

ONE Las Palmas

Palm Springs, CA



PROJECT INFO

CONTACT: ONE Las Palmas, LLC
760-537-5068
www.brianfosterdesigns.com

APN: Lot 10 - 505-370-017
Lot 11 - 505-370-016
Lot 12 - 505-370-015
Lot 13 - 505-370-023

ZONNING: R-1-B



THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLISHED. THESE PLANS AND SPECIFICATIONS ARE NOT TO BE REPRODUCED, COPIED, OR USED BY ANY OTHER PARTY IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF MASTER PLAN DRAFTING & DESIGN, INC. ANY REVISIONS TO THESE PLANS AND SPECIFICATIONS SHALL REMAIN IN MASTER PLAN DRAFTING & DESIGN, INC. WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE ACCEPTANCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

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CITY APPROVAL

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- L-1 LANDSCAPE PLAN

PROJECT NAME

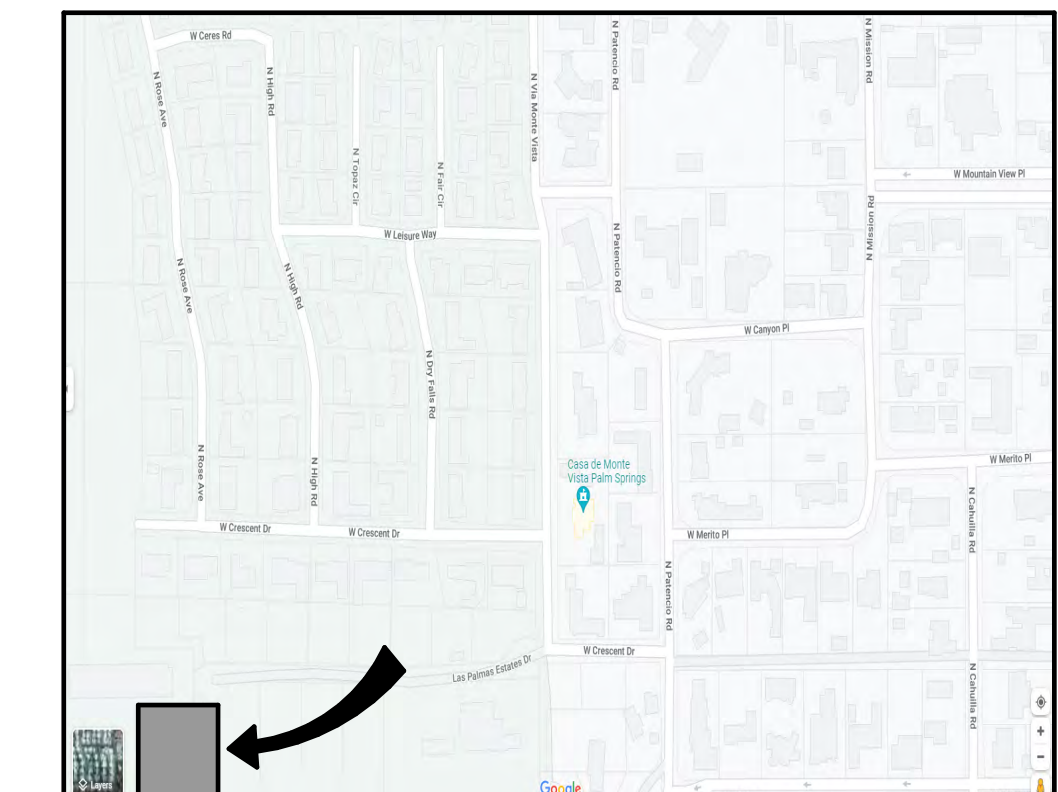
ONE Las Palmas
Palm Springs, CA

REVISIONS

NO.	DESCRIPTION

CONSTRUCTION CLARIFICATIONS

VICINITY MAP NOT TO SCALE



COVER SHEET

NOT TO SCALE

A-001

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CITY APPROVAL

PROJECT NAME

**ONE Las Palmas
Palm Springs, CA**

REVISIONS

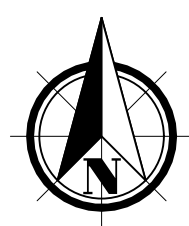
NO.	DATE	DESCRIPTION
1		
2		
3		
4		

CONSTRUCTION CLARIFICATIONS

1	
2	
3	
4	

**MASTER SITE
PLAN**

SCALE: 1/8" = 1'-0"



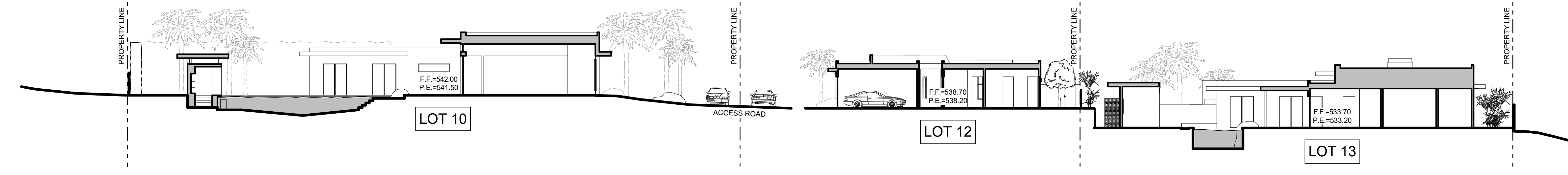
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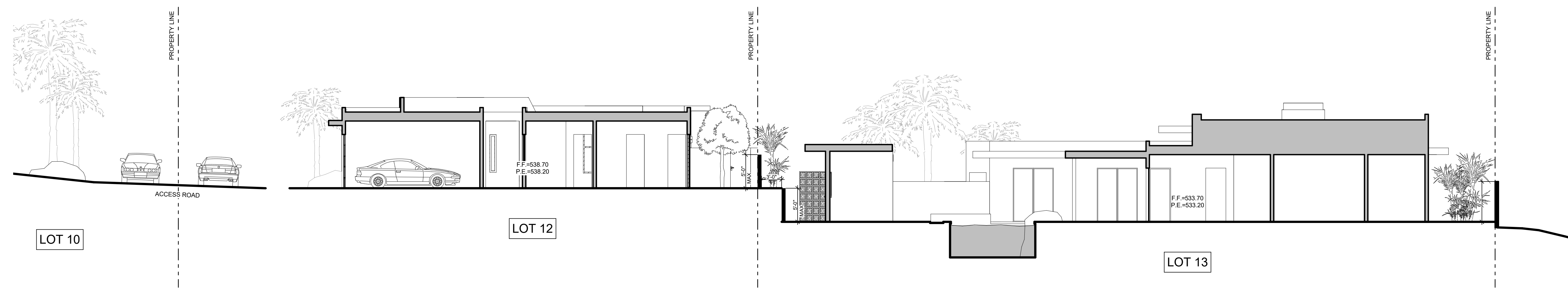
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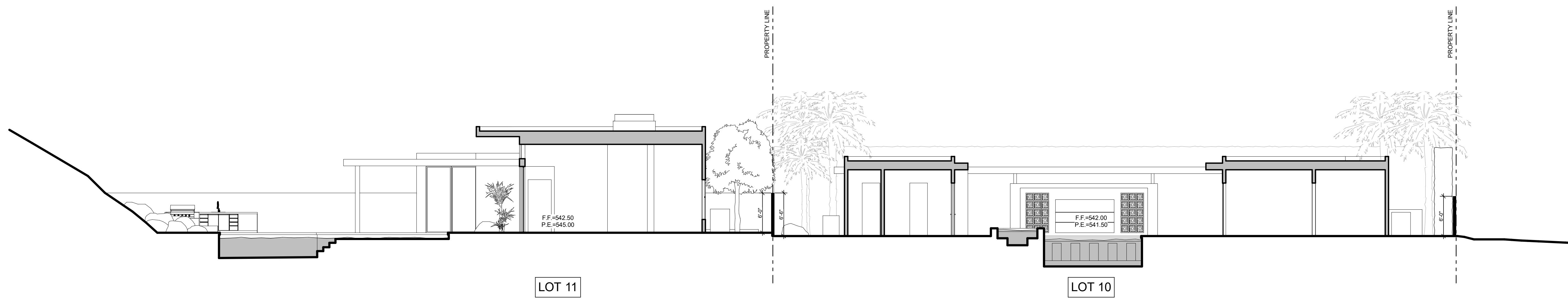
CITY APPROVAL



SS1 SITE SECTION 1
A-003 SCALE: 1/16" = 1'-0"



SS1 SITE SECTION 1- LOT 12 & 13
A-003 SCALE: 1/8" = 1'-0"



SS2 SITE SECTION 2
A-003 SCALE: 1/8" = 1'-0"

PROJECT NAME
**ONE Las Palmas
Palm Springs, CA**

REVISIONS

CONSTRUCTION CLARIFICATIONS

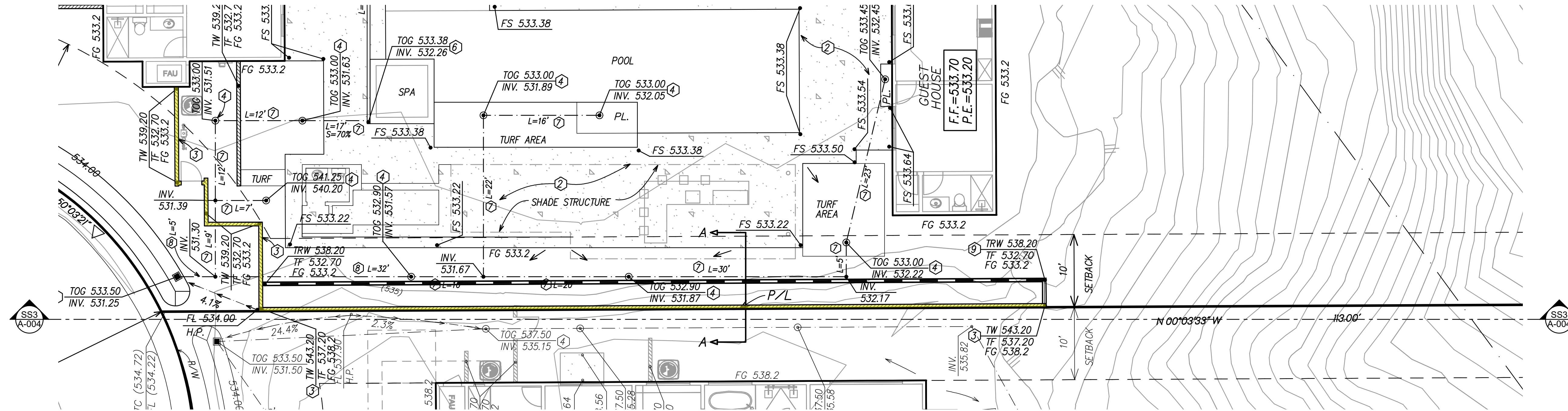
SITE SECTION

SCALE AS NOTED

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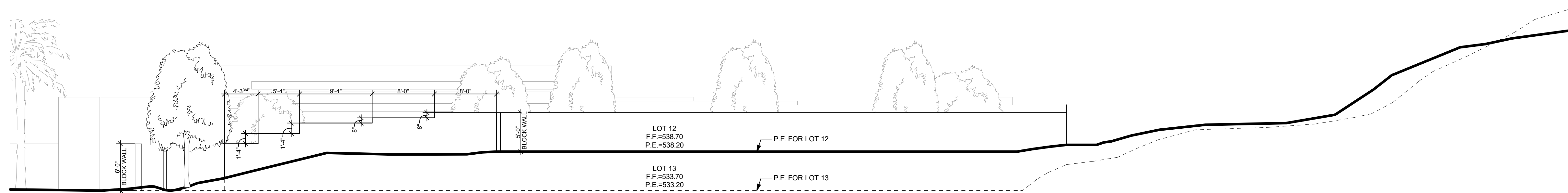


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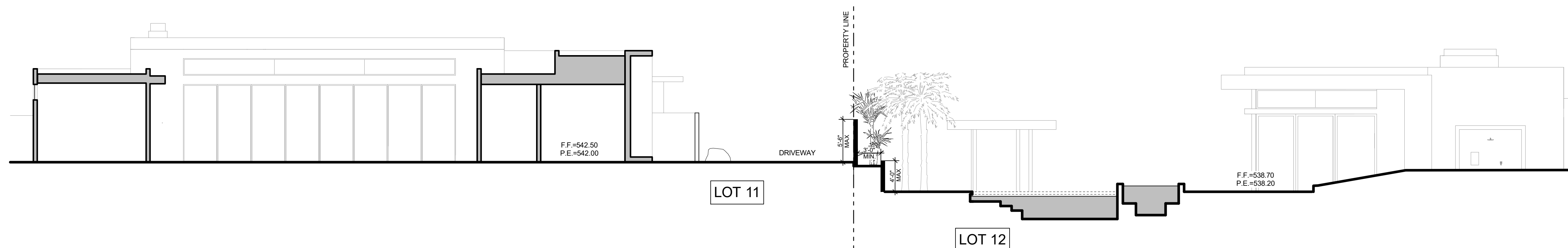
**ONE Las Palmas
Palm Springs, CA**

REVISIONS

CONSTRUCTION CLARIFICATIONS



SS3
A-004 SITE SECTION 3 - LOT 12 & 13 DIVIDING WALL
SCALE: 1/8" = 1'-0"



SS4
A-004 SITE SECTION 3 - LOT 12 & 13 DIVIDING WALL
SCALE: 1/8" = 1'-0"

SITE SECTION

SCALE AS NOTED

A-004

GRADING PLAN GENERAL NOTES

- The work shall be done in accordance with the Standard Drawings of the City of Palm Springs and the Standard Specifications for Public Works Construction, 2012 Edition.
- The Contractor shall be responsible for providing an effective means of dust control which shall include provisions for adequate watering during the grading process and provisions for containment of dust control until the graded surface presents sufficient cover against wind or water erosion so that special dust control measures are no longer necessary.
- Nothing in these Plans shall relieve the Contractor from obtaining permits as required by Chapter 14.16 of the City of Palm Springs Municipal Code.
- The Contractor shall set an appointment for inspection with the engineering inspector a minimum of 24 hours prior to the date of inspection.
- All grading shall comply with Section 1804 and Appendix J of the 2010 California Building Code.
- The location of existing underground utilities are to be shown in a schematic manner only. Subject to the provisions of Section 4215 of the Government Code, the Contractor shall determine the exact location of all existing utilities before commencing the Work. Contact Underground Service Alert (U.S.A.) at 811 two working days prior to any excavation.
- Dimensioning to curbs shall be to face of curb.
- Contractor shall dispose of all debris off-site duly, unless otherwise specified by the City Engineer.
- Contractor shall remove any abandoned utility facilities and show limits of removals on the record drawings.
- The Contractor shall be responsible for the removal, replacement or relocation of all regulatory, warning and guide signs.
- A "Record Drawing" (formerly called "As-Built" Drawing) of this Plan shall be submitted by the Project Engineer of record to the City Engineer, for approval prior to acceptance of the Work.
- Construction signing, lighting and barricading shall be provided on all projects as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices for Streets and Highways, dated January 13, 2012, or subsequent editions in force at the time of construction.
- The flow line of all curb and gutters and cross gutters shall be water tested before acceptance of the Work.
- Parking stalls shall be clearly delineated with a 4 to 6 inch stripe "hairpin" or elongated "U" design or other approved striping or stall delineation.
- Final site grading and drainage flow lines shall be certified, in writing, by the Engineer of Record to be in conformance to the approved grading plan PRIOR TO FINAL INSPECTION.
- For projects in excess of 1 acre, a Notice of Intent to comply with California General Construction Stormwater Permit (Water Quality Order 2009-0009-DWO as modified September 2, 2009), as well as a copy of the executed letter issuing a Waste Discharge Identification (WDI) number, is required prior to issuance of Grading or Building Permit, via the California Regional Water Quality Control Board (Phone No. (760) 340-7491). A updated copy of the project-specific Storm Water Pollution Prevention Plan (SWPPP) must be kept at the project site at all times.
- A city approved fugitive dust (PM-10) control plan is required prior to issuance of a grading permit. All dust control measures described in AQMD Rule 403 (BEST AVAILABLE CONTROL MEASURES) and in the city-approved fugitive dust control plan shall be implemented at all times. A wind fence and proper signage, shall be erected, inspected and approved by the City's Dust Control Inspector prior to initiation of clearing, grubbing, grading or import/export of soil, or fill material at the site. Failure to call 760-323-8253, extension 8740 for inspection 72 hours prior to initiating work will result in issuance of citation by the City.
- The block walls, retaining walls, and other structures shown on the grading plan are for location purposes only. Separate permits for the above are required from the Building Department.
- All provisions of the preliminary soils report dated and prepared by report no. , shall be complied with.

STREET PAVEMENT

20. The asphalt concrete design shall meet the City of Palm Springs Std. Dwg. No. 110 and Standard Specifications for Public Works Construction, 2012 Edition, use Type B for the base lift and Type C2 for the final 1" cap. The design shall have a HVEEM stability of 35 AND 33 respectively per the California Test method 304 and 366. Performance Grade asphalt (PG-70-10) meeting the 2010 Caltrans Standard Specifications shall be used. The specified miscellaneous base shall be crushed miscellaneous base according to the Standard Specifications for Public Works Construction, 2012 Edition.

TRENCH PAVEMENT

21. Street cuts shall be paved with temporary A.C. paving immediately. Major and Secondary Thoroughfares shall be permanently paved within 15 days of the initial excavation (30 days on collector and residential streets) per City of Palm Springs Std. Dwg. No. 115. See Ordinance No. 14.16.375.

22. Trenches shall be completely backfilled and compacted to support traffic at the end of each work day. The Contractor shall place permanent pavement through the end of each work day. No trench excavation or pipe laying on Fridays, weekends or holidays will be permitted on major and secondary thoroughfares or collector streets without prior approval of the City Engineer. Contractor shall place permanent paving each Friday.

23. If, in the opinion of the City Engineer, the trench backfill is unsafe to traffic, the Contractor shall place permanent paving at the end of each work day.

24. Steel trench plating shall conform to Caltrans Encroachment Permit Manual Sec. 602.1 as revised July, 2009.

25. The specific miscellaneous base shall be crushed miscellaneous base according to the Standard Specification for Public Works Construction, 2012 Edition.

WQMP GENERAL NOTES

26. Erosion control Best Management Practices (BMPs) shall be implemented and maintained to minimize and/or prevent the entrainment of soil in runoff from disturbed soil areas on construction sites.

27. Sediment control BMPs shall be implemented and maintained to prevent and/or minimize the transport of soil from the construction site.

28. Stockpiles of soil shall be properly contained to eliminate or reduce sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.

29. Appropriate BMPs for construction-related materials, wastes, spills or residues shall be implemented to eliminate or reduce transport from the site to streets, drainage facilities, or adjoining properties by wind or runoff.

30. BMPs shall be inspected prior to predicted storm events and following storm events, and shall be properly maintained.

31. Runoff from equipment and vehicle washing shall be contained at construction sites and must not be discharged to receiving waters, adjacent roadways, catch basins, or other components of the local storm drain system.

32. All construction contractor and subcontractor personnel are to be made aware of the required best management practices and good housekeeping measures for the project site and any associated construction staging areas.

33. At the end of each day of construction activity, all construction debris and waste materials shall be collected and properly disposed of in covered trash or recycle bins.

34. Construction sites shall be maintained in such a condition that a storm does not carry wastes or pollutants off the site. Discharges other than stormwater (i.e., non-stormwater discharges) are prohibited, except as authorized by an individual National Pollution Discharge Elimination System (NPDES) permit, the General Permit for Stormwater Discharges Associated with Construction Activity, or the General Permit for Stormwater Discharges Associated with Construction Activity from Small Linear Underground/Overhead Projects. Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, solvents, detergents, glues, lime, pesticides, herbicides, fertilizers, wood preservatives, asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; concrete and related cutting or curing residues; concrete washout; floatable wastes; wastes from engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning; and super-chlorinated potable water from line flushing and testing. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site, physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.

35. Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging non-contaminated groundwater produced by dewatering activities may require a National Pollutant Discharge Elimination System (NPDES) permit or Waste Discharge Requirements (WDRs) issued by the Colorado River Basin Regional Water Quality Control Board.

36. Construction sites shall be managed to minimize the exposure time of disturbed soil areas through phasing and scheduling of grading to the extent feasible and the use of temporary and permanent soil stabilization.

UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

PRIVATE ENGINEERING NOTE: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. INCLUDING THE SAFETY OF PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

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48 HOURS BEFORE YOU DIG
CALL
UNDERGROUND SERVICE ALERT
811

PROJECT DATA

OWNER/CONTACT:
ONE LAS PALMAS, L.L.C.
P.O. BOX 1573
RANCHO MIRAGE, CA. 92270
(949) 478-1476

ENGINEER:
SANBORN ARCHITECTURE GROUP, INC.
71650 SAHARA RD.
SUITE 323
RANCHO MIRAGE, CA. 92270
(760) 423-0600

PERMITS REQUIRED:
ENCROACHMENT
WALL PERMIT

UTILITIES:

ELECTRIC: SO. CALIFORNIA EDISON
760-202-4291

GAS: SO. CALIFORNIA GAS CO.
760-324-4691
ATTN: VINCE ALVAREZ

TELEPHONE: FRONTIER
760-778-3603
ATTN: LARRY MOORE

TELEVISION: SPECTRUM
760-674-5452
ATTN: DAVE SCRIVNER

SEWER: VEQUA WATER
760-323-8166 X2
ATTN: GARY GRAY

WATER: DESERT WATER AGENCY
760-323-4971
ATTN: DEBBIE RANDALL

BASIS OF BEARINGS:

THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, T4S, R4E, ON FILE IN R.S. 42/43-48 RECORDS OF RIVERSIDE COUNTY, CA. BEING N 00°21'49"E

TOPOGRAPHY:

VAN SURVEYING
DATE OF SURVEY: 08/20/2021

ASSESSOR'S PARCEL NO.

LOT 10 - 505-370-017 LOT 12 - 505-370-015
LOT 11 - 505-370-016 LOT 13 - 505-370-023

EARTHWORK QUANTITIES

NOTE: THESE ARE AN ESTIMATE ONLY. CONTRACTOR IS REQUIRED TO PREPARE HIS OWN ESTIMATES FOR THE PURPOSE OF BIDDING. QUANTITIES DO NOT STRIPPING, SHRINKAGE, COMPACTION OR SUBSIDENCE LOSSES

NOTE: A RED IMPORTED FIRE ANT CLEARANCE REQUIRED FOR ALL EXPORTED MATERIAL

CUT 0 C.Y. FILL 0 C.Y.

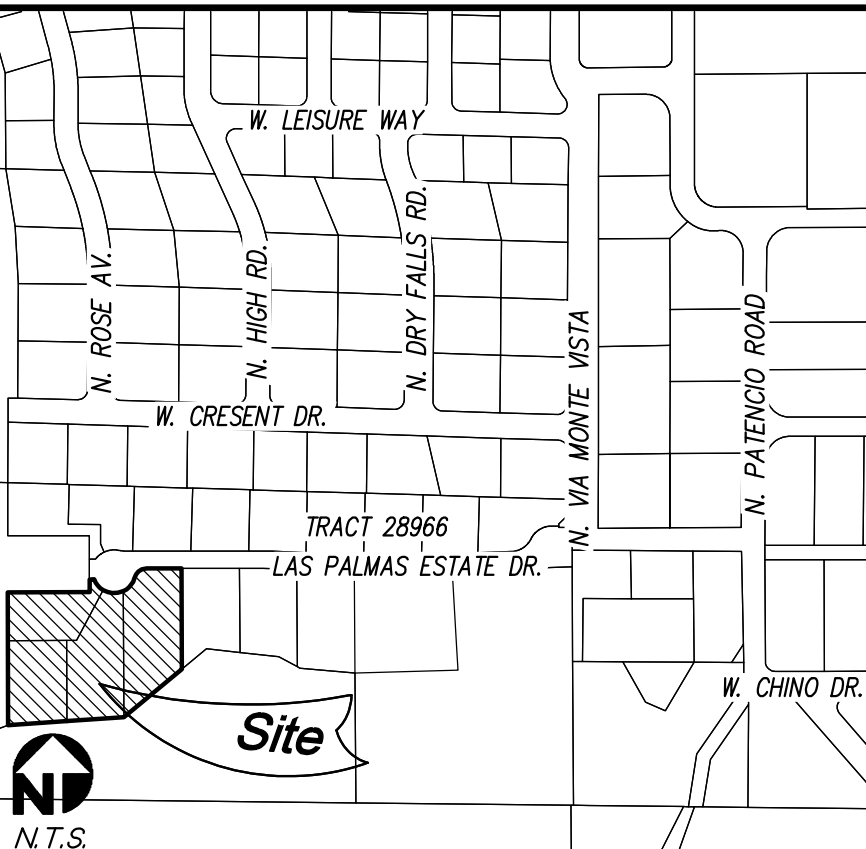
LEGAL DESCRIPTION

LOTS 10, 11, 12 & 13 OF TRACT MAP 28966, M.B. 351/23-26, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA

FEMA FLOOD ZONE

ZONE: X500 & X
COMMUNITY PANEL NO.: 0602571558G
DATED: 08/28/2008

VICINITY MAP/LOCATION MAP



LEGEND

- INV. INDICATES INVERT ELEVATION
TOP INDICATES TOP OF GRATE
PE INDICATES PAD ELEVATION
FL INDICATES FLOWLINE
TC INDICATES TOP OF CONCRETE
IF INDICATES TOP OF FINISH FLOOR
TS INDICATES TOP OF STEP
FS INDICATES FINISH SURFACE OTHER THAN DIRT
FIW INDICATES FINISH FLOOR
TRW INDICATES TOP OF RETAINING WALL
TW INDICATES TOP OF WALL
FG INDICATES FINISH GRADE
INV. INDICATES INVERT
R-S.L. INDICATES BUILDING SETBACK LINE
INDICATES GRAVEL DRIVEWAY
INDICATES CONCRETE
INDICATES GRAVEL
INDICATES CMU WALLS
INDICATES CMU WALLS
INDICATES STEP IN FINISH FLOOR

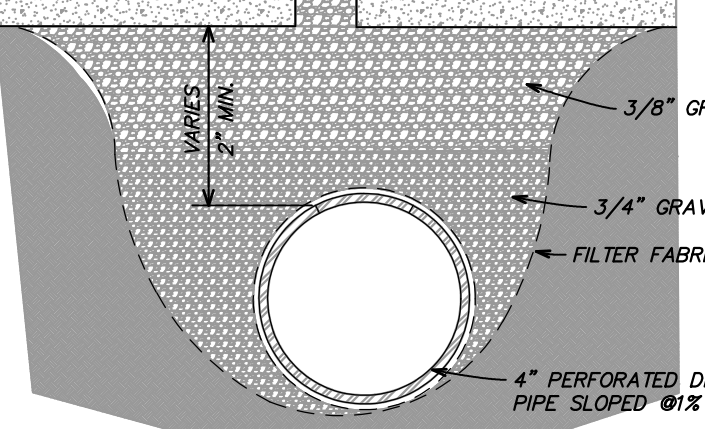
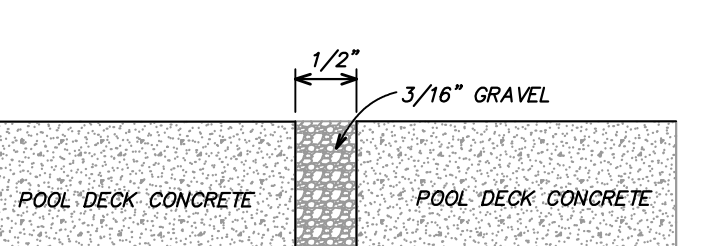
CONSTRUCTION NOTES AND QUANTITIES:

NO.	DESCRIPTION	QTY	UNIT
①	CONSTRUCT 6" P.C.C. CONCRETE DRIVEWAY	6,321	S.F.
②	CONSTRUCT 4" P.C.C. CONCRETE WALKWAY	9,313	S.F.
③	CONSTRUCT CMU WALL (UNDER SEPARATE PERMIT)	778	L.F.
④	INSTALL NDS 4" ATRIUM GRATE NO. NDS 78 S	71	EA.
⑤	INSTALL BUBBLER BOX BROOKS 1212 L18 / PARKWAY GRATE DETAIL 5 - SHEET 1	7	EA.
⑥	CONSTRUCT CHANNEL DRAIN PER DETAIL 6 - SHEET 1	140	L.F.
⑦	INSTALL 4" PVC DRAIN PIPE OR EQUAL @ 1% MIN. SLOPE UNLESS OTHERWISE NOTED	1,222	L.F.
⑧	INSTALL 6" PVC DRAIN PIPE OR EQUAL @ 1% MIN. SLOPE UNLESS OTHERWISE NOTED	279	L.F.

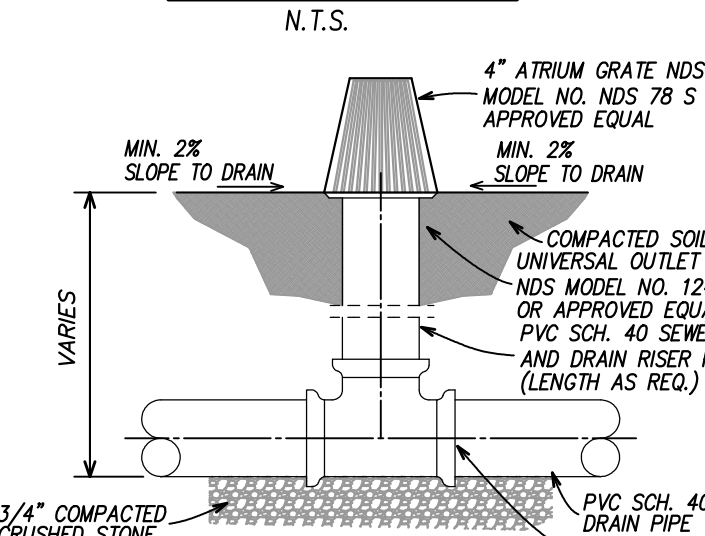
- NOTE:**
- CONTRACTOR SHALL OVEREXCAVATE OR OTHERWISE PREPARE SUBGRADE FOR PAVING AREAS PER GEOTECHNICAL ENGINEERS REPORT AND RECOMMENDATIONS
 - SOILS ENGINEER:
 - DATE:
 - ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS PLAN.
 - SURFACE WATER WILL DRAIN AWAY FROM BUILDING.
 - FOR SEWER, WATER & GAS LINE CONNECTIONS TO BUILDING SEE ARCHITECTS PLANS
 - ALL FREESTANDING BLOCK WALLS TO BE CONSTRUCTED UNDER SEPARATE PERMIT

SHEET INDEX:

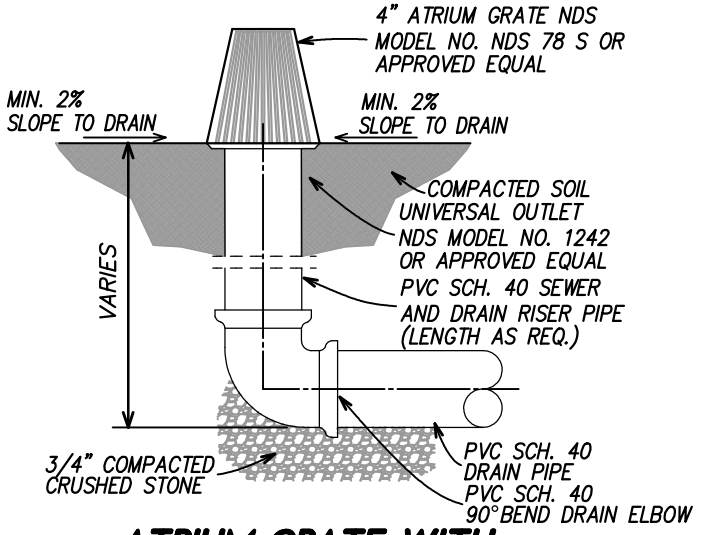
- SHEET 1 COVER SHEET
SHEET 2 DRAINAGE PLAN - LOT 10
SHEET 3 DRAINAGE PLANS - LOT 11
SHEET 4 DRAINAGE PLANS - LOT 12
SHEET 5 DRAINAGE PLANS - LOT 13



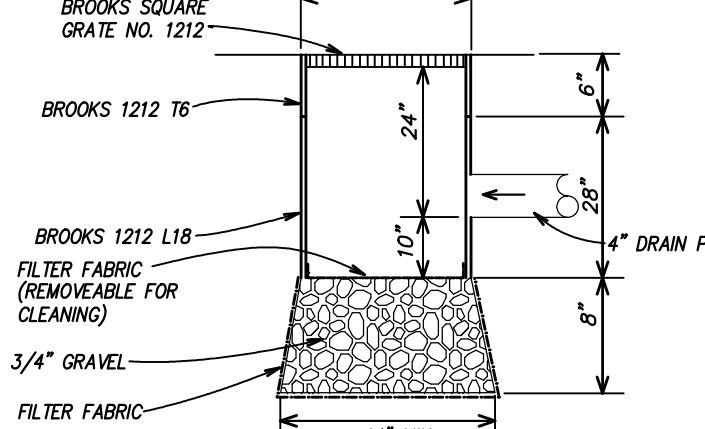
DRAIN CHANNEL DETAIL 6
N.T.S.



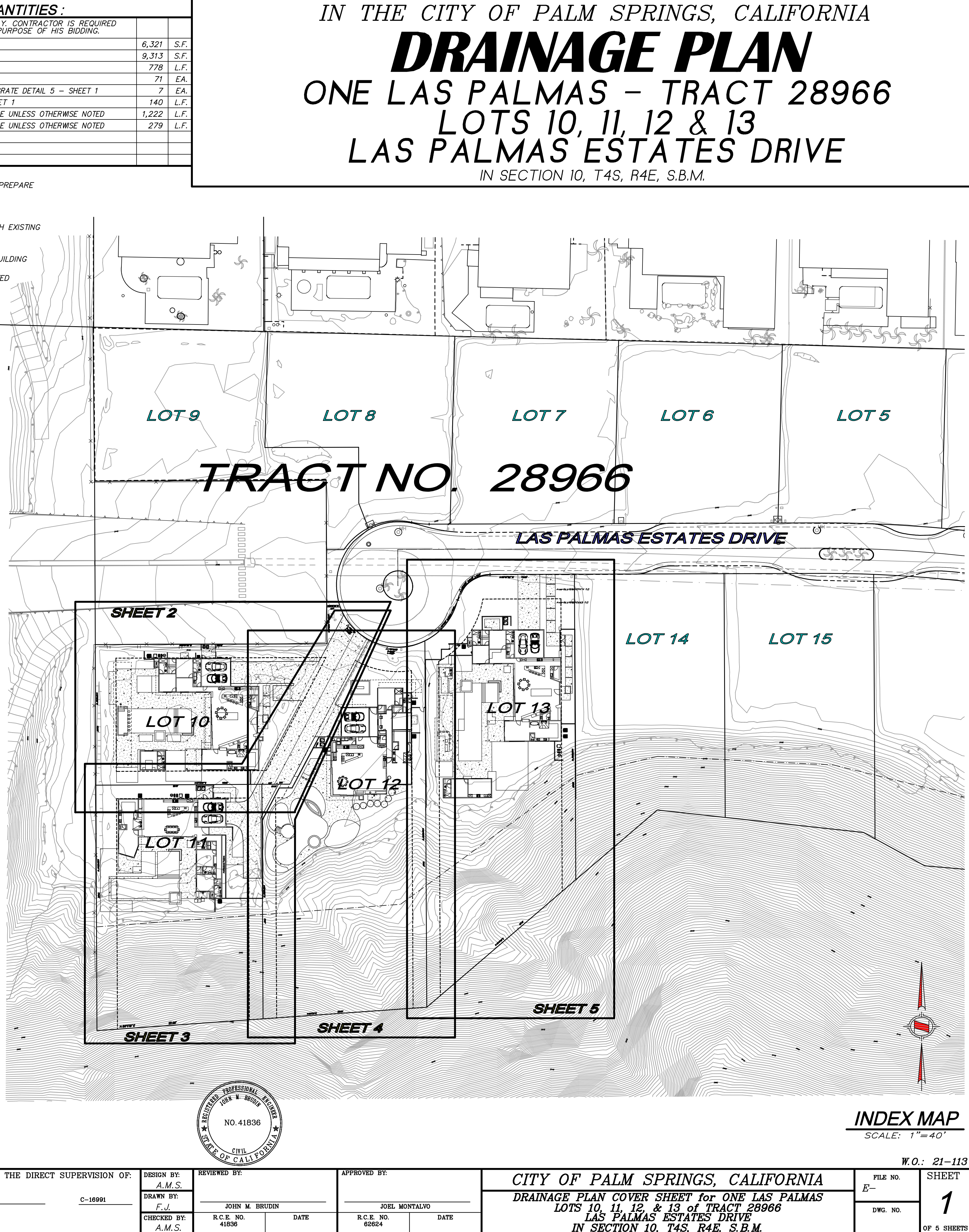
ATRIUM GRATE WITH ADAPTER OR DRAIN TEE
N.T.S.



ATRIUM GRATE WITH ADAPTER OR DRAIN BELOW
N.T.S.



DETAIL 5 BUBBLER BOX
N.T.S.



INDEX MAP
SCALE: 1" = 40'

W.O.: 21-113
E-

NO.	REVISION	APPROVED	DATE	BENCH MARK	S-EV.	ELEV.
				S-7		522.938

PREPARED UNDER THE DIRECT SUPERVISION OF: JOHN M. BRUDIN
DESIGN BY: A.M.S.
REVIEWED BY: JOHN M. BRUDIN
APPROVED BY: JOEL MONTALVO

DATE: _____
CHECKED BY: A.M.S.
R.C.E. NO.: 41896

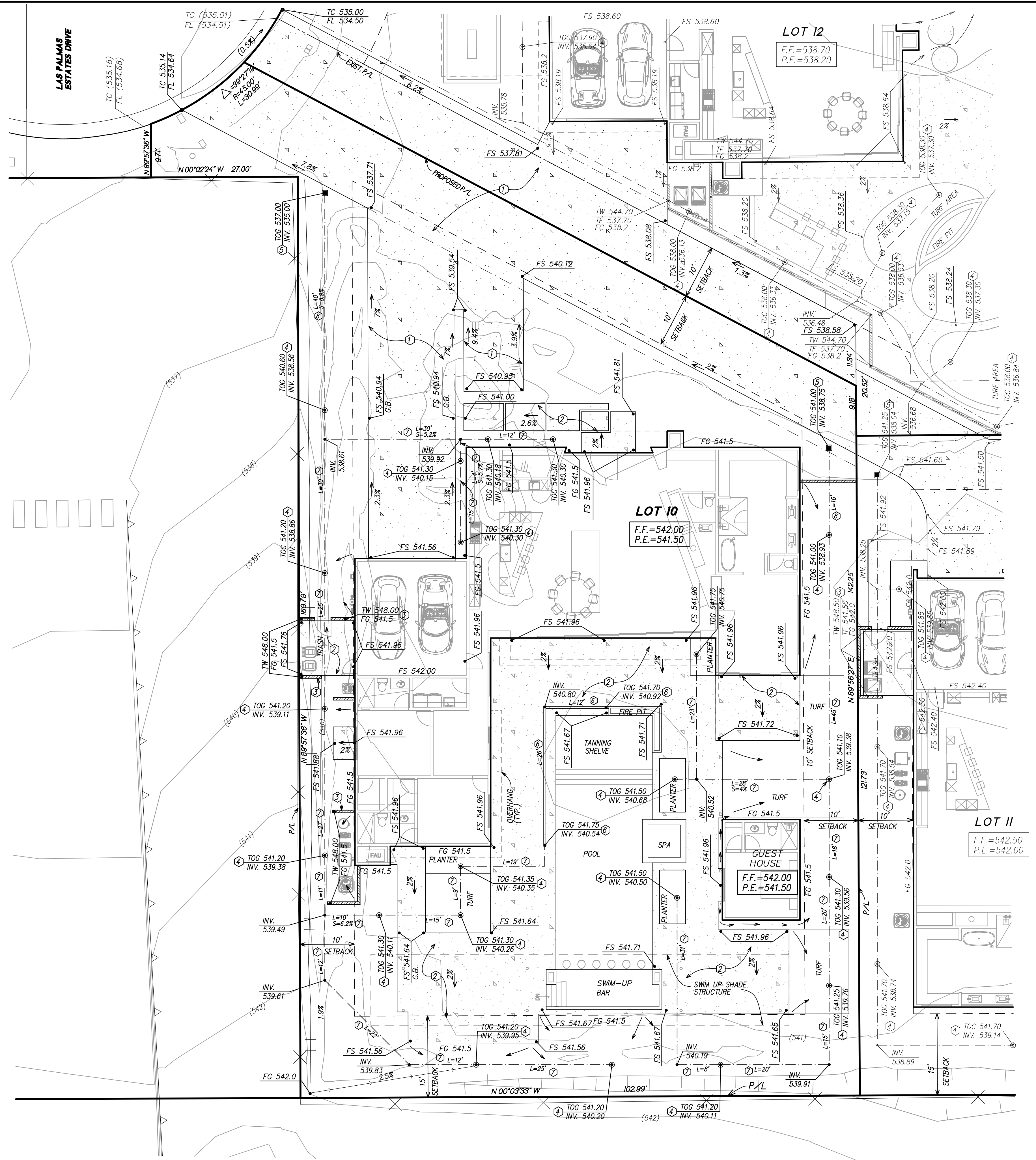
SANBORN ARCHITECTURE GROUP, INC.
71650 SAHARA RD. SUITE 323
RANCHO MIRAGE, CA. 92270
TEL (760) 423-0600 FAX (760) 423-0603

CITY OF PALM SPRINGS, CALIFORNIA
DRAINAGE PLAN COVER SHEET FOR ONE LAS PALMAS LOTS 10, 11, 12, & 13 OF TRACT 28966 LAS PALMAS ESTATES DRIVE IN SECTION 10, T4S, R4E, S.B.M.

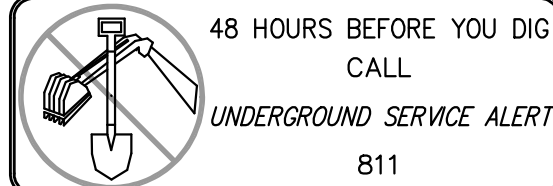
FILE NO.	SHEET
E-	1

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 - CONSTRUCT CMU WALL (UNDER SEPARATE PERMIT)
 - INSTALL NDS 4" ATRIUM GRATE NO. NDS 78 S
 - INSTALL BUBBLER BOX BROOKS 1212 L18 / PARKWAY GRATE DETAIL 5 - SHEET 1
 - CONSTRUCT CHANNEL DRAIN PER DETAIL 6 - SHEET 1
 - INSTALL 4" PVC DRAIN PIPE OR EQUAL @ 1% MIN. SLOPE UNLESS OTHERWISE NOTED
 - INSTALL 6" PVC DRAIN PIPE OR EQUAL @ 1% MIN. SLOPE UNLESS OTHERWISE NOTED



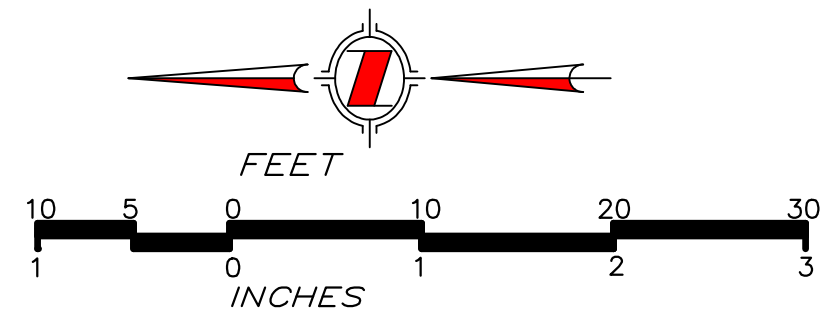
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NO.	REVISION	DATE	APPROVED	DATE

BENCH MARK S-7 ELEV. 522.938
LOCATION U.S. ARMY BRASS CAP IN SOUTH CURB OF CRESENT DRIVE NEAR DRY FALLS 25' EAST OF CENTERLINE

SANBORN ARCHITECTURE GROUP, INC.
71650 SAHARA RD., SUITE 4
RANCHO MIRAGE, CA 92375
TEL (760) 423-0600
FAX (760) 423-0603

PREPARED UNDER THE DIRECT SUPERVISION OF:
ALLEN M. SANBORN
C-16991

DESIGN BY: A.M.S.
DRAWN BY: F.J.
CHECKED BY: A.M.S.

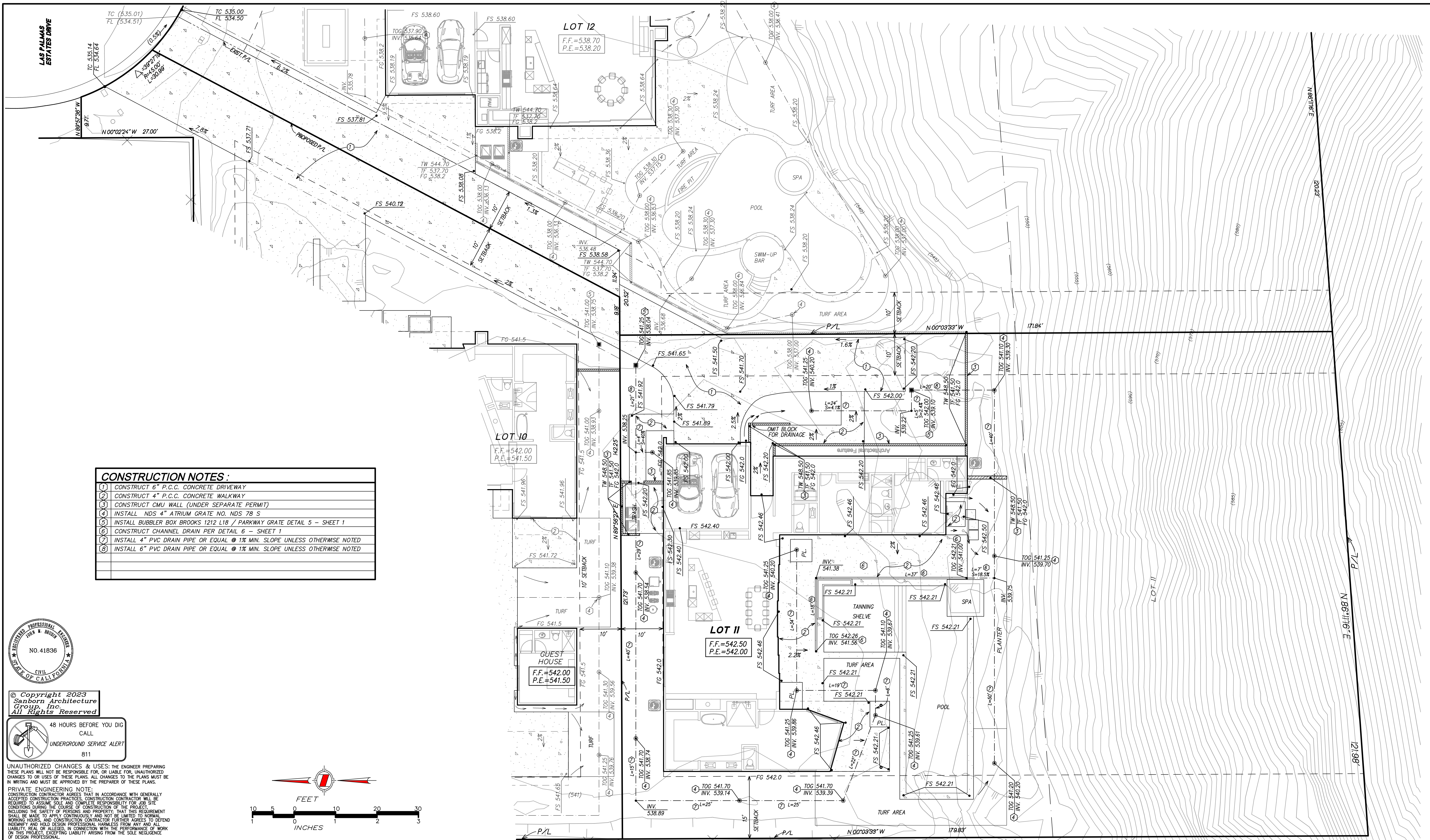
REVIEWED BY: JOHN M. BRUDIN
APPROVED BY: JOEL MONTALVO

CITY OF PALM SPRINGS, CALIFORNIA
DRAINAGE PLAN FOR ONE LAS PALMAS
LOT 10 TRACT 28966
LAS PALMAS ESTATES DRIVE
IN SECTION 10, T4S, R4E, S.B.M.

FILE NO. E-
DWG. NO. 2
SHEET OF 5 SHEETS

W.O.: 21-113

2/28/2023 10:41 AM - 2: Unchecked File: 21_113_Footer_1 Las Palmas, AAC, Grading, Lot 10-13, 1362 GRADING LOT 10

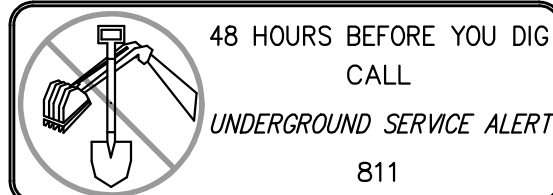


CONSTRUCTION NOTES:

- 1 CONSTRUCT 6" P.C.C. CONCRETE DRIVEWAY
- 2 CONSTRUCT 4" P.C.C. CONCRETE WALKWAY
- 3 CONSTRUCT CMU WALL (UNDER SEPARATE PERMIT)
- 4 INSTALL NDS 4" ATRIUM GRATE NO. NDS 78 S
- 5 INSTALL BUBBLER BOX BROOKS 1212 L18 / PARKWAY GRATE DETAIL 5 - SHEET 1
- 6 CONSTRUCT CHANNEL DRAIN PER DETAIL 6 - SHEET 1
- 7 INSTALL 4" PVC DRAIN PIPE OR EQUAL @ 1% MIN. SLOPE UNLESS OTHERWISE NOTED
- 8 INSTALL 6" PVC DRAIN PIPE OR EQUAL @ 1% MIN. SLOPE UNLESS OTHERWISE NOTED

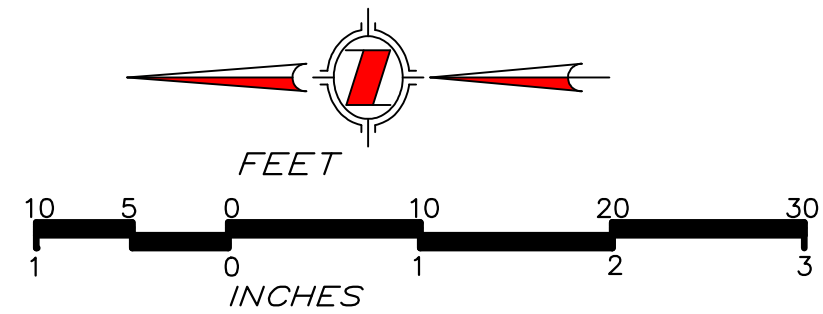


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NO.	REVISION	APPROVED	DATE	CORRECTED BY	APPROVED BY	DATE

BENCH MARK	S-7	ELEV.	522.938
LOCATION	U.S. ARMY BRASS CAP IN SOUTH CURB OF CRESENT DRIVE NEAR DRY FALLS 25' EAST OF CENTERLINE		

SANBORN ARCHITECTURE GROUP, INC.
71650 SAHARA RD., SUITE 140
RANCHO MIRAGE, CA 92270
TEL (760) 423-0800
FAX (760) 423-0803

PREPARED UNDER THE DIRECT SUPERVISION OF:
ALLEN M. SANBORN
C-18991
DATE

DESIGN BY: A.M.S.
DRAWN BY: F.J.
CHECKED BY: A.M.S.

REVIEWED BY: JOHN M. BRUDIN
R.C.E. NO. 41836
DATE

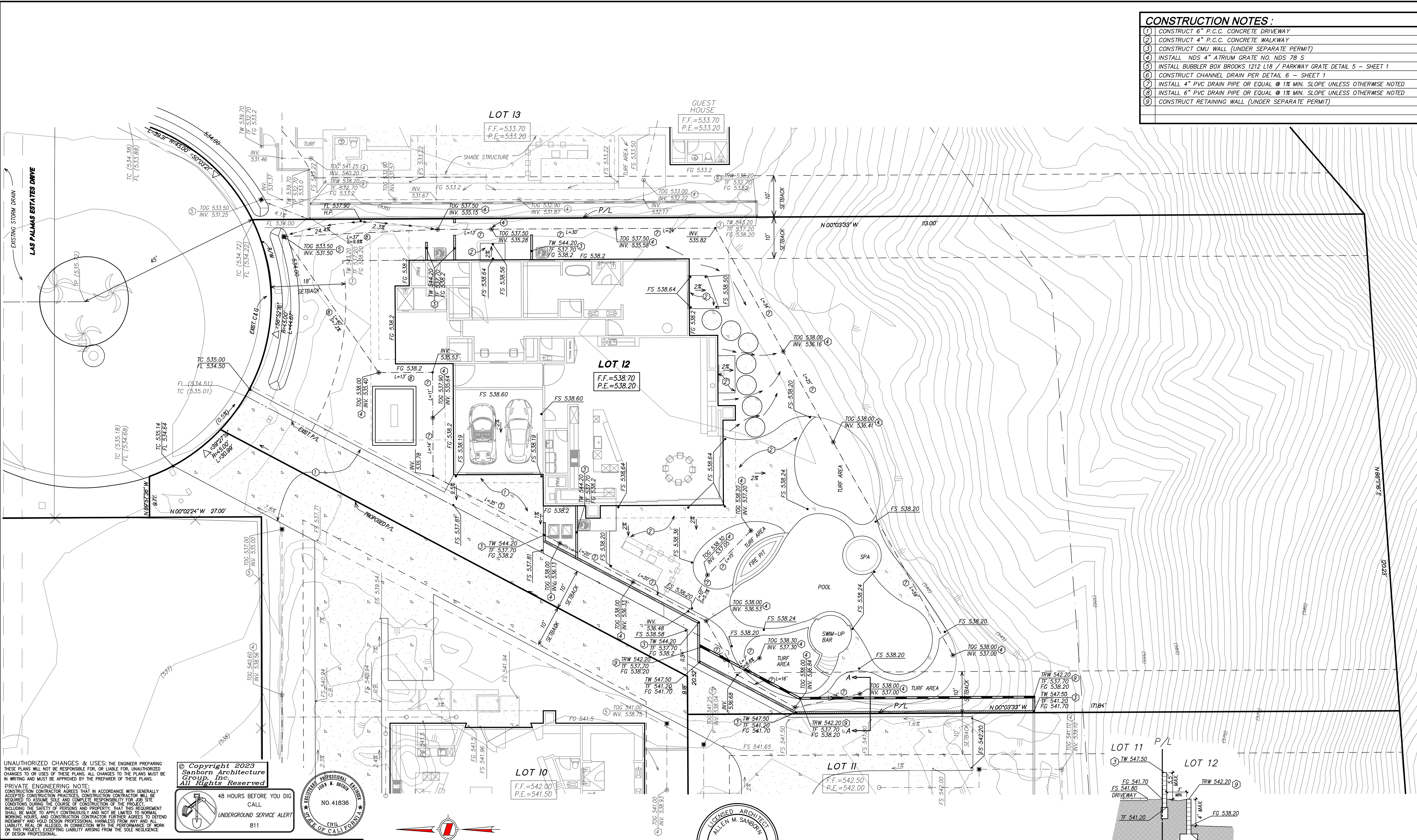
APPROVED BY: JOEL MONTALVO
R.C.E. NO. 62824
DATE

CITY OF PALM SPRINGS, CALIFORNIA
DRAINAGE PLAN FOR ONE LAS PALMAS
LOT 11 TRACT 28966
LAS PALMAS ESTATES DRIVE
IN SECTION 10, T4S, R4E, S.B.M.

FILE NO. SHEET
DWG. NO. **3**
OF 5 SHEETS

W.O.: 21-113

- CONSTRUCTION NOTES:**
- 1) CONSTRUCT 6" P.C.C. CONCRETE DRIVEWAY
 - 2) CONSTRUCT 4" P.C.C. CONCRETE WALKWAY
 - 3) CONSTRUCT CMU WALL (UNDER SEPARATE PERMIT)
 - 4) INSTALL NDS 4" ATRIUM GRATE NO. NDS 78 S
 - 5) INSTALL BUBBLER BOX BROOKS 1212 L18 / PARKWAY GRATE DETAIL 5 - SHEET 1
 - 6) CONSTRUCT CHANNEL DRAIN PER DETAIL 6 - SHEET 1
 - 7) INSTALL 4" PVC DRAIN PIPE OR EQUAL @ 1% MIN. SLOPE UNLESS OTHERWISE NOTED
 - 8) INSTALL 6" PVC DRAIN PIPE OR EQUAL @ 1% MIN. SLOPE UNLESS OTHERWISE NOTED
 - 9) CONSTRUCT RETAINING WALL (UNDER SEPARATE PERMIT)

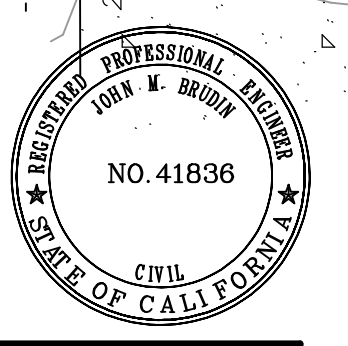


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RANCHO MIRAGE, CA 92270
TEL (760) 423-0600
FAX (760) 423-0603

PREPARED UNDER THE DIRECT SUPERVISION OF:
ALLEN M. SANBORN
C-16991
DATE: _____

DESIGN BY: A.M.S.
DRAWN BY: F.J.
CHECKED BY: A.M.S.

REVIEWED BY: JOHN M. BRUDIN
APPROVED BY: JOEL MONTALVO

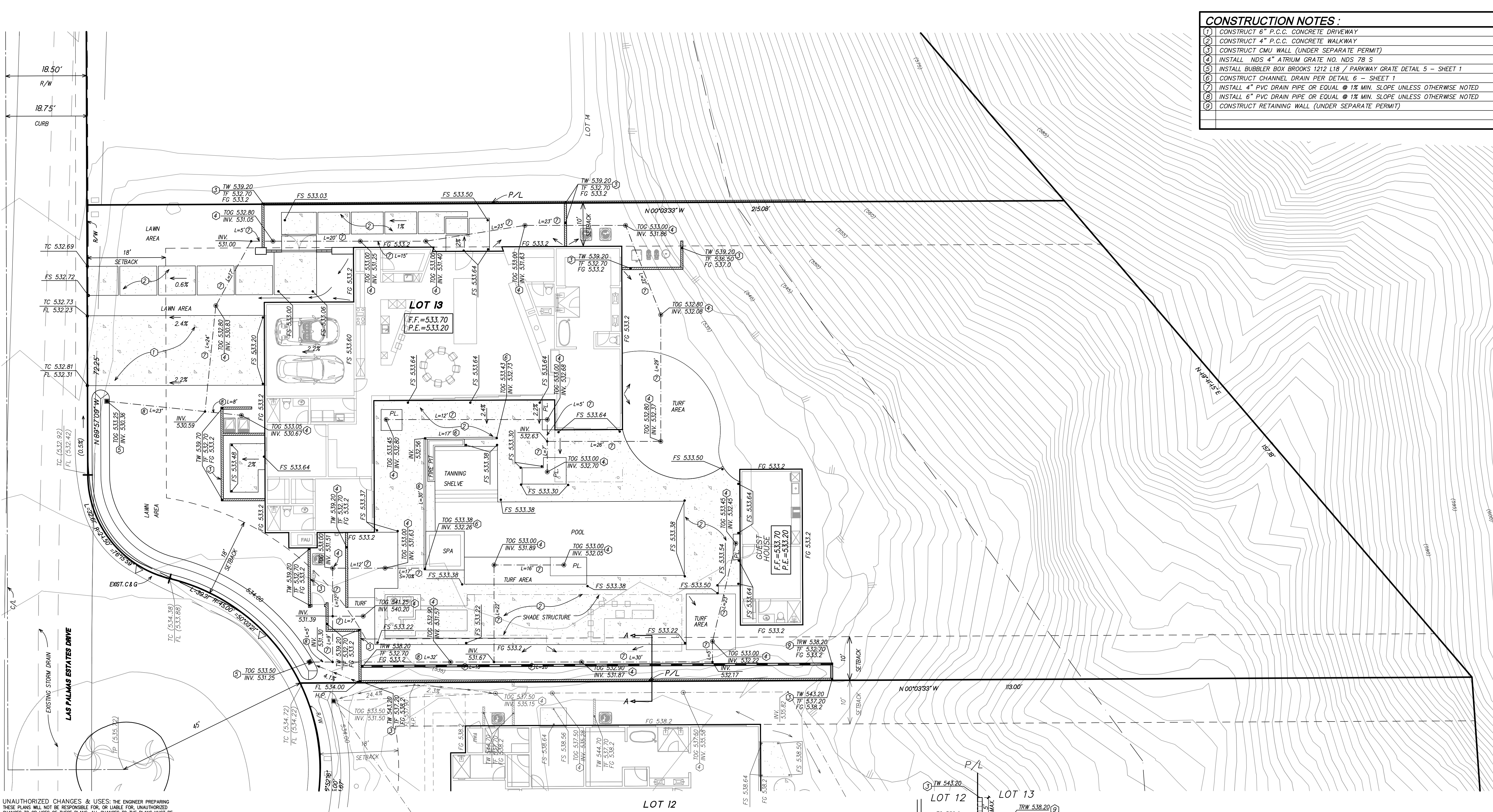
CITY OF PALM SPRINGS, CALIFORNIA
DRAINAGE PLAN for ONE LAS PALMAS
LOT 12 TRACT 28906
LAS PALMAS ESTATES DRIVE
IN SECTION 10, T4S, R4E, S.B.M.

FILE NO. E-
SHEET 4
OF 5 SHEETS

W.O.: 21-113

3/14/2023 2:19 PM Z:\Database Files\31 Database Files\31-113 Foster 1 Las Palmas\AC\Creating Lot 10-13\106 GRADING LOT 12

CONSTRUCTION NOTES:	
1	CONSTRUCT 6" P.C.C. CONCRETE DRIVEWAY
2	CONSTRUCT 4" P.C.C. CONCRETE WALKWAY
3	CONSTRUCT CMU WALL (UNDER SEPARATE PERMIT)
4	INSTALL NDS 4" ATRIUM GRATE NO. NDS 78 S
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8	INSTALL 6" PVC DRAIN PIPE OR EQUAL @ 1% MIN. SLOPE UNLESS OTHERWISE NOTED
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NO.	REVISION	DATE	APPROVED BY

NO.	REVISION	DATE	APPROVED BY

BENCH MARK	S-7	ELEV.	522.938
LOCATION	U.S. ARMY BRASS CAP IN SOUTH CURB OF PRESENT DRIVE NEAR DRY FALLS 25' EAST OF CENTERLINE		

AC SANBORN ARCHITECTURE GROUP, INC.
 71650 SAHARA RD., SUITE 207
 RANCHO MIRAGE, CA 92270
 TEL (760) 423-0800
 FAX (760) 423-0803

PREPARED UNDER THE DIRECT SUPERVISION OF:
ALLEN M. SANBORN
 C-16991
 EXP. 12/31/2023

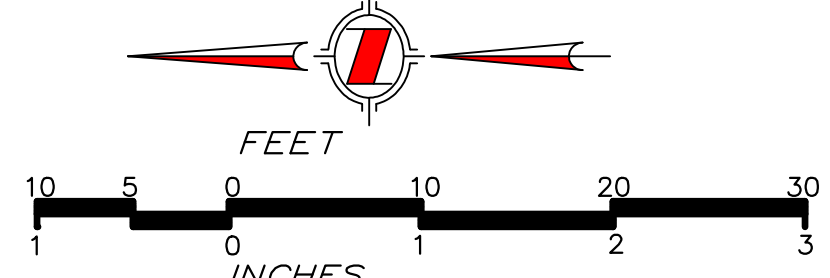
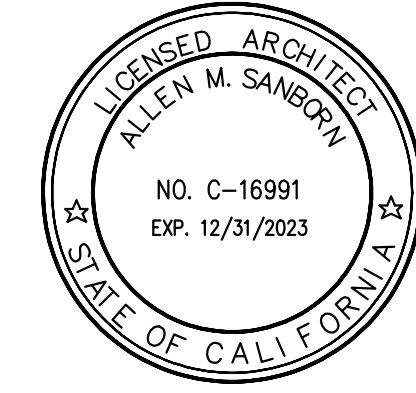
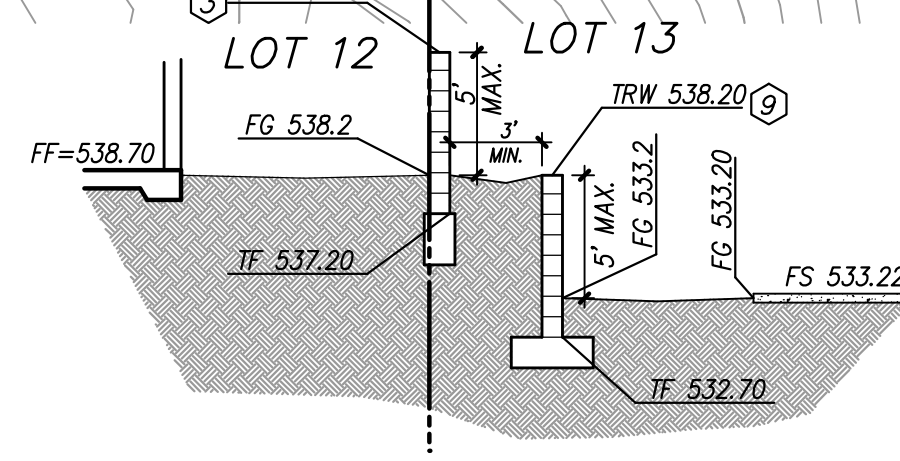
DESIGN BY: A.M.S.
 DRAWN BY: F.J.
 CHECKED BY: A.M.S.

REVIEWED BY: JOHN M. BRUDIN
 R.C.E. NO. 41898
 DATE

APPROVED BY: JOEL MONTALVO
 R.C.E. NO. 62824
 DATE

CITY OF PALM SPRINGS, CALIFORNIA
 DRAINAGE PLAN for ONE LAS PALMAS
 LOT 13 TRACT 28966
 LAS PALMAS ESTATES DRIVE
 IN SECTION 10, T4S, R4E, S.B.M.

FILE NO. E-
 SHEET **5**
 OF 5 SHEETS



3/14/2023 2:31 PM Z:\Desktop Files\21-113\Footer 1 Las Palmas MAC\Drawing Lot 10-13-05.dwg LOT 13