



ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: JANUARY 17, 2023

NEW BUSINESS

SUBJECT: A REQUEST BY JERRY G. JOHNSON, ON BEHALF OF V.I.P. MOTOR CARS, LTD., FOR A MINOR ARCHITECTURAL (MAA) APPLICATION FOR PARTIAL DEMOLITION, A 1,973-SQUARE-FOOT ADDITION, AND EXTERIOR ALTERATIONS TO AN EXISTING AUTOMOTIVE DEALERSHIP BUILDING, GENESIS PALM SPRINGS, LOCATED AT 4057 EAST PALM CANYON DRIVE (APN: 681-070-034), ZONE C-2, SECTION 30 (CASE 3.1358 MAA). (NK)

FROM: Department of Planning Services

PROJECT DESCRIPTION:

This is a request for approval of a Minor Architectural (MAA) application for the proposed partial demolition, a 1,973-square-foot addition, and exterior alterations to an existing 10,991-square-foot automotive dealership building, Genesis Palm Springs.

ISSUES:

1. Except for one, the proposed parking area planting beds do not meet the minimum planting bed width of 9 feet required by the zoning code.
2. Only one plant material (Red Yucca) is proposed for the new parking area planting beds; there is no shade tree proposed for the new customer parking areas.

RECOMMENDATION:

That the Architectural Review Committee adopt the resolution and approve the application subject to conditions of approval, which include, but are not limited to, the following:

1. Convert the north-end handicapped space in the secondary customer parking area (west side) into a standard parking space and omit the adjacent walkway to provide a 9-foot-wide planting bed. Increase the shared pathway adjacent to the handicapped/EV charging space to 8 feet.
2. Increase the 7-foot-width of the planting bed in the primary customer parking (north side) to 9 feet to meet the code requirement.
3. Increase the plant diversity and arrange the plants to achieve better composition. Install shade trees in the new planting beds.

BUSINESS PRINCIPAL DISCLOSURE:

The name of the entity is V.I.P. Motor Cars, Ltd., which consists of officers named Jerry G. Johnson, Frank D. Hickingbotham, and Gene Whisenhunt. The breakdown of the company ownership is as follows: Frank D. Hickingbotham (90%), Jerry G. Johnson (5%), and Gene Whisenhunt (5%). Public Integrity Disclosure Form is attached to this report (Attachment 4).

BACKGROUND INFORMATION:

<i>Related Relevant City Actions</i>	
06/07/2022	Building Permit was issued for non-structural interior demolition for the proposed work (Plan Check No. 2022-2662).

STAFF ANALYSIS:

<i>Site Area</i>	
Net Acres	1.24 Acres (54,014 SF)

<i>General Plan & Zoning Development Density/Intensity Requirements</i>		
<i>General Plan Designation</i>	<i>Permitted Density (Max)</i>	<i>Compliance</i>
Regional Commercial (RC)	0.50 FAR	Y* <i>*0.24 FAR proposed</i>
<i>Zoning Designation</i>		
C-2	None* <i>*Lot coverage</i>	Y

DEVELOPMENT STANDARDS ANALYSIS:

The proposed project was analyzed for conformance to development standards stated in PSZC Section 92.12.03 below:

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks • Front (North)	125 Feet	110.8 Feet	Y* <i>*AMM application has been submitted, which is subject to Planning Services Director review and approval.</i>
• Side (East)	None	14 Feet	Y
• Side (West)	None	12 Feet	Y
• Rear (South)	20 Feet	104.3 Feet	Y
Max. Lot Coverage	None	24%	Y

Standard	Required/ Allowed	Provided	Compliance
Max. Building Height	25 Feet	25 Feet*/Single-Story <i>*Excludes the rooftop mechanical equipment screen, which is allowed to exceed the building height limit per PSZC Section 93.03.00(A)(1).</i>	Y
Wall/Fence	6-foot-high wall along the south property line which abuts to the RMHP (Residential Mobilehome Park) Zone	Existing 6-foot-high wall along the south property line	Y
Parking	46 Spaces	46 Spaces* <i>*Although Sheet A notes 59, the site plan shows only 46 spaces on site</i>	Y

OFF-STREET PARKING ANALYSIS:

Use	Regulations	Required	Provided	Compliance
Showroom/ Sales Area (7,882 SF)	One (1) space for each eight hundred (800) square feet of gross floor area	7,882 SF/800 SF=9.85	46	Y
Service/ Repair Area (8 Bays)	Four (4) spaces plus four (4) spaces for each service bay	36 (4+[4x8 Bays]=36)		
Total		45.9 ≈ 46* <i>*Includes 3 handicapped spaces. No EV charging</i>	46* <i>*Includes 2 standard handicapped spaces, 2 EV</i>	Y

Use	Regulations	Required	Provided	Compliance
		<i>space is required per PSZC Section 93.06.00(B)(12)(b)(2).</i>	<i>spaces, and 1 handicapped/ EV charging space.</i>	
<i>*Based on 10 customer and 16 employee parking spaces, two (2) handicapped parking spaces is required per PSZC Section 93.06.00(C)(10).</i>				

The project proposes both primary and secondary customer parking spaces which will be located on the north and west sides of the building.

The primary customer parking area (north side) includes two planting beds, one of which is only 7 feet in width and substandard to the minimum planting bed width requirement of 9 feet. To address this issue, staff is recommending a condition of approval which requires the width of the 7-foot-wide planting bed to be increased to 9 feet. In addition to the primary parking area, the proposed secondary customer parking (west side) also includes a planting bed which is nonconforming to the minimum width requirement. Staff recommends a condition of approval which requires the conversion of the north-end handicapped space into a standard parking space and omission of the adjacent walkway to provide a 9-foot-wide planting bed and an 8-foot-wide access path for the handicapped/EV parking space as required by the zoning code. The conversion of one handicapped space into a standard parking space remains compliant as the zoning code requires two handicapped off-street parking spaces while the project currently proposes three.

Palm Spring Zoning Code Section 93.06.00(C)(3)(a) requires at least 30% of the parking area to be developed with shade trees. The proposed plant palette includes Red Yucca only, and there is no shade tree proposed. Staff is recommending a condition of approval which requires an increase in plant diversity and arrangement of the plants to achieve better composition, as well as the installation of shade trees in the new planting beds.

ARCHITECTURAL REVIEW CRITERIA AND FINDINGS:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i> The project proposes contemporary design which is characterized by rectangular form, simplistic architectural details, and the use of limited number of materials and colors. This design concept is applied to all elevations of the proposed building in a similar fashion for consistency.	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
2.	<p><i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i></p> <p>The proposed building is designed with west and east wings and a vestibule on the primary (north) elevation that are secondary in volume to the primary building. The east wing and vestibule are designed with matching glazing and fascia design. While the west wing, which exterior is designed with painted aluminum, is different from the treatment of the east wing and primary portion of the building, it is compatible with the rest of the building because it repeats the rectangular form, simplistic architectural treatment, and a similar color palette.</p>	Y
3.	<p><i>The façade elements and fenestration are composed in a harmonious manner;</i></p> <p>The primary (north) elevation of the proposed 25-foot-high building is designed with a 10.5-foot-high vestibule which projects approximately 7.4 feet. The primary building elevation is designed with a floor-to-ceiling glazing system which is topped with a 5-foot-high painted aluminum fascia. The fascia consists of multiple composite metal panels. The fascia panels and glazing cassettes create a grid pattern on the building elevation which provide a sense of scale. The transparency of the glazing system is juxtaposed with the horizontal metal fascia and the black composite metal panel finish of the secondary service building to the west. The secondary building to the east is designed in a similar fashion as the primary building and vestibule for visual consistency.</p>	Y
4.	<p><i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i></p> <p>The proposed building includes an expansive glazing system and aluminum composite metal panels. A large glazing area is a typical design feature for automotive dealerships, and the use of aluminum composite metal panels as an exterior building material is observed at the nearby BMW and Hyundai dealerships that are part of the automotive dealership row.</p>	Y
5.	<p><i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i></p>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	<p>The proposed exterior building colors include gray and black, which are considered desert-neutral colors. The project site is a part of the East Palm Canyon Drive automotive dealership row, which consists of buildings that are white or light gray in exterior color. While the proposed color scheme is much darker than others, the subject building is smaller in building size and it does not alter the character of the existing automotive dealership row. Therefore, it is contextually appropriate.</p>	
6.	<p><i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i></p> <p>The proposed building is designed with a 4'-11" roof overhang on the north, east, and west elevations over secondary pedestrian entrances. As stated in section 9 of this table below, there will be no direct sun exposure on the primary (north) elevation of the building. The proposed glazing on the south elevation is limited to the area immediately under the building fascia and skylight to minimize sun exposure, and the exterior of the west wing is designed with aluminum to reduce late afternoon sun exposure.</p>	Y
7.	<p><i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i></p> <p>The project proposes the installation of Red Yucca (<i>Hesperaloe parviflora</i>) in the parking areas, which is on the plant list in the Lush and Efficient Landscape Guidelines. No turf is being proposed, and the proposed landscape will be irrigated via drip irrigation. Hence, the proposed landscape plan generally meets the requirements of PSMC Chapter 8.60.</p>	Y
8.	<p><i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i></p> <p>Two of the four proposed planting beds are nonconforming to the minimum width requirement of 9 feet. Staff is recommending conditions of approval which require the width of the planting beds to be at least 9 feet for the substandard planting beds. The project proposes the installation of Red Yucca (<i>Hesperaloe parviflora</i>) only. While Red Yucca is on the plant list in the Lush and Efficient Landscape Guidelines, its sparse placement and single-plant landscape plan appear too monotonous and incomplete. In addition to the conditions mentioned earlier, staff is recommending a condition of approval which requires an increase in plant diversity and improved composition in each planting area to better complement the building, as well as the installation of shade trees. As conditioned, the proposed project meets this requirement.</p>	Yes, as conditioned

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
9.	<p><i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i></p> <p>The proposed roof overhang above the primary entrance will be located at 20 feet above grade. While this is not human scale, the primary entrance is located on the north elevation which will not be exposed to sun directly. Additionally, the project proposes new customer parking (bay parking) on the north side of the building within a short walking distance. Because of the proposed 25-foot building height and proximity of the customer parking area to the primary entrance, the proposed project provides adequate solar control for pedestrians.</p>	Y
10.	<p><i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i></p> <p>Outdoor lighting information is not included in the submitted application packet. Staff is recommending a condition of approval, which requires any outdoor lighting fixtures (includes landscape lighting) to be reviewed and approved separately, should the business decide to include outdoor lighting fixture installation as a part of the project. As conditioned, the project meets this finding.</p>	Yes, as conditioned
11.	<p><i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i></p> <p>A Sign Permit (or Sign Program Amendment) application has not been submitted as a part of the MAA application, and it is not a part of this review. Sign installation requires a permit, and the proposed signage will be reviewed at a future date under a separate application. Staff is recommending a condition of approval which requires a separate review and permit for new signage.</p>	Yes, as conditioned
12.	<p><i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i></p> <p>Project proposes rooftop mechanical equipment screens with heights varying from 4'-2" to 4'-10". The height of the screens located closest to the north (primary) and east elevations is 4'-2", and they will be located approximately 9.5 feet and 37 feet away from the north and east building elevations, respectively. The proposed west-facing 4'-10"-high screen will be located in the mid-section of the building along approximately 42 feet away from the west building elevation. The proposed screens are adequate to conceal the visibility of the new equipment.</p>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
13.	<i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i>	Y
	The project site is neither a Planned Development District (PDD) nor located within a Specific Plan area. The proposed project is not subject to design standards or regulations that are specifically created for the project site.	

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”). The proposed project involves partial demolition, interior and exterior alterations, and an addition to an existing private structure. The proposed addition is less than 2,500 square feet, and it does not exceed 50% of the existing floor area. Therefore, the project been determined to be categorically exempt pursuant to Section 15301 of the CEQA Guidelines (Class 1, Existing Facilities).

CONCLUSION:

The proposed building and site design generally meet the required findings for architectural review approval. However, staff is recommending conditions of approval to address minor concerns. The implementation of the recommended conditions of approval to address these concerns does not alter the character of the proposed building and site design. Therefore, staff recommends that the ARC adopt the resolution and approve the project subject to the conditions of approval attached to this staff report (Attachment 3).

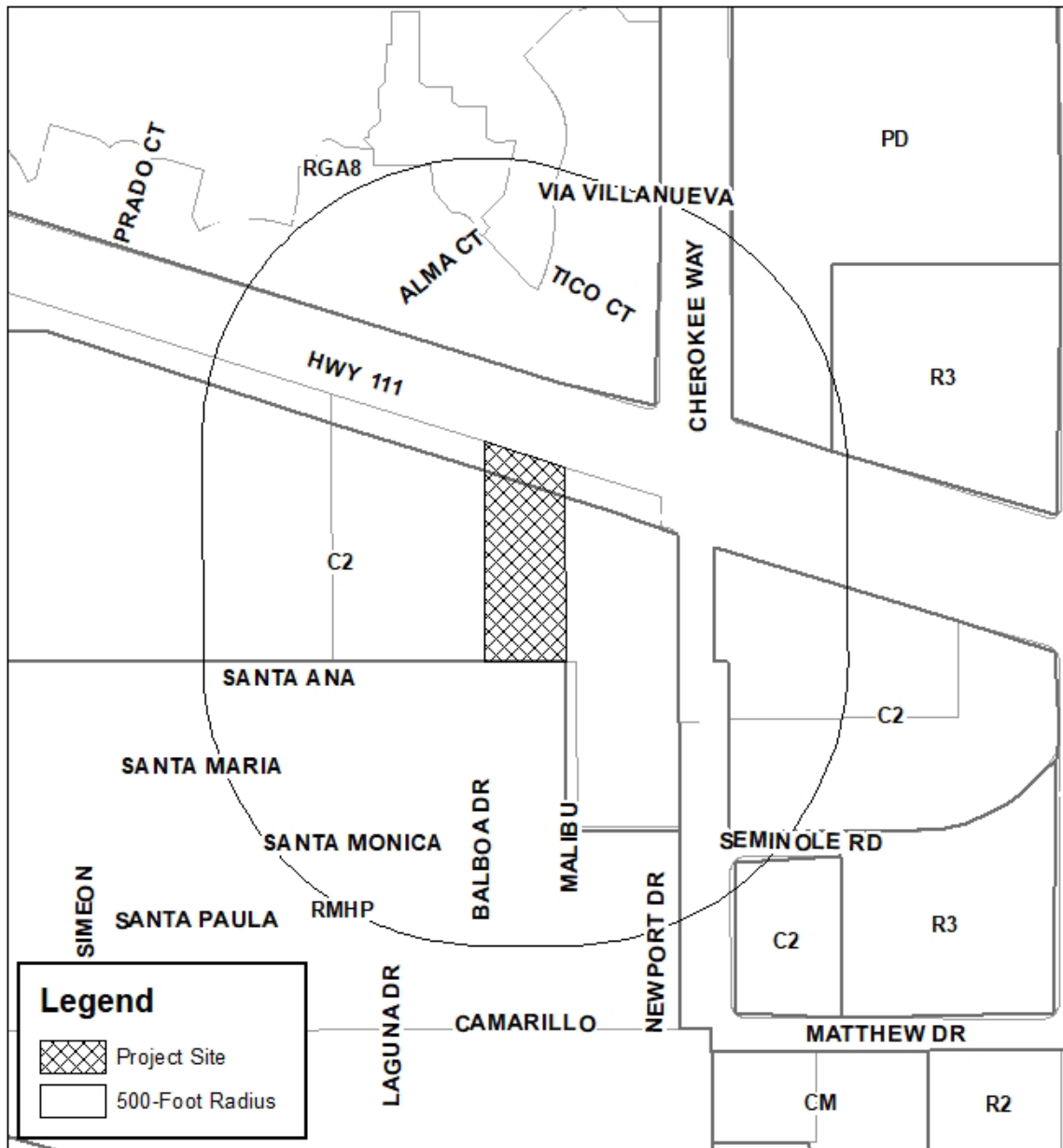
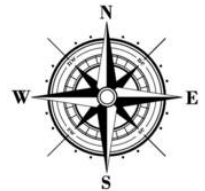
PREPARED BY:	Noriko Kikuchi, AICP, Associate Planner
REVIEWED BY:	Edward Robertson, Principal Planner
REVIEWED BY:	Christopher Hadwin, Planning Services Director

ATTACHMENTS:



1. Vicinity Map
2. Aerial View
3. Resolution and Conditions of Approval
4. Public Integrity Disclosure Form
5. Site Photographs
6. Plans
7. Material Sheets



Department of Planning Services Vicinity Map



Legend

-  Project Site
-  500-Foot Radius

CITY OF PALM SPRINGS

Case 3.1358 MAA
 4057 East Palm Canyon Drive (APN: 681-070-034)
 V.I.P. Motor Cars, Ltd.



 Project Site

RESOLUTION NO. _____

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MINOR ARCHITECTURAL APPLICATION FOR PARTIAL DEMOLITION, A 1,973-SQUARE-FOOT ADDITION, AND EXTERIOR ALTERATIONS TO AN EXISTING AUTOMOTIVE DEALERSHIP BUILDING, GENESIS PALM SPRINGS, LOCATED AT 4057 EAST PALM CANYON DRIVE (APN: 681-070-034), ZONE C-2, SECTION 30 (CASE 3.1358 MAA).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

A. V.I.P. Motor Cards, Ltd. (“Applicant”) filed a Minor Architectural (MAA) application with the City of Palm Springs, pursuant to Palm Springs Zoning Code (PSZC) Section 94.04.00 (architectural review) for partial demolition, a 1,973-square-foot addition, and exterior alterations to an existing automotive dealership, Genesis Palm Springs, located at 4057 East Palm Canyon Drive (APN: 681-070-034) (“the Project”).

B. On January 17, 2023, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed project is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee (ARC) has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15301 (Class 1, Existing Facilities).

Section 2: Based upon the foregoing, the Architectural Review Committee hereby approves Case 3.1358 MAA for partial demolition, a 1,973-square-foot addition, and exterior alterations to an existing automotive dealership building, Genesis Palm Springs, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 17th day of January, 2023.

AYES:
NOES:
ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

Christopher Hadwin
Director of Planning Services

RESOLUTION NO. _____

EXHIBIT A

Case 3.1358 MAA

V.I.P. Motor Cars, Ltd.

4057 East Palm Canyon Drive
(APN: 681-070-034)

January 17, 2023

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, Director of Planning Services, Building Official, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case 3.1358 MAA except as modified by the conditions below.
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, which include site plans, architectural elevations, exterior materials and colors, and landscaping, on file in the Department of Planning Services except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning Services or his designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or

proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.1358 MAA. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.

ADM 7. Time Limit on Approval. The time limit for the commencement of construction under an architectural approval shall be two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.

PLANNING DEPARTMENT CONDITIONS

PLN 1. AMM Approval Required. Administrative Minor Modification (AMM) shall be approved for the proposed 110'-9" front yard setback.

PLN 2. Secondary Customer Parking (West Side). Shift the parking spaces towards the project site or a Lot Line Adjustment shall be approved subject to Engineering Department review so that the parking spaces will be fully located on the project site.

- PLN 3. Accessible Parking in Secondary Customer Parking (West Side). Convert the north-end handicapped space into a standard parking space and omit the adjacent walkway to provide a planting bed 9 feet in width. Increase the width of the access path on the right side of the van accessible handicapped/EV charging space to 8 feet.
- PLN 4. Primary Customer Parking (North Side). Increase the width of the 7-foot-wide planting bed to 9 feet.
- PLN 5. Sidewalk Easement. Locate the proposed primary customer parking (north side) out of the sidewalk easement or vacate a portion of the sidewalk easement and dedicate a portion of the project site to the City to address the encroachment issue.
- PLN 6. Plant Palette. Increase the plant diversity and arrange the plants to achieve sounding composition. Install shade trees in the new parking area planting beds.
- PLN 7. Reciprocal Agreement Required. A reciprocal agreement shall be established between the project site and the adjacent parcels located at 4095 East Palm Canyon Drive and 3919 East Palm Canyon Drive for access. The agreement shall be established in the form acceptable to the City.
- PLN 8. Outdoor Lighting Fixtures. Any new outdoor lighting fixtures, including landscaping light fixtures, shall conform to the City's Outdoor Lighting Standards stated in Palm Springs Zoning Code Section 93.21.00. Such fixtures shall be reviewed and approved by the Department of Planning Services.
- PLN 9. Signage. Any new signage shall be reviewed and approved by the Department of Planning Services prior to installation.

BUILDING & SAFETY DEPARTMENT CONDITIONS

The Following Standard Building & Safety Conditions of Approval Are Applicable to This Project:

General Conditions

BLDG 1. Shall comply with the latest adopted edition of the following codes as applicable:

1. 2022 California Building Code
2. 2022 California Electrical Code
3. 2022 California Mechanical Code

4. 2022 California Plumbing Code
5. 2022 California Energy Code
6. 2022 California Fire Code
7. 2022 California Green Building Standards Code

BLDG 2. Any temporary building, trailer, commercial coach, etc. installed and/or used in connection with a construction project shall comply with City Code.

ENGINEERING DEPARTMENT CONDITIONS

The Engineering Services Department recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

STREETS

ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.

EAST PALM CANYON DRIVE

ENG 2. Remove the existing driveway approach at the entrance to the parking lot and construct a 24 feet wide driveway approach in accordance with City of Palm Springs Standard Drawing No. 205.

ENG 3. Construct Type C curb ramps meeting current California State Accessibility standards on each side of the new driveway approach in accordance with City of Palm Springs Standard Drawing No. 214.

ENG 4. An 8 feet wide sidewalk shall be maintained behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210. Dedicate an easement for sidewalk purposes as needed for those portions of sidewalk to be located outside of the existing sidewalk easement. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A right-of-way plan check fee shall be paid by the applicant in effect at the time that the dedication is submitted.

ENG 5. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

ON-SITE

ENG 6. The proposed parking spaces to be located within the existing sidewalk easement will not be allowed and any proposed parking spaces will need to be outside of any easement.

ENG 7. The on-site layout of drive aisles and parking spaces is subject to further review and approval by the City Engineer. Adjustment of proposed drive aisle alignments, and deletion or relocation of proposed parking spaces may be required during review and approval of construction plans for on-site improvements, as required by the City Engineer. Approval of the preliminary site plan does not constitute approval of the on-site layout of streets and parking spaces as proposed.

ENG 8. For on-site bay parking in residential and commercial zones, paving material shall be decorative paving, colored and/or patterned to relate to the overall design in accordance with Zoning Code 93.06.00.C.15.e.

ENG 9. The minimum pavement section for all on-site pavement (drive aisles and parking spaces) shall be 2-1/2 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal. If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.

ENG 10. Proposed on-site drive aisles and parking lot modifications shall be constructed with curbs, gutters, and cross-gutters, as necessary to accept and convey surface drainage of the on-site improvements to an approved drainage system, in accordance with applicable City standards.

ENG 11. The applicant shall provide a copy of an executed and recorded reciprocal ingress/egress easement for the shared parking lot area across the properties identified as Assessor's Parcel Number (APN) 681-070-033, 681-070-034, and 681-070-036. The recorded easement shall be provided to the City Engineer prior to issuance of grading or building permits.

ENG 12. Parking shall be restricted along both sides of the 38 feet wide private drive aisle located along the frontage, as necessary to maintain a 24 feet wide clear two-way travel way. Regulatory Type R26 "No Parking" signs or red curb shall be installed along the drive aisles as necessary to enforce parking

restrictions. The property owner shall be responsible for regulating and maintaining required no parking restrictions, which shall be included in Covenants, Conditions, and Restrictions required for the development.

- ENG 13. A clearly designated pedestrian walkway of adequate width shall be provided for pedestrians crossing the entrance of the parking lot as well as entering or leaving the retail areas and accessing the retail parking. Traffic signage, lighting, pavement markings, and/or other visual cues shall be incorporated in the design of the on-site drive aisles and parking lot in order to support the use of the walkway by pedestrians and alert vehicles of the potential for crossing pedestrians.

SANITARY SEWER

- ENG 14. All sanitary facilities shall be connected to the public sewer system. The existing sewer service to the property shall be used for new sanitary facilities. New laterals shall not be connected at manholes.

GRADING

- ENG 15. Submit a Precise Grading Plan prepared by a California registered Civil engineer to the Engineering Services Department for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.

a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

- b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report.
- ENG 16. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed at the limits of grading and/or disturbed areas. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit and immediately prior to commencement of grading operations.
- ENG 17. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 18. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 19. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 20. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan. (if required)
- ENG 21. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be

provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.

ENG 22. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval prior to issuance of Building Permits.

ENG 23. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, CA 90040 (Phone (760) 782-3271, (562) 505-6415), Sonia.Oran@cdfa.ca.gov.

DRAINAGE

ENG 24. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMPs).

GENERAL

ENG 25. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.

ENG 26. All proposed utility lines shall be installed underground.

ENG 27. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.

ENG 28. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing filetype) and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital

data to be submitted to the City may be authorized, upon prior approval by the City Engineer.

ENG 29. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.

ENG 30. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.

ENG 31. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.

MAP

ENG 32. The proposed parking spaces and display area extend beyond the limits of the western property line. An application for a Lot Line Adjustment of the existing parcels identified as Assessor's Parcel No. (APN) 681-070-033 and 681-070-034 shall be submitted to and approved by the City Engineer prior to issuance of a building permit. A copy of a current title report and copies of record documents shall be submitted with the application for the lot line adjustment(s). The application(s) shall be submitted to and approved by the City Engineer prior to issuance of building permit.

TRAFFIC

ENG 33. A minimum of 48 inches of clearance for accessibility shall be provided on public sidewalks. Minimum clearance on public sidewalks shall be provided by either an additional dedication of a sidewalk easement if necessary and widening of the sidewalk, or by the relocation of any obstructions within the public sidewalk along the frontage of the subject property.

ENG 34. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and streetlights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.

- ENG 35. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 “Temporary Traffic Control” of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.
- ENG 36. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

FIRE DEPARTMENT CONDITIONS

- FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.
- FID 2. Fire Department Conditions were based on the 2019 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix “T” Development Requirements and latest adopted NFPA Standards. Three (3) complete sets of plans for fire sprinkler system plans, underground water improvement plans, & fire alarm plans must be submitted prior to a building permit being released.
- FID 3. **Conditions of Approval** – “Conditions of Approval” received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.
- FID 4. **Plans and Permits (CFC 105.1):**
Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:

City of Palm Springs
Building and Safety Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 5. **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

FID 6. **Required access (CFC 504.1):** Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for

FID 7. **Key Box Required to be Installed (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be flush mount type and shall contain keys to gain necessary access as required by the fire code official.

Secured emergency access gates serving apartment, town home or condominium complex courtyards must provide a key box in addition to association or facility locks. The nominal height of Knox lock box installations shall be 5 feet above grade. Location and installation of Knox key boxes must be approved by the fire code official.

- FID 8. **Key Box Contents (CFC 506.1):** The Knox key box shall contain keys to all areas of ingress/egress, alarm rooms, fire sprinkler riser/equipment rooms, mechanical rooms, elevator rooms, elevator controls, plus a card containing the emergency contact people and phone numbers for the building/complex.
- FID 9. **Turning Radius:** Fire access road turns and corners shall be designed with a minimum inner radius of 25 feet and an outer radius of 43 feet.
- FID 10. **Dead Ends:** Dead-end fire apparatus roads in excess of 150 feet in length shall be provided with an approved area for turning around a fire apparatus.
- FID 11. **Designated Fire Lanes:** in private developments shall be not less than 24 feet wide (curb face to curb face) with no parking on either side and shall be identified as fire lanes with red curb, stating in white lettering “ NO PARKING FIRE LANE”, or by approved signage, or by both red curb with lettering and signage.
- FID 12. **Fire Department Access Roads/Driveways:** Shall be provided so that no portion of the exterior wall of the first floor of any building will be more than 150 feet from such roads.
- FID 13. **Security Gates:** A Knox key operated switch shall be installed at every automatic gate. Secured automated vehicle gates or entries shall utilize a combination of a Tomar Strobeswitch™, or approved equal, and an approved Knox key switch when required by the fire code official. Secured non-automated vehicle gates or entries shall utilize an approved padlock or chain (maximum link or lock shackle size of ¼ inch) when required by the fire code official.

END OF CONDITIONS

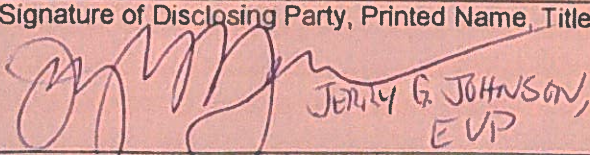


PUBLIC INTEGRITY DISCLOSURE APPLICANT DISCLOSURE FORM

1. Name of Entity	
V.I.P Motor Cars Ltd.	
2. Address of Entity (Principle Place of Business)	
4095 E. Palm Canyon Dr., Palm Springs, CA 92264	
3. Local or California Address (if different than #2)	
4. State where Entity is Registered with Secretary of State	
California	
<i>If other than California, is the Entity also registered in California?</i> <input type="checkbox"/> Yes <input type="checkbox"/> No	
5. Type of Entity	
<input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability Company <input type="checkbox"/> Partnership <input type="checkbox"/> Trust <input type="checkbox"/> Other (please specify)	
6. Officers, Directors, Members, Managers, Trustees, Other Fiduciaries (please specify) <i>Note: If any response is not a natural person, please identify all officers, directors, members, managers and other fiduciaries for the member, manager, trust or other entity</i>	
Jerry G. Johnson _____ [name]	
<input checked="" type="checkbox"/> Officer <input checked="" type="checkbox"/> Director <input type="checkbox"/> Member <input type="checkbox"/> Manager <input type="checkbox"/> General Partner <input type="checkbox"/> Limited Partner <input type="checkbox"/> Other _____	
Frank D. Hickingbotham _____ [name]	
<input checked="" type="checkbox"/> Officer <input checked="" type="checkbox"/> Director <input type="checkbox"/> Member <input type="checkbox"/> Manager <input type="checkbox"/> General Partner <input type="checkbox"/> Limited Partner <input type="checkbox"/> Other _____	
Gene Whisenhunt _____ [name]	
<input checked="" type="checkbox"/> Officer <input checked="" type="checkbox"/> Director <input type="checkbox"/> Member <input type="checkbox"/> Manager <input type="checkbox"/> General Partner <input type="checkbox"/> Limited Partner <input type="checkbox"/> Other _____	

7. Owners/Investors with a 5% beneficial interest in the Applicant Entity or a related entity	
EXAMPLE JANE DOE <hr/> [name of owner/investor]	 <i>50%, ABC COMPANY, Inc.</i> <hr/> [percentage of beneficial interest in entity and name of entity]
A. Frank Hickingbotham <hr/> [name of owner/investor]	 90%, control of Family Limited Partnership <hr/> [percentage of beneficial interest in entity and name of entity]
B. Jerry G. Johnson <hr/> [name of owner/investor]	 5% <hr/> [percentage of beneficial interest in entity and name of entity]
C. Gene Whisenhunt <hr/> [name of owner/investor]	 5% <hr/> [percentage of beneficial interest in entity and name of entity]
D. <hr/> [name of owner/investor]	 <hr/> [percentage of beneficial interest in entity and name of entity]
E. <hr/> [name of owner/investor]	 <hr/> [percentage of beneficial interest in entity and name of entity]

I DECLARE UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING IS TRUE AND CORRECT.

Signature of Disclosing Party, Printed Name, Title  JERRY G. JOHNSON, EVP	Date 12/29/2022
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PENALTIES

Falsification of information or failure to report information required to be reported may subject you to administrative action by the City.





GENESIS OF PALM SPRINGS

4057 E. PALM CANYON DR., PALM SPRINGS, CA 92264

CONSULTANTS

CIVIL ENGINEER
JONES, CAHL & ASSOCIATES INC.
18099 BEACH BLVD., SUITE #12
HUNTINGTON BEACH, CA 92648
714-848-0566
WWW.JONESCAHL.COM

STRUCTURAL ENGINEER
GRIMM & CHEN
17500 RED HILL AVE. #240
IRVINE, CA 92614
949-250-3150
WWW.GC-SE.COM

MECHANICAL/PLUMBING ENGINEER

RPM ENGINEERS, INC.
102 DISCOVERY
IRVINE, CA 92618
949-450-1229
WWW.RPMPE.COM

ELECTRICAL ENGINEER
DMI ENGINEERS
8140 WEIRICK RD.
CORONA, CA 92883
951-277-8109
WWW.DMIENGINEERS.COM

GENERAL NOTES

- CONTRACTORS SHALL VERIFY DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GENERAL CONTRACTOR SHALL SECURE AND PAY FOR BUILDING PERMITS, APPLICATIONS FEES, SERVICE FEES, GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK WHICH ARE LEGALLY REQUIRED.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE BUILDING CODES AND AGENCIES HAVING JURISDICTION OVER THE VARIOUS PHASES OF THE WORK.
- REFER TO DRAWING A002, A003, AND A004 FOR ACCESSIBILITY REQUIREMENTS. THE WORK SHALL CONFORM TO LOCAL, STATE, AND FEDERAL ACCESSIBILITY REQUIREMENTS.
- DIMENSIONS ARE INDICATED TO THE CENTERLINE OF STRUCTURAL GRID, FACE OF CONCRETE WALL, NOMINAL FACE OF CMU WALL, OR FACE OF PARTITION AS SCHEDULED, UNLESS OTHERWISE NOTED.
- REFER TO SOILS REPORT FOR GEOLOGICAL INFORMATION INCLUDING BUT NOT LIMITED TO SLAB AND FOUNDATION SPECIFICATIONS.
- REFER TO CIVIL ENGINEER'S DRAWINGS FOR FINISH PAD ELEVATION, FINISH GRADES, SIDEWALKS, UTILITIES, AND DRAINAGE.
- REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR STRUCTURAL RELATED INFORMATION INCLUDING BUT NOT LIMITED TO SLAB, FOUNDATION, FRAMING, SHEAR WALL, MASONRY, ETC...
- REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR MECHANICAL RELATED INFORMATION INCLUDING BUT NOT LIMITED TO HEATING, AIR CONDITIONING, DUCTING, VENTILATION, REGISTER SIZES, ENERGY CALCULATIONS, ETC...
- REFER TO PLUMBING ENGINEER'S DRAWINGS FOR PLUMBING RELATED INFORMATION INCLUDING BUT NOT LIMITED TO: ROOF DRAINS AND OVERFLOWS, PLUMBING FIXTURES, DRAINS, CONDENSATES, WATER HEATER, AND HOSE BIBS.
- REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR ELECTRICAL RELATED INFORMATION INCLUDING BUT NOT LIMITED TO POWER / SERVICE PANEL REQUIREMENTS, WIRING, CONDUITS, OUTLETS, LIGHTING, SWITCHES, ETC...
- FIRE SPRINKLER SYSTEM TO BE TIED INTO AN ALARM SYSTEM PER 903 I.B.C.
- AUTOMATIC SPRINKLER SYSTEM SERVING MORE THAN 100 SPRINKLERS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT CONSTANTLY ATTENDED LOCATION.
- PROVIDE AND INSTALL R-13 BATT INSULATION AT INTERIOR METAL STUD WALLS ADJOINING AIR CONDITIONED AREAS WITH NON-AIR CONDITIONED AREAS.
- GENERAL CONTRACTOR SHALL COORDINATE REQUIRED OPENINGS THROUGH WALLS, FLOOR SLABS AND/OR ROOF FRAMING W/ MECHANICAL, ELECTRICAL AND PLUMBING SUB-CONTRACTORS.
- CONTRACTOR TO PROVIDE SEPARATION BARRIER BETWEEN DISSIMILAR METALS.
- CONTRACTOR SHALL ERECT AND MAINTAIN DUST PROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE TO OTHER PARTS OF BUILDING. UPON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- PROVIDE UNISTRUT STRUCTURAL SUPPORT PLATFORM FOR AIR HANDLING UNITS ABOVE CEILING.
- PROVIDE FULL HEIGHT 5/8" MOISTURE RESISTANT GYPSUM BOARD AT DRINKING FOUNTAIN PLUMBING WALLS AND WALLS TO RECEIVE TILE.
- PROVIDE AND INSTALL SOUND ATTENUATING BATT INSULATION AT INTERIOR METAL STUD PARTITION WALLS OF RESTROOMS AND MECHANICAL ROOMS. EXTEND PARTITION WALLS TO UNDERSIDE OF DECK.
- REFER TO FLOOR PLANS AND WALL SECTIONS FOR FIRE-RATED WALLS. PROVIDE SOLID BACKING FOR FIRE-RATED WINDOW SHUTTERS IN WALL CAVITY.
- PAINT EXPOSED CONDUIT, PIPING, METAL BUILDING COMPONENTS AND ACCESSORIES DUCTWORK AND PIPING RACEWAYS ACCESSORIES AT ROOMS NOTED AS "PAINTED EXPOSED STRUCTURE."
- AT PLUMBING WALLS, INSTALL PAIRS OF 3 5/8" METAL STUDS WITH SOUND BATTS. FRAMING SHALL EXTEND TO DECK AND SHALL BE BRACED TO STRUCTURE ABOVE. INSTALL 5/8" MOISTURE RESISTANT GYP. BOARD FROM FLOOR TO 6" ABOVE LAY-IN CEILING. FINISHES SHALL BE AS SCHEDULED. INSTALL SOUND BATT INSULATION IN PLUMBING WALLS AND OTHER RESTROOM WALLS.
- CONTRACTOR TO PROVIDE BACKING PLATES AND SUPPORTS FOR ITEMS SUCH AS, BUT NOT LIMITED TO, TOILET ACCESSORIES, TOILET PARTITIONS, MIRRORS, CASEWORK, HANDRAILS, ETC...
- REFER TO FINISH FLOOR PLAN FOR FLOOR FINISH TRANSITION STRIP TYPES AND LOCATIONS.
- INSTALL 6" SOUND ATTENUATING BATT INSULATION ABOVE RESTROOMS CEILINGS.
- INSTALL 6" SOUND ATTENUATING BATT INSULATION ABOVE DEALER OFFICE CEILING, WHEN PROJECT-APPLICABLE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER HOOK UP OF OWNER SUPPLIED EQUIPMENT AND SHALL COORDINATE WITH OWNER'S VENDORS FOR ITEMS REQUIRING HOOK-UPS.
- EXTERIOR BUILDING SIGNAGE UNDER SEPARATE PERMIT.
- CONNECT ROOF DRAINS DIRECTLY TO STORM DRAINS UNLESS OTHERWISE SHOWN OR NOTED. REFER TO CIVIL AND PLUMBING DRAWINGS.
- EXTERIOR AND INTERIOR EXPOSED STRUCTURE SHALL BE PAINTED. REFER TO FINISH SCHEDULE.
- CONTRACTOR SHALL PROVIDE SOLID BLOCKING AT PARTITION WALLS WHERE REQUIRED FOR TOILET ACCESSORIES SUPPORT.
- CONTRACTOR SHALL PROVIDE (3) 4'-0"X8'-0"X3/4" THICK A-C-GRADE PAINTED PLYWOOD PANEL BOARDS AT EACH COMMUNICATION AND DATA EQUIPMENT ROOM. LOCATION TO BE DETERMINED BY ARCHITECT.
- WALL LOUVERS SHALL BE PAINTED AND PROVIDED W/BIRD SCREENS.

PROJECT INFORMATION

PROJECT:
GENESIS OF PALM SPRINGS

PROJECT DESCRIPTION:
INTERIOR & EXTERIOR RENOVATION OF AN EXISTING AUTO DEALERSHIP

BUILDING ADDRESS:
4057 E. PALM CANYON DR., PALM SPRINGS, CA 92264

LOT SIZE:
1.24 ACRE

TYPE OF CONSTRUCTION:
TYPE V-B; NON-SPRINKLERED

OCCUPANCY GROUP:
B & S1

NUMBER OF STORIES:
1

BUILDING HEIGHT:
25' - 0"

BUILDING AREA:

EXISTING	10,991 SF
PROPOSED	12,964 SF

PARKING SPACE CALCULATION

ZONING CODE	SPACES REQUIRED	AREA (SF)	REQUIRED	PROVIDED
MOTOR VEHICLE SALES	1 / 800 SF	7,882 SF	10	10
MOTOR VEHICLE REPAIR SHOP	4 PER BAY	8 BAYS	32	41
PARTS/STORAGE WAREHOUSE	1 / 800 SF	676 SF	01	08
TOTAL			43	59

VICINITY MAP



SHEET INDEX

#	SHEET NAME
ARCHITECTURAL	
A	COVER SHEET
AS1.0	EXISTING SITE PLAN
AS1.1	SITE PLAN
AS1.1.1	SITE DETAILS
AS1.2	DEMO FLOOR PLAN
AS1.2.1	FLOOR PLAN
AS1.3	ROOF PLAN
AS1.4	DEMO ELEVATIONS
AS1.4.1	ELEVATIONS

PROJECT NAME

GENESIS OF PALM SPRINGS

PROJECT DESCRIPTION

INTERIOR & EXTERIOR RENOVATION OF AN EXISTING AUTO DEALERSHIP

PROJECT ADDRESS

4057 E. PALM CANYON DR., PALM SPRINGS, CA 92264

OWNER INFORMATION

V.I.P. CARS LTD.
CONTACT: CHRIS HECTOR,
OWNERS REPRESENTATIVE
PHONE: (760)-898-7743
EMAIL:
CHECTOR_9@YAHOO.COM

GOREE PROJECT NUMBER

GW2211

STAMP / SIGNATURE



ISSUE DATE

11/29/2022

ISSUE HISTORY

DATE	MARK	DESCRIPTION

KEY PLAN

SHEET NAME

COVER SHEET

SHEET NUMBER

A

CONSULTANTS

CIVIL ENGINEER
JONES, CAHL & ASSOCIATES INC.
18090 BEACH BLVD., SUITE #12
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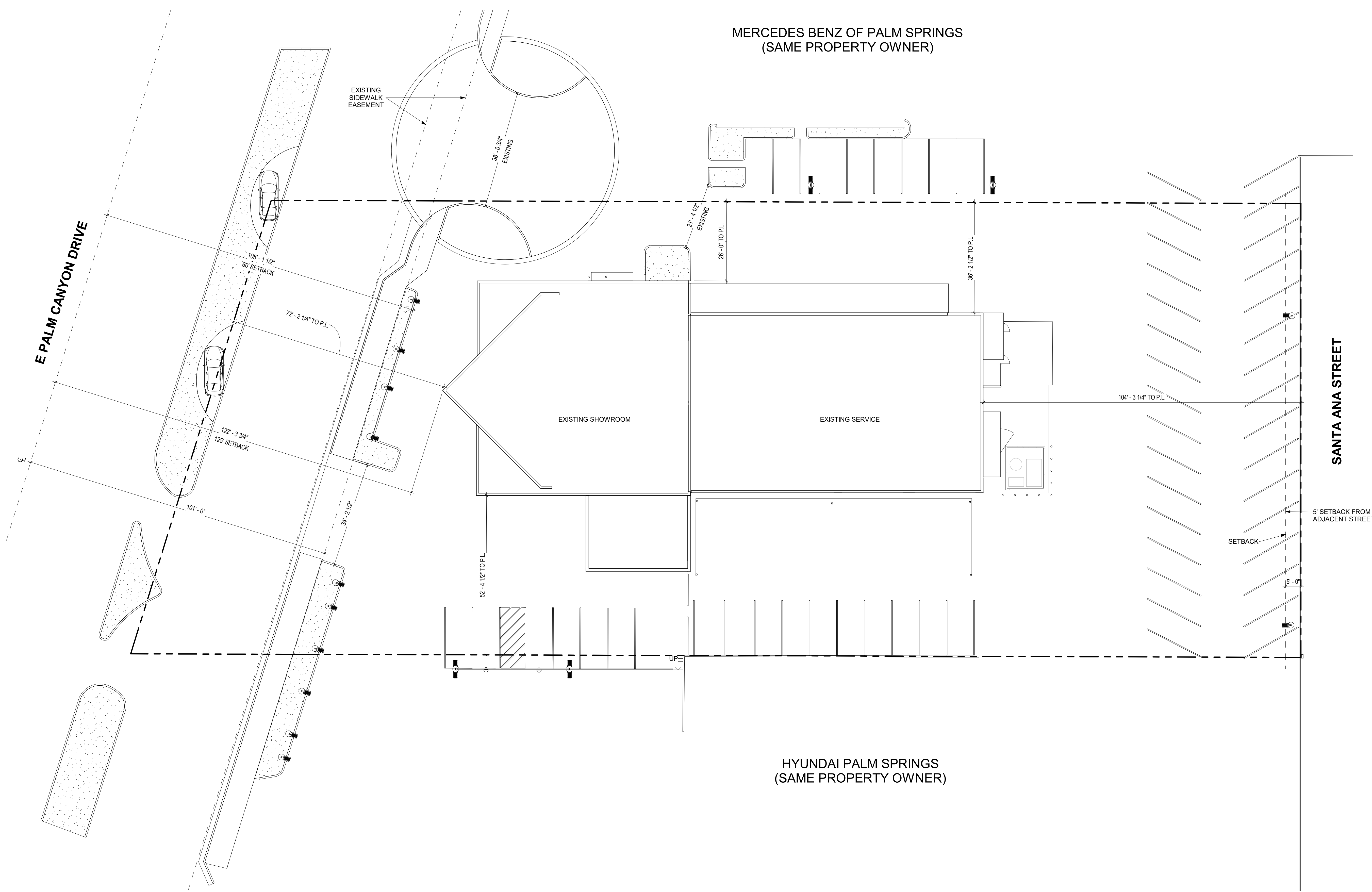
KEY PLAN

SHEET NAME

EXISTING SITE PLAN

SHEET NUMBER

AS1.0



1 EXISTING SITE PLAN
1/16" = 1'-0"

COPYRIGHTED DOCUMENT: THIS DRAWING AND THE BENCHMARK FROM WHICH IT HAS BEEN GENERATED ARE PROVIDED AS AN INSTRUMENT OF SERVICE FOR THE PROJECT. THESE DOCUMENTS ARE THE SOLE PROPERTY OF GOREE ARCHITECTS, INC. ANY USE OF THESE DOCUMENTS, DATA AND DESIGNS FOR PURPOSES OTHER THAN THOSE INDICATED WITH THIS PROJECT WITHOUT THE EXPRESSED WRITTEN PERMISSION OF GOREE ARCHITECTS, INC. IS PROHIBITED.

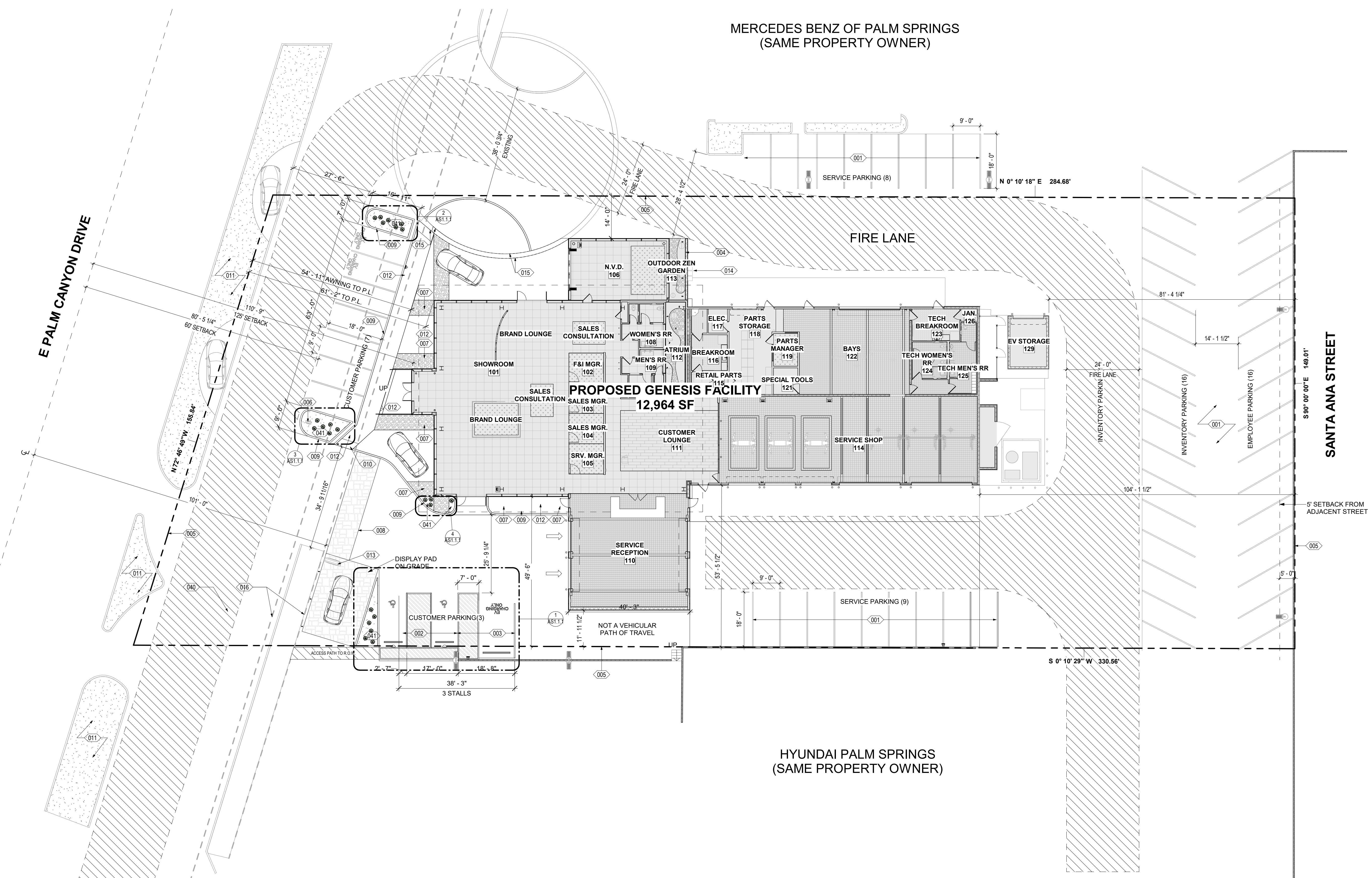
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- SITE WORK GENERAL NOTES:**
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND SCOPE OF WORK REQUIREMENTS.
 - REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF CURBS, PAVING AND PLANTERS ADJACENT TO BUILDINGS.
 - CONTRACTOR SHALL EXECUTE THE WORK IN STRICT ACCORDANCE WITH THESE DRAWINGS, LOCAL GOVERNING BUILDING, FIRE, MECHANICAL AND PLUMBING CODES, THE CURRENT ACCESSIBILITY STANDARDS AND ALL OTHER AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. THE CONTRACTOR SHALL REPORT CONFLICTING REQUIREMENTS TO THE ARCHITECT FOR INTERPRETATION.
 - DEALER SITE SIGNS AND THEIR REQUIRED FOUNDATIONS ARE NOT IN CONTRACT UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL PROVIDE/COORDINATE POWER REQUIREMENTS CONDUITS, AND PROVIDE HOOK-UPS FOR POWER.
 - PARKING AND CURB DIMENSIONS ARE TAKEN FROM FACE OF CURB UNLESS NOTED OTHERWISE.
 - ACCESSIBLE PARKING SPACES SHALL COMPLY WITH APPLICABLE ACCESSIBILITY CODES. PROVIDE SIGNS SHOWING SYMBOL OF ACCESSIBILITY AT EACH SPACE. PROVIDE "VAN ACCESSIBLE" SIGN AT VAN SPACE. REFERENCE ACCESSIBILITY SHEETS FOR MOUNTING DETAILS.
 - POST SITE ADDRESS DURING CONSTRUCTION AND AFTER THE BUILDING IS OCCUPIED IN ACCORDANCE WITH FIRE MARSHAL REQUIREMENTS.
 - REFER TO CIVIL FOR FIRE AND SITE YARD HYDRANTS INFORMATION.
 - REFER TO LANDSCAPE & IRRIGATION PLANS FOR APPROXIMATE LOCATIONS AND QUANTITIES.
 - REFER TO ELECTRICAL PLANS FOR POWER.

PARKING SPACES CALCULATION

TABLE 93.06.00

ZONING CODE	SPACES REQUIRED	AREA (SF)	REQUIRED	PROVIDED
MOTOR VEHICLE SALES	1 / 800 SF	7,882 SF	10	10
MOTOR VEHICLE REPAIR SHOP	4 PER BAY	8 BAYS	32	41
PARTS/STORAGE WAREHOUSE	1 / 800 SF	676 SF	01	8
TOTAL			43	59



- SITE PLAN KEYNOTES**
- EXISTING PARKING STRIPES TO REMAIN
 - NEW PARKING STRIPES
 - NEW ADA PARKING STRIPES & SIGNAGE. REF: ACCESSIBILITY SHEETS
 - SCREEN WALL. CMU SURFACED WITH EIFS & PAINTED P-1. RE: FINISH SCHEDULE
 - PROPERTY LINE. RE: CIVIL
 - GENESIS 5' HIGH DIRECTIONAL SIGNAGE BY OTHERS. SHOWN FOR REFERENCE.
 - 5'-0" WIDE ACCENT BANDS USING PV-4. RE: FINISH SCHEDULE
 - WALKWAY TO BE PV-1. RE: FINISH SCHEDULE
 - NEW 6" CURB. RE: CIVIL
 - NEW ACCESSIBLE CURB RAMP PER CBC 11B-406 WITH TRUNCATED DOMES (11B-406) RE: CIVIL
 - EXISTING FRONTAGE, LANDSCAPE, & PAVING TO REMAIN
 - NEW PAVING. RE: CIVIL
 - GENESIS 6' HIGH MONUMENT SIGN
 - SWITCH GEAR. RE: MECHANICAL
 - FLOOR TO BE FLUSHED, WITH CHANGE IN MATERIAL. RE: CIVIL
 - EASEMENT FOR PUBLIC SIDEWALK. RE: CIVIL
 - FRESH SLURRY COAT
 - EXISTING CONCRETE, PRESSURE WASH
 - NEW GUTTER. RE: CIVIL DRAWINGS
 - ASPHALT PAVING PER CIVIL, PROVIDE FRESH SLURRY COAT WHERE EXISTING
 - EXISTING CMU WALL TO REMAIN
 - EXISTING STAIR TO REMAIN
 - EXISTING SIDEWALK TO REMAIN
 - EXISTING FUEL TANK TO REMAIN
 - NEW TRANSFORMER. RE: ELECTRICAL
 - NEW PLANTING BED, TO MATCH ADJACENT LANDSCAPING AT HYUNDAI DROUGH TOLERANT PLANTS, IRRIGATION BY OTHERS.
 - ACCESSIBLE PATH OF TRAVEL PER 11B-206, 2% MAX CROSS SLOPE, 5% MAX RUNNING SLOPE. REFER TO A002, ALSO RE: CIVIL
 - NEW EV STORAGE
 - EXISTING EXTERIOR STORAGE
 - PAVERS BROUGHT TO GRADE
 - NEW PAVING TO SLOPE FROM VEHICLE DOORS TOWARDS ROLLOVER CURB
 - ROLLOVER CURB TO MATCH THICKNESS OF EXISTING PAVING BAND
 - NEW SIDEWALK TO SLOPE WITH ADJACENT PAVING AREA
 - NEW PAVING, ON GRADE, BETWEEN EXISTING PAVERS AT GRADE AND THE PAVERS THAT HAVE BEEN BROUGHT DOWN TO GRADE
 - EXISTING PAVERS TO REMAIN
 - FULLY RECESSED CONCRETE DOMES IN CONTRASTING COLOR PER 11B-702 & 11B-247. RE: A002 & RE: CIVIL
 - EXISTING LIGHT POLES AND BASES TO REMAIN. POLES AND HEADS ARE TO BE PAINTED P-3. EXISTING HEADS TO BE REPLACED WITH LED, ENERGY EFFICIENT HEADS. RE: EXTERIOR LIGHT FIXTURE SCHEDULE
 - 0 CURB CONDITION FOR VEHICLE ACCESS. RE: CIVIL
 - EXISTING WALL TO BE PAINTED P-1.
 - EASEMENT FOR SEWER MAIN. RE: CIVIL
 - NEW LANDSCAPING. RE: SHEET AS1.1.1

PROJECT NAME
GENESIS OF PALM SPRINGS

PROJECT DESCRIPTION
 INTERIOR & EXTERIOR RENOVATION OF AN EXISTING AUTO DEALERSHIP

PROJECT ADDRESS
 4057 E. PALM CANYON DR., PALM SPRINGS, CA 92264

OWNER INFORMATION
 V.I.P. CARS LTD.
 CONTACT: CHRIS HECTOR,
 OWNERS REPRESENTATIVE
 PHONE: (760)-898-7743
 EMAIL:
 CHECTOR_9@YAHOO.COM

- SITE PLAN LEGEND**
- OVERHEAD AWNING
 - PROPERTY LINE
 - SETBACK LINE
 - EASEMENT FOR PUBLIC SIDEWALK
 - EASEMENT FOR SEWER MAIN
 - ADA TRUNCATED DOMES
 - PAVING 1
 - PAVING 4
 - BRICK PAVER
 - LANDSCAPE

GOREE PROJECT NUMBER
GW2211

STAMP / SIGNATURE

ISSUE DATE
11/29/2022

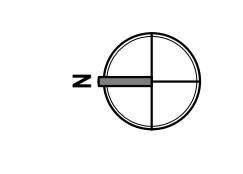
ISSUE HISTORY

DATE	MARK	DESCRIPTION

KEY PLAN

SHEET NAME
SITE PLAN

SHEET NUMBER



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12/27/22

ISSUE HISTORY

DATE	MARK	DESCRIPTION

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SHEET NAME

SITE DETAILS

SHEET NUMBER

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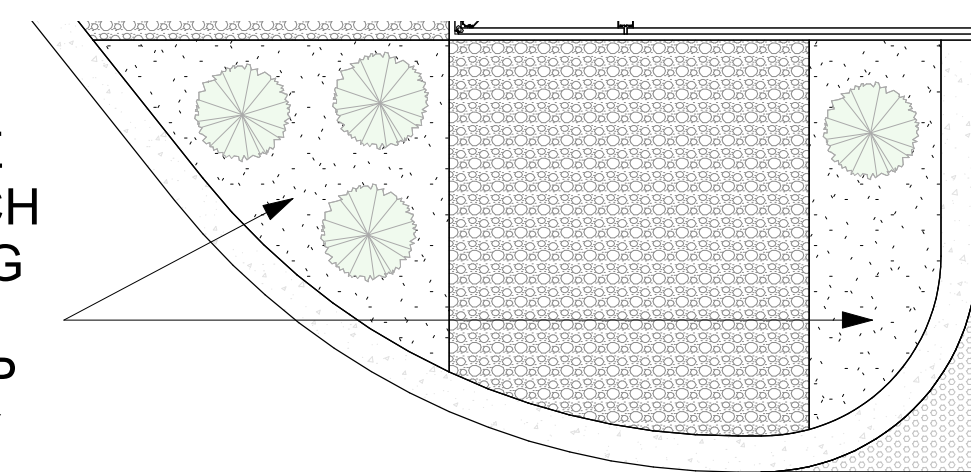
PLANT LEGEND

DECOMPOSED GRANITE AND ROCK BED

HESPERALOE PARVIFLORA

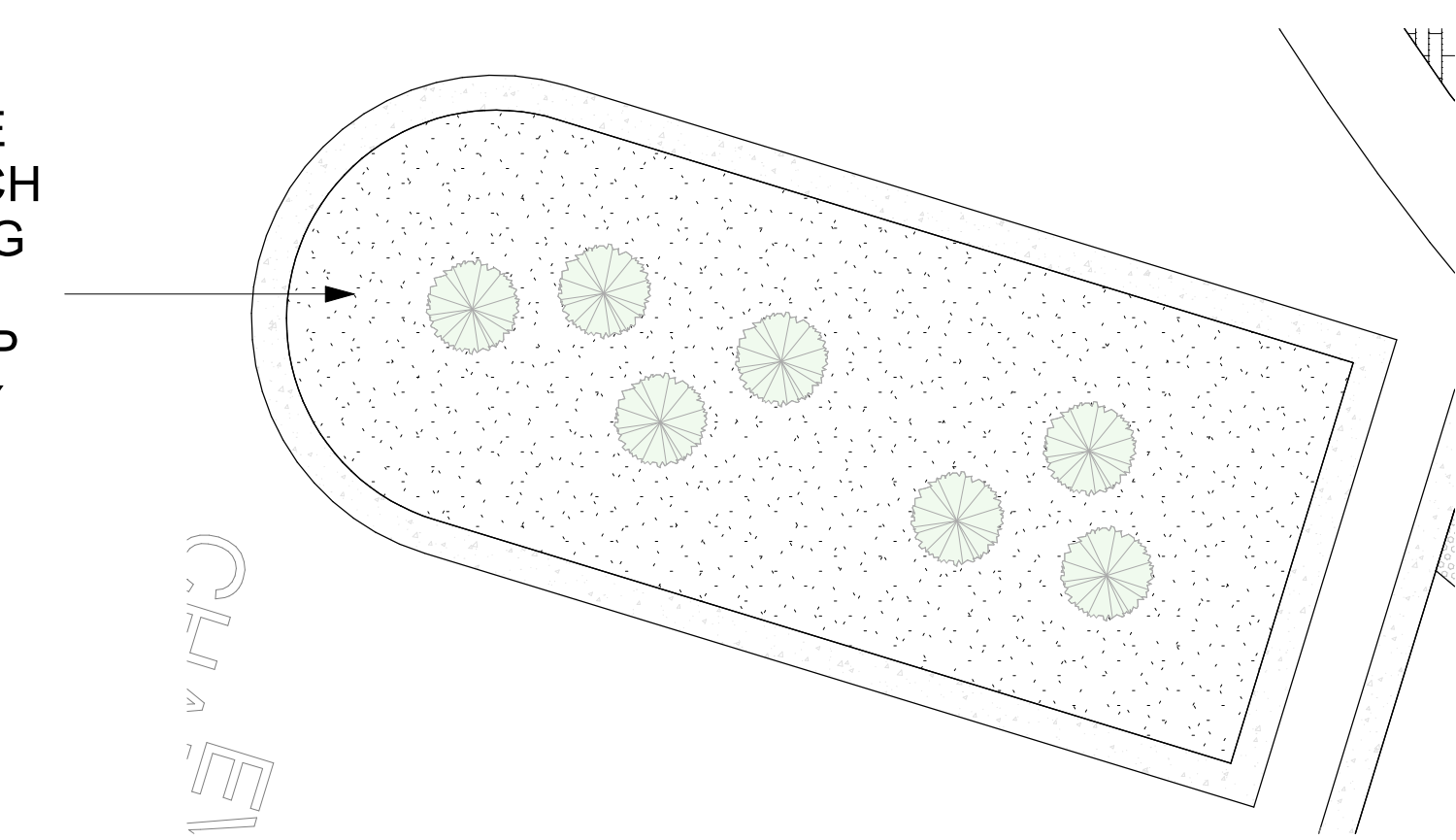


DECOMPOSED GRANITE AND ROCK BED, TO MATCH ADJACENT LANDSCAPING AT HYUNDAI. DROUGH TOLERANT PLANTS, DRIP IRRIGATION SYSTEM BY OTHERS.



4 LANDSCAPE PLAN 3
3/8" = 1'-0"

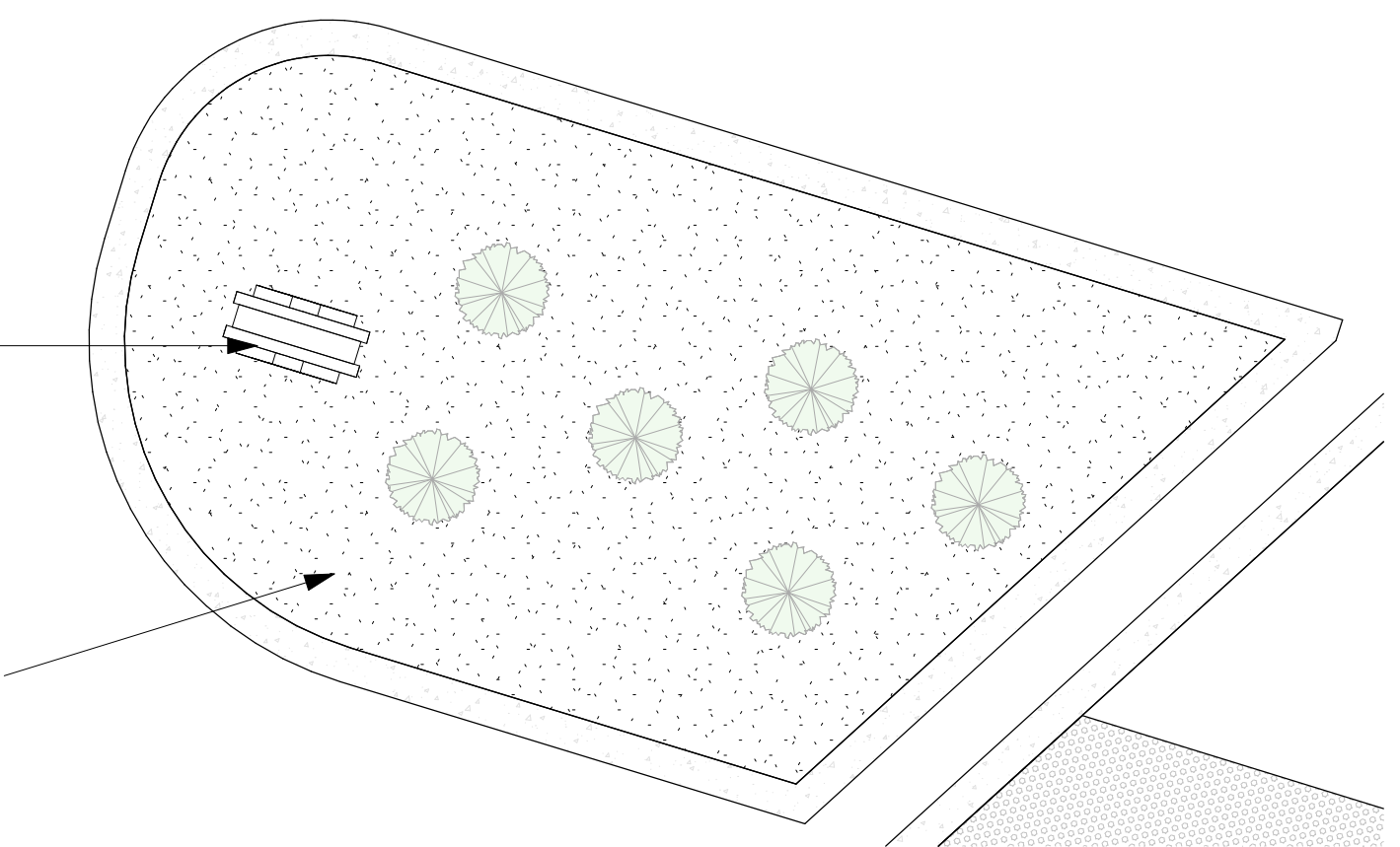
DECOMPOSED GRANITE AND ROCK BED, TO MATCH ADJACENT LANDSCAPING AT HYUNDAI. DROUGH TOLERANT PLANTS, DRIP IRRIGATION SYSTEM BY OTHERS.



2 LANDSCAPE PLAN 1
3/8" = 1'-0"

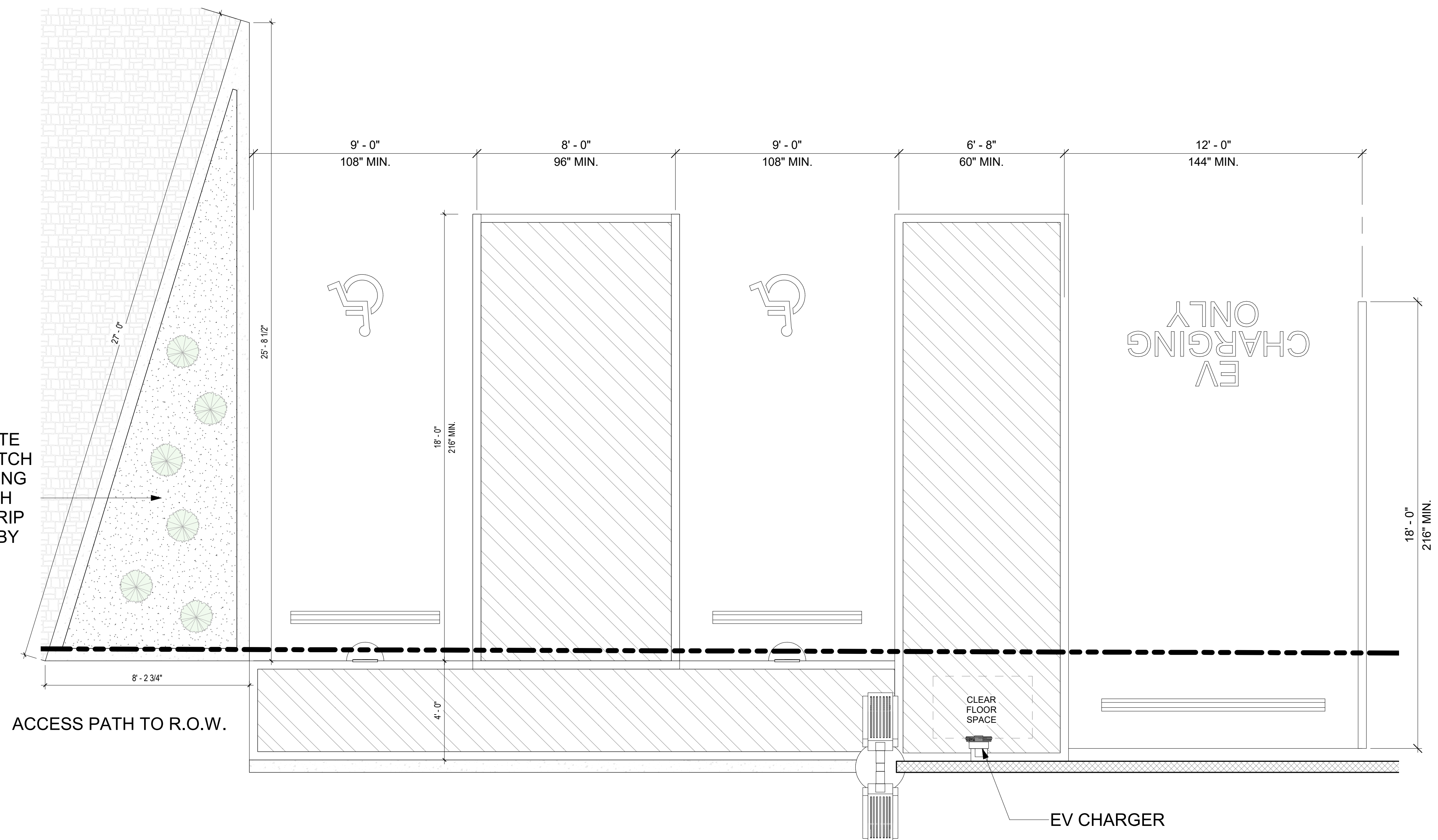
NEW DIRECTIONAL SIGNAGE

DECOMPOSED GRANITE AND ROCK BED, TO MATCH ADJACENT LANDSCAPING AT HYUNDAI. DROUGH TOLERANT PLANTS, DRIP IRRIGATION SYSTEM BY OTHERS.



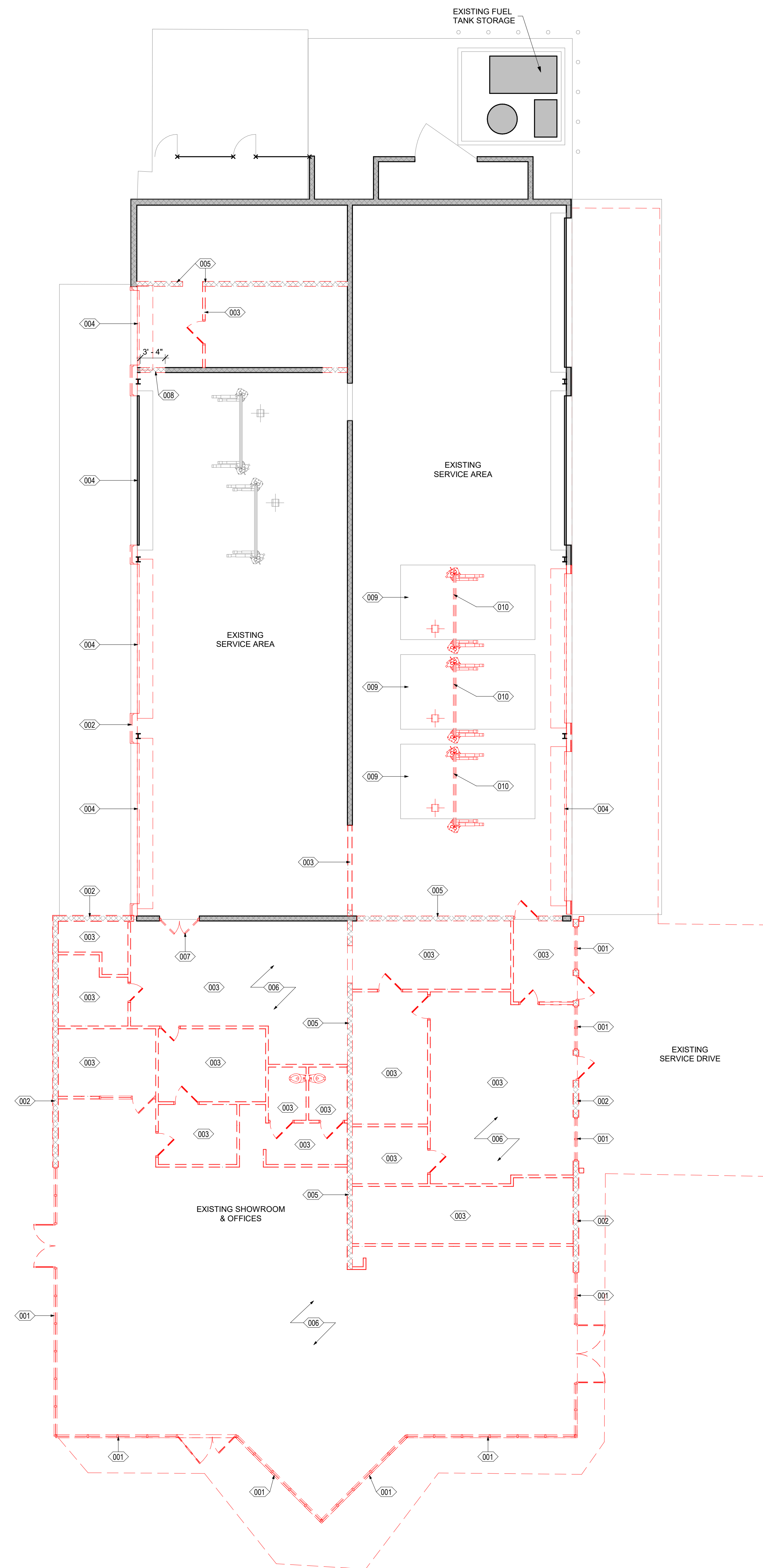
3 LANDSCAPE PLAN 2
3/8" = 1'-0"

DECOMPOSED GRANITE AND ROCK BED, TO MATCH ADJACENT LANDSCAPING AT HYUNDAI. DROUGH TOLERANT PLANTS, DRIP IRRIGATION SYSTEM BY OTHERS.



1 ENLARGED ACCESSIBLE PARKING AREA
3/8" = 1'-0"

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DEMOLITION GENERAL NOTES:

- CONTRACTOR IS TO SECURE ALL PERMITS AND EXPEDITE SAME INCLUDING ALL EXPRESS FEES.
- PROVIDE A COMPREHENSIVE TIME ESTIMATE FOR THE WORK WITH INITIAL PROPOSAL ESTIMATE.
- ON A WEEKLY BASIS CONTRACTOR SHALL PROVIDE THE OWNER WITH A WEEKLY SCHEDULE CLEARLY OUTLINING WORK TO BE DONE IN THAT WEEK AND ADVISE OWNER OF WORK GOALS COMPLETED AND/OR NOT COMPLETED IN THE PRIOR WEEK.
- CONTRACTOR TO COORDINATE DEMOLITION WORK WITH THE OWNER'S APPOINTED REPRESENTATIVE, AND PREPARE FOR REVIEW A DETAILED "DEMOLITION SCHEDULE" WITH OWNER'S REPRESENTATIVE AT LEAST TWO WEEKS IN ADVANCE OF ANY DEMOLITION WORK TO BE DONE.
- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS, WINDOWS AND SUPPORTING STRUCTURAL MEMBERS.
- PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION OVER WORK.
- PROVIDE DEMOLITION IN EXCESS OF THAT REQUIRED FOR NEW CONSTRUCTION, AT EXISTING TO REMAIN CONDITIONS. TERMINATE EXTENTS OF DEMOLITION AT A SIGNIFICANT JOINT INCLUDING BUT NOT LIMITED TO EDGE OF FOUNDATION, STRUCTURE, ROOF OR WALL.
- BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
- REMOVE FROM SITE, CONTAMINATED, VERMIN INFESTED OR DANGEROUS MATERIALS ENCOUNTERED AND DISPOSE OF BY SAFE MEANS SO AS NOT TO ENDANGER HEALTH OF WORKERS AND PUBLIC.
- REMOVE DEMOLISHED MATERIALS, TOOLS, AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN A CONDITION ACCEPTABLE TO THE ARCHITECT AND THE OWNER.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CAPACITIES AND SHALL INCREASE CAPACITY AS REQUIRED FOR NEW CONSTRUCTION, INCLUDING ELECTRICAL SWITCH GEAR, PRIMARY ELECTRICAL SERVICE, HVAC SYSTEMS AND PLUMBING SYSTEMS.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER'S USE OF EXISTING BUILDINGS IN CONJUNCTION WITH THE WORK AND SHALL MAINTAIN FREE AND SAFE PASSAGE TO AND FROM.
- CONTRACTOR SHALL PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF EXISTING STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, OR INJURY.
- CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE ARCHITECT IMMEDIATELY, IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- CONTRACTOR SHALL ARRANGE AND PAY FOR DISCONNECTING FEES, INCLUDING REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY COMPANY IN ADVANCE AND OBTAIN OWNER APPROVAL BEFORE STARTING THIS WORK.
- CONTRACTOR SHALL PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
- CONTRACTOR SHALL ERECT WEATHERPROOF CLOSURES FOR EXTERIOR OPENINGS.
- CONTRACTOR SHALL ERECT AND MAINTAIN DUST PROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- CONTRACTOR SHALL FIELD VERIFY, IDENTIFY AND MARK LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING ANY DEMOLITION WORK.

DEMOLITION FLOOR PLAN KEYNOTES:

- EXISTING STOREFRONT SYSTEM TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO BE DEMOLISHED
- EXISTING INTERIOR PARTITIONS TO BE DEMOLISHED
- EXISTING OVERHEAD DOOR AND FRAME TO BE DEMOLISHED
- PORTION OF EXISTING CMU WALL TO BE DEMOLISHED, RE: STRUCTURAL
- ALL EXISTING MILLWORK TO BE DEMOLISHED
- EXISTING DOOR TO BE REMOVED. OPENING TO BE INFILLED W/ MATCHING WALL TYPE
- NEW OPENING IN EXISTING CMU WALL, RE: STRUCTURAL
- PREP FLOOR FOR NEW IN GROUND LIFT, RE: STRUCTURAL
- EXISTING LIFT TO BE MOVED
- PREP AREA FOR NEW BATTERY STORAGE BUILDING
- EXISTING WALL. REMOVE ALL EXISTING WALL TREATMENTS. PROVIDE NEW ELECTRICAL AS SHOWN ON ARCHITECTURAL AND ELECTRICAL DRAWINGS. PATCH ANY DAMAGE AREAS FOR SMOOTH AND EVEN SURFACE. ALL EXISTING WALLS TO REMAIN TO RECEIVE NEW WALL PAINT AND/OR WALL FINISH AND BASE. REFER TO FINISH PLAN AND SCHEDULE ON A-8.0, TYP.
- EXISTING G LIFTS. PROTECT IN PLACE
- EXISTING OVERHEAD DOOR TO REMAIN. PROTECT IN PLACE
- EXISTING STRUCTURAL COLUMN AND STRUCTURAL BEAMS TO REMAIN. PROTECT IN PLACE. SAND DOWN EXISTING FINISH AND PREP FOR NEW PAINT FINISH, TYP.
- WHERE REQUIRED, PROVIDE SUBFLOOR TRENCH, BACKFILL AND SLAB POURBACK PER DETAIL, AS REQUIRED FOR NEW PLUMBING FIXTURE LOCATIONS (PER PLUMBING DRAWINGS). GC TO F.V. EXTENT TO TRENCH AND F.V. CONNECTION TO EXISTING SEWER/WATER LINES, ECT.



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PROJECT NAME

GENESIS OF PALM SPRINGS

PROJECT DESCRIPTION

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PROJECT ADDRESS

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CONTACT: CHRIS HECTOR,
OWNERS REPRESENTATIVE
PHONE: (760)-898-7743
EMAIL:
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GOREE PROJECT NUMBER

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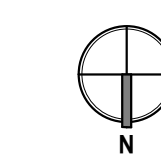
KEY PLAN

SHEET NAME

DEMO FLOOR PLAN

SHEET NUMBER

AS1.2



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1 PROPOSED FLOOR PLAN
1/8" = 1'-0"

- GENERAL PLAN NOTES:**
- INTERIOR PARTITIONS TO BE TYPE 'A1' UNLESS NOTED OTHERWISE.
 - THE WORK SHALL CONFORM TO REQUIREMENTS OF APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES AND AGENCIES HAVING JURISDICTION OVER THE VARIOUS PHASES OF THE WORK.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - PROVIDE FULL HEIGHT 8" CEMENT BACKER BOARD AT TOILET AND JANITOR ROOMS, AND AT WALLS TO RECEIVE TILE.
 - PROVIDE AND INSTALL SOUND DAMPENING INSULATION AT ALL PERIMETER METAL STUD WALLS OF RESTROOMS AND MECHANICAL ROOMS. EXTEND PARTITION WALLS TO UNDERSIDE OF DECK.
 - REFER TO NOTED FLOOR PLANS AND CODE ANALYSIS FOR FIRE-RATED WALLS. PROVIDE SOLID BACKING FOR ALL FIRE-RATED SHUTTERS IN WALL CAVITIES.
 - PROVIDE AND INSTALL THERMAL BATT INSULATION AT INTERIOR METAL STUD PARTITION WALLS ADJOINING AIR CONDITIONED AREAS WITH NON-AIR CONDITIONED AREAS.
 - REFER TO ACCESSIBILITY STANDARDS SHEETS FOR ACCESSIBILITY REQUIREMENTS. THE WORK SHALL CONFORM TO LOCAL, STATE, AND FEDERAL ACCESSIBILITY REQUIREMENTS.
 - ACCESSIBLE RESTROOMS SHALL CONFORM TO LOCAL, STATE AND FEDERAL ACCESSIBILITY REQUIREMENTS.
 - CONTRACTOR SHALL PROVIDE BLOCKING WHERE REQUIRED FOR TOILET ACCESSORIES.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER CONNECTIONS OF THE EQUIPMENT. THE CONTRACTOR SHALL COORDINATE W/ OWNERS VENDORS FOR ITEMS REQUIRING HOOK-UPS.
 - CONTRACTOR SHALL PROVIDE (3) 4'-0" x 8'-0" x 3/4" THICK A-C GRADE PAINTED PLYWOOD PANEL BOARDS FOR COMMUNICATION AND DATA EQUIPMENT. LOCATION TO BE DETERMINED BY ARCHITECT.
 - GENERAL CONTRACTOR SHALL SECURE AND PAY FOR BUILDING PERMITS, APPLICATIONS FEES, SERVICE FEES, GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK.
 - PAINT EXPOSED CONDUIT, PIPING, METAL BUILDING COMPONENTS, ACCESSORIES, DUCTWORK AND PIPING RACEWAY ACCESSORIES AT ROOMS NOTED AS "PAINT EXPOSED STRUCTURE."
 - PAINT VISIBLE CONDUIT, PIPING, BUILDING COMPONENTS, ACCESSORIES, DUCTWORK AND PIPING RACEWAY ACCESSORIES ABOVE RETURN AIR GRILLS WHEN RETURN AIR PLENUM IS DESIGNED.
 - HOLLOW METAL DOORS AND FRAMES SHALL BE PAINTED TO MATCH ADJACENT WALL, BOTH SIDES, UNLESS NOTED OTHERWISE, TYP.
 - PROVIDE CORNER GUARDS AT WALLS INDICATED AND SPECIFIED.



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CONTACT: CHRIS HECTOR,
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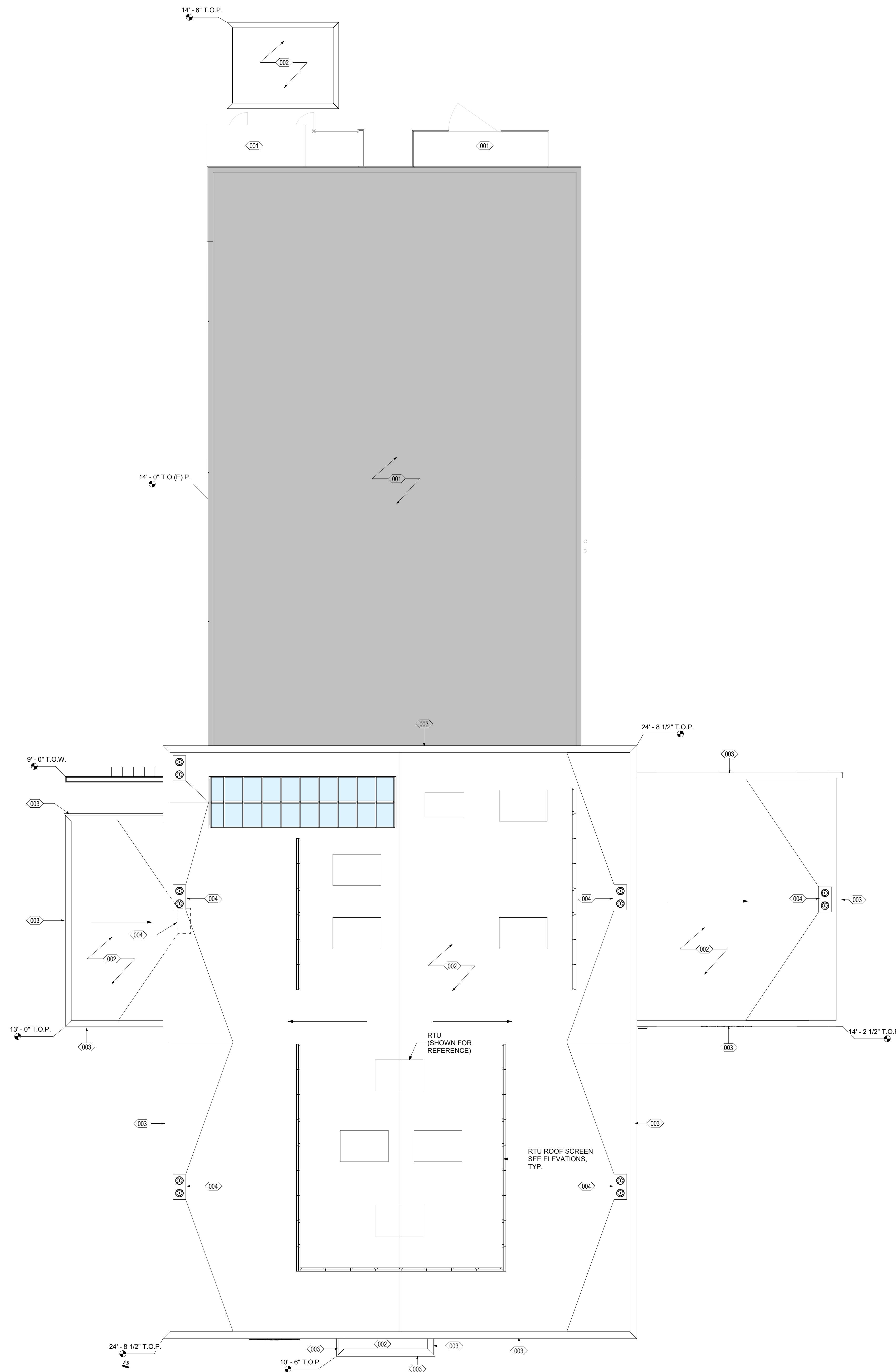
KEY PLAN

SHEET NAME
FLOOR PLAN

SHEET NUMBER
AS1.2.1

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1 ROOF PLAN
1/8" = 1'-0"

ROOF GENERAL NOTES:

1. GC TO COORDINATE WITH MECHANICAL SCREEN MANUFACTURER ON LOCATION OF MECHANICAL SCREEN POSTS. REFER TO STRUCTURAL FOR BRACING
2. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING FOR OTHER ROOF EQUIPMENT.
3. PLACE ROOF WALK PAD AT PERIMETER OF MECHANICAL EQUIPMENT, ROOF HATCHES AND TRAVEL ROUTES FROM ROOF LADDERS.

ROOF PLAN KEYNOTES

- 001 EXISTING ROOF TO REMAIN
- 002 NEW FULLY ADHERED TPO ROOF OVER 1/2" ROOFING BOARD, OVER RIGID INSULATION (R-30) ON METAL DECK
- 003 ACM INTEGRATED PARAPET CAP. COLOR TO MATCH ADJACENT WALL.
- 004 NEW ROOF DRAIN
- 005 MECHANICAL ROOFTOP UNIT. RE. MECHANICAL DRAWINGS

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DEMOLITION ELEVATION KEYNOTES

- 001 EXISTING CANOPY & STRUCTURE TO BE DEMOLISHED
- 002 EXISTING EXTERIOR WALL TO BE DEMOLISHED
- 003 EXISTING GLAZING TO BE DEMOLISHED
- 004 EXISTING BOLLARD TO BE REMOVED
- 005 EXISTING CMU WALL TO BE DEMOLISHED
- 006 EXISTING OVERHEAD DOOR AND FRAME TO BE DEMOLISHED
- 007 EXISTING CMU WALL TO REMAIN
- 008 EXISTING CLADDING TO BE DEMOLISHED AND PREP FOR NEW PLASTER FINISH
- 009 EXISTING OVERHEAD DOOR TO REMAIN, PROTECT IN PLACE



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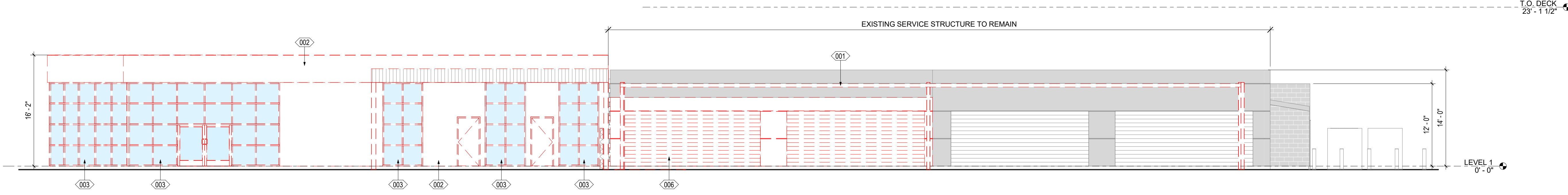
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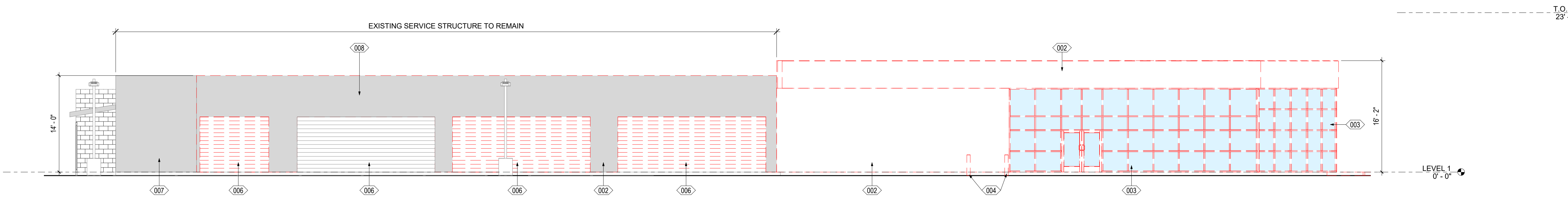
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DEMOLITION ELEVATIONS

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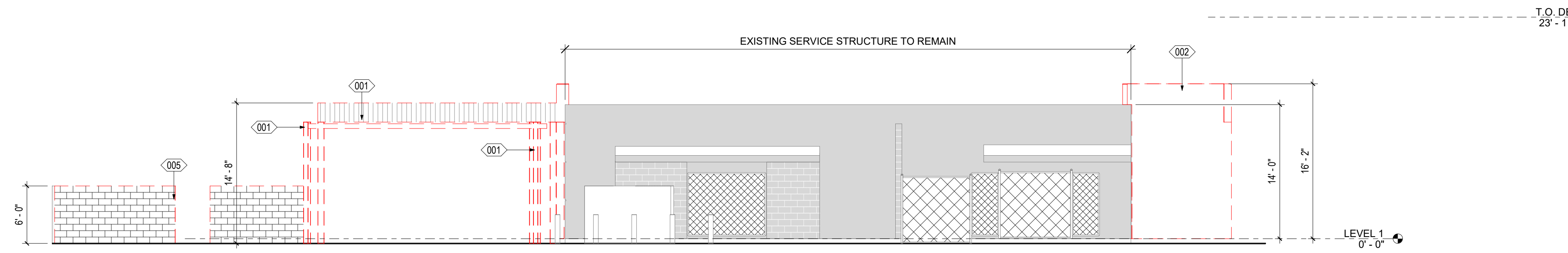
AS1.4



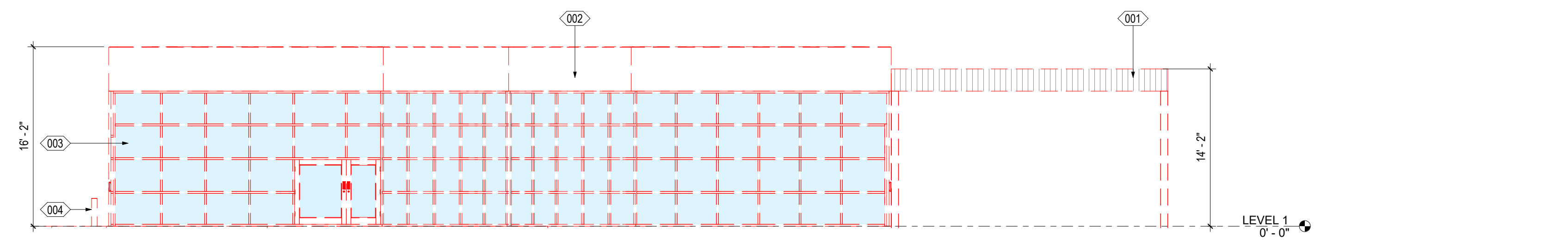
4 WEST DEMO ELEVATION PLAN SET
1/8" = 1'-0"



1 EAST DEMO ELEVATION PLAN SET
1/8" = 1'-0"



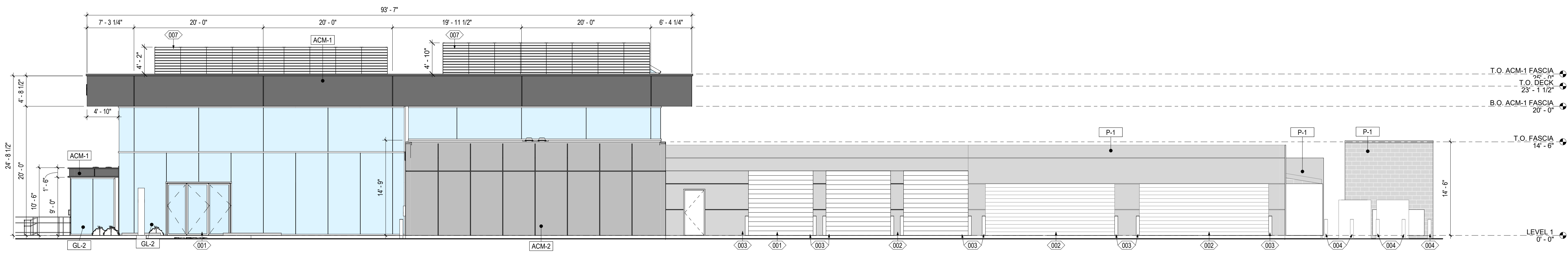
3 SOUTH DEMO ELEVATION PLAN SET
1/8" = 1'-0"



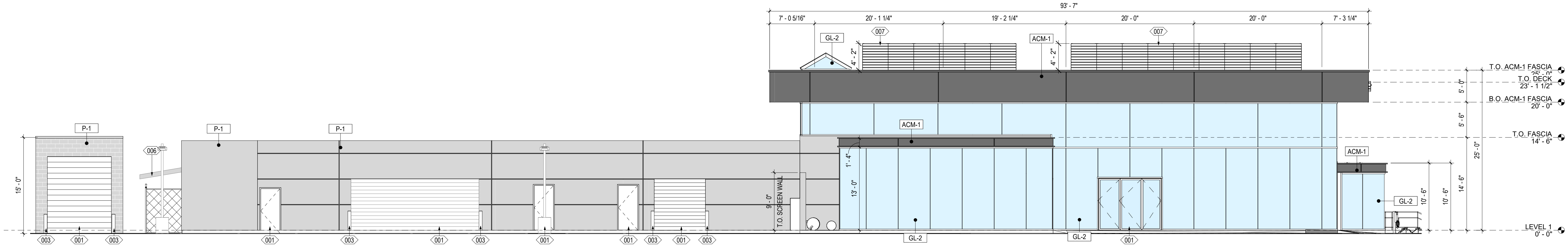
2 NORTH DEMO ELEVATION PLAN SET
1/8" = 1'-0"

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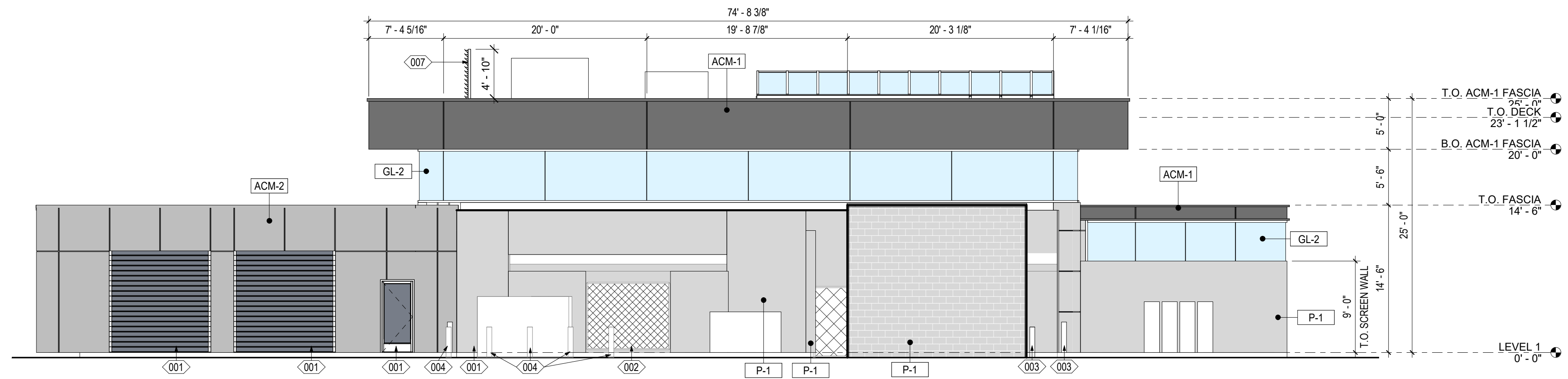
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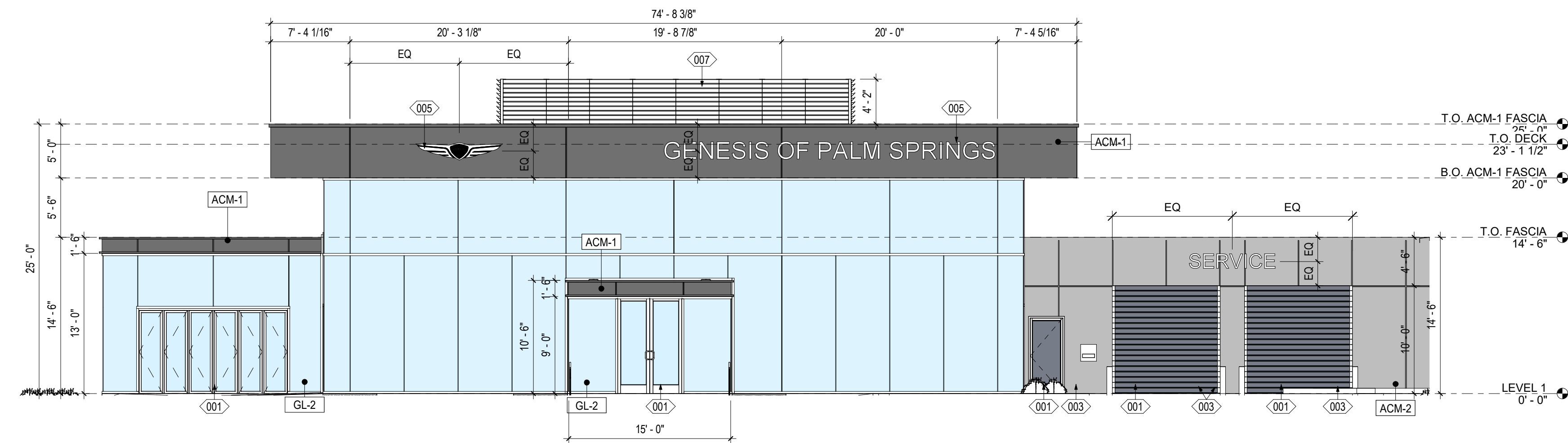
4 WEST ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

- 001 DOOR AS SCHEDULED
- 002 EXISTING DOOR TO REMAIN, PRIME AND PAINT P-1
- 003 NEW 6" DIAMETER STEEL PIPE BOLLARD PRIMED AND PAINTED P-1
- 004 EXISTING BOLLARD TO BE PRIMED AND PAINTED P-1
- 005 GENESIS SIGNAGE; PROVIDED BY OWNER, G.C. TO PROVIDE ELECTRICAL & COORDINATE WITH SIGN SUPPLIER
- 006 EXISTING ROOF TO REMAIN
- 007 METAL ROOF SCREEN TO BE TRAPEZOIDAL SHEET - CENTRIA - MATCH SW7073 NETWORK GREY
- 008 NEW 6" DIAMETER STEEL PIPE BOLLARD PRIMED AND PAINTED P-3

MATERIAL LEGEND	
	ACM-1 BASALT GRAY ACM
	ACM-2 TRICORN BLACK ACM
	GL-2 EXTERIOR CURTAIN WALL GLAZING
	P-1 SW 7076 CYBERSPACE

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 WWW.DMIENGINEERS.COM

PROJECT NAME
GENESIS OF PALM SPRINGS

PROJECT DESCRIPTION
 INTERIOR & EXTERIOR
 RENOVATION OF AN EXISTING
 AUTO DEALERSHIP

PROJECT ADDRESS
 4057 E. PALM CANYON DR.,
 PALM SPRINGS, CA 92264

OWNER INFORMATION
 V.I.P. CARS LTD.
 CONTACT: CHRIS HECTOR,
 OWNERS REPRESENTATIVE
 PHONE: (760)-898-7743
 EMAIL:
 CHECTOR_9@YAHOO.COM

GOREE PROJECT NUMBER
 GW2211

STAMP / SIGNATURE

ISSUE DATE
 11/29/2022

ISSUE HISTORY		
DATE	MARK	DESCRIPTION

KEY PLAN

SHEET NAME
 ELEVATIONS

SHEET NUMBER
AS1.4.1

MATERIALS

FINISH MATERIALS

RECOMMENDATION



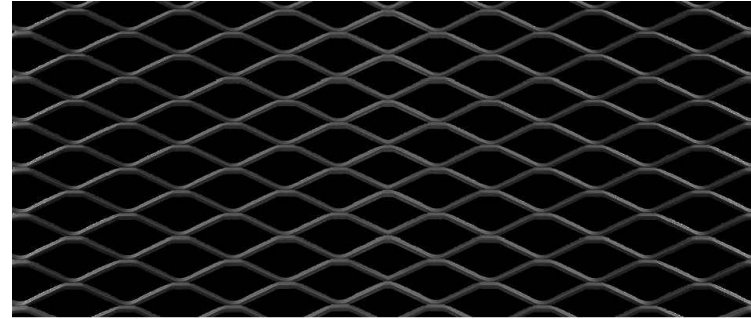
ACM-1

Material	Aluminum composite metal panel
Manufacturer	Alucobond
Product	
Color	Basalt Grey PVDF-2, Matte
Dimension	
Location	Exterior fascia



ACM-2

Material	Aluminum composite metal panel
Manufacturer	Alucobond
Product	
Color	Tricorn Black SMP, Matte
Dimension	
Location	Service write-up exterior



ACT-1

Material	T-bar ceiling metal mesh
Manufacturer	Armstrong
Product	BP6138AM TRELLIS
Color	Tech Black SWD 0.515" LWD 1.200"
Dimension	24" x 72" x 1/4" Staggered Joints
Location	Ceiling above customer lounge



ACT-2

Material	Interior ceiling lay-in panels
Manufacturer	Armstrong
Product	Ultima
Color	Square lay-in, fine texture, white color ACT panels
Dimension	24" x 24" x 3/4"
Location	Parts manager & break room



ACT-3

Material	Interior ceiling T-bar framing
Manufacturer	Armstrong
Product	Prelude XL
Color	Exposed tee suspension system, color: white
Dimension	15/16" Wide
Location	Parts Manager & Service Shop Breakroom



BCLG-1

Material	Illuminated ceiling
Manufacturer	
Product	
Color	Black frame with chamfer edge
Dimension	
Location	Feature vehicle



CONC

Material	Sealed Concrete
Manufacturer	
Product	
Color	
Dimension	
Location	Oil Comp, elect, EV storage, parts storage



CPT-1

Material	Carpet Tile
Manufacturer	Shaw
Product	Multi-level pattern
Color	5T081 Magic 81505
Dimension	24" x 24"
Location	See finish schedule

MATERIALS

FINISH MATERIALS

RECOMMENDATION



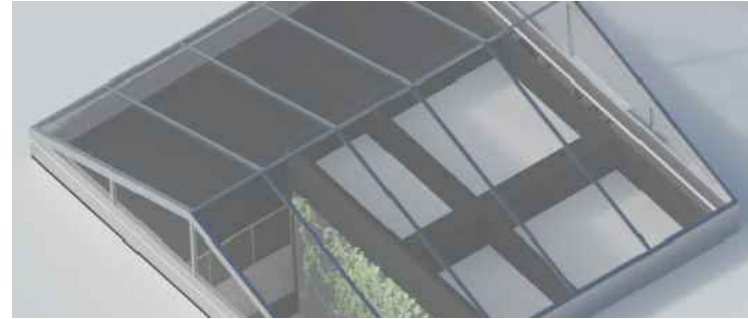
GL-1

Material	Glazing system: Interior offices
Manufacturer	Dormakaba
Product	Pure Enclosure
Color	Clear anodized frameless wall system
Dimension	
Location	Sales, service, conference & admin. offices



GL-2

Material	Aluminum
Manufacturer	Oldcastle
Product	Reliance Casette
Color	See finish schedule for details
Dimension	
Location	Entry vestibule, exterior of showroom



GL-3

Material	Skylight
Manufacturer	Oldcastle
Product	Reliance Casette
Color	See finish schedule for details
Dimension	
Location	Above atrium, 2nd floor bathrooms & garden



GL-4

Material	35% Dark Tinted Film
Manufacturer	Decorative Films
Product	Solyx transparent polyester colors film
Color	SXP-035UV (do not substitute color of glass)
Dimension	
Location	All overhead doors (service drive, shop, etc.)



GS-1

Material	Galvanized steel countertop
Manufacturer	Local supplier
Product	
Color	Galvanized steel
Dimension	
Location	Parts technician counter



MP-1

Material	Trapezoidal Sheet
Manufacturer	Centria
Product	
Color	Match SW7073 Network Grey
Dimension	
Location	Mechanical screen



P-1

Material	Paint
Manufacturer	Sherwin Williams
Product	
Color	SW 7076 Cyberspace
Dimension	
Location	Exterior of service shop



P-2

Material	Paint
Manufacturer	Sherwin Williams
Product	
Color	SW 7073 Network Grey
Dimension	
Location	Service shop, parts storage back of house

MATERIALS

FINISH MATERIALS

RECOMMENDATION



P-3

Material	Paint
Manufacturer	Sherwin Williams
Product	
Color	SW 6258 Tricorn Black
Dimension	
Location	See finish schedule



P-4

Material	Paint
Manufacturer	Sherwin Williams
Product	
Color	SW7075 Web Gray
Dimension	
Location	See finish schedule



P-5

Material	Paint
Manufacturer	Modern Masters
Product	Metalic Paint
Color	PEWTER MM209
Dimension	
Location	8" Round Columns



P-6

Material	Paint
Manufacturer	Sherwin Williams
Product	
Color	RAL-7012 Basalt Gray
Dimension	
Location	Parts bins, work benches vehicle lifts



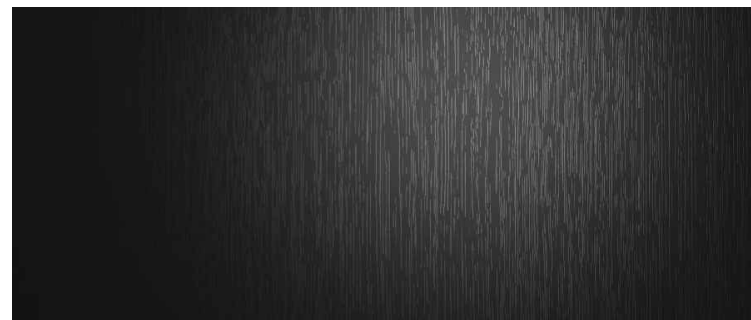
PL-1

Material	Laminate
Manufacturer	
Product	
Color	Copper Paint
Dimension	
Location	Genesis Brand Wall



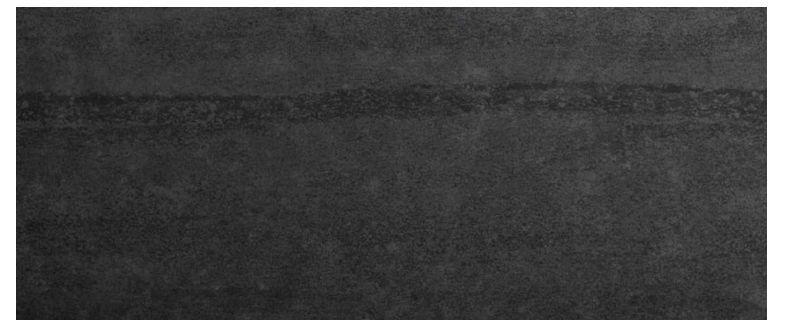
PL-2

Material	Laminate
Manufacturer	Wilsonart
Product	
Color	Pasadena oak 7986k-12 (wood grain finish)
Dimension	
Location	See finish schedule



PL-3

Material	Laminate
Manufacturer	Wilsonart
Product	
Color	Black 1595-12 soft grain
Dimension	
Location	Millwork



PL-4

Material	Laminate
Manufacturer	Chemetal
Product	
Color	606 Blackened Aluminum
Dimension	
Location	Millwork

MATERIALS

FINISH MATERIALS

RECOMMENDATION



PL-6

Material	Laminate
Manufacturer	Wilsonart
Product	Decorative Metal
Color	#6277- (419) Alumasteel (For trim)
Dimension	
Location	Customer lounge, millwork



PV-1

Material	Paver
Manufacturer	Orco
Product	Pavingstones
Color	Borrego Antique, Cobble Interlocking, #24017
Dimension	6" x 6" and 6" x 8"
Location	Site



PV-2

Material	Landscape Pebbles
Manufacturer	Local Supplier
Product	Mexican Beach Pebbles
Color	Grey
Dimension	3/4" - 1-1/2"
Location	Atrium



PV-3

Material	Landscape Pebbles
Manufacturer	Local Supplier
Product	Polished Beach Pebbles
Color	Black
Dimension	3/4" - 1-1/2"
Location	Atrium



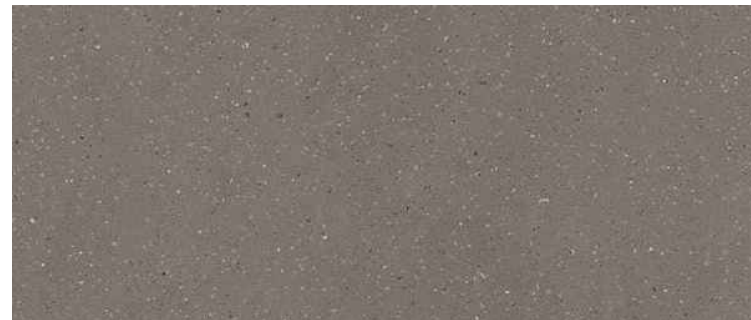
PV-4

Material	Paver
Manufacturer	Porcelanosa
Product	Paradise Lake Stone
Color	Negro
Dimension	
Location	Site



SS-1

Material	Solid surface
Manufacturer	Porcelanosa
Product	Krion
Color	Grey Nature 0901-G3
Dimension	
Location	Countertops at employees' break rooms



SS-2

Material	Solid Surface
Manufacturer	Corian
Product	
Color	Weathered Concrete
Dimension	
Location	Counter & table tops at customer lounge



T1-A

Material	Porcelain tile
Manufacturer	Porcelanosa
Product	Bottega
Color	Topo (Light)
Dimension	32" x 32"
Location	Showroom, second floor & restrooms

MATERIALS

FINISH MATERIALS

RECOMMENDATION



T1-B

Material	Porcelain tile
Manufacturer	Porcelanosa
Product	Bottega
Color	Antracita (Dark)
Dimension	32" x 32"
Location	Entry vestibule



T-2

Material	Porcelain tile (Wood)
Manufacturer	Unicom Starker
Product	Wooden
Color	ELM (grout to match tile color)
Dimension	12" x 48" Planks
Location	Customer lounge
Note:	Run grain in the long direction of the pad



T-3

Material	Porcelain tile
Manufacturer	Eurowest
Product	Porcelaingres Urban
Color	Anthracite
Dimension	30" x 60" (6mm) panels
Location	Restrooms, atrium walls



T-4

Material	Porcelain tile
Manufacturer	Eurowest
Product	Porcelaingres Urban
Color	Anthracite
Dimension	1" x 6" (6mm) mesh mosaic
Location	Restrooms, atrium walls



T-5

Material	Porcelain tile
Manufacturer	Porcelanosa
Product	
Color	"Clinker" floor light gray
Dimension	8" x 8"
Location	Service shop & drive, express bay, floor & wall



T-6

Material	Porcelain tile
Manufacturer	Porcelanosa
Product	
Color	"Clinker" floor dark gray
Dimension	8" x 8"
Location	Service shop & drive, express bay, floor & wall



T-7

Material	Porcelain tile
Manufacturer	Porcelanosa
Product	Wall Tile
Color	100188140, Light Gray
Dimension	8" x 8"
Location	Restrooms in Service Shop



T-8

Material	Porcelain tile
Manufacturer	Porcelanosa
Product	Wall Tile
Color	100188121, Dark Gray
Dimension	8" x 8"
Location	Restrooms in Service Shop

MATERIALS

FINISH MATERIALS

RECOMMENDATION



TS-1

Material	Schluter profile
Manufacturer	Schluter
Product	Cove shape profile
Color	DYLEX-AHK clear anodized aluminum
Dimension	1/8" Radius
Location	Floor to wall transition



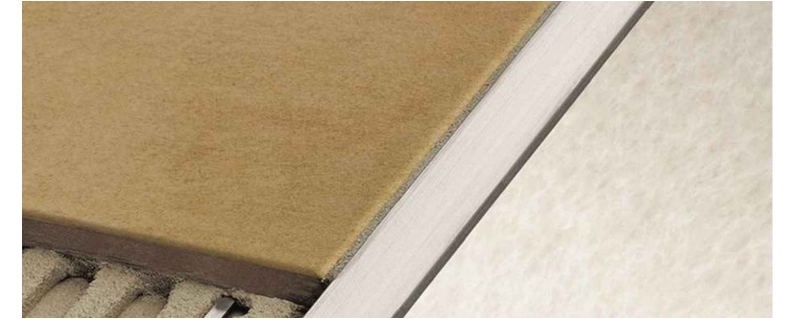
TS-2

Material	Schluter profile
Manufacturer	Schluter
Product	Floor profile
Color	DECO-AE satin anodized aluminum
Dimension	1/4" Reveal
Location	FLR to FLR transition, Same height finishes



TS-3

Material	Schluter profile
Manufacturer	Schluter
Product	Floor profile
Color	RENO-U-AE satin anodized aluminum
Dimension	
Location	FLR to FLR transition, tile to carpet



TS-4

Material	Schluter profile
Manufacturer	Schluter
Product	Floor profile
Color	RENO-U-AE satin anodized aluminum
Dimension	
Location	FLR to FLR transition, tile to VCT or concrete



TB-1A

Material	Porcelain tile
Manufacturer	Porcelanosa
Product	Botegga
Color	Topo (Light)
Dimension	4" x 16" Tile base Botegga cut from T-1A
Location	Entry Vestibule, Showroom & Second Floor



TB-1B

Material	Porcelain tile
Manufacturer	Porcelanosa
Product	Botegga
Color	Antracita (Dark)
Dimension	4" x 16" Tile base Botegga cut from T-1B
Location	SVC Advisors, Sales, F&I, Business, Manager



TB-2

Material	Porcelain tile
Manufacturer	Porcelanosa
Product	
Color	"Clinker" floor dark gray
Dimension	6" x 8" Cove base
Location	Service drive, parts storage



VB-1

Material	Vinyl base
Manufacturer	Johnsonite
Product	Traditional wall base
Color	Match adjacent wall
Dimension	
Location	Parts manager, break room

MATERIALS

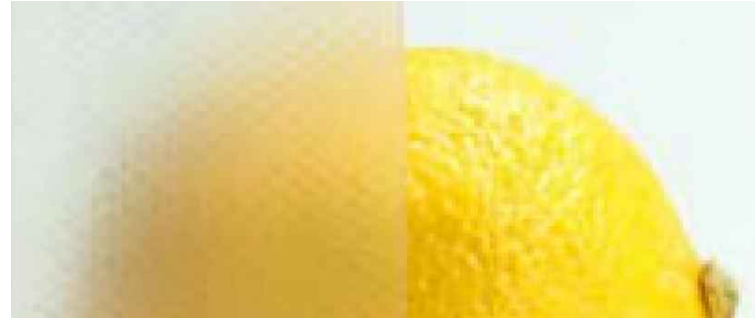
FINISH MATERIALS

RECOMMENDATION



VCT-1

Material	Vinyl composite tile
Manufacturer	Armstrong
Product	Standard Excelon
Color	Imperial Texture-51904 Sterling
Dimension	12" x 12" x 1/8" running bond
Location	Employee break room



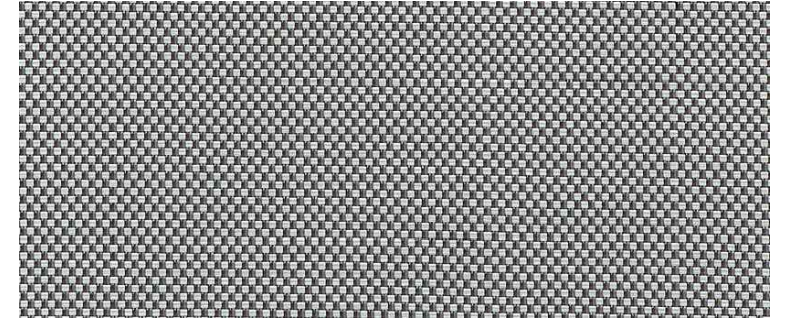
VN-1

Material	Vinyl film
Manufacturer	3M
Product	Glass Etching
Color	3M Crystal glass finishes frosted 7725SE-324
Dimension	
Location	Sales consultants



WF-1

Material	Wood Floor
Manufacturer	Wiggins Flooring
Product	Tonque and Groove
Color	White Oak #1 Flooring, Gray Stain
Dimension	3-1/4" x 3/4"
Location	Atrium



WS-1

Material	Window Shade
Manufacturer	Mecho
Product	Automatic
Color	1910 Nickel
Dimension	SOHO 1900 Series (5% Open)
Location	Showroom window shades



WM-1

Material	Walk-Off Matt
Manufacturer	Mats Inc
Product	Dual Track Foot Grilles
Color	(New York) Charcoal
Dimension	48" Long x 42" Wide 1-1/2" Thick
Location	Entry Vestibule