



HISTORIC SITE PRESERVATION BOARD STAFF REPORT

DATE: March 7, 2023

NEW BUSINESS

SUBJECT: A REQUEST BY THE CITY OF PALM SPRINGS FOR APPROVAL OF A CERTIFICATE OF APPROPRIATENESS FOR ALTERATIONS TO "THE PLAZA THEATRE", A CLASS 1 HISTORIC SITE LOCATED AT 128 SOUTH PALM CANYON DRIVE; HSPB #22-A / Case 3.1149. (APN 513-144-010). (SY).

FROM: Department of Planning Services

SUMMARY

This request is to alter and rehabilitate the Plaza Theatre building in order to allow its reopening as a performing arts venue. This City-owned Class 1 (Landmark) Site was constructed in 1936 and designed by architect Harry Williams for Julia Carnell. The proposed scope of work includes interior and exterior restoration, alterations to the covered front entry porch and lobby, updates to HVAC, electrical equipment and other various service upgrades. The rehabilitation is being undertaken by the Plaza Theatre Foundation on behalf of the City of Palm Springs.

RECOMMENDATION:

Approve the Certificate of Appropriateness for alterations and rehabilitation of the historic Plaza Theatre as proposed.

BACKGROUND AND SETTING:

The Plaza Theatre was constructed as a part of the larger mixed-use complex known as La Plaza. The historic theatre is an example of an atmospheric theatre which was constructed using cast-in-place concrete, concrete masonry and heavy timber. This site was granted Class 1 (Landmark) status in 1991 when the City Council adopted Resolution No. 17678. The property was later acquired by the City in 2015 with the condition to maintain its operation as a performing arts venue.

Over the years several condition assessments have been conducted on the building, and last summer Architectural Resources Group, Inc. (ARG) was selected to provide a detailed proposal outlining the renovation/rehabilitation of the theatre.

BELOW AN AERIAL VIEW OF THE SUBJECT PARCEL



<i>Relevant and Recent Past Actions</i>	
1988-1991	Adaptive reuse to develop a combination live theatre and film screening theatre. Theatre lease agreement to accommodate the “Follies” live performance. They operated out of the Plaza Theatre until 2014.
September, 1998	Community Redevelopment Agency (CRA) acquired the Plaza Theatre through a lease/purchase agreement.
February, 2014	Conditions assessment prepared by Interactive Design Corporation.
September, 2016	The City of Palm Springs acquires the Plaza Theatre from the CRA.
November, 2018	Feasibility and concept design package submitted by Gensler & Associates, Inc.
2021	Formation of the Plaza Theatre Foundation.

ANALYSIS:

The proposal submitted by ARG on behalf of the Plaza Theatre Foundation dated January 27, 2023 is accompanied by drawings with detailed analysis. Alterations to the exterior mainly deals with new fenestration.

The proposed scope of work is organized into seven categories:

1. Front Entry Porch – enclose outdoor porch to expand lobby.
 - a. Install new glazed doors and windows, custom steel finish with exterior pulls and panic hardware (A8.00 and A8.01).
 - b. Restore, clean and repair existing finishes in the newly enclosed space (A4.00).

BELOW EXISTING SPACE PROPOSED TO BE ENCLOSED



2. Exterior: Install fenestration – South elevation.
 - a. Install matching glazed doors and windows with steel frames on the ground level, non-street facing façade (A2.02) in existing blind masonry arches.
3. Exterior: Repaint building surface.
 - a. Recommended exterior paint colors based on forensic study of the exterior wall using microscopy analysis (G4.00).
4. Exterior: Remove existing felts and clay tile and replace with new felts and reinstallation of existing clay tile – replacement of clay tiles as needed.
 - a. Install additional sheathing and underlayment.
 - b. Install new flashing and gutters.
5. Exterior: HVAC and electrical equipment update.
 - a. Equipment to be screened from view.
 - b. Condensers and other similar equipment proposed along the east elevation.
 - c. Removal of existing floor and the construction of a new sub floor to contain new air plenums.

6. Interior: Restoration work – based on forensic study and historic documentation.
 - a. Restore and repair atmospheric sidewalls and ceiling.
 - b. Restore historic light fixtures or replace to match.
 - c. Restore historic finishes and treatments for stenciling in the main lobby and proscenium.
7. Interior: Renovations and upgrades.
 - a. Accessible seating area with level floors at the rear of the auditorium.
 - b. Replace all theater seating.
 - c. Creation of new sound control booth at rear of theater.
 - d. New bar and concessions area in the main lobby.
 - e. Renovated restrooms and offices.
 - f. Reconfigured stage for modern use with new suspended stage floor and extended apron.
 - g. New accessible dressing rooms with restrooms below the stage.
 - h. Updated theatrical equipment including lighting truss, AV, and acoustical finishes.
 - i. Renovated south corridor with four (4) steel-framed wall-mounted displays showing historic images of the theater.

Certificates of Appropriateness (“C of A’s”) are processed pursuant to Municipal Code Section 8.05.110 as follows:

Criteria and Findings for alterations to Class 1 and 2 sites:

The HSPB shall approve the C of A’s if the following findings can be met

1. *That the proposed alteration does not significantly impact or materially impair the character-defining features of the historic resource as listed in the resolution for historic designation, or, where a character-defining feature may be impacted, the proposed alteration minimizes that impact as much as possible.*

The proposed steel framed fenestration to enclose the outer lobby space is a simple and understated solution that supports current operational needs for increased lobby space. This reconfiguration of space does not visually or materially impair any character-defining feature of the historic resource. The interior upgrades are necessary changes to utilize the space as a performing arts venue, and the restoration of features pertaining to the atmospheric theatre is based on forensics and historic analysis. Existing surfaces will be cleaned, repaired and surface paint and stenciled designs will be restored in accordance with the recommendations provided. The project conforms to this finding.

2. *That the proposed alteration will assist in restoring the historic resource to its original appearance where applicable, or will substantially aid its preservation or enhancement as a historic resource;*

The proposed alterations aid in the enhancement of the historic resource. Enclosing the outer lobby adds space without adding bulk and mass and maintains the original appearance of the historic resource. The interior upgrades to the stage and dressing rooms increase the usability of the space yet maintain the historic layout of the theatre. The project conforms to this finding.

3. *That any additions to the historic resource are consistent with the massing, proportions, materials, and finishes of the existing historic resource, and: (i) can be distinguished from the existing historic resource as may be appropriate; or (ii) are indistinguishable from the historic resource as may be appropriate, and where such alterations are clearly documented in the City's archival file for the historic resource as being non-original to the historic resource;*

Most of the alterations are simple in style, materials and finishes. Existing historic openings are being utilized and, in some cases, restored to their original function. Once the changes are complete, they will not draw attention but rather be harmonious with the historic resource. The documentation included in this application will be added to the archival file to identify the non-original components that are proposed. Thus, the project also conforms to this finding.

4. *That, in cases where Federal funds are to be utilized in financing the proposed alterations, the alterations are consistent with the Standards for the Treatment of Historic Properties, as put forth by the U.S. Secretary of the Interior.*

No federal funds are involved in this project. Small test patches were identified for testing cleaning methods and small samples were extracted for further analysis to determine best preservation practice. After surface cleaning, historic finishes are to be treated and restored in accordance with the Secretary of Interior Standards.

ENVIRONMENTAL ASSESSMENT

The proposed alterations are considered a project pursuant to the guidelines of the California Environmental Quality Act ("CEQA"). Staff has evaluated the proposal relative to the CEQA Guidelines and determined the project to be Categorically Exempt from further evaluation under CEQA as a Class 31 because the project proposes restoration, rehabilitation, maintenance, and preservation in a manner that is consistent with the Secretary of the Interior Standards as follows:

- Enclosing the outer lobby space is proposed in a manner that minimizes the physical changes to the structure and does not damage or remove character-defining materials or finishes that contribute to the historic significance of the property.

- Installing new fenestration to the south elevation will be harmonious and compatible with the architectural style of the theatre because it will restore the original openings.
- New HVAC and electrical equipment are necessary to meet current code requirements. Equipment will be installed in a discrete location on the back (east) side of the building, fully screened from public view and does not impact any character-defining features of the historic resource.
- New roof membrane is necessary to replace the existing membrane which is at the end of its life cycle. The existing clay tiles will be reused to the best extent possible.
- Damaged clay roof tiles will be replaced with new tile to match existing. The roof work will not damage or alter the historic appearance of the building.
- Cleaning and repainting the exterior of the structure is considered maintenance and the paint colors will be restored to the historic colors as revealed during the analysis. This work is consistent with the Secretary of Interior Standards and does not adversely impact the resource.

CONCLUSION:

The proposed scope of work does not materially impair any character-defining features or those elements that contribute to the site’s historic significance. The restoration work is based on material investigation and reference the original construction drawings for the building. Service updates will improve the operational reliability of the infrastructure systems and meet contemporary codes where possible. The proposed alteration to the outer lobby space does change the historic use of this area but does so in a visually harmonious manner that does not materially impair the historic significance of the site. The necessary criteria for a Certificate of Appropriateness are met, and staff recommends approval.

PREPARED BY:	Sarah Yoon, Associate Planner/Historic Preservation Officer
REVIEWED BY:	Ken Lyon, RA , Principal Planner
REVIEWED BY:	Christopher Hadwin, Director of Planning Services

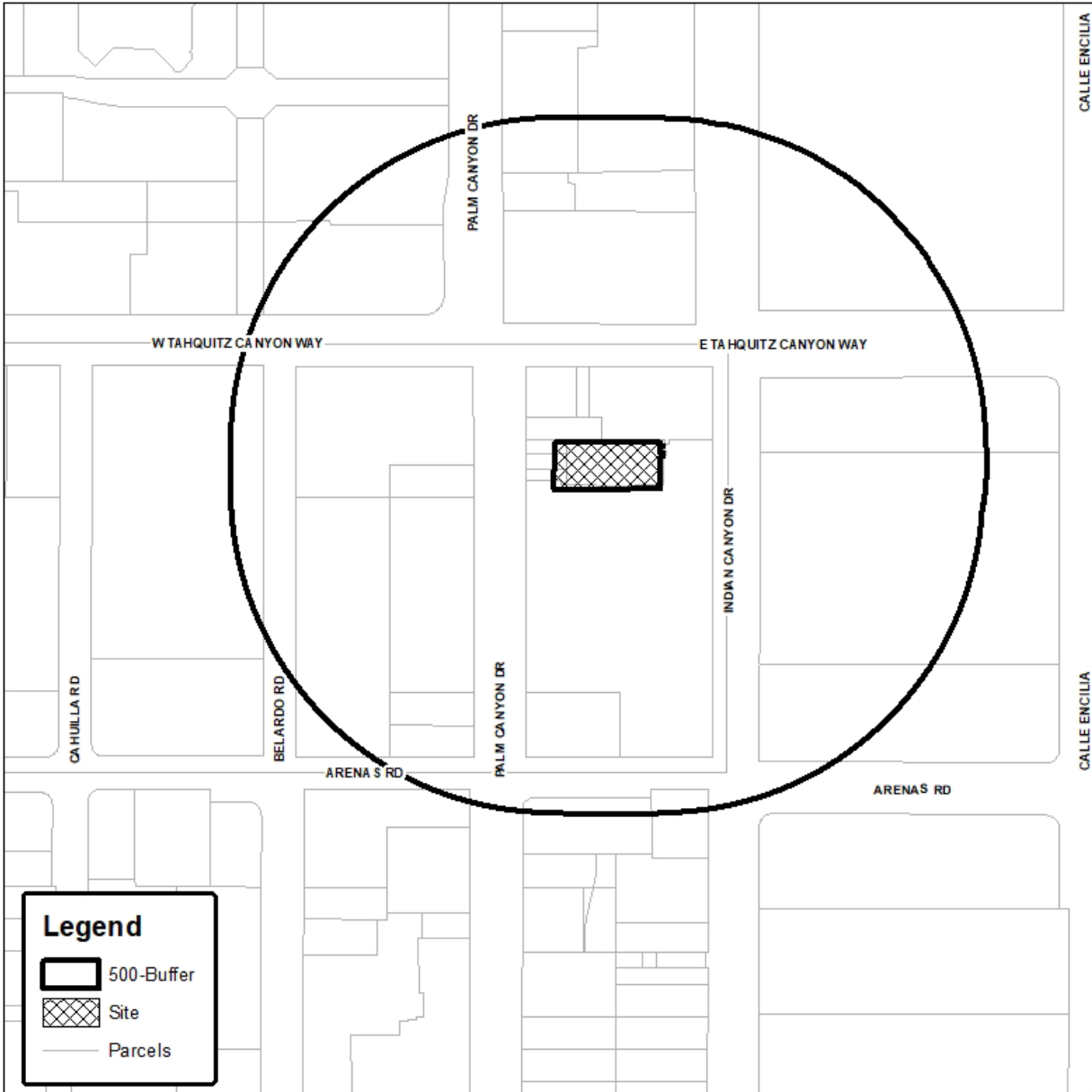
Attachments:

- A. Vicinity Map.
- B. Application, related background materials, photos.
- C. City Council Resolution for Designation.

ATTACHMENT A



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS
HSPB #22-A/ Case #3.1149 – Plaza Theatre
128 S. Palm Canyon Drive

ATTACHMENT B



CITY OF PALM SPRINGS

Department of Planning Services
3200 E. Tahquitz Canyon Way, Palm Springs, CA 92262
Tel: 760 323 8245 - Fax: 760 322 8360

(For Staff Use Only)

Planning Case Number & HSPB #: HSPB 22A / 3.1149
Taken in by (Planner): RB
Date Submitted: 01/30/2023

CERTIFICATE OF APPROPRIATENESS APPLICATION (C OF A)

TO THE APPLICANT: USE THIS FORM FOR PROPOSED ALTERATIONS TO CLASS 1 AND CLASS 2 HISTORIC SITES AND CONTRIBUTING STRUCTURES IN A DESIGNATED HISTORIC DISTRICT. Please fill out the information requested below. Attach any signed authorization letters, drawings, color & material boards, photographs, cut sheets and/or any other materials necessary to describe the proposed project.

PROJECT INFORMATION.

Project Address: _____ APN: _____
(Number and Street name) (9-digit assessor parcel number ex: 000-000-000)

Project Name (example: Name of Condo Association or HOA): _____

Zone: _____ General Plan: _____ Section/Township/Range: 15 / _____ / _____ Lot Area: _____

Detailed Description of Project:

PROPERTY OWNER INFORMATION:

Property Owner's Name: _____

Property Owner's Signature: _____ City Owned Property

Property Owner's Mailing Address: _____
(Number and Street Name or P.O. Box)

Property Owner's Phone: _____ City _____ State _____ Zip _____ Fax _____

Property Owner's Email: _____

CONTRACTOR, PROJECT MANAGER, OR OWNER'S AGENT AUTHORIZED TO INITIATE THE WORK:

Company Name: _____
(Please print) I AM THE: OWNER'S AUTHORIZED AGENT (example CONTRACTOR) LESSEE (TENANT) OTHER

Agent's Name & Signature: Jason Curran

Agent's Mailing Address: _____
(Number and Street Name or P.O. Box)

Agent's Phone: _____ City _____ State _____ Zip _____ Agent's Fax: _____

Agent's Email: _____

REQUIRED MATERIALS TO BE SUBMITTED FOR A CERTIFICATE OF APPROPRIATENESS:

The following materials are necessary for your application to be evaluated pursuant PSMC 8.05. Use this list to assemble your application materials.

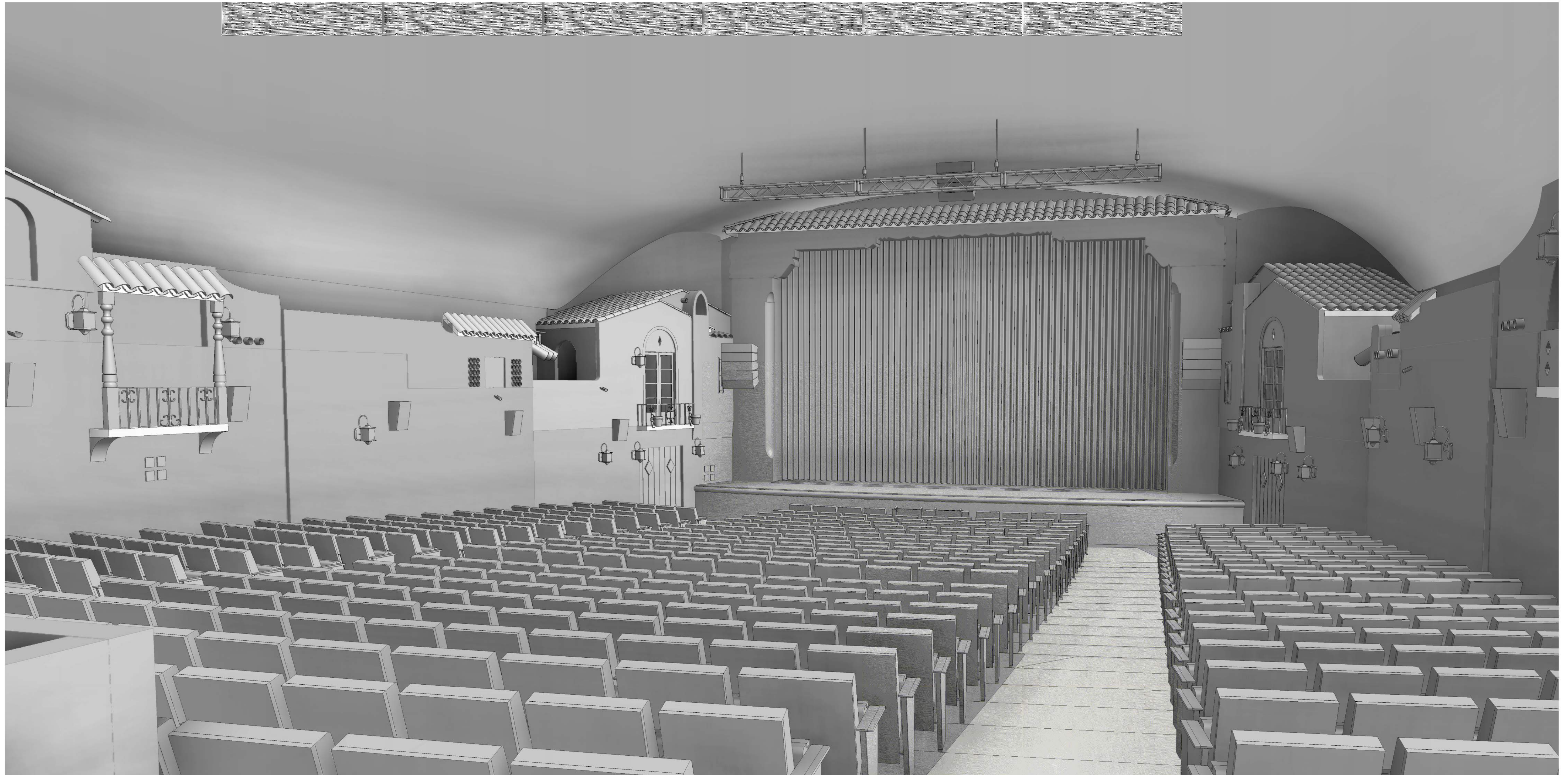
- | | | |
|-------------------------------------|--------------------------|---|
| Applicant Use | Staff Use: | |
| ↓ | ↓ | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Complete the Certificate of Appropriateness Application:</u> (attached to this instruction packet) |
| <input type="checkbox"/> N/A | <input type="checkbox"/> | <u>Authorization Letter or Contract signed by Owner or HOA representative</u> (if project is within a condo or HOA, or if application is being completed by owners' agent) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Photographs of each exterior side of the historic resource or object to be altered or demolished.:</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Drawings (Site Plan, Floor Plan, Elevations, etc.</u> Provide a north arrow and the project's street address. Site plans are usually submitted at 24" x 36", to a scale not smaller than 1" = 40'. (An 11"x 17" site plan may be sufficient for <u>minor</u> alterations. The site plan should include the following information: <ul style="list-style-type: none">▪ All property boundaries and distance to centerline of abutting street (obtain from the Public Works Department) and setbacks.▪ All walls, sidewalks, driveways, gates, pools, accessory structures, landscaping, etc.▪ (Differentiate existing from new work by differing line weights or by notation). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Color and Material Exhibits:</u> Provide swatches of actual paint colors proposed and cut sheets or small samples of materials where appropriate. Photographs of existing materials that will be matched is encouraged. Where a full color/material board is required, the board should be no larger than 8-1/2" x 11". |
| <input type="checkbox"/> | <input type="checkbox"/> | <u>Payment of Application Fees.</u> |

PROCEDURE FOR EVALUATING C OF A'S: C of A's for Class 1 and 2 sites are processed as outlined in PSMC 8.05.090 (D,3). C of A's for alterations to contributing sites in a Historic District are processed as outlined in PSMC 8.05.120 (D,3).

CRITERIA FOR APPROVAL OF C OF A'S: C of A's for Class 1 and 2 sites are evaluated based on the criteria and findings in PSMC 8.05.090 (E). C of A's for contributing sites in a Historic District are evaluated based on the criteria in PSMC 8.05.120(E).

TIME LIMIT FOR DEVELOPMENT: Approvals given on Certificate of Appropriateness Applications are valid for two (2) years from the Effective Date that the approval is made (see definition of Effective Date below). After Planning approvals are granted, applicants must apply for building permits through the City Department of Building and Safety. If building permits are not pulled or the construction initiated within two (2) years of the Effective approval date, the planning approval expires. Blanket C of A approvals have no expiration date.

EFFECTIVE DATE: Approval becomes "effective" after an elapsed period of fifteen (15) days from the date of the decision by the Historic Preservation Officer, Historic Site Preservation Board or City Council. Any project for which a building permit application is made, or a building permit is issued prior to the Effective Date of the approval, are deemed to be made "at the risk" of the applicant such that an appeal could modify or overrule the subject approval.





PALM SPRINGS PLAZA THEATRE REHABILITATION

HSPB SUBMITTAL

128 S PALM CANYON DRIVE,
PALM SPRINGS, CA 92262

SHEET INDEX

G1.00	COVER SHEET
G1.01	TITLE SHEET
G2.00	SITE CONTEXT PHOTOS 1
G2.01	SITE CONTEXT PHOTOS 2
G3.01	BEFORE/AFTER - THEATER SIDE WALL
G3.00	BEFORE/AFTER - AUDITORIUM
G3.02	BEFORE/AFTER - OUTER LOBBY
G4.00	HISTORIC FINISH ANALYSIS - EXTERIOR
G4.01	PROPOSED EXTERIOR COLOR SCHEME
G4.02	HISTORIC FINISH ANALYSIS - INTERIOR AUDITORIUM
G4.03	PROPOSED INTERIOR AUDITORIUM COLOR SCHEME
G4.04	HISTORIC FINISH ANALYSIS - OUTER LOBBY AND INTERIOR LOBBY
G4.05	HISTORIC FINISH ANALYSIS - PROSCENIUM
A0.00	OVERALL SITE PLAN
A1.00	BASEMENT PLAN
A1.01	FIRST FLOOR PLAN
A1.02	SECOND FLOOR PLAN
A1.04	ROOF PLAN
A2.00	WEST EXTERIOR ELEVATION
A2.01	EAST EXTERIOR ELEVATION
A2.02	SOUTH EXTERIOR ELEVATION
A2.03	NORTH EXTERIOR ELEVATION
A3.00	BUILDING SECTION
A3.03	BUILDING SECTION
A3.04	BUILDING SECTION
A4.00	ENLARGED PLAN - LOBBY
A4.01	ENLARGED PLAN - LOBBY RCP
A5.00	INTERIOR ELEVATIONS
A5.00-A	INTERIOR COMPARISON
A5.01	INTERIOR ELEVATIONS
A5.01-A	INTERIOR COMPARISON
A5.02	ENTRY PORTICO ELEVATIONS
A8.00	DOOR DETAILS
A8.01	WINDOW DETAILS



360 E. 2nd Street, Suite 225
Los Angeles, California 90012
626.583.1401
argcreate.com

PROJECT TEAM

CLIENT
PALM SPRINGS PLAZA THEATRE FOUNDATION
1775 E. PALM CANYON DR. SUITE 110-1028
PALM SPRINGS, CA 92264
O 760 218-6330

JR ROBERTS, *PRESIDENT*
D 415 297-9309
JR66@MAC.COM

CITY OF PALM SPRINGS
DEPARTMENT OF PROCUREMENT & CONTRACTING
3200 TAHQUITZ CANYON WAY
PALM SPRINGS, CA 92262

DONN UYENO, *PRINCIPAL ENGINEER*
D (760) 323-8253 EXT. 8744
DONN.UYENO@PALMSPRINGS.CA.GOV

ARCHITECT
ARCHITECTURAL RESOURCES GROUP, INC.
360 E. 2ND STREET, SUITE 225
LOS ANGELES, CA 90012

PRINCIPAL IN CHARGE: KATIE HORAK
D (626) 583-1401 X 103
K.HORAK@ARGCREATE.COM

DESIGN PRINCIPAL: NAOMI MIROGLIO
D (415) 421 1680 x 208
NAOMI@ARGCREATE.COM

PROJECT MANAGER/SENIOR ARCHITECT:
JASON CURRIE
D (415) 421 1680 x 246
J.CURRIE@ARGCREATE.COM

ARCHITECTURAL CONSERVATOR: SARAH DEVAN
D (626) 583-1401 x 123
S.DEVAN@ARGCREATE.COM

THEATRICAL CONSULTANT
THEATRE PROJECTS
902 BROADWAY, FLOOR 7
NEW YORK, NY 10010

JIM NIESEL, *PRINCIPAL IN CHARGE*
D (203) 528-0370
JNIESEL@THEATREPROJECTS.COM

THOMAS BUKOVAC, PE
D (708) 996-1913
TBUKOVAC@THEATREPROJECTS.COM

NAOMIE S. WINCH
D (303) 996-1913
NWINCH@THEATREPROJECTS.COM

ACOUSTICAL CONSULTANT
MCKAY CONANT HOOVER, INC.
346 EAST JACKSON AVENUE
ORANGE, CA 92867

TONY HOOVER, *PRINCIPAL IN CHARGE*
D (818) 991-9300 X 13
THOOVER@MCHINC.COM

TAYLOR BLAINE
D(657) 650-2050
TBLAINE@MCHINC.COM

ARCHITECTURAL LIGHTING CONSULTANT
ANN KALE ASSOCIATES
1569 SAN LEANDRO LANE
SANTA BARBARA, CA 93108

ANN KALE, *PRINCIPAL*
D (805) 969-7660 X 1#
AKALE@ANNKALE.COM

NATHANIEL BARTOS
NBARTOS@ANNKALE.COM

STRUCTURAL ENGINEER
STRUCTURAL FOCUS
19210 S. VERMONT AVENUE, BLDG. B, SUITE 210
GARDENA, CA 90248

RUSSELL KEHL, *SE, PRESIDENT, PRINCIPAL*
RKEHL@STRUCTURALFOCUS.COM

KEVIN ADAMSON, *PE, DESIGN ENGINEER*
KADAMSON@STRUCTURALFOCUS.COM

MECHANICAL, ELECTRICAL, & PLUMBING ENGINEER
AMA GROUP
2155 CAMPUS DRIVE, SUITE 220
EL SEGUNDO, CA 90245

CHRISTOPHER CARSON, *PRINCIPAL*
D (310) 846-4659
CCARSON@AMAGROUPUSA.COM

PROJECT SUMMARY

THIS PROJECT ENCOMPASSES THE REHABILITATION OF THE HISTORIC PALM SPRINGS PLAZA THEATRE ORIGINALLY CONSTRUCTED IN 1936, INCLUDING:
- EXPANDED CONDITIONED LOBBY AREA, BY ENCLOSING THE OUTER LOBBY WITH NEW GLAZED DOORS AND WINDOWS
- RENOVATED INNER LOBBY WITH NEW BAR/ CONCESSIONS AREA
- NEW THEATER SEATS, WITH A LEVELED FLOOR AREA FOR WHEELCHAIR ACCESSIBLE SEATING
- REPAIR OF THE HISTORICALLY SIGNIFICANT ATMOSPHERIC SIDEWALLS AND CEILING
- HISTORIC FINISHES TREATMENTS FOR THE STENCILING AT THE LOBBY AND PROSCENIUM, AS WELL AS RESTORATION OF THE HISTORIC LIGHT FIXTURES
- RENOVATION OF THE RESTROOMS WITH NEW FIXTURES AND ACCESSORIES
- A RECONFIGURED STAGE, WITH REMOVABLE FORESTAGE, AND NEW STAGE FLOOR
- NEW THEATRICAL EQUIPMENT, INCLUDING THEATRICAL LIGHTING TRUSS, GRID, AND DRAPERY
- NEW A/V AND SURROUND SOUND SYSTEMS
- MODERNIZED DRESSING ROOMS, WITH RESTROOMS AND SHOWERS, WITH A NEW ACCESSIBLE STAR DRESSING ROOM AT THE STAGE LEVEL
- ADDITIONAL ACOUSTICAL FINISHES TREATMENTS AND SOUND CONTROL IMPROVEMENTS THROUGHOUT
- COMPLETE NEW HVAC SYSTEMS, AND ELECTRICAL EQUIPMENT

PROJECT DATA

LOT/LOCATION:	128 S PALM CANYON DRIVE PALM SPRINGS, CA, 92262
APN:	513-144-010
OCCUPANCY:	A-1 PERFORMING ARTS/ MOTION PICTURE THEATRE, WITH FIXED SEATS, & B DRESSING ROOMS
CONSTRUCTION TYPE:	III-B
BUILDING HEIGHT/STORIES:	55'-5 1/2" 2 STORIES
FIRE SPRINKLERS:	FULLY SPRINKLERED
BUILDING AREAS:	900 SF BASEMENT 11,130 SF FIRST FLOOR 3,080 SF SECOND FLOOR 15,110 SF TOTAL
SEE SHEETS G1.20 & G1.21 FOR ADDITIONAL CODE ANALYSIS	

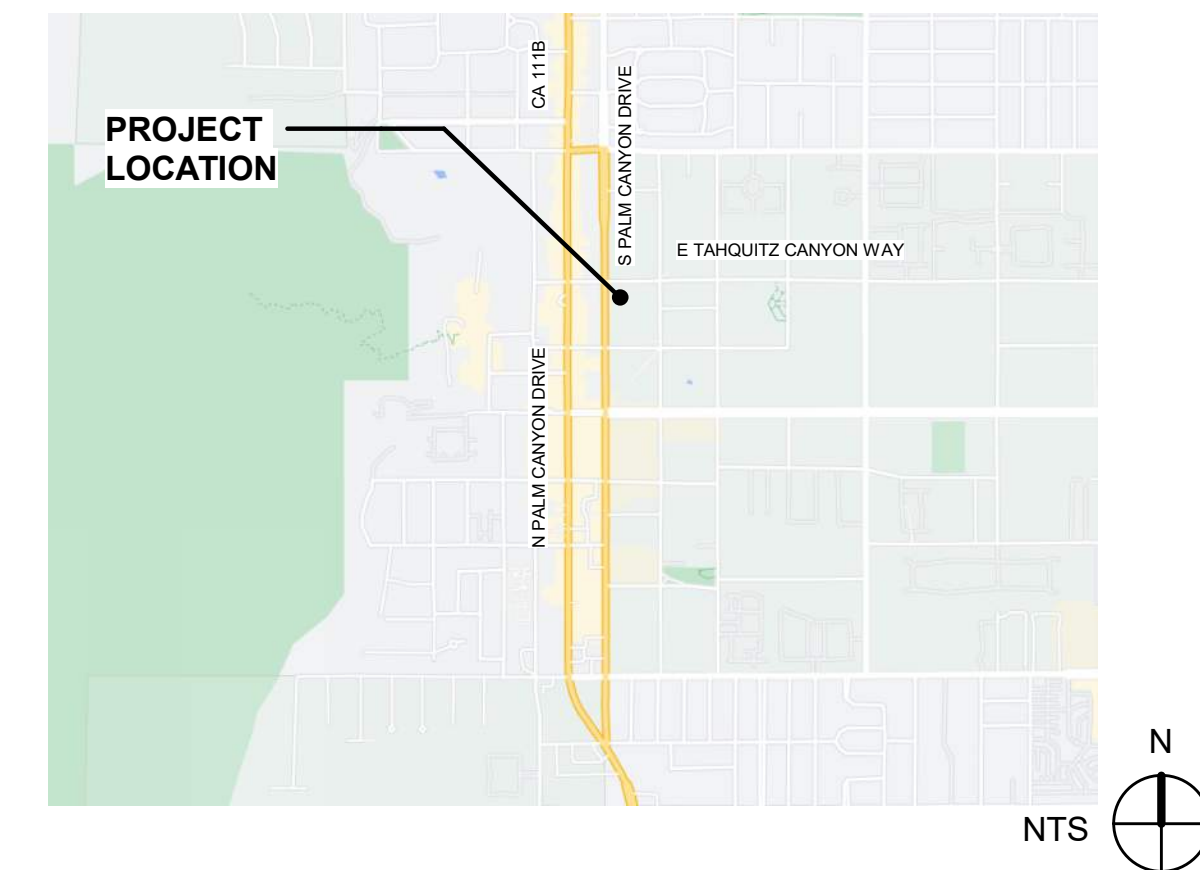
APPLICABLE BUILDING CODES

THE SECRETARY OF THE INTERIOR'S STANDARDS AND ILLUSTRATED GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS, REVISED 2017 *36CFR 67), P.L 89-665.
CALIFORNIA CODE OF REGULATIONS TITLE 24, 2022 CALIFORNIA BUILDING CODE, INCLUDING:
PART 2 CALIFORNIA BUILDING CODE, VOLUMES 1 & 2
PART 3 CALIFORNIA ELECTRICAL CODE
PART 4 CALIFORNIA MECHANICAL CODE
PART 5 CALIFORNIA PLUMBING CODE
PART 6 CALIFORNIA ENERGY CODE
PART 7 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
PART 8 CALIFORNIA HISTORICAL BUILDING CODE
PART 9 CALIFORNIA FIRE CODE
PART 10 CALIFORNIA EXISTING BUILDING CODE

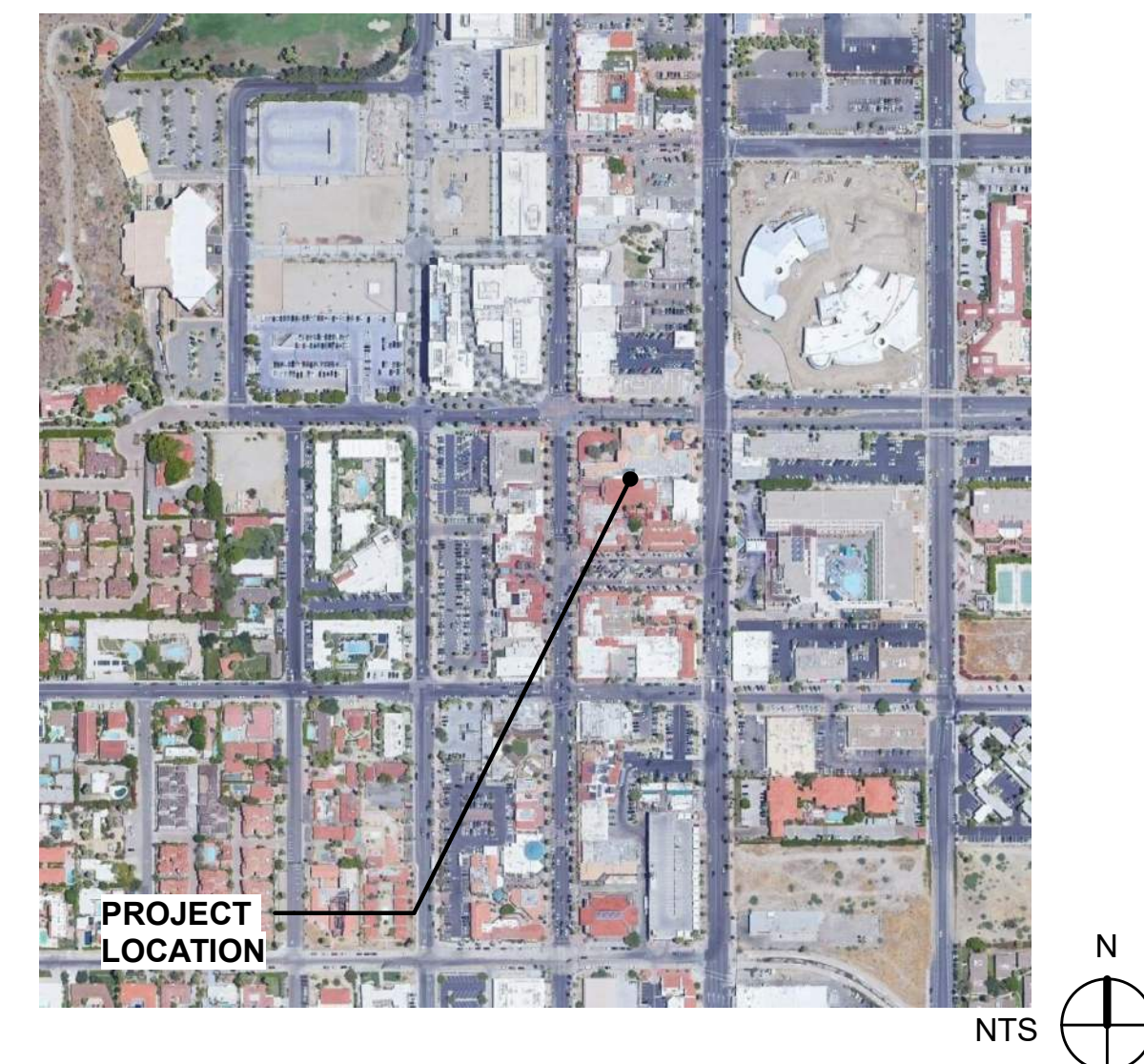
ACCESSIBILITY REQUIREMENTS ARE GOVERNED BY:
CALIFORNIA BUILDING CODE, CHAPTER 11B

NATIONAL FIRE PROTECTION ASSOCIATION, "NFPA 13, AUTOMATIC SPRINKLER SYSTEMS HANDBOOK, 2022 EDITION."

PROJECT LOCATION



VICINITY MAP



NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
128 S Palm Canyon Dr, Palm Springs,
CA 92262

SHEET TITLE

TITLE SHEET

ISSUANCE
HSPB SUBMITTAL

01/27/23

PROJ. NO.
220602

DRAWN
MGB

CHECKED
JC/SD

DRAWING NO.

G1.01

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs,
CA 92262

SHEET TITLE

SITE CONTEXT PHOTOS 1

ISSUANCE
HSPB SUBMITTAL

01/27/23

PROJ. NO.
220602

DRAWN
SD

CHECKED
JC/SD

DRAWING NO.

G2.00



EAST STREET ELEVATION



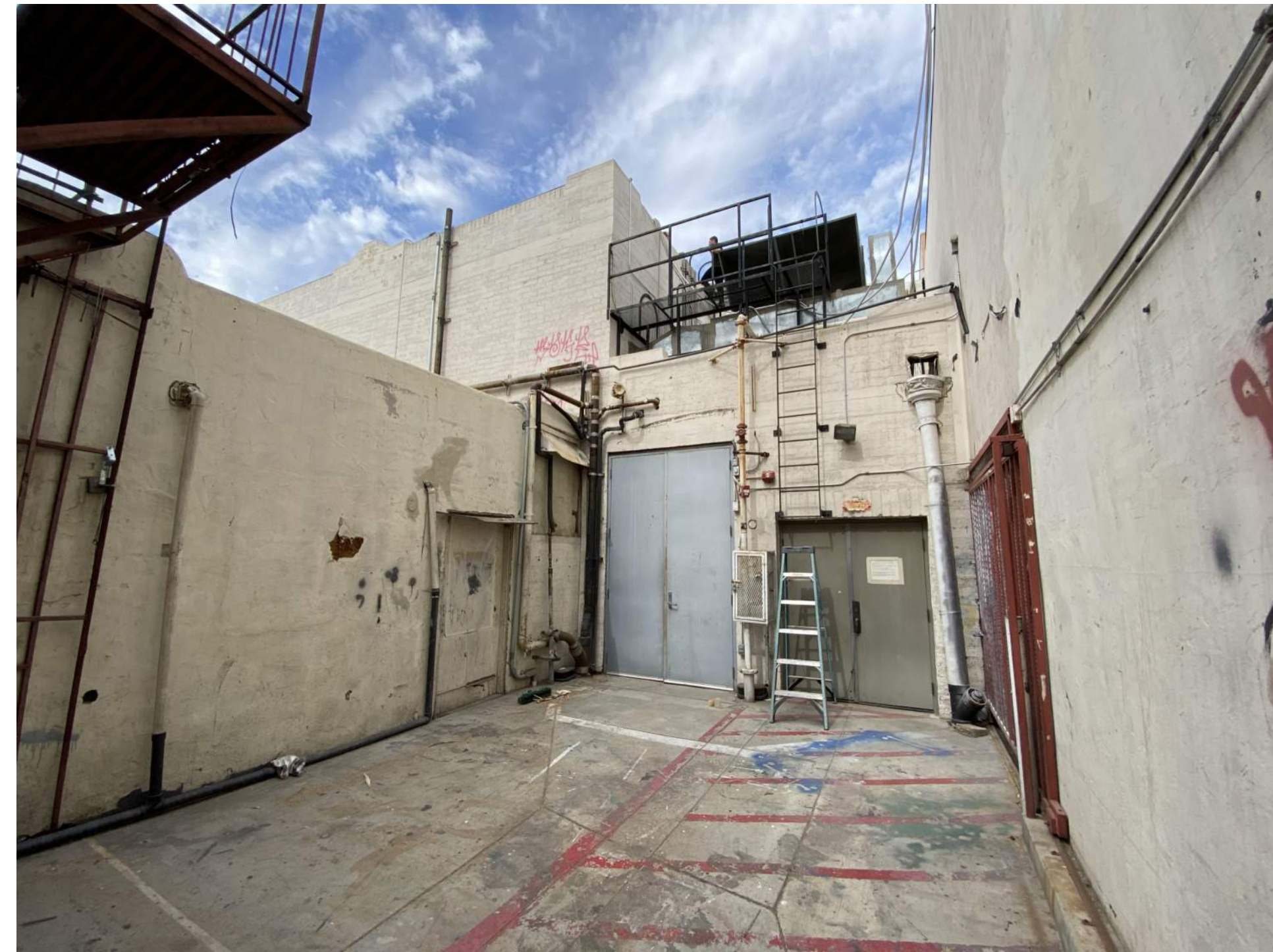
WEST STREET ELEVATION



SOUTH STREET ELEVATION



AERIAL VIEW



EAST ELEVATION



WEST STREET ELEVATION



SOUTH ELEVATION



WEST ELEVATION - HISTORIC IMAGE

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

SITE CONTEXT PHOTOS 2

ISSUANCE
 HSPB SUBMITTAL

01/27/23

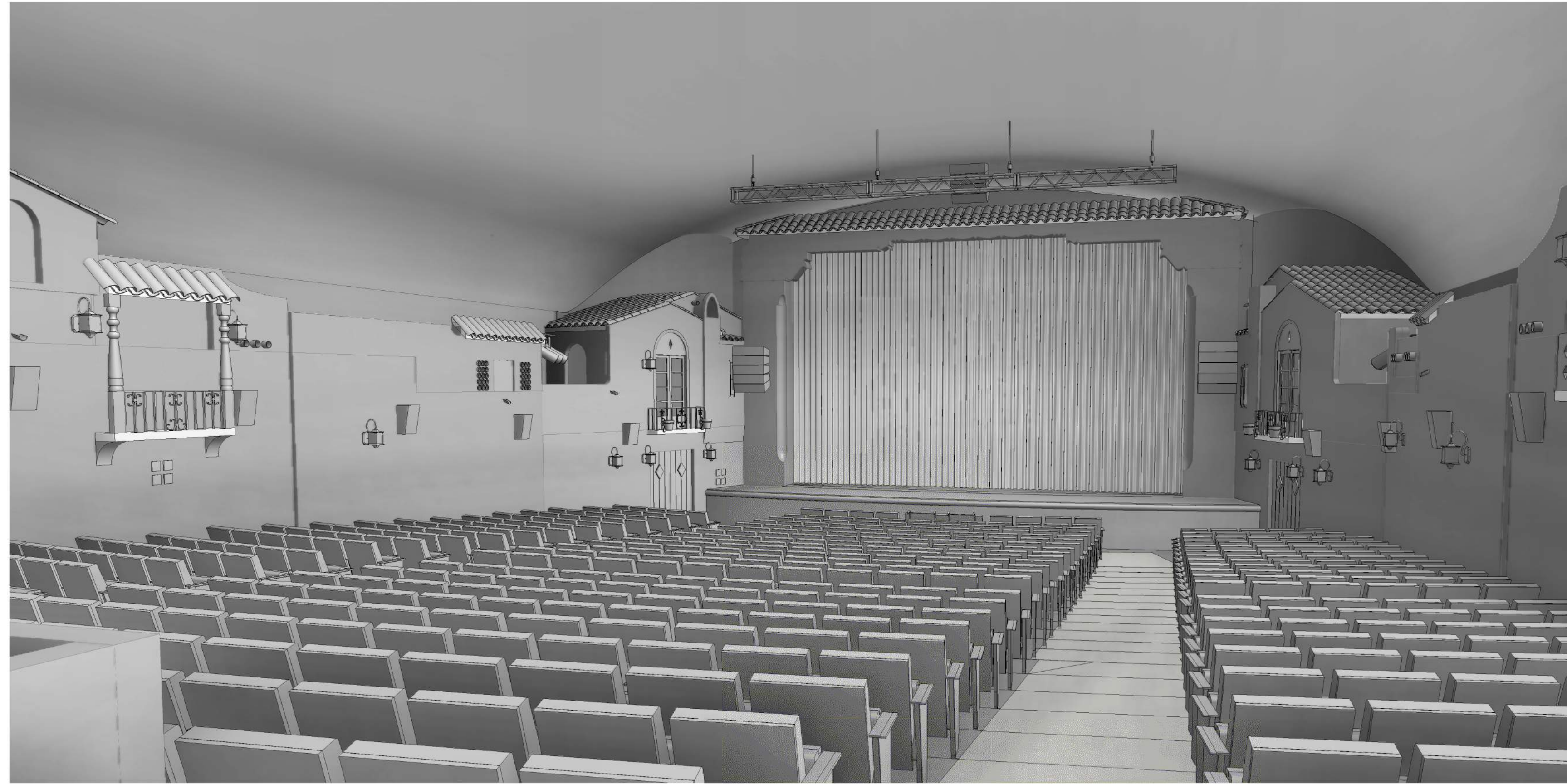
PROJ. NO.
 220602

DRAWN
 MGB

CHECKED
 JC/SD

DRAWING NO.

G2.01



2 AUDITORIUM - PROPOSED REHABILITATION
G3.00



1 AUDITORIUM_EXISTING
G3.00

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
128 S Palm Canyon Dr, Palm Springs,
CA 92262

SHEET TITLE
BEFORE/AFTER -
AUDITORIUM

ISSUANCE
HSPB SUBMITTAL

01/27/23

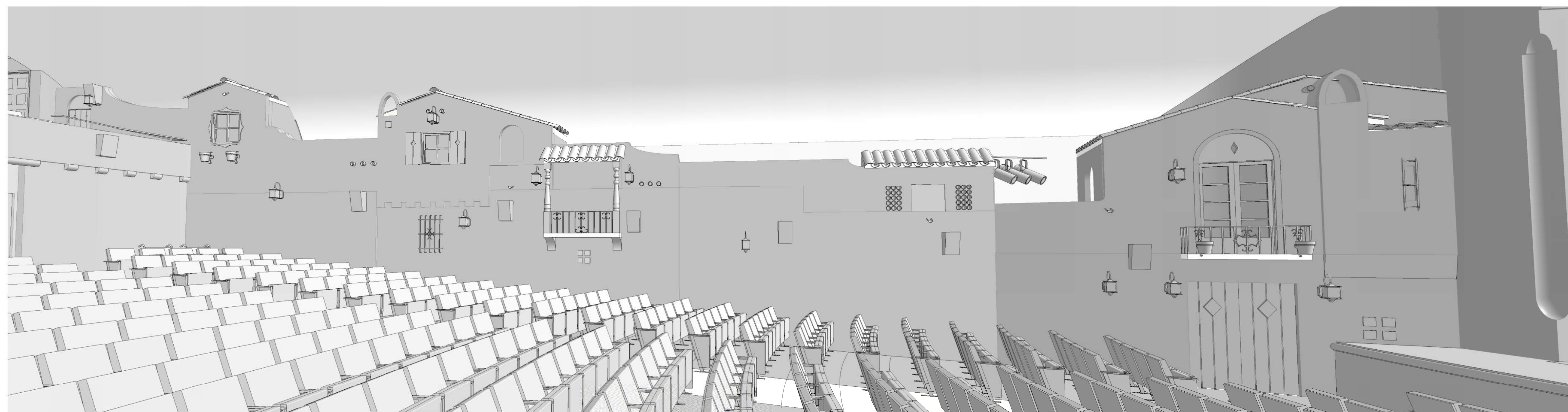
PROJ. NO.
220602

DRAWN
SD

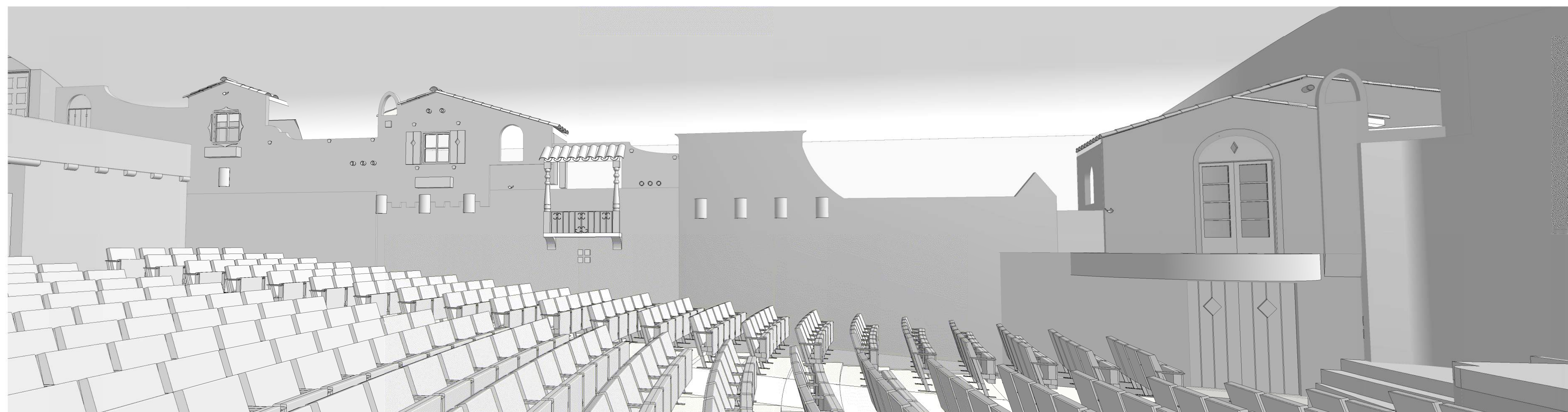
CHECKED
JC/SD

DRAWING NO.

G3.00



2 NORTH THEATER WALL - PROPOSED REHABILITATION
G3.01



1 NORTH THEATER WALL - EXISTING
G3.01

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs,
CA 92262

SHEET TITLE

BEFORE/AFTER -
THEATER SIDE WALL

ISSUANCE

HSPB SUBMITTAL

01/27/23

PROJ. NO.

220602

DRAWN

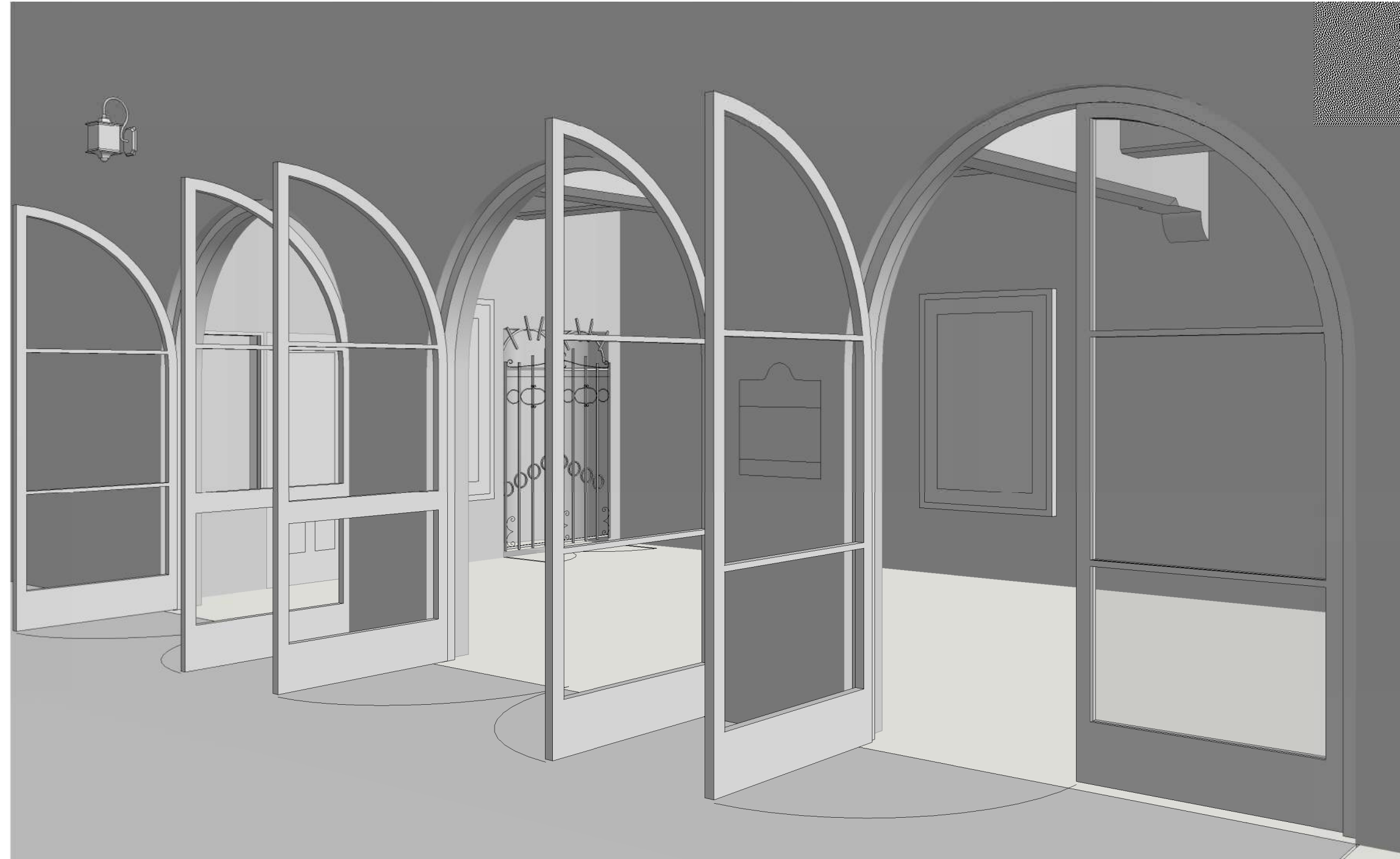
SD

CHECKED

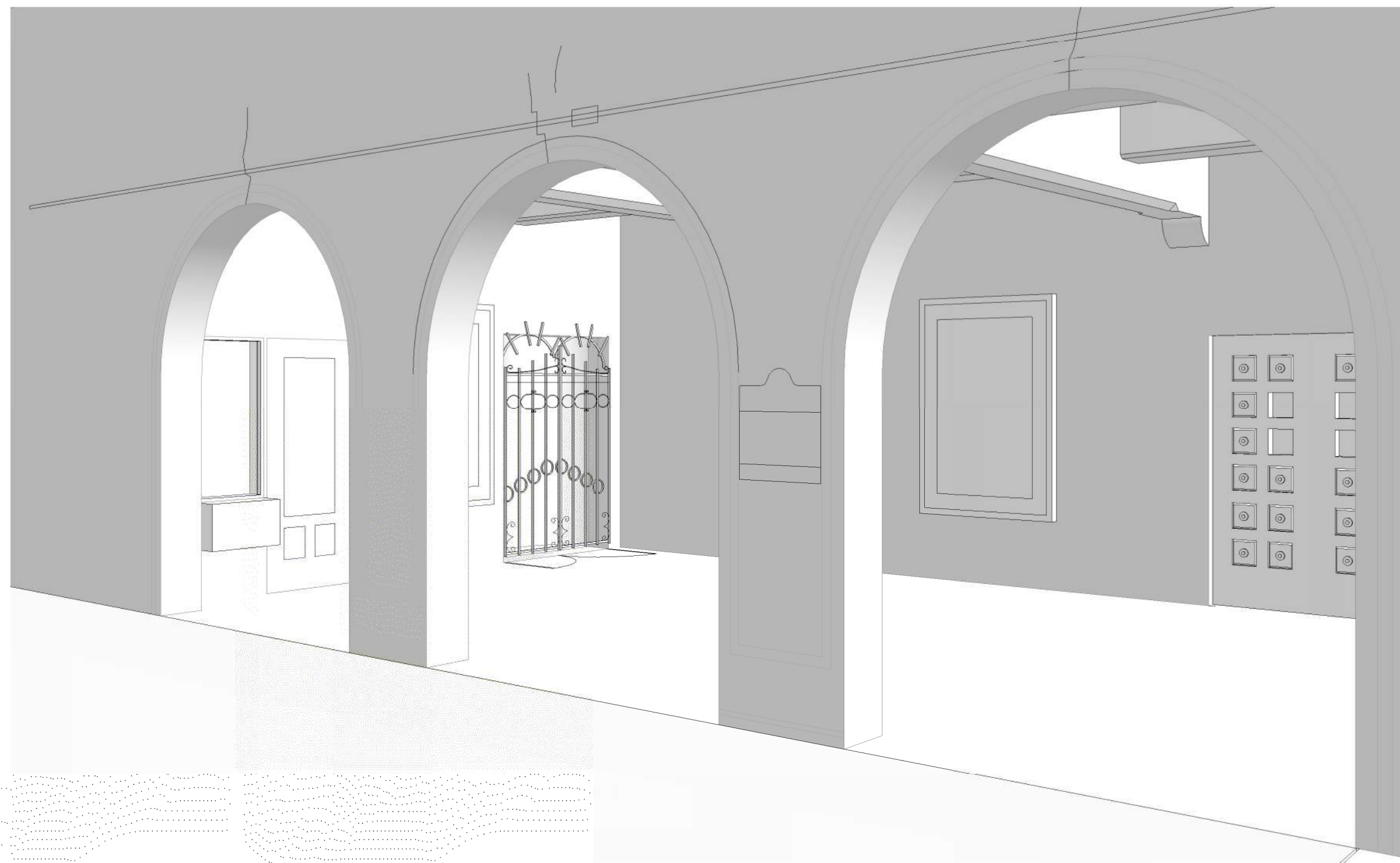
JC/SD

DRAWING NO.

G3.01



2 OUTER LOBBY ENCLOSURE_PROPOSED
G3.02



1 OUTER LOBBY ENCLOSURE_EXISTING
G3.02

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs,
CA 92262

SHEET TITLE

BEFORE/AFTER - OUTER
LOBBY

ISSUANCE

HSPB SUBMITTAL

01/27/23

PROJ. NO.

220602

DRAWN

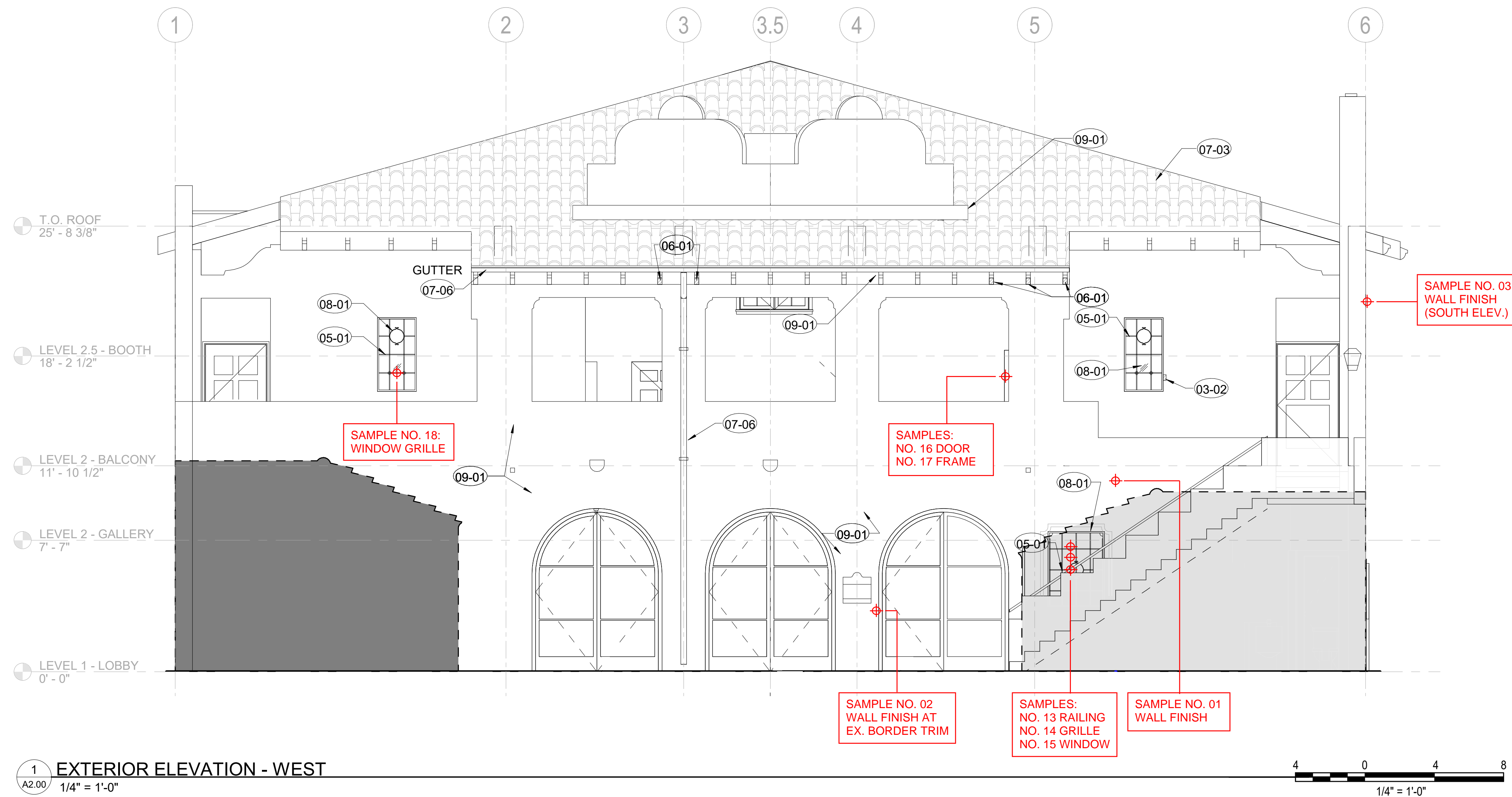
SD

CHECKED

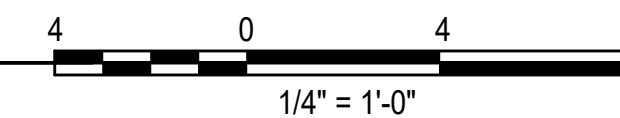
JC/SD

DRAWING NO.

G3.02



1 EXTERIOR ELEVATION - WEST
A2.00 1/4" = 1'-0"



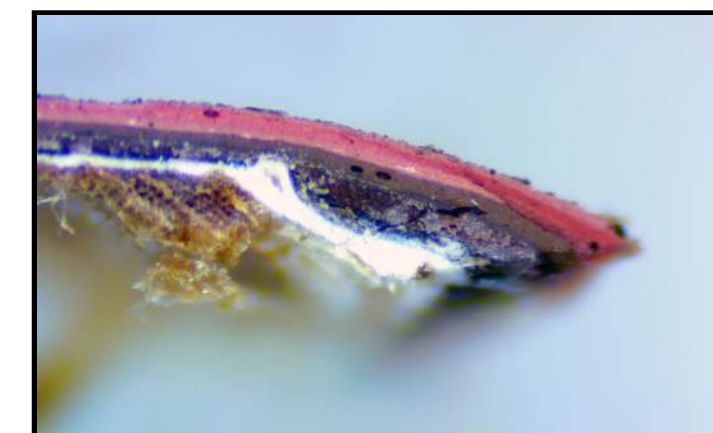
MICROGRAPHIC IMAGES OF SAMPLES:



SAMPLE NO. 01
EXTERIOR CONCRETE WALL,
WEST ELEVATION
4. (E) OFF-WHITE/CREAM
3. YELLOWISH-WHITE/CREAM
2. WHITE
1. YELLOWISH-WHITE/CREAM



SAMPLE NO. 13
METAL RAILING AT EXT. STAIR
7. (E) MODERATE VERMILLION
6. MODERATE VERMILLION
5. LIGHT VERMILLION
4. MODERATE VERMILLION
3. LIGHT BROWN
2. BLACK
1. REDDISH-ORANGE (PRIMER)



SAMPLE NO. 16
WOOD DOOR 215A
6. (E) MODERATE VERMILLION
5. DARK VERMILLION
4. MODERATE VERMILLION
3. MEDIUM BROWN
2. DARK BROWN
1. WHITE (PRIMER)



SAMPLE NO. 02
EXTERIOR CONCRETE WALL,
WEST ELEV. ARCH BORDER TRIM
7. DEEP VERMILLION/RED
6. WHITE
5. DEEP VERMILLION/RED
4. WHITE
3. DEEP VERMILLION/RED
2. WHITE
1. YELLOWISH-WHITE/CREAM



SAMPLE NO. 14
METAL GRILLE AT WIN. 103A
6. (E) MODERATE VERMILLION
5. MODERATE VERMILLION
4. BLACK
3. BLACK
2. BROWNISH-BLACK
1. REDDISH-ORANGE (PRIMER)



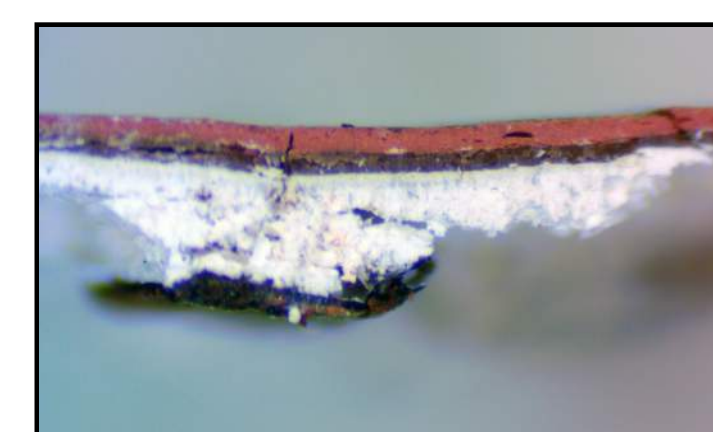
SAMPLE NO. 17
WOOD DOOR FRAME 215A
11. (E) MODERATE VERMILLION
10. MODERATE VERMILLION
9. WHITE
8. MODERATE VERMILLION
7. DARK BROWN
6. WHITE
5. DARK BROWN
4. BLACK
3. WHITE
2. DARK BROWN
1. WHITE (PRIMER)



SAMPLE NO. 03
EXTERIOR CONCRETE WALL,
WEST ELEVATION
2. (E) OFF-WHITE/CREAM
1. YELLOWISH-WHITE/CREAM



SAMPLE NO. 15
STEEL SASH AT WIN. 103A
8. (E) OFF-WHITE/CREAM
7. OFF-WHITE/CREAM
6. WHITE
5. YELLOW
4. WHITE
3. YELLOWISH-WHITE/CREAM
2. BROWNISH-BLACK
1. REDDISH-ORANGE (PRIMER)



SAMPLE NO. 18
METAL GRILLE AT WIN. 202
6. (E) MODERATE VERMILLION
5. DARK BROWN
4. WHITE
3. WHITE
2. BROWNISH-BLACK
1. REDDISH-ORANGE (PRIMER)

HISTORIC PHOTOGRAPH



Source: Palm Springs Historical Society.

RECOMMENDED EXTERIOR PAINT COLORS:

- DUNN-EDWARDS
DET660 NATURAL RADIANCE
FOR EXTERIOR WALLS
- SHERWIN-WILLIAMS
SW2808 ROOKWOOD DARK BROWN
FOR EXT WOOD DOORS, RAFTERS
AND TRIM
- TNMEC 86BR DARK BRONZE
FOR EXT. METAL WINDOWS,
GRILLES AND RAILINGS

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA
THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs,
CA 92262

SHEET TITLE

HISTORIC FINISH
ANALYSIS - EXTERIOR

ISSUANCE

HSPB SUBMITTAL

01/27/23

PROJ. NO.

220602

DRAWN

SD

CHECKED

JC/SD

DRAWING NO.

G4.00



T.O. ROOF
25' - 8 3/8"

LEVEL 2.5 - BOOTH
18' - 2 1/2"

LEVEL 2 - BALCONY
11' - 10 1/2"

LEVEL 2 - GALLERY
7' - 7"

LEVEL 1 - LOBBY
0' - 0"

WEST ELEVATION - PROPOSED COLOR SCHEME

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
 128 S Palm Canyon Dr, Palm Springs,
 CA 92262

SHEET TITLE
 PROPOSED EXTERIOR
 COLOR SCHEME

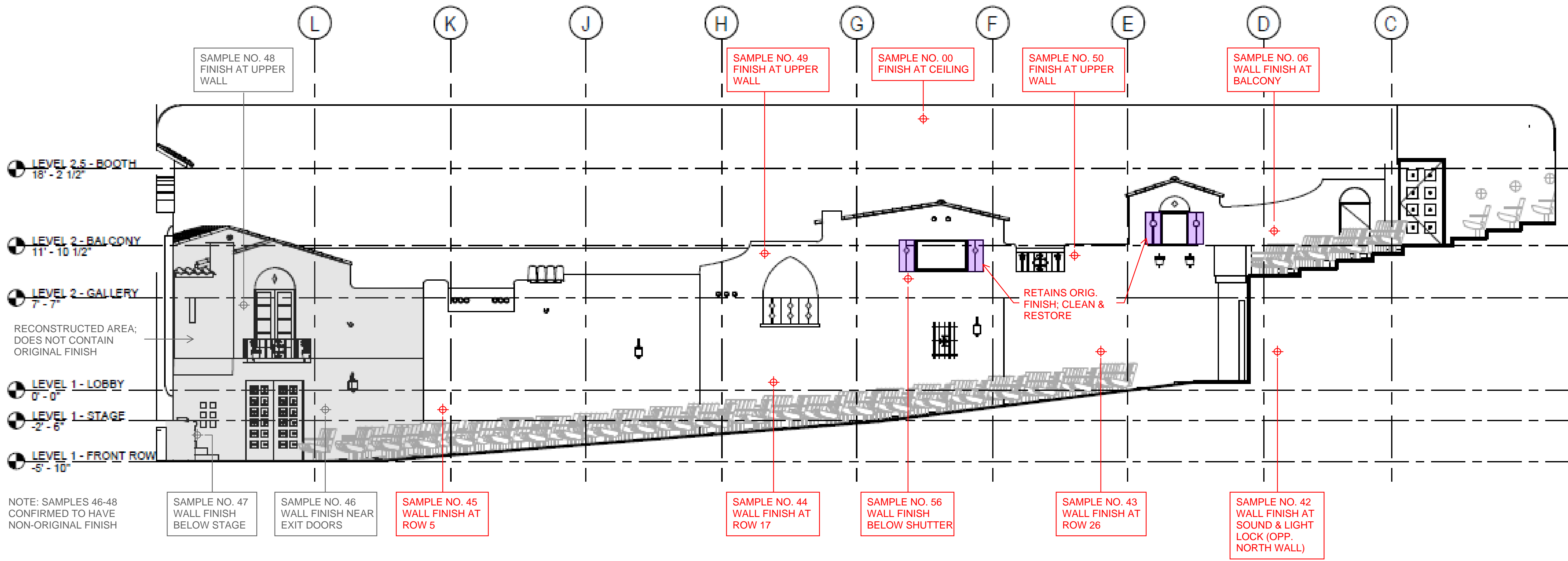
ISSUANCE
 HSPB SUBMITTAL
 01/27/23

PROJ. NO.
220602

DRAWN
SD

CHECKED
JC/SD

DRAWING NO.
G4.01



1 AUDITORIUM INTERIOR ELEVATION - SOUTH
45.00 3/16" = 1'-0"

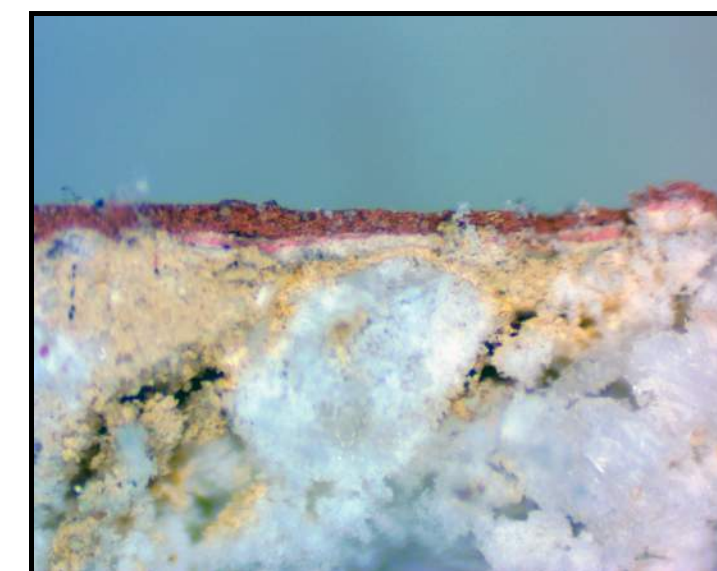
MICROGRAPHIC IMAGES OF SAMPLES:



SAMPLE NO. 00
AUDITORIUM CEILING
(COLLECTED FROM ATTIC)
1. BLUISH-GRAY (SOILED)



SAMPLE NO. 45
WALL FINISH AT SOUTH
ATMOSPHERIC WALL, AT ROW 26
10. MODERATE VERMILLION
9. DARK YELLOW OCHRE
8. DARK PINK
7. LIGHT PINK
6. MEDIUM PINK
5. LIGHT PINK
4. DARK PINK
3. LIGHT PINK
2. MEDIUM PINK
1. YELLOWISH-WHITE/CREAM



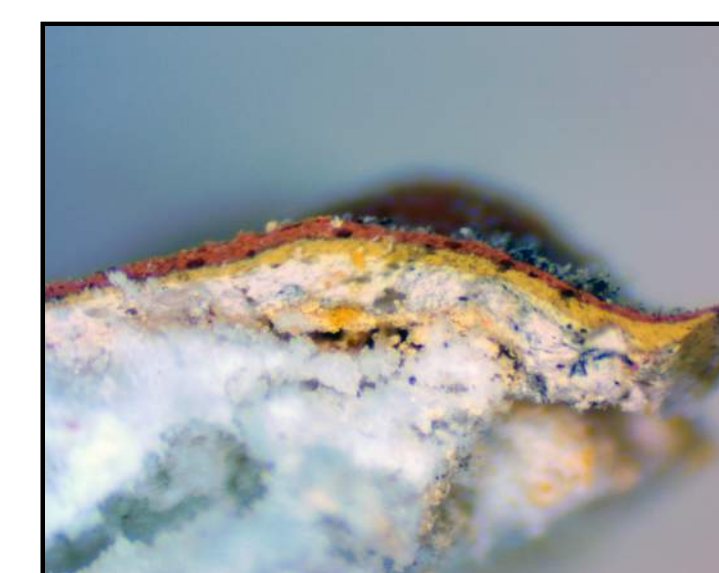
SAMPLE NO. 43
WALL FINISH AT SOUTH
ATMOSPHERIC WALL
AT ROW 26
5. MODERATE VERMILLION
4. YELLOWISH-WHITE/CREAM
3. LIGHT PINK
2. LIGHT YELLOW OCHRE
1. YELLOWISH-WHITE/CREAM



SAMPLE NO. 49
WALL FINISH AT SOUTH
ATMOSPHERIC WALL
AT UPPER WALL NEAR CENTER
5. MODERATE VERMILLION
4. YELLOWISH-WHITE/CREAM
3. LIGHT YELLOW OCHRE
2. MEDIUM YELLOW OCHRE
1. YELLOWISH-WHITE/CREAM



SAMPLE NO. 44
WALL FINISH AT SOUTH
ATMOSPHERIC WALL
AT ROW 17
9. MODERATE VERMILLION
8. YELLOWISH-WHITE/CREAM
7. LIGHT PINK
6. YELLOWISH-WHITE/CREAM
5. DARK YELLOW OCHRE
4. MEDIUM YELLOW OCHRE
3. DARK YELLOW OCHRE
2. MEDIUM YELLOW OCHRE
1. YELLOWISH-WHITE/CREAM



SAMPLE NO. 50
WALL FINISH AT SOUTH
ATMOSPHERIC WALL
AT UPPER WALL NEAR BALCONY
6. MODERATE VERMILLION
5. DARK YELLOW OCHRE
4. LIGHT YELLOW OCHRE
3. YELLOWISH-WHITE/CREAM
2. DARK YELLOW OCHRE
1. YELLOWISH-WHITE/CREAM

HISTORIC PHOTOGRAPH



Source: Palm Springs Historical Society.

NOTE SINGLE OVERALL BODY COLOR

NOTE ACCENT COLOR TO PROVIDE WEATHERED APPEARANCE

FINISHES ANALYSIS SUMMARY:
BASED ON COMPARISON OF COLLECTED SAMPLES AND HISTORIC INTERIOR PHOTOGRAPHS, THE ATMOSPHERIC WALLS OF THE AUDITORIUM WERE HISTORICALLY PAINTED AN OVERALL COLOR IN YELLOWISH-WHITE/CREAM. THERE WERE ALSO ACCENTS IN VARIOUS BROWN HUES TO PROVIDE SHADOWING AND AN AGED OR WEATHERED APPEARANCE.

AT SOME POINT, THE WALLS WERE REPAINTED IN A MULT-COLORED SCHEME USING A RANGE OF GOLDS, PINKS AND BLUE/GRAY COLORS. BASED ON PHOTOS FROM 2014, THE OVERALL EFFECT WAS HEAVY-HANDED. LATER, THE WALLS WERE AGAIN REPAINTED IN THE CURRENT PINK/VERMILLION COLOR.

SOME ELEMENTS, SUCH AS THE WOODEN SHUTTERS, RETAIN THEIR ORIGINAL FINISH. THE PLASTER CEILING ALSO RETAINS THE ORIGINAL FINISH. HOWEVER, IT IS HEAVILY SOILED AND ALTERED (LARGE CUT-OUTS FOR LIGHTING, ETC.)

RECOMMENDATIONS:
ATMOSPHERIC WALLS SHOULD BE REPAIRED AND REPAINTED IN AN OVERALL YELLOWISH-WHITE/CREAM COLOR, WITH BROWN-TONED ACCENTS TO PROVIDE AN AGED/ WEATHERED APPEARANCE. CLEAN AND RESTORE THE ORIGINAL FINISH AT WOOD SHUTTERS, WOOD WINDOWS, AND OTHER ORIGINAL REMAINING DETAILS. REPAIR AND REPAINT THE EXISTING PLASTER CEILING IN A MATCHING SOLID GRAY COLOR. DEPENDING ON THE DESIRED EFFECT AND ARCHITECTURAL LIGHTING CONDITIONS, WE MAY ELECT TO IMITATE MORE CLOSELY THE NIGHT SKY, INCLUDING MORE DARK BLUE TONES OVERHEAD AND ROSY/ SUNSET TONES OVER THE ATMOSPHERIC WALLS.

RECOMMENDED PAINT COLORS FOR AUDITORIUM
NOTE: SEE HISTORIC PHOTOS FOR DECORATIVE TREATMENT

- WALL BODY COLOR:
SHERWIN-WILLIAMS
SW7537 IRISH CREAM
- WALL ACCENT COLOR:
SW6102 PORTOBELLO
- WALL ACCENT COLOR:
SW6103 TEA CHEST
- CEILING COLOR:
DUNN-EDWARDS
DE6369 LEGENDARY GRAY

NOTE: NON-ORIGINAL PAINT LAYERS NOTED IN GRAY

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE
HISTORIC FINISH ANALYSIS - INTERIOR AUDITORIUM

ISSUANCE
HSPB SUBMITTAL
01/27/23

PROJ. NO.
220602

DRAWN
SD

CHECKED
JC/SD

DRAWING NO.
G4.02

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs,
CA 92262

SHEET TITLE

PROPOSED INTERIOR
AUDITORIUM COLOR
SCHEME

ISSUANCE

HSPB SUBMITTAL

01/27/23

PROJ. NO.

220602

DRAWN

MGB/BT

CHECKED

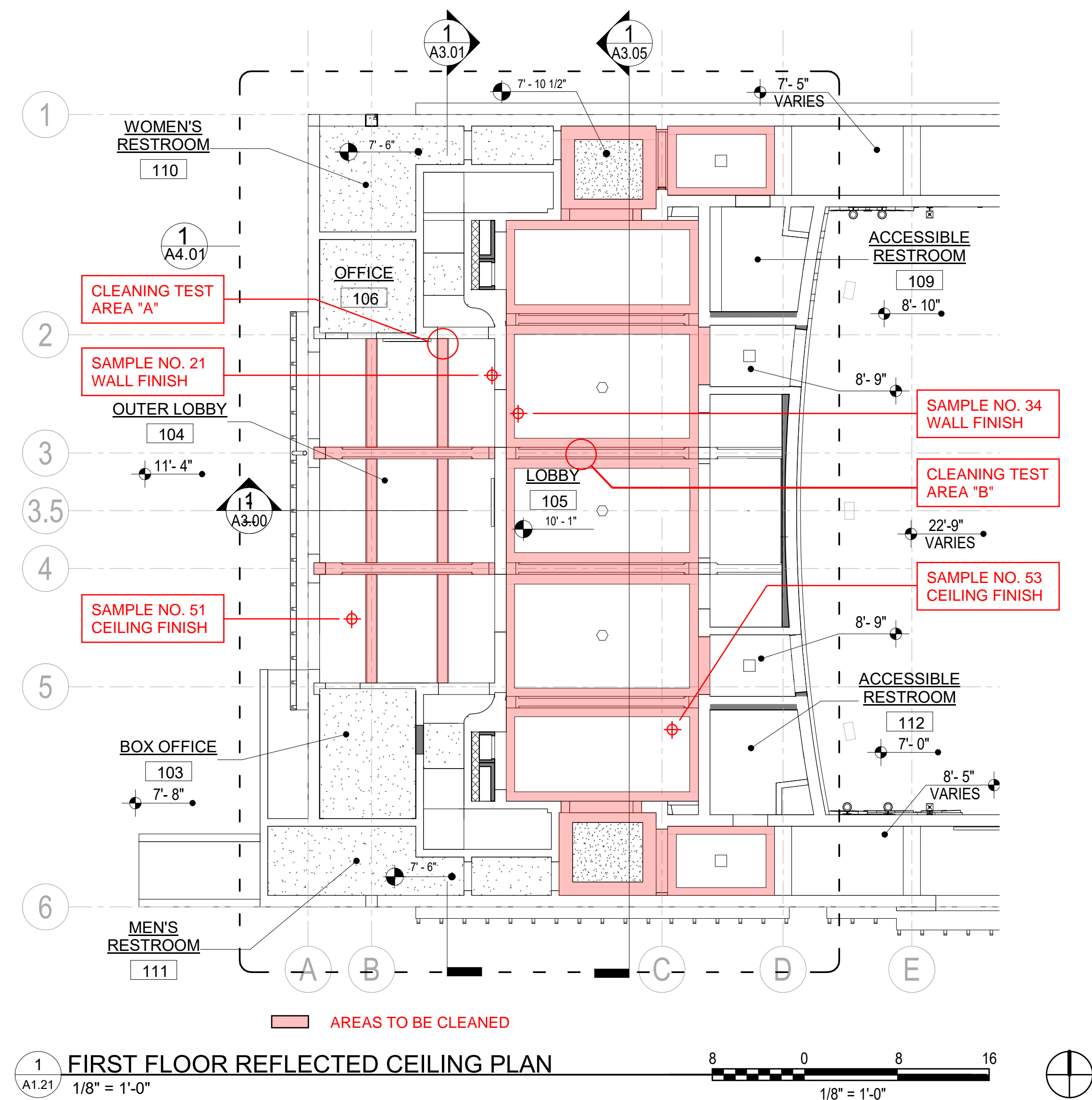
JC/SD

DRAWING NO.

G4.03



AUDITORIUM INTERIOR - PROPOSED REHABILITATION



CLEANING TEST AREA "A" AT OUTER LOBBY

BEFORE CLEANING



AFTER CLEANING



CLEANING TEST SUMMARY:
EXTERIOR BEAMS AND CORBELS AT OUTER LOBBY ARE CAST-IN-PLACE REINFORCED CONCRETE WITH BOARD FORM FINISH. SURFACES ARE DECORATIVELY PAINTED TO IMITATE WOOD, AND INCLUDE MULTI-COLORED STENCIL-LIKE DESIGNS. CURRENTLY, SURFACES ARE SOILED AND STAINED, AND PAINT COLORS ARE FADED.

BASED ON SOLVENT SOLUBILITY TESTING, PAINTS ARE SOLUBLE IN WATER AND INORGANIC SOLVENTS. THE MOST SUCCESSFUL CLEANING METHOD WAS PERFORMED WITH DILUTE SOLUTION OF VULPEX LIQUID SOAP IN MINERAL SPIRITS (1:6 v/v). THE SOLUTION CLEANED THE SURFACES AND RE-SATURATED SOME OF THE PAINT COLORS. SOME LOCALIZED IN-PAINTING WILL ALSO BE REQUIRED.

CLEANING TEST AREA "B" AT INTERIOR LOBBY

BEFORE CLEANING



AFTER CLEANING



CLEANING TEST SUMMARY:
INTERIOR BEAMS AT LOBBY ARE CAST-IN-PLACE REINFORCED CONCRETE WITH BOARD FORM FINISH. SURFACES ARE DECORATIVELY PAINTED TO IMITATE WOOD, AND INCLUDE MULTI-COLORED STENCIL-LIKE DESIGNS. CURRENTLY, SURFACES ARE SOILED AND STAINED, AND PAINT COLORS ARE FADED.

BASED ON SOLVENT SOLUBILITY TESTING, PAINTS ARE NOT SOLUBLE IN WATER OR A RANGE OF INORGANIC AND ORGANIC SOLVENTS. MANY OF THE DETERGENTS AND SOLVENTS TESTED CLEANED THE SURFACE BUT DID NOT RESATURATE COLORS. THE MOST SUCCESSFUL CLEANING METHOD USED A PROPRIETARY CLEANER, "KOTTON KLENSER" CLEANER AND OIL PAINTING RESTORING OIL. SOME LOCALIZED IN-PAINTING WILL ALSO BE NECESSARY TO MINIMIZE STAINS.

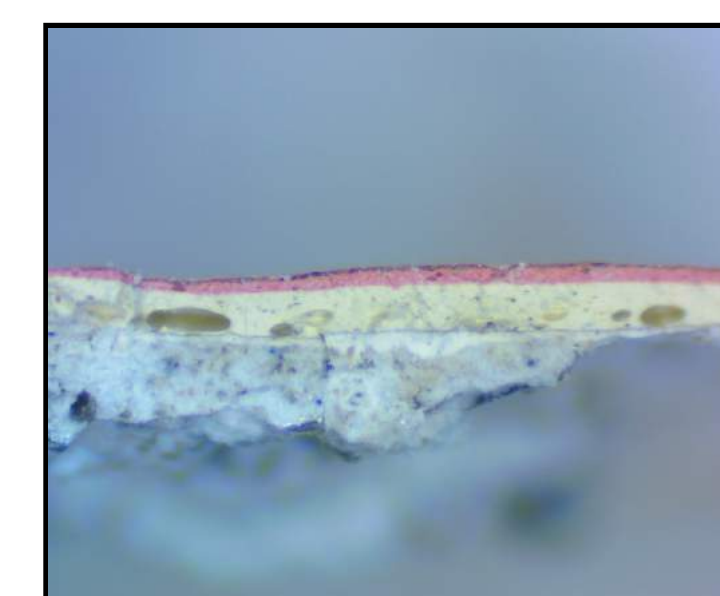
MICROGRAPHIC IMAGES OF SAMPLES:



SAMPLE NO. 21
OUTER LOBBY WALLS - BORDER TRIM AT OPGS (WALL SAMPLE SIM.)

1. YELLOWISH-WHITE/CREAM
2. WHITE (PRIMER)
3. YELLOWISH-WHITE/CREAM
4. MODERATE VERMILLION
5. DARK PURPLE
6. DARK RED

BORDER TRIM AT OPENINGS IS NOT ORIGINAL. WALLS WERE HISTORICALLY PAINTED ALL ONE COLOR



SAMPLE NO. 34
INTERIOR LOBBY WALLS -

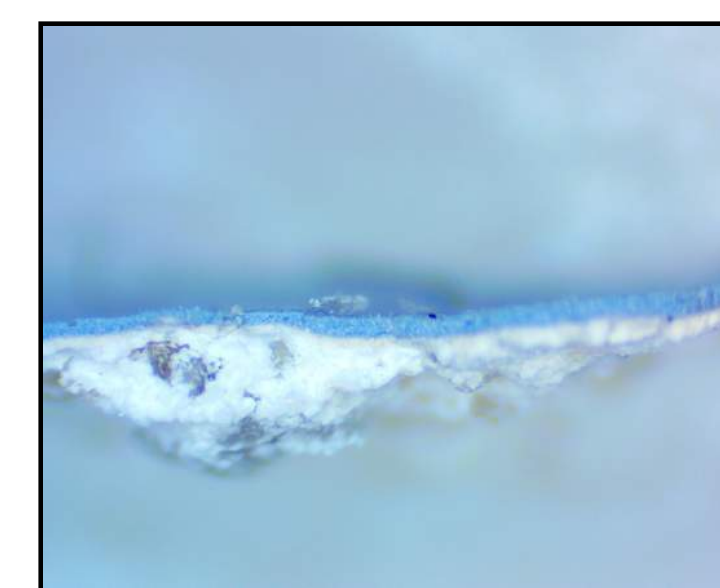
1. YELLOWISH-WHITE/CREAM
2. WHITE (PRIMER)
3. YELLOWISH CREAM
4. LIGHT VERMILLION (PINK)



SAMPLE NO. 51
OUTER LOBBY CEILING - BORDER TRIM (CLG. FIELD SAMPLE SIM.)

1. YELLOWISH-WHITE/CREAM
2. WHITE (PRIMER)
3. YELLOWISH-WHITE/CREAM
4. MODERATE VERMILLION
5. DARK PURPLE

BORDER TRIM AT CEILING IS NOT ORIGINAL. CEILINGS BETWEEN BEAMS WERE HISTORICALLY PAINTED ALL ONE COLOR






SAMPLE NO. 53
INTERIOR LOBBY CEILING - LOWERED PLASTER CLG. (MAIN CLG. SAMPLE SIM.)

1. LIGHT BLUE

CEILING FIELD COLOR IS ORIGINAL. HOWEVER DUE TO BUILDING SYSTEMS RENOVATIONS, CEILINGS MUST BE REPAINTED.

RECOMMENDED PAINT COLORS:

-  OUTER LOBBY CEILINGS BETWEEN BEAMS:
DET660 NATURAL RADIANCE
-  INTERIOR LOBBY WALLS:
SW7537 IRISH CREAM
-  INTERIOR LOBBY CEILINGS BETWEEN BEAMS:
DE5801 SILVER SKATE

RECOMMENDED CLEANING REGIMEN:

OUTER LOBBY CEILING BEAMS AND CORBELS WILL BE CLEANED WITH A DILUTE SOLUTION OF VULPEX LIQUID SOAP IN MINERAL SPIRITS (1:6 v/v). AREAS OF PAINT LOSS AND STAINS THAT REMAIN AFTER CLEANING WILL BE VISUALLY INTEGRATED WITH LOCALIZED IN-PAINTING TO MATCH SURROUNDING SURFACES.

INTERIOR LOBBY CEILING BEAMS WILL BE CLEANED WITH "KOTTON KLENSER" CLEANER AND OIL PAINTING RESTORING OIL. AGAIN, AREAS OF PAINT LOSS AND STAINS THAT REMAIN WILL BE IN-PAINTED.

NO.	DESCRIPTION	DATE
	REVISIONS	

PLAZA THEATRE

REHABILITATION
128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE HISTORIC FINISH ANALYSIS - OUTER LOBBY AND INTERIOR LOBBY

ISSUANCE
HSPB SUBMITTAL

01/27/23

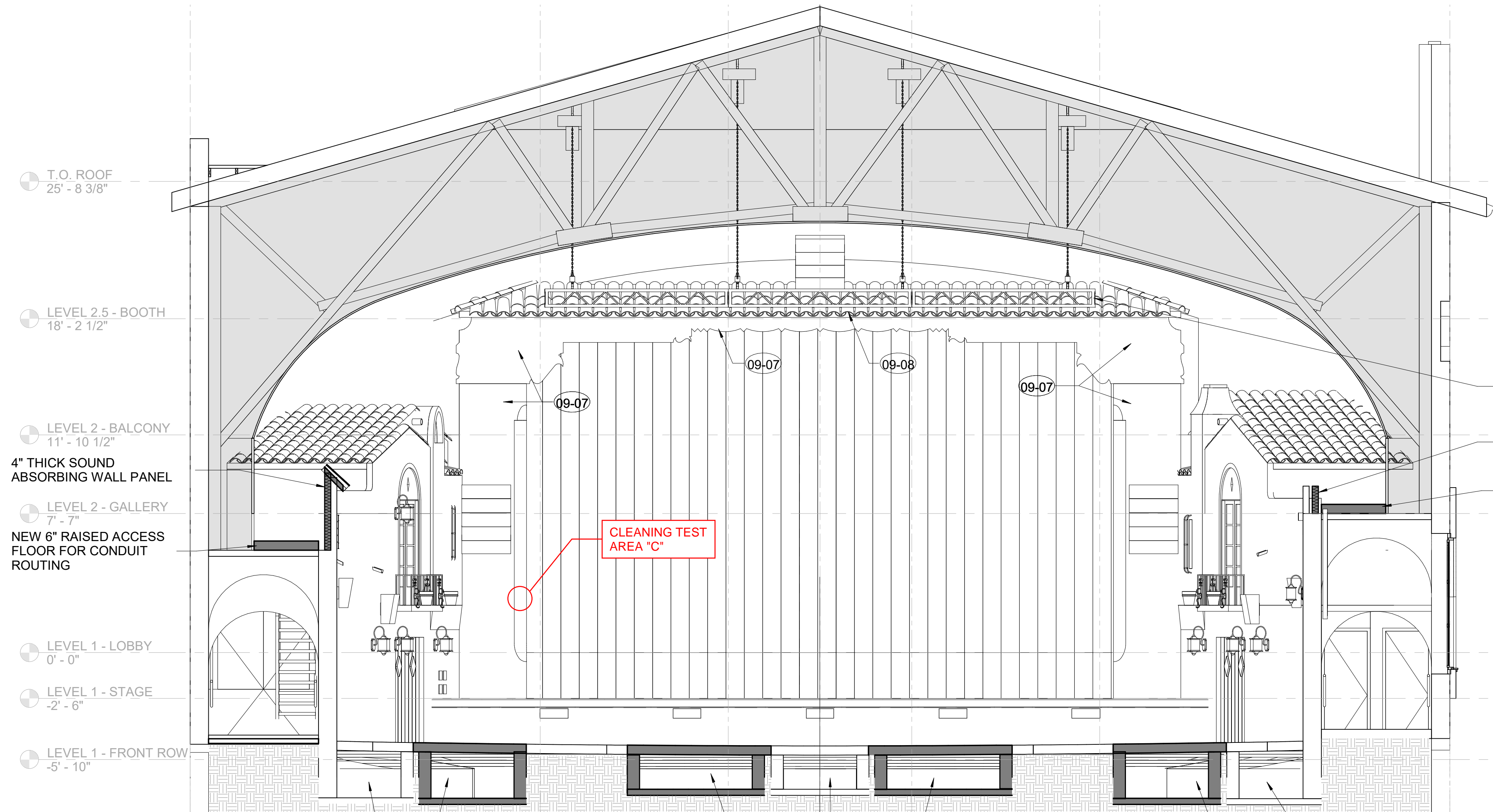
PROJ. NO.
220602

DRAWN
SD

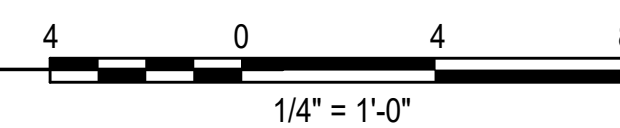
CHECKED
JC/SD

DRAWING NO.

G4.04



1 AUDITORIUM TRANSVERSE SECTION
A3.03 1/4" = 1'-0"



NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

HISTORIC FINISH ANALYSIS - PROSCENIUM

ISSUANCE

HSPB SUBMITTAL

01/27/23

PROJ. NO.

220602

DRAWN

SD

CHECKED

JC/SD

DRAWING NO.

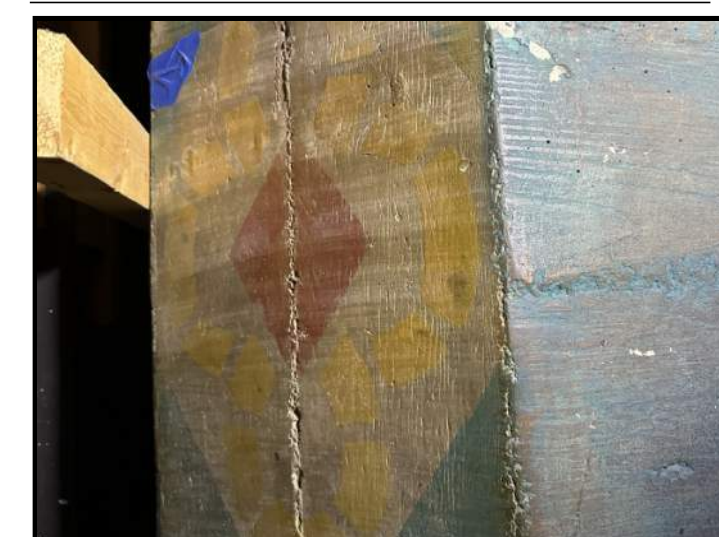
G4.05

HISTORIC PHOTOGRAPH



Source: Palm Springs Historical Society.

CLEANING TEST AREA "C" AT PROSCENIUM



BEFORE CLEANING



AFTER CLEANING

CLEANING TEST SUMMARY:
THE STAGE PROSCENIUM IS COMPRISED OF CAST-IN-PLACE REINFORCED CONCRETE WITH A BOARD-FORMED FINISH. SURFACES ARE DECORATIVELY PAINTED AND INCLUDE MULTI-COLORED STENCIL-LIKE DESIGNS. CURRENTLY, SURFACES ARE SOILED AND STAINED, AND PAINT COLORS ARE FADED. THE PROSCENIUM WAS ENCLOSED WITH OTHER MATERIALS AND THERE ARE LOCALIZED AREAS OF DAMAGE OR PAINT LOSS.

BASED ON SOLVENT SOLUBILITY TESTING, PAINTS ARE NOT SOLUBLE IN WATER OR A RANGE OF INORGANIC AND ORGANIC SOLVENTS. MANY OF THE DETERGENTS AND SOLVENTS TESTED CLEANED THE SURFACE BUT DID NOT RESATURATE COLORS. THE MOST SUCCESSFUL CLEANING METHOD USED A PROPRIETARY CLEANER, "KOTTON KLENSER" CLEANER AND OIL PAINTING RESTORING OIL. LOCALIZED IN-PAINTING WILL ALSO BE NECESSARY TO RESTORE AREAS OF DAMAGE.

RECOMMENDED CLEANING REGIMEN FOR PROSCENIUM:
PROSCENIUM CONCRETE SURFACES WILL BE CLEANED WITH "KOTTON KLENSER" CLEANER AND OIL PAINTING RESTORING OIL. AREAS OF PAINT LOSS AND STAINS THAT REMAIN AFTER CLEANING WILL BE VISUALLY INTEGRATED WITH LOCALIZED IN-PAINTING TO MATCH SURROUNDING SURFACES.

SITE PLAN GENERAL NOTES



360 E. 2nd Street, Suite 225
 Los Angeles, California 90012
 626.583.1401
 argcreate.com

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
 128 S Palm Canyon Dr, Palm Springs, CA 92262

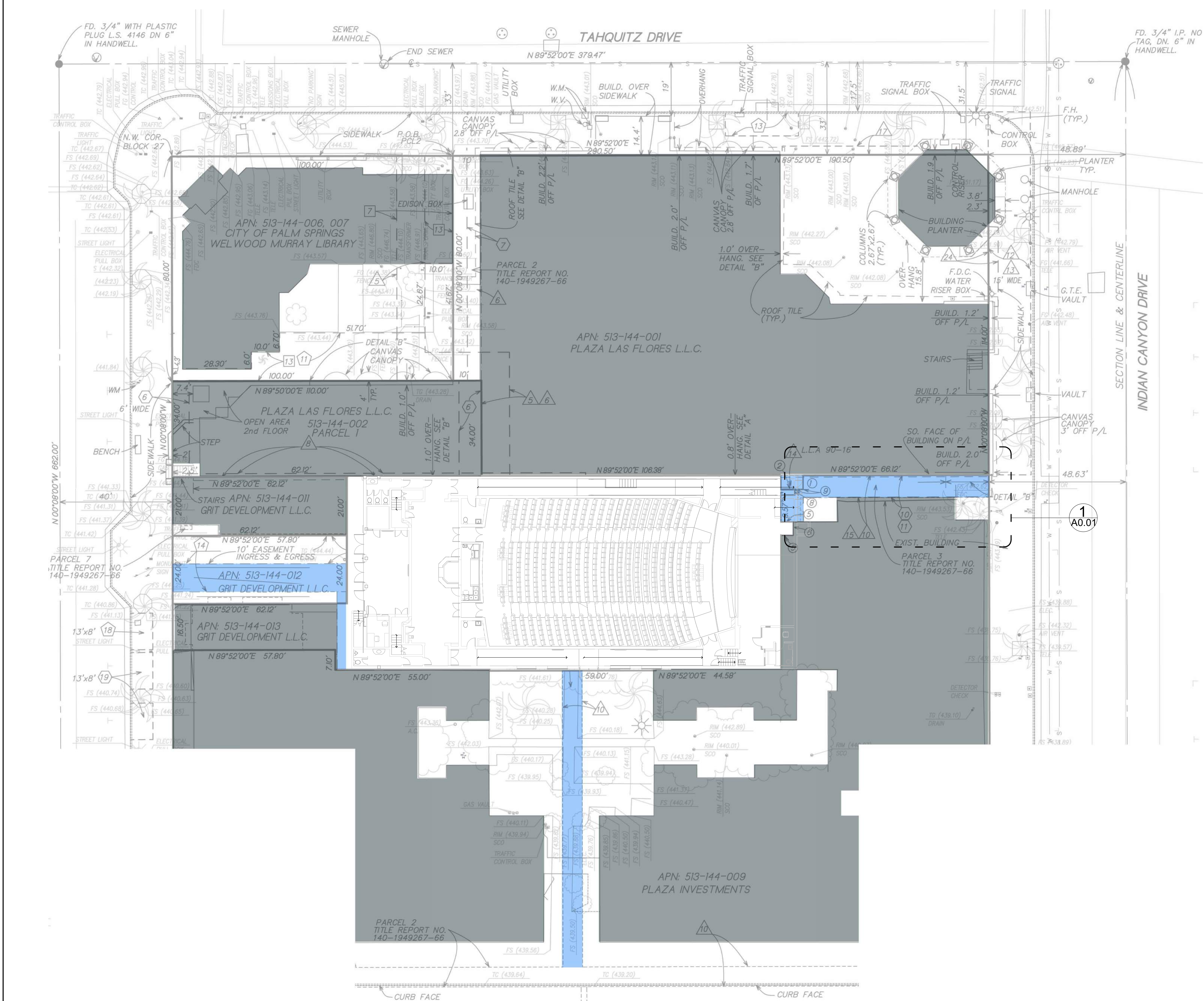
SHEET TITLE
 OVERALL SITE PLAN

ISSUANCE
 HSPB SUBMITTAL
 01/27/23

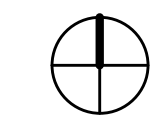
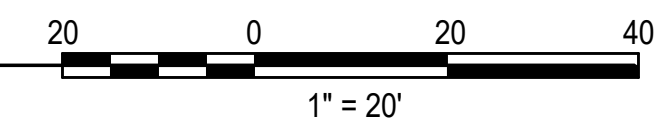
PROJ. NO.
 220602

DRAWN
 BT/MGB
 CHECKED
 JC/SD/NOM

DRAWING NO.
A0.00



1 OVERALL SITE PLAN
 1" = 20'-0"



NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE
BASEMENT PLAN

ISSUANCE
HSPB SUBMITTAL

01/27/23

PROJ. NO.
220602

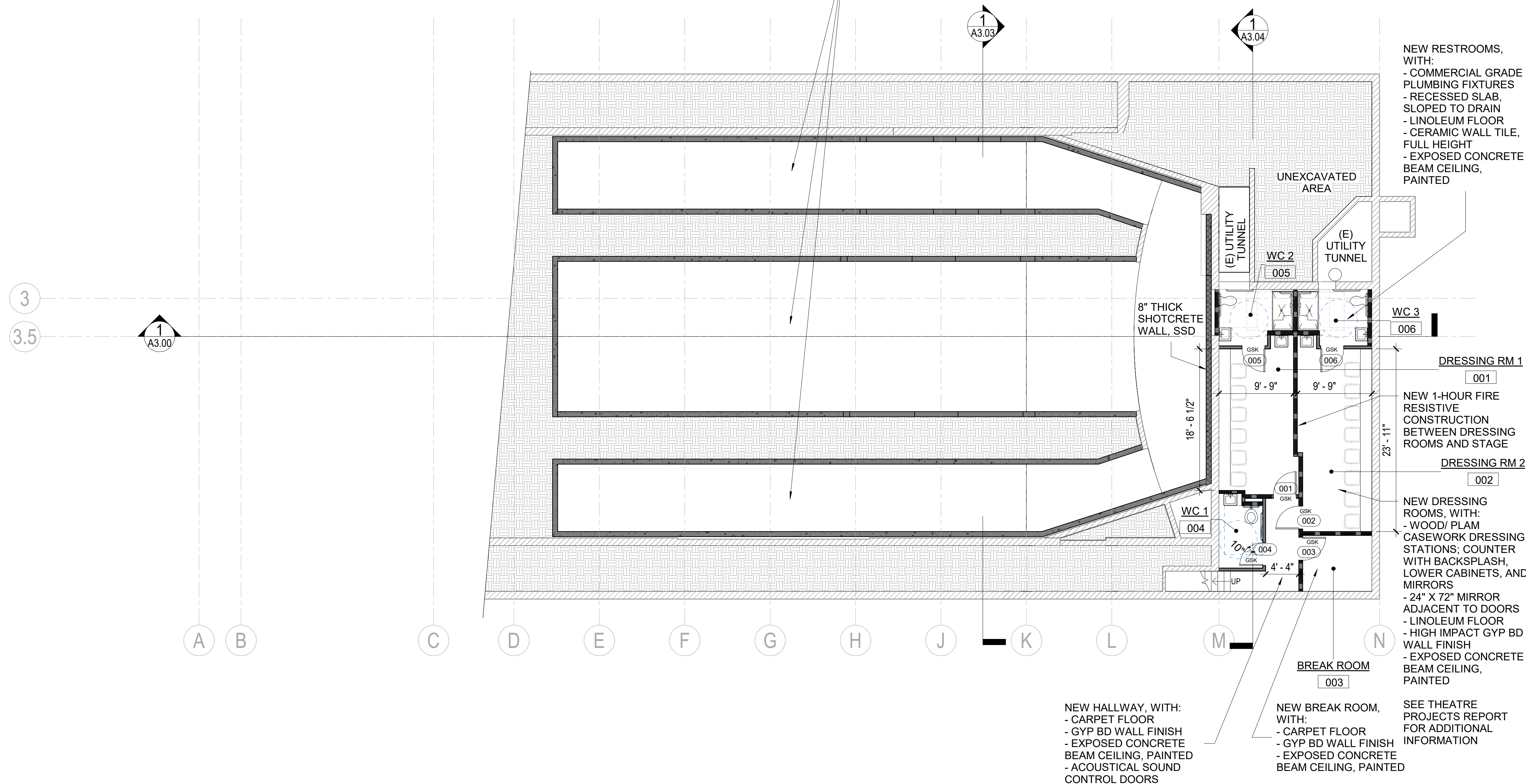
DRAWN
BT/MGB

CHECKED
JC/SD/NOM

DRAWING NO.

A1.00

NEW BELOW FLOOR PLENUM ~ 3' DEEP, WITH NEW SLAB ON GRADE, NEW STEM WALLS, WITH OPENINGS CONNECTING TO EXISTING BELOW FLOOR DUCTS AND NEW SUSPENDED FLOOR SLAB, SMD & SSD



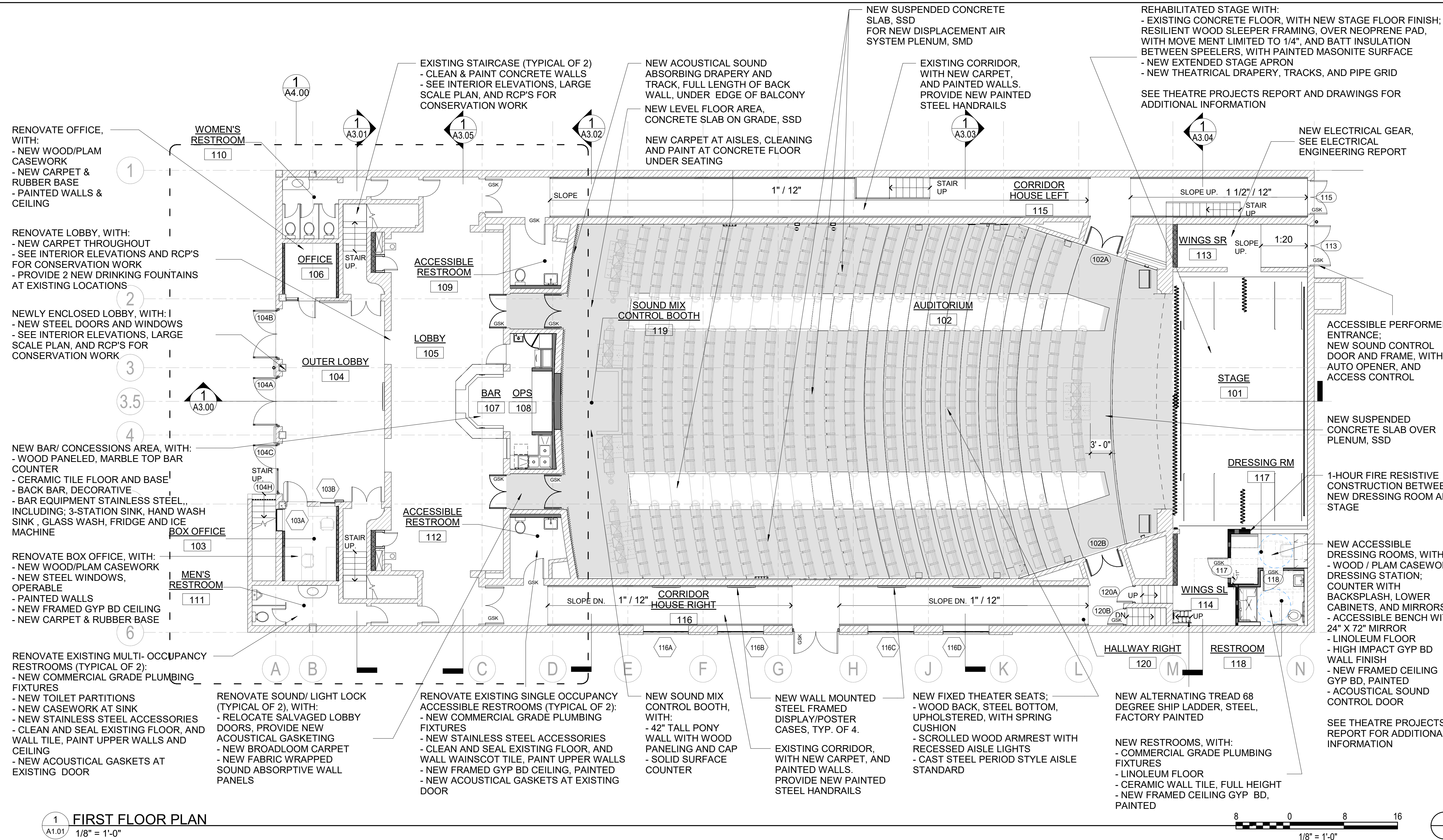
1 BASEMENT PLAN
A1.00 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- SEE GENERAL PROJECT NOTES ON T1.10.
- PATCH WALL AND CEILING SURFACES OPENED FOR INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL WORK. REPAIR AND REINSTALL WOOD BASE AND TRIM REMOVED FOR CONSTRUCTION.
- PATCH FLOORS AND WALL AND CEILING SURFACES AND INFILL WOOD TRIM WHERE WALLS REMOVED OR MODIFIED TO PROVIDE CONTINUOUS SURFACE.
- NEW OPENINGS TO BE CASED IN TRIM TO MATCH ADJACENT.

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- NEW CONSTRUCTION 1-HR WALL
- NEW SHOTCRETE WALL, SSD
- NEW POURED CONCRETE STEM WALL, SSD
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING MASONRY CONSTRUCTION TO REMAIN
- DOOR NUMBER
- DOORS TO RECEIVE ACOUSTICAL GASKETING



NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

FIRST FLOOR PLAN

ISSUANCE

HSPB SUBMITTAL

01/27/23

PROJ. NO.

220602

DRAWN

BT/MGB

CHECKED

JC/SD/NOM

DRAWING NO.

A1.01

FLOOR PLAN GENERAL NOTES

- SEE GENERAL PROJECT NOTES ON T1.10.
- PATCH WALL AND CEILING SURFACES OPENED FOR INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL WORK. REPAIR AND REINSTALL WOOD BASE AND TRIM REMOVED FOR CONSTRUCTION.
- PATCH FLOORS AND WALL AND CEILING SURFACES AND INFILL WOOD TRIM WHERE WALLS REMOVED OR MODIFIED TO PROVIDE CONTINUOUS SURFACE.
- NEW OPENINGS TO BE CASED IN TRIM TO MATCH ADJACENT.

SEATING COUNT

MAIN LEVEL	528
WHEELCHAIR	8*
SEMI-AUBULANT	8**
REMOVABLE	(TBD)
BALCONY LEVEL	164
TOTAL	692
	(685 WHEN ALL WHEELCHAIR SEATS ARE IN USE)

*PER 11B-221.2.1.1 FOR 704 TOTAL SEATS PROVIDED, 8 WHEELCHAIR SPACES REQUIRED

**PER 11B-221.6 FOR 704 TOTAL SEATS PROVIDED, 8 SEMI-AMBULANT SEATS ARE REQUIRED

NOTE: ALL WHEELCHAIR SPACES ARE PROVIDED WITH COMPANION SEATS, PER 11B-221.3

FLOOR PLAN LEGEND

	NEW CONSTRUCTION
	NEW CONSTRUCTION 1-HR WALL
	NEW SHOTCRETE WALL, SSD
	NEW POURED CONCRETE STEM WALL, SSD
	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING MASONRY CONSTRUCTION TO REMAIN
	DOOR NUMBER
	DOORS TO RECEIVE ACOUSTICAL GASKETING

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
128 S Palm Canyon Dr, Palm Springs, CA 92262

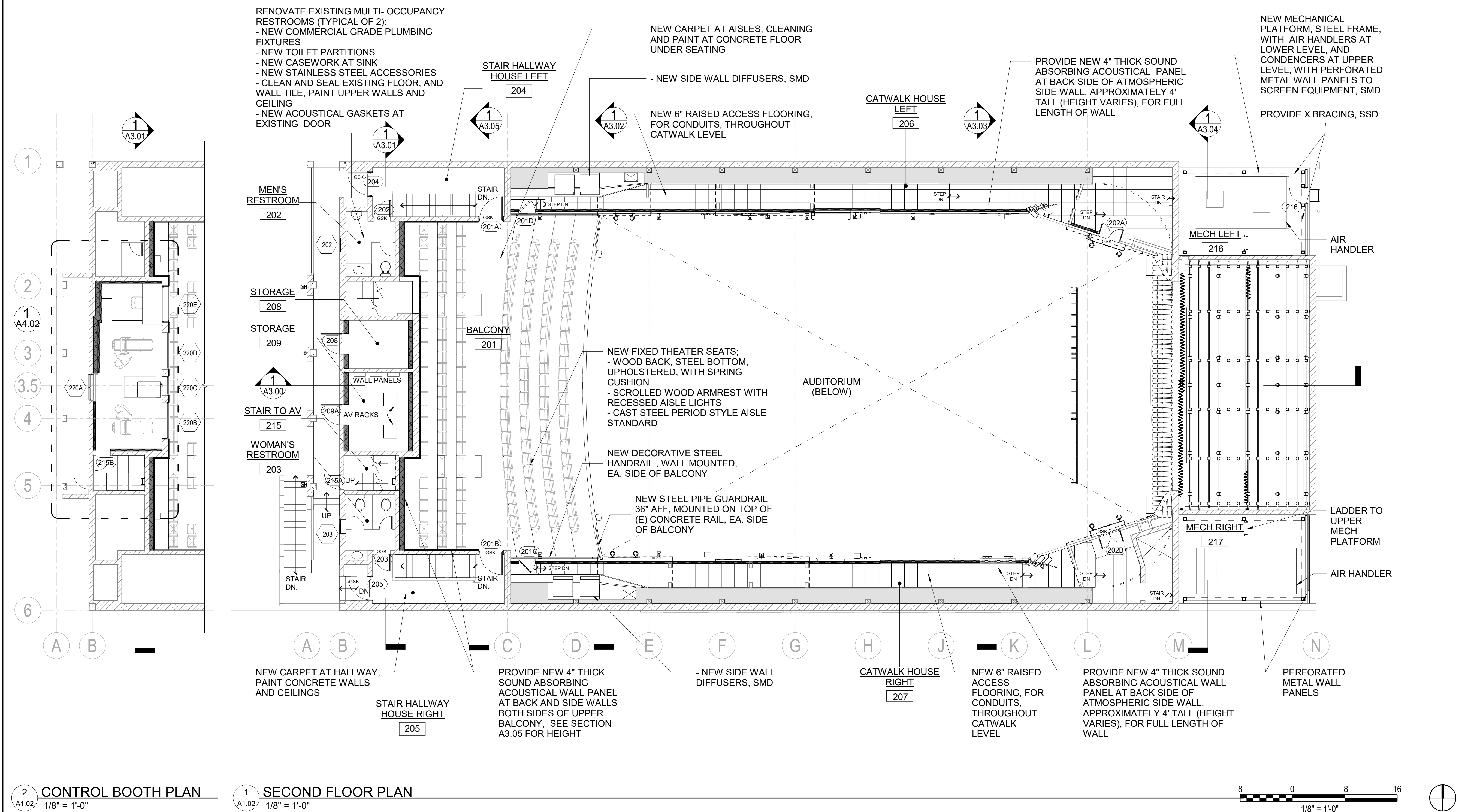
SHEET TITLE
SECOND FLOOR PLAN

ISSUANCE
HSPB SUBMITTAL
01/27/23

PROJ. NO.
220602
DRAWN
BT/MGB

CHECKED
JC/SD/NOM

DRAWING NO.
A1.02



2 CONTROL BOOTH PLAN
1/8" = 1'-0"

1 SECOND FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- SEE GENERAL PROJECT NOTES ON T1.10.
- PATCH WALL AND CEILING SURFACES OPENED FOR INSTALLATION OF STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL WORK. REPAIR AND REINSTALL WOOD BASE AND TRIM REMOVED FOR CONSTRUCTION.
- PATCH FLOORS AND WALL AND CEILING SURFACES AND INFILL WOOD TRIM WHERE WALLS REMOVED OR MODIFIED TO PROVIDE CONTINUOUS SURFACE.
- NEW OPENINGS TO BE CASED IN TRIM TO MATCH ADJACENT.

SEATING COUNT

MAIN LEVEL	528
WHEELCHAIR	8*
SEMI-AMBULANT	8**
REMOVABLE	(TBD)
BALCONY LEVEL	164
TOTAL	692
	(685 WHEN ALL WHEELCHAIR SEATS ARE IN USE)

*PER 11B-221.2.1.1 FOR 704 TOTAL SEATS PROVIDED, 8 WHEELCHAIR SPACES REQUIRED

**PER 11B-221.6 FOR 704 TOTAL SEATS PROVIDED, 8 SEMI-AMBULANT SEATS ARE REQUIRED

NOTE: ALL WHEELCHAIR SPACES ARE PROVIDED WITH COMPANION SEATS, PER 11B-221.3

FLOOR PLAN LEGEND

- NEW CONSTRUCTION
- NEW CONSTRUCTION 1-HR WALL
- NEW SHOTCRETE WALL, SSD
- NEW POURED CONCRETE STEM WALL, SSD
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING MASONRY CONSTRUCTION TO REMAIN
- DOOR NUMBER
- DOORS TO RECEIVE ACOUSTICAL GASKETING

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

ROOF PLAN

ISSUANCE
HSPB SUBMITTAL

01/27/23

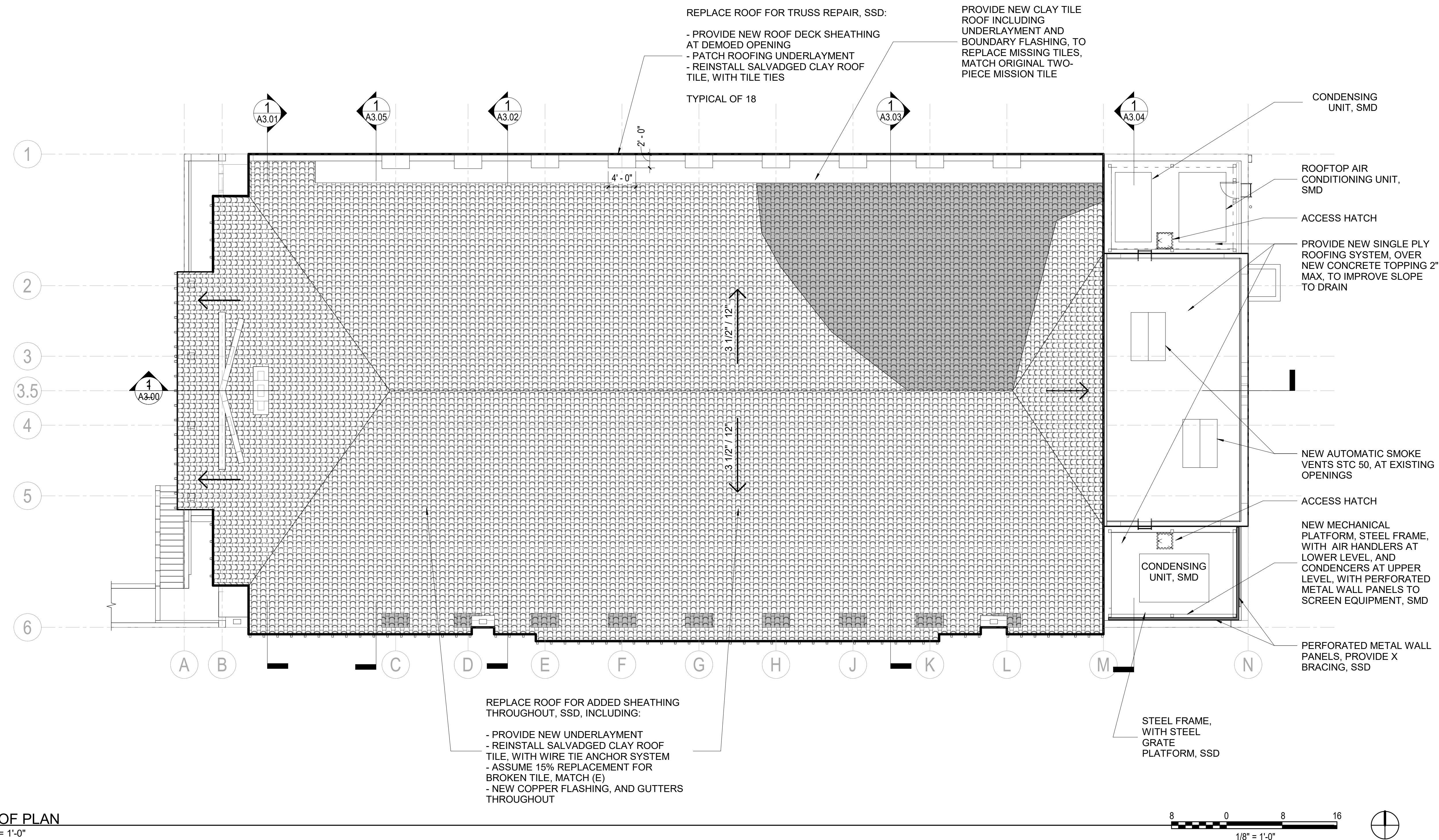
PROJ. NO.
220602

DRAWN
BT/MGB

CHECKED
JC/SD/NOM

DRAWING NO.

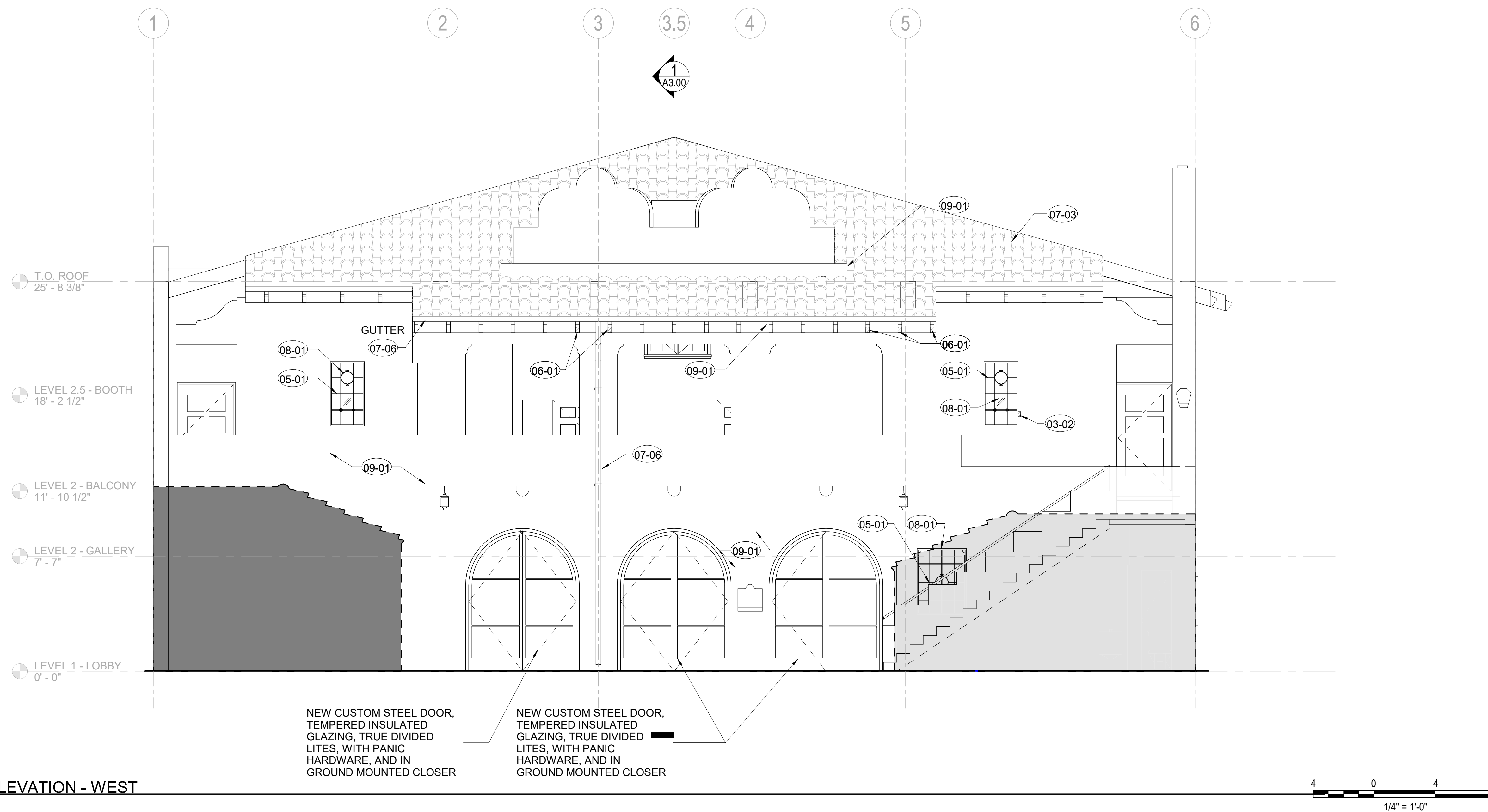
A1.04



ROOF PLAN GENERAL NOTES

ROOF PLAN LEGEND

- ROOF DRAIN AND OVERFLOW
- ROOF DRAIN
- (N) CLAY TILE ROOF
- STRUCTURAL REPAIR AREA
- REPLACE (E) SALVAGED ROOF TILE



1 EXTERIOR ELEVATION - WEST
A2.00 1/4" = 1'-0"

SHEET KEYNOTES

03-02	CONCRETE PATCH REPAIR	08-01	REPAIR STEEL WINDOW
05-01	REPAIR AND REPAINT (E) METALWORK (GRILLE, RAILING, ETC.)	09-01	CLEAN, PREPARE AND REPAINT SURFACES
06-01	WOOD EPOXY PATCH REPAIR		
07-03	REPAIR (E) CLAY TILE ROOF, SEE NOTES ON ROOF PLAN		
07-06	REPAIR AND REPAINT (E) DRAINAGE SYSTEM		

EXTERIOR ELEVATION GENERAL NOTES

- SUBMIT REPAIR SCHEDULE FOR ARCHITECT'S REVIEW INDICATING REPAIR LOCATIONS AND QUANTITIES PRIOR TO START OF WORK. (COORDINATE WITH ALLOWANCES AND UNIT PRICES)

EXTERIOR CONCRETE AND CMU MASONRY:

- REMOVE VEGETATION WHERE NOTED.
- CLEAN AND PREPARE CONCRETE AND CMU SURFACES FOR REPAINTING.
- REMOVE OBSOLETE OR ABANDONED FASTENERS, WIRING, NAILS, ETC. AND PATCH HOLES.
- ROUT OUT AND FILL CRACKS IN CONCRETE OR CMU UNITS WITH COMPATIBLE CEMENTITIOUS MORTAR AND FINISH TO MATCH SURROUNDING SURFACES.
- SAWCUT AND REPOINT MORTAR JOINTS WHERE DETERIORATED OR MISSING.
- REPAINT CMU MASONRY SURFACES AS SPECIFIED.

EXTERIOR WOOD: (RAFTER TAILS, EXPOSED DECKING AND TRIM)

- CLEAN AND PREPARE WOOD SURFACES FOR REPAINTING.
- REMOVE AREAS OF WOOD DECAY TO SOUND SUBSTRATE, AND TREAT SURFACES WITH A WOOD CONSOLIDANT.
- FILL VOIDS, HOLES, CRACKS, CHECKS OR GAPS WITH AN EPOXY PASTE AND FINISH TO MATCH SURROUNDING SURFACES.
- REMOVE AREAS OF HEAVY WOOD DECAY OR LOSS, AND REPLACE PORTION OF MEMBER WITH WOOD DUTCHMEN TO MATCH.
- REPLACE WOOD MEMBERS WHERE SHOWN ON DRAWINGS WITH NEW TO MATCH.
- REPAINT EXTERIOR SURFACES AS SPECIFIED.

EXTERIOR METALWORK: (RAILINGS, GRILLES, ETC.)

- CLEAN AND PREPARE SURFACES FOR REPAINTING.
- TREAT AREAS OF CORROSION WITH A CORROSION INHIBITOR, AND PRIME.
- INSPECT HARDWARE AND CONNECTIONS. TIGHTEN WHERE LOOSE. REPLACE WHERE DAMAGED OR MISSING.
- REPAINT STEEL SURFACES AS SPECIFIED.

EXTERIOR STEEL WINDOWS:

- EXISTING WINDOW SIZES SHOWN ARE NOMINAL. FIELD VERIFY ACTUAL SIZE.
- CONTRACTOR TO ENSURE PROPER WORKING ORDER AND WEATHERTIGHTNESS.
- CLEAN AND PREPARE SURFACES FOR REPAINTING.
- TREAT AREAS OF CORROSION WITH A CORROSION INHIBITOR, AND PRIME.
- REPLACE BROKEN OR DAMAGED GLASS WHERE NOTED.
- REMOVE CRACKED, LOOSE OR DE-BONDED GLAZING PUTTY AND INFILL WITH NEW PUTTY; MATCH EXISTING PROFILE.
- REPAINT STEEL SURFACES AS SPECIFIED.
- CLEAN AND LUBRICATE (E) HARDWARE.
- INSTALL (N) PERIMETER SEALANT AT JOINT BETWEEN FRAME AND BUILDING WALLS.
- INSTALL (N) WEATHERSTRIPPING.

EXTERIOR ELEVATION LEGEND

	ADJACENT BUILDING, NOT IN SCOPE
--	---------------------------------

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

WEST EXTERIOR ELEVATION

ISSUANCE

HSPB SUBMITTAL

01/27/23

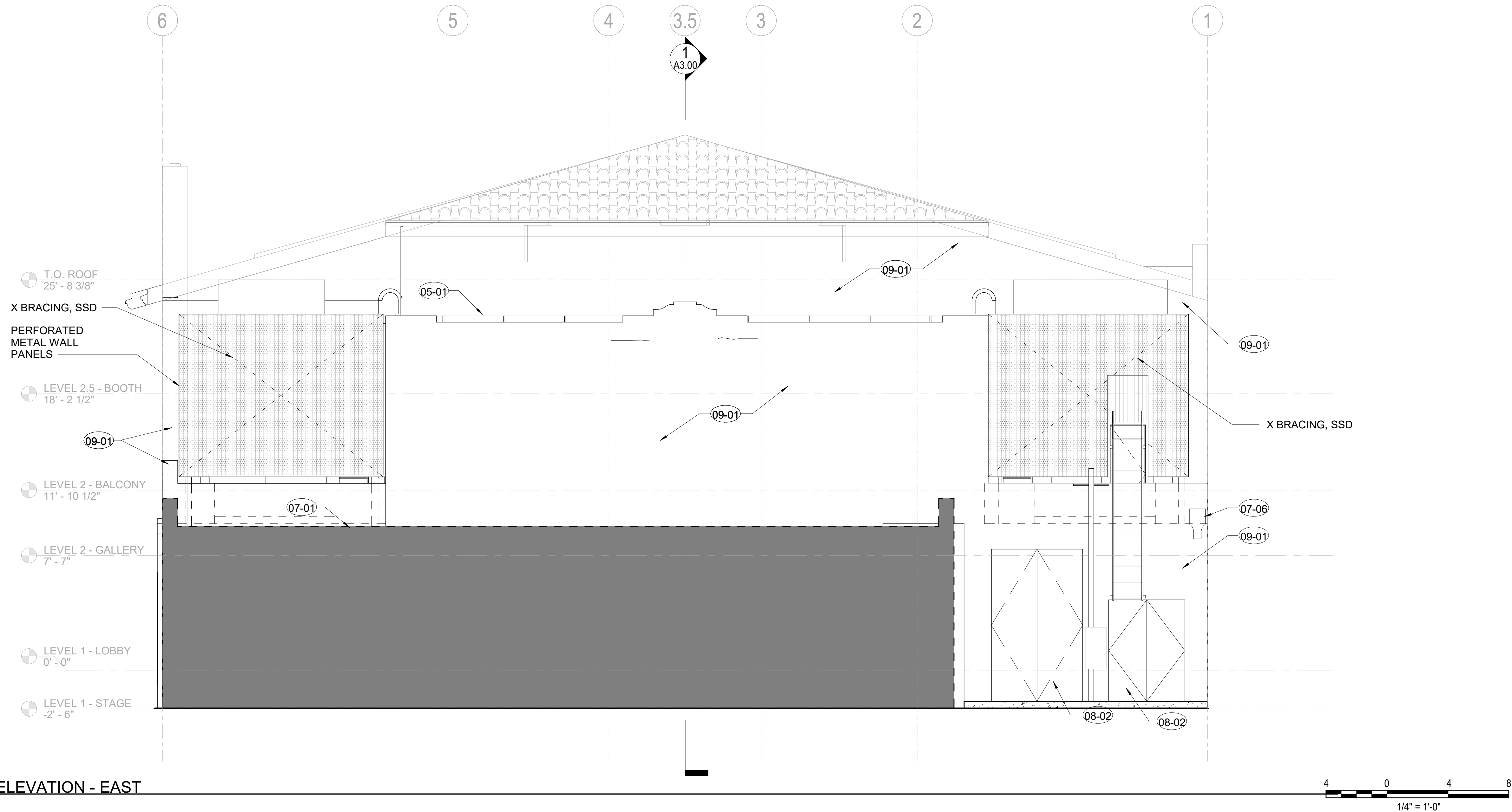
PROJ. NO.
220602

DRAWN
BT/MGB

CHECKED
JC/SD/NOM

DRAWING NO.

A2.00



2 EXTERIOR ELEVATION - EAST
A2.01 1/4" = 1'-0"

SHEET KEYNOTES

- 05-01 REPAIR AND REPAINT (E) METALWORK (GRILLE, RAILING, ETC.)
- 07-01 NEW MEMBRANE ROOF
- 07-06 REPAIR AND REPAINT (E) DRAINAGE SYSTEM
- 08-02 REPAIR HOLLOW METAL DOOR
- 09-01 CLEAN, PREPARE AND REPAINT SURFACES

EXTERIOR ELEVATION GENERAL NOTES

1. SUBMIT REPAIR SCHEDULE FOR ARCHITECT'S REVIEW INDICATING REPAIR LOCATIONS AND QUANTITIES PRIOR TO START OF WORK. (COORDINATE WITH ALLOWANCES AND UNIT PRICES)

EXTERIOR CONCRETE AND CMU MASONRY:

1. REMOVE VEGETATION WHERE NOTED.
2. CLEAN AND PREPARE CONCRETE AND CMU SURFACES FOR REPAINTING.
3. REMOVE OBSOLETE OR ABANDONED FASTENERS, WIRING, NAILS, ETC. AND PATCH HOLES.
4. ROUT OUT AND FILL CRACKS IN CONCRETE OR CMU UNITS WITH COMPATIBLE CEMENTITIOUS MORTAR AND FINISH TO MATCH SURROUNDING SURFACES.
5. SAWCUT AND REPOINT MORTAR JOINTS WHERE DETERIORATED OR MISSING.
6. REPAINT CMU MASONRY SURFACES AS SPECIFIED.

EXTERIOR WOOD: (RAFTER TAILS, EXPOSED DECKING AND TRIM)

1. CLEAN AND PREPARE WOOD SURFACES FOR REPAINTING.
2. REMOVE AREAS OF WOOD DECAY TO SOUND SUBSTRATE, AND TREAT SURFACES WITH A WOOD CONSOLIDANT.
3. FILL VOIDS, HOLES, CRACKS, CHECKS OR GAPS WITH AN EPOXY PASTE AND FINISH TO MATCH SURROUNDING SURFACES.
4. REMOVE AREAS OF HEAVY WOOD DECAY OR LOSS, AND REPLACE PORTION OF MEMBER WITH WOOD DUTCHMEN TO MATCH.
5. REPLACE WOOD MEMBERS WHERE SHOWN ON DRAWINGS WITH NEW TO MATCH.
6. REPAINT EXTERIOR SURFACES AS SPECIFIED.

EXTERIOR METALWORK: (RAILINGS, GRILLES, ETC.)

1. CLEAN AND PREPARE SURFACES FOR REPAINTING.
2. TREAT AREAS OF CORROSION WITH A CORROSION INHIBITOR, AND PRIME.
3. INSPECT HARDWARE AND CONNECTIONS. TIGHTEN WHERE LOOSE. REPLACE WHERE DAMAGED OR MISSING.
4. REPAINT STEEL SURFACES AS SPECIFIED.

EXTERIOR STEEL WINDOWS:

1. EXISTING WINDOW SIZES SHOWN ARE NOMINAL. FIELD VERIFY ACTUAL SIZE.
2. CONTRACTOR TO ENSURE PROPER WORKING ORDER AND WEATHERTIGHTNESS.
3. CLEAN AND PREPARE SURFACES FOR REPAINTING.
4. TREAT AREAS OF CORROSION WITH A CORROSION INHIBITOR, AND PRIME.
5. REPLACE BROKEN OR DAMAGED GLASS WHERE NOTED.
6. REMOVE CRACKED, LOOSE OR DE-BONDED GLAZING PUTTY AND INFILL WITH NEW PUTTY; MATCH EXISTING PROFILE.
7. REPAINT STEEL SURFACES AS SPECIFIED.
8. CLEAN AND LUBRICATE (E) HARDWARE.
9. INSTALL (N) PERIMETER SEALANT AT JOINT BETWEEN FRAME AND BUILDING WALLS.
10. INSTALL (N) WEATHERSTRIPPING.

EXTERIOR ELEVATION LEGEND

- ADJACENT BUILDING, NOT IN SCOPE

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

EAST EXTERIOR ELEVATION

ISSUANCE

HSPB SUBMITTAL

01/27/23

PROJ. NO.

220602

DRAWN

BT/MGB

CHECKED

JC/SD/NOM

DRAWING NO.

A2.01

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
 128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

SOUTH EXTERIOR ELEVATION

ISSUANCE
 HSPB SUBMITTAL

01/27/23

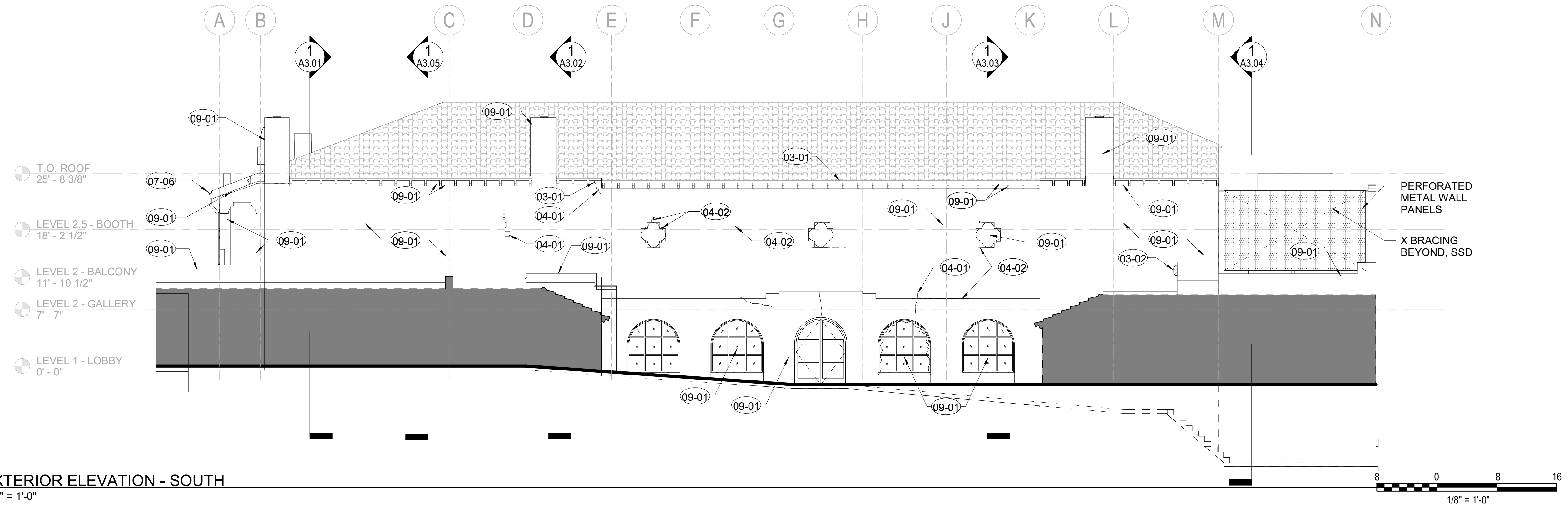
PROJ. NO.
 220602

DRAWN
 BT/MGB

CHECKED
 JC/SD/NOM

DRAWING NO.

A2.02



1 EXTERIOR ELEVATION - SOUTH
 A2.02 1/8" = 1'-0"

SHEET KEYNOTES

03-01	CONCRETE CRACK REPAIR	09-01	CLEAN, PREPARE AND REPAINT SURFACES
03-02	CONCRETE PATCH REPAIR		
04-01	UNIT MASONRY CRACK REPAIR		
04-02	UNIT MASONRY JOINT REPOINTING		
07-06	REPAIR AND REPAINT (E) DRAINAGE SYSTEM		

EXTERIOR ELEVATION GENERAL NOTES

- SUBMIT REPAIR SCHEDULE FOR ARCHITECT'S REVIEW INDICATING REPAIR LOCATIONS AND QUANTITIES PRIOR TO START OF WORK. (COORDINATE WITH ALLOWANCES AND UNIT PRICES)

EXTERIOR CONCRETE AND CMU MASONRY:

- REMOVE VEGETATION WHERE NOTED.
- CLEAN AND PREPARE CONCRETE AND CMU SURFACES FOR REPAINTING.
- REMOVE OBSOLETE OR ABANDONED FASTENERS, WIRING, NAILS, ETC. AND PATCH HOLES.
- ROUT OUT AND FILL CRACKS IN CONCRETE OR CMU UNITS WITH COMPATIBLE CEMENTITIOUS MORTAR AND FINISH TO MATCH SURROUNDING SURFACES.
- SAWCUT AND REPOINT MORTAR JOINTS WHERE DETERIORATED OR MISSING.
- REPAINT CMU MASONRY SURFACES AS SPECIFIED.

EXTERIOR WOOD: (RAFTER TAILS, EXPOSED DECKING AND TRIM)

- CLEAN AND PREPARE WOOD SURFACES FOR REPAINTING.
- REMOVE AREAS OF WOOD DECAY TO SOUND SUBSTRATE, AND TREAT SURFACES WITH A WOOD CONSOLIDANT.
- FILL VOIDS, HOLES, CRACKS, CHECKS OR GAPS WITH AN EPOXY PASTE AND FINISH TO MATCH SURROUNDING SURFACES.
- REMOVE AREAS OF HEAVY WOOD DECAY OR LOSS, AND REPLACE PORTION OF MEMBER WITH WOOD DUTCHMEN TO MATCH.
- REPLACE WOOD MEMBERS WHERE SHOWN ON DRAWINGS WITH NEW TO MATCH.
- REPAINT EXTERIOR SURFACES AS SPECIFIED.

EXTERIOR METALWORK: (RAILINGS, GRILLES, ETC.)

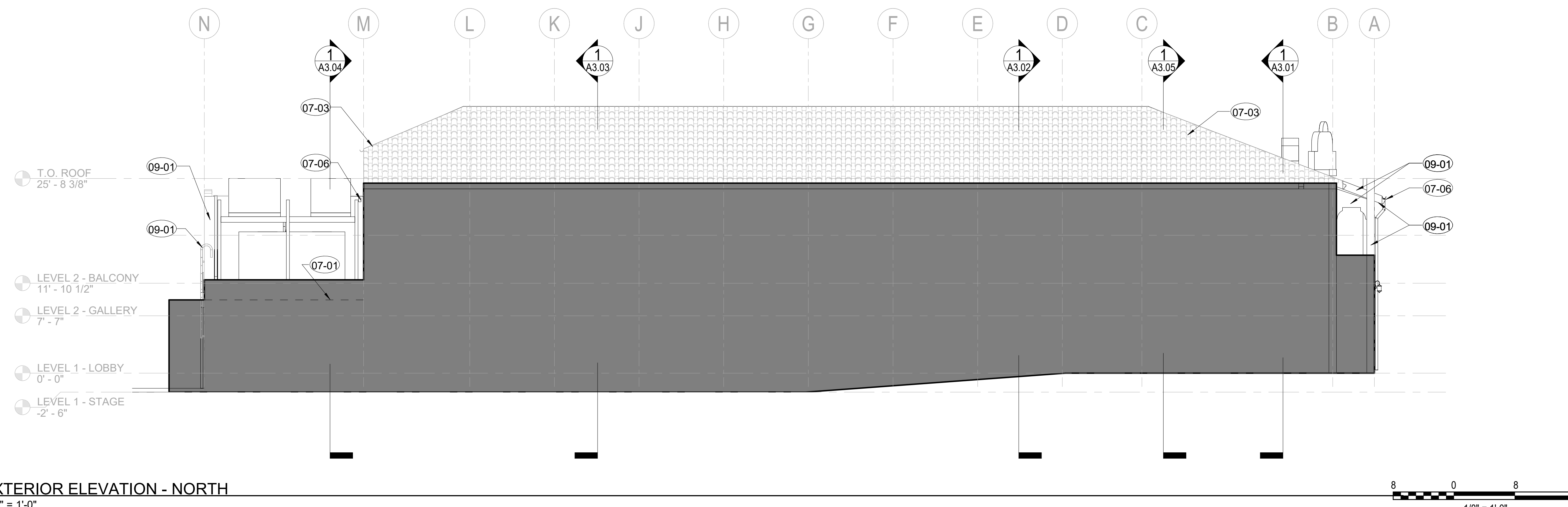
- CLEAN AND PREPARE SURFACES FOR REPAINTING.
- TREAT AREAS OF CORROSION WITH A CORROSION INHIBITOR, AND PRIME.
- INSPECT HARDWARE AND CONNECTIONS. TIGHTEN WHERE LOOSE. REPLACE WHERE DAMAGED OR MISSING.
- REPAINT STEEL SURFACES AS SPECIFIED.

EXTERIOR STEEL WINDOWS:

- EXISTING WINDOW SIZES SHOWN ARE NOMINAL. FIELD VERIFY ACTUAL SIZE.
- CONTRACTOR TO ENSURE PROPER WORKING ORDER AND WEATHERTIGHTNESS.
- CLEAN AND PREPARE SURFACES FOR REPAINTING.
- TREAT AREAS OF CORROSION WITH A CORROSION INHIBITOR, AND PRIME.
- REPLACE BROKEN OR DAMAGED GLASS WHERE NOTED.
- REMOVE CRACKED, LOOSE OR DE-BONDED GLAZING PUTTY AND INFILL WITH NEW PUTTY; MATCH EXISTING PROFILE.
- REPAINT STEEL SURFACES AS SPECIFIED.
- CLEAN AND LUBRICATE (E) HARDWARE.
- INSTALL (N) PERIMETER SEALANT AT JOINT BETWEEN FRAME AND BUILDING WALLS.
- INSTALL (N) WEATHERSTRIPPING.

EXTERIOR ELEVATION LEGEND

	ADJACENT BUILDING,
	NOT IN SCOPE



1 EXTERIOR ELEVATION - NORTH
A2.03 1/8" = 1'-0"

SHEET KEYNOTES

- 07-01 NEW MEMBRANE ROOF
- 07-03 REPAIR (E) CLAY TILE ROOF, SEE NOTES ON ROOF PLAN
- 07-06 REPAIR AND REPAINT (E) DRAINAGE SYSTEM
- 09-01 CLEAN, PREPARE AND REPAINT SURFACES

EXTERIOR ELEVATION GENERAL NOTES

1. SUBMIT REPAIR SCHEDULE FOR ARCHITECT'S REVIEW INDICATING REPAIR LOCATIONS AND QUANTITIES PRIOR TO START OF WORK. (COORDINATE WITH ALLOWANCES AND UNIT PRICES)
- EXTERIOR CONCRETE AND CMU MASONRY:**
1. REMOVE VEGETATION WHERE NOTED.
 2. CLEAN AND PREPARE CONCRETE AND CMU SURFACES FOR REPAINTING.
 3. REMOVE OBSOLETE OR ABANDONED FASTENERS, WIRING, NAILS, ETC. AND PATCH HOLES
 4. ROUT OUT AND FILL CRACKS IN CONCRETE OR CMU UNITS WITH COMPATIBLE CEMENTITIOUS MORTAR AND FINISH TO MATCH SURROUNDING SURFACES.
 5. SAWCUT AND REPOINT MORTAR JOINTS WHERE DETERIORATED OR MISSING.
 6. REPAINT CMU MASONRY SURFACES AS SPECIFIED.
- EXTERIOR WOOD: (RAFTER TAILS, EXPOSED DECKING AND TRIM)**
1. CLEAN AND PREPARE WOOD SURFACES FOR REPAINTING.
 2. REMOVE AREAS OF WOOD DECAY TO SOUND SUBSTRATE, AND TREAT SURFACES WITH A WOOD CONSOLIDANT.
 3. FILL VOIDS, HOLES, CRACKS, CHECKS OR GAPS WITH AN EPOXY PASTE AND FINISH TO MATCH SURROUNDING SURFACES.
 4. REMOVE AREAS OF HEAVY WOOD DECAY OR LOSS, AND REPLACE PORTION OF MEMBER WITH WOOD DUTCHMEN TO MATCH.
 5. REPLACE WOOD MEMBERS WHERE SHOWN ON DRAWINGS WITH NEW TO MATCH.
 6. REPAINT EXTERIOR SURFACES AS SPECIFIED.
- EXTERIOR METALWORK: (RAILINGS, GRILLES, ETC.)**
1. CLEAN AND PREPARE SURFACES FOR REPAINTING.
 2. TREAT AREAS OF CORROSION WITH A CORROSION INHIBITOR, AND PRIME.
 3. INSPECT HARDWARE AND CONNECTIONS. TIGHTEN WHERE LOOSE. REPLACE WHERE DAMAGED OR MISSING.
 4. REPAINT STEEL SURFACES AS SPECIFIED.

- EXTERIOR STEEL WINDOWS:**
1. EXISTING WINDOW SIZES SHOWN ARE NOMINAL. FIELD VERIFY ACTUAL SIZE.
 2. CONTRACTOR TO ENSURE PROPER WORKING ORDER AND WEATHERTIGHTNESS.
 3. CLEAN AND PREPARE SURFACES FOR REPAINTING.
 4. TREAT AREAS OF CORROSION WITH A CORROSION INHIBITOR, AND PRIME.
 5. REPLACE BROKEN OR DAMAGED GLASS WHERE NOTED.
 6. REMOVE CRACKED, LOOSE OR DE-BONDED GLAZING PUTTY AND INFILL WITH NEW PUTTY; MATCH EXISTING PROFILE.
 7. REPAINT STEEL SURFACES AS SPECIFIED.
 8. CLEAN AND LUBRICATE (E) HARDWARE.
 9. INSTALL (N) PERIMETER SEALANT AT JOINT BETWEEN FRAME AND BUILDING WALLS.
 10. INSTALL (N) WEATHERSTRIPPING.

EXTERIOR ELEVATION LEGEND



NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE
NORTH EXTERIOR ELEVATION

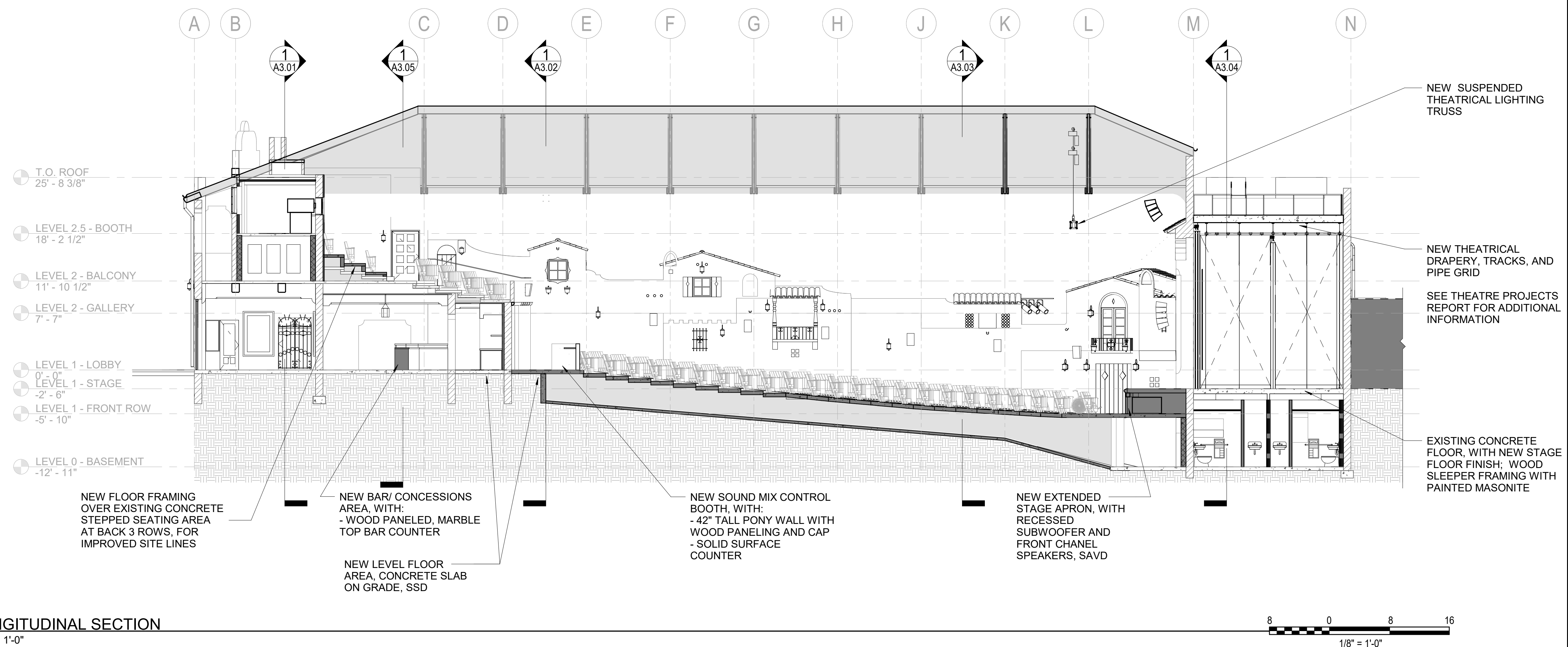
ISSUANCE
HSPB SUBMITTAL
01/27/23

PROJ. NO.
220602

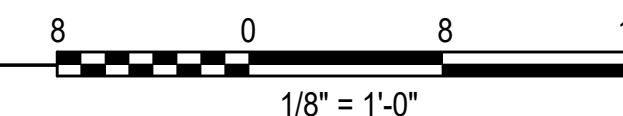
DRAWN
BT/MGB

CHECKED
JC/SD/NOM

DRAWING NO.
A2.03



1 LONGITUDINAL SECTION
 A3.00 1/8" = 1'-0"



GENERAL SECTION NOTES

- SEE INTERIOR ELEVATION SHEETS A5.00 & A5.01 FOR ADDITIONAL INFORMATION AT AUDITORIUM ATMOSPHERIC SIDE WALLS

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
 128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

BUILDING SECTION

ISSUANCE
 HSPB SUBMITTAL

01/27/23

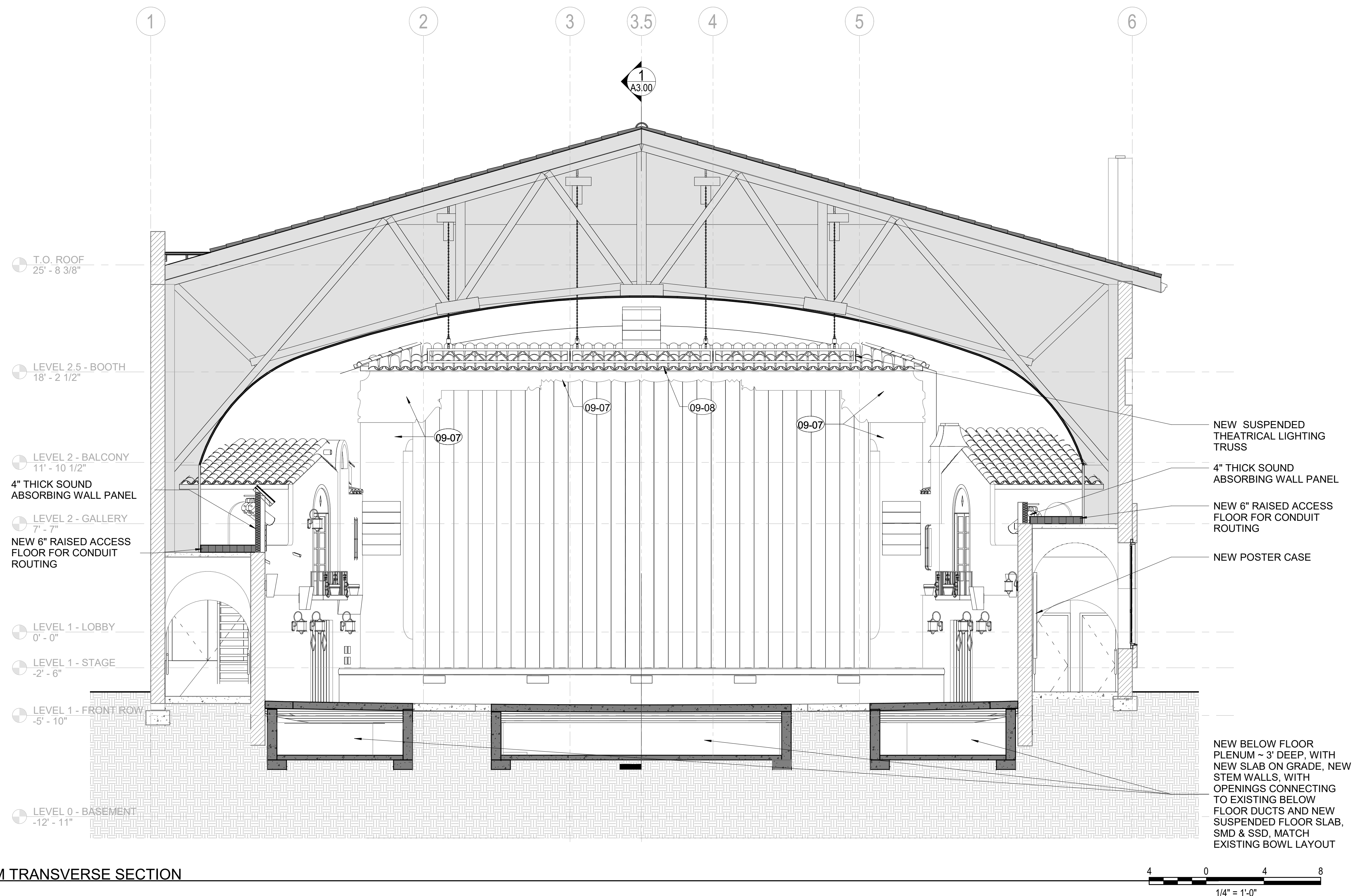
PROJ. NO.
 220602

DRAWN
 BT/MGB

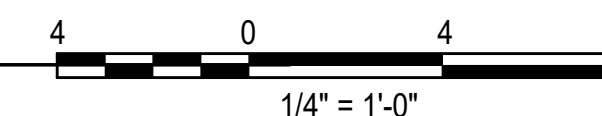
CHECKED
 JC/SD/NOM

DRAWING NO.

A3.00



1 AUDITORIUM TRANSVERSE SECTION
A3.03 1/4" = 1'-0"



GENERAL SECTION NOTES

- CAREFULLY REMOVE (E) NON-ORIGINAL FURRING, INCLUDING WOOD FRAMING AND PLASTER FINISH SURROUNDING PROSCENIUM. SEE DEMO ELEVATION SHT. AD3.03.
- PROTECT (E) HISTORIC DECORATIVELY PAINTED CONCRETE PROSCENIUM BELOW.
- PERFORM A VISUAL INSPECTION OF CONCRETE SURFACES, AND NOTIFY ARCHITECT OF ANY DAMAGE.
- SUBMIT REPAIR SCHEDULE FOR ARCHITECT'S REVIEW INDICATING REPAIR LOCATIONS AND QUANTITIES PRIOR TO START OF WORK. (COORDINATE WITH ALLOWANCES AND UNIT PRICES).
- SEE INTERIOR ELEVATION SHEETS A5.00 & A5.01 FOR ADDITIONAL INFORMATION AT AUDITORIUM ATMOSPHERIC SIDE WALLS

DECORATIVELY PAINTED (STENCILED) CONCRETE PROSCENIUM:

- BRUSH/VACUUM CLEAN TO REMOVE SURFACE SOILING.
- CLEAN SURFACES AS SPECIFIED TO REMOVE STAINS, EFFLORESCENCE, NICOTINE, ETC. (CLEANING TO BE DETERMINED IN NEXT PHASE BY CONSERVATOR TESTING. LIKELY TO INCLUDE AQUEOUS AND/OR DETERGENT CLEANING BY HAND.)
- REMOVE OBSOLETE OR ABANDONED FASTENERS, WIRING, NAILS, ETC.
- PATCH LOSS AREAS AS SPECIFIED W/ A COMPATIBLE REPAIR MORTAR. FORM & FINISH PATCHES TO MATCH SURROUNDING SURFACES.
- IN-PAINT AT AREAS OF PAINT LOSS OR REPAIR TO MATCH (E) DECORATIVE SCHEME.

SHEET KEYNOTES

- | | |
|-------|-------------------------------------|
| 09-07 | CLEAN AND TOUCH-UP DECORATIVE PAINT |
| 09-08 | CLEAN INTERIOR DECORATIVE ROOF TILE |

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

BUILDING SECTION

ISSUANCE

HSPB SUBMITTAL

01/27/23

PROJ. NO.

220602

DRAWN

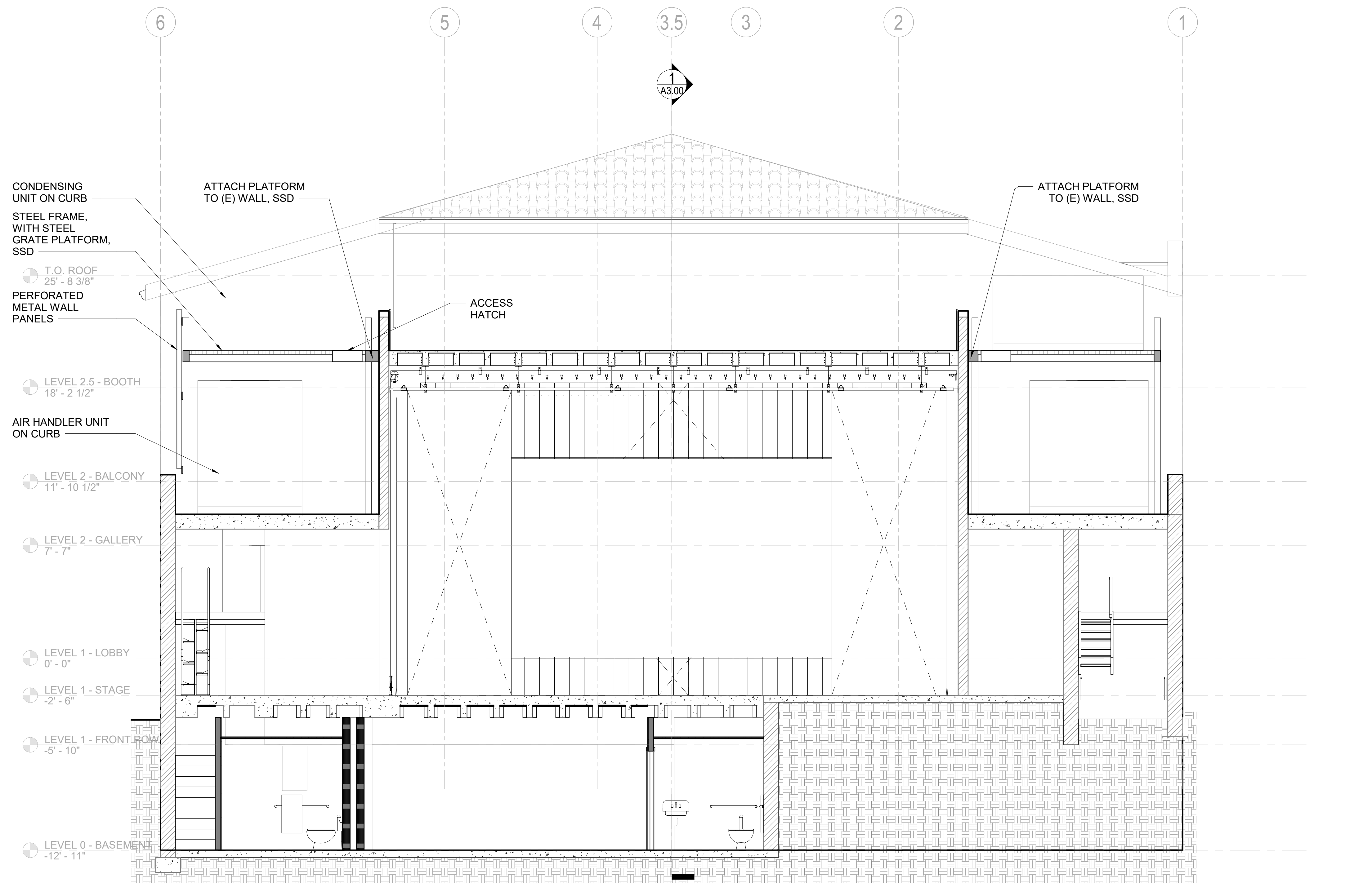
BT/MGB

CHECKED

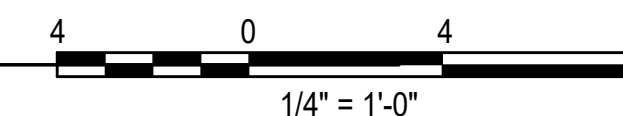
JC/SD/NOM

DRAWING NO.

A3.03



1 STAGE TRANSVERSE SECTION
 A3.04 1/4" = 1'-0"



GENERAL SECTION NOTES

SHEET KEYNOTES

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
 128 S Palm Canyon Dr, Palm Springs, CA 92262

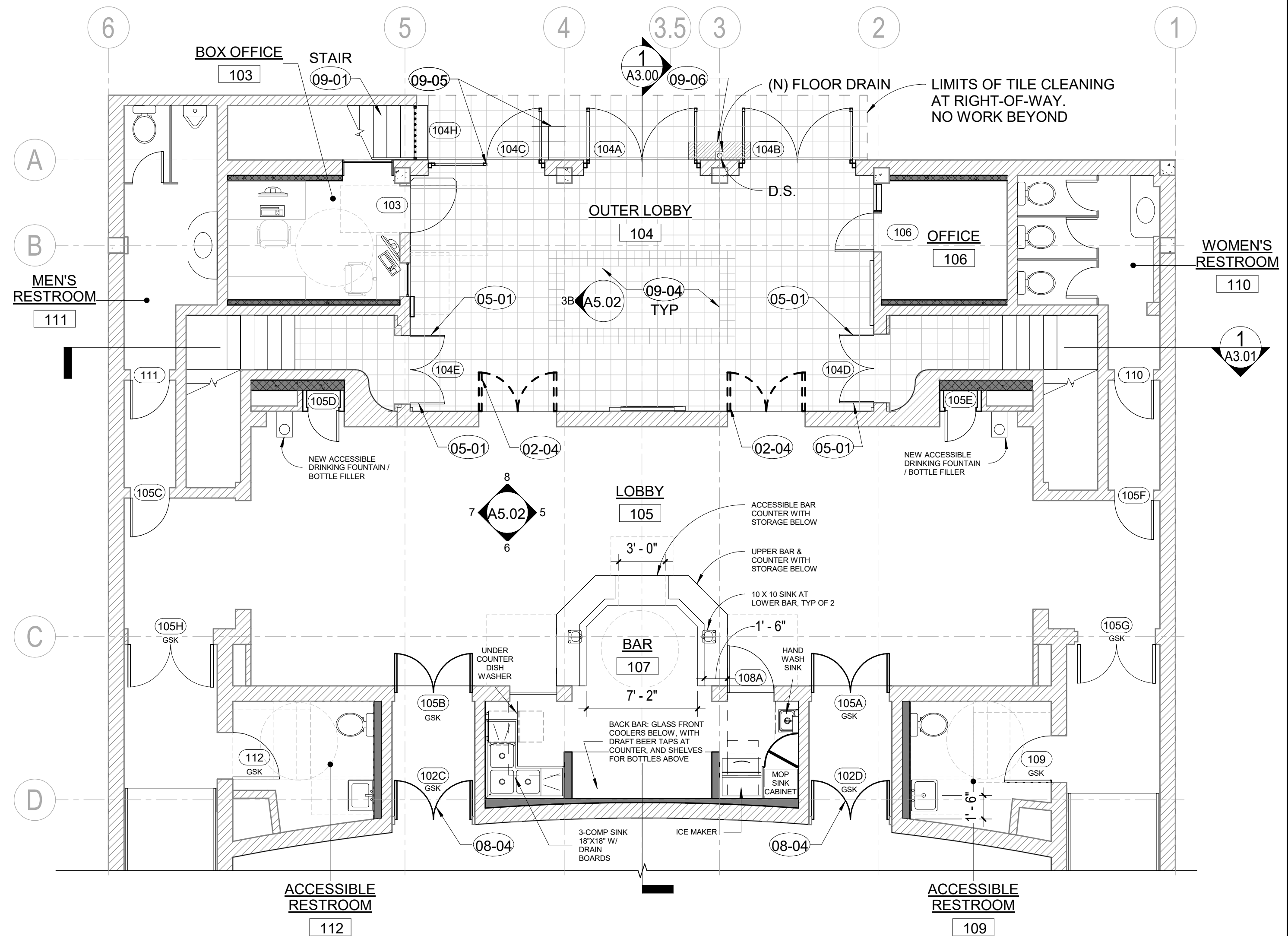
SHEET TITLE
 BUILDING SECTION

ISSUANCE
 HSPB SUBMITTAL
 01/27/23

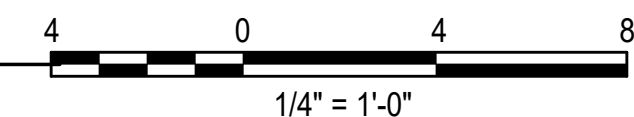
PROJ. NO.
 220602
 DRAWN
 BT/MGB

CHECKED
 JC/SD/NOM

DRAWING NO.
A3.04



1 ENLARGED PLAN - LOBBY
 A4.00 3/16" = 1'-0"



SHEET KEYNOTES

02-04	SALVAGE (E) DOORS FOR REUSE	09-05	RE-GROUT TILE JOINTS
05-01	REPAIR AND REPAINT (E) METALWORK (GRILLE, RAILING, ETC.)	09-06	REPLACE DAMAGED TILE W/NEW TO MATCH
08-04	REPAIR AND REINSTALL SALVAGED DOORS		
09-01	CLEAN, PREPARE AND REPAINT SURFACES		
09-04	CLEAN TILE AND GROUT SURFACES		

ENLARGED PLAN GENERAL NOTES

FLOOR PLAN LEGEND

	NEW CONSTRUCTION
	NEW CONSTRUCTION 1-HR WALL
	NEW SHOTCRETE WALL, SSD
	NEW POURED CONCRETE STEM WALL, SSD
	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING MASONRY CONSTRUCTION TO REMAIN
	DOOR NUMBER
	DOORS TO RECEIVE ACOUSTICAL GASKETING

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
 128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE
 ENLARGED PLAN - LOBBY

ISSUANCE
 HSPB SUBMITTAL
 01/27/23

PROJ. NO.
 220602
 DRAWN
 BT/MGB
 CHECKED
 JC/SD/NOM

DRAWING NO.
A4.00

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

ENLARGED PLAN - LOBBY RCP

ISSUANCE
HSPB SUBMITTAL

01/27/23

PROJ. NO.
220602

DRAWN
BT/MGB

CHECKED
JC/SD/NOM

DRAWING NO.

A4.01



7 LOBBY DECORATIVE CLG



4 OUTER LOBBY CLG & BEAM



6 LOBBY DECORATIVE CLG 2



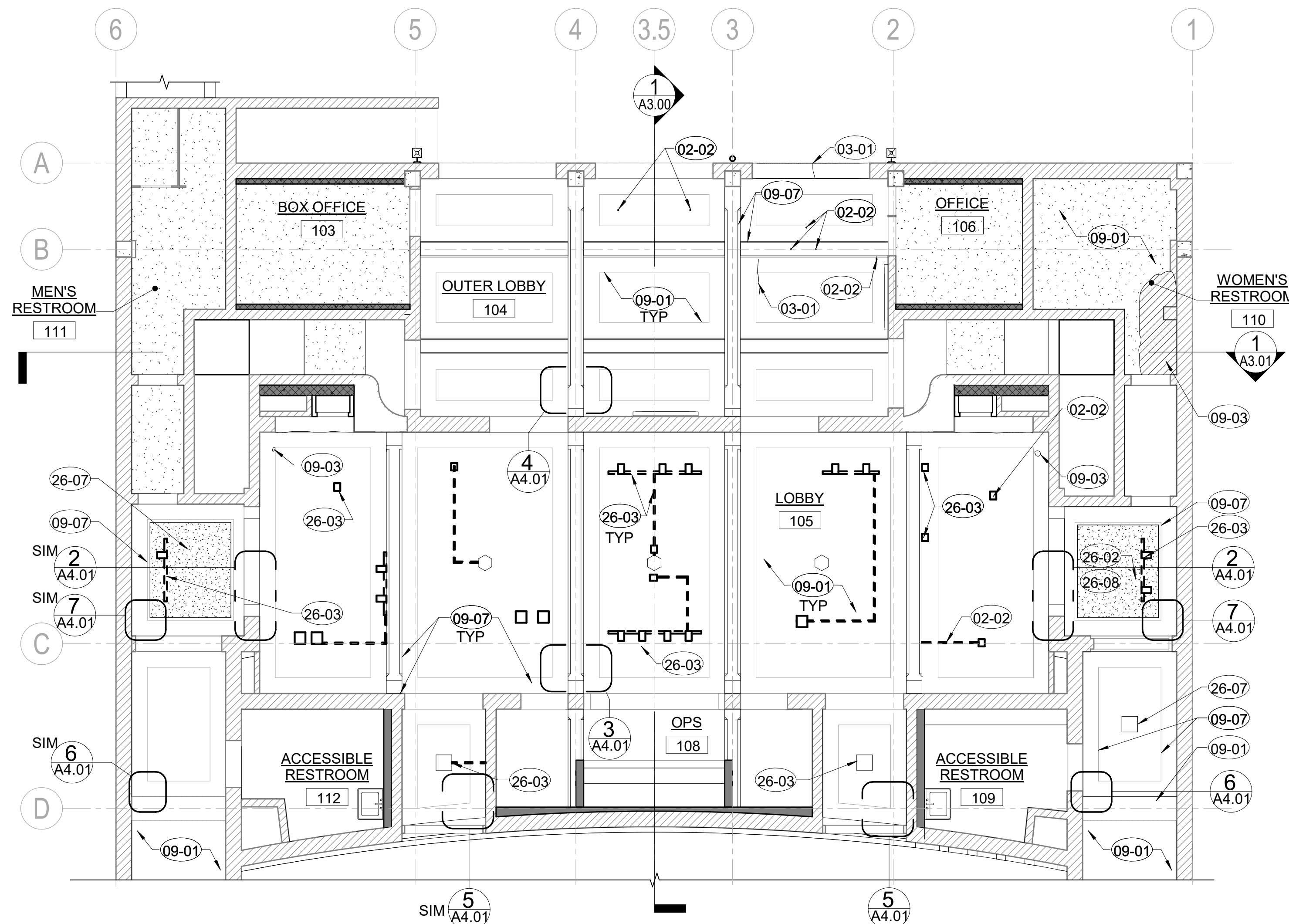
3 LOBBY DECORATIVE CLG & BEAM



5 SOUND & LIGHT LOCK DECORATIVE CLG

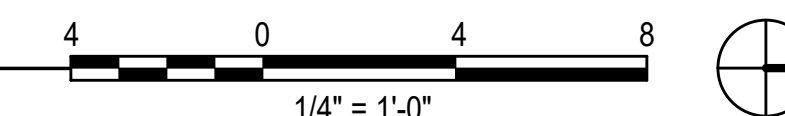


2 LOBBY DECORATIVE BEAM



1 REFLECTED CEILING PLAN - LOBBY

3/16" = 1'-0"



- 02-02 REMOVE OBSOLETE OR ABANDONED FASTENERS, HARDWARE, ETC. AND PATCH HOLES
- 03-01 CONCRETE CRACK REPAIR
- 09-01 CLEAN, PREPARE AND REPAINT SURFACES
- 09-03 PLASTER PATCH REPAIR
- 09-07 CLEAN AND TOUCH-UP DECORATIVE PAINT
- 26-02 NEW LIGHT FIXTURE
- 26-03 DEMO (E) LIGHT FIXTURE
- 26-07 REPLACE LIGHT FIXTURE, COORDINATE WITH LIGHTING
- 26-08 DEMO EXISTING LIGHT FIXTURE AND INSTALL NEW, COORDINATE WITH LIGHTING

REFLECTED CEILING PLAN GENERAL NOTES

- DECORATIVELY PAINTED (STENCILED) CEILING BORDERS AND CONCRETE BEAMS:**
- BRUSH/VACUUM CLEAN TO REMOVE SURFACE SOILING.
 - CLEAN SURFACES AS SPECIFIED TO REMOVE STAINS, EFFLORESCENCE, NICOTINE, ETC. (CLEANING TO BE DETERMINED IN NEXT PHASE BY CONSERVATOR TESTING. LIKELY TO INCLUDE AQUEOUS AND/OR DETERGENT CLEANING BY HAND.)
 - REMOVE OBSOLETE OR ABANDONED FASTENERS, WIRING, NAILS, ETC.
 - PATCH LOSS AREAS AS SPECIFIED W/ A COMPATIBLE REPAIR MORTAR. FORM & FINISH PATCHES TO MATCH SURROUNDING SURFACES.
 - IN-PAINT AT AREAS OF PAINT LOSS OR REPAIR TO MATCH (E) DECORATIVE SCHEME.

- PLASTER CEILINGS (SINGLE COLOR):**
- VACUUM CLEAN AND PREPARE SURFACES FOR REPAINTING
 - REMOVE OBSOLETE OR ABANDONED FASTENERS, WIRING, NAILS, ETC.
 - PATCH LOSS AREAS AS SPECIFIED W/ A COMPATIBLE REPAIR MORTAR. FORM & FINISH PATCHES TO MATCH SURROUNDING SURFACES.
 - REPAINT PLASTER SURFACES AS SPECIFIED.

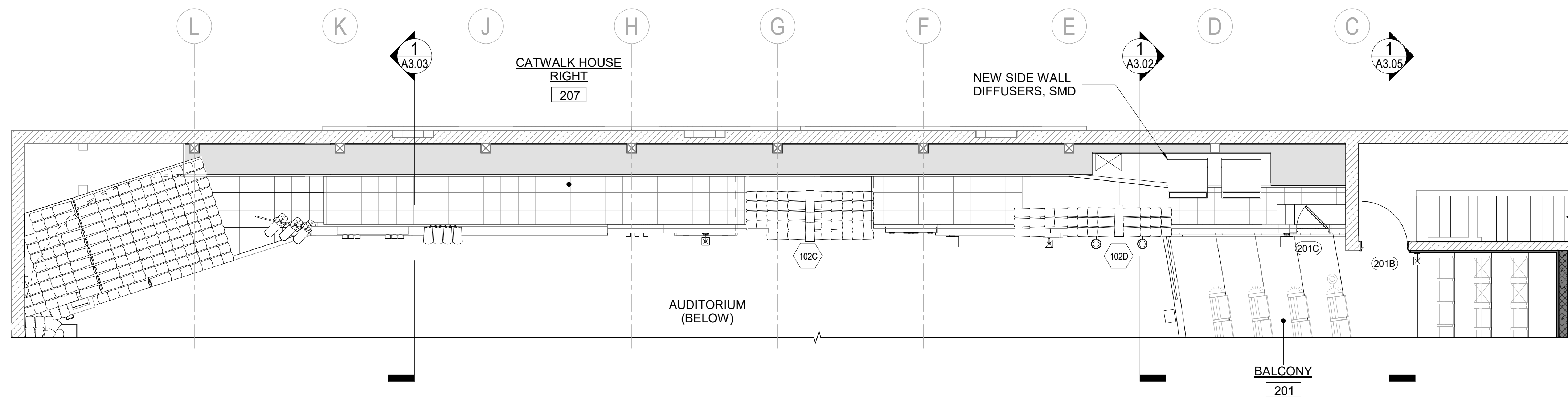
SHEET KEYNOTES

RCP LEGEND

- NEW SUSPENDED GYP. BD CEILING, PAINTED
- NEW SUSPENDED PLASTER FINISH CEILING. MATCH TEXTURE FINISH AND PAINT COLOR
- (E) CEILING TO REMAIN.

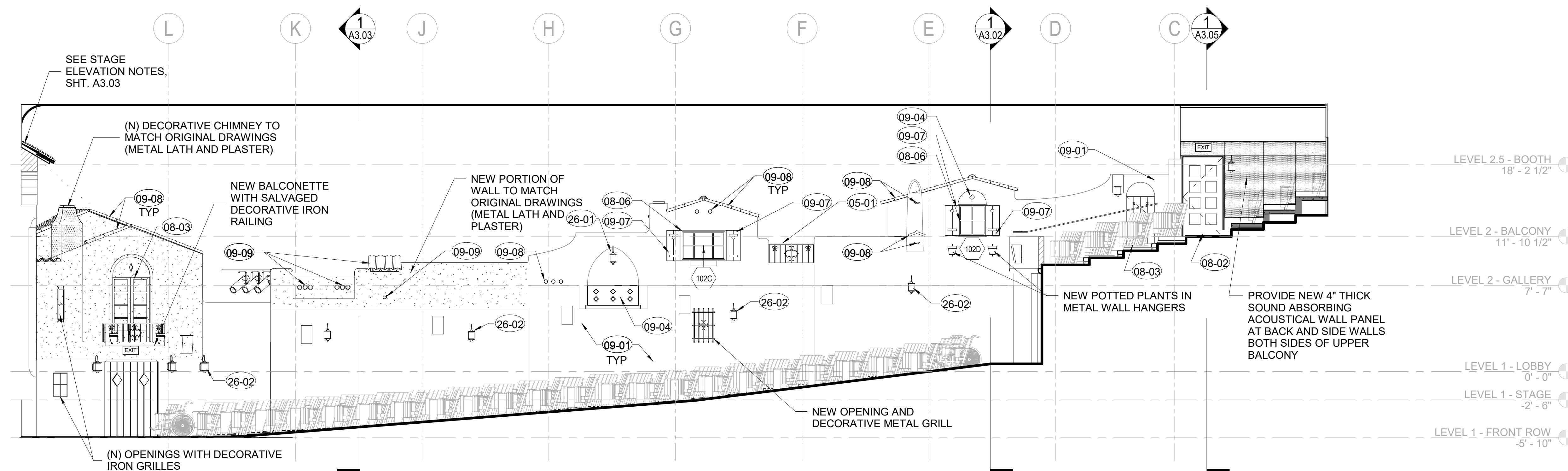
SHEET KEYNOTES

- 05-01 REPAIR AND REPAINT (E) METALWORK (GRILLE, RAILING, ETC.)
- 08-02 REPAIR HOLLOW METAL DOOR
- 08-03 REPAIR WOOD DOOR
- 08-06 REPAIR WOOD WINDOW
- 09-01 CLEAN, PREPARE AND REPAINT SURFACES
- 09-04 CLEAN TILE AND GROUT SURFACES
- 09-07 CLEAN AND TOUCH-UP DECORATIVE PAINT
- 09-08 CLEAN INTERIOR DECORATIVE ROOF TILE
- 09-09 NEW DECORATIVE ROOF TILE
- 26-01 CLEAN AND REPAIR (E) LIGHT FIXTURE
- 26-02 NEW LIGHT FIXTURE



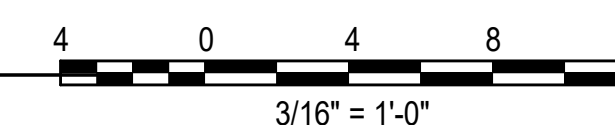
2 HOUSE LEFT CATWALK ROOF PLAN

A5.00 3/16" = 1'-0"



1 INTERIOR ELEVATION - AUDITORIUM - SOUTH

A5.00 3/16" = 1'-0"



INTERIOR ELEVATION GENERAL NOTES

INTERIOR PLASTER:

1. VACUUM CLEAN AND PREPARE SURFACES FOR REPAINTING.
2. REMOVE OBSOLETE OR ABANDONED FASTENERS, WIRING, NAILS, ETC. AND PATCH HOLES
3. ROUT OUT AND FILL CRACKS WHERE NOTED AND ANY OTHER CRACKS AT FACADES THAT ARE 1/8-INCH OR WIDER. FILL AS SPECIFIED WITH A COMPATIBLE CEMENTITIOUS REPAIR MORTAR AND FINISH FLUSH WITH SURROUNDING SURFACES
4. CHIP AWAY AND REMOVE LOOSE OR UNSOUND MATERIAL TO SOUND SUBSTRATES & PREPARE FOR PATCHING.
5. IF (E) EMBEDDED REINFORCEMENT IS EXPOSED, PREPARE SURFACES & TREAT REBAR W/ A CORROSION INHIBITOR PRIOR TO PATCHING.
6. PATCH LOSS AREAS AS SPECIFIED W/ A COMPATIBLE REPAIR MORTAR. FORM & FINISH PATCHES TO MATCH SURROUNDING SURFACES.
7. REPAINT PLASTER SURFACES AS SPECIFIED.

INTERIOR/EXTERIOR QUARRY TILE FLOORS:

1. CLEAN TILE AND GROUT SURFACES AS SPECIFIED.
2. SAWCUT AND REPLACE GROUT JOINTS WHERE DETERIORATED OR MISSING.
3. REPLACE CRACKED, BROKEN OR OTHERWISE DAMAGED TILE W/NEW TO MATCH.

INTERIOR WOOD DOORS:

1. EXISTING DOOR SIZES SHOWN ARE NOMINAL. FIELD VERIFY ACTUAL SIZE.
2. CONTRACTOR TO ENSURE PROPER WORKING ORDER AND WEATHERTIGHTNESS.
3. CLEAN AND PREPARE SURFACES FOR REPAINTING.
4. REMOVE ALL NAILS, FASTENERS, AND EXTRANEOUS OR OBSOLETE HARDWARE. FILL ALL HOLES IN ASSEMBLY AS REQUIRED PRIOR TO APPLICATION OF FINISH.
5. REMOVE AREAS OF WOOD DECAY AND TREAT WITH A WOOD CONSULTANT. FILL ANY VOIDS, HOLES, CRACKS OR GAPS WITH AN EPOXY PASTE, AND FINISH TO MATCH SURROUNDING SURFACES.

INTERIOR WOOD DOORS (CONT):

6. REPLACE BROKEN OR DAMAGED GLASS WHERE NOTED..
7. REMOVE CRACKED, LOOSE OR DE-BONDED GLAZING PUTTY AND INFILL WITH NEW PUTTY; MATCH EXISTING PROFILE.
8. REPAIR WOOD SURFACES AS SPECIFIED.
9. CLEAN AND LUBRICATE (E) HARDWARE.
10. INSTALL (N) PERIMETER SEALANT AT JOINT BETWEEN FRAME AND BUILDING WALLS.
11. INSTALL (N) ACOUSTICAL GASKETS.

INTERIOR HOLLOW METAL DOORS:

1. EXISTING DOOR SIZES SHOWN ARE NOMINAL. FIELD VERIFY ACTUAL SIZE.
2. CONTRACTOR TO ENSURE PROPER WORKING ORDER.
3. CLEAN AND PREPARE SURFACES FOR REPAINTING.
4. TREAT AREAS OF CORROSION WITH A CORROSION INHIBITOR, AND PRIME.

INTERIOR HOLLOW METAL DOORS (CONT):

5. REPLACE BROKEN OR DAMAGED GLASS WHERE NOTED.
6. REMOVE CRACKED, LOOSE OR DE-BONDED GLAZING PUTTY AND INFILL WITH NEW PUTTY; MATCH EXISTING PROFILE.
7. REPAINT METAL SURFACES AS SPECIFIED.
8. WHERE REQ'D, REPAINT TO MATCH (E) WOOD GRAIN EFFECT.
9. CLEAN AND LUBRICATE (E) HARDWARE.

INTERIOR ELEVATION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- ACOUSTICAL WALL PANELS

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

INTERIOR ELEVATIONS

ISSUANCE

HSPB SUBMITTAL

01/27/23

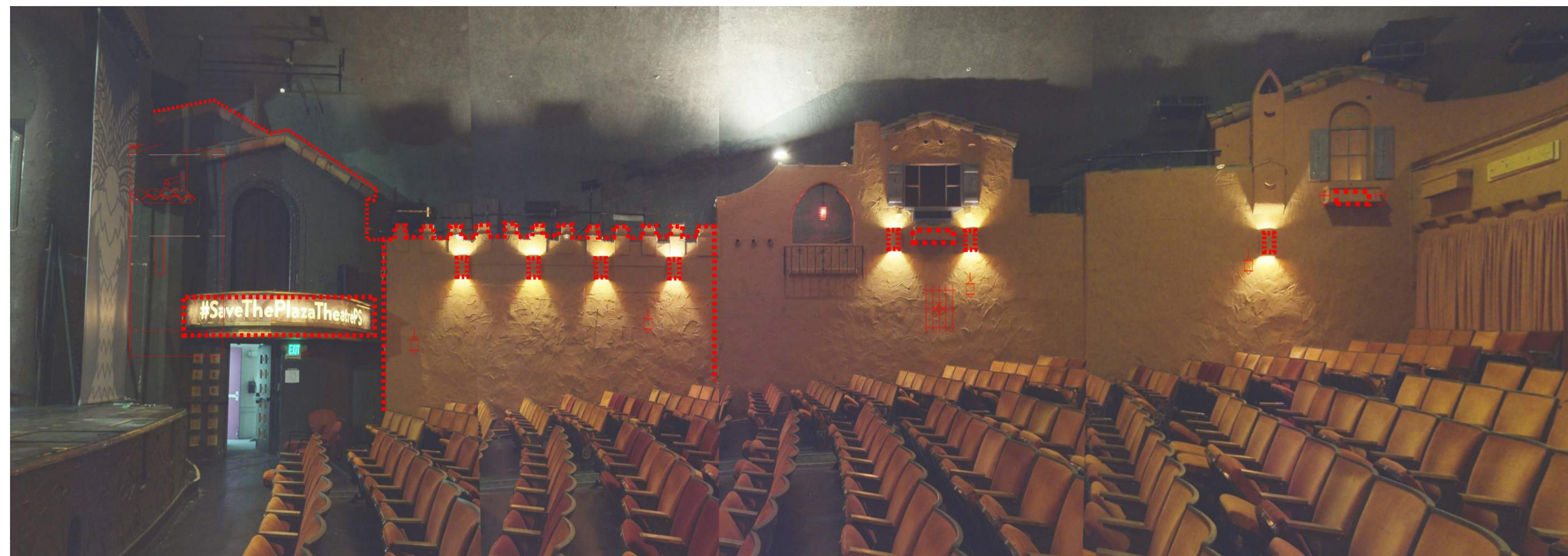
PROJ. NO.
220602

DRAWN
BT/MGB

CHECKED
JC/SD/NOM

DRAWING NO.

A5.00



EXISTING ATMOSPHERIC SIDEWALL CONDITION PHOTO WITH NON-ORIGINAL, AND MISSING ORIGINAL ELEMENTS HIGHLIGHTED

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

INTERIOR COMPARISON

ISSUANCE

HSPB SUBMITTAL

01/27/23

PROJ. NO.

220602

DRAWN

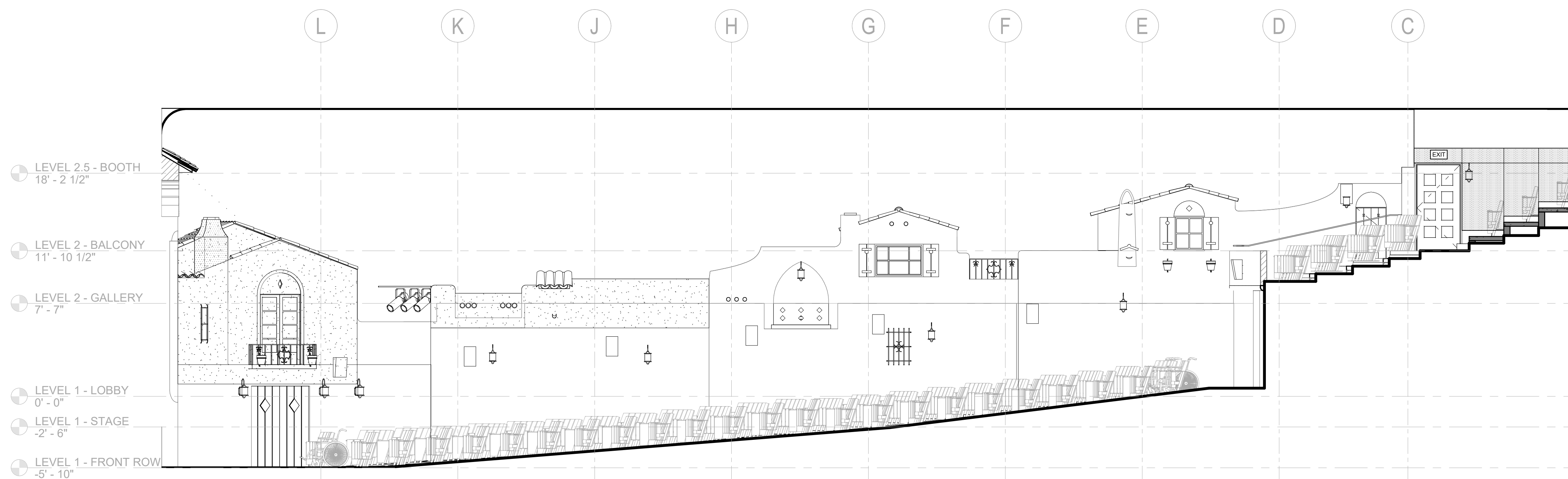
Author

CHECKED

Checker

DRAWING NO.

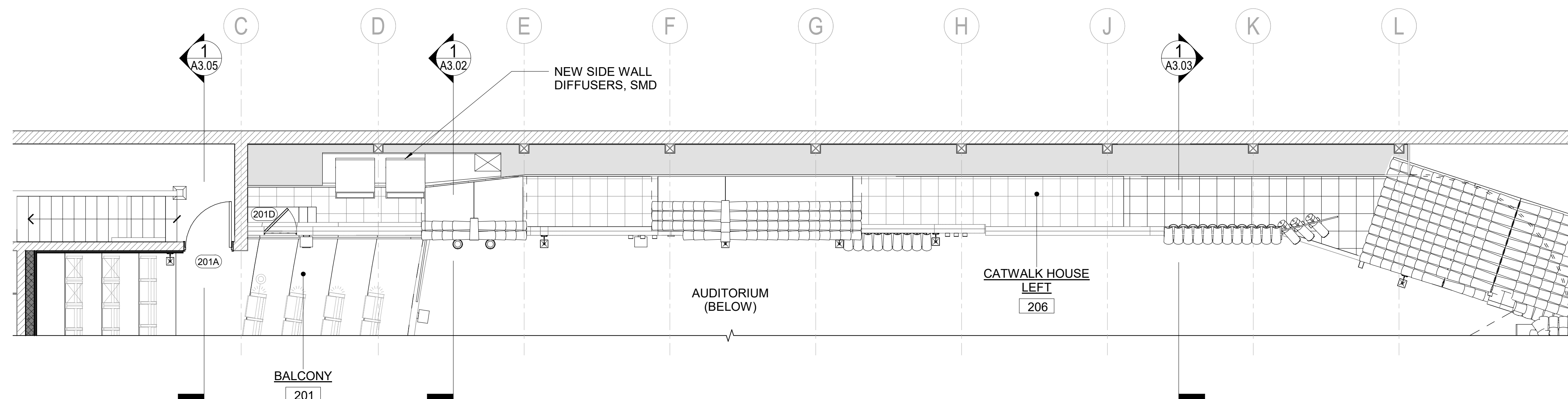
A5.00-A



PROPOSED ATMOSPHERIC SIDEWALL REHABILITATED TO ORIGINAL CONDITION

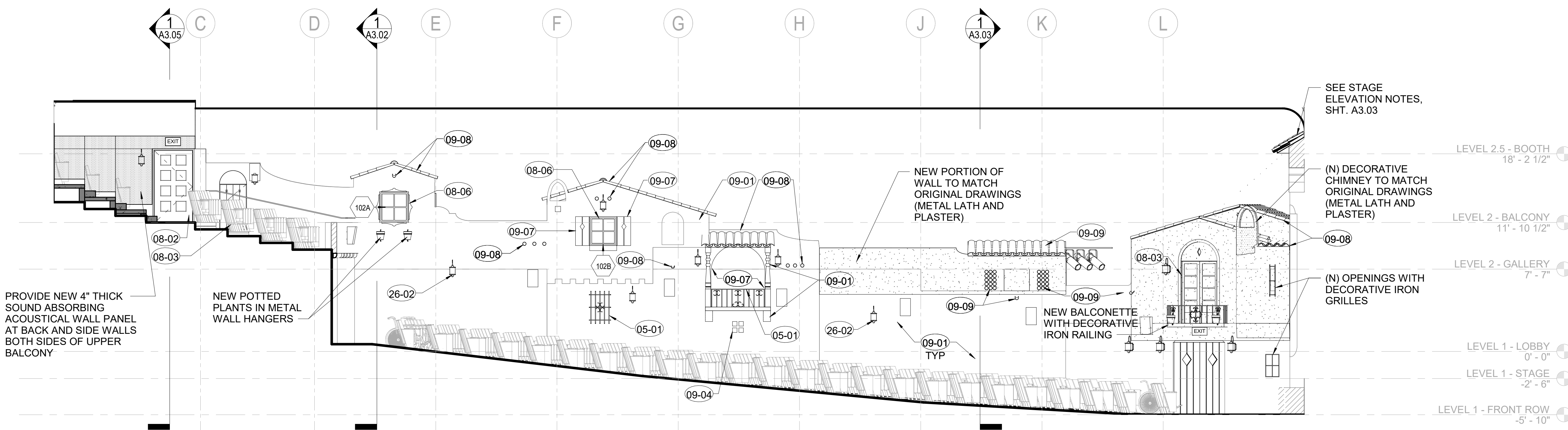
SHEET KEYNOTES

- 05-01 REPAIR AND REPAINT (E) METALWORK (GRILLE, RAILING, ETC.)
- 08-02 REPAIR HOLLOW METAL DOOR
- 08-03 REPAIR WOOD DOOR
- 08-06 REPAIR WOOD WINDOW
- 09-01 CLEAN, PREPARE AND REPAINT SURFACES
- 09-04 CLEAN TILE AND GROUT SURFACES
- 09-07 CLEAN AND TOUCH-UP DECORATIVE PAINT
- 09-08 CLEAN INTERIOR DECORATIVE ROOF TILE
- 09-09 NEW DECORATIVE ROOF TILE
- 26-02 NEW LIGHT FIXTURE



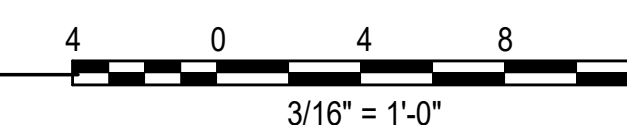
2 HOUSE RIGHT CATWALK ROOF PLAN

A5.01 3/16" = 1'-0"



1 INTERIOR ELEVATION - AUDITORIUM - NORTH

A5.01 3/16" = 1'-0"



INTERIOR ELEVATION GENERAL NOTES

INTERIOR PLASTER:

1. VACUUM CLEAN AND PREPARE SURFACES FOR REPAINTING.
2. REMOVE OBSOLETE OR ABANDONED FASTENERS, WIRING, NAILS, ETC. AND PATCH HOLES
3. ROUT OUT AND FILL CRACKS WHERE NOTED AND ANY OTHER CRACKS AT FACADES THAT ARE 1/8-INCH OR WIDER. FILL AS SPECIFIED WITH A COMPATIBLE CEMENTITIOUS REPAIR MORTAR AND FINISH FLUSH WITH SURROUNDING SURFACES
4. CHIP AWAY AND REMOVE LOOSE OR UNSOUND MATERIAL TO SOUND SUBSTRATES & PREPARE FOR PATCHING.
5. IF (E) EMBEDDED REINFORCEMENT IS EXPOSED, PREPARE SURFACES & TREAT REBAR W/ A CORROSION INHIBITOR PRIOR TO PATCHING.
6. PATCH LOSS AREAS AS SPECIFIED W/ A COMPATIBLE REPAIR MORTAR. FORM & FINISH PATCHES TO MATCH SURROUNDING SURFACES.
7. REPAINT PLASTER SURFACES AS SPECIFIED.

INTERIOR/EXTERIOR QUARRY TILE FLOORS:

1. CLEAN TILE AND GROUT SURFACES AS SPECIFIED.
2. SAWCUT AND REPLACE GROUT JOINTS WHERE DETERIORATED OR MISSING.
3. REPLACE CRACKED, BROKEN OR OTHERWISE DAMAGED TILE W/NEW TO MATCH.

INTERIOR WOOD DOORS:

1. EXISTING DOOR SIZES SHOWN ARE NOMINAL. FIELD VERIFY ACTUAL SIZE.
2. CONTRACTOR TO ENSURE PROPER WORKING ORDER AND WEATHERTIGHTNESS.
3. CLEAN AND PREPARE SURFACES FOR REPAINTING.
4. REMOVE ALL NAILS, FASTENERS, AND EXTRANEOUS OR OBSOLETE HARDWARE. FILL ALL HOLES IN ASSEMBLY AS REQUIRED PRIOR TO APPLICATION OF FINISH.
5. REMOVE AREAS OF WOOD DECAY AND TREAT WITH A WOOD CONSULTANT. FILL ANY VOIDS, HOLES, CRACKS OR GAPS WITH AN EPOXY PASTE, AND FINISH TO MATCH SURROUNDING SURFACES.

INTERIOR WOOD DOORS (CONT):

6. REPLACE BROKEN OR DAMAGED GLASS WHERE NOTED..
7. REMOVE CRACKED, LOOSE OR DE-BONDED GLAZING PUTTY AND INFILL WITH NEW PUTTY; MATCH EXISTING PROFILE.
8. REPAINT WOOD SURFACES AS SPECIFIED.
9. CLEAN AND LUBRICATE (E) HARDWARE.
10. INSTALL (N) PERIMETER SEALANT AT JOINT BETWEEN FRAME AND BUILDING WALLS.
11. INSTALL (N) ACOUSTICAL GASKETS.

INTERIOR HOLLOW METAL DOORS:

1. EXISTING DOOR SIZES SHOWN ARE NOMINAL. FIELD VERIFY ACTUAL SIZE.
2. CONTRACTOR TO ENSURE PROPER WORKING ORDER.
3. CLEAN AND PREPARE SURFACES FOR REPAINTING.
4. TREAT AREAS OF CORROSION WITH A CORROSION INHIBITOR, AND PRIME.

INTERIOR HOLLOW METAL DOORS (CONT):

5. REPLACE BROKEN OR DAMAGED GLASS WHERE NOTED.
6. REMOVE CRACKED, LOOSE OR DE-BONDED GLAZING PUTTY AND INFILL WITH NEW PUTTY; MATCH EXISTING PROFILE.
7. REPAINT METAL SURFACES AS SPECIFIED.
8. WHERE REQ'D, REPAINT TO MATCH (E) WOOD GRAIN EFFECT.
9. CLEAN AND LUBRICATE (E) HARDWARE.

INTERIOR ELEVATION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- ACOUSTICAL WALL PANELS

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

INTERIOR ELEVATIONS

ISSUANCE

HSPB SUBMITTAL

01/27/23

PROJ. NO.

220602

DRAWN

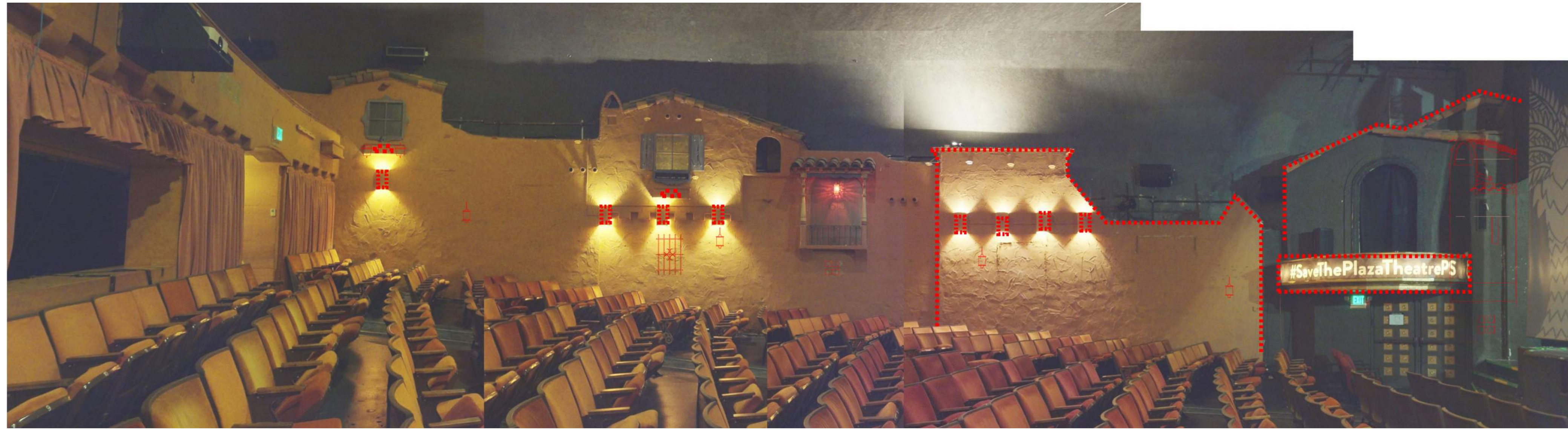
BT/MGB

CHECKED

JC/SD/NOM

DRAWING NO.

A5.01



EXISTING ATMOSPHERIC SIDEWALL CONDITION PHOTO WITH NON-ORIGINAL, AND MISSING ORIGINAL ELEMENTS HIGHLIGHTED

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION
 128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE
 INTERIOR COMPARISON

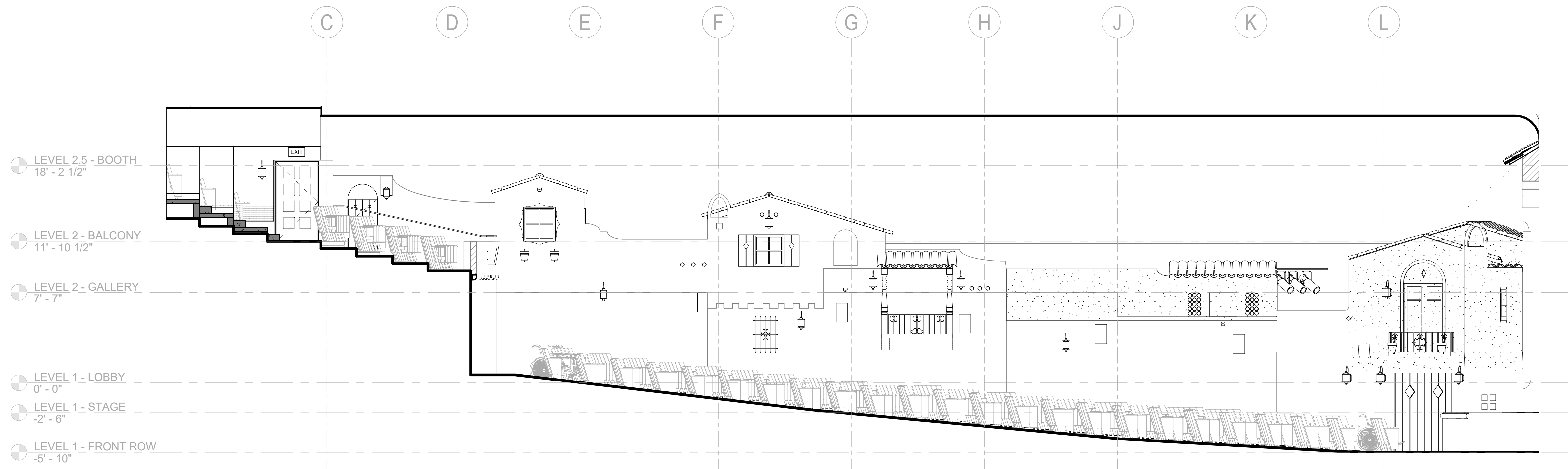
ISSUANCE
 HSPB SUBMITTAL
 01/27/23

PROJ. NO.
 220602

DRAWN
 Author

CHECKED
 Checker

DRAWING NO.
A5.01-A



PROPOSED ATMOSPHERIC SIDEWALL REHABILITATED TO ORIGINAL CONDITION

**ENLARGED ELEVATION
 GENERAL NOTES**

SHEET KEYNOTES

- 02-02 REMOVE OBSOLETE OR ABANDONED FASTENERS, HARDWARE, ETC. AND PATCH HOLES
- 02-04 SALVAGE (E) DOORS FOR REUSE
- 02-05 REMOVE A/C UNIT
- 02-06 REMOVE CONDUITS, ETC.
- 02-07 SAWCUT EXISTING CONCRETE INFILL, TO RESTORE ORIGINAL OPENING WITH CHAMFERED EDGES
- 02-08 SAWCUT NEW OPENING FOR NEW TICKET OFFICE WINDOW
- 02-11 REMOVE EXISTING NON-HISTORIC WINDOW AND FRAME COMPLETE
- 03-02 CONCRETE PATCH REPAIR
- 06-01 WOOD EPOXY PATCH REPAIR
- 06-03 WOOD MEMBER REPLACEMENT
- 08-02 REPAIR HOLLOW METAL DOOR
- 08-03 REPAIR WOOD DOOR
- 09-01 CLEAN, PREPARE AND REPAINT SURFACES
- 09-04 CLEAN TILE AND GROUT SURFACES
- 09-07 CLEAN AND TOUCH-UP DECORATIVE PAINT
- 10-06 PREP AND REPAINT (E) ILLUMINATED POSTER FRAME
- 12-01 (E) POSTER CASE TO REMAIN
- 26-02 NEW LIGHT FIXTURE
- 26-03 DEMO (E) LIGHT FIXTURE

NO.	DESCRIPTION	DATE
REVISIONS		

**PLAZA
 THEATRE**

REHABILITATION

128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

**ENTRY PORTICO
 ELEVATIONS**

ISSUANCE

HSPB SUBMITTAL

01/27/23

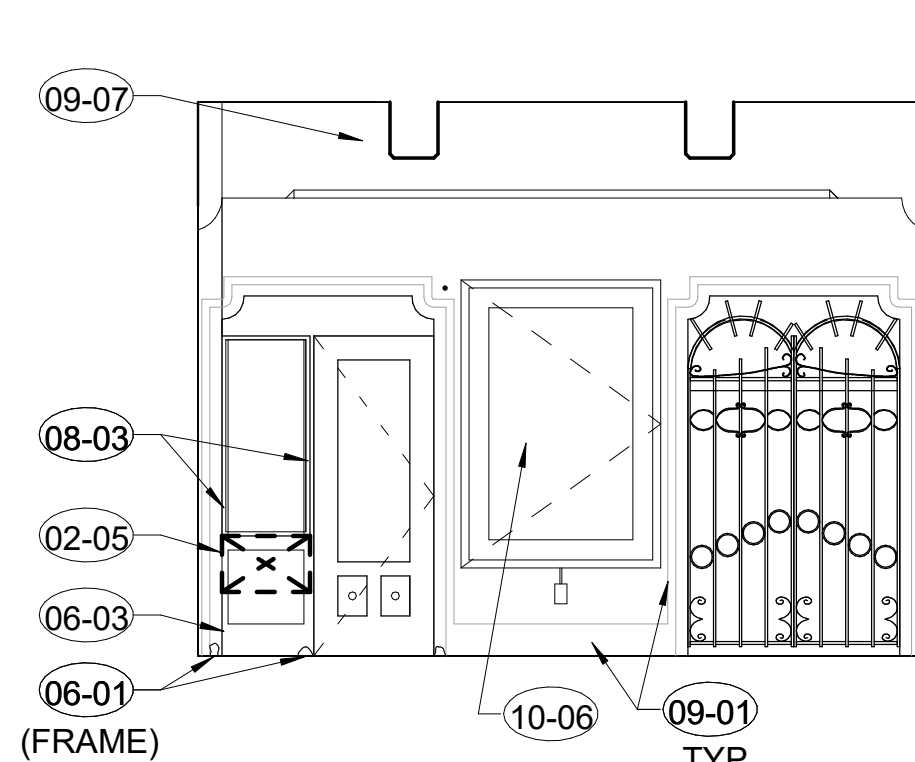
PROJ. NO.
 220602

DRAWN
 BT/MGB

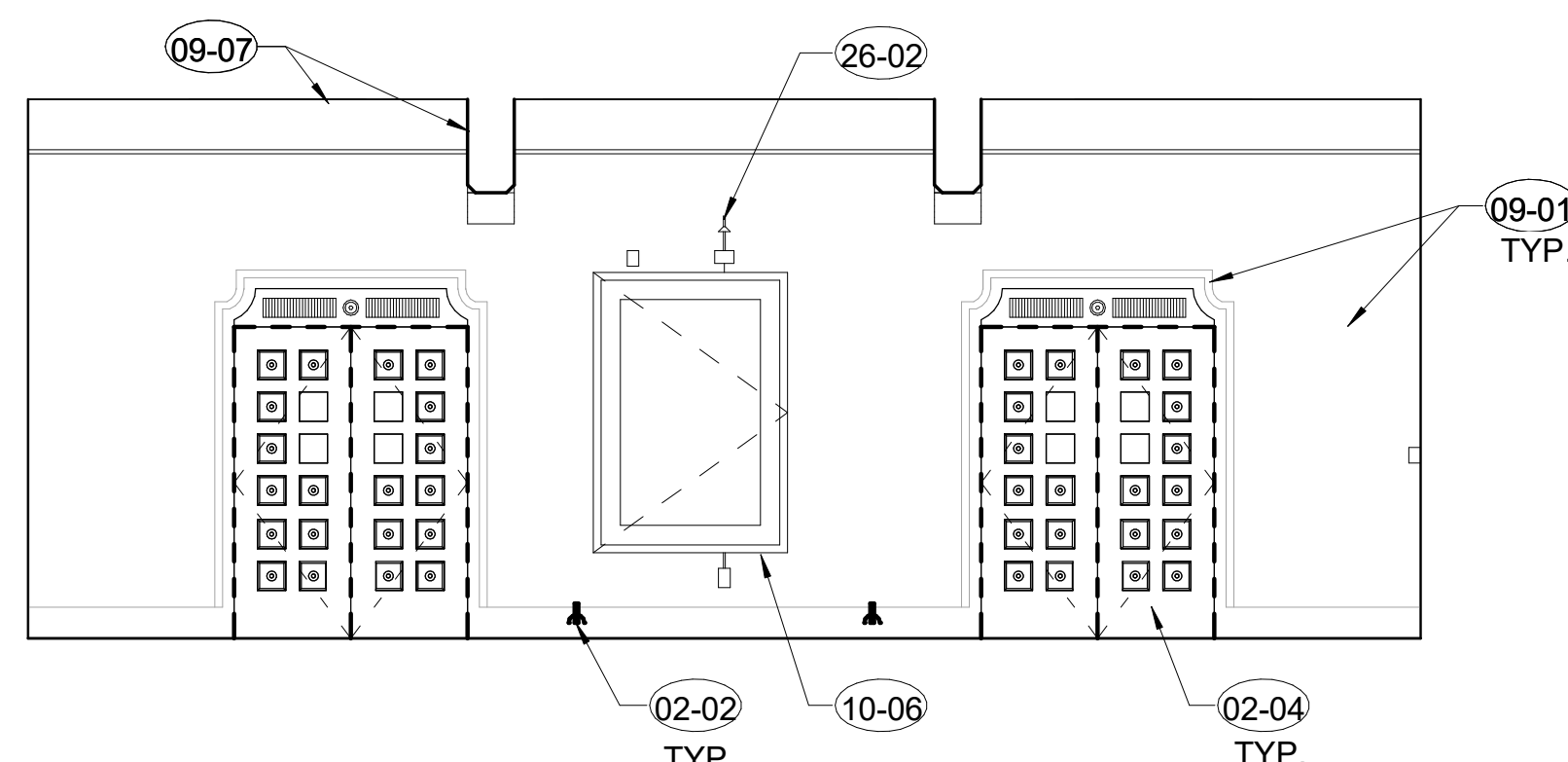
CHECKED
 JC/SD/NOM

DRAWING NO.

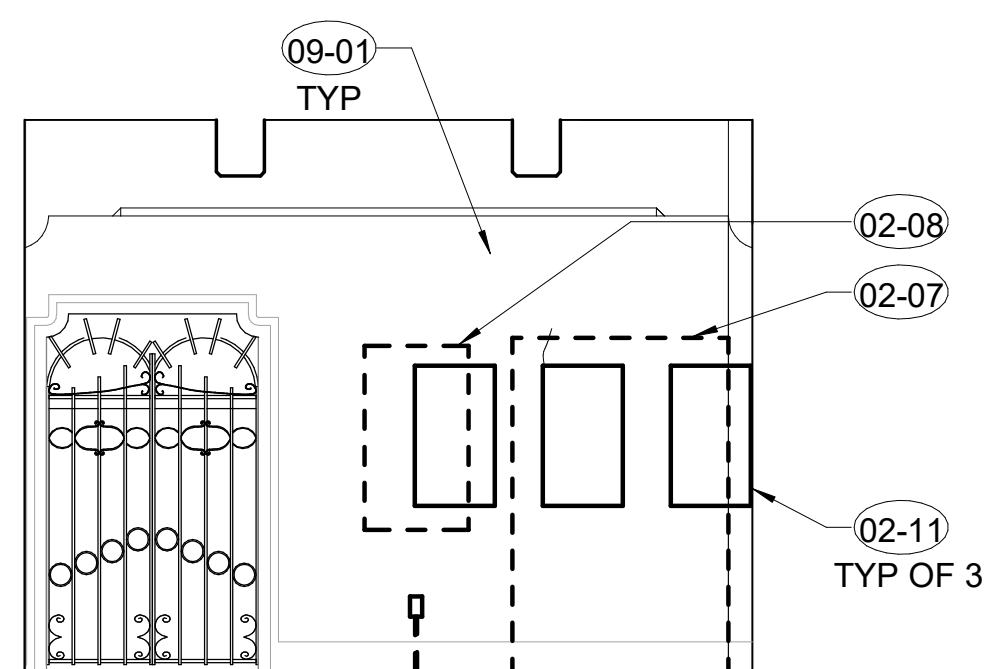
A5.02



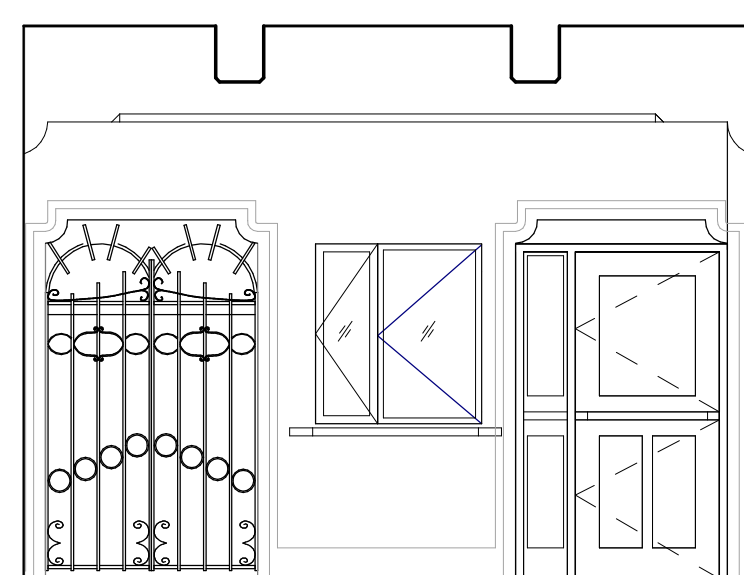
1 LOBBY 108 NORTH ELEVATION
 A5.02 1/4" = 1'-0"



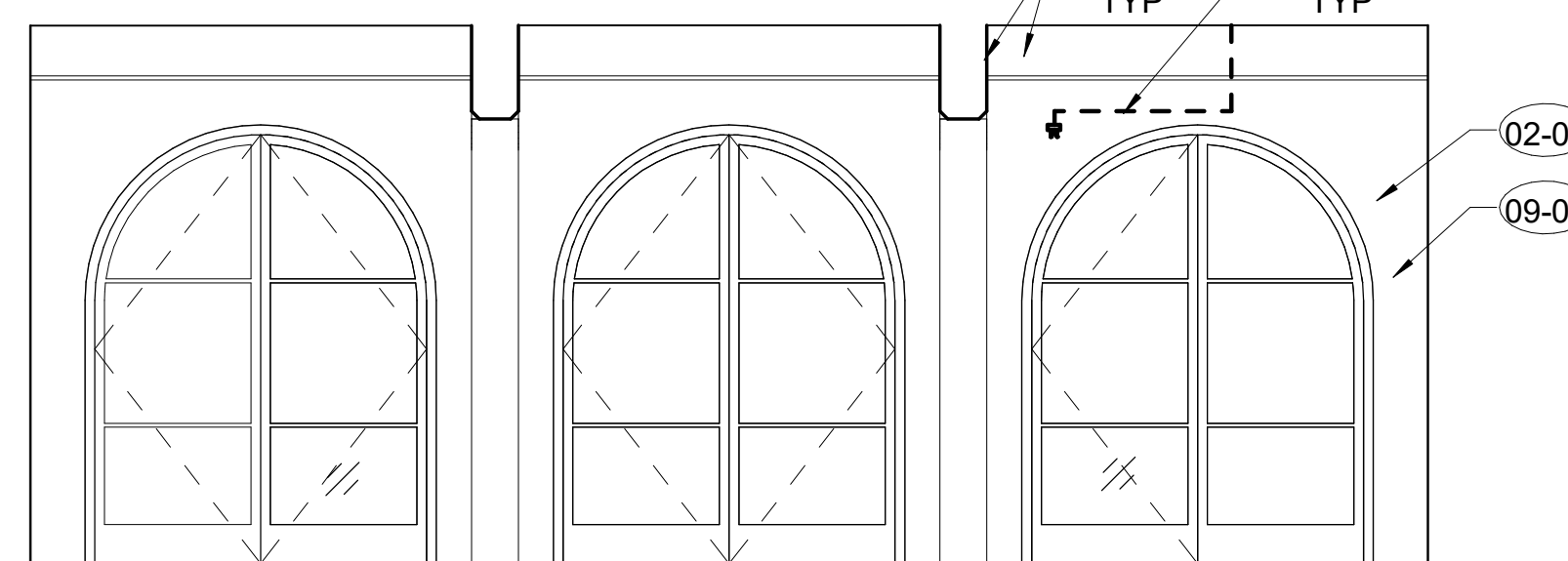
2 LOBBY 108 EAST ELEVATION
 A5.02 1/4" = 1'-0"



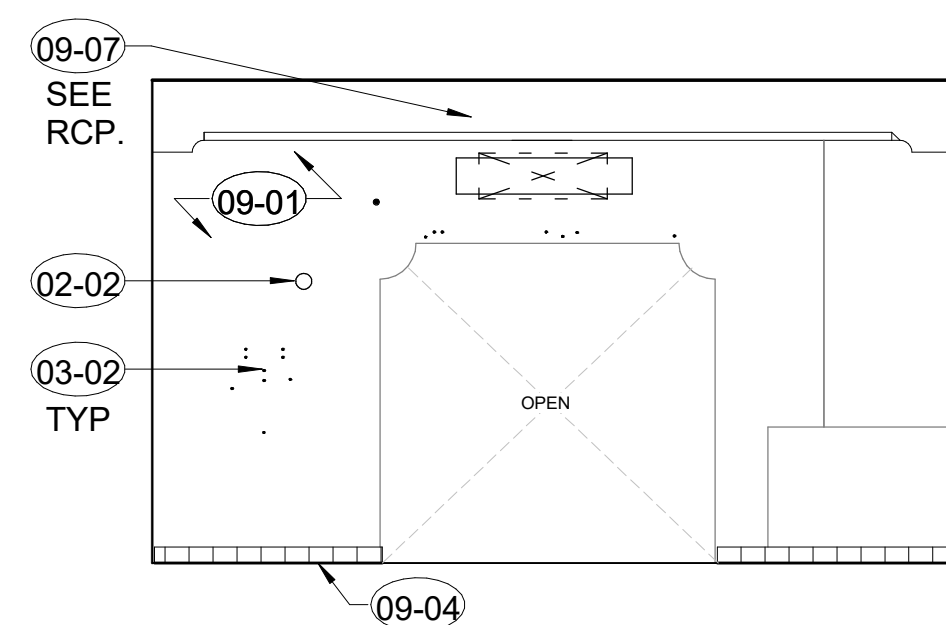
3A LOBBY 108 SOUTH ELEVATION DEMO
 A5.02 1/4" = 1'-0"



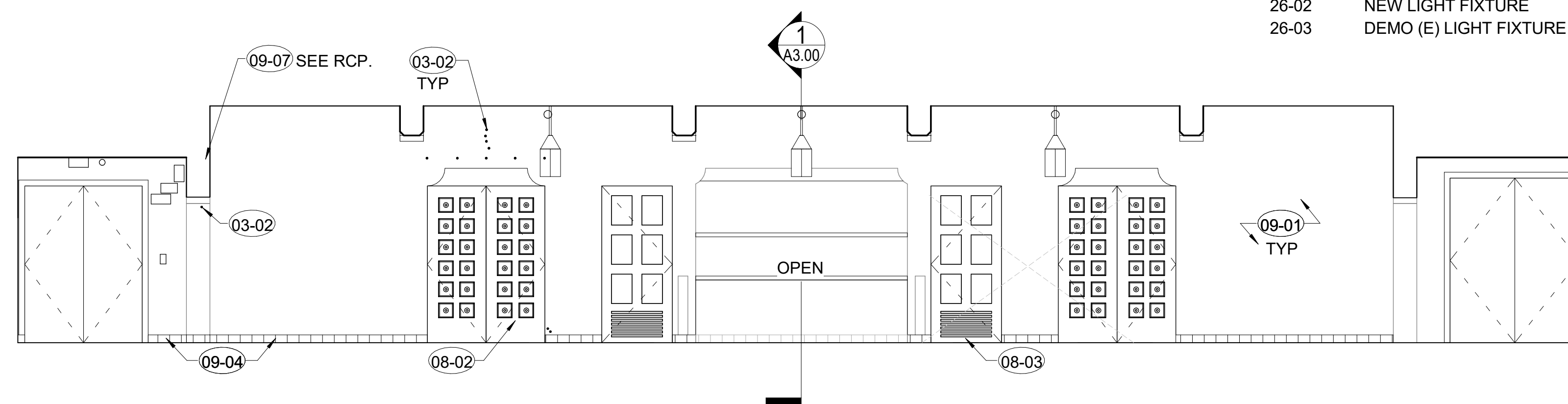
3B LOBBY 108 SOUTH ELEVATION PROPOSED
 A5.02 1/4" = 1'-0"



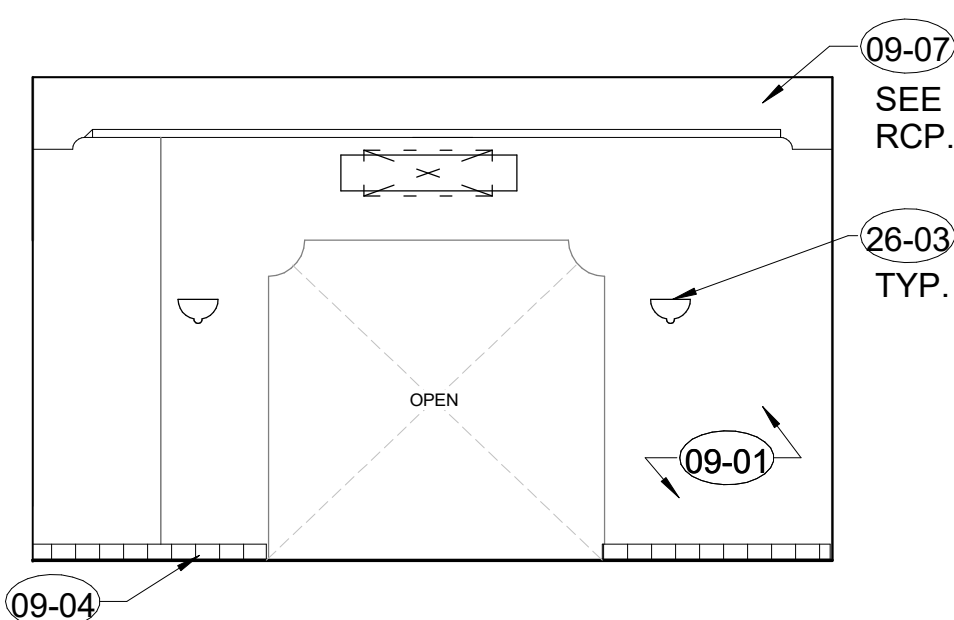
4 LOBBY 108 WEST ELEVATION
 A5.02 1/4" = 1'-0"



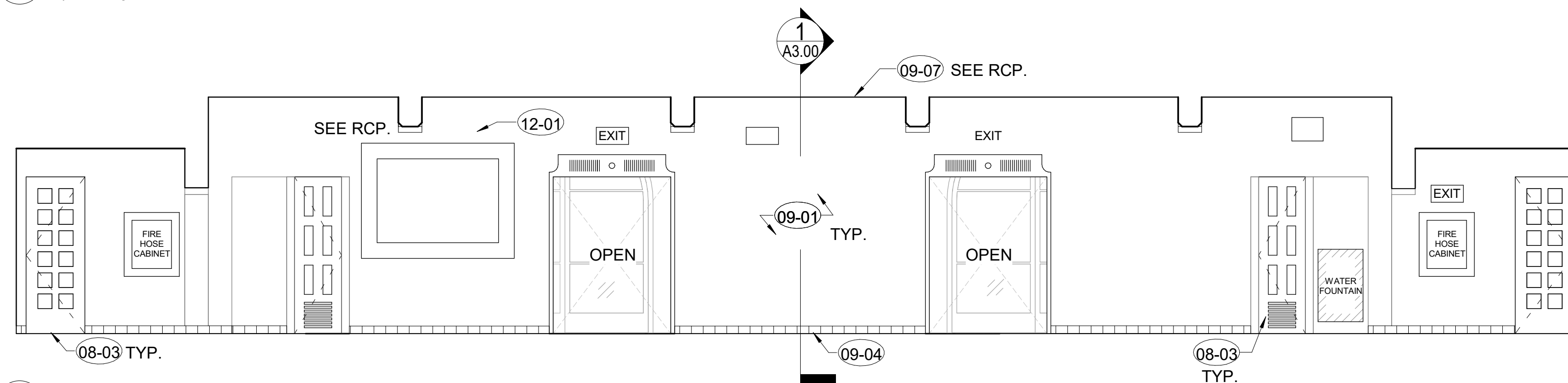
5 LOBBY 109 NORTH ELEVATION
 A5.02 1/4" = 1'-0"



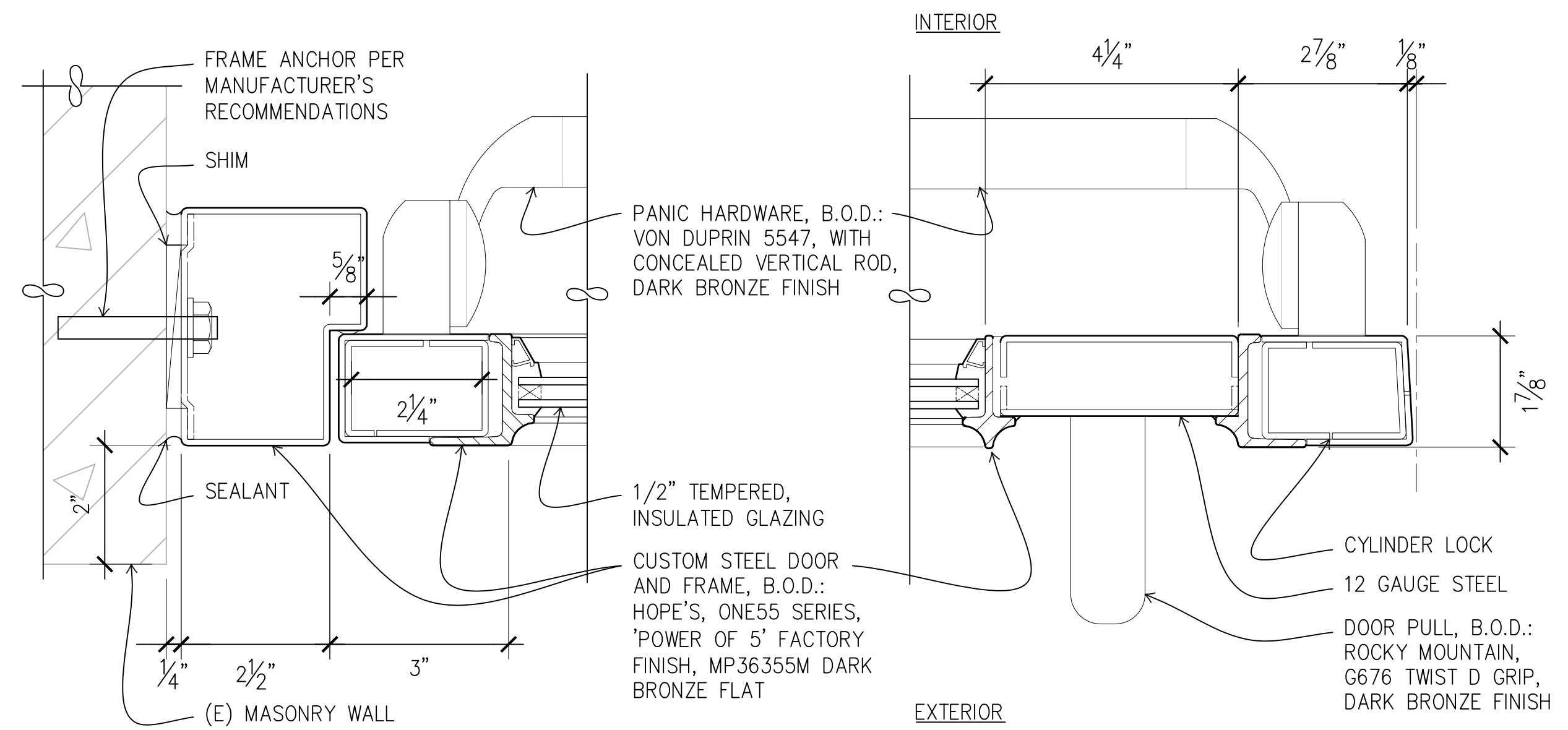
6 LOBBY 109 EAST ELEVATION
 A5.02 1/4" = 1'-0"



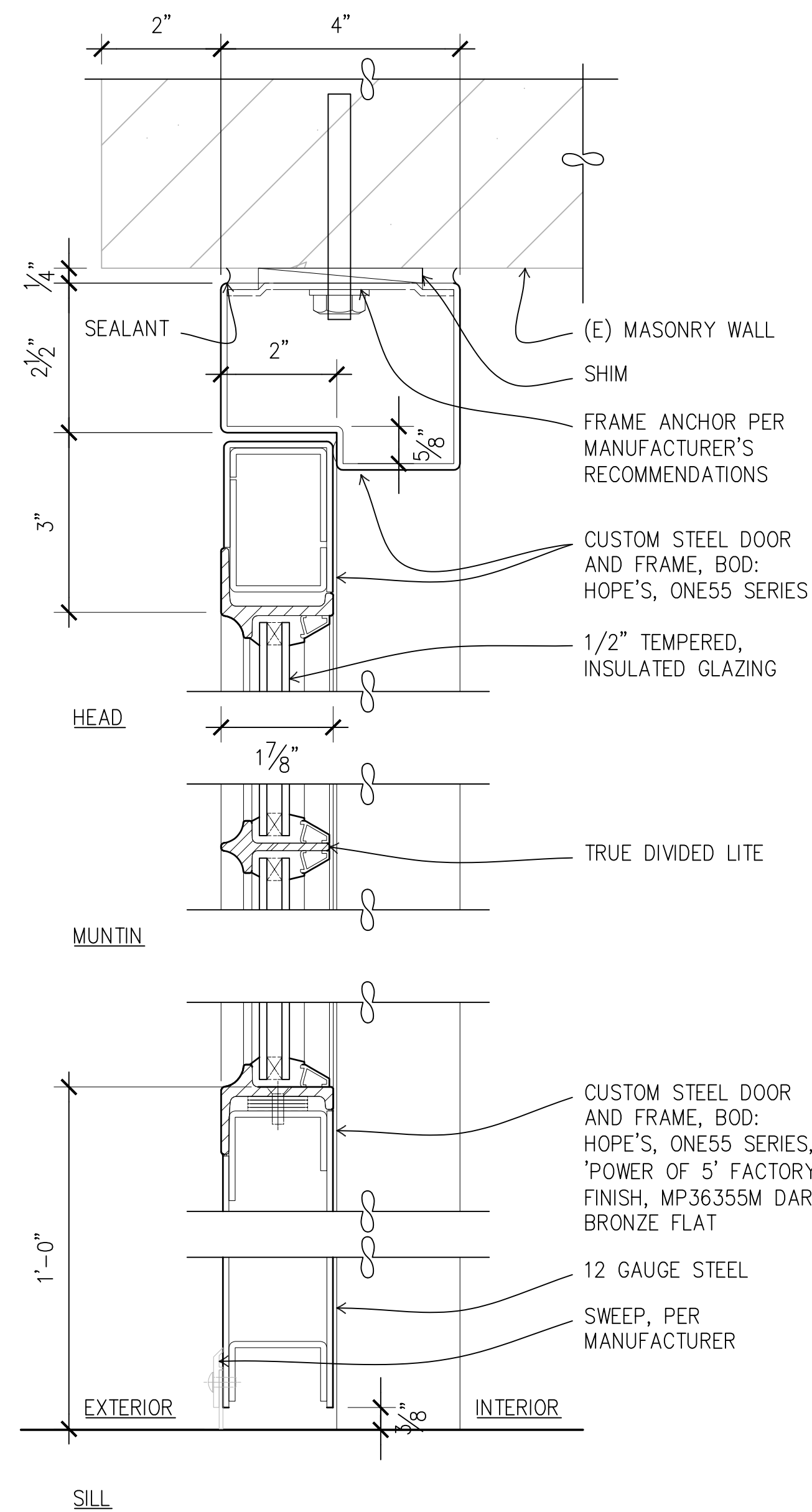
7 LOBBY 109 SOUTH ELEVATION
 A5.02 1/4" = 1'-0"



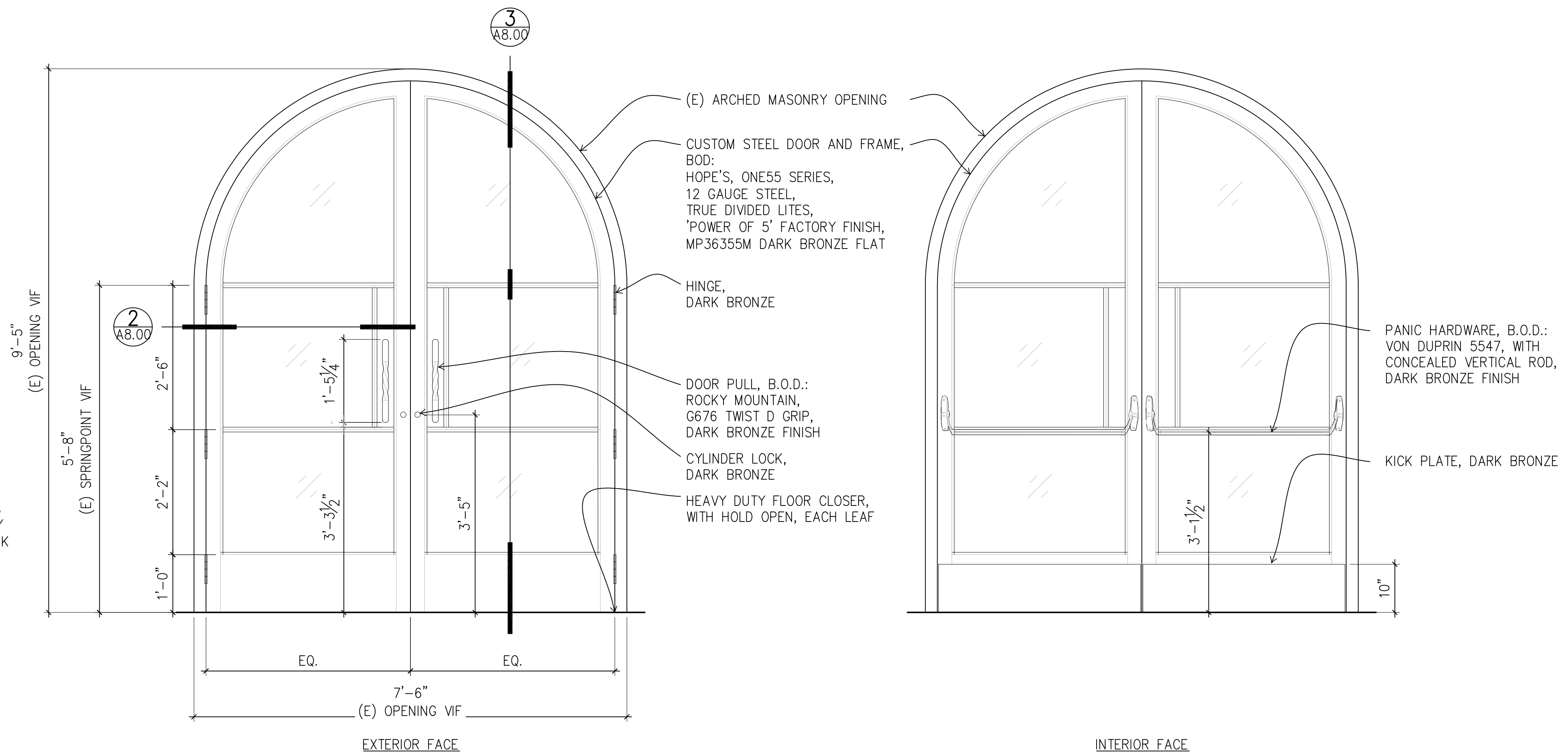
8 LOBBY 109 WEST ELEVATION
 A5.02 1/4" = 1'-0"



2 CUSTOM STEEL DOORS, JAMB & MEETING STILE
SCALE: 6" = 1'-0"



3 CUSTOM STEEL DOORS, HEAD, MUNTIN, & SILL
SCALE: 6" = 1'-0"



1 STEEL DOOR DETAIL ELEVATIONS
SCALE: 1/2" = 1'-0"

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE

DOOR DETAILS

ISSUANCE
HSPB SUBMITTAL

01/27/23

PROJ. NO.
220602

DRAWN
JC

CHECKED
JC/SD/NOM

DRAWING NO.

A8.00

NO.	DESCRIPTION	DATE
REVISIONS		

PLAZA THEATRE

REHABILITATION

128 S Palm Canyon Dr, Palm Springs, CA 92262

SHEET TITLE WINDOW DETAILS

ISSUANCE
HSPB SUBMITTAL

01/27/23

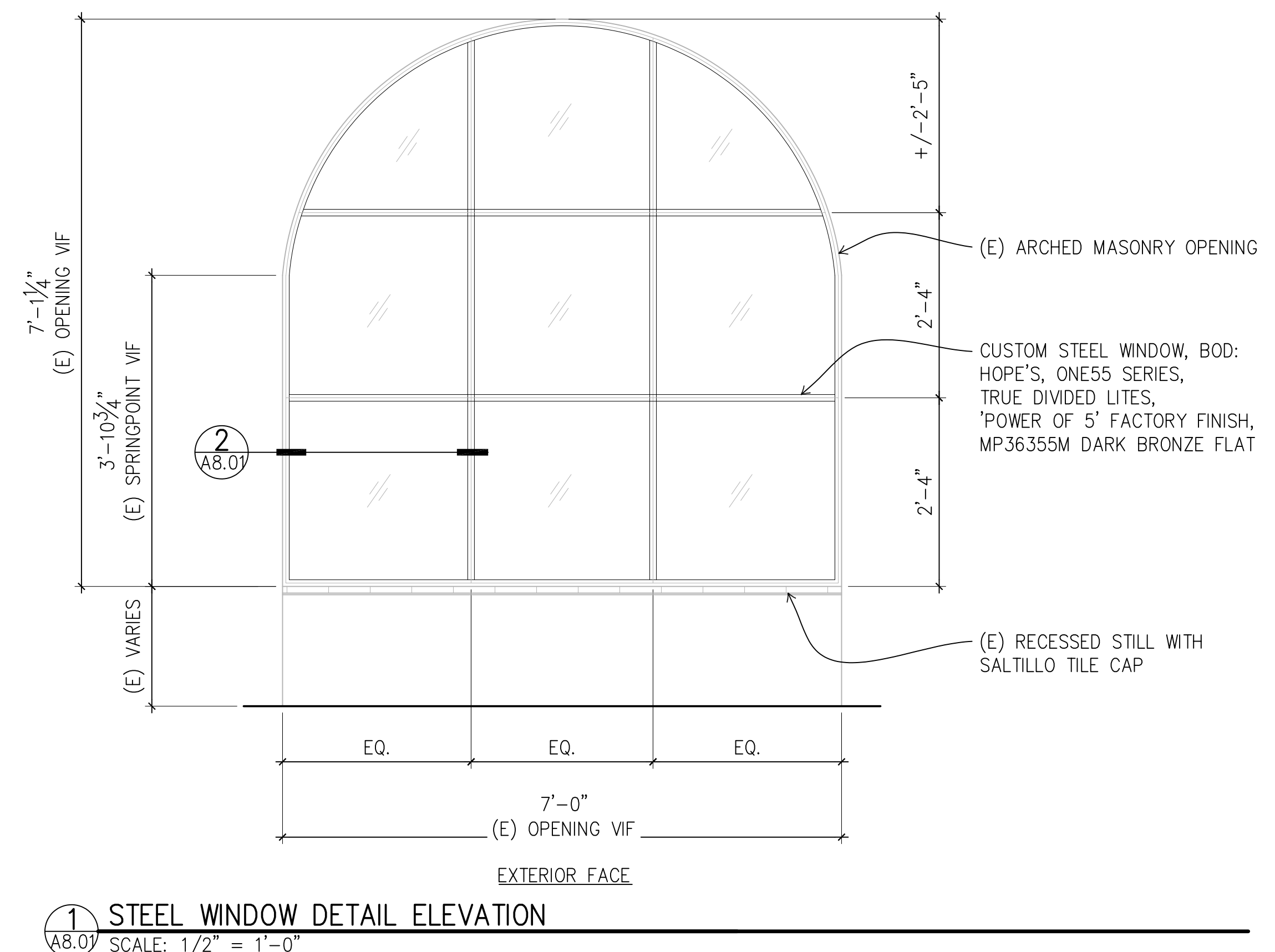
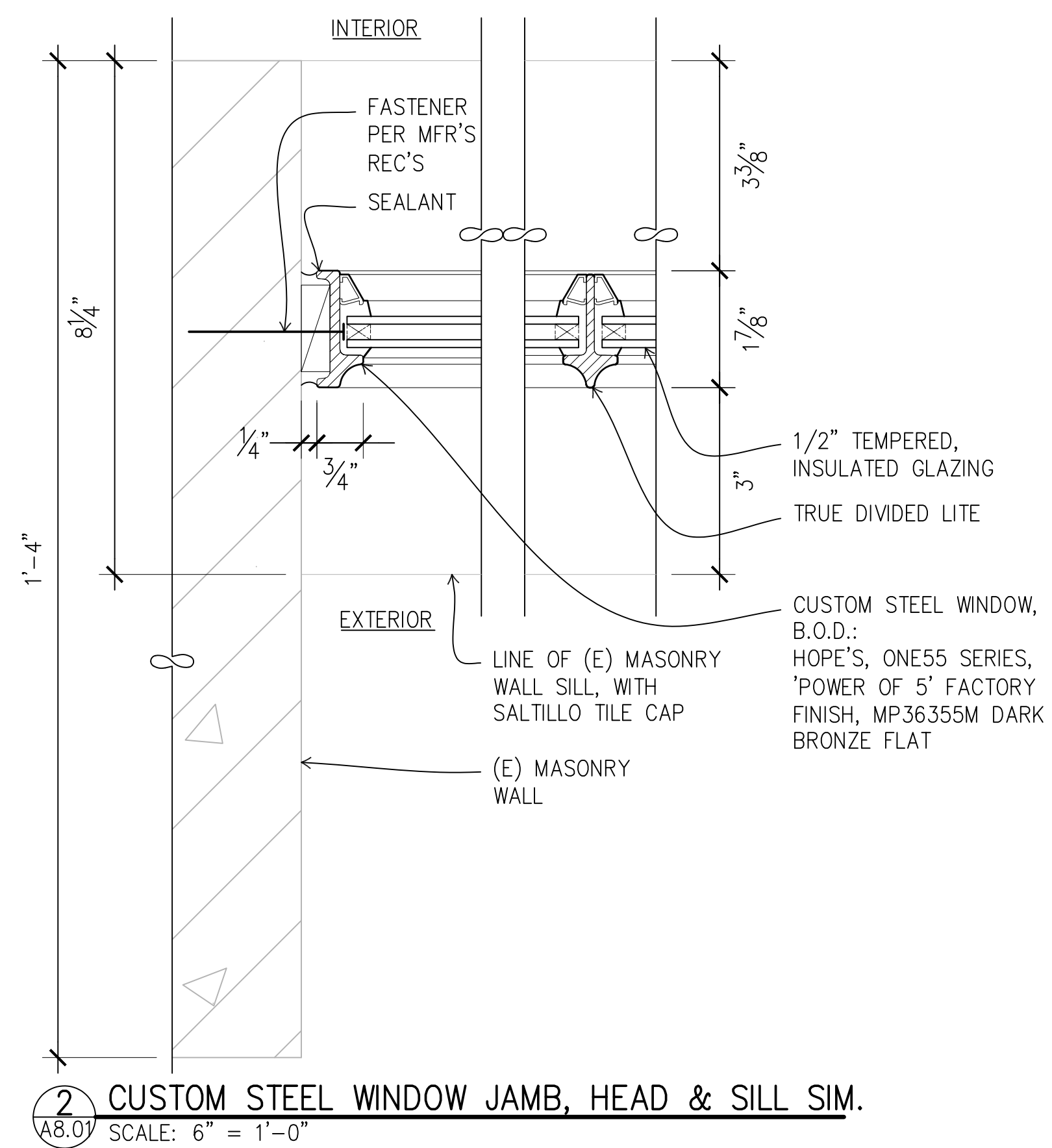
PROJ. NO.
220602

DRAWN
JC

CHECKED
JC/SD/NOM

DRAWING NO.

A8.01



ATTACHMENT C

Recorded 10-14-94
by Instr. # 240998

RESOLUTION NO. 17678

OF THE CITY COUNCIL OF THE CITY OF PALM
SPRINGS, CALIFORNIA, DESIGNATING THE PLAZA
THEATRE AS A CLASS 1 HISTORIC SITE.

HSPB

22

WHEREAS the Plaza Theatre and its associated personages have contributed substantially to the history of the City of Palm Springs; and

WHEREAS the Plaza Theatre, and its sign, has long been a landmark for both residents and visitors in the City of Palm Springs; and

WHEREAS the Plaza Theatre has been sensitively rehabilitated and now serves as the home of the Palm Springs International Film Festival; and

WHEREAS Chapter 8.05 of the Palm Springs Municipal Code allows for the designation of historic sites; and

WHEREAS on February 13, 1991, the Historic Site Preservation Board held a public hearing regarding the designation of the Plaza Theatre as an historic site and unanimously recommended to the City Council designation of said property as a Class 1 Historic Site; and

WHEREAS the City Council concurs in the recommendation of the Historic Site Preservation Board regarding the historic value of the Plaza Theatre; and

WHEREAS the designation of the Plaza Theatre shall further the purposes and intent of Chapter 8.05, and the Conservation Element of the General Plan; and

WHEREAS the designation of the Plaza Theatre shall promote the sensitive preservation and restoration of said site, as well as the historic "Village" atmosphere of the Downtown.

~~NOW THEREFORE BE IT RESOLVED~~ by the City Council of the City of Palm Springs, California, as follows:

SECTION 1. The Plaza Theatre, as shown on Exhibit A, located at 120 S. Palm Canyon Drive, shall be designated a Class 1 Historic Site pursuant to Chapter 8.05 of the Palm Springs Municipal Code. The site is located on a portion of Block 27 of the subdivision of Palm Springs as recorded at Page 432 of Map Book 9, Riverside County, California; APN 513-144-003.

SECTION 2. No exterior alteration to the Plaza Theatre, or its signs, shall be made without the prior approval of the Historic Site Preservation Board; approved alterations shall tend to maintaining the historic integrity of the site. A plaque demarking the Plaza Theatre as an historic site shall be installed by the City.

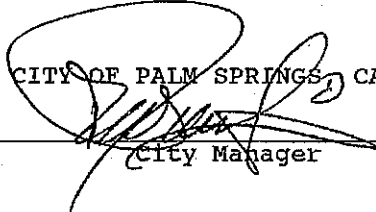
HSPB.
22

SECTION 3. The current plans to remodel the property and structure commonly known as "Karen's Korner" and to enclose the south arcade have been reviewed by the Historic Site Preservation Board and have been found to be consistent with the intent and purposes of Chapter 8.05 of the Municipal Code and the Conservation Element of the General Plan.

ADOPTED this 6th day of November, 1991.

AYES: Councilmembers Broich, Hodges, Murawski, Neel and Mayor Bono
NOES: None
ABSENT: None

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

City Manager

BY 
City Clerk

REVIEWED & APPROVED: _____