



ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: NOVEMBER 7, 2022

CONSENT

SUBJECT: A REQUEST BY 02 ARCHITECTURE, FOR A MAJOR ARCHITECTURAL APPLICATION (MAJ) FOR THE CONSTRUCTION OF A 2,357-SQUARE FOOT, ONE-STORY, SINGLE-FAMILY RESIDENCE ON A HILLSIDE LOT LOCATED AT 2242 NORTH PALERMO DRIVE. (CASE 3.2054-MAJ). (AR).

FROM: Department of Planning Services

PROJECT DESCRIPTION:

This is a request for approval of an Architectural Review Application for the construction of a new 2,357-square foot, one-story, single-family residence on a hillside lot of approximately 20,037-square feet in size. In addition to the proposed residence, the project includes a detached carport, pool and spa, miscellaneous hardscape work, and the installation of water efficient drought-tolerant desert landscaping. The proposed residence has a modern design style, which will complement the surrounding area. The one-story building will have a maximum height of 10'-6" from grade to the top of the roof.

RECOMMENDATION:

That the Architectural Review Committee approve the application, subject to the attached conditions.

BACKGROUND INFORMATION:

| <i>Neighborhood Meeting/Neighborhood Notice</i> | |
|---|--|
| 10/19/22 | Notice mailed by staff to adjacent property owners notifying that the subject application had been filed with the Department of Planning Services, in accordance with 93.13.00 of the Zoning Code. |
| 10/27/22 | Notice mailed by staff to adjacent property owners notifying that the subject project would be reviewed by the Architectural Review Committee on November 7, 2022. |
| 10/27/22 | The surrounding neighborhood organizations within a mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on November 7, 2022. |

STAFF ANALYSIS:

| | |
|------------------|-----------|
| <i>Site Area</i> | |
| Net Acres | .46 Acres |

| | | |
|---|--------------------------|-------------------|
| <i>General Plan and Zoning Designations</i> | | |
| <i>General Plan Designation</i> | <i>Permitted Density</i> | <i>Compliance</i> |
| Estate Residential (ER) | 0-2.0 DU/AC | Y |
| <i>Zoning Designation</i> | | |
| R-1-B (Single Family) | | |

Development Standards:

Pursuant to PSZC Section 92.01.03, the following development standards apply:

| <i>Standard</i> | <i>Required/ Allowed</i> | <i>Provided</i> | <i>Compliance</i> |
|-----------------------|--------------------------------------|-----------------------|-------------------|
| Min. Setbacks | | | |
| • Front (West) | 25 Feet | 25 Feet | Y |
| • Side (North) | 20 Feet | 20 Feet | Y |
| • Side (South) | 10 Feet | 10 Feet | Y |
| • Rear (South) | 15 Feet | 21 Feet | Y |
| Max. Lot Coverage | 35% | 11.7% | Y |
| Max. Building Height | 12 Feet @ setback, 18 Feet Max | 10'-6" Feet | Y |
| Building Separation | 6 Feet | N/A | N/A |
| Perimeter Wall Height | | | |
| • North | 4.5 on PL | N/A | N/A |
| • South | 6 Feet | N/A | N/A |
| • East | 6 Feet | 4' Wall / 5'-6" Fence | Y |
| • West | 6 Feet | 5' Wall / 5'-6" Fence | Y |
| Parking | 2 spaces (covered) | 2 spaces (covered) | Y |

Hillside Review Criteria:

PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

| | <i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i> | <i>Compliance</i> |
|----|---|-------------------|
| 1. | <p><i>Rock and soil exposure;</i></p> <p>The lot is located within the R-1-B Zone. The existing topography drops 12' (west to east) from the upper edge at Palermo Drive to the bottom of the site. The finished floor elevation is 710' and is located 7 feet down from the west boundary and 5 feet above the east boundary.</p> | Y |
| 2. | <p><i>Size of building pad;</i></p> <p>The size of the building pad is expected to be approximately 2,567-square feet. The proposed building pad is comparable to those in the surrounding area. The adjacent houses are slightly larger in size and massing.</p> | Y |
| 3. | <p><i>Design considerations, such as supporting stilts, colors and building arrangement;</i></p> <p>The proposed home is modern in its design and consists of a neutral color scheme. Supporting stilts are not required or proposed.</p> | Y |
| 4. | <p><i>Screening of parking areas;</i></p> <p>The proposed residence driveway and carport are attached to the living areas with an 8'-10" high feature screen block wall which will give the home a modern linear horizontal expanse. The carport faces west and takes access off of Palermo Drive. The carport is located behind a 5'-0" courtyard wall and is mostly screened from the public right-of-way. An additional driveway is located on the north end of the lot and takes access off Via Olivera. The purpose of this driveway is to provide additional parking to the main entry of the home.</p> | Y |
| 5. | <p><i>Landscaping plans;</i></p> <p>The project proposes to maintain existing landscaping and introduce new drought-tolerant plant species in a naturalized desert setting. The proposed plant species consist of: Mesquite trees, Palo Verde trees, Mexican Palm trees, Aloe Vera, Cactus, and tall grass. Existing vegetation and boulders are to remain.</p> | Y |
| 6. | <p><i>Continuity with surrounding development;</i></p> <p>The proposed home is complementary with the existing residential development on the street and maintains a similar scale with homes in the vicinity.</p> | Y |

| | <i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i> | <i>Compliance</i> |
|----|---|-------------------|
| 7. | <i>Sensitivity to existing view corridors.</i> The project site sits approximately 12 feet below the street. The proposed residence is a single-story building and has a maximum height of 10'-6". The proposed home complies with the height standard within the R-1-B zone and does not disrupt existing view corridors. | Y |

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

| | <i>Criteria and Findings [PSZC 94.04.00(E)]</i> | <i>Compliance</i> |
|----|---|-------------------|
| 1. | <i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i> The building will consist of a plaster wall finish (silver and gray), with a metal fascia (white) and single-ply, off-white roof. The architectural treatment is consistent on all four sides with generous eaves and consistent finishes. | Y |
| 2. | <i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i> The proposed detached carport is consistent with the aesthetics of the primary dwelling, which contains a silver/gray plaster wall finish and single ply off white roof. | Y |
| 3. | <i>The façade elements and fenestration are composed in a harmonious manner;</i> The facades are treated in a harmonious manner with simple stucco walls and generous areas of full-height glazing. | Y |
| 4. | <i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i> Proposed material consists of a silver/gray plaster wall finish and cement accent materials. The proposed materials are consistent with the context of the site, adjacent buildings and the desert environment. | Y |
| 5. | <i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i> The color scheme is proposed in neutral greys and white. Crushed gravel is proposed in "Pewter Grey". For crushed gravel, natural soil colors such as tan or sand color are recommended in lieu of grey which tends to have the appearance of asphalt or concrete. | Y |

| | <i>Criteria and Findings [PSZC 94.04.00(E)]</i> | <i>Compliance</i> |
|-----|--|-------------------|
| 6. | <p><i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i></p> <p>The proposed design includes large overhangs located above the vertical windows on all sides of the dwelling. These overhangs will provide shade to the main structure as well as the rear patio and front courtyard area and will provide sufficient protection from solar heat gain.</p> | Y |
| 7. | <p><i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i></p> <p>The site is proposed in a naturalized form, with limited disturbance to the existing terrain. The “no-build” easement on the north property line will be maintained. Any new plants will meet the planting requirements for the DPSP for plant type and species.</p> | Y |
| 8. | <p><i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i></p> <p>The landscape plan submitted is consistent with zoning requirements. Proposed landscape includes, mesquite trees, Palo Verde trees, Mexican Palm tree, Aloe Vera, Cactus and tall grass.</p> | Y |
| 9. | <p><i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i></p> <p>There are no public sidewalks or pathways present on this parcel.</p> | N/A |
| 10. | <p><i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i></p> <p>The project will feature two types of LED lighting installed around the property. Each tree will have one up light and seven accent lights will be scatters around the property within the landscape and boulders.</p> | Y |
| 11. | <p><i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i></p> <p>No signage proposed.</p> | N/A |
| 12. | <p><i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i></p> <p>All mechanical equipment will be placed behind a 3-foot high, decorative CMU block walls on the east side of the property and will not be visible from the public right-of-way or abutting properties.</p> | Y |

| | <i>Criteria and Findings [PSZC 94.04.00(E)]</i> | <i>Compliance</i> |
|-----|---|-------------------|
| 13. | <i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i> | Y |
| | The project is consistent in its coordination of materials, landscape, color, massing and an overall design sensitive to the unique characteristics of the site. | |

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”) and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Single-Family Residence).

CONCLUSION:

The proposed single-family home is designed to integrate with the topography and natural features on the site. The structure conforms to the development standards of the zone and will provide a desirable environment for its occupants. The proposed development will be compatible with the character of adjacent and surrounding developments, and is of good composition, materials, textures and colors. Staff recommends approval by the Architectural Review Committee.

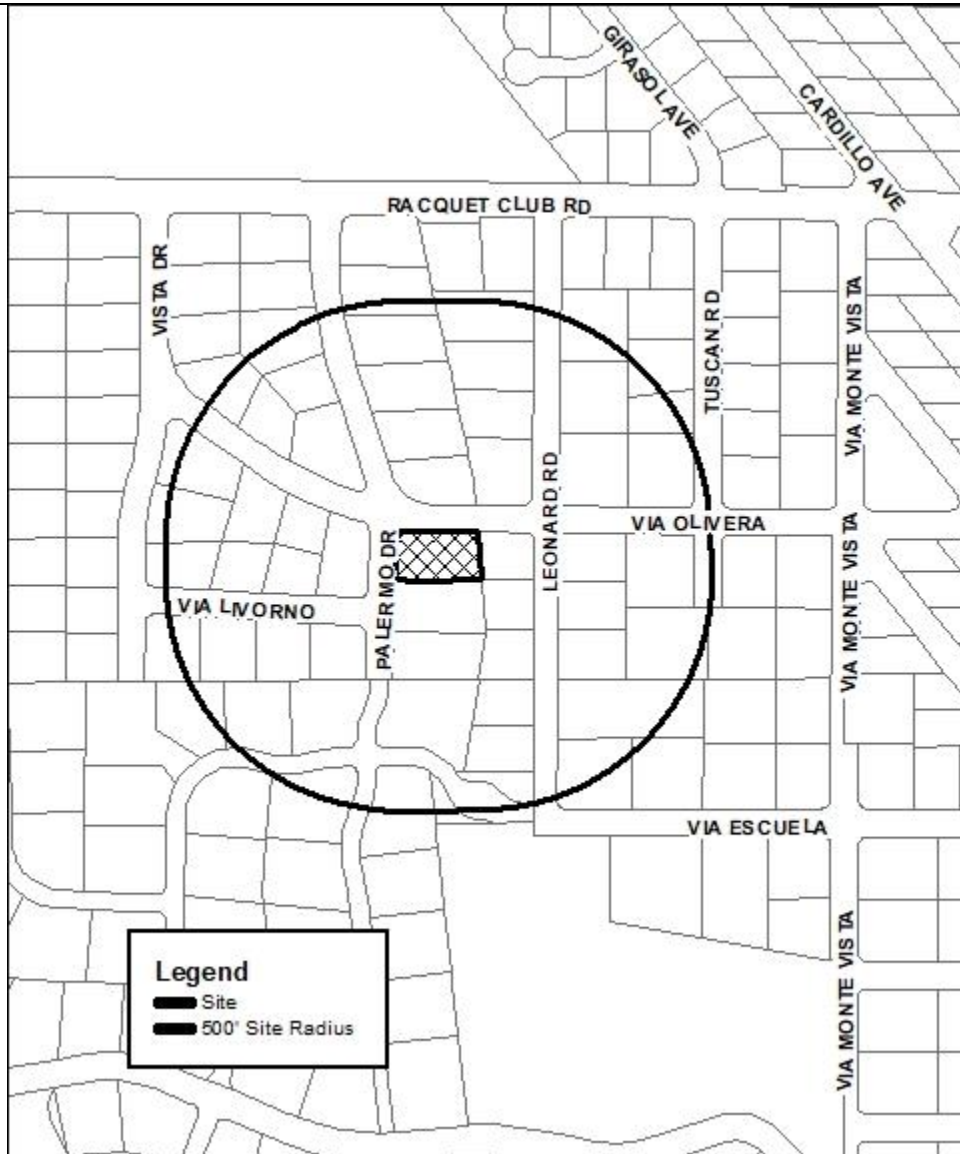
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|--------------|---------------------------------------|
| PREPARED BY: | Alex Perez, Assistant Planner |
| REVIEWED BY: | Edward Robertson, Principal Planner |
| REVIEWED BY: | Christopher Hadwin, Planning Director |

ATTACHMENTS:

- A. Vicinity Map
- B. Resolution
- C. Conditions of Approval
- D. Architectural Plans



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS
Case 3.2054 MAJ
2242 North Palermo Drive

RESOLUTION NO.

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION FOR DEVELOPMENT OF A 2,567-SQUARE FOOT SINGLE FAMILY RESIDENCE ON A HILLSIDE LOT LOCATED AT 2242 NORTH PALERMO DRIVE (CASE 3.2054-MAJ).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

- A. 02 Architecture, (“Applicant”) filed an application with the City, pursuant to the Palm Springs Zoning Code (PSZC) Section 94.04.00 (architectural review), for construction of a 2,567-square foot single family residence located at 2242 North Palermo Drive (“the Project”).
- B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City’s Planning Commission to the City’s Architectural Review Committee.
- C. On November 7, 2022, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Single-Family Residence).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Section 94.04.00 (“architectural review”).

Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Case 3.2054 MAJ, for the construction of a 2,567-square foot single-family residence on a hillside lot located at 2242 North Palermo Drive, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 7th day of November 2022.

AYES:

ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

Christopher Hadwin
Department of Planning Services Director

ARCHITECTURAL REVIEW COMMITTEE

RESOLUTION NO.

CONDITIONS OF APPROVAL

Case 3.2054 MAJ
Proposed Single Family Residence.
Located at 2242 North Palermo Drive
Zone R-1-B

November 7, 2022

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case (3.2054 MAJ).
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped (November 7, 2022), including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of

Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.4347 MAJ. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent, but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Approval shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.

PLANNING DEPARTMENT CONDITIONS

- PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.

- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 3. Flat Roof Requirements. Roof materials on flat roofs (less than 2:12) must conform to California Title 24 thermal standards for "Cool Roofs". Such roofs must have a minimum initial thermal emittance of 0.75 or a minimum SRI of 64 and a three-year aged solar reflectance of 0.55 or greater. Only matte (non-specular) roofing is allowed in colors such as beige or tan.
- PLN 4. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 5. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.
- PLN 6. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 7. Pool Enclosure Approval Required. Details of fencing or walls around pools (material and color) and pool equipment areas shall be submitted for approval by the Planning Department prior to issuance of Building Permits.
- PLN 8. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 9. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 10. No off-site Parking. Vehicles associated with the operation of the proposed development including company vehicles or employee's vehicles shall not be permitted to park off the proposed building site unless a parking management plan has been approved.
- PLN 11. Pad Elevations. Final building pad elevations shall not vary more than 12 inches above or below the pad elevation established by the approved

preliminary grading plan and / or tentative map. Any deviations from this provision shall require approval by the Planning Commission.

BUILDING DEPARTMENT CONDITIONS

BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

GENERAL

ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.

ENG 2. There exists on this property an internally-located 5-foot-wide public utility easement that is located 8 feet from the eastern property line. If the applicant plans to vacate said easement, then the City recommends that the applicant contact and coordinate with each public utility company prior to submittal of an application for vacation. The applicant would then be able to determine what specific requirements there may be to vacate the easement as well as the possible abandonment and/or relocation of any existing underground utilities that may exist within the easement to be vacated. If the applicant still plans to vacate the easement, then the applicant shall apply for the vacation through the Engineering Services Department. A vacation plan check fee shall be paid by the applicant in effect at the time that the vacation is submitted. Submission of the completed public utility easement vacation shall be required prior to issuance of any grading or building permits. The applicant shall be responsible for final resolution of all utilities, demolition of all existing improvements, and coordination of improvements with adjacent property owners, if applicable, for the easement vacation.

ENG 3. **Provide documentation on whether an easement for any use was reserved upon the 8-foot-wide strip of land quitclaimed by the Whitewater Mutual Company in 1957. If so, applicant will need to contact the Desert Water Agency to determine if such an easement has since been quitclaimed. This documentation is required prior to site plan approval.**

VIA OLIVERA

ENG 4. Construct a 6 inch concrete driveway, unless otherwise approved by the City Engineer, from the property line to a clean sawcut edge of pavement.

- ENG 5. The proposed driveway location is in violation of Section 93.06.00 C(15)d of the City of Palm Springs Zoning Ordinance. It calls for a minimum separation between the driveway and rear or side lot line of 6 feet. It also states that no driveway shall be nearer than 30 feet to the ultimate right-of-way of the intersecting street. (93.06.00 C(15)c)
- ENG 6. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.
- ENG 7. Construct 2 inch asphalt concrete pavement over compacted native subgrade or install appropriate landscaping and ground cover to provide adequate dust control measures, meeting the approval of the Director of Planning Services and City Engineer, from edge of pavement to property line along the entire frontage, excluding approved driveway locations.
- ENG 8. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

PALERMO DRIVE

- ENG 9. Construct a 6 inch concrete driveway, unless otherwise approved by the City Engineer, from the property line to a clean sawcut edge of pavement.
- ENG 10. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.
- ENG 11. Construct 2 inch asphalt concrete pavement over compacted native subgrade or install appropriate landscaping and ground cover to provide adequate dust control measures, meeting the approval of the Director of Planning Services and City Engineer, from edge of pavement to property line along the entire frontage, excluding approved driveway locations.
- ENG 12. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

SANITARY SEWER

- ENG 13. Construct a private sanitary sewer system in accordance with City of Palm Springs Ordinance No. 1084.
- ENG 14. The City recommends that the applicant contact the Riverside County Health Department for requirements related to the construction of private septic systems. Private septic systems may require additional environmental requirements from Riverside County Health Department

and/or the Regional Water Quality Control Board. A “Plan Check Clearance” for septic tank systems will be performed by Riverside County Health Department and/or Regional Water Quality Control Board, following permits for construction of the septic system will be issued by the City of Palm Springs.

GRADING

ENG 15. Submit a Precise Grading Plan prepared by a California registered Civil engineer to the Engineering Services Department for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.

a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more “Coachella Valley Best Available Control Measures” as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant’s or its contractor’s Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related “PM10” Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report.

ENG 16. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be

provided to the City). The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at ACBCI-THPO@aguacaliente.net to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.

- ENG 17. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed prior to issuance of Grading Permit and commencement of grading operations.
- ENG 18. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 19. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 20. If grading is to take place off-site and onto the adjacent property identified by Assessor's Parcel Number 504-191-012 then the applicant shall obtain approvals to perform off-site grading from the record owner(s) of that adjacent property. Approvals shall include, but not be limited to, a right-of-entry and permanent slope easement, a maintenance and joint use agreement, or other legally recognized approvals, subject to the review and approval by the City Engineer and/or the City Attorney. Off-site approvals by the adjacent property owner shall be required prior to approval of a grading plan.
- ENG 21. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.
- ENG 22. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.

- ENG 23. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan. (if required)
- ENG 24. A limited soils investigation of imported or stockpiled fill existing on the site shall be prepared by a geotechnical company and be submitted as an integral part of the grading plan for the proposed site. A copy of the soils investigation shall be submitted to the Building Department and to the Engineering Services Department along with plans, calculations and other information subject to approval by the City Engineer prior to the issuance of the grading permit.
- ENG 25. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.
- ENG 26. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval prior to issuance of Building Permits.
- ENG 27. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, CA 90040 (Phone (760) 782-3271, (562) 505-6415), Sonia.Oran@cdfa.ca.gov.

DRAINAGE

- ENG 28. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the

adjacent streets without first intercepting and treating with approved Best Management Practices (BMPs).

ENG 29. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property. Provide a hydrology study to determine the volume of increased stormwater runoff due to development of the site, and to determine required stormwater runoff mitigation measures for the proposed development. Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and approval of the hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study. No more than 40-50% of the street frontage parkway/setback areas should be designed as retention basins. On-site open space, in conjunction with dry wells and other subsurface solutions should be considered as alternatives to using landscaped parkways for on-site retention.

ENG 30. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$7,287.76 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

GENERAL

ENG 31. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.

ENG 32. All proposed utility lines shall be installed underground.

ENG 33. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.

ENG 34. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing filetype) and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital

data to be submitted to the City may be authorized, upon prior approval by the City Engineer.

- ENG 35. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing “as-built” information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 36. Nothing shall be constructed or planted in the corner cut-off area of any intersection or driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 37. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.
- ENG 38. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation Fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

TRAFFIC

- ENG 39. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and streetlights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.
- ENG 40. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 “Temporary Traffic Control” of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.
- ENG 41. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

FIRE DEPARTMENT CONDITIONS

FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

FID 2. Fire Department Conditions were based on the 2019 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "T" Development Requirements. This building will require fire sprinklers.

FID 3. **Conditions of Approval** – "Conditions of Approval" received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 4. Plans and Permits (CFC 105.1):

Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set. Plans shall be submitted to:

City of Palm Springs
Building and Safety Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be

submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 5. Access During Construction (CFC 503): Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

FID 6. Required access (CFC 504.1): Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

FID 7. NFPA 13D Fire Sprinklers Required: An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2016 Editions, as modified by local ordinance.

FID 8. Residential Smoke Alarms Required: Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke alarms within the dwelling & guest house to sound and activate the exterior horn/strobe

END OF CONDITIONS

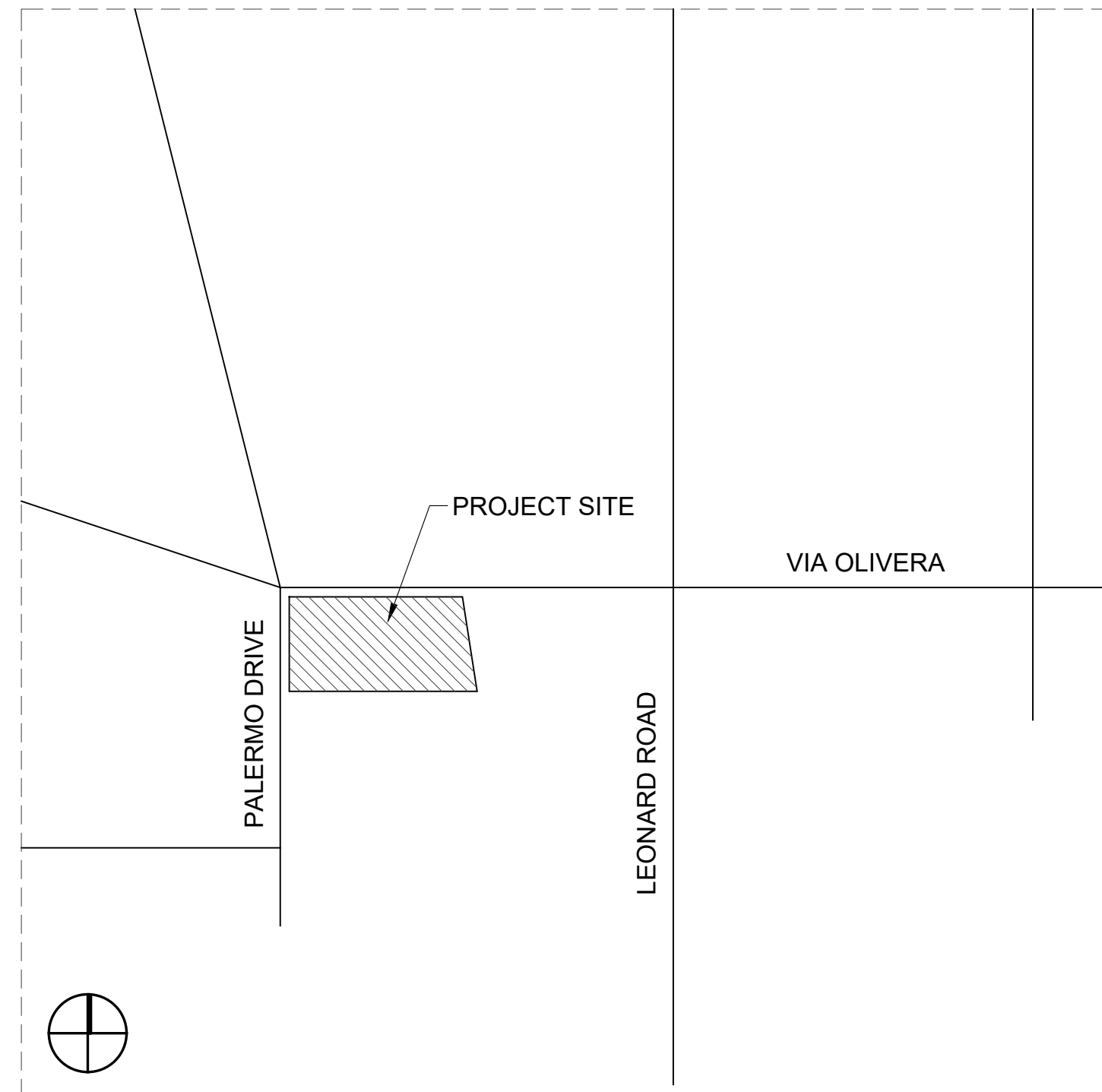


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OSSMAN RESIDENCE

2242 N. PALERMO DRIVE
PALM SPRINGS, CA 92262

VICINITY MAP



SCHEDULE OF DRAWINGS:

- A0.0 TITLE SHEET, VICINITY MAP, LOCATION PLAN
- A0.4 TOPO SURVEY
- G1.0 GRADING PLAN

ARCHITECTURAL

- A1.0 SITE PLAN
- A1.1 FLOOR PLAN
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS
- A3.0 BUILDING SECTIONS
- A7.1 ROOF PLAN
- A8.1 PRESPECTIVE VIEWS
- A8.2 PRESPECTIVE VIEWS
- A8.3 MATERIAL BOARD
- L1.1 LANDSCAPE PLAN

GENERAL PROJECT INFORMATION:

OWNER:
SUSAN OSSMAN
4361 ISABELLA STREET
RIVERSIDE, CA 92501
P:

ARCHITECT:
o2 ARCHITECTURE
1089 N. PALM CANYON DR.
PALM SPRINGS, CA 92262
P: (760) 778-8165

PROPERTY INFORMATION:

LOT INFO:

RECORDED BOOK/PAGE: MB 20/84
LOT/PARCEL: 39

TOWNSHIP/RANGE: -

APN: 504 191 010

LOT SIZE: .46 ACRES (20,038 SF)
LOT WIDTH: 113 FEET (MIN 130 FEET)
LOT DEPTH: 176 FEET

LAND USE DESIGNATION: -
ZONING: R1-B

SETBACKS:

FRONT YARD: 25 FEET
SIDE YARD (CORNER): 20 FEET
SIDE YARD (INTERIOR): 10 FEET
REAR YARD: 15 FEET

BUILDING INFORMATION:

TYPE OF CONSTRUCTION: V-B
FIRE SPRINKLERS: YES
BUILDING HEIGHT / NUMBER OF STORIES: 10 FEET 6 INCHES
BUILDING SITE COVERAGE AREA: 2,357.6 sf/ 20,038 sf = 11.7 %

AREA TABULATION:

| | CONDITIONED | UNCOND. | TOTAL |
|--------------------|-------------------|-----------------|-------------------|
| RESIDENCE | 1,543.2 sf | 24.8 sf | 1,568 sf |
| COVER CARPORT | 0 sf | 789.6 sf | 789.6 sf |
| GRAND TOTAL | 1,543.2 sf | 814.4 sf | 2,357.6 sf |

SCOPE OF WORK:

THE CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE, INCLUDING A DETACHED GARAGE & MISCELLANEOUS LANDSCAPE AND HARDSCAPE WORK.

DEFERRED SUBMITTALS:

- POOL
- FIRE SPRINKLER
- NON-STRUCTURAL BLOCK WALLS (OVER 30" IN HEIGHT)
- PHOTOVOLTAIC SYSTEM

NOTE:

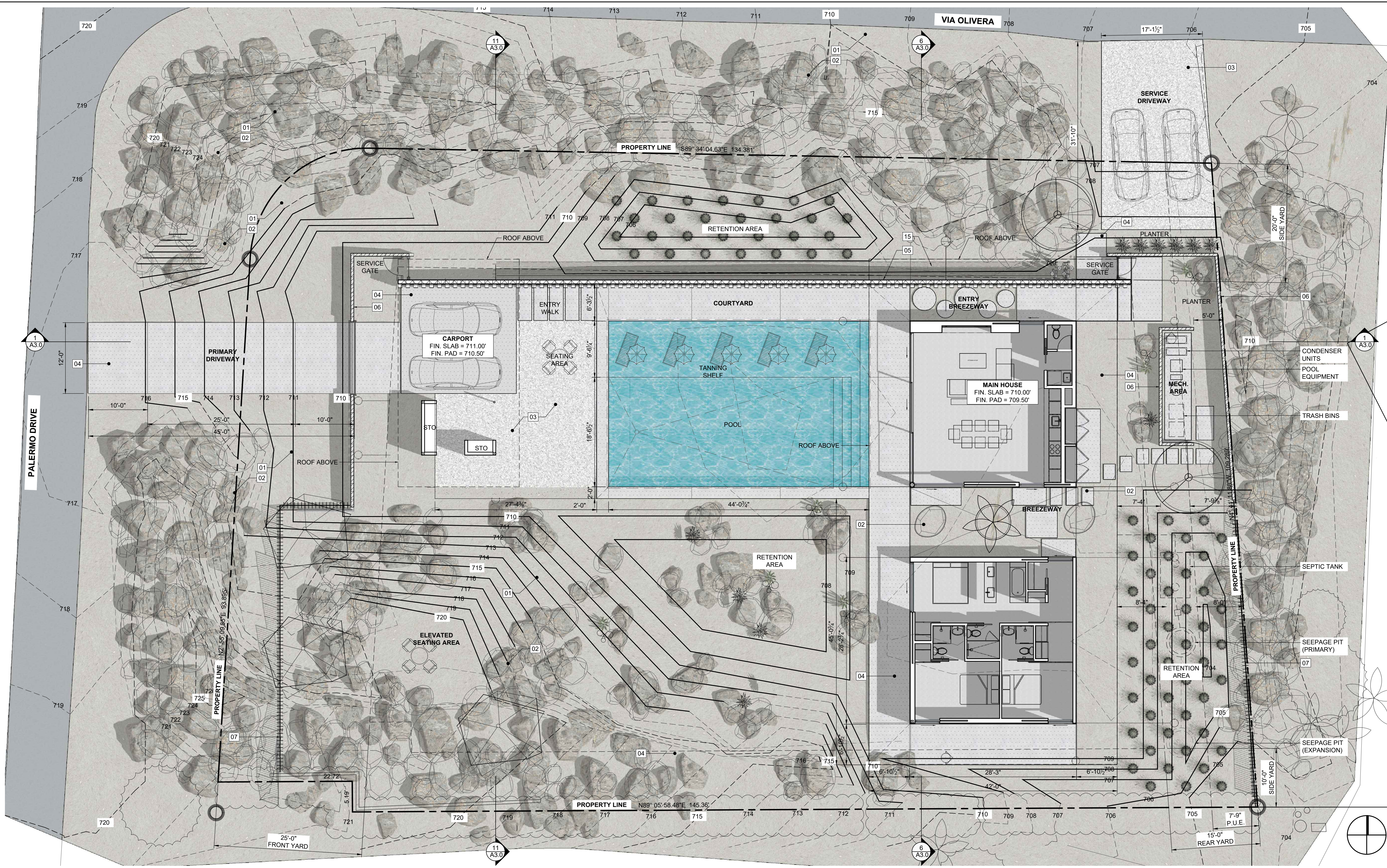
SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

PROJECT TITLE:
OSSMAN RESIDENCE
2242 N. PALERMO DRIVE
PALM SPRINGS, CA 92262
APN: 504 191 010

SHEET DESCRIPTION
TITLE SHEET
DATE: 09.23.22

A0.0

OSSMAN RESIDENCE



MATERIAL LEGEND

- 01 NATURAL SOIL**
NATURAL SOIL,
HYDRO-SEEDED WITH
CREOSOTE & BRITTLE BUSH.
- 02 BOULDERS**
NATURALLY OCCURRING.
- 03 CRUSHED GRAVEL**
SIZE: 3/8" Ø
COLOR: PEWTER GRAY
- 04 CONC. HARDSCAPE**
COLOR: LIGHT GRAY
FINISH: SAND WASH
- 05 FEATURE WALL**
MANUF: ANGELUS BLOCK
TYPE: PRECISION
WEIGHT: MEDIUM
SIZE: 6x8x16
COLOR: NATURAL GRAY
- 06 GARDEN WALL**
MATERIAL: PLASTER / CMU
FINISH: SMOOTH
COLOR: DOVE GREY
- 07 PICKET FENCE**
MATERIAL: METAL
FINISH: PAINTED
COLOR: WHITE
- 08 PLASTER WALL FINISH**
MATERIAL: 3 COAT PORTLAND
CEMENT
FINISH: SAND W/ ACRYLIC
COATING
MAUNF: LA HAMBRA
COLOR: SILVER GRAY 16
- 09 NOT USED**
MATERIAL: -
FINISH: -
COLOR: -
- 10 WINDOW FRAME**
MATERIAL: ALUMINUM
FINISH: CLEAR ANODIZED
- 11 GLAZING**
TINT: CLEAR
TYPE: LOW E
- 12 EXTERIOR CEILING**
MATERIAL: FIBER CEMENT
FINISH: PAINTED
COLOR: WHITE
- 13 FASCIA**
MATERIAL: METAL
FINISH: POWDER COAT
COLOR: WHITE
- 14 ROOFING**
MANUF: FIBERTITE
TYPE: SINGLE-PLY
COLOR: DC6 OFF WHITE
- 15 CABLE SYSTEM**
SIZE: 1/4" Ø
MATERIAL: GALV. STEEL

1055 N. PALM CANYON DR. STE. B
PALM SPRINGS, CA 92262
TEL: 760.778.8166
FAX: 760.406.7466
EMAIL: office@o2arch.com

CLIENT
OSMAN OSSMAN
4361 ISABELLA STREET
RIVERSIDE, CA 92501
GENERAL CONTRACTOR

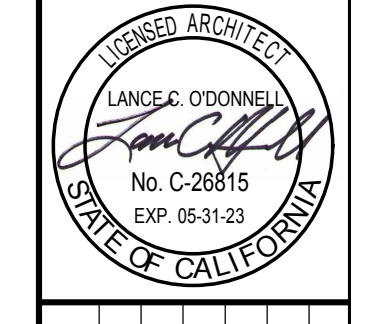
FIRE SPRINKLER

STRUCTURAL ENGINEER

CIVIL ENGINEER

GEOTECHNICAL ENGINEER

LAND SURVEYOR
ESAP CONSULTANTS
PO BOX 1069
DESERT HOT SPRINGS, CA
92540
T: (760) 288-2232
WATER
DESERT WATER AGENCY



| NO. | DATE | DESCRIPTION |
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PROJECT TITLE:
OSMAN RESIDENCE
2242 N. PALERMO DRIVE
PALM SPRINGS, CA 92262
APN: 504 191 010

LOT INFORMATION:
RECORDED BOOK/PAGE: MB 20/84
LOT/PARCEL: 39
APN: 504 191 010
LOT SIZE: 46 ACRES (20,038 SF)
LOT WIDTH: 113 FEET (MIN 130 FEET)
LOT DEPTH: 176 FEET

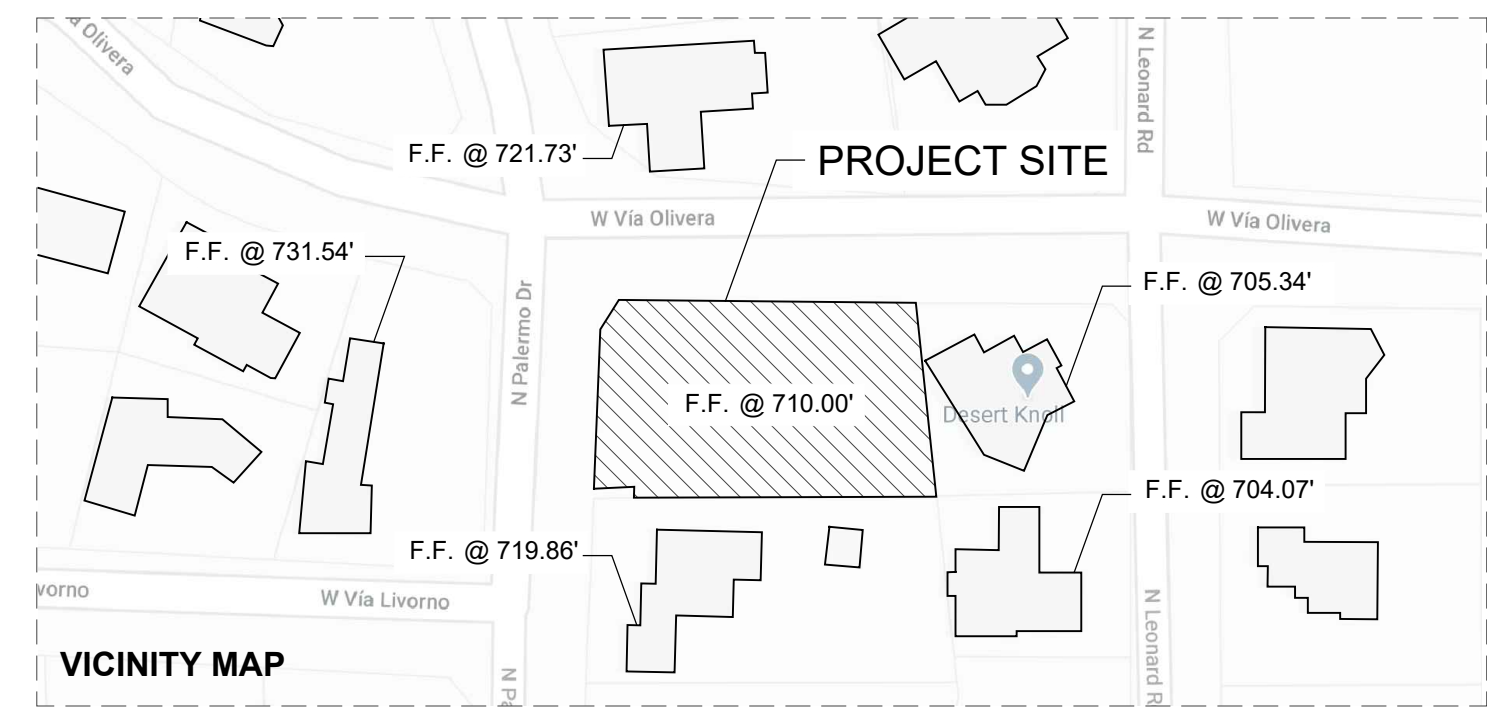
PLANNING NOTES:
ZONING: R1-B
SETBACKS:
FRONT 25 FEET
SIDE (C) 20 FEET
SIDE (I) 10 FEET
REAR 15 FEET

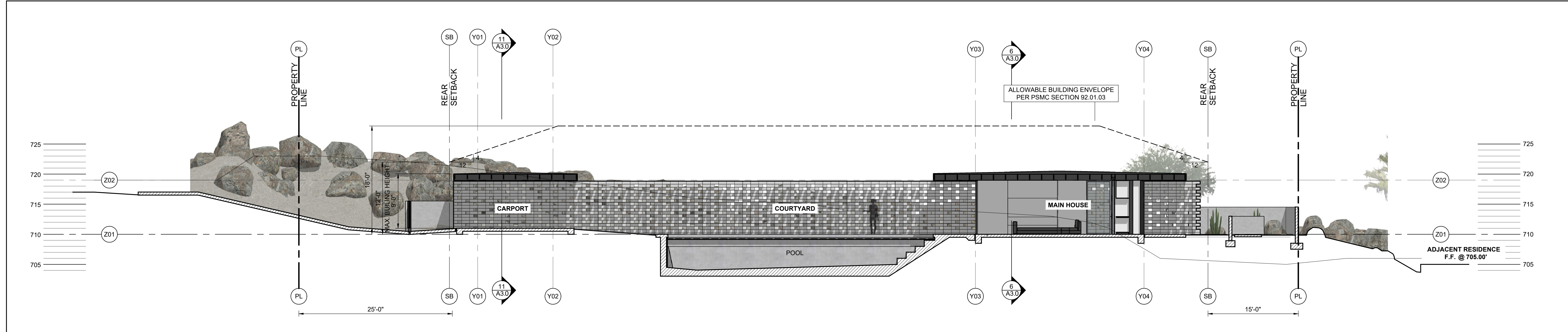
AREA CALCULATIONS:

| LANDSCAPE | IMPERVIOUS SURFACE | PERVIOUS SURFACES |
|-----------|--------------------|-------------------|
| 7,73.8 SF | 12,304.2 SF | |

| STRUCTURES | CONDITIONED | UNCONDITIONED | TOTAL | COVERED |
|------------|-------------|---------------|----------|------------|
| MAIN HOUSE | 1,543.2 SF | 24.8 SF | 1,568 SF | 3,571.0 SF |
| CARPORIT | N/A | N/A | N/A | 789.6 SF |
| TOTAL | 1,537.4 SF | 24.8 SF | 1,568 SF | 4,360.6 SF |

- GRADING LEGEND:**
FP = FINISH PAD
FS = FINISH SLAB
TC = TOP OF CONCRETE
FG = FINISH GRADE
TW = TOP OF WALL / FENCE
TG = TOP OF GRATE
FL = FLOW LINE
INV = INVERT ELEVATION
HP = HIGH POINT
LP = LOW POINT
TF = TOP OF FOOTING
- TOPO LEGEND:**
--- EXISTING TOPO LINE
— PROPOSED TOPO LINE
- - - - - DRAINAGE FLOW LINE
- SITE LEGEND:**
[Pattern] CONCRETE HARDSCAPE
[Pattern] AREA OF GRAVEL
[Pattern] CMU FEATURE WALL
[Pattern] CMU GARDEN WALL
[Pattern] METAL PICKET FENCE





1 SITE SECTION
SCALE: 1/8" = 1'-0"

Architecture
1055 N. PALM CANYON DR. STE. B
PALM SPRINGS, CA 92262
TEL: 760.778.8166
FAX: 760.406.2849
EMAIL: office@o2arch.com

CLIENT
SUSAN OISSMAN
4361 ISABELLA STREET
RIVERVIEW, CA 92501
GENERAL CONTRACTOR

FIRE SPRINKLER

STRUCTURAL ENGINEER

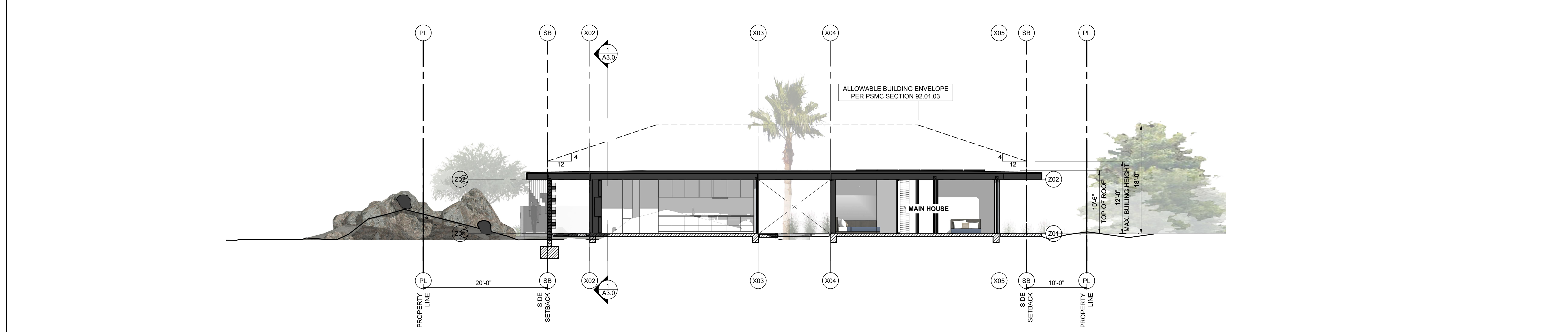
CIVIL ENGINEER

GEOTECHNICAL ENGINEER

LAND SURVEYOR
ESAP CONSULTANTS
PO BOX 1069
DESERT HOT SPRINGS, CA
92540
T: (760) 288-2232
WATER
DESERT WATER AGENCY

ADJACENT RESIDENCE
F.F. @ 705.00'

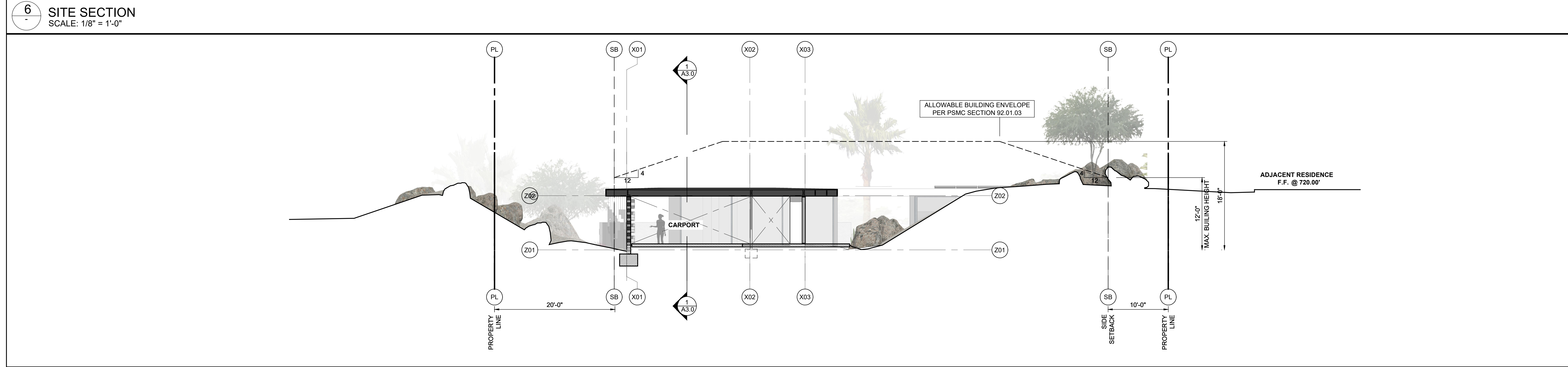
LICENSED ARCHITECT
LANCE C. O'DONNELL
Lance C. O'Donnell
No. C-26815
EXP. 05-31-23
STATE OF CALIFORNIA



6 SITE SECTION
SCALE: 1/8" = 1'-0"

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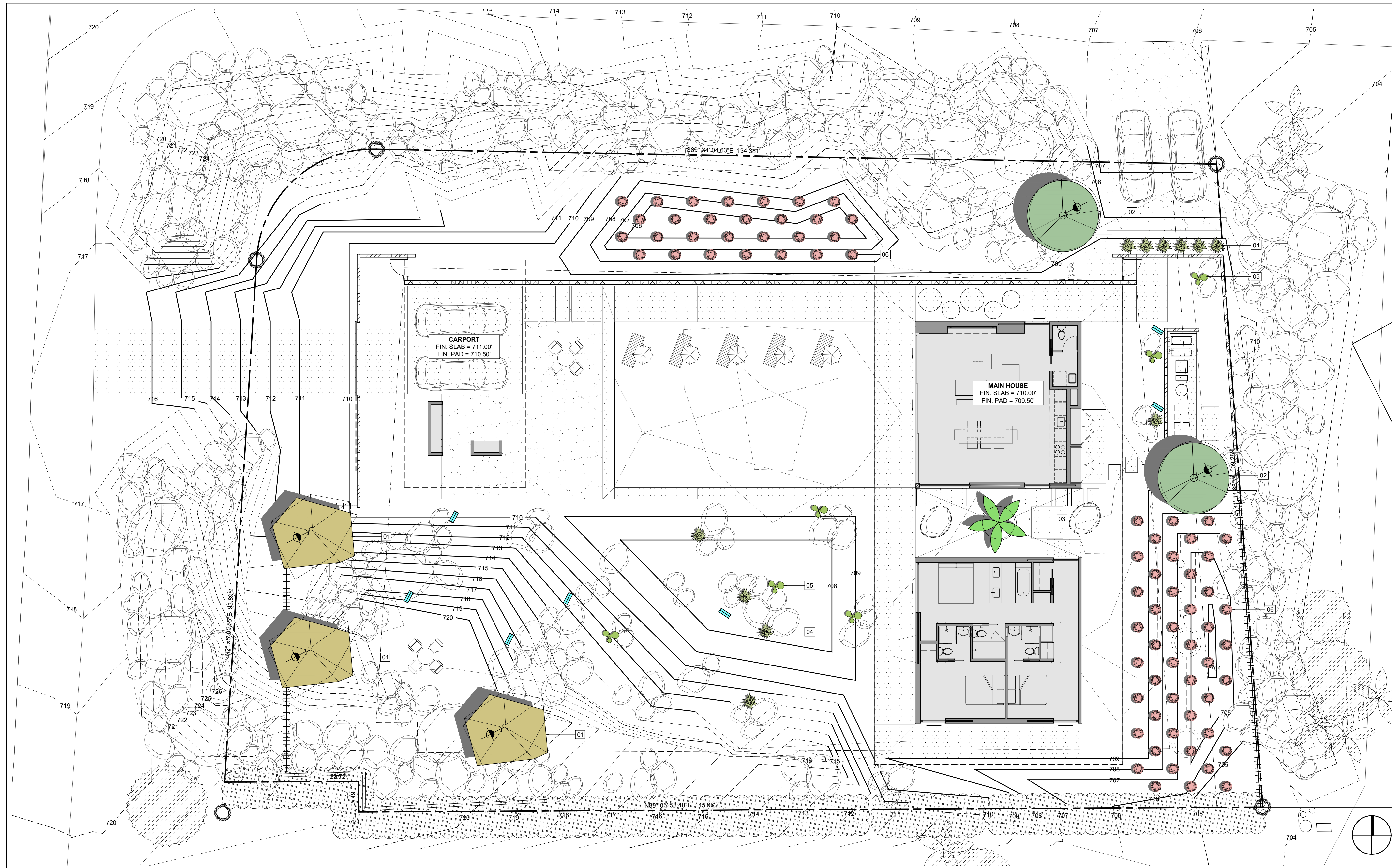
PROJECT TITLE:
OSSMAN RESIDENCE
2242 N. PALERMO DRIVE
PALM SPRINGS, CA 92262
APN: 504 191 010



11 SITE SECTION
SCALE: 1/8" = 1'-0"

SHEET DESCRIPTION
SITE SECTIONS
SCALE: VARIES
DATE: 09.23.22

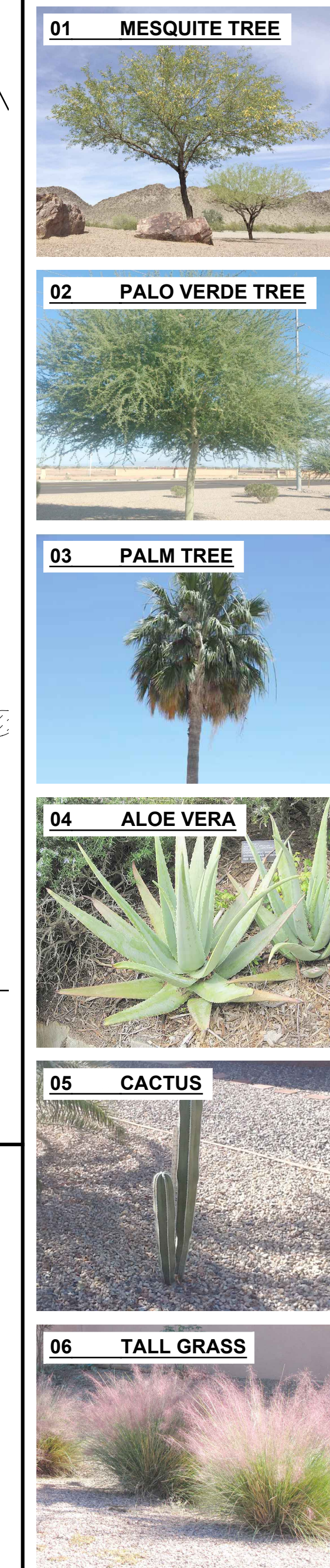
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OSSMAN RESIDENCE



LANDSCAPE

- 01 MESQUITE TREE**
CHILEAN MESQUITE
PROSOPIS CHILENSIS
SIZE: 48" BOX
QUANTITY: 3
- 02 PALO VERDE TREE**
BLUE PALO VERDE
PARKINSONIA FLORIDA
SIZE: 48" BOX
QUANTITY: 2
- 03 PALM TREE**
MEXICAN FAN PALM
WASHINGTONIA ROBUSTA
SIZE: 48" BOX
QUANTITY: 1
- 04 ALOE VERA**
MEDICINAL ALOE
ALOE BARBARENSIS
SIZE: 5 GALLON
QUANTITY: 11
- 05 CACTUS**
MEXICAN FENCEPOST
PACHYCREUS MARGINATUS
SIZE: 24" TO 36" HIGH
QUANTITY: 6
- 06 TALL GRASS**
REGAL MIST
MUHLENBERGIA CAPILLARIS
SIZE: 1 GALLON
QUANTITY: 74

IMAGES



| SYMBOL | QTY. | FIXTURE | LIGHT SOURCE | COMMENTS |
|--------|------|---------------------------------------|----------------|-------------------------------|
| | 7 | PB-1LED-FB-Fixture Electrical: 12v | 4W LED / 2700K | By FX Luminaire, Accent Light |
| | 5 | FR-1LED-FB-Fixture Electrical: 12v | 4W LED / 2700K | By FX Luminaire, Tree Uplight |
| | | | | |

NOTE: ALL LIGHTING FIXTURES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND DETAILS.

LIGHTING SCHEDULE

1095 N. PALM CANYON DR. STE. B
PALM SPRINGS, CA 92262
TEL: 760 778 8165
FAX: 760 406 7946
EMAIL: office@o2arch.com

CLIENT
SUSAN OSSIAMAN
4361 ISABELLA STREET
RYEVILLE, CA 92591
GENERAL CONTRACTOR

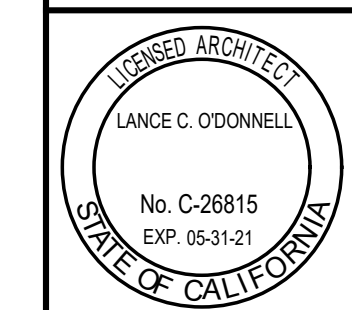
FIRE SPRINKLER

STRUCTURAL ENGINEER

CIVIL ENGINEER

GEOTECHNICAL ENGINEER

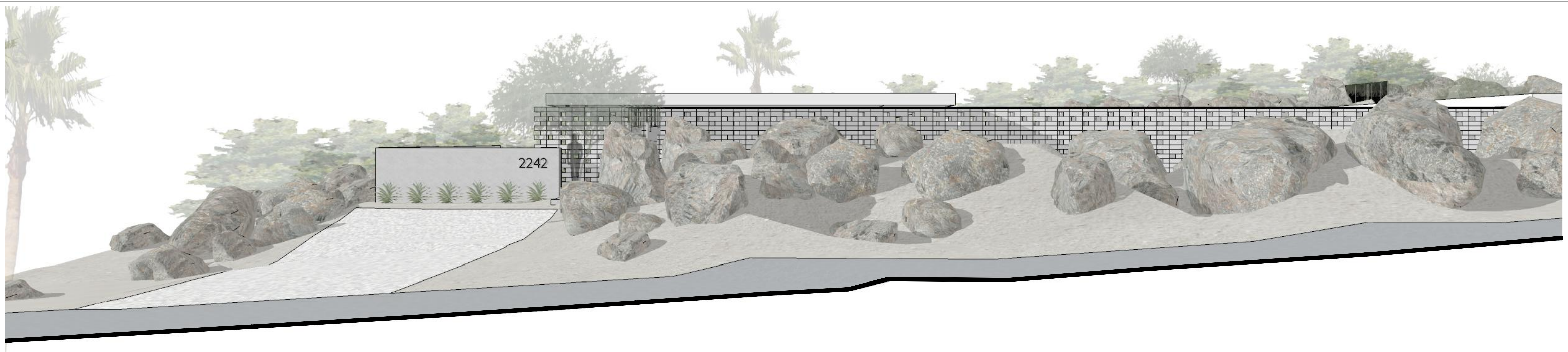
LAND SURVEYOR
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PO BOX 1069
DESERT HOT SPRINGS, CA
92540
T: (760) 288-2332
WATER
DESERT WATER AGENCY



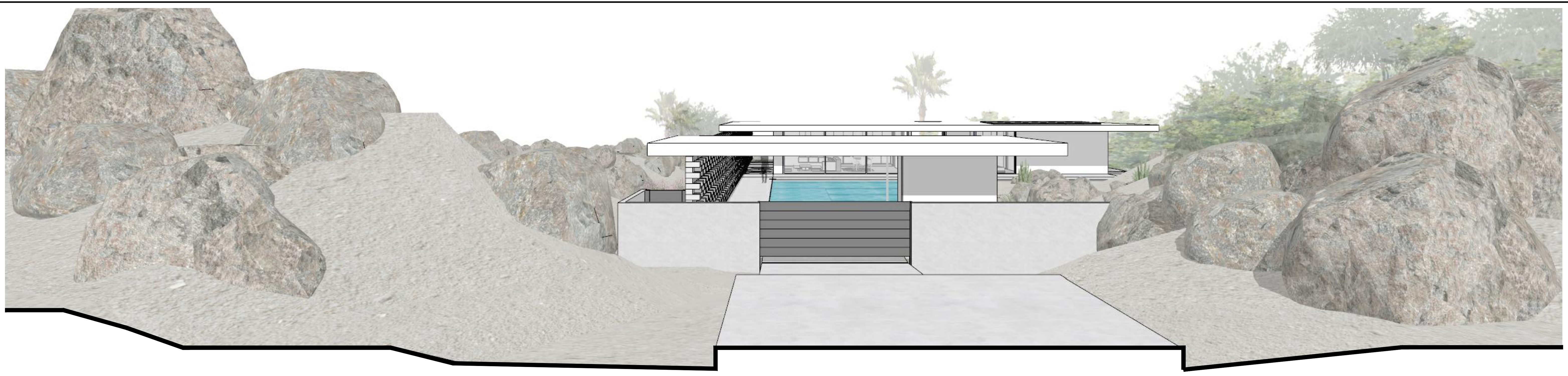
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PROJECT TITLE:
OSSMAN RESIDENCE
2242 N. PALERMO DRIVE
PALM SPRINGS, CA 92262
APN: 504 191 010

SHEET DESCRIPTION
LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"
DATE: 06.13.22



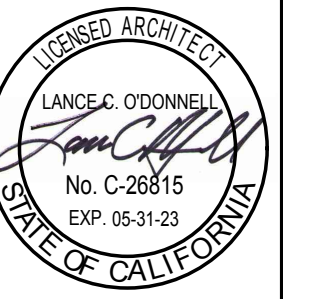
1 STREET ELEVATION 1
SCALE: NTS



2 STREET ELEVATION 2
SCALE: NTS



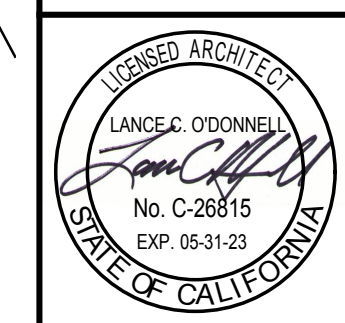
3 FEATURE WALL, NORTH ELEVATION
SCALE: NTS



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PROJECT TITLE:
OSSMAN RESIDENCE
2242 N. PALERMO DRIVE
PALM SPRINGS, CA 92262
APN: 504 191 010

SHEET DESCRIPTION
PERSPECTIVE VIEWS
SCALE: NTS
DATE: 09.23.22



| DATE | ISSUE |
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PROJECT TITLE:
OSSMAN RESIDENCE
2242 N. PALERMO DRIVE
PALM SPRINGS, CA 92262
APN: 504 191 010

SHEET DESCRIPTION
TOPOGRAPHIC SURVEY
SCALE: 1/8" = 1'-0"
DATE: 09.23.22

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OSSMAN RESIDENCE