AS NOTED ON PLAN.
- 075-DVF 2" AUTOMATIC END FLUSH VALVE BY NETAFIM OR APPROVED EQUAL
- NETAFIM FULL PORT VALVE (LINE SIZE). REFER TO DETAIL ON IRRIGATION DETAIL SHEET LD-2.
- NIBCO T-113 3/4" CHECK COUPLER REFER TO DETAIL ON IRRIGATION DETAIL SHEET
- 33DRC 3/4" CHECK COUPLER REFER TO DETAIL ON IRRIGATION DETAIL SHEET
- RAINBIRD 805 Y CONTRACTOR TO ENSURE THAT BACKFLOW PREVENTOR IS SCREENED BY PUBLIC VIEW
- FEBCO PRESSURE MAINLINE PIPING USE SCHEDULE 40 - SIZE AS NOTED
- NON-PRESSURE LATERAL LINE PIPING - PVC CLASS 200
- WM IRRIGATION POINT OF CONNECTION - IRRIGATION POINT OF CONNECTION FROM WATER METER SOURCE.
- PIPE SLEEVING SHALL OCCUR UNDER ALL MAJOR HARDSCAPE. SLEEVING SHALL BE 2X THE DIAMETER OF THE PIPE.



- NOTES:**
- IRRIGATION LAYOUT IS DIAGRAMMATIC.
  - ALL VALVES AND MAINLINE ARE TO BE LOCATED ON PROPERTY AND IN THE PLANTING AREAS.
  - CONTRACTOR TO PROVIDE 100% IRRIGATION COVERAGE
  - NO OVER SPRAY ON HARDSCAPE OR WALLS WILL BE PERMITTED.
  - CONTRACTOR TO SLEEVE ALL LATERALS UNDER HARDSCAPE USING SCH. 40 PVC 2 TIMES LATERAL SIZE.
  - VALVE BOXES WILL BE BASED WITH PEA GRAVEL.
  - VALVE BOXES WILL BE TAN COLOR WHEN IN CRUSHED ROCK AREAS
  - THERE ARE NO CONFLICTING UTILITIES WITHIN THE PROJECT AREA.
  - LANDSCAPE CONTRACTOR TO VERIFY EXISTING IRRIGATION CONTROLLER LOCATIONS. CONTRACTOR TO INSTALL A NEW SMART CONTROLLER.
  - LANDSCAPE CONTRACTOR TO SIZE ALL LATERALS ACCORDING TO WATER DEMANDS.
  - CONTRACTOR TO PROVIDE 100% IRRIGATION COVERAGE FOR DRIP IRRIGATION LAYOUT. ALL PLANTS ARE TO RECEIVE 100% IRRIGATION.
- NOTE:** MAINLINE, LATERALS AND VALVES ARE SHOWN OUTSIDE PLANTING AREAS FOR GRAPHIC CLARITY ONLY. THEY SHOULD BE INSTALLED IN SHRUB AREAS WITHIN THE PROPERTY LINES.
- LANDSCAPE CONTRACTOR IS TO RUN A PRESSURE TEST AT THE P.O.C. LOCATION TO ASSURE ADEQUATE PRESSURE.

**WATER USE CALCULATIONS**

Zone 5 - 16330 square feet - Proposed Landscape Area  
 Low Plants EAAW= 83.00 x 0.2 x 15513 s.f. x 0.62 / 748 / 0.81 = 263.52 CCF  
 Moderate Plants EAAW= 83.00 x 0.5 x 817 s.f. x 0.62 / 748 / 0.81 = 34.70 CCF  
 Pool/ Spa EAAW= 83.00 x 1.0 x 420 s.f. x 0.62 / 748 / 1 = 28.89 CCF  
 ETWU TOTAL = 327.11 CCF  
 Maximum Water Allowance = 83.00 x 0.45 x 16750 s.f. x 0.62 / 748 = 518.55 CCF

**DWA LANDSCAPE APPROVAL**

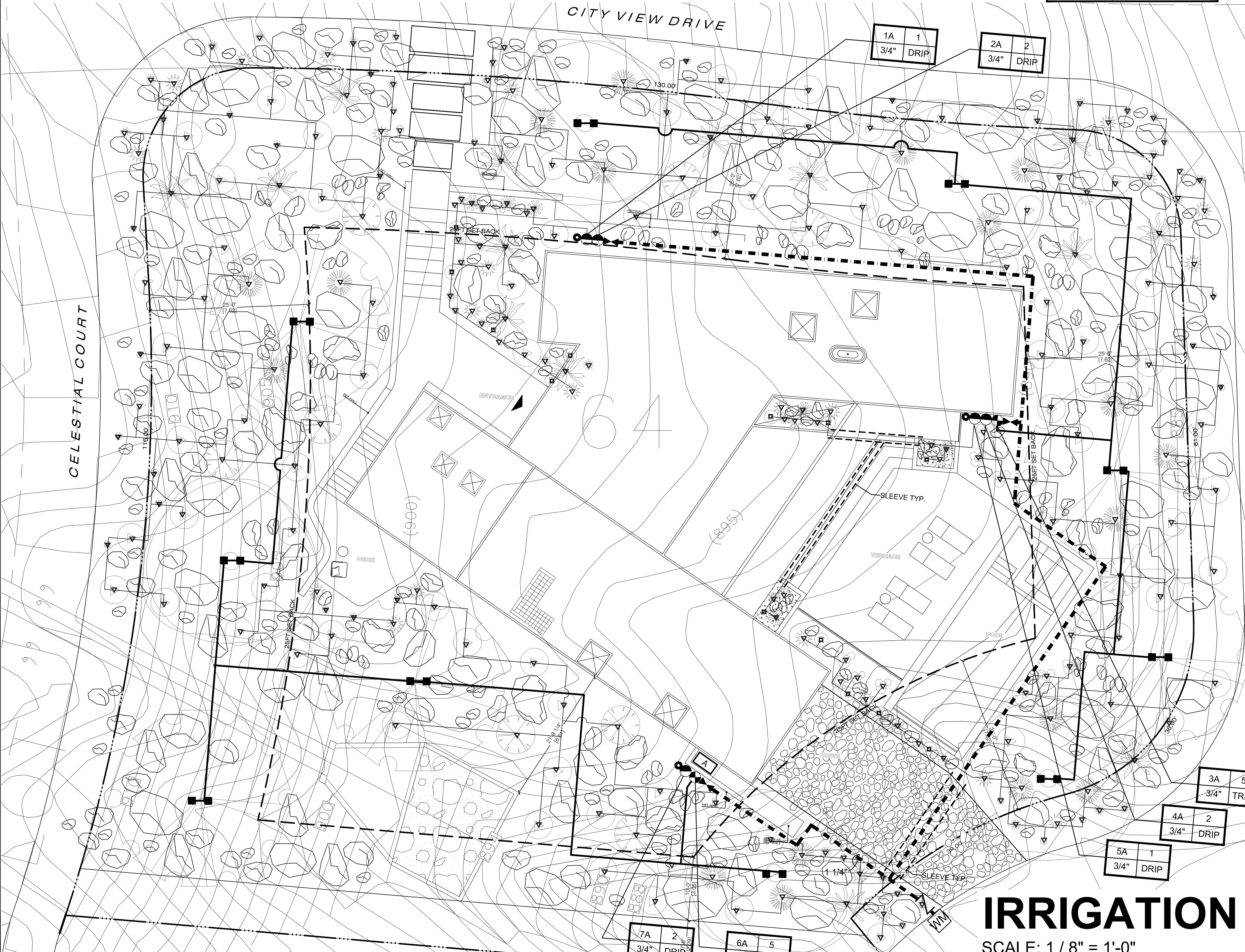
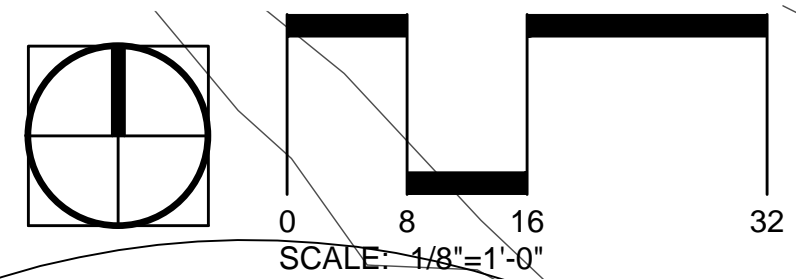
These plans have been reviewed by the Desert Water Agency in accordance with California Government Code, Section 65991 et seq. requiring efficient landscape and irrigation design in cooperation with the local governing agency (City or County).

Approval of this drawing by DWA staff does not constitute approval to encroach into district and USBR Rights-of-Way. Trees, plants, walls, and permanent structures of any kind may not be planted or installed in DWA and USBR easements or right-of-way without first obtaining an encroachment permit from DWA.

Date \_\_\_\_\_ WATER MANAGEMENT DEPARTMENT  
 DWA Plan # \_\_\_\_\_ DEVELOPMENT SERVICES DEPARTMENT

**IRRIGATION PLAN**

SCALE: 1/8" = 1'-0"



**Important Notice - Underground Service Alert**

Section 42164.217 of the Government Code requires a Dig Alert Identification Number be issued before a 'Permit to Excavate' will be valid. For your Dig Alert Identification Number call Underground Service Alert TOLL FREE at 1-800-227-2600 two working days before you dig.

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

LANDSCAPE ARCHITECTURAL SERVICES BY:  
**DESERT MODERN**  
 LANDSCAPE DESIGN

LANDSCAPE PLANS FOR  
**DESERT PALISADES**  
 LOT 64  
 PALM SPRINGS, CALIFORNIA

REVISION
03-20-22

SCALE: 1/8"=1'-0"

SHEET  
**L-2.0**



**ELECTRICAL NOTES**

1. ELECTRICIAN IS TO PROVIDE ALL NECESSARY PLANS, SPECIFICATIONS, AND DOCUMENTS, ETC. AND OBTAIN ALL REQUIRED APPROVALS AND PERMITS.
2. UNLESS OTHERWISE PROVIDED BY CONTRACTOR, ELECTRICIAN IS TO SIZE AND CIRCUIT ALL ELECTRICAL REQUIREMENTS SHOWN ON PLANS. (I.E. LIGHTS, PUMPS, POOLS EQUIPMENT, TIME CLOCKS, IRRIGATION CONTROLLERS, ETC.) CONTRACTOR IS TO PROVIDE AS BUILTS.
3. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES AND ACCEPTABLE STANDARDS OF PRACTICE.
4. COORDINATE ALL WORK, ESPECIALLY SLEEVING, TRENCHING AND BACKFILLING WITH IRRIGATION, CONCRETE AND MASONRY SUBCONTRACTORS AS REQUIRED.

5. LIGHTING CONTROLLERS WILL BE LOCATED ADJACENT TO IRRIGATION CONTROLLERS WHENEVER POSSIBLE.
6. ELECTRICIAN IS TO CONFIRM EXACT TREE LOCATION SO AS TO INSURE PROPER INSTALLATION OF LIGHT FIXTURES.
7. ALL JUNCTION BOXES WITHOUT A LIGHT FIXTURE WILL BE PUT IN A CARSON BELOW GRADE.
8. JUNCTION BOXES ON WALK LIGHTS ARE TO BE 6" TO 8" ABOVE FINISH GRADE MEASURED TO THE BOTTOM OF THE BOX. THESE NEED TO BE 6" MIN. AWAY FROM THE EDGE OF THE CONCRETE DECKING.
9. LIGHT FIXTURES LOCATED WITHIN (10) TEN FEET FROM EDGE OF WATERFEATURES ARE TO BE EQUIPPED WITH A GFCI PER ELECTRICAL ENGINEERS PLAN AND PER LOCAL AND COUNTY CODES.

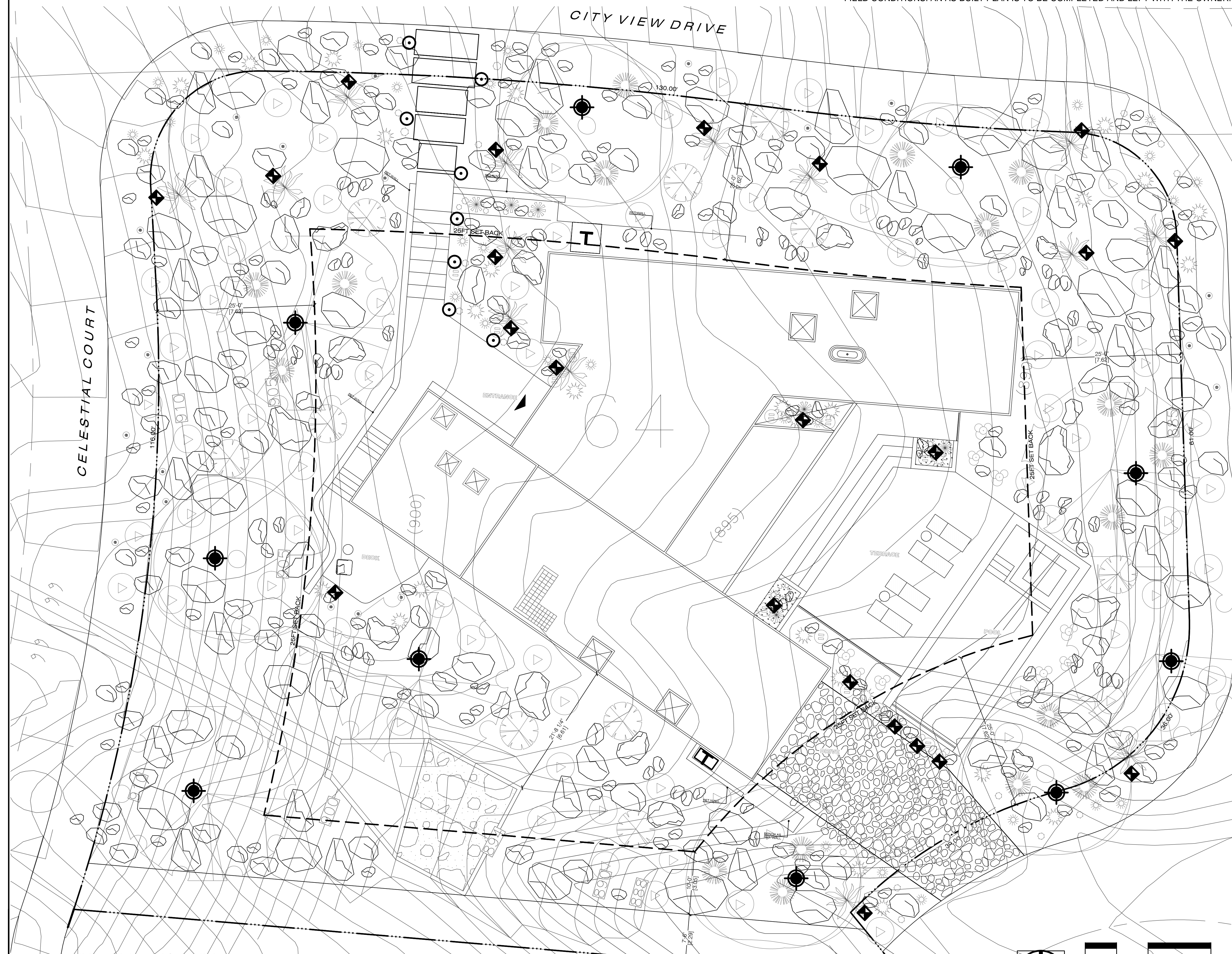
10. THE DESIGNER SHALL IN NO WAY BE HELD RESPONSIBLE FOR THE METHODS AND OR TIMELINESS IN WHICH WORK IS PERFORMED.
11. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE FIXTURES AT NIGHT TO ELIMINATE GLARE AND INSURE OPTIMUM LIGHTING EFFECT.
12. ALL WIRE SHOULD RUN PARALLEL TO HARD SURFACES, SUCH AS SIDEWALKS, DRIVEWAYS AND WALLS, WHEN POSSIBLE.
13. COORDINATE ALL WORK, ESPECIALLY SLEEVING, TRENCHING AND BACKFILLING WITH IRRIGATION, CONCRETE AND MASONRY SUBCONTRACTORS AS REQUIRED. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING SLEEVES UNDER THE HARD SURFACES, USING A 1-INCH PIPE MINIMUM.
14. ALL 120 VOLT OUTSIDE ELECTRICAL OUTLETS SHALL BE PROTECTED BY THE GFI AS PER NATIONAL ELECTRICAL CODE.
15. THE LIGHTING PLAN IS DIAGRAMMATIC AND IS NOT INTENDED TO SHOW EXACT LOCATION OF CABLE RUNS. THE INSTALLING CONTRACTOR SHALL RUN WIRES TO BEST SUIT FIELD CONDITIONS. AN AS-BUILT PLAN IS TO BE COMPLETED AND LEFT WITH THE OWNER.

**NOTES:**

1. ALL WIRING SHOULD BE INSTALLED IN ACCORDANCE WITH LOCAL STATE AND NATIONAL ELECTRICAL CODES, UL SAFETY STANDARDS AND BE INSTALLED BY QUALIFIED LICENSED ELECTRICIAN.
2. SEE ASSEMBLY AND INSTALLATION INSTRUCTIONS PROVIDED WITH ALL KICHLER FIXTURE/ ACCESSORY FOR ACCURATE AND SAFE INSTALLATION.
3. USE ONLY KICHLER FIXTURES AND ACCESSORIES FOR THIS INSTALLATION.
4. FAILURE TO ADHERE TO ABOVE NEC CODES AND INSTRUCTIONS MAY RESULT IN SERIOUS INJURY AND/OR PROPERTY DAMAGE.
5. ALL FIXTURES MUST BE AT LEAST 10FT. AWAY FROM A SWIMMING POOL WHERE APPLIED TO MET THE NEC CODE.
6. LAYOUT DESIGN FOR REFERENCE ONLY. FINAL PRODUCT PLACEMENT MAY BE SUBJECT TO CHANGE PER ELECTRICIAN OR INSTALLER.
7. FIXTURES ARE SHOWN IN APPROXIMATE LOCATION. THE CONTRACTOR SHALL VERIFY THE ACTUAL FIELD PLACEMENT OF EACH FIXTURE UPON COMPLETION OF LANDSCAPE INSTALLATION.
8. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING FIXTURES AT NIGHT TO HELP ELIMINATE GLARE AND TO ENSURE OPTIMUM LIGHTING EFFECT.
9. INSTALLER SHALL BURY LOW VOLTAGE CABLE NO LESS THAN 6" IN GROUND.
10. CONTRACTOR TO FOLLOW INSTALLATION INSTRUCTIONS TO SET UP FIXTURES FOR A BRIGHTER SETTING.

**NOTES:**

1. THIS SHEET IS FOR REFERENCE ONLY AND THESE LIGHTINGPLAN REQUIREMENTS ARE INCORPORATED ON THE ELECTRICAL
  2. LIGHTING CONTRACTOR TO CONTACT KICHLER LIGHTING FOR ANY TYPE OF ASSISTANCE IN LAYOUT OF WIRE AND SIZE.
  3. LIGHTING CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR FOR LOCATION OF IRRIGATION CLOCK AND LIGHTING TRANSFORMER(S) AWAY FROM PUBLIC VIEW.
  4. PROVIDE LIGHTING TRANSFORMERS WATTAGE AS NECESSARY WITH PHOTOCELL. PHOTOCELLS ARE TO BE LOCATED IN SUN ACCESSIBLE AREAS.
- Please contact: Raul Avila for installation questions  
 FX Luminaire (619) 719-2337  
 Raul.Avila@Hunterindustries.com



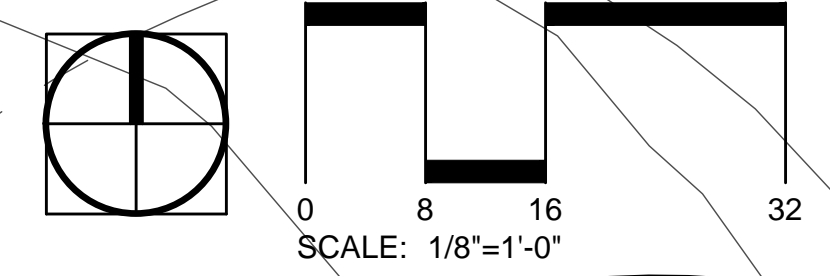
**LIGHTING SCHEDULE**

SYMBOL	QTY.	FIXTURE	COMMENTS
	10	FX Model:LC-ZD-9LED-BZ Dimmable Electrical: 12V	LED TREE FLOOD LIGHT Architectural Bronze Finish 2700 K Warm White
	22	FX Model:NP9LED-BZ Fully Dimmable Accent Fixture Electrical: 12V	LED ACCENT LIGHT Architectural Bronze Finish 2700 K Warm White
	8	FX Model MPL1LEDFB Electrical: 12V	LED PATH LIGHT Architectural Black Finish 2 Watt 27K
	2	FX Model: DX-300-M or FX Model: LUX-300-SS WiFi Mod 2	Transformer Controller or Digital Controller TRANSFORMER with WiFi

LIGHTING CONTRACTOR TO VERIFY LIGHTING COUNT BEFORE ORDERING FIXTURES.  
 (H) - SATELLITE HUB (WIRE JUNCTION MANIFOLD)

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Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours; and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.



**LED LANDSCAPE LIGHTING PLAN**  
 SCALE: 1 / 8" = 1'-0"

LANDSCAPE ARCHITECTURAL SERVICES BY:  
**DESERT MODERN**  
 LANDSCAPE DESIGN

LANDSCAPE PLANS FOR  
**DESERT PALISADES**  
 LOT 64  
 PALM SPRINGS, CALIFORNIA

DESERT MODERN LANDSCAPE DESIGN  
 7135 SAN Geronimo ROAD  
 PALM SPRINGS, CALIFORNIA 92262  
 TELEPHONE: (951) 844-9797 E-mail: adm@desertmodern.com www.desertmodern.com

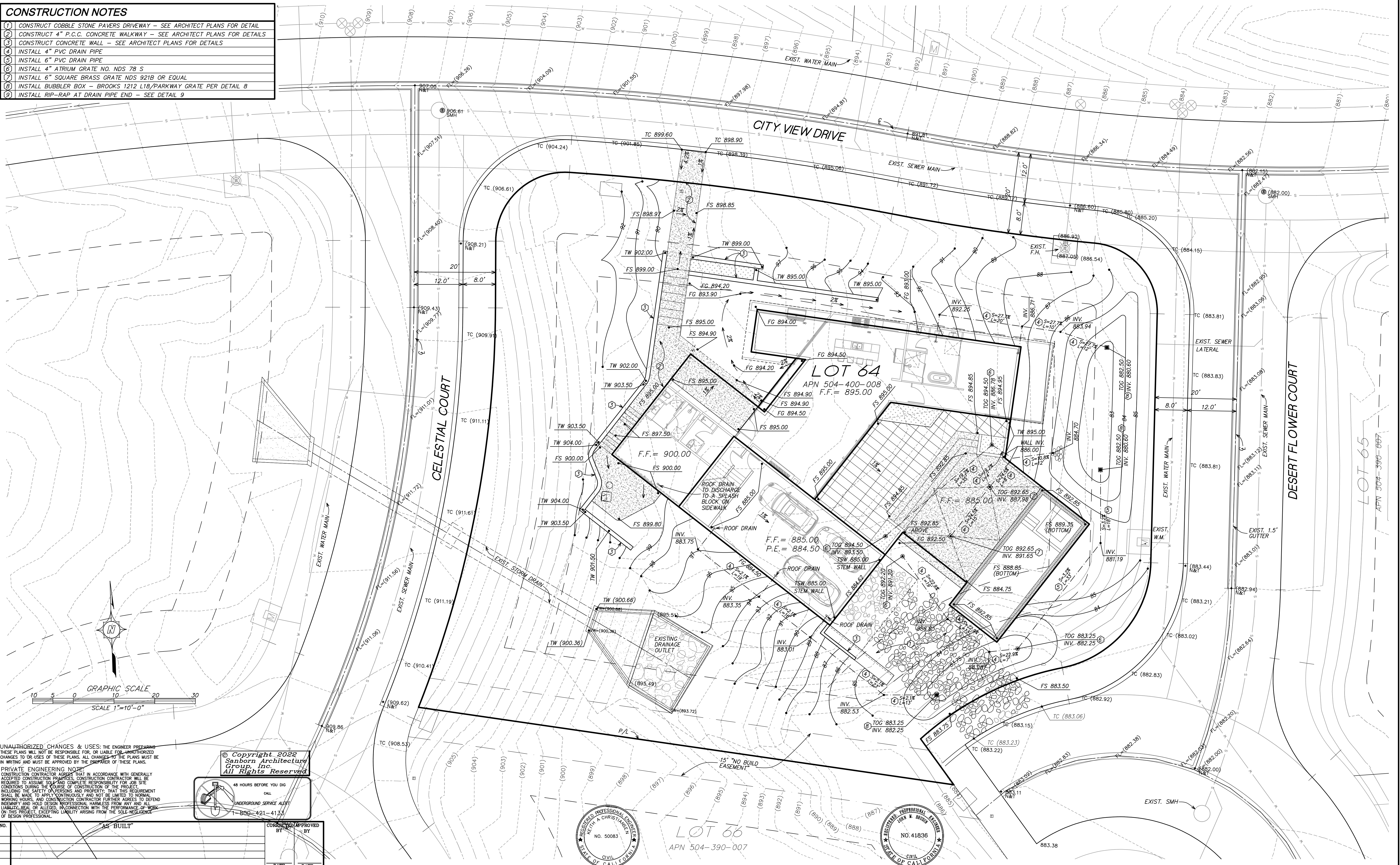
REVISION	DATE
03-20-22	

SHEET  
**L-3.0**



**CONSTRUCTION NOTES**

- 1) CONSTRUCT COBBLE STONE PAVERS DRIVEWAY - SEE ARCHITECT PLANS FOR DETAIL
- 2) CONSTRUCT 4" P.C.C. CONCRETE WALKWAY - SEE ARCHITECT PLANS FOR DETAILS
- 3) CONSTRUCT CONCRETE WALL - SEE ARCHITECT PLANS FOR DETAILS
- 4) INSTALL 4" PVC DRAIN PIPE
- 5) INSTALL 6" PVC DRAIN PIPE
- 6) INSTALL 4" ATRIUM GRATE NO. NDS 78 S
- 7) INSTALL 6" SQUARE BRASS GRATE NDS 921B OR EQUAL
- 8) INSTALL BUBBLER BOX - BROOKS 1212 L18/PARKWAY GRATE PER DETAIL 8
- 9) INSTALL RIP-RAP AT DRAIN PIPE END - SEE DETAIL 9

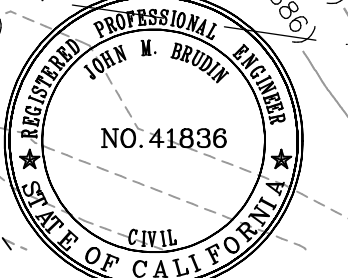


UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

PRIVATE ENGINEERING NOTE: CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

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48 HOURS BEFORE YOU DIG  
CALL  
UNDERGROUND SERVICE ALERT  
1-800-421-4153



NO.	AS-BUILT	CORRECTED/APPROVED BY	DATE

NO.	REVISION	APPROVED	DATE

BENCH C.P.S. MARK 3-11 ELEV. 804.929  
LOCATION: TOP OF FIRE HYDRANT NO. 593, SOUTHEAST CORNER OF MILO AND RACQUET CLUB.

**SANBORN ARCHITECTURE GROUP, INC.**  
71780 SAN JACINTO DR., RANCHO MIRAGE, CA 92270  
TEL (760) 423-0800 FAX (760) 423-0663

PREPARED UNDER THE DIRECT SUPERVISION OF:  
*Keith A. Christensen*  
DATE: 4/12/2022  
R.C.E. 50083

DESIGN BY: A.M.S.  
DRAWN BY: F.J.  
CHECKED BY: A.M.S.

CITY CHECK: JOHN M. BRUDIN  
RIGHT-OF-WAY: JOEL MONTALVO  
TRAFFIC ENG'G: JOEL MONTALVO  
FIELD ENG'G: JOEL MONTALVO

APPROVED BY: JOEL MONTALVO  
R.C.E. NO. 62624  
DATE:  

**CITY OF PALM SPRINGS, CALIFORNIA**  
GRADING PLAN  
LOT 64, TRACT NO. 35540, M.B. 443/65-78  
IN SECTION 4, T4S, R4E, S.B.M.

FILE NO. E-  
DWG. NO. 2  
W.O. 21-143  
SHEET 2 OF 2 SHEETS





**MSA CONSULTING, INC.**  
 PLANNING ■ CIVIL ENGINEERING ■ LAND SURVEYING

34200 BOB HOPE DRIVE ■ RANCHO MIRAGE ■ CA 92270  
 TELEPHONE (760) 320-9811 ■ FAX (760) 323-7893

ADDRESS:  
 2085 DESERT FLOWER COURT

DESERT PALISADES  
**TRACT NO. 35540**  
 LOT 64 - DESERT FLOWER COURT  
 PALM SPRINGS, RIVERSIDE COUNTY, CALIFORNIA

JANUARY 2017

SCALE 1" = 30'