



ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: May 15, 2023

NEW BUSINESS

SUBJECT: REQUEST BY MCGEE SHARON ARCHITECTS ON BEHALF OF DESERT PRODUCTIONS LLC, FOR ARCHITECTURAL REVIEW APPLICATION TO CONSTRUCT A 10,959 -SQUARE FOOT WAREHOUSE FACILITY ON A 21,923-SQUARE FOOT UNDEVELOPED PARCEL LOCATED AT 200 OASIS ROAD (APN: 669-444-012, 669-444-011), ZONE M-1-SP, (CASE 3.2864 MAJ/DP). (SY)

FROM: DEPARTMENT OF PLANNING SERVICES

PROJECT DESCRIPTION:

The applicant proposes to construct a 10,959-square foot warehouse facility on 21,923-square foot undeveloped site on West Oasis Road. The proposed structure is a one (1) story building with a maximum height of 30'-0", and a total of fourteen (14) on-site parking spaces. The climate-controlled building will be used to store materials, supplies and artwork. Based on operational need, there will be 1-2 employees on the site and the facility will be open 24 hours a day, 7 days a week. Pursuant to the M-1-SP Zone and the College Park Specific Plan, "warehousing" is a permitted use.

On March 22, 2023 the Planning Commission reviewed the proposed project and recommended approval to the Architecture Review Committee, subject to the conditions of approval with the following recommendations to ARC regarding the landscape design:

1. Pennisetum (Fountain grass) is considered an invasive grass that should not be permitted in the final landscape plan.
2. Reconsider the proposed tree species (Cercidum Floribunda – "Desert Museum" & Caesalpinia Cacalaco – "Smoothie") for ones that do not have blighted conditions and will better withstand windy conditions.
3. Hesperglloe parviflora (Red Yucca) should be located in an area with direct sun exposure.

The project is exempt from CEQA review.

On May 2, 2023 the applicant obtained an Administrative Minor Modification approval to increase the wall height at the front of the property by 20% to address noise and security

concerns. This was a condition of approval in the resolution approved by the Planning Commission that needed to be completed prior to Architectural Review Committee (ARC) review.

RECOMMENDATION:

That the Architectural Review Committee approve the proposed project subject to the conditions of approval included in Exhibit A of the attached draft resolution.

BUSINESS PRINCIPAL DISCLOSURE:

Public Integrity Disclosure Form is attached to this report.

BACKGROUND INFORMATION:

<i>Related Relevant City Actions</i>	
03/22/2023	Planning Commission approved a Major Development Permit application subject to conditions of approval.

STAFF ANALYSIS:

<i>Site Area</i>	
Net Acres	0.5 acres / 21,923 Square Feet

<i>Conformance to Development Standards</i>	
Conformance to Development Standards	The project was analyzed for conformance to development standards as listed in PSZC Section 92.16.03 as part of Development Permit application (Case 3.2864 MAJ/DP).

PSZC Section 94.04.00(E)(13) requires that the proposed application be consistent with any adopted Specific Plan or Planned Development District Design Standards:

<i>Applicable Specific Plan Area or Design Standards</i>	<i>Compliance</i>
College Park Specific Plan	Y

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<p><i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i></p> <p>Insulated metal siding and metal overhang canopies are proposed on all four sides of the building giving it a cohesive style and appearance. Roller doors are proposed on elevations that have vehicular access and scaled to relate to other openings on the facade. Neutral colors are selected for the exterior materials and the darker colors are utilized to help break down the monotony and massing of the building.</p>	Y
2.	<p><i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i></p> <p>There are no accessory structures proposed.</p>	N/A
3.	<p><i>The façade elements and fenestration are composed in a harmonious manner;</i></p> <p>Fenestration is mainly concentrated on the south and west elevations which have the most exposed views from West Oasis Road. The windows are positioned towards the top half of the building in simple pattern that is controlled and responsive to the interior program.</p>	Y
4.	<p><i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i></p> <p>The metal siding and concrete block walls are commonly used for warehouse construction due to their durability in desert conditions. Nearby properties utilize similar materials, and the color selection is one that is consistent with the surrounding area.</p>	Y
5.	<p><i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i></p> <p>The desert-neutral color palette includes various shades of beige and grey, and the darker greys are used sparingly with this design. Additionally, the planting schedule incorporates colors seen in the desertscape.</p>	Y
6.	<p><i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i></p> <p>Decorative metal overhangs are placed above all windows and provide some shading, and the landscape design includes nine (9) shade trees in accordance with the code requirements.</p>	Y
7.	<p><i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i></p> <p>The proposed planting schedule consists of plant materials that are included in the Lush and Efficient landscape gardening book. The Planning Commission provided additional recommendations regarding the proposed trees species listed above. 1" crushed rock is proposed as the ground coverage material and no turf will be installed. The landscape design is consistent with the Palm Springs Water Conservation Ordinance (PSMC Chapter 8.60) but will need to be approved by the DWA prior to building permit submission.</p>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
8.	<i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i>	Y
	The proposed landscape plan concentrates planting material along the south and west sides of the property. The design provides the necessary shade and screening required for the site. The spacing of the shrubs appears to meet the required ground coverage requirements and the use of crushed rock and boulders create hierarchy in the design. The landscape is consistent with the zoning requirements found in the College Park Specific Plan.	
9.	<i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i>	Y
	The project includes the installation of a new 5' sidewalk along the south side of the property abutting West Oasis Road. Six (6) shade trees are to be planted along this new sidewalk which will provide adequate shade for pedestrians. The bike rack is also located under the canopy of a shade tree near the location set aside for future EV charging.	
10.	<i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i>	Y
	Two different types of exterior light fixtures are proposed to be mounted to the building. Entry points to the building will have illumination, providing good visibility. The lighting plan is integrated with the design of the site and minimizes the amount of light spill/pollution to maintain dark sky conditions and is consistent with the requirements of PSZC Section 93.21.00. The project is subject to condition of approval PLN 1, which is intended to ensure conformance to this requirement.	
11.	<i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i>	N/A
	Plans for signage have not been included with this application. All future signage must conform to the Sign Ordinance regulations as a standard condition of approval.	
12.	<i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i>	Y
	Mechanical equipment for this project is concentrated along the south elevation where the building footprint is recessed by 8' to accommodate the placement of these units. A 6' tall CMU wall is proposed to screen the equipment from view. The landscape design also provides another layer of screening.	

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
13.	<p><i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i></p> <p>The project is consistent with the College Park Specific Plan, Industrial Park Area, which is identified as an area with a mix of uses. The planning and design concepts for this area encourages highly visible buildings that do not overwhelm the streetscape, development that encourages commercial properties, and addresses circulation and parking deficiencies. The proposed building is compatible in use and design with the surrounding context and enhances the existing streetscape with an articulated building and compatible landscape plan. Pedestrian access as well as vehicular access are improved with the proposed design.</p>	Y

ENVIRONMENTAL ANALYSIS:

On March 22, 2023, the Planning Commission determined that the proposed project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of Title 14, Chapter 3 of the California Code of Regulations (Class 32, In-Fill Development Projects). The scope of the proposed project has not changed since this determination. Pursuant to Section 15378 (C) of the CEQA Guidelines, the ARC’s review and decision is not subject to further CEQA review.

CONCLUSION:

On March 22, 2023, the Planning Commission approved the Major Development Permit application subject to conditions of approval. The submitted application is consistent with the architectural review criteria; therefore, staff recommends that the ARC approve the Major Architectural (MAJ) application, Case 3.2864 MAJ, subject to conditions of approval included in Exhibit A of the attached draft resolution.

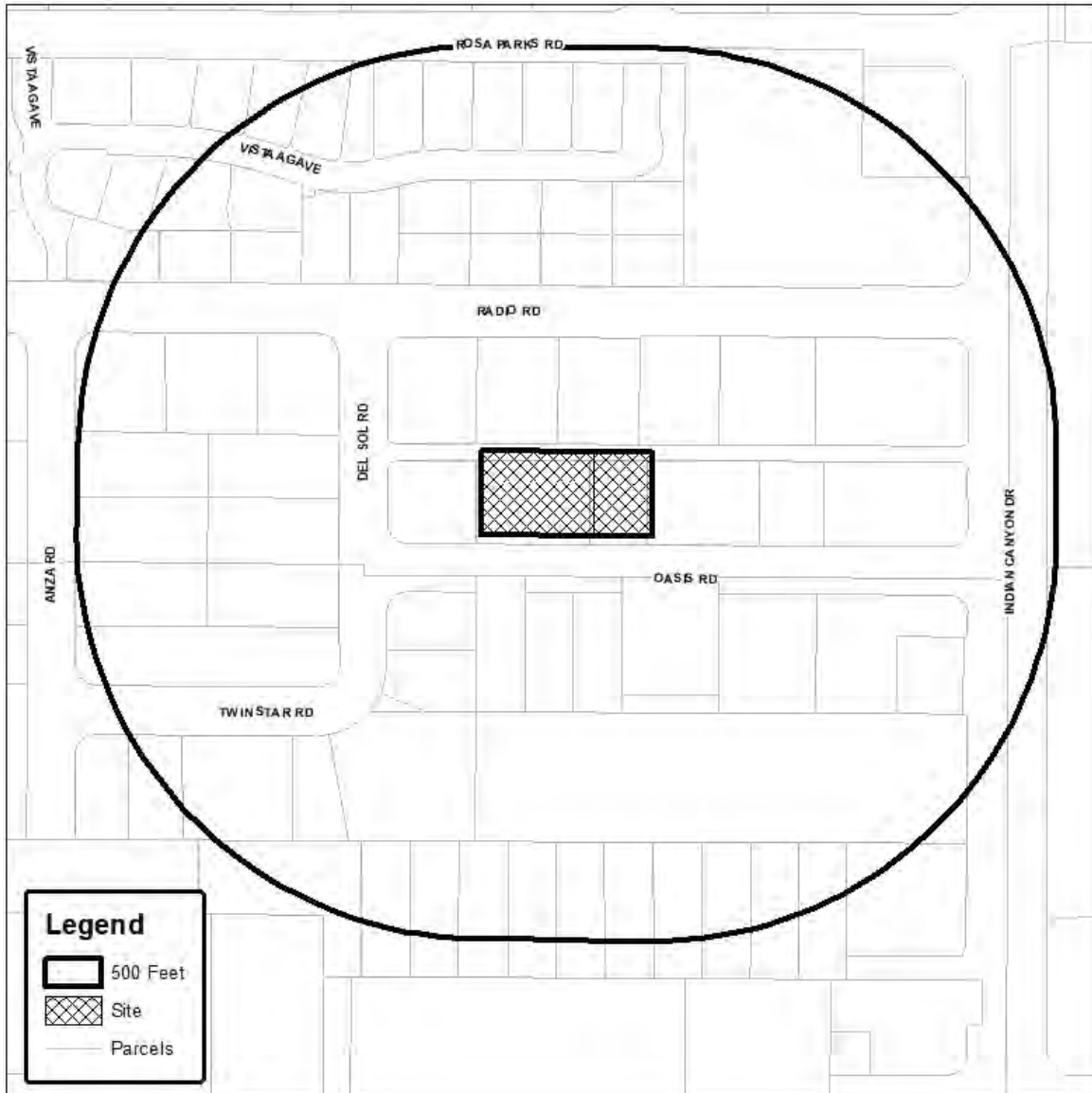
PREPARED BY:	Sarah Yoon, Associate Planner
REVIEWED BY:	David Newell, AICP, Assistant Director of Planning

ATTACHMENTS:

1. Vicinity Map
2. ARC Resolution and Conditions of Approval Exhibit A
3. Justification Letter
4. Public Integrity Disclosure Form
5. PC Resolution and Conditions of Approval
6. Plans



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS
Case 3.2864 MAJ & DP
200 West Oasis Road
(APN #669-444-012 & 669-444-011)

RESOLUTION NO. ____

A RESOLUTION OF THE ARCHITECTURE REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING ARCHITECTURAL REVIEW APPLICATION, CASE 3.2864 MAJ, TO CONSTRUCT A 10,959-SQUARE-FOOT WAREHOUSE FACILITY ON AN UNDEVELOPED PARCEL LOCATED AT 200 WEST OASIS ROAD (APN: 669-444-012, 669-444-011), ZONE M-1-SP.

THE ARCHITECTURE REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

WHEREAS, McGee Architects on behalf of Desert Productions, LLC (the "Applicant") has filed a Major Architecture Review application, Case 3.2864 MAJ, in accordance with Section 94.04.00 (Architectural Review) of the Plan Springs Zoning Code to construct a 10,959-square-foot warehouse facility on a 0.5-acre undeveloped parcel located at 200 West Oasis Road, Zone M-1-SP (College Park Specific Plan); and

WHEREAS, On March 22, 2023, the Planning Commission approved the associated Major Development Permit, Case 3.2864 MAJ/DP in accordance with Section 94.04.01 of the Zoning Code; and

WHEREAS, on May 15, 2023, the City's Architectural Review Committee held a public meeting in accordance with applicable law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURE REVIEW COMMITTEE RESOLVES:

Section 1: Architecture Review Committee Findings.

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

1. *The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;*

Insulated metal siding and metal overhang canopies are proposed on all four sides of the building giving it a cohesive style and appearance. Roller doors are proposed on elevations that have vehicular access and scaled to relate to other openings on the facade. Neutral colors are selected for

the exterior materials and the darker colors are utilized to help break down the monotony and massing of the building.

2. *The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;*

There are no accessory structures proposed.

3. *The façade elements and fenestration are composed in a harmonious manner;*

Fenestration is mainly concentrated on the south and west elevations which have the most exposed views from West Oasis Road. The windows are positioned towards the top half of the building in simple pattern that is controlled and responsive to the interior program.

4. *The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;*

The metal siding and concrete block walls are commonly used for warehouse construction due to their durability in desert conditions. Nearby properties utilize similar materials, and the color selection is one that is consistent with the surrounding area.

5. *The proposed color scheme is appropriate to the desert environment and consistent with the site context;*

The desert-neutral color palette includes various shades of beige and grey, and the darker greys are used sparingly with this design. Additionally, the planting schedule incorporates colors seen in the desertscape.

6. *Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;*

Decorative metal overhangs are placed above all windows and provide some shading, and the landscape design includes nine (9) shade trees in accordance with the code requirements.

7. *The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;*

The proposed planting schedule consists of plant materials that are included in the Lush and Efficient landscape gardening book. The

Planning Commission provided additional recommendations regarding the proposed trees species listed above. 1" crushed rock is proposed as the ground coverage material and no turf will be installed. The landscape design is consistent with the Palm Springs Water Conservation Ordinance (PSMC Chapter 8.60) but will need the landscape plan approved by the DWA prior to building permit submission.

8. *The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;*

The proposed landscape plan concentrates planting material along the south and west sides of the property. The design provides the necessary shade and screening required for the site. The spacing of the shrubs appears to meet the required ground coverage requirements and the use of crushed rock and boulders create hierarchy in the design. The landscape is consistent with the zoning requirements found in the College Park Specific Plan.

9. *The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;*

The project includes the installation of a new 5' sidewalk along the south side of the property abutting West Oasis Road. Six (6) shade trees are to be planted along this new sidewalk which will provide adequate shade for pedestrians. The bike rack is also located under the canopy of a shade tree near the location set aside for future EV charging.

10. *The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;*

Two different types of exterior light fixtures are proposed to be mounted to the building. Entry points to the building will have the illumination, providing good visibility. The lighting plan is integrated with the design of the site and minimizes the amount of light spill/pollution to maintain dark sky conditions and is consistent with the requirements of PSZC Section 93.21.00. The project is subject to condition of approval PLN 1, which is intended to ensure conformance to this requirement.

11. *Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;*

Plans for signage have not been included with this application. All future

signage must conform to the Sign Ordinance regulations as a standard condition of approval.

12. *Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;*

Mechanical equipment for this project is concentrated along the south elevation where the building footprint is recessed by 8' to accommodate the placement of these units. A 6' tall CMU wall is proposed to screen the equipment from view. The landscape design also provides another layer of screening.

13. *The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.*

The project is consistent with the College Park Specific Plan, Industrial Park Area, which is identified as an area with a mix of uses. The planning and design concepts for this area encourages highly visible buildings that do not overwhelm the streetscape, development that encourages commercial properties, and addresses circulation and parking deficiencies. The proposed building is compatible in use and design with the surrounding context and enhances the existing streetscape with an articulated building and compatible landscape plan. Pedestrian access as well as vehicular access are improved with the proposed design.

As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Section 94.04.00 ("architectural review");

NOW, THEREFORE, BE IT RESOLVED that, based upon the foregoing, the Architecture Review Committee hereby approves Case 3.2864 MAJ, a Major Architectural application, for the construction of a 10,959-square-foot warehouse facility on an undeveloped parcel at 200 West Oasis Road subject to those conditions set forth in the Exhibit A.

ADOPTED THIS 15th DAY of May, 2023.

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

Christopher Hadwin
Director of Planning Services

RESOLUTION NO. ____

EXHIBIT A

Warehouse Facility
200 West Oasis Road
Case 3.2864 MAJ

May 15, 2023

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services and the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

ADM 1. Project Description. This approval is for the project described per Case 3.2864 MAJ; except as modified with the conditions below;

ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped March 22, 2023, including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the conditions below.

ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.

ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.

ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.2864 MAJ. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City

- of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.
- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration pursuant to PSZC 94.05.07.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05. Permits will not be issued until the appeal period has concluded.
- ADM 9. Public Art Fees. This project shall be subject to Chapters 2.24 and 3.37 of the Municipal Code regarding public art. The project shall either provide public art or payment of an in-lieu fee. In the case of the in-lieu fee, the fee shall be based upon the total building permit valuation as calculated pursuant to the valuation table in the Uniform Building Code, the fee being 1/2% for commercial projects or 1/4% for residential projects with first \$100,000 of total building permit valuation for individual single-family units exempt. Should the public art be located on the project site, said location shall be reviewed and approved by the Director of Planning and Zoning and the Public Arts Commission, and the property owner shall enter into a recorded agreement to maintain the artwork and protect the public rights of access and viewing.
- ADM 10. Comply with City Noise Ordinance. This use shall comply with the provisions of Section 11.74 Noise Ordinance of the Palm Springs Municipal Code. Violations may result in revocation of this Conditional Use Permit.

PLANNING DEPARTMENT CONDITIONS

- PLN 1. Outdoor Lighting Conformance. Outdoor lighting shall fully conform to the requirements of Palm Springs Zoning Code and shall not produce disability glare, discomfort glare, light trespass, and/or light pollution as defined in Palm Springs Zoning Cod Sections 93.21.00(A)(7), (8), (9), and (10).
- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 3. Sign Applications Required. No signs are approved by this action. Separate approval and permits shall be required for all signs in accordance with Zoning Code 93.20.00.
- PLN 4. Screen Roof-mounted Equipment. No roof-mounted equipment is proposed for the project at this time. If proposed, any roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.
- PLN 5. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 6. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 7. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 8. Trash Enclosures. Adequate sizing for trash, recyclable materials, and organic waste shall be provided in compliance with the Trash Enclosure Ordinance Section 93.07.02.
- PLN 10. Height of walls. Walls heights within the front property line have been modified pursuant to AMM 7.1672.
- PLN 11. Conditions imposed by the ARC. Review.
A. Final landscape plan must be approved by the Desert Water Agency

(DWA) prior to building permit submission.

ENGINEERING DIVISION CONDITIONS:

The Engineering Services Department recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

STREETS

- ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.
- ENG 2. Submit street improvement plans prepared by a registered California civil engineer to the Engineering Services Department. The plan(s) shall be approved by the City Engineer prior to issuance of any encroachment or building permits.
- ENG 3. Provide proposed finish floor elevations of all proposed structures, existing structures on site, and all adjacent off-site structures. Provide proposed on-site drainage flow designs. This information required prior to site plan approval.

OASIS ROAD

- ENG 4. Construct a 6 inch curb and gutter, 30 feet north of the centerline (or 20' north of the centerline of construction) along the entire frontage to match existing improvements in accordance with City of Palm Springs Standard Drawing No. 200.
- ENG 5. Construct a 24 feet wide driveway approach(es) in accordance with City of Palm Springs Standard Drawing No. 201.
- ENG 6. Construct driveway approach(es) to accommodate bay parking stalls along the Oasis Road frontage in accordance with City of Palm Springs Standard Drawing No. 201. Bay parking stalls shall be located completely on-site, behind sidewalk, and not within public right-of-way.

- ENG 7. Construct a 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210.
- ENG 8. Construct pavement with a minimum pavement section of 3 inches asphalt concrete pavement over 6 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, from edge of proposed gutter to clean sawcut edge of pavement along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 110. (Additional pavement removal and replacement may be required upon review of existing pavement cross-sections, and to ensure grade breaks of the pavement cross-section do not occur within a travel lane.) If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.
- ENG 9. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.
- ENG 10. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

PUBLIC ALLEY

- ENG 11. Construct a minimum pavement section of 2-1/2 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, through the full width of the public alley (20 feet wide excluding the gutter at centerline) along the entire frontage. The pavement section shall be designed, using "R" values, by a licensed Soils Engineer and submitted to the City Engineer for approval. (If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.)
- ENG 12. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.
- ENG 13. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

ON-SITE

- ENG 14. For on-site bay parking in residential and commercial zones, paving material shall be decorative paving, colored and/or patterned to relate to the overall design in accordance with Zoning Code 93.06.00.C.15.e.
- ENG 15. The minimum pavement section for all on-site pavement (drive aisles, parking spaces, etc.) shall be 2-1/2 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal. If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.
- ENG 16. On-site drive aisles or parking lot shall be constructed with curbs, gutters, and cross-gutters, as necessary to accept and convey street surface drainage of the on-site streets to the on-site drainage system, in accordance with applicable City standards.

SANITARY SEWER

- ENG 17. All sanitary facilities shall be connected to the public sewer system (via the proposed on-site private sewer system). New laterals shall not be connected at manholes.

GRADING

- ENG 18. Submit a Precise Grading Plan prepared by a California registered Civil engineer to the Engineering Services Department for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.
- a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on

the Coachella Valley Fugitive Dust Control Handbook and related “PM10” Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the grading plan.

b. The first submittal of the grading plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report; a copy of the project-specific Final Water Quality Management Plan.

- ENG 19. Prior to approval of a grading plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be provided to the City). The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at ACBCI-THPO@aguacaliente.net to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.
- ENG 20. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 21. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 22. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.

- ENG 23. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 24. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan.
- ENG 25. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project, prior to issuance of building permits.
- ENG 26. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval prior to issuance of building permits.
- ENG 27. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, Ca 90040 (Phone(760)782-3271,(562)505-6415),Sonia.Oran@cdfa.ca.gov.

WATER QUALITY MANAGEMENT PLAN

- ENG 28. This project shall be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit

issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating contaminated stormwater and non-stormwater runoff, shall be required.

ENG 29. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a grading or building permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to the adjacent property (or public streets) is prohibited. Construction of operational BMP's shall be incorporated into the Precise Grading and Paving Plan.

ENG 30. Prior to issuance of any grading or building permits, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement and maintain the approved Final Project-Specific Water Quality Management Plan (WQMP). Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include: requiring the implementation of the Final Project-Specific WQMP in Home Owners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&Rs); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to issuance of any grading or building permits.

DRAINAGE

ENG 31. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMPs).

ENG 32. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$7,110.00 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

GENERAL

- ENG 33. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.
- ENG 34. All proposed utility lines shall be installed underground.
- ENG 35. In accordance with Chapter 8.04.401 of the City of Palm Springs Municipal Code, all existing and proposed electrical lines of thirty-five thousand volts or less and overhead service drop conductors, and all gas, telephone, television cable service, and similar service wires or lines, which are on-site, abutting, and/or transecting, shall be installed underground unless specific restrictions are shown in General Orders 95 and 128 of the California Public Utilities Commission, and service requirements published by the utilities. The existing overhead utilities across the west property line meet the requirement to be installed underground. Utility undergrounding shall extend to the nearest off-site power pole; no new power poles shall be installed unless otherwise approved by the City Engineer. A letter from the owners of the affected utilities shall be submitted to the Engineering Services Department prior to approval of a grading plan, informing the City that they have been notified of the City's utility undergrounding requirement and their intent to commence design of utility undergrounding plans. When available, the utility undergrounding plan shall be submitted to the Engineering Services Department identifying all above ground facilities in the area of the project to be undergrounded. Undergrounding of existing overhead utility lines shall be completed prior to issuance of a certificate of occupancy.
- ENG 36. The applicant is advised that deferral of utility undergrounding requires specific approval by the Planning Commission and City Council. If utility undergrounding is deferred in accordance with specific direction by the Planning Commission and/or City Council, the record property owner(s) shall enter into a covenant agreeing to underground all of the existing overhead utilities required by the Municipal Code in the future upon request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner(s) and submitted to the City Engineer prior to issuance of a grading permit. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the developer.
- ENG 37. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.

- ENG 38. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing filetype) and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 39. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 40. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 41. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.

MAP

- ENG 42. The existing parcels identified as Lots 15, 16 and 17 of the Wright and Leonard Tract Map, Map Book 23, Page 82, shall be merged. An application for a parcel merger shall be submitted to the Engineering Services Department for review and approval. A copy of a current title report and copies of record documents shall be submitted with the application for the parcel merger. The application shall be submitted to and approved by the City Engineer prior to issuance of building permit.

TRAFFIC

- ENG 43. A minimum of 48 inches of clearance for accessibility shall be provided on public sidewalks. Minimum clearance on public sidewalks shall be provided by either an additional dedication of a sidewalk easement if necessary and widening of the sidewalk, or by the relocation of any

obstructions within the public sidewalk along the frontage of the subject property.

- ENG 44. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

FIRE DEPARTMENT CONDITIONS

- FID 1. Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.
- FID 2. FID 1. Fire Department Conditions were based on the 2019 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "T" Development Requirements and latest adopted NFPA Standards. Three (3) complete sets of plans for fire sprinkler system plans, underground water improvement plans, & fire alarm plans must be submitted prior to a building permit being released.
- FID 3. **Conditions of Approval** – "Conditions of Approval" received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.
- FID 4. **Plan and Permits (CFC 105.1):**

Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:
City of Palm Springs
Building and Safety Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 5. **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

FID 6. **Required access (CFC 504.1):** Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

FID 7. **Key Box Required to be Installed (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be flush mount type and shall contain keys to gain necessary access as required by the fire code official.

Secured emergency access gates serving apartment, town home or condominium complex courtyards must provide a key box in addition to association or facility locks. The nominal height of Knox lock box

installations shall be 5 feet above grade. Location and installation of Knox key boxes must be approved by the fire code official.

- FID 8. **Key Box Contents (CFC 506.1):** The Knox key box shall contain keys to all areas of ingress/egress, alarm rooms, fire sprinkler riser/equipment rooms, mechanical rooms, elevator rooms, elevator controls, plus a card containing the emergency contact people and phone numbers for the building/complex.
- FID 9. **NFPA 13 Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13, 2016 Editions, as modified by local ordinance.
- FID 10. **Fire Alarm System Required:** An automatic or manual fire alarm system is required. Only a C-10 licensed fire alarm contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 72, 2016 editions, as modified by local ordinance.
- FID 11. **Designated Fire Lanes:** in private developments shall be not less than 24 feet wide (curb face to curb face) with no parking on either side and shall be identified as fire lanes with red curb, stating in white lettering " NO PARKING FIRE LANE", or by approved signage, or by both red curb with lettering and signage.
- FID 12. **Fire Department Access Roads/Driveways:** Shall be provided so that no portion of the exterior wall of the first floor of any building will be more than 150 feet from such roads.
- FID 13. **Private Fire Hydrants:** Additional private hydrants may be required.
- FID 14. **Security Gates:** A Knox key operated switch shall be installed at every automatic gate. Secured automated vehicle gates or entries shall utilize a combination of a Tomar Strobeswitch™, or approved equal, and an approved Knox key switch when required by the fire code official. Secured non-automated vehicle gates or entries shall utilize an approved padlock or chain (maximum link or lock shackle size of ¼ inch) when required by the fire code official.

END OF CONDITIONS

McGEE SHARON ARCHITECTS INC.

3479 Kurtz St.
San Diego, CA 92110
619-299-9111

74020 Alessandro Dr. Suite F
Palm Desert, CA 92260
mcgeesharon.com

Justification Letter, 1/18/2023

Project Address: 200 West Oasis Road / APN 669-444-011, 669-444-012
Project Name: West Oasis Road Warehouse

Project Description

This letter addresses a new project located at 200 West Oasis Road in the City of Palm Springs (the "Oasis Warehouse") and is part of a Major Architectural Application. This project proposes the construction of a new single-story building as a storage warehouse located in an existing vacant infill lot within an industrial M-1 zone. The building will be used for the warehousing of equipment, materials, and supplies in a protected indoor and climate-controlled facility. The building is in an existing manufacturing zone that has a recycling center, automobile repair shops, service shops, and manufacturers within the vicinity. The storing of equipment will complement already existing industrial uses in the area.

Front Elevation Rendering of proposed Oasis Warehouse:



General Information

The number of anticipated employees will vary from 1-2 people per week, given the operational needs of the warehouse. Employees may include administrative representatives, managers, and technical personnel. Hours of operation will be 24 hours/day, 7 days per week. Licensing and insurance will be maintained through the State of California as mandated.

Findings

Per the City of Palm Springs Zoning Code (PSZC), this project is intended to match the industrial/service character of the surrounding buildings and in keeping with the M-1 zone requirements. Note that the project was previously been reviewed under case number 21-008 as part of a pre-submittal conference.

The building conforms to the zoning standards for height, area, and setbacks. The overall height at the roof parapets is no greater than 30'. The building area coverage and F.A.R. at 50% maximizes the building footprint and complies with the College Park Specific Plan which limits the maximum to 50%. Setbacks requirements for the front and rear yards follow City requirements. Parking is provided per City requirements and accessibility requirements.

The warehouse is designed to utilize the existing unimproved lot, infilling for efficiency and potential. The site layout is oriented towards the existing street and public way with autos and pedestrians entering directly from Oasis Road to the south of the facility with additional drive entry/exit at the alley to the north. The main vehicular driveway entrance at the street is enhanced by natural-colored masonry walls created from architectural 8x8-inch blocks, surrounded by planters of desert gravel containing flowering desert landscape vegetation and trees that bloom with harmonious seasonal colors. The parking area is surrounded by similar landscape planters, trees, and sidewalks.

The overall massing is like many of the existing manufacturing buildings in this unique industrial area with a simple rectangular mass composed to create a modern-style façade with contemporary overhead canopy features and window glazing. The rectangular massing is enhanced on both ends of the structure by pop-out articulations that create visual appeal. Additionally, brushstrokes of textured desert landscaping and flowering trees are intended to further soften the overall approach.

Air conditioning equipment at grade is concealed at the front setback and away from public view with masonry walls and vegetation. Roof parapets will hide any venting and piping. No roof mounted mechanical equipment is proposed.

In terms of architectural design, materials for the Oasis Warehouse have been chosen with the industrial context of neighboring buildings in mind. The building is made from conventional steel framing with painted insulated metal panels with an off-white finish at the exterior envelope. Above the painted building entry doors and garage door roll-ups are articulated charcoal-colored bronze metal awning overhangs with steel bracings in matching color. The painted metal awning will provide shade, contrast, and break up the massing of the structure from the public view. Factory painted roll-up doors add more

color, texture, and interest to the massing. A large street-facing clerestory window with a clear aluminum frame is provided to break up the front elevation. Landscape, plants, and trees will stand out and compliment the modern building design by providing natural foliage and shade protection.

The overall composition of the Oasis Warehouse building is contemporary and industrial to suit the neighborhood. Compared to several buildings in the vicinity, the Oasis Warehouse design follows the industrial zoning, character, and context of the neighborhood. It also improves upon the neighborhood aesthetics and landscaping.

The following images are examples of buildings in the close vicinity:

280 W Oasis Road

(The next-door neighbor which is now an Auto Repair (Bavarian Auto):



3443 North Anza:



3520 North Anza:



As illustrated by these photographs, when compared to its more recent construction neighbors, the Oasis Warehouse not only comports with the industrial character of the vicinity, but it also proposes an enhanced and aesthetically pleasing architectural design and adds landscaping greenery and texture.

Renderings of proposed Oasis Warehouse:

























The proposed Oasis Warehouse design adds more articulation, overhang shading, and color energy to the neighborhood. Its blooming landscaping will enhance the industrial character of its surrounding environment which presently contains very few planted areas. It also creates artistic variety and visual interest with its naturally colored surface appearance, positively improving this existing industrial area.

Signature

January 18, 2023
Date

Gisela Colón
Managing Member, Desert Productions LLC

CALIFORNIA ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California }
County of Los Angeles }

On August 8, 2022 before me, Stephanie Levine, Notary Public,
Date Here Insert Name and Title of the Officer
personally appeared Gisela Colón
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal and/or Stamp Above

OPTIONAL

Completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____
Document Date: _____ Number of Pages: _____
Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____ Signer's Name: _____
 Corporate Officer – Title(s): _____ Corporate Officer – Title(s): _____
 Partner – Limited General Partner – Limited General
 Individual Attorney in Fact Individual Attorney in Fact
 Trustee Guardian or Conservator Trustee Guardian or Conservator
 Other: _____ Other: _____
Signer is Representing: _____ Signer is Representing: _____

McGEE SHARON ARCHITECTS INC.

3479 Kurtz St.
San Diego, CA 92110
619-299-9111

74020 Alessandro Dr. Suite F
Palm Desert, CA 92260
mcgeesharon.com

Existing Site Photographs

Project Address: 200 West Oasis Road / APN 669-444-011, 669-444-012
Project Name: West Oasis Road Warehouse



Looking towards northeast corner of the site.



Street View of Site – Looking Northwest from Oasis Road



Looking southeast from the Alley

PUBLIC INTEGRITY APPLICANT DISCLOSURE

Name (Print last, first, middle initial) COLON, GISELA L.	E-mail Address giselacolonaet@gmail.com
Position/Title Managing Member	
Address 5580 Bill Cody Road, Hidden Hills, CA 91302	
Work Phone: N/A Cell Phone: 310-890-1421	Reporting Status New Disclosure: yes. Update:

Every applicant that is not an individual natural person, or comprised exclusively of natural persons with no outside investors, must disclose to the City the identity of each natural person who holds or occupies a significant position with respect to that applicant entity or any entity that owns an interest or derives profits with respect to the applicant entity, *i.e.*, a sub-entity.

In addition, every applicant must disclose to the City the identity of each owner or investor who has both of the following: (i) an ownership interest in the applicant entity with a value of two thousand dollars (\$2,000.00) or more, and (ii) a material financial relationship with any official who has the opportunity to vote upon, or advocate for a particular result or outcome with respect to the application in question.

A "significant position" shall be defined as follows:


- i. Officers and Directors (in the instance of a corporation);
- ii. Members and Managers (in the instance of limited liability company); or
- iii. Trustees and other Fiduciaries (in the instance of a trust or another organization).

A "material financial relationship" shall be defined as a relationship between an owner or investor on one hand, and a voting or potentially advocating official on the other hand, whereby the official has an interest in the outcome of the City's action upon the application in question arising from or related to any of the following:

1. Any business that the owner or investor in the applicant and the official do together during the year prior to the filing of the application;
2. Any income that the official has earned from the owner or investor in the applicant entity during the year prior to the filing of application;
3. One or more gifts, that the owner or investor in the applicant has given to the official during a year prior to the filing of the application with a total of more than fifty dollars;
4. Any money or value that the official will or might reasonably be anticipated to gain or lose, based upon the ownership interest of the owner or investor in the applicant entity, in relation to the outcome of the City's action upon the application.

Organization / Type of organization: <i>(include the address, city and state where the organization is located)</i>	Ownership Interest:	Position:	No longer held:
1 DESERT PRODUCTIONS, LLC	100% Gisela Colon	Managing Member	
2			
3			
4			
5.			
6.			

I DECLARE UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING IS TRUE AND CORRECT.

Signature of Disclosing Party 	Date March 16 / 2023
--	-------------------------

On the basis of information contained in this report, I conclude that the filer is in compliance with Palm Springs Municipal Code Section 2.60, except as noted in the "comments" box below.	
Comments:	
Signature and Title of Agency's Final Reviewing Official	

RESOLUTION NO. 6943

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING MAJOR DEVELOPMENT PERMIT APPLICATION, CASE 3.2864 MAJ, TO CONSTRUCT A 10,959-SQUARE-FOOT WAREHOUSE FACILITY ON AN UNDEVELOPED PARCEL LOCATED AT 200 WEST OASIS ROAD (APN: 669-444-011, 669-444-012), ZONE M-1-SP.

THE PLANNING COMMISSION FINDS AND DETERMINES AS FOLLOWS:

- A. McGee Architects on behalf of Desert Productions, LLC (the "Applicant") has filed a Major Development Permit application, Case 3.2864 MAJ, in accordance with Section 94.04.01 (Development Permit) of the Plan Springs Zoning to construct a 10,959-square-foot warehouse facility on a .50-acre undeveloped parcel located at 200 West Oasis Road, Zone M-1-SP (College Park Specific Plan).
- B. On March 22, 2023, a public meeting on Case 3.2864 MAJ was held by the Planning Commission in accordance with applicable law.
- C. The proposed project is considered a "project" pursuant to the terms of the California Environmental Quality Act ("CEQA"), and it is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 of Title 14, Chapter 3 of the California Code of Regulations (Class 32, In-Fill Development Projects).
- D. At its public meeting of the March 22, 2023, the Planning Commission carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE PLANNING COMMISSION RESOLVES:

Section 1: Major Development Permit Findings. The findings for approving a Major Development Permit are outlined in Section 94.04.01(D) (Development Permit – Criteria and Findings) of the Palm Springs Zoning Ordinance (PSZO). The Planning Commission finds the following in response to each required finding:

1. *The proposed project is consistent with the General Plan and any applicable specific plan;*

Although warehouse facilities are not explicitly called out as an allowed use in the Mixed Use (MU) designation area, services businesses are permitted. The

proposed warehouse storage may be considered a service business; therefore, consistent with the intent of the MU designation area. The project site is also located within the College Park Specific Plan (M-1-SP), which permits warehouse uses by right pursuant to Table II-14 of the Specific Plan.

2. *The proposed uses are in conformance to the use permitted in the zone district where the site is located, and are not detrimental to adjacent properties or residents;*

The proposed use is permitted in accordance with the College Park Specific Plan and the M-1-SP Zone. The surrounding site context includes similar uses; therefore, the project will not create detrimental impact to the adjacent properties.

3. *The proposed project is in conformance to the property development standards for the zone district where the site is located;*

The proposed project conforms to the development standards of the M-1-SP Zone, including the maximum allowable height (30 ft. proposed where the maximum height is 30 ft.), front setback (25 ft. proposed where 25 ft. is the minimum required) and lot coverage (50% proposed where most restrictive requirement is 0.5 FAR according to the General Plan). While the lot is below the minimum width by 10 feet, PSZC 92.17.03 nonetheless permits it to be developed as a lot of record. No variances or other deviations from the applicable development standards are requested for this project.

4. *The proposed height and massing of the project is consistent with applicable standards and compatible with adjacent development;*

The proposed 30'-0" building is one-story, which is consistent with development standards for the M-1-SP Zone and the development standards for the College Park Specific Plan which both state the maximum building height to be 30 feet. The existing industrial use buildings in the general vicinity appear to have similar massing and height ranging from 18'~30' in height.

5. *The proposed setbacks and placement of the building are consistent with applicable standards and consistent with setbacks of adjacent buildings;*

All applicable development standards are met including the front yard setback and placement of the building as required for the M-1-SP Zone. The proposed structure is an alignment with the building placement of the adjacent building to the east.

6. *The site for the proposed project has adequate access to streets and highways property designed and improved to carry the type and quantity of traffic to be generated by the proposed uses, and the design for the site plan enhances or*

continues the city's existing grid in accordance with the Circulation Plan of the General Plan;

The project site will be accessible from West Oasis Road and has adequate access to streets designed to carry traffic that is typically generated from a warehouse development as outlined in the Traffic Impact Analysis Guideline: less than 110 daily vehicle trips.

7. *On-site circulation conforms to minimum standards, and accommodations are made for safe on-site pedestrian circulation;*

The primary mode of transportation is expected to be vehicular. Parking is provided on the south and west side of the property and there are two vehicular entrance points to the site controlled by a rolling gate: one from West Oasis Road and one from the alley. Sidewalks with a minimum width of 5' are shown on the plans connecting the right-of-way to the building.

8. *Landscape areas and open space are in conformance to applicable standards, and the design of stormwater management features are appropriately integrated with other elements of the site design;*

The landscape design focuses on the perimeter of the site, specifically along West Oasis Road and the east property line. The landscape plan includes drought tolerant plantings, such as (3) Acacia Salicina, (7) Agave weberi, (5) Ferocactus cylindraceus, and (39) Hesperaloe parviflora. Proposed ground cover includes boulders and 1" "Gray/Silver Color" crushed rock. The proposed site drainage will be split into two areas with catch basins sized in accordance with the Riverside County WQMP volume requirements. The proposed landscape design is in conformance to the standards, and all stormwater treatment and drainage design must meet the County requirements.

9. *Public infrastructure, such as water, sewer, and similar utilities, is adequate to serve the proposed project;*

The proposed project is an in-fill project in an urban area. There is an existing sewer main located along West Oasis Road. Water and electricity will be provided by the DWA and Southern California Edison. There is adequate infrastructure available to accommodate the proposed development.

10. *Based on environmental review, the proposed project either has no potentially significant environmental impacts, any potentially significant impacts have been reduced to less than significant levels because of mitigation measures incorporated in the project, or a Statement of Overriding Considerations has been adopted to address unmitigated significant environmental impacts;*

The proposed project is categorically exempt from further CEQA review under

Section 15332 of Title 14, Chapter 3 of the California Code of Regulations (Class 32, In-Fill Development Projects), which involves no potentially significant environmental impact.

The project is consistent with the General Plan, is less than five (5) acres in size, has no known value as habitat for endangered, rare, or threatened species, and would not result in any significant effects relating to traffic, noise, air or water quality. Curb and gutter improvements are proposed with drainage plans that include a catch basin for runoff under the parking lot area.

11. *The proposed project has no unacceptable adverse effects on public welfare, health or safety.*

All warehouse related activity will be conducted within the structure and the loading dock is located to the west side of the building. The owners will be required to abide by the facility usage rules and regulations in zoning and municipal code. No unacceptable adverse effects on public welfare, health or safety have been identified with this proposal.

Section 2: Approval. Based upon the foregoing, the Planning Commission hereby approves Case 3.2864 MAJ, a Major Development Permit, for the construction of a 10,959-square-foot warehouse facility on a .50-acre undeveloped parcel at 200 West Oasis Road subject to those conditions set forth in the Exhibit A.

ADOPTED THIS 22nd DAY of March, 2023.

AYES: Weremiuk, Moruzzi, Miller, Roberts, Aylaian, Hirschbein.

NOES: None.

ABSENT: None.

ABSTAIN: None.

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA



Christopher Hadwin
Director of Planning Services

RESOLUTION NO. 6943

EXHIBIT A

Warehouse Facility
200 West Oasis Road
Case 3.2864 MAJ

March 22, 2023

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services and the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

ADM 1. Project Description. This approval is for the project described per Case 3.2864 MAJ; except as modified with the conditions below;

ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped March 22, 2023, including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.

ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.

ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.

ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.2864 MAJ. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City

of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Application (MAJ) shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05. Permits will not be issued until the appeal period has concluded.
- ADM 9. Public Art Fees. This project shall be subject to Chapters 2.24 and 3.37 of the Municipal Code regarding public art. The project shall either provide public art or payment of an in-lieu fee. In the case of the in-lieu fee, the fee shall be based upon the total building permit valuation as calculated pursuant to the valuation table in the Uniform Building Code, the fee being 1/2% for commercial projects or 1/4% for residential projects with first \$100,000 of total building permit valuation for individual single-family units exempt. Should the public art be located on the project site, said location shall be reviewed and approved by the Director of Planning and Zoning and the Public Arts Commission, and the property owner shall enter into a recorded agreement to maintain the artwork and protect the public rights of access and viewing.

ADM 10. Comply with City Noise Ordinance. This use shall comply with the provisions of Section 11.74 Noise Ordinance of the Palm Springs Municipal Code. Violations may result in revocation of this Conditional Use Permit.

PLANNING DEPARTMENT CONDITIONS

- PLN 1. Outdoor Lighting Conformance. Outdoor lighting shall fully conform to the requirements of Palm Springs Zoning Code and shall not produce disability glare, discomfort glare, light trespass, and/or light pollution as defined in Palm Springs Zoning Cod Sections 93.21.00(A)(7), (8), (9), and (10).
- PLN 2. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 3. Sign Applications Required. No signs are approved by this action. Separate approval and permits shall be required for all signs in accordance with Zoning Ordinance Section 93.20.00. The applicant shall submit a sign program to the Department of Planning Services prior to the issuance of building permits.
- PLN 4. Screen Roof-mounted Equipment. No roof-mounted equipment is proposed for the project at this time. If proposed, any roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.
- PLN 5. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 6. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.
- PLN 7. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.
- PLN 8. ARC Review. The proposed project is subject to Architectural Review Committee (ARC) review pursuant to Palm Springs Zoning Code Section 94.04.00. The Major Architectural Review (MAJ) application and

materials/plans for review by the ARC shall include any revisions identified in these conditions.

- PLN 9. Trash Enclosures. Adequate sizing for trash, recyclable materials, and organic waste shall be provided in compliance with the Trash Enclosure Ordinance Section 93.07.02.
- PLN 10. Height of walls. Walls within the front property line will be modified to conform with the zoning code standards prior to ARC review.
- PLN 11. ARC Review. Prior to issuance of building permits, the Applicant shall submit plans for Architectural Review Committee (ARC) review as required by Section 94.04.00 of the Zoning Code and include any changes imposed by the Planning Commission. On March 22, 2023, the Planning Commission directed that the following be reviewed by the ARC:
- a) Pennisetum (Fountain grass) is considered an invasive grass that should not be permitted in the final landscape plan.
 - b) Reconsider the proposed tree species (Cercidum Floribunda & Caesalpinia Cacalaco) for ones that do not have blighted conditions and will better withstand windy conditions.
 - c) Hesperglloe parviflora (Red Yucca) should be located in an area with direct sun exposure.

ENGINEERING DIVISION CONDITIONS:

The Engineering Services Department recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

STREETS

- ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.
- ENG 2. Submit street improvement plans prepared by a registered California civil engineer to the Engineering Services Department. The plan(s) shall be

approved by the City Engineer prior to issuance of any encroachment or building permits.

- ENG 3. Provide proposed finish floor elevations of all proposed structures, existing structures on site, and all adjacent off-site structures. Provide proposed on-site drainage flow designs. This information required prior to site plan approval.**

OASIS ROAD

- ENG 4. Construct a 6 inch curb and gutter, 30 feet north of the centerline (or 20' north of the centerline of construction) along the entire frontage to match existing improvements in accordance with City of Palm Springs Standard Drawing No. 200.
- ENG 5. Construct a 24 feet wide driveway approach(es) in accordance with City of Palm Springs Standard Drawing No. 201.
- ENG 6. Construct driveway approach(es) to accommodate bay parking stalls along the Oasis Road frontage in accordance with City of Palm Springs Standard Drawing No. 201. Bay parking stalls shall be located completely on-site, behind sidewalk, and not within public right-of-way.
- ENG 7. Construct a 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210.
- ENG 8. Construct pavement with a minimum pavement section of 3 inches asphalt concrete pavement over 6 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, from edge of proposed gutter to clean sawcut edge of pavement along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 110. (Additional pavement removal and replacement may be required upon review of existing pavement cross-sections, and to ensure grade breaks of the pavement cross-section do not occur within a travel lane.) If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.
- ENG 9. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.
- ENG 10. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

PUBLIC ALLEY

- ENG 11. Construct a minimum pavement section of 2-1/2 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, through the full width of the public alley (20 feet wide excluding the gutter at centerline) along the entire frontage. The pavement section shall be designed, using "R" values, by a licensed Soils Engineer and submitted to the City Engineer for approval. (If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.)
- ENG 12. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.
- ENG 13. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

ON-SITE

- ENG 14. For on-site bay parking in residential and commercial zones, paving material shall be decorative paving, colored and/or patterned to relate to the overall design in accordance with Zoning Code 93.06.00.C.15.e.
- ENG 15. The minimum pavement section for all on-site pavement (drive aisles, parking spaces, etc.) shall be 2-1/2 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal. If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval.
- ENG 16. On-site drive aisles or parking lot shall be constructed with curbs, gutters, and cross-gutters, as necessary to accept and convey street surface drainage of the on-site streets to the on-site drainage system, in accordance with applicable City standards.

SANITARY SEWER

- ENG 17. All sanitary facilities shall be connected to the public sewer system (via the proposed on-site private sewer system). New laterals shall not be connected at manholes.

GRADING

- ENG 18. Submit a Precise Grading Plan prepared by a California registered Civil engineer to the Engineering Services Department for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.
- a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more “Coachella Valley Best Available Control Measures” as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant’s or its contractor’s Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related “PM10” Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.
- b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report; a copy of the project-specific Final Water Quality Management Plan.
- ENG 19. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be provided to the City) . The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at ACBCI-THPO@aguacaliente.net to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as

early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.

- ENG 20. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 21. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 22. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 23. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 24. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan.
- ENG 25. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.
- ENG 26. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval prior to issuance of Building Permits.

- ENG 27. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, Ca 90040 (Phone(760)782-3271,(562)505-6415),Sonia.Oran@cdfa.ca.gov.

WATER QUALITY MANAGEMENT PLAN

- ENG 28. This project shall be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating contaminated stormwater and non-stormwater runoff, shall be required.
- ENG 29. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a grading or building permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to the adjacent property (or public streets) is prohibited. Construction of operational BMP's shall be incorporated into the Precise Grading and Paving Plan.
- ENG 30. Prior to issuance of any grading or building permits, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement and maintain the approved Final Project-Specific Water Quality Management Plan (WQMP). Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include: requiring the implementation of the Final Project-Specific WQMP in Home Owners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&Rs); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-

Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to issuance of any grading or building permits.

DRAINAGE

ENG 31. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMPs).

ENG 32. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is \$7110.00 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

GENERAL

ENG 33. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.

ENG 34. All proposed utility lines shall be installed underground.

ENG 35. In accordance with Chapter 8.04.401 of the City of Palm Springs Municipal Code, all existing and proposed electrical lines of thirty-five thousand volts or less and overhead service drop conductors, and all gas, telephone, television cable service, and similar service wires or lines, which are on-site, abutting, and/or transecting, shall be installed underground unless specific restrictions are shown in General Orders 95 and 128 of the California Public Utilities Commission, and service requirements published by the utilities. The existing overhead utilities across the west property line meet the requirement to be installed underground. Utility undergrounding shall extend to the nearest off-site power pole; no new power poles shall be installed unless otherwise approved by the City Engineer. A letter from the owners of the affected utilities shall be submitted to the Engineering Services Department prior to approval of a grading plan, informing the City that they have been notified of the City's utility undergrounding requirement and their intent to commence design of utility undergrounding plans. When available, the utility undergrounding plan shall be submitted to the Engineering Services Department identifying all above ground facilities in the area of the project to be undergrounded. Undergrounding of existing overhead utility lines shall be completed prior to issuance of a certificate of occupancy.

- ENG 36. The applicant is advised that deferral of utility undergrounding requires specific approval by the Planning Commission and City Council. If utility undergrounding is deferred in accordance with specific direction by the Planning Commission and/or City Council, the record property owner(s) shall enter into a covenant agreeing to underground all of the existing overhead utilities required by the Municipal Code in the future upon request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner(s) and submitted to the City Engineer prior to issuance of a grading permit. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the developer.
- ENG 37. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 38. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing filetype) and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.
- ENG 39. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 40. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.
- ENG 41. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.

MAP

- ENG 42. The existing parcels identified as Lots 15, 16 and 17 of the Wright and Leonard Tract Map, Map Book 23, Page 82, shall be merged. An application for a parcel merger shall be submitted to the Engineering Services Department for review and approval. A copy of a current title report and copies of record documents shall be submitted with the application for the parcel merger. The application shall be submitted to and approved by the City Engineer prior to issuance of building permit.

TRAFFIC

- ENG 43. A minimum of 48 inches of clearance for accessibility shall be provided on public sidewalks. Minimum clearance on public sidewalks shall be provided by either an additional dedication of a sidewalk easement if necessary and widening of the sidewalk, or by the relocation of any obstructions within the public sidewalk along the frontage of the subject property.
- ENG 44. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

FIRE DEPARTMENT CONDITIONS

- FID 1. Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.
- FID 2. FID 1. Fire Department Conditions were based on the 2019 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "T" Development Requirements and latest adopted NFPA Standards. Three (3) complete sets of plans for fire sprinkler system plans, underground water improvement plans, & fire alarm plans must be submitted prior to a building permit being released.

FID 3. **Conditions of Approval** – “Conditions of Approval” received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 4. **Plan and Permits (CFC 105.1):**

Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.

Plans shall be submitted to:
City of Palm Springs
Building and Safety Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer’s technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 5. **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

FID 6. **Required access (CFC 504.1):** Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

FID 7. **Key Box Required to be Installed (CFC 506.1):** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be flush mount type and shall contain keys to gain necessary access as required by the fire code official.

Secured emergency access gates serving apartment, town home or condominium complex courtyards must provide a key box in addition to association or facility locks. The nominal height of Knox lock box installations shall be 5 feet above grade. Location and installation of Knox key boxes must be approved by the fire code official.

FID 8. **Key Box Contents (CFC 506.1):** The Knox key box shall contain keys to all areas of ingress/egress, alarm rooms, fire sprinkler riser/equipment rooms, mechanical rooms, elevator rooms, elevator controls, plus a card containing the emergency contact people and phone numbers for the building/complex.

FID 9. **NFPA 13 Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13, 2016 Editions, as modified by local ordinance.

FID 10. **Fire Alarm System Required:** An automatic or manual fire alarm system is required. Only a C-10 licensed fire alarm contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 72, 2016 editions, as modified by local ordinance.

FID 11. **Designated Fire Lanes:** in private developments shall be not less than 24 feet wide (curb face to curb face) with no parking on either side and shall be identified as fire lanes with red curb, stating in white lettering " NO PARKING FIRE LANE", or by approved signage, or by both red curb with lettering and signage.

- FID 12. **Fire Department Access Roads/Driveways:** Shall be provided so that no portion of the exterior wall of the first floor of any building will be more than 150 feet from such roads.
- FID 13. **Private Fire Hydrants:** Additional private hydrants may be required.
- FID 14. **Security Gates:** A Knox key operated switch shall be installed at every automatic gate. Secured automated vehicle gates or entries shall utilize a combination of a Tomar Strobeswitch™, or approved equal, and an approved Knox key switch when required by the fire code official. Secured non-automated vehicle gates or entries shall utilize an approved padlock or chain (maximum link or lock shackle size of ¼ inch) when required by the fire code official.

END OF CONDITIONS

FIRE DEPT. CONDITIONS

1. THESE FIRE DEPARTMENT CONDITIONS MAY NOT PROVIDE ALL REQUIREMENTS. OWNER/DEVELOPER IS RESPONSIBLE FOR ALL APPLICABLE STATE AND LOCALLY ADOPTED FIRE CODES. DETAILED PLANS ARE STILL REQUIRED FOR REVIEW. CONDITIONS ARE SUBJECT TO FIRE PLAN CHECK AND REVIEW.

2. FIRE DEPARTMENT CONDITIONS WERE BASED ON THE 2019 CALIFORNIA FIRE CODE AS ADOPTED BY THE CITY OF PALM SPRINGS, PALM SPRINGS MUNICIPAL CODE, PERD APPENDIX "F" DEVELOPMENT REQUIREMENTS, AND LATEST ADOPTED NFPA STANDARDS THREE (3) COMPLETE SETS OF PLANS FOR FIRE SPRINKLER SYSTEM, UNDERGROUND WATER IMPROVEMENT PLANS, AND FIRE ALARM MUST BE SUBMITTED PRIOR TO BUILDING PERMIT REVIEW.

3. CONDITIONS OF APPROVAL - "CONDITIONS OF APPROVAL" RECEIVED FROM THE PALM SPRINGS PLANNING DEPARTMENT MUST BE SUBMITTED WITH EACH PLAN SET. FAILURE TO SUBMIT WILL RESULT IN A DELAY OF PLAN APPROVAL.

4. PLANS AND PERMITS (CFC 105.1); PERMITS AND SCALED DRAWINGS ARE REQUIRED FOR THIS PROJECT. PLAN REVIEW CAN TAKE UP TO 20 WORKING DAYS. SUBMIT A MINIMUM OF THREE (3) SETS OF DRAWINGS FOR REVIEW. UPON APPROVAL, THE FIRE PREVENTION BUREAU WILL RETAIN ONE SET. PLANS SHALL BE SUBMITTED TO:

CITY OF PALM SPRINGS
BUILDING AND SAFETY DEPARTMENT
3200 E. TAHQUITZ CANYON WAY
PALM SPRINGS, CA 92262

COUNTER HOURS: 8:00 AM - 6:00 PM, MONDAY - THURSDAY

A DEPOSIT FOR PLAN CHECK AND INSPECTION FEES IS REQUIRED AT THE TIME OF PLAN SUBMITTAL. THESE FEES ARE ESTABLISHED BY RESOLUTION OF THE PALM SPRINGS CITY COUNCIL.

COMPLETE LISTINGS AND MANUFACTURER'S TECHNICAL DATA SHEETS FOR ALL SYSTEM MATERIALS SHALL BE INCLUDED WITH PLAN SUBMITTALS. ALL SYSTEM MATERIALS SHALL BE UL LISTED OR FM APPROVED FOR FIRE PROTECTION SERVICE AND APPROVED BY THE FIRE PREVENTION BUREAU PRIOR TO INSTALLATION.

PLANS SHALL INCLUDE ALL NECESSARY ENGINEERING FEATURES, INCLUDING ALL HYDRAULIC REFERENCE NODES, PIPE LENGTHS AND PIPE DIAMETERS AS REQUIRED BY THE APPROPRIATE CODES AND STANDARDS. PLANS AND SUPPORTING DATA, (CALCULATIONS AND MANUFACTURER'S TECHNICAL DATA SHEETS) INCLUDING FIRE FLOW DATA, SHALL BE SUBMITTED WITH EACH PLAN SUBMITTAL. COMPLETE AND ACCURATE LEGENDS FOR ALL SYMBOLS AND ABBREVIATIONS SHALL BE PROVIDED ON THE PLANS.

5. ACCESS DURING CONSTRUCTION (CFC 503); ACCESS FOR FIREFIGHTING EQUIPMENT SHALL BE PROVIDED TO THE IMMEDIATE JOB SITE AT THE START OF CONSTRUCTION AND MAINTAINED UNTIL ALL CONSTRUCTION IS COMPLETE. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 24 FEET AND UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13'-6". FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN ALL-WEATHER DRIVING SURFACE AND SUPPORT A MINIMUM WEIGHT OF 73,000 LBS.

6. REQUIRED ACCESS (CFC 504.1); EXTERIOR DOORS AND OPENINGS REQUIRED BY THIS CODE OR THE CALIFORNIA BUILDING CODE SHALL BE MAINTAINED READILY ACCESSIBLE FOR EMERGENCY ACCESS BY THE FIRE DEPARTMENT. AN APPROVED ACCESS WALKWAY LEADING FROM FIRE APPARATUS ACCESS ROADS TO EXTERIOR OPENINGS SHALL BE PROVIDED WHEN REQUIRED BY THE FIRE CODE OFFICIAL.

7. KEY BOX REQUIRED TO BE INSTALLED (CFC 506.1); WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFE-SAVING OR FIRE-FIGHTING PURPOSES, THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE A KEY BOX TO BE INSTALLED IN AN APPROVED LOCATION. THE KEY BOX SHALL BE FLUSH MOUNT TYPE AND SHALL CONTAIN KEYS TO GAIN NECESSARY ACCESS AS REQUIRED BY THE FIRE CODE OFFICIAL.

SECURED EMERGENCY ACCESS GATES SERVING APARTMENT, TOWN HOME OR CONDOMINIUM COMPLEX COURTYARDS MUST PROVIDE A KEY BOX IN ADDITION TO ASSOCIATION OR FACILITY LOCKS. THE NOMINAL HEIGHT OF KNOX LOCK BOX INSTALLATIONS SHALL BE 5 FEET ABOVE GRADE. LOCATION AND INSTALLATION OF KNOX KEY BOXES MUST BE APPROVED BY THE FIRE CODE OFFICIAL.

8. KEY BOX CONTENTS (CFC 506.1); THE KNOX KEY BOX SHALL CONTAIN KEYS TO ALL AREAS OF INGRESS/EGRESS, ALARM ROOMS, FIRE SPRINKLER RISER/EQUIPMENT ROOMS, MECHANICAL ROOMS, ELEVATOR ROOMS, ELEVATOR CONTROLS, PLUS A CARD CONTAINING THE EMERGENCY CONTACT PEOPLE AND PHONE NUMBERS FOR THE BUILDING/COMPLEX.

9. NFPA 13 FIRE SPRINKLERS REQUIRED; AN AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED. ONLY A C-16 LICENSED FIRE SPRINKLER CONTRACTOR SHALL PERFORM SYSTEM DESIGN AND INSTALLATION. SYSTEM TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA STANDARD 13, 2016 EDITIONS, AS MODIFIED BY LOCAL ORDINANCE.

10. FIRE ALARM SYSTEM REQUIRED; AN AUTOMATIC OR MANUAL FIRE ALARM SYSTEM IS REQUIRED. ONLY A C-10 LICENSED FIRE ALARM CONTRACTOR SHALL PERFORM SYSTEM DESIGN AND INSTALLATION. SYSTEM TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA STANDARD 72, 2016 EDITIONS, AS MODIFIED BY LOCAL ORDINANCE.

11. DESIGNATED FIRE LANES; IN PRIVATE DEVELOPMENTS SHALL BE NOT LESS THAN 24 FEET WIDE (CURB FACE TO CURB FACE) WITH NO PARKING ON EITHER SIDE AND SHALL BE IDENTIFIED AS FIRE LANES WITH RED CURB, STATING IN WHITE LETTERING "NO PARKING FIRE LANE," OR BY APPROVED SIGNAGE, OR BY BOTH RED CURB WITH LETTERING AND SIGNAGE.

12. FIRE DEPARTMENT ACCESS ROADS/DRIVEWAYS; SHALL BE PROVIDED SO THAT NO PORTION OF THE EXTERIOR WALL OF THE FIRST FLOOR OF ANY BUILDING WILL BE MORE THAN 150 FEET FROM SUCH ROADS.

13. PRIVATE FIRE HYDRANTS; ADDITIONAL PRIVATE HYDRANTS MAY BE REQUIRED.

14. SECURITY GATES; A KNOX KEY OPERATED SWITCH SHALL BE INSTALLED AT EVERY AUTOMATIC GATE. SECURED AUTOMATED VEHICLE GATES/ENTRIES SHALL UTILIZE A COMBINATION OF A TOWER STROBESWITCH™ APPROVED EQUAL, AND AN APPROVED KNOX KEY SWITCH WHEN REQUIRED BY THE FIRE CODE OFFICIAL. SECURED NON-AUTOMATED VEHICLE GATES OR ENTRIES SHALL UTILIZE AN APPROVED PADLOCK OR CHAIN (MAXIMUM LINK OR LOCK SHACKLE SIZE OF 1/4 INCH) WHEN REQUIRED BY THE FIRE CODE OFFICIAL.

STANDARD BLDG & SAFETY CONDITIONS

PROJECT SHALL COMPLY WITH LATEST ADOPTED EDITION OF THE FOLLOWING CODES AS APPLICABLE:

1. CALIFORNIA BUILDING CODE (CBC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC), AND CALIFORNIA GREEN BUILDING STANDARDS CODE

2. AUTOMATIC FIRE SUPPRESSION SYSTEMS SHALL BE INSTALLED IN ALL NEW CONSTRUCTION PER ARTICLE VI OF CHAPTER 8.04 OF THE CODE OF THE CITY OF PALM SPRINGS. DESIGN AND TYPES OF SYSTEM SHALL BE BASED UPON THE REQUIREMENTS OF THE BUILDING AND FIRE CODES AND THE REQUIREMENT OF THE PALM SPRINGS FIRE DEPARTMENT.

3. THE REQUIREMENTS OF THE AIR QUALITY MANAGEMENT DISTRICT SHALL BE SATISFIED PRIOR TO THE ISSUANCE OF ANY PERMIT IF DUSTS AND/OR POLLUTANTS WILL BE DISCHARGED INTO THE ATMOSPHERE.

4. ANY TEMPORARY BUILDING, TRAILER, COMMERCIAL COACH, ETC. INSTALLED AND/OR USED IN CONNECTION WITH A CONSTRUCTION PROJECT SHALL COMPLY WITH CITY CODE.

5. ALL PERIMETER/BOUNDARY WALLS SHALL BE DESIGNED AND CONSTRUCTED SO THAT THE OUTER/EXTERIOR FACE OF THE WALL IS AS CLOSE AS POSSIBLE TO THE LOT LINE. IN ANY CASE, THE OUTER/EXTERIOR FACE OF THE WALL SHALL BE WITHIN TWO (2) INCHES OF THE LOT LINE. DISTANCES GREATER THAN TWO (2) INCHES MAY BE APPROVED PRIOR TO CONSTRUCTION BY THE BUILDING OFFICIAL ON A CASE BY CASE BASIS FOR EXTENUATING CIRCUMSTANCES.

6. ALL SIGNS SHALL BE UNDERWRITERS LABORATORIES APPROVED, OR EQUAL.

7. PERMITS ARE REQUIRED PRIOR TO THE REMOVAL AND/OR DEMOLITION OF STRUCTURES.

8. ALL EXTERIOR LIGHTING SHALL BE ORIENTED, DIRECTED, AND/OR SHIELDED AS MUCH AS POSSIBLE SO THAT DIRECT ILLUMINATION DOES NOT INFRINGE ONTO ADJOINING PROPERTIES.

PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS

9. THE FOLLOWING ITEMS (AS APPLICABLE) SHALL BE COMPLETED AND/OR SUBMITTED TO BUILDING AND SAFETY PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR THIS PROJECT:

A. PRECISE GRADING PLAN SHALL BE APPROVED
B. ROUGH GRADING COMPLETED
C. COMPACTION CERTIFICATION
D. PAD ELEVATION CERTIFICATION
E. ROUGH GRADE INSPECTION SIGN OFF BY A CITY PUBLIC WORKS/ENGINEERING INSPECTOR

CAL-GREEN CODE NOTES

COMPLY WITH THE MANDATORY MEASURES OF CHAPTER 5 OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN).

THE CITY OF PALM SPRINGS PROVIDES FORMS FOR CONSTRUCTION WASTE RECYCLING AND POLLUTION CONTROL (WOC REPORTING) WHICH MUST BE COMPLETED BOTH AT TIME OF PERMIT ISSUANCE AND DELIVERED TO THE FIELD INSPECTOR AT TIME OF FINAL INSPECTION.

GOVERNING CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING CODE

PLAN FILE NO.

PERMIT NO.

DRAWING SYMBOLS

- KEY NOTE REFERENCE
- DOOR NUMBER DESIGNATION
- WINDOW NUMBER DESIGNATION
- CONTROL DATUM POINT
- INTERIOR ELEVATION SYMBOL
- GRID LINE LETTER OR NUMBER DESIGNATION
- OVERALL BUILDING SECTION INDICATES REFERENCE NUMBER
- INDICATES SHEET WHERE SECTION RESIDES
- ENLARGED DETAIL INDICATES REFERENCE NUMBER
- INDICATES SHEET WHERE DETAIL RESIDES

PROJECT DATA

OCCUPANCY GROUP: S2
OCCUPANCY LOAD: 22 = 10,959 SF/500 (OLF)
DESCRIPTION OF PROPOSED USE: WAREHOUSE
TYPE OF CONSTRUCTION: TYPE 5-B / NON-SPRINKLERED
TOTAL BUILDING AREA: 10,959 S.F.
MAX PROPOSED HEIGHT: 30'-0" / 1-STORY

EXISTING PARCEL INFORMATION
ZONING: M-1 (SERVICE/MANUFACTURING)
EXISTING USE: NONE (EMPTY LOT)
A.P.N.: 669-444-012, 669-444-011
BUILDING AREA CALCULATION
LOT SIZE: 21,923 S.F.
TOTAL F.A.R. ALLOWED: 10,961 S.F. (50%)
TOTAL F.A.R. PROPOSED: 10,959 S.F. (50%)

PARKING CALCULATION
1 SPACE/800 S.F. GROSS FLOOR AREA (WAREHOUSE)
TOTAL GROSS S.F.: 10,959 S.F. / 800 = 14 REQUIRED
14 PARKING SPACES PROPOSED
TOTAL PARKING AREA: 1,628 S.F.
(1-25 SPACES = 1 ACCESSIBLE SPACE REQ'D)
9 SPACES < 25 = 1 ACCESSIBLE SPACE PROVIDED

LANDSCAPE CALCULATIONS
TOTAL LANDSCAPE AREA = 3,155 S.F.
PARKING SHADE REQUIRED = PARKING AREA X 30% = 2,509 S.F. X .3 = 752 S.F.
PARKING SHADE PROVIDED = 770 S.F.
FRONT YARD AREA = 5,250 S.F.
MIN. FRONT YARD LANDSCAPE AREA = 25% X 5,250 S.F. = 1,313 S.F. REQ'D
COMBINED LANDSCAPE AREAS AT FRONT YARD = 1,342 S.F. PROVIDED

PROJECT DIRECTORY

OWNER:
DESERT PRODUCTIONS, LLC
5580 BILL CODY ROAD
HIDDEN HILLS, CA 91302
PHONE: (818) 621-0039
E-MAIL: gisotecolonart@gmail.com

CIVIL ENGINEER:
DUKE ENGINEERING
44732 YUCCA AVE
LANCASTER, CA 93534
PHONE: (661) 952-7918
E-MAIL: ryan@duke-engineering.com
CONTACT: RYAN DUKE, PE

ARCHITECT:
MCGEE SHARON ARCHITECTS
3479 KURTZ STREET
SAN DIEGO, CA 92110
PHONE: (619) 299-9111
E-MAIL: mcmgee@mcgeesharon.com
CONTACT: MELVIN MCGEE, ARCHITECT

GENERAL CONTRACTOR:
RICK PENCE, CONST.
1423 W STATE ST # A
REDLANDS, CA 92373
PHONE: (909) 335-0423
E-MAIL: rick@penceconstruction.com
CONTACT: RICK PENCE

SCOPE OF WORK

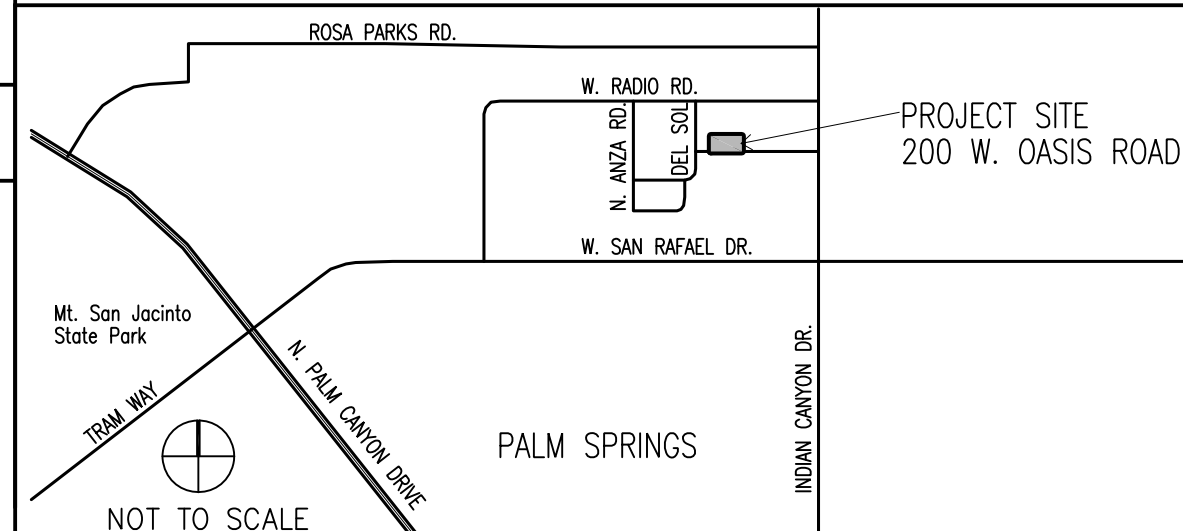
CONSTRUCTION OF NEW SINGLE-STORY STRUCTURE WITH MANUFACTURED STEEL FRAMING SYSTEM ON NEW CONCRETE PAD FOR WAREHOUSE STORAGE FACILITY. INSULATED METAL PANEL WALLS AND ROOFING SYSTEM TO BE INSTALLED OVER FRAMING STEEL FRAME. EXTERIOR WORK TO INCLUDE WALKWAYS, PLANTERS, DRIVEWAY AND PARKING AREA. INTERIOR WORK AS FOLLOWS: NEW PARTITION AND CEILING AREA AT RESTROOM AND MOP SINK. NEW PLUMBING FIXTURES AND PIPING. NEW HVAC UNITS AND DUCTING. NEW ELECTRICAL POWER, OUTLETS, AND DATA.

PROVISIONS FOR SANITARY, HVAC, TITLE 24, ACCESSIBLE CODES, REGULATIONS AND ENERGY CONSERVATION MEASURES TO BE COMPLIED WITH.

SHEET INDEX

SHT NO.	CONTENTS
AS-1.0	TITLE SHEET - SITE PLAN & PROJECT DATA
A-1	FLOOR PLAN
A-2	ROOF PLAN
A-3	ELEVATIONS
A-4	BUILDING SECTIONS
L-1	LANDSCAPE PLAN
C1.00	GRADING CONCEPT PLAN

VICINITY MAP



W. OASIS ROAD WAREHOUSE
200 WEST OASIS ROAD
PALM SPRINGS CA 92262

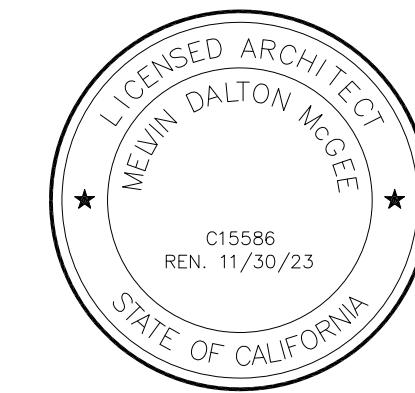
OWNERSHIP OF DOCUMENTS
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO MCGEE SHARON ARCHITECTS

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MCGEE SHARON ARCHITECTS INC

Drawing Date: 8/15/2022
Scale: AS NOTED
Job #: 2030

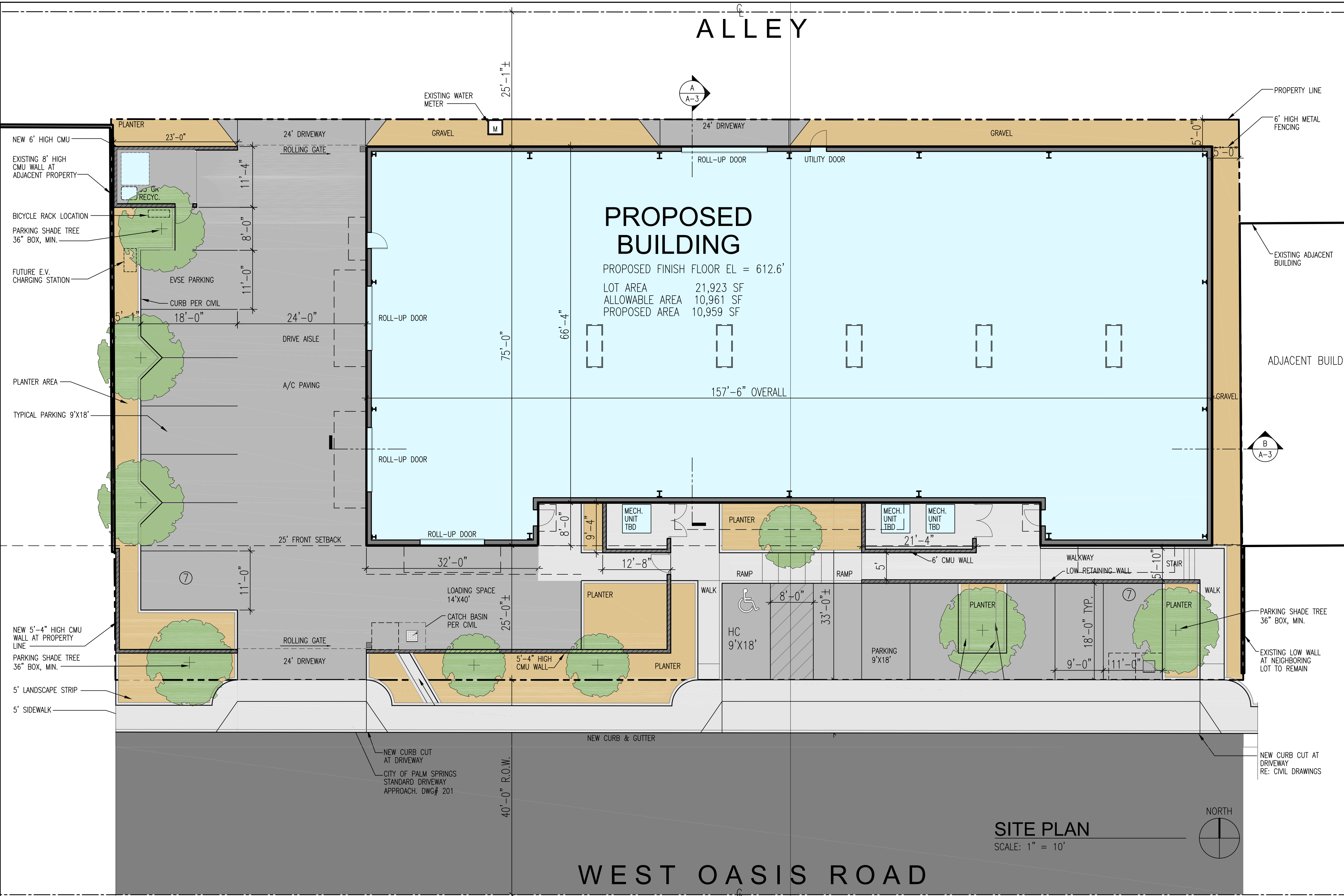
Planning Revisions: 05/04/23

Sheet Number
AS-1.0
SITE PLAN



MCGEE SHARON ARCHITECTS
74020 Alessandro Dr., Suite F
Palm Desert, CA 92260
mcmgeesharon.com

3479 Kurtz St.
San Diego, CA 92110
619-299-9111



SITE PLAN
SCALE: 1" = 10'

FIRE DEPT. CONDITIONS

1. THESE FIRE DEPARTMENT CONDITIONS MAY NOT PROVIDE ALL REQUIREMENTS. OWNER/DEVELOPER IS RESPONSIBLE FOR ALL APPLICABLE STATE AND LOCALLY ADOPTED FIRE CODES. DETAILED PLANS ARE STILL REQUIRED FOR REVIEW. CONDITIONS ARE SUBJECT TO FIRE PLAN CHECK AND REVIEW.
2. FIRE DEPARTMENT CONDITIONS WERE BASED ON THE 2019 CALIFORNIA FIRE CODE AS ADOPTED BY THE CITY OF PALM SPRINGS, PALM SPRINGS MUNICIPAL CODE, PER APPENDIX "F" DEVELOPMENT REQUIREMENTS, AND LATEST ADOPTED NFPA STANDARDS THREE (3) COMPLETE SETS OF PLANS FOR FIRE SPRINKLER SYSTEM, UNDERGROUND WATER IMPROVEMENT PLANS, AND FIRE ALARM MUST BE SUBMITTED PRIOR TO BUILDING PERMIT BEING RELEASED.
3. CONDITIONS OF APPROVAL - "CONDITIONS OF APPROVAL" RECEIVED FROM THE PALM SPRINGS PLANNING DEPARTMENT MUST BE SUBMITTED WITH EACH PLAN SET. FAILURE TO SUBMIT WILL RESULT IN A DELAY OF PLAN APPROVAL.
4. PLANS AND PERMITS (CFC 105.1). PERMITS AND SCALED DRAWINGS ARE REQUIRED FOR THIS PROJECT. PLAN REVIEWS CAN TAKE UP TO 20 WORKING DAYS. SUBMIT A MINIMUM OF THREE (3) SETS OF DRAWINGS FOR REVIEW. UPON APPROVAL, THE FIRE PREVENTION BUREAU WILL RETAIN ONE SET. PLANS SHALL BE SUBMITTED TO:

CITY OF PALM SPRINGS
BUILDING AND SAFETY DEPARTMENT
3200 E. TAHQUITZ CANYON WAY
PALM SPRINGS, CA 92262

COUNTER HOURS: 8:00 AM - 6:00 PM, MONDAY - THURSDAY

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PLANS SHALL INCLUDE ALL NECESSARY ENGINEERING FEATURES, INCLUDING ALL HYDRAULIC REFERENCE NODES, PIPE LENGTHS AND PIPE DIAMETERS AS REQUIRED BY THE APPROPRIATE CODES AND STANDARDS. PLANS AND SUPPORTING DATA, (CALCULATIONS AND MANUFACTURER'S TECHNICAL DATA SHEETS) INCLUDING FIRE FLOW DATA, SHALL BE SUBMITTED WITH EACH PLAN SUBMITTAL. COMPLETE AND ACCURATE LEGENDS FOR ALL SYMBOLS AND ABBREVIATIONS SHALL BE PROVIDED ON THE PLANS.
5. ACCESS DURING CONSTRUCTION (CFC 503). ACCESS FOR FIREFIGHTING EQUIPMENT SHALL BE PROVIDED TO THE IMMEDIATE JOB SITE AT THE START OF CONSTRUCTION AND MAINTAINED UNTIL ALL CONSTRUCTION IS COMPLETE. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 24 FEET AND UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13'-6". FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN ALL-WEATHER DRIVING SURFACE AND SUPPORT A MINIMUM WEIGHT OF 73,000 LBS.
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7. KEY BOX REQUIRED TO BE INSTALLED (CFC 506.1). WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFE-SAVING OR FIRE-FIGHTING PURPOSES, THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE A KEY BOX TO BE INSTALLED IN AN APPROVED LOCATION. THE KEY BOX SHALL BE FLUSH MOUNT TYPE AND SHALL CONTAIN KEYS TO GAIN NECESSARY ACCESS AS REQUIRED BY THE FIRE CODE OFFICIAL.
- SECURED EMERGENCY ACCESS GATES SERVING APARTMENT, TOWN HOME OR CONDOMINIUM COMPLEX COURTYARDS MUST PROVIDE A KEY BOX IN ADDITION TO ASSOCIATION OR FACILITY LOCKS. THE NOMINAL HEIGHT OF KNOX LOCK BOX INSTALLATIONS SHALL BE 5 FEET ABOVE GRADE. LOCATION AND INSTALLATION OF KNOX KEY BOXES MUST BE APPROVED BY THE FIRE CODE OFFICIAL.
8. KEY BOX CONTENTS (CFC 506.1). THE KNOX KEY BOX SHALL CONTAIN KEYS TO ALL AREAS OF INGRESS/EGRESS, ALARM ROOMS, FIRE SPRINKLER RISER/EQUIPMENT ROOMS, MECHANICAL ROOMS, ELEVATOR ROOMS, ELEVATOR CONTROLS, PLUS A CARD CONTAINING THE EMERGENCY CONTACT PEOPLE AND PHONE NUMBERS FOR THE BUILDING/COMPLEX.
9. NFPA 13 FIRE SPRINKLERS REQUIRED: AN AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED. ONLY A C-16 LICENSED FIRE SPRINKLER CONTRACTOR SHALL PERFORM SYSTEM DESIGN AND INSTALLATION. SYSTEM TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA STANDARD 13, 2016 EDITIONS, AS MODIFIED BY LOCAL ORDINANCE.
10. FIRE ALARM SYSTEM REQUIRED: AN AUTOMATIC OR MANUAL FIRE ALARM SYSTEM IS REQUIRED. ONLY A C-10 LICENSED FIRE ALARM CONTRACTOR SHALL PERFORM SYSTEM DESIGN AND INSTALLATION. SYSTEM TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA STANDARD 72, 2016 EDITIONS, AS MODIFIED BY LOCAL ORDINANCE.
11. DESIGNATED FIRE LANES: IN PRIVATE DEVELOPMENTS SHALL BE NOT LESS THAN 24 FEET WIDE (CURB FACE TO CURB FACE) WITH NO PARKING ON EITHER SIDE AND BE IDENTIFIED AS FIRE LANES WITH RED CURB, STATING IN WHITE LETTERING "NO PARKING FIRE LANE," OR BY APPROVED SIGNAGE, OR BY BOTH RED CURB WITH LETTERING AND SIGNAGE.
12. FIRE DEPARTMENT ACCESS ROADS/DRIVEWAYS: SHALL BE PROVIDED SO THAT NO PORTION OF THE EXTERIOR WALL OF THE FIRST FLOOR OF ANY BUILDING WILL BE MORE THAN 150 FEET FROM SUCH ROADS.
13. PRIVATE FIRE HYDRANTS: ADDITIONAL PRIVATE HYDRANTS MAY BE REQUIRED.
14. SECURITY GATES: A KNOX KEY OPERATED SWITCH SHALL BE INSTALLED AT EVERY AUTOMATIC GATE. SECURED AUTOMATIC VEHICLE GATES OR ENTRIES SHALL UTILIZE A COMBINATION OF A TOMAR STROBOSWITCH™, OR APPROVED EQUIV., AND AN APPROVED KNOX KEY SWITCH WHEN REQUIRED BY THE FIRE CODE OFFICIAL. SECURED NON-AUTOMATIC VEHICLE GATES OR ENTRIES SHALL UTILIZE AN APPROVED PADLOCK OR CHAIN (MAXIMUM LINK OR LOCK SHACKLE SIZE OF 1/4 INCH) WHEN REQUIRED BY THE FIRE CODE OFFICIAL.

STANDARD BLDG & SAFETY CONDITIONS

- PROJECT SHALL COMPLY WITH LATEST ADOPTED EDITION OF THE FOLLOWING CODES AS APPLICABLE:
1. CALIFORNIA BUILDING CODE (CBC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC), AND CALIFORNIA GREEN BUILDING STANDARDS CODE
 2. AUTOMATIC FIRE SUPPRESSION SYSTEMS SHALL BE INSTALLED IN ALL NEW CONSTRUCTION PER ARTICLE VI OF CHAPTER 8.04 OF THE CODE OF THE CITY OF PALM SPRINGS. DESIGN AND TYPES OF SYSTEM SHALL BE BASED UPON THE REQUIREMENTS OF THE BUILDING AND FIRE CODES AND THE REQUIREMENT OF THE PALM SPRINGS FIRE DEPARTMENT.
 3. THE REQUIREMENTS OF THE AIR QUALITY MANAGEMENT DISTRICT SHALL BE SATISFIED PRIOR TO THE ISSUANCE OF ANY PERMIT IF DUSTS AND/OR POLLUTANTS WILL BE DISCHARGED INTO THE ATMOSPHERE.
 4. ANY TEMPORARY BUILDING, TRAILER, COMMERCIAL COACH, ETC. INSTALLED AND/OR USED IN CONNECTION WITH A CONSTRUCTION PROJECT SHALL COMPLY WITH CITY CODE.
 5. ALL PERIMETER/BOUNDARY WALLS SHALL BE DESIGNED AND CONSTRUCTED SO THAT THE OUTER/EXTERIOR FACE OF THE WALL IS AS CLOSE AS POSSIBLE TO THE LOT LINE. IN ANY CASE, THE OUTER/EXTERIOR FACE OF THE WALL SHALL BE WITHIN TWO (2) INCHES OF THE LOT LINE. DISTANCES GREATER THAN TWO (2) INCHES MAY BE APPROVED PRIOR TO CONSTRUCTION BY THE BUILDING OFFICIAL ON A CASE BY CASE BASIS FOR EXTENUATING CIRCUMSTANCES.
 6. ALL SIGNS SHALL BE UNDERWRITERS LABORATORIES APPROVED, OR EQUAL.
 7. PERMITS ARE REQUIRED PRIOR TO THE REMOVAL AND/OR DEMOLITION OF STRUCTURES.
 8. ALL EXTERIOR LIGHTING SHALL BE ORIENTED, DIRECTED, AND/OR SHIELDED AS MUCH AS POSSIBLE SO THAT DIRECT ILLUMINATION DOES NOT INFRINGE ONTO ADJOINING PROPERTIES.
- PRIOR TO ISSUANCE OF BUILDING/CONSTRUCTION PERMITS
9. THE FOLLOWING ITEMS (AS APPLICABLE) SHALL BE COMPLETED AND/OR SUBMITTED TO BUILDING AND SAFETY PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR THIS PROJECT:
 - A. PRECISE GRADING PLAN SHALL BE APPROVED
 - B. ROUGH GRADING COMPLETED
 - C. COMPACTION CERTIFICATION
 - D. PAD ELEVATION CERTIFICATION
 - E. ROUGH GRADE INSPECTION SIGN OFF BY A CITY PUBLIC WORKS/ENGINEERING INSPECTOR
- CAL-GREEN CODE NOTES
- COMPLY WITH THE MANDATORY MEASURES OF CHAPTER 5 OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN).
- THE CITY OF PALM SPRINGS PROVIDES FORMS FOR CONSTRUCTION WASTE RECYCLING AND POLLUTION CONTROL (VOC REPORTING) WHICH MUST BE COMPLETED BOTH AT TIME OF PERMIT ISSUANCE AND DELIVERED TO THE FIELD INSPECTOR AT TIME OF FINAL INSPECTION.

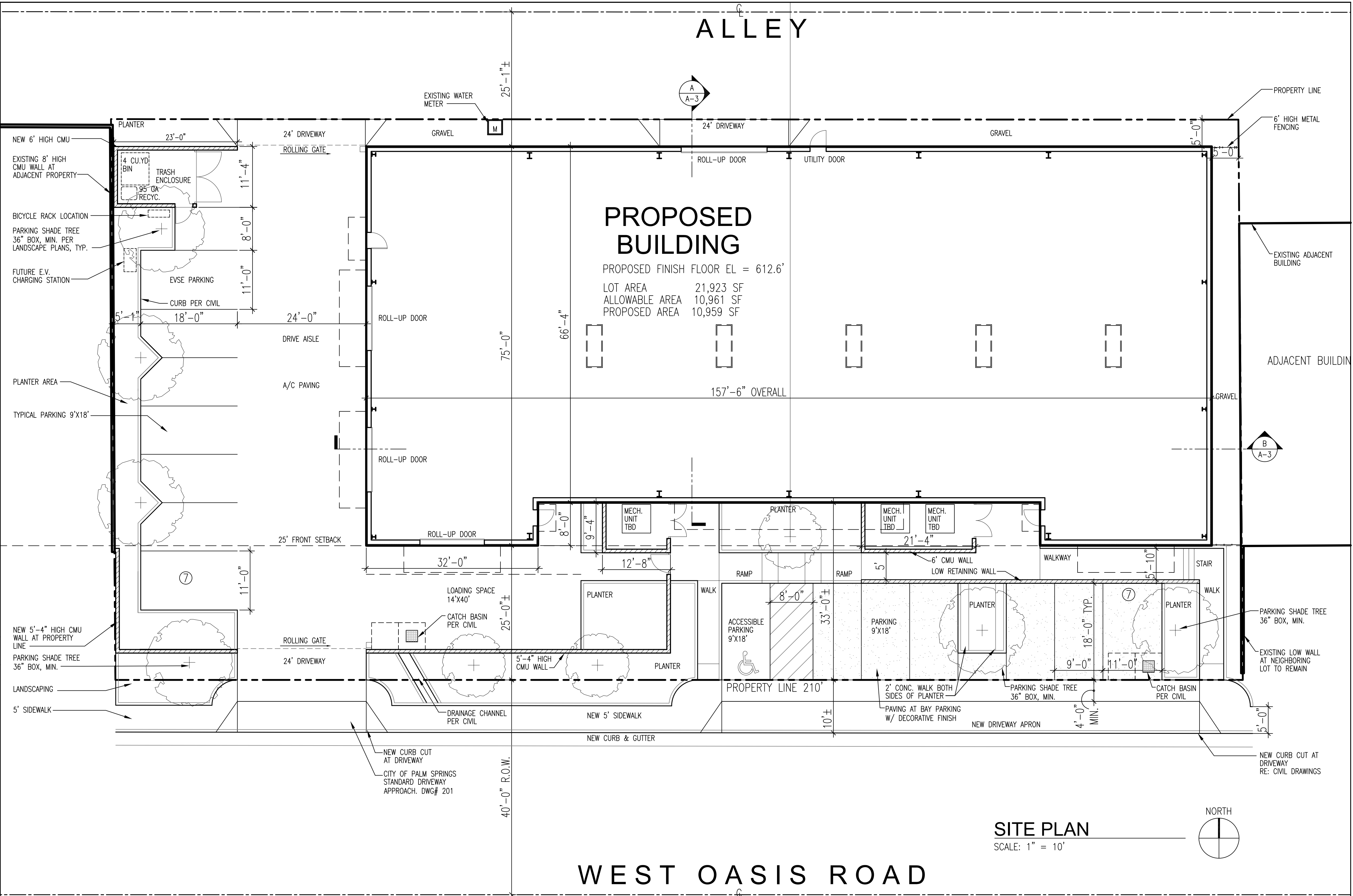
GOVERNING CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING CODE

PLAN FILE NO.

PERMIT NO.

PLANNING CASE # 3.2864



WEST OASIS ROAD

SITE PLAN
SCALE: 1" = 10'

DRAWING SYMBOLS

- ◊ KEY NOTE REFERENCE
- ① DOOR NUMBER DESIGNATION
- Ⓐ WINDOW NUMBER DESIGNATION
- ⊕ CONTROL DATUM POINT
- Ⓜ INTERIOR ELEVATION SYMBOL
- GRID LINE LETTER OR NUMBER DESIGNATION
- OVERALL BUILDING SECTION INDICATES REFERENCE NUMBER
- OVERALL BUILDING SECTION INDICATES SHEET WHERE SECTION RESIDES
- ENLARGED DETAIL INDICATES REFERENCE NUMBER
- ENLARGED DETAIL INDICATES SHEET WHERE DETAIL RESIDES

PROJECT DATA

OCCUPANCY GROUP: S2
OCCUPANCY LOAD: 22 = 10,959 SF/500 (OLF)
DESCRIPTION OF PROPOSED USE: WAREHOUSE
TYPE OF CONSTRUCTION: TYPE 5-B / NON-SPRINKLERED
TOTAL BUILDING AREA: 10,959 S.F.
MAX PROPOSED HEIGHT: 30'-0" / 1-STORY

EXISTING PARCEL INFORMATION
ZONING: M-1 (SERVICE/MANUFACTURING)
EXISTING USE: NONE (EMPTY LOT)
A.P.N. : 669-444-012, 669-444-011
BUILDING AREA CALCULATION
LOT SIZE: 21,923 S.F.
TOTAL F.A.R. ALLOWED: 10,961 S.F. (50%)
TOTAL F.A.R. PROPOSED: 10,959 S.F. (50%)

PARKING CALCULATION
1 SPACE/800 S.F. GROSS FLOOR AREA (WAREHOUSE)
TOTAL GROSS S.F.: 10,959 S.F. / 800 = 14 REQUIRED
14 PARKING SPACES PROPOSED
TOTAL PARKING AREA: 1,628 S.F.
(1-25 SPACES = 1 ACCESSIBLE SPACE REQ'D)
9 SPACES < 25 = 1 ACCESSIBLE SPACE PROVIDED

LANDSCAPE CALCULATIONS
TOTAL LANDSCAPE AREA = 3,495 S.F.
PARKING SHADE REQUIRED = PARKING AREA X 30% = 4,096 S.F. X .3 = 1,229 S.F.
PARKING SHADE PROVIDED = 1,264 S.F.
FRONT YARD AREA = 5,250 S.F.
MIN. FRONT YARD LANDSCAPE AREA = 25% X 5,250 S.F. = 1,313 S.F. REQ'D
COMBINED LANDSCAPE AREAS AT FRONT YARD = 1,608 S.F. PROVIDED

PROJECT DIRECTORY

OWNER:
DESERT PRODUCTIONS, LLC
5580 BILL COODY ROAD
HIDDEN HILLS, CA 91302
PHONE: (818) 621-0039
E-MAIL: gisela.colonart@gmail.com

ARCHITECT:
MCGEE SHARON ARCHITECTS
3479 KURTZ STREET
SAN DIEGO, CA 92110
PHONE: (619) 299-9111
E-MAIL: mmcgee@mcgeesharon.com
CONTACT: MELVIN MCGEE, ARCHITECT

LANDSCAPE ARCHITECT:
SUE MATHIS LANDSCAPE DESIGN
16340 LOWER HARBOR ROAD
BROOKINGS, OR 97415
PHONE: (661) 256-4261
E-MAIL: sue.mathis.landscape@gmail.com

CIVIL ENGINEER:
DUKE ENGINEERING
44732 YUCCA AVE
LANCASTER, CA 93534
PHONE: (661) 952-7918
E-MAIL: ryan@duke-engineering.com
CONTACT: RYAN DUKE, PE

GENERAL CONTRACTOR:
RICK PENCE, CONST.
1423 W STATE ST # A
REDLANDS, CA 92373
PHONE: (909) 557-5886
E-MAIL: rick@penceconstruction.com
CONTACT: RICK PENCE

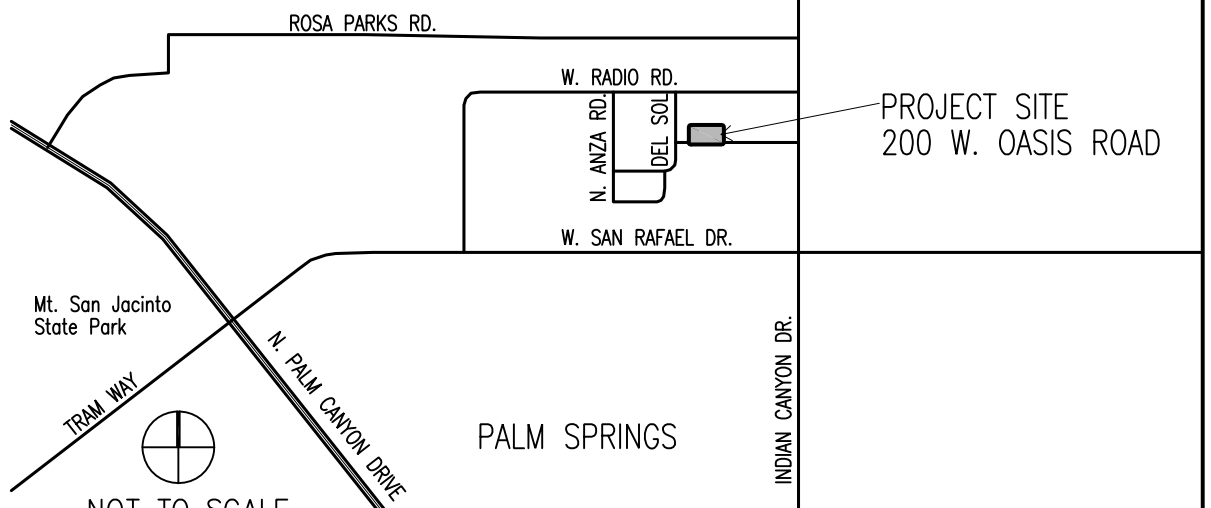
SCOPE OF WORK
CONSTRUCTION OF NEW SINGLE-STORY STRUCTURE WITH MANUFACTURED STEEL FRAMING SYSTEM ON NEW CONCRETE PAD FOR WAREHOUSE STORAGE FACILITY. INSULATED METAL PANEL WALLS AND ROOFING SYSTEM TO BE INSTALLED OVER FRAMING STEEL FRAME. EXTERIOR WORK TO INCLUDE WALKWAYS, PLANTERS, DRIVEWAY AND PARKING AREA. INTERIOR WORK AS FOLLOWS: NEW PARTITION AND CEILING AREA AT RESTROOM AND MOP SINK. NEW PLUMBING FIXTURES AND PIPING. NEW HVAC UNITS AND DUCTING. NEW ELECTRICAL POWER, OUTLETS, AND DATA.

PROVISIONS FOR COMPARTMENT, HVAC, TITLE 24, ACCESSIBLE ACCESS REGULATIONS REGULATIONS AND ENERGY CONSERVATION MEASURES TO BE SATISFIED WITH.

SHEET INDEX

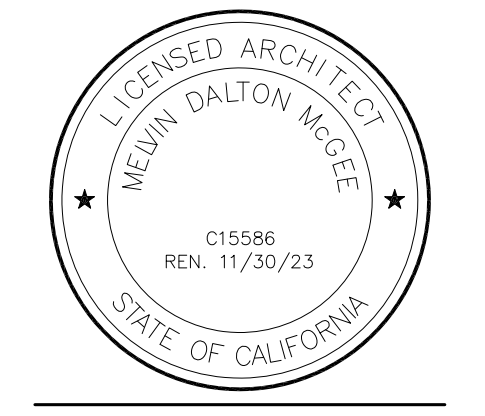
SHT NO.	CONTENTS
AS1.0	TITLE SHEET - SITE PLAN & PROJECT DATA
A-1	FLOOR PLAN
A-2	ROOF PLAN
A-3	ELEVATIONS
E-1	BUILDING SECTIONS
E-2	ELECTRICAL - SITE LIGHTING PHOTOMETRIC
LC	ELECTRICAL - LIGHTING SPECIFICATIONS
C1.00	LANDSCAPE CONCEPT PLAN
C1.00	GRADING CONCEPT PLAN

VICINITY MAP



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200 WEST OASIS ROAD
PALM SPRINGS CA 92262

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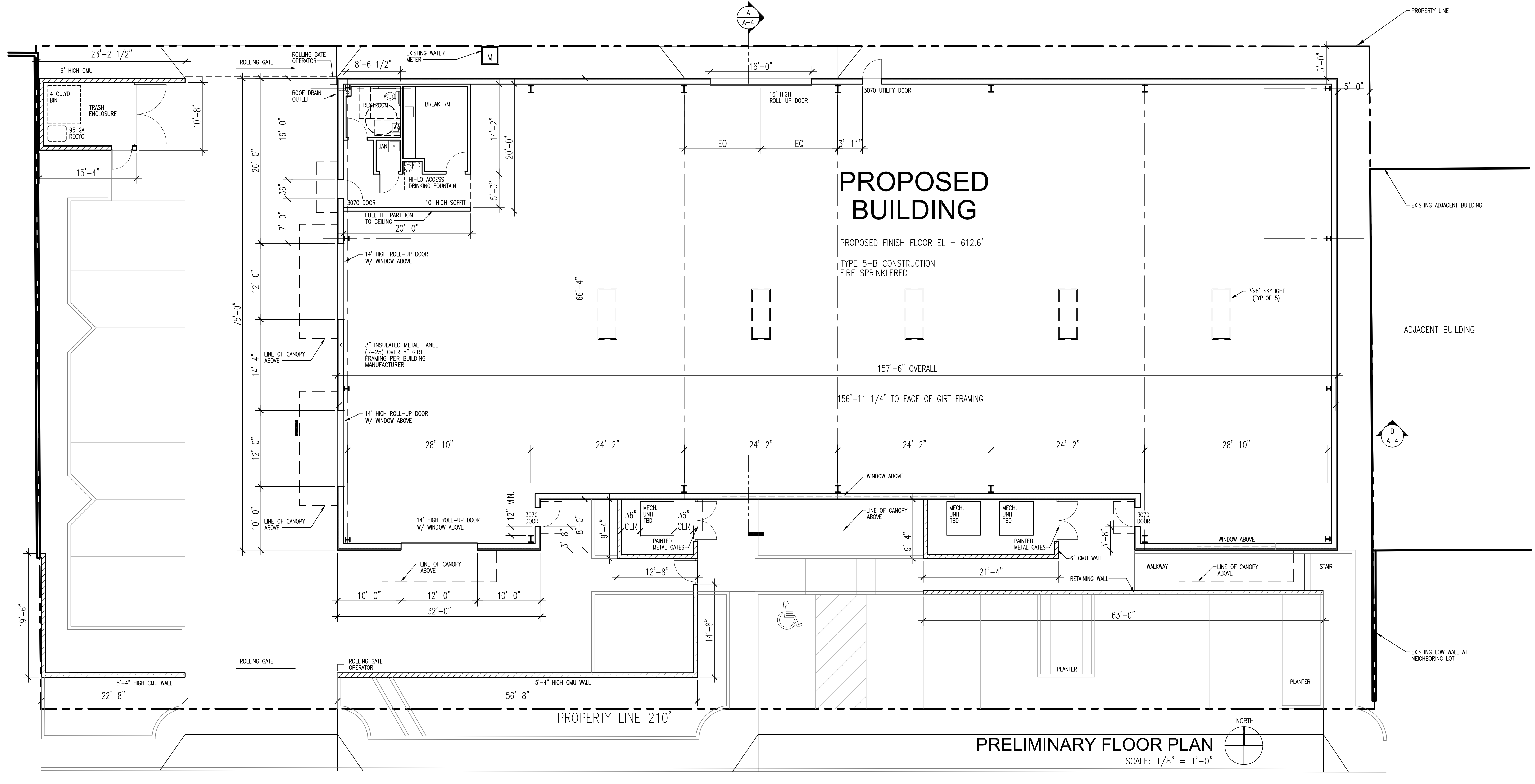
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Scale AS NOTED
Job # 2030

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Sheet Number
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SITE PLAN

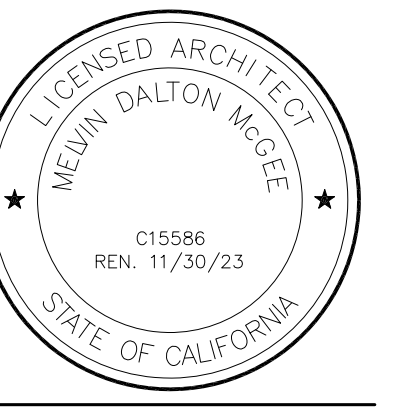
ALLEY



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 WAREHOUSE**

200 WEST OASIS ROAD
 PALM SPRINGS CA 92262

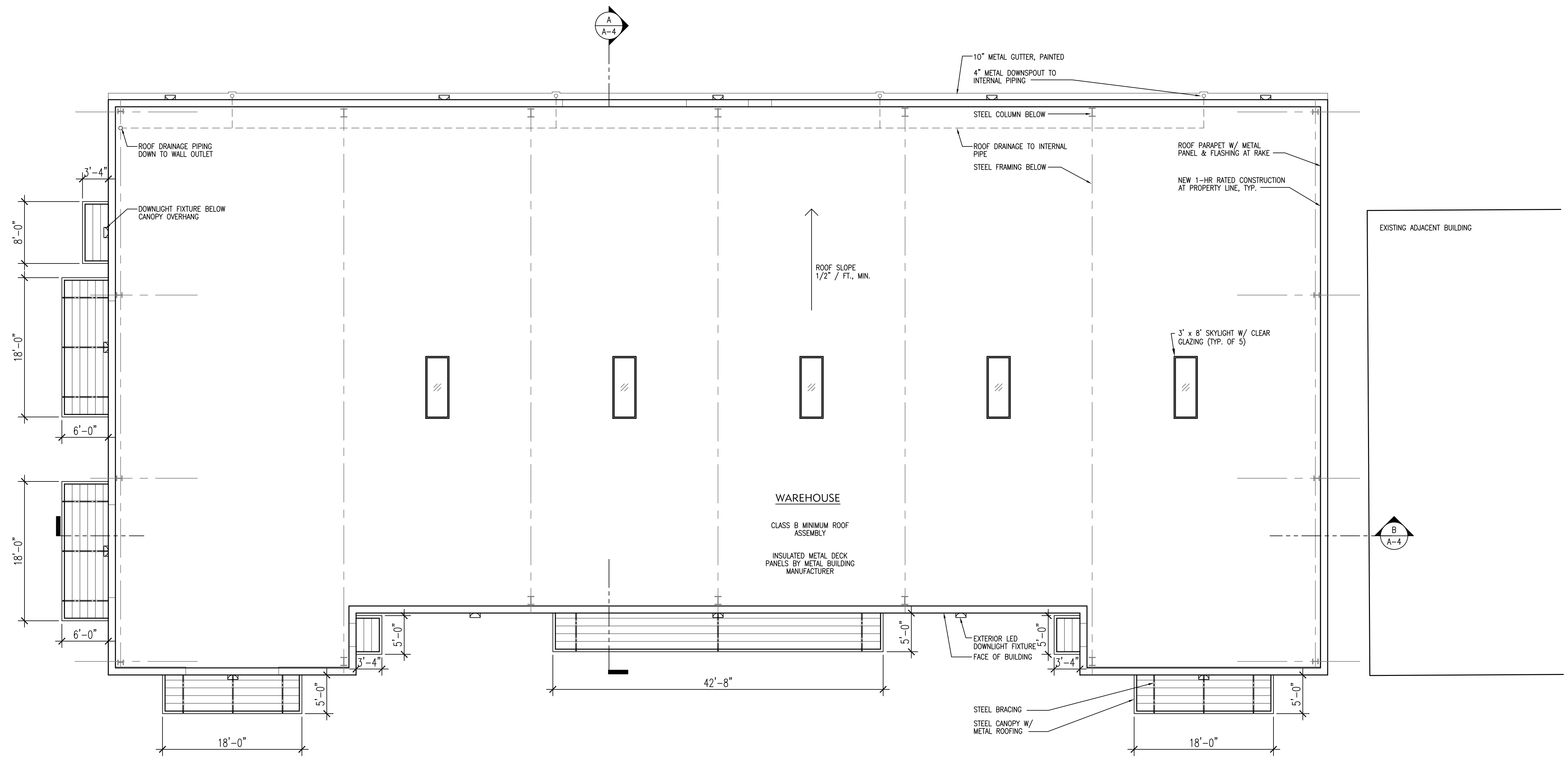
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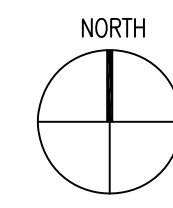
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FLOOR PLAN

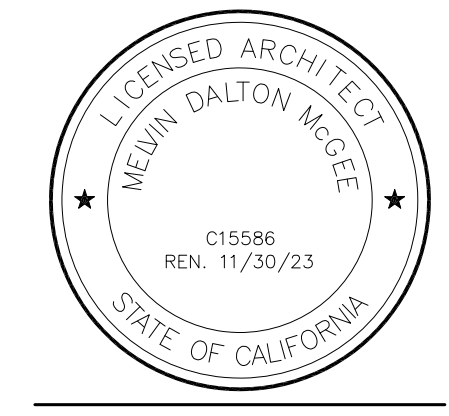


PRELIMINARY ROOF PLAN
SCALE: 1/8" = 1'-0"



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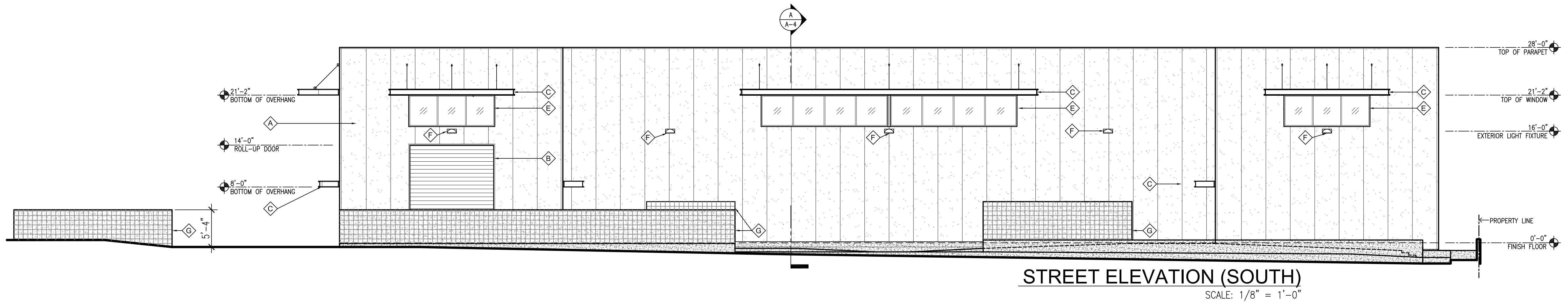
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PALM SPRINGS CA 92262

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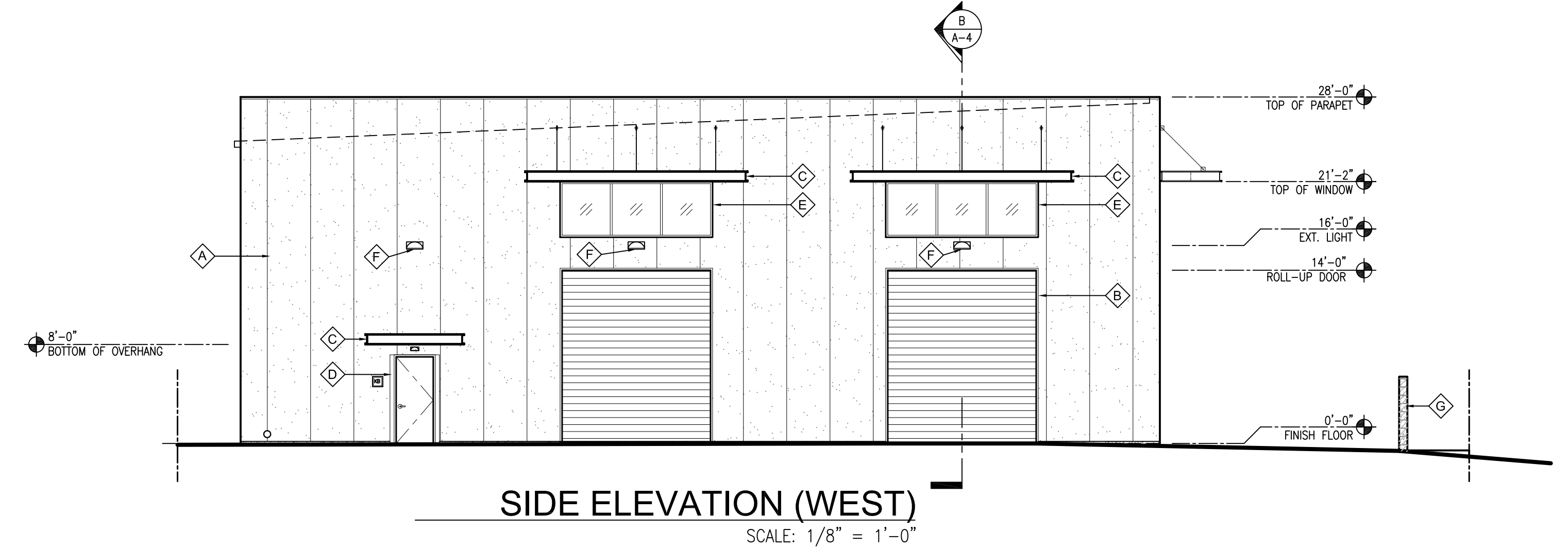
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Job #	2030
Planning Revisions	01/18/23

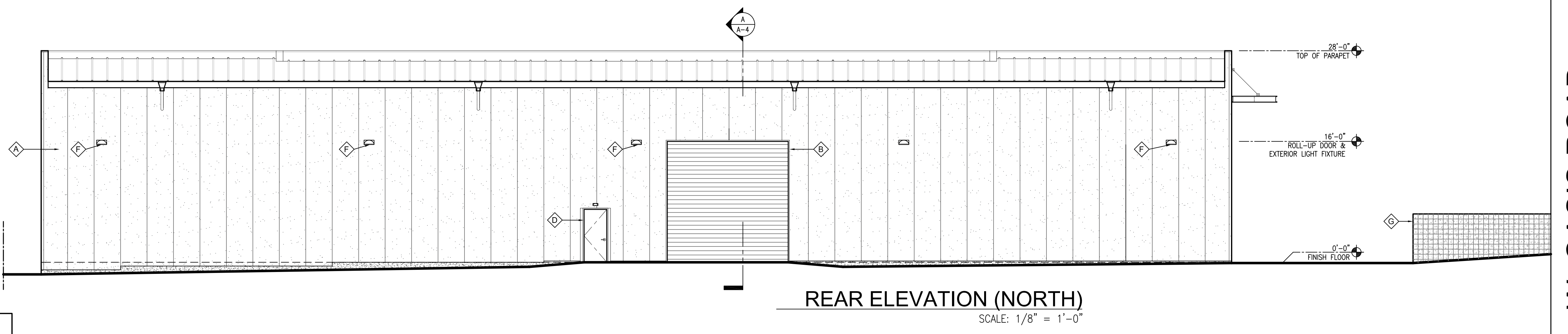
Sheet Number
A-2
ROOF PLAN



STREET ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"



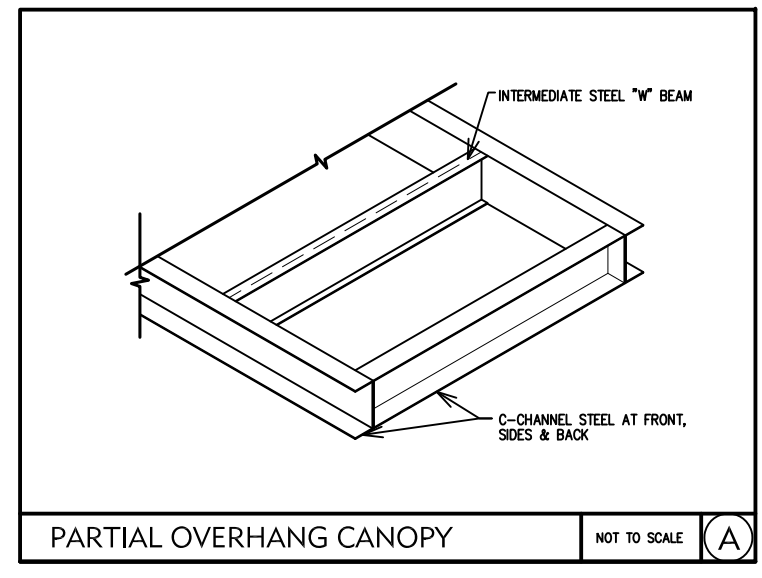
SIDE ELEVATION (WEST)
SCALE: 1/8" = 1'-0"



REAR ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"



SIDE ELEVATION (EAST)
SCALE: 1/8" = 1'-0"



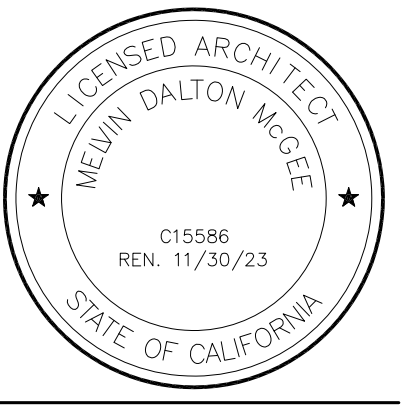
PARTIAL OVERHANG CANOPY
NOT TO SCALE

EXTERIOR MATERIALS AND COLORS	
A	EXTERIOR INSULATED METAL SIDING PANELS MFR: METL SPAN / MODEL: CF-ARCHITECTURAL (3" THK. X 36" WIDTH) COLOR & FINISH: POLAR WHITE - SMOOTH UNEMBOSSED
B	INSULATED ROLL-UP GARAGE DOOR W/FLAT SLATS MFR: OVERHEAD DOOR / MODEL: F-265 COLOR & FINISH: POWDER COATED GRAY
C	METAL OVERHANG CANOPY AT DOORS AND WINDOWS MFR: COLOSSAL STEEL / MODEL: WELDED 10" CHANNEL STEEL W/METAL PANEL COLOR & FINISH: PAINTED DARK GRAY
D	EXTERIOR FRONT ENTRY DOOR WELDED METAL FRAME AND INSULATED HOLLOW METAL DOOR COLOR & FINISH: PAINTED DARK GRAY FRAME AND DOOR
E	STOREFRONT WINDOWS ALUMINUM METAL FRAME W/ LOW-E GLAZING COLOR & FINISH: BLACK ANODIZED FRAME
F	EXTERIOR WALL-PAK LIGHT FIXTURES MFR: LITHONIA / MODEL: WST-LED OR EQUIVALENT DOWNLIGHT COLOR & FINISH: BLACK MATTE
G	CONCRETE MASONRY UNITS (CMU) AT SITE / RETAINING WALLS 8" PRECISION BLOCK (8" x 8" x 8") STACKED BOND COLOR & FINISH: NATURAL GRAY
H	CONCRETE CURB COLOR & FINISH: NATURAL CAST

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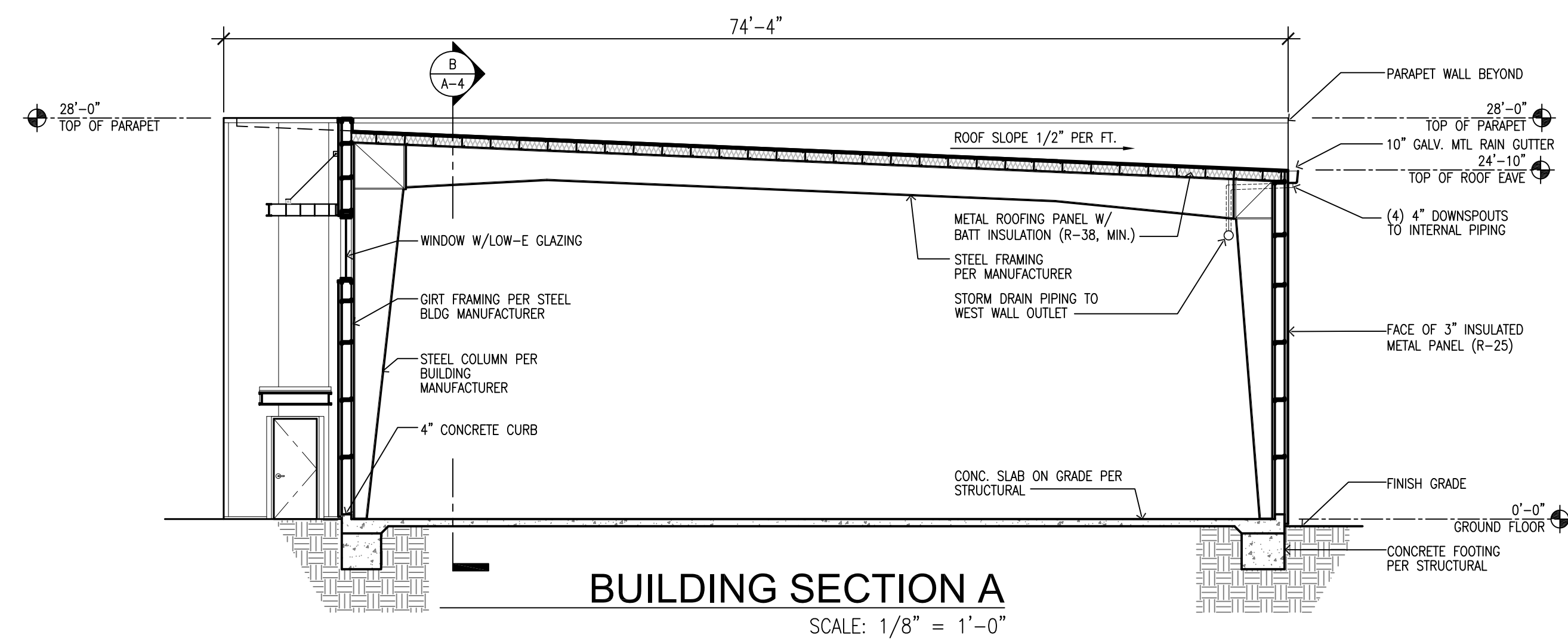
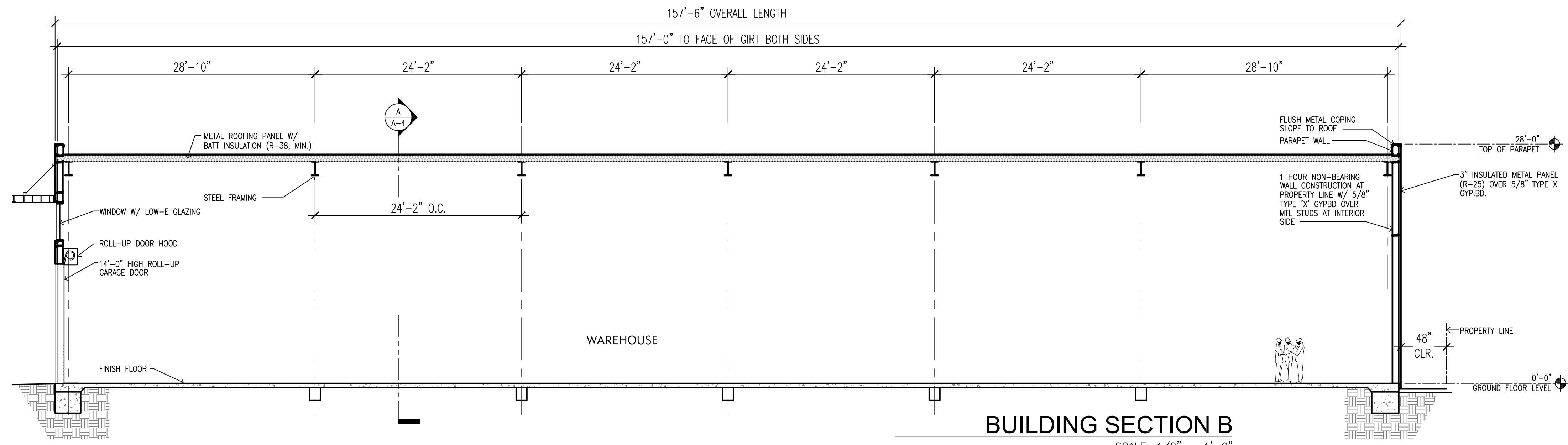
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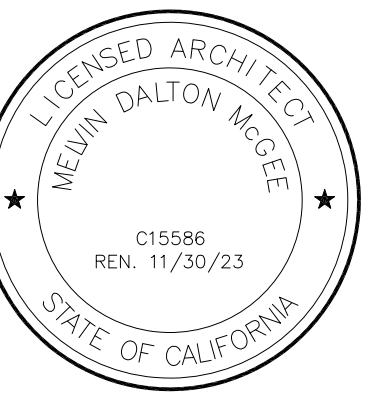
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Sheet Number
A-3
ELEVATIONS



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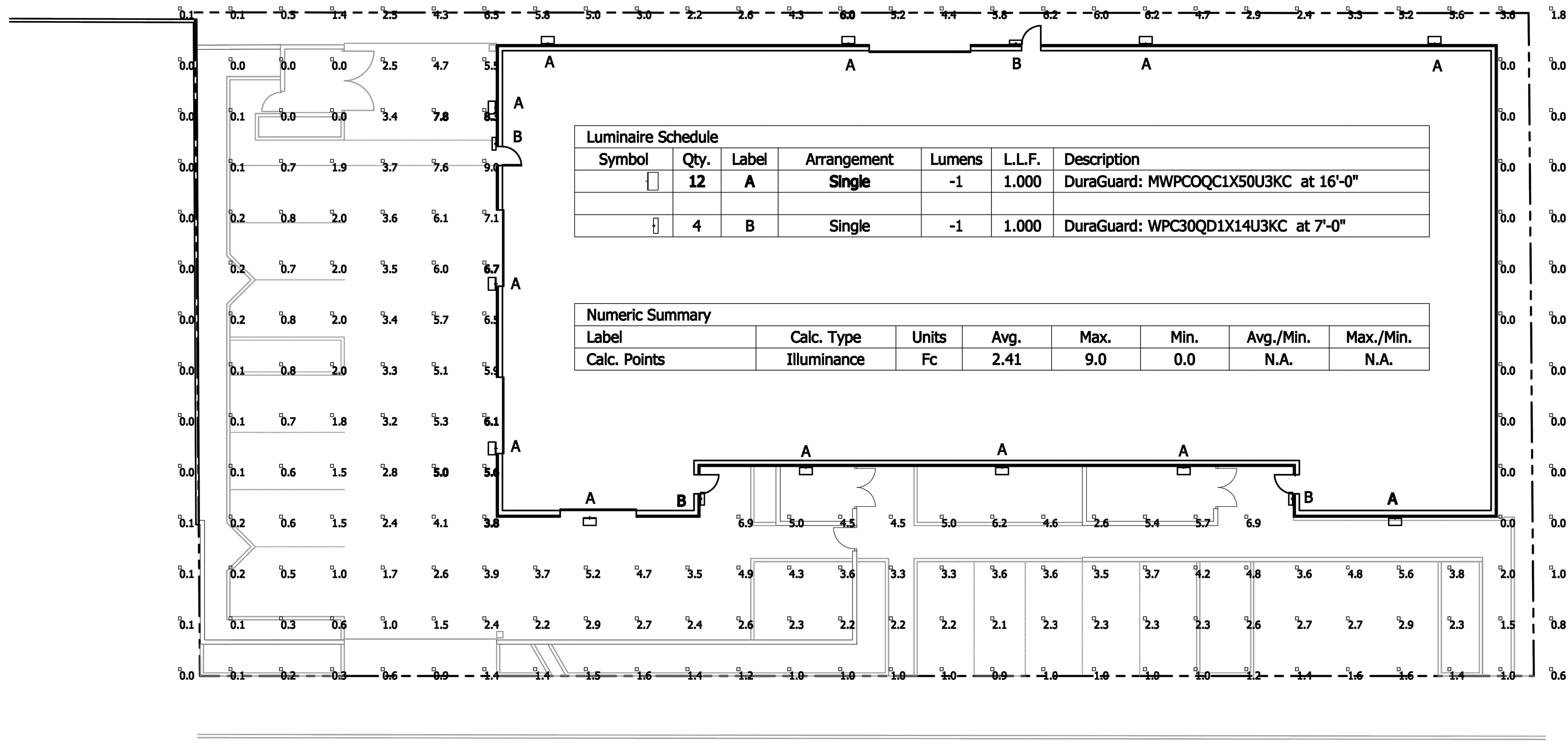
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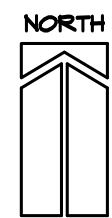
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 Job # 2030
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Sheet Number
A-4
 BLDG. SECTIONS



Photometric data used is based on established IES procedures and published lamp ratings. Pt. x pt. values shown are horizontal illuminance at grade (single-plane), in footcandles. The Light Loss Factor (LLF) used is essentially industry standard. Field performance will depend on actual lamp, ballast, electrical, and site characteristics. Luminaire height shown is approximate overall mounting height above finished grade, unless noted otherwise.



LIGHTING PHOTOMETRICS PLAN

NTS

LIGHTING SPECIFICATIONS

Rev. 02/2021

WPC30Q DuraLED Wall Mount Cutoff Luminaire

Project Information

Project Name: **Basis Road Warehouse**
 Complete Catalog #: **WPC30Q-D-1X14-U-3K-C-C-BU**
 Comments:

Fixture Type: **B**
 Date: **07/29/2022**

The contemporary-styled DuraGuard WPC30Q Wall Mount Cutoff Luminaire is available in two wattages and two optical distributions designed to replace HID lighting systems up to 150W MH or HPS. Typical wall mounted lighting applications include retail centers, industrial parks, schools and universities, public transit and airports, office buildings and medical facilities. Mounting heights of 8 to 15 feet can be used based on light level and uniformity requirements.

SPECIFICATIONS AND FEATURES:
HOUSING: Die Cast Aluminum Housing with Integral Heat Sinking, Nickel-Plated Stainless Steel Hardware, Photocell Adaptable.
LISTING & RATINGS: CSA-Listed for Wet Locations, ANSUL 1598, 8750 IP66 Sealed LED Compartment.
FINISH: Textured Architectural Bronze Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.
LENS: Clear One-Piece Molded UV-Stabilized Polycarbonate or SoftLED LumLens UV-Stabilized Polycarbonate Opal Vendor-Resistant Lenses to Seal LED Array.
MOUNTING OPTIONS: Mount Directly Over a Recessed Cutoff Box, Includes Easy-Hang "Two Hands Free" Wall Mounting Bracket with Built-In Level. No Surface Contact Entrance.
DURALED LED: Die Cast Aluminum Housing with Integral Heat Sinking, Nickel-Plated Stainless Steel Hardware, Photocell Adaptable.
WATTAGE: 14w Army, 14.5w System, 16.1w 22w Army, 21.7w System, 24.8w
DRIVER: Electronic Driver, 120-277V, 50/60Hz or 347V, 50/60Hz; Less Than 20% THD and PF>0.90. Standard Internal Surge Protection (SP) 0-10V Dimming Standard for a Dimming Range of 100% to 10%; Dimming Source Current is 150 Microamps.
CONTROLS: Factory-Installed Photocell or Motion Sensor Controls are Internally Wired for Switching and/or 1-10V Dimming Within the Housing. Remote Direct Wired Interface of 1-10V Dimming is Not Imploded and May Not Be Available. Please Consult Factory. Fixtures are Tested with DuraGuard Controls and May Not Function Properly With Controls Supplied by Others. Fixtures are NOT Designed for Use with Line Voltage Dimmers.
WARRANTY: 5-Year Warranty for -40°C to +50°C Environment. See Page 2 for Projected Lumen Maintenance Table.

Dimensions
 Width (W) 12 1/2" (318mm)
 Length (L) 6 1/2" (165mm)
 Height (A) 10 1/2" (267mm)

DuraLED TECHNOLOGY

Complete Units
 Ordering Information
 Example: WPC30Q1X2L8K2SP

Model	Optics	Wattage	Driver	CCT	Lens	Color	Options
WPC30Q	D-Type IV	1X14+14w	U-120-277V	3K-3000K	Z-Bronze	Z-Bronze	
DuraLED Wall Mount Cutoff Luminaire	F-Type V	1X22+22w	U-120-277V	4K-4000K	L-SoftLED	C-Custom (Consult Factory)	

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Rev. 02/2021

WPC30Q DuraLED Wall Mount Cutoff Luminaire

Accessories & Replacement Parts:

Replacement Parts (Order Separately, Field Installed)
 P18103 120-277VAC Photocell
 P17117 Internal Microwave Sensor with Dimming for Mounting Heights of 8 to 14'; 120-277VAC, 50/60Hz
 For Replacement Battery Backup, see the DuraGuard LED Battery Backup Specification Sheet.

Accessories (Order Separately, Field Installed)
 MWPCOV5 Clear UV-Stabilized Polycarbonate Vendor-Resistant Guard, Includes Hardware
 MWPCOW1* Tempered Clear Flat Glass Lens
 P18103 Wet Guard, Stainless Steel Construction, Includes Hardware

PHOTOMETRIC DATA

WPC30QD1X2L8K2C Type IV, Clear Lens
 CCT: 4000K
 MH: 10 Feet

WPC30QF1X2ZUSK Type V, Clear Lens
 CCT: 4000K
 MH: 10 Feet

WPC30QF1X2ZUSKL Type V, LumLens
 CCT: 4000K
 MH: 10 Feet

PROJECTED LUMEN MAINTENANCE

Data shown for 5000 CCT

TM-21-11	Input Watts	Compare to MH			
		Initial	25,000 Hrs	50,000 Hrs	100,000 Hrs
L70 Lumen Maintenance @ 25°C / 77°F	1.00	0.98	0.95	0.91	330,000
L70 Lumen Maintenance @ 50°C / 122°F	1.00	0.95	0.89	0.79	141,000
L80 Lumen Maintenance @ 40°C / 104°F	1.00	0.96	0.93	0.85	134,000

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Rev. 02/2021

WPC30Q DuraLED Wall Mount Cutoff Luminaire

PHOTOMETRIC PERFORMANCE

Optic	Wattage (Catalog Logic)	14W (1X14)	22W (1X22)	Delivered Lumens	
				14.5W	24.8W
D = Type IV	3000K	1,473	2,209		
	4000K	1,533	2,299		
	5000K	1,592	2,389		
F = Type V	3000K	1,770	2,655		
	4000K	1,942	2,762		
	5000K	1,913	2,870		

PROJECTED LUMEN MAINTENANCE

Data shown for 5000 CCT

TM-21-11	Input Watts	Compare to MH			
		Initial	25,000 Hrs	50,000 Hrs	100,000 Hrs
L70 Lumen Maintenance @ 25°C / 77°F	1.00	0.98	0.95	0.91	330,000
L70 Lumen Maintenance @ 50°C / 122°F	1.00	0.95	0.89	0.79	141,000
L80 Lumen Maintenance @ 40°C / 104°F	1.00	0.96	0.93	0.85	134,000

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Rev. 03/2021

MWPCOQ DuraLED Medium Wallpack Full Cutoff

Project Information

Project Name: **Basis Road Warehouse**
 Complete Catalog #: **MWPCOQ-C-1X50-U-3K-C-C-S4**
 Comments:

Fixture Type: **A**
 Date: **07/29/2022**

The DuraGuard MWPCOQ cutoff wall pack luminaire is available with a choice of optical distributions designed to replace HID lighting systems 175w to 800w MH or HPS. Typical wall mounted lighting applications include retail centers, industrial parks, schools and universities, public transit and airports, office buildings and medical facilities. Mounting heights of 12 to 18 feet can be used based on light level and uniformity requirements.

SPECIFICATIONS AND FEATURES:
HOUSING: Die Cast Hinged and Dashed Aluminum Front Frame and Housing with 1/2" Cast Flange, Nickel-Plated Stainless Steel Hardware, Photocell Adaptable.
LISTING & RATINGS: CSA-Listed for Wet Locations, ANSUL 1598, 8750 IP66 Sealed LED Compartment.
FINISH: Textured Architectural Bronze Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.
LENS: Tempered Clear Flat Glass Lens or Tempered Clear Flat Prismatic Glass Lens.
MOUNTING OPTIONS: Cast-In Template for Mounting Directly Over a 4" Recessed Cutoff Box, or Use 1/2" Surface Contact.
DURALED LED: Aluminum Boards.
WATTAGE: 25w Army, 24.78w System, 27.1w; 37w Army, 37.2w System, 40.6; 50w Army, 50w System, 54.2w
DRIVER: Electronic Driver, 120-277V, 50/60Hz; Less Than 20% THD and PF>0.90. Standard Internal Surge Protection (SP) 0-10V Dimming Standard for a Dimming Range of 100% to 10%; Dimming Source Current is 150 Microamps.
CONTROLS: Factory-Installed Photocell or Motion Sensor Controls are Internally Wired for Switching and/or 1-10V Dimming Within the Housing. Remote Direct Wired Interface of 1-10V Dimming is Not Imploded and May Not Be Available. Please Consult Factory. Fixtures are Tested with DuraGuard Controls and May Not Function Properly With Controls Supplied by Others. Fixtures are NOT Designed for Use with Line Voltage Dimmers.
WARRANTY: 5-Year Warranty for -40°C to +40°C Environment. See Page 2 for Projected Lumen Maintenance Table.

Dimensions
 Width (W) 14" (356mm)
 Length (L) 11 1/2" (292mm)
 Height (A) 6 1/2" (165mm)

DuraLED TECHNOLOGY

Complete Units
 Ordering Information
 Example: MWPCOQF1X37U5K2SP

Model	Optics	Wattage	Driver	CCT	Lens	Color	Options
MWPCOQ	C-Type II	1X25-C	U-120-277V	3K-3000K	Z-Bronze	Z-Bronze	
DuraLED Medium Wallpack Cutoff	F-Type V	1X37-37w	U-120-277V	4K-4000K	L-SoftLED	C-Custom (Consult Factory)	

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Rev. 02/2021

MWPCOQ DuraLED Medium Wallpack Full Cutoff

Accessories & Replacement Parts:

Accessories (Order Separately, Field Installed)
 MWPCOV5 Clear UV-Stabilized Polycarbonate Vendor-Resistant Guard, Includes Hardware
 MWPCOW1* Tempered Clear Flat Glass Lens
 P18103 Wet Guard, Stainless Steel Construction, Includes Hardware

Replacement Parts (Order Separately, Field Installed)
 P18103 120-277VAC Photocell
 P17117 Internal Microwave Sensor with Dimming for Mounting Heights of 8 to 14'; 120-277VAC, 50/60Hz
 P17123 Internally Mounted Microwave On/Off Motion Sensor for Mounting Heights of 8' to 14'; 120-277VAC, 50/60Hz
 For Replacement Battery Backup, see the DuraGuard LED Battery Backup Specification Sheet.

PHOTOMETRIC DATA

MWPCOQ-C-1X50USK Type III
 CCT: 4000K
 MH: 10 Feet

MWPCOQF1X50USK Type V
 CCT: 4000K
 MH: 10 Feet

PROJECTED LUMEN MAINTENANCE

Data shown for 5000 CCT

TM-21-11	Input Watts	Compare to MH			
		Initial	25,000 Hrs	50,000 Hrs	100,000 Hrs
L70 Lumen Maintenance @ 25°C / 77°F	1.00	0.98	0.93	0.86	213,000
L70 Lumen Maintenance @ 50°C / 122°F	1.00	0.93	0.87	0.73	113,000
L80 Lumen Maintenance @ 40°C / 104°F	1.00	0.95	0.89	0.78	91,000

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 mcg@sharon.com

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 ELECTRICAL, MECHANICAL & PLUMBING DESIGN
 PLANNING, PERMITTING & MANAGEMENT
 P.O. BOX 1153, YUCAIPA, CALIFORNIA 92389
 PH: (909) 778-7134 FX: (909) 778-3860
 randallengr.com

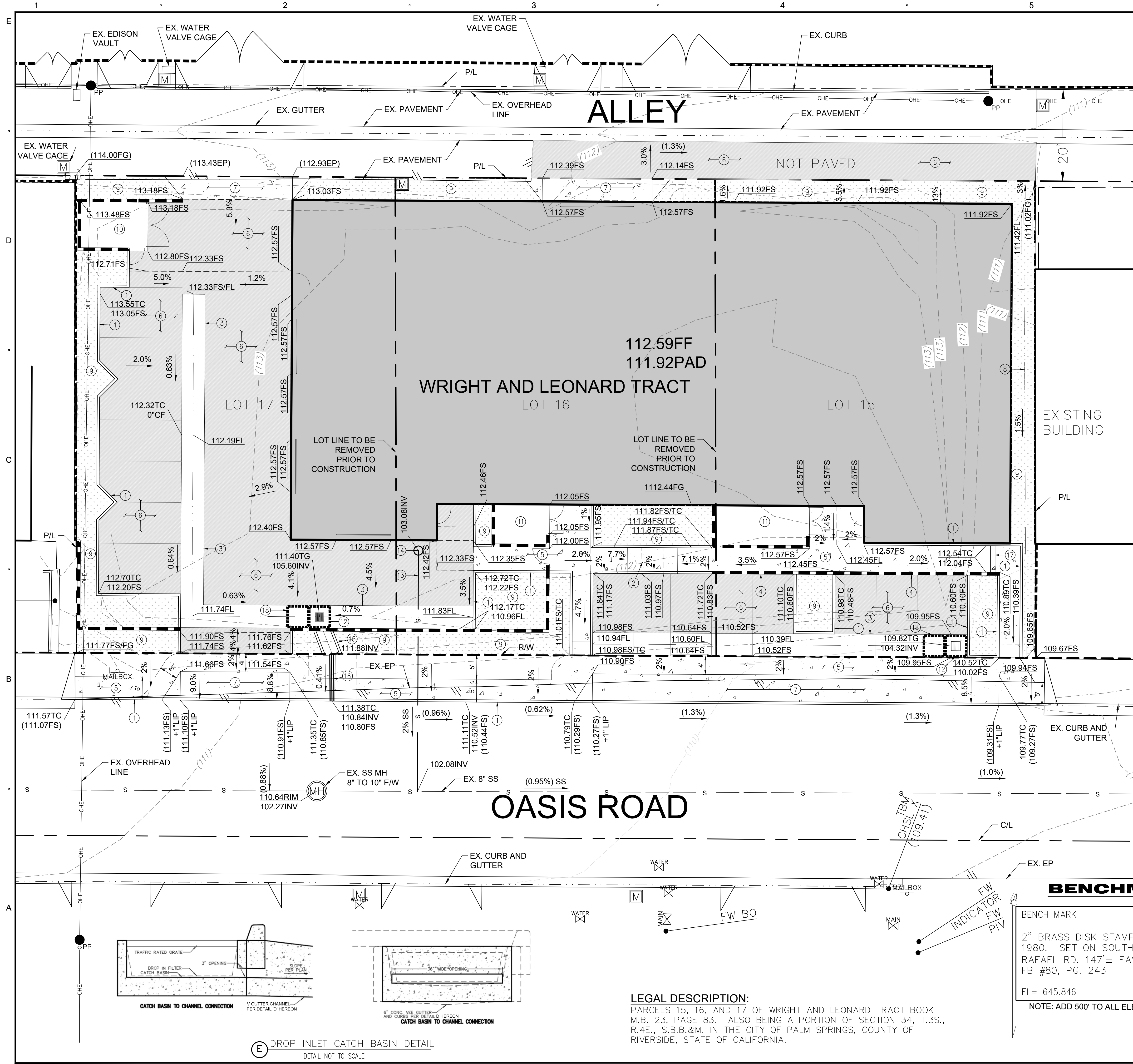
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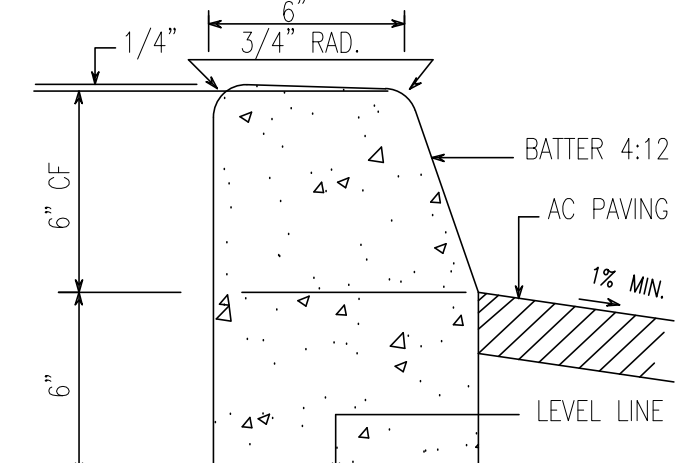
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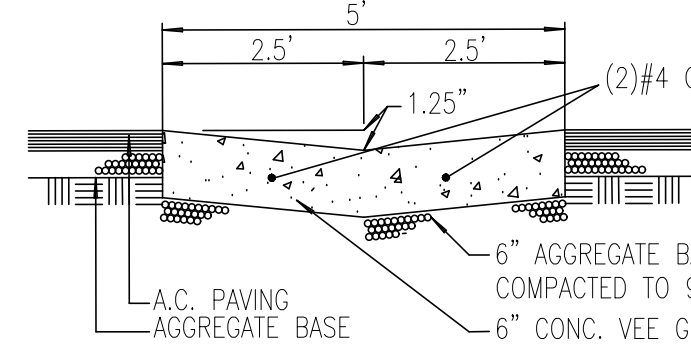
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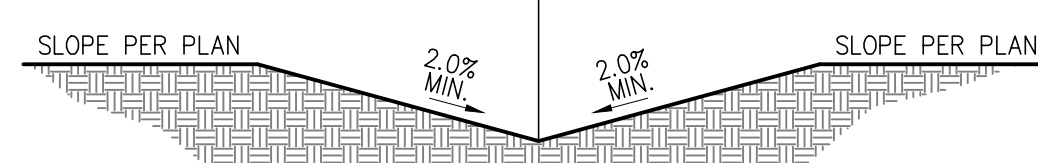
- CONSTRUCTION NOTES**
- CONSTRUCT 6" PCC CURB PER SPPWC STD. PLAN 120-3, TYPE A1-6(150) MODIFIED PER DETAIL 'A' HEREOF
 - CONSTRUCT CURB RAMP PER SPPWC STD PLAN 111-5, TYPE 1 'CASE B'. SEE ARCH PLAN.
 - CONSTRUCT 5' WIDE RIBBON GUTTER PER DETAIL 'B' HEREOF
 - 6' TALL RETAINING WALL PER ARCH PLANS (2' MAX RETAINING)
 - CONSTRUCT 4" THICK PCC CONCRETE WALK PER CITY STANDARD #210
 - CONSTRUCT PAVEMENT PER FINAL SOILS REPORT
 - CONSTRUCT 6" THICK PCC COMMERCIAL DRIVEWAY PER CITY STANDARD #201
 - CONSTRUCT GRADED SWALE PER DETAIL 'C' HEREOF
 - INSTALL LANDSCAPING PER ARCH PLANS
 - INSTALL TRASH ENCLOSURE PER ARCH PLANS
 - INSTALL MESH ENCLOSURE PER SITE PLAN
 - CONSTRUCT 60"x60"x144" MONOLITHICALLY POURED DROP INLET CATCH BASIN WITH 24"x24" GRATE AND OPEN BOTTOM TO ALLOW INFILTRATION. INCLUDE FLOGARD FILTER FOR FOSSIL AND SEDIMENT FILTRATION.
 - INSTALL 6" ABS SEWER LATERAL
 - INSTALL SEWER CLEANOUT 5' FROM BUILDING
 - CONSTRUCT CONCRETE CHANNEL PER DETAIL 'D' HEREOF
 - INSTALL (4) 4" CURB DRAIN PER CITY STANDARD #705
 - CONSTRUCT STAIRS PER ARCHITECTURAL DRAWINGS
 - CONSTRUCT 60"x60"x144" MONOLITHICALLY POURED DROP INLET CATCH BASIN WITH SOLID GRATE



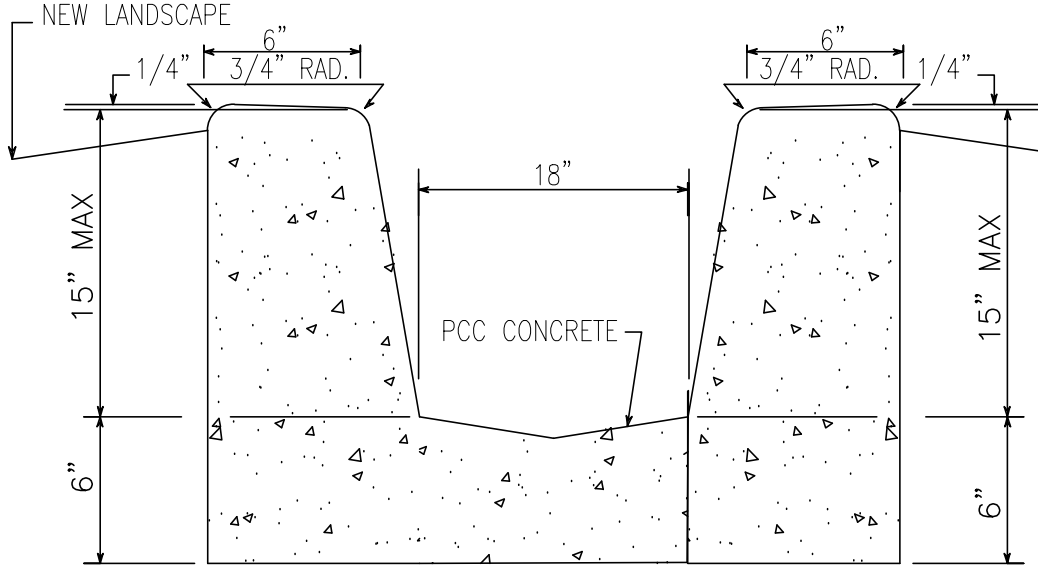
A 6" PCC CURB TYP.
PER SPPWC STD 120-3 A1-6



B 6" RIBBON GUTTER
DETAIL NOT TO SCALE



C GRADED SWALE DETAIL
DETAIL NOT TO SCALE



D CONCRETE CHANNEL
DETAIL NOT TO SCALE

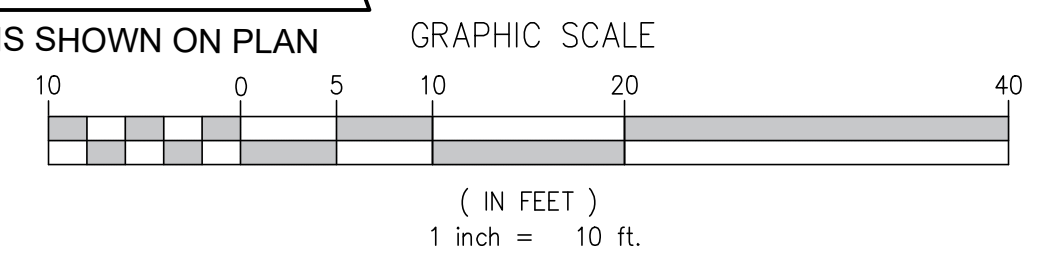
BENCHMARK

BENCH MARK 3-3

2" BRASS DISK STAMPED C.P.S. REST 1980. SET ON SOUTH CURB OF SAN RAFAEL RD. 147'± EAST OF VILLA CT. FB #80, PG. 243

EL= 645.846

NOTE: ADD 500' TO ALL ELEVATIONS SHOWN ON PLAN



LEGAL DESCRIPTION:
PARCELS 15, 16, AND 17 OF WRIGHT AND LEONARD TRACT BOOK M.B. 23, PAGE 83. ALSO BEING A PORTION OF SECTION 34, T.3S., R.4E., S.B.B.&M. IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

E DROP INLET CATCH BASIN DETAIL
DETAIL NOT TO SCALE

PROJECT OWNER
STEVE EGLASH & GISELA COLON
5880 BILL CODY ROAD
HIDDEN HILLS, CA 91302
(661) 299-911

CONSULTANT
Duke Engineering
CIVIL & STRUCTURAL
LANCASTER, CALIFORNIA
44732 YUCCA AVENUE
LANCASTER, CA
661-952-7918

Revisions	No.	Revisions	By	Date

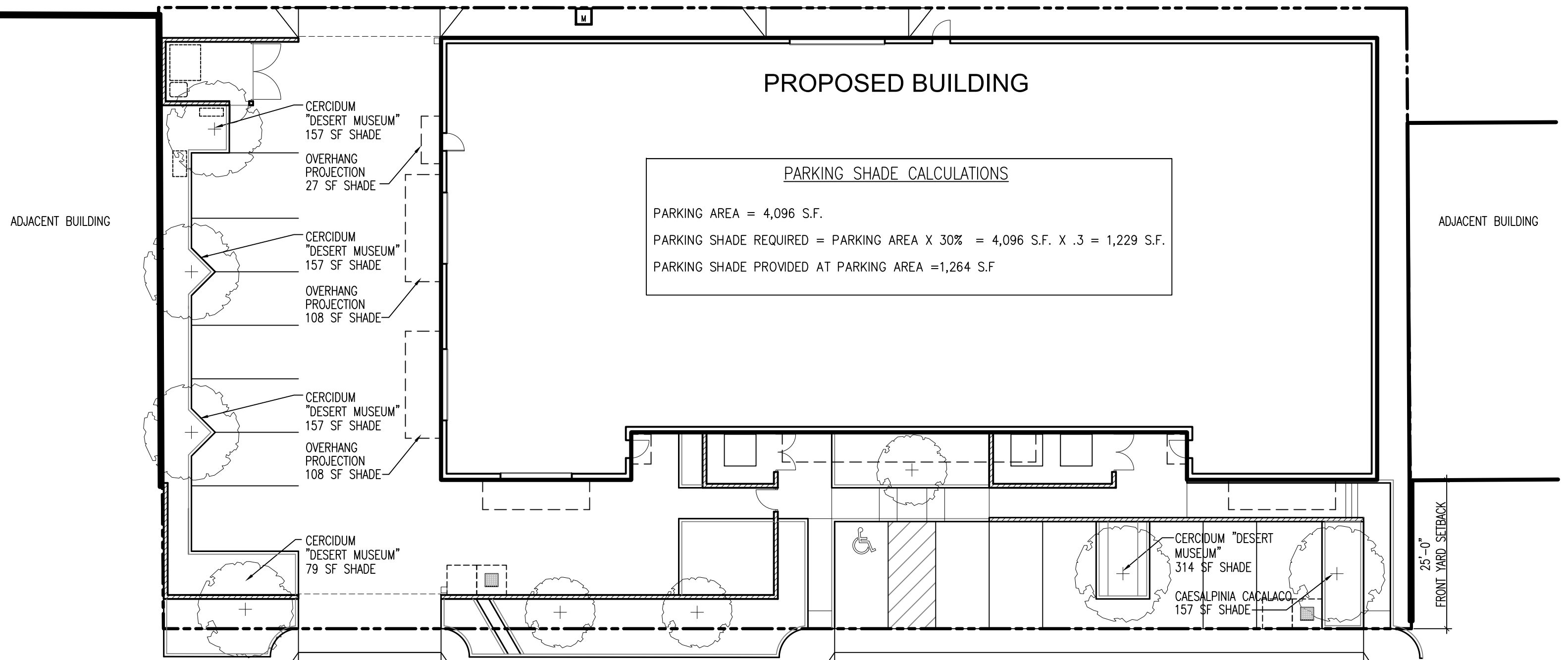
PROJECT
WEST OASIS ROAD WAREHOUSE
APN: 689-444-016
190 WEST OASIS ROAD
PALM SPRINGS, CA 92262

ENGINEER OF RECORD

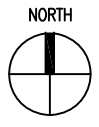
RYAN DUKE
CIVIL
STATE OF CALIFORNIA

SHEET TITLE
CONCEPTUAL GRADING

SHEET
C1.00
PROJECT: 22061



PARKING LOT SHADING EXHIBIT
 SCALE: 1/16" = 1'-0"



May 10, 2023
 MSA PROJECT NO. 2030

WEST OASIS ROAD WAREHOUSE
 200 WEST OASIS ROAD
 PALM SPRINGS, CA 92262

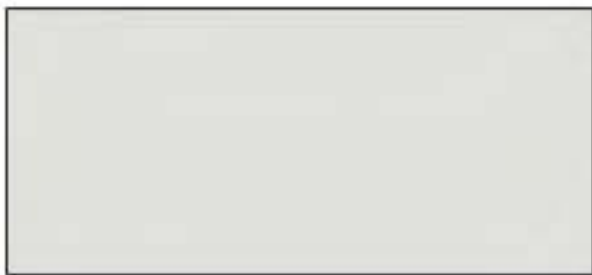
McGEE SHARON ARCHITECTS

3479 Kurtz St.
 San Diego, CA 92110
 619-299-9111

74020 Alessandro Dr. Suite F
 Palm Desert, CA 92260
 mcgeesharon.com



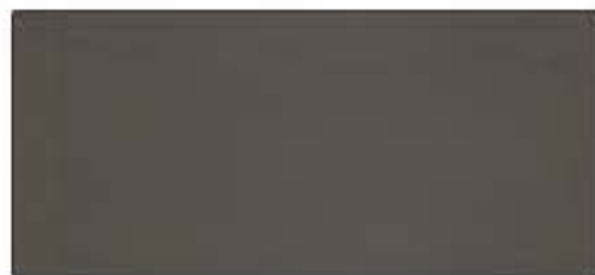
WEST OASIS ROAD WAREHOUSE
PALM SPRINGS, CA



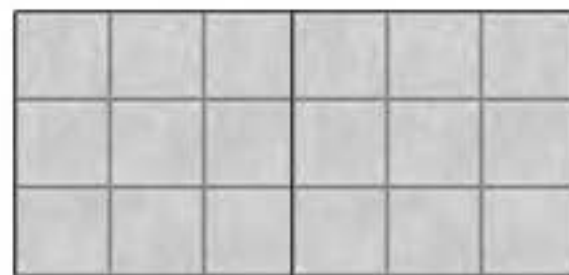
INSULATED METAL SIDING



INSULATED ROLL-UP
GARAGE DOOR



METAL OVERHANG CANOPY

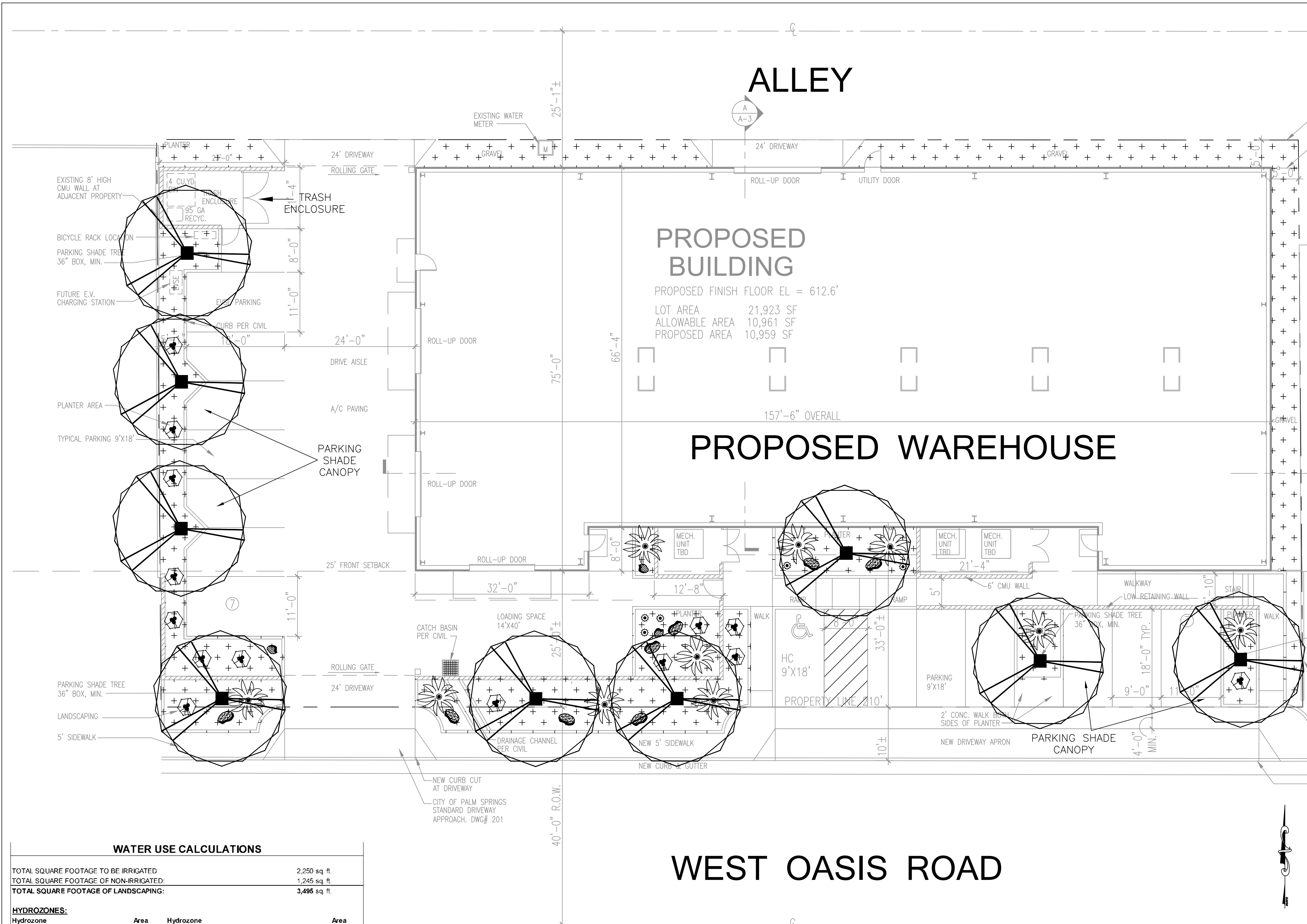


8" PRECISION STACKED
CMU BLOCK

McGEE SHARON ARCHITECTS INC.

3479 Kurtz St.
San Diego, CA 92110
619-299-9111

74020 Alessandro Dr. Suite F
Palm Desert, CA 92260
mcgeesharon.com



PLANT KEY

NOTE: SEE PLANT LIST FOR SIZES AND QUANTITIES

TREES

TOTAL TREES: 9

	<i>Cercidium 'Desert Museum'</i> (Prosopis) Desert Museum Palo Verde Evergreen, low water, to 20'h x 20'w in 3-5 yrs. It. green stems & branches, profuse yellow bloom in spring-summer. Clean thornless tree.	9	36" BOX
--	---	---	---------

SHRUBS

TOTAL SHRUBS: 29

	<i>Acacia weberi</i> Weber Agave Evergreen, low water, sun, big dramatic plant to 5'h x 10'w, wide fleshy gray-green finely toothed leaves, yellow flowers.	10	5 GALLON
	<i>Ferocactus cylindraceus</i> Barrel Cactus Evergreen, very low water, full sun, slow growth, mounding to 4'h x 2.5'w, green trunk with brown spines along ribs, yellow to orange bell shaped flowers mid spring-summer. Tolerates heat.	5	5 GALLON
	<i>Hesperaloe parviflora</i> Red Yucca, Red Hesperaloe Evergreen, low water, to 3-4'h x 3-4'w, gray-green leaf clumps bearing bright red flowers on 5' spikes, spring-summer. Remove spent flower spikes to prolong bloom time.	14	5 GALLON

GROUNDCOVER

	ROCK MULCH: 1" IRONWOOD, FROM THE APPROVE CITY LIST.	3495	SQ. FT.
--	--	------	---------

TOTAL LANDSCAPE AREA (SQ. FT.): 3495

BOULDERS

	12" MINIMUM SIZE BOULDER. BURY 1/3 FOR A NATURAL LOOK. SEE PLAN FOR LOCATIONS.	QTY: 4
	24" MINIMUM SIZE BOULDER. BURY 1/3 FOR A NATURAL LOOK. SEE PLAN FOR LOCATIONS.	QTY: 7

LANDSCAPE DESIGN CONCEPT

THIS LANDSCAPE DESIGN WILL PROVIDE SEASONAL INTEREST THROUGHOUT THE YEAR AND BE WATER EFFICIENT. PLANTS SELECTED HAVE BEEN PROVEN SUCCESSFUL IN THIS CLIMATE AREA. THE TREES WERE SELECTED FOR THEIR BEAUTIFUL DESERT LOOK AND TO BE APPROPRIATE IN THE PARKING LOT AND STREET PLANTERS. MANY OF THE OTHER TREES ON THE APPROVED LIST WERE EITHER TOO LARGE FOR THAT SPACE, HAD THORNS WHICH WOULD NOT BE SAFE OR WOULD NOT PROVIDE ADEQUATE SHADE IN THE PARKING LOT AREA. CAREFUL CONSIDERATION WAS GIVEN TO THE SHRUBS USED. THE RED YUCCA (HESPERALOE) WILL THRIVE EVEN IF THEY ARE UNDER THE TREE CANOPY. THEY WILL ADAPT AS THE TREE GROWS AND MATURES. NO GRASS OR OTHER INVASIVE SPECIES WERE USED IN THIS DESIGN.

AN ET OR SMART CONTROLLER WILL BE USED TO AUTOMATICALLY ADJUST THE WATERING SCHEDULE DAILY AND REDUCE WATER USE AND MAINTAIN PLANT HEALTH. SEPARATE VALVES FOR EACH HYDROZONE WILL BE USED TO APPLY THE WATER BASED ON PLANT NEED. TREES WILL BE WATERED SEPARATELY FROM SHRUBS AND GROUNDCOVER. ROCK MULCH WILL BE USED TO PROVIDE A CLEAN FINISH TO THE SITE AND BE WATER EFFICIENT. THE REDUCED PRESSURE BACKFLOW DEVICE WILL BE INSTALLED AFTER THE POINT OF CONNECTION. A SEPARATE IRRIGATION WATER METER OR SUB-METER WILL BE INSTALLED AFTER THE P.O.C. SO IRRIGATION WATER USE CAN BE MONITORED SEPARATELY.

THIS WORK WILL MEET OR EXCEED THE STATE AND LOCAL CITY NEW WATER ORDINANCES.



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CITY OF PALM SPRINGS

PROJECT # 3.2864

WATER USE CALCULATIONS

TOTAL SQUARE FOOTAGE TO BE IRRIGATED	2,250 sq. ft.
TOTAL SQUARE FOOTAGE OF NON-IRRIGATED	1,245 sq. ft.
TOTAL SQUARE FOOTAGE OF LANDSCAPING:	3,495 sq. ft.

HYDROZONES:

Hydrozone	Area	Hydrozone	Area
#1 Cool Season Turf	0	#5 Low Water use Plants	2,250
#2 Warm Season Turf	0	#6 High & Medium Water Mx	0
#3 High water use plants	0	#7 Medium & Low Water Mx	0
#4 Moderate Water Use Plants	0	Non-Irrigated Landscape Area	1,245

IRRIGATION CALCULATIONS:

MAXIMUM WATER ALLOWANCE (GALLONS PER YEAR)

$$(Eto) \times (MAWA) \times (TOTAL\ SQ.\ FT.) \times (.62) = MWA$$

71.60	0.45	3,495	0.62	=	69,818	GAL/YR
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* Palm Springs ** (MAWA) .55 residential, .45 for non-residential areas

ESTIMATED WATER USE (GALLONS PER YEAR):

$$(Eto) \times (PLANT\ FACTOR) \times (HYDROZONE\ SQ.\ FT.) \times (.62) = IRRIGATION\ EFFICIENCY$$

HYDROZONE #7	(LW) BUBBLERS	0	SQ. FT.	
71.60	0.20	2,250	0.62	= 24,662 GAL/YR
				0.81

TOTAL ESTIMATED WATER USE: 24,662 GAL / YR

CALIFORNIA REQUIREMENTS REV. 12-1-2015 0.076 ACRE FT. / YR.

WEST OASIS ROAD

LANDSCAPE RESPONSE ADMINISTRATIVE CONDITIONS DATED 3-22-2023

PLN 2. WATER EFFICIENT LANDSCAPING CONFORMANCE: LANDSCAPE PLANS SHALL BE WET STAMPED AND APPROVED BY THE RIVERSIDE COUNTY AGRICULTURAL COMMISSION'S OFFICE PRIOR TO SUBMITTAL. PRIOR TO SUBMITTAL TO THE CITY, LANDSCAPE PLANS SHALL ALSO BE CERTIFIED BY THE LOCAL WATER AGENCY THAT ARE IN CONFORMANCE WITH THE WATER AGENCY'S AND THE STATES WATER EFFICIENT LANDSCAPE ORDINANCES. **LANDSCAPE ARCHITECT RESPONSE- PLANS WILL BE SUBMITTED FOR APPROVAL AS REQUIRED.**

PLN 11. ARC REVIEW PRIOR TO ISSUANCE OF BUILDING PERMITS, THE APPLICANT SHALL SUBMIT PLANS FOR ARCHITECTURAL REVIEW COMMITTEE (ARC) REVIEW AS REQUIRED BY SECTION 94.04.00 OF THE ZONING CODE AND INCLUDE ANY CHANGES IMPOSED BY THE PLANNING COMMISSION. ON MARCH 22, 2023, THE PLANNING COMMISSION DIRECTED THAT THE FOLLOWING BE REVIEWED BY THE ARC:

- a) PENNISETUM (FOUNTAIN GRASS) IS CONSIDERED AN INVASIVE GRASS THAT SHOULD NOT BE PERMITTED IN THE FINAL LANDSCAPE PLAN. **LANDSCAPE ARCHITECT RESPONSE- NO GRASS OR INVASIVE SPECIES WERE USED IN THIS PLAN.**
- b) RECONSIDER THE PROPOSED TREE SPECIES (CERCIDIUM FLORIBUNDA & CAESALPINIA CACALACO) FOR ONES THAT DO NOT HAVE BLIGHTED CONDITIONS AND WILL BETTER WITHSTAND WINDY CONDITIONS. **LANDSCAPE ARCHITECT RESPONSE- ALL CAESALPINIA HAVE BEEN REMOVED. ONLY THE CERCIDIUM FLORIBUNDA 'DESERT MUSEUM' TREE IS SHOWN ON THE PLAN. IT WILL WORK WELL IN THESE PLANTERS AND PARKING LOT. I HAVE CALLED SEVERAL NURSERIES IN THE PALM SPRINGS AREA AND THEY ASSURED ME THAT THESE TREES ARE NOT CURRENTLY EXPERIENCING ANY BLIGHT CONDITIONS. IT APPEARS TO BE AN ISSUE OF THE PAST. IF THIS BECOMES AN ISSUE, THE OWNER WILL REPLACE THE FAILED TREE WITH ANOTHER APPROVED TREE TO KEEP THE PROPERTY LOOKING NICE.**
- c) HESPERALOE PARVIFLORA (RED YUCCA) SHOULD BE LOCATED IN AN AREA WITH DIRECT SUN EXPOSURE. **LANDSCAPE ARCHITECT RESPONSE- SEVERAL OF THE HESPERALOE WILL BE MOSTLY IN THE SUN AND THE OTHERS WILL ADAPT TO PART SHADE AS THE TREE GROWS. SOME THAT WOULD HAVE BEEN IN THE DEEP SHADE AREAS WERE REMOVED AND REPLACED WITH THE AGAVE.**

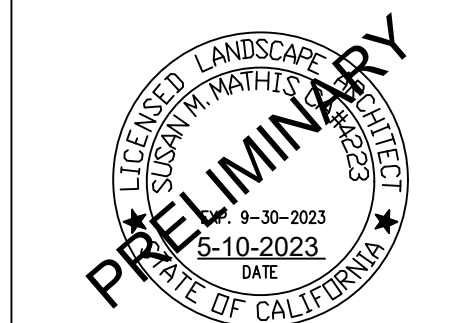
ENG 41. ALL PROPOSED TREES WITHIN THE PUBLIC RIGHT-OF-WAY AND WITHIN 10 FEET OF THE PUBLIC SIDEWALK AND/OR CURB SHALL HAVE CITY APPROVED DEEP ROOT BARRIERS INSTALLED IN ACCORDANCE WITH CITY OF PALM SPRINGS STANDARD DRAWING NO. 904. **LANDSCAPE ARCHITECT RESPONSE- ROOT BARRIERS SHALL BE USED AS REQUIRED AND CITY STANDARD DETAIL SHOWN ON THE LANDSCAPE DETAIL SHEET.**

LANDSCAPE ARCHITECT:
SUE MATHIS LANDSCAPE DESIGN
LANDSCAPE ARCHITECT CA #4223, OR #683

16340 LOWER HARBOR ROAD
SUITE 1 #337
BROOKINGS, OR 97415
MOBILE: (661) 256-4261
EMAIL: sue.mathis.landscape@gmail.com

REVISIONS

NO.	DESCRIPTION



NOT FOR CONSTRUCTION

OWNER/DEVELOPER:
Steve Eglash & Gisela Colon
5580 Bill Cody Rd.
Hidden Hills, CA 91302

CONTACT:
Steve Eglash (818) 621-0039
Gisela Colon (310) 890-1421

PROJECT:
WEST OASIS RD. WAREHOUSE

190 WEST OASIS RD.
PALM SPRINGS, CA 92262

APN: 669-444-011
669-444-012

SHEET TITLE:
CONCEPTUAL LANDSCAPE PLAN

Project No.: 889

Date: 5-10-2023

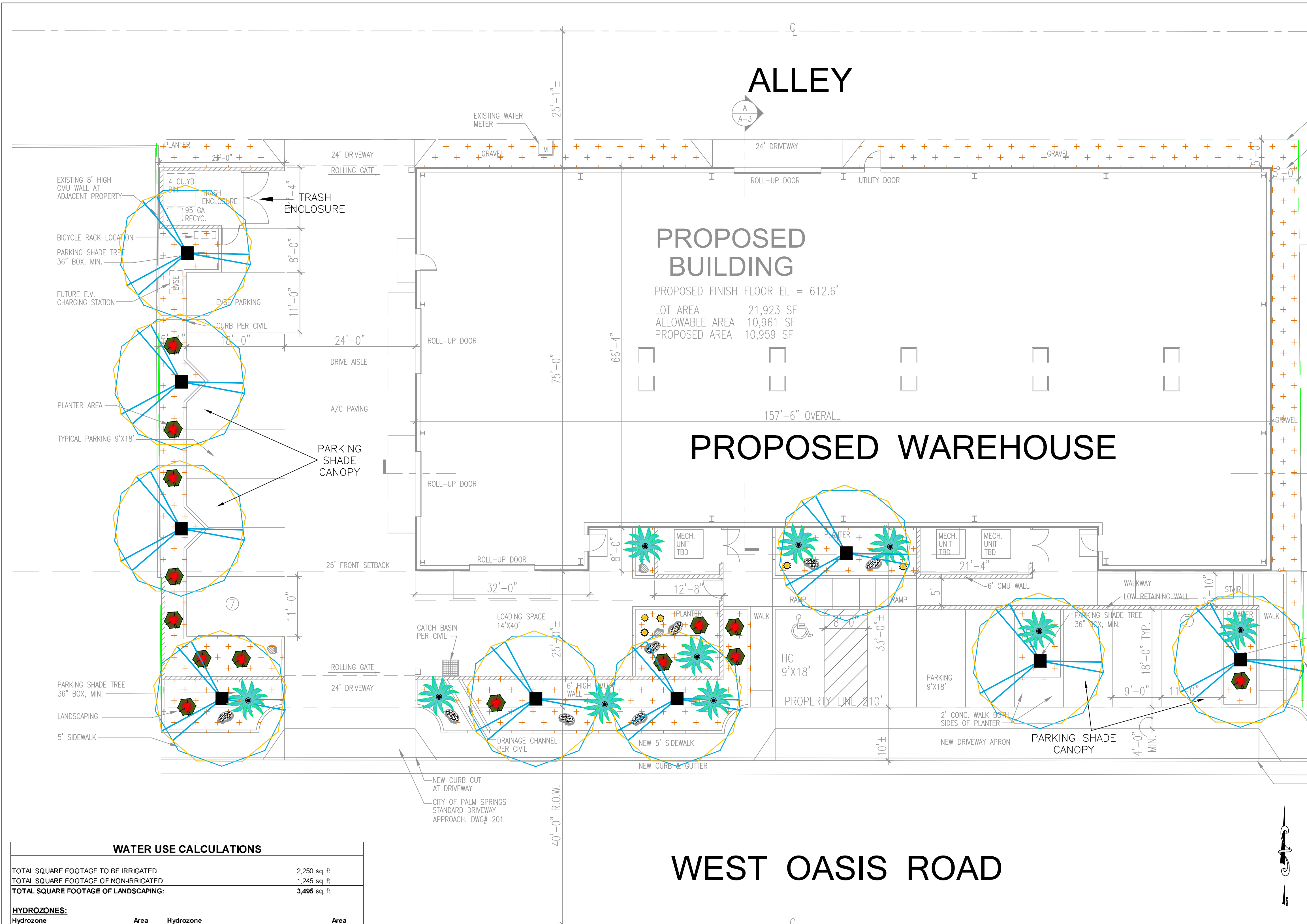
Checked: SMM

Drawn: SMM

CAD File:
889-W OASIS WAREHOUSE

SHEET

LC
1 OF 1 SHEETS



PLANT KEY

NOTE: SEE PLANT LIST FOR SIZES AND QUANTITIES

TREES

TOTAL TREES: 9

Cercidium 'Desert Museum' (Prosopis)	9	36" BOX
Desert Museum Palo Verde		
Evergreen, low water, to 20'h x 20'w in 3-5 yrs. It. green stems & branches, profuse yellow bloom in spring-summer. Clean thornless tree.		

SHRUBS

TOTAL SHRUBS: 29

Agave weberi Weber Agave	10	10 GALLON
Evergreen, low water, sun, big dramatic plant to 5'h x 10'w, wide fleshy gray-green finely toothed leaves, yellow flowers.		
Ferocactus cylindraceus Barrel Cactus	5	5 GALLON
Evergreen, very low water, full sun, slow growth, mounding to 4'h x 2.5'w. green trunk with brown spines along ribs, yellow to orange bell shaped flowers mid spring-summer. Tolerates heat.		
Hesperaloe parviflora Red Yucca, Red Hesperaloe	14	5 GALLON
Evergreen, low water, to 3-4'h x 3-4'w, gray-green leaf clumps bearing bright red flowers on 5' spikes, spring-summer. Remove spent flower spikes to prolong bloom time.		

GROUNDCOVER

ROCK MULCH: 1" IRONWOOD, FROM THE APPROVE CITY LIST.	3495	SQ. FT.
TOTAL LANDSCAPE AREA (SQ. FT.): 3495		

BOULDERS

12" MINIMUM SIZE BOULDER. BURY 1/3 FOR A NATURAL LOOK. SEE PLAN FOR LOCATIONS.	QTY: 4
24" MINIMUM SIZE BOULDER. BURY 1/3 FOR A NATURAL LOOK. SEE PLAN FOR LOCATIONS.	QTY: 7

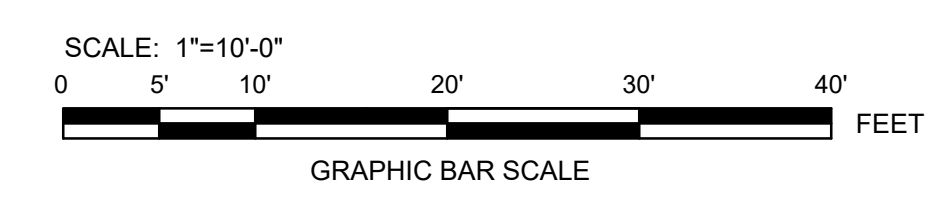
PARKING LOT SHADE CALCULATION:
 TOTAL PARKING AREA = 2509 SQ. FT.
 TOTAL SHADE REQUIRED (30%) = 752 SQ. FT.
 TOTAL TREE CANOPY SHADE PROVIDED = 1306 SQ. FT.

LANDSCAPE DESIGN CONCEPT

THIS LANDSCAPE DESIGN WILL PROVIDE SEASONAL INTEREST THROUGHOUT THE YEAR AND BE WATER EFFICIENT. PLANTS SELECTED HAVE BEEN PROVEN SUCCESSFUL IN THIS CLIMATE AREA. THE TREES WERE SELECTED FOR THEIR BEAUTIFUL DESERT LOOK AND TO BE APPROPRIATE IN THE PARKING LOT AND STREET PLANTERS. MANY OF THE OTHER TREES ON THE APPROVED LIST WERE EITHER TOO LARGE FOR THAT SPACE, HAD THORNS WHICH WOULD NOT BE SAFE OR WOULD NOT PROVIDE ADEQUATE SHADE IN THE PARKING LOT AREA. CAREFUL CONSIDERATION WAS GIVEN TO THE SHRUBS USED. THE RED YUCCA (HESPERALOE) WILL THRIVE EVEN IF THEY ARE UNDER THE TREE CANOPY. THEY WILL ADAPT AS THE TREE GROWS AND MATURES. NO GRASS OR OTHER INVASIVE SPECIES WERE USED IN THIS DESIGN.

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THIS WORK WILL MEET OR EXCEED THE STATE AND LOCAL CITY NEW WATER ORDINANCES.



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CITY OF PALM SPRINGS
PROJECT # 3.2864

PROPOSED BUILDING

PROPOSED FINISH FLOOR EL = 612.6'
 LOT AREA 21,923 SF
 ALLOWABLE AREA 10,961 SF
 PROPOSED AREA 10,959 SF

PROPOSED WAREHOUSE

WEST OASIS ROAD

WATER USE CALCULATIONS

TOTAL SQUARE FOOTAGE TO BE IRRIGATED:	2,250 sq. ft.
TOTAL SQUARE FOOTAGE OF NON-IRRIGATED:	1,245 sq. ft.
TOTAL SQUARE FOOTAGE OF LANDSCAPING:	3,495 sq. ft.

Hydrozone	Area	Hydrozone	Area
#1 Cool Season Turf	0	#5 Low Water use Plants	2,250
#2 Warm Season Turf	0	#6 High & Medium Water Mx	0
#3 High water use plants	0	#7 Medium & Low Water Mx	0
#4 Moderate Water Use Plants	0	Non-Irrigated Landscape Area	1,245

IRRIGATION CALCULATIONS:

MAXIMUM WATER ALLOWANCE (GALLONS PER YEAR)

(Eto*) x (MAWA**) x (TOTAL SQ. FT.) x (.62)	=	MWA
71.60 0.45 3,495 0.62	=	69,818 GAL/YR

* Palm Springs
 ** (MAWA) .55 residential, .45 for non-residential areas

ESTIMATED WATER USE (GALLONS PER YEAR):

(Eto*) x (PLANT FACTOR) x (HYDROZONE SQ. FT.) x (.62)	=	IRRIIGATION EFFICIENCY***
71.60 0.20 2,250 0.62	=	24,662 GAL/YR
71.60 0.20 0 0.62	=	0 GAL/YR
0.81		

TOTAL ESTIMATED WATER USE: 24,662 GAL / YR

CALIFORNIA REQUIREMENTS REV. 12-1-2015 0.076 ACRE FT. / YR.

LANDSCAPE RESPONSE ADMINISTRATIVE CONDITIONS DATED 3-22-2023

PLN 2. WATER EFFICIENT LANDSCAPING CONFORMANCE LANDSCAPE PLANS SHALL BE WET STAMPED AND APPROVED BY THE RIVERSIDE COUNTY AGRICULTURAL COMMISSION'S OFFICE PRIOR TO SUBMITTAL. PRIOR TO SUBMITTAL TO THE CITY, LANDSCAPE PLANS SHALL ALSO BE CERTIFIED BY THE LOCAL WATER AGENCY THAT ARE IN CONFORMANCE WITH THE WATER AGENCY'S AND THE STATES WATER EFFICIENT LANDSCAPE ORDINANCES.
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**ENG 41. ALL PROPOSED TREES WITHIN THE PUBLIC RIGHT-OF-WAY AND WITHIN 10 FEET OF THE PUBLIC SIDEWALK AND/OR CURB SHALL HAVE CITY APPROVED DEEP ROOT BARRIERS INSTALLED IN ACCORDANCE WITH CITY OF PALM SPRINGS STANDARD DRAWING NO. 904.
LANDSCAPE ARCHITECT RESPONSE- ROOT BARRIERS SHALL BE USED AS REQUIRED AND CITY STANDARD DETAIL SHOWN ON THE LANDSCAPE DETAIL SHEET.**

LANDSCAPE ARCHITECT:
SUE MATHIS LANDSCAPE DESIGN
 LANDSCAPE ARCHITECT CA #4223, OR #683

16340 LOWER HARBOR ROAD
 SUITE 1 #337
 BROOKINGS, OR 97415
 MOBILE: (661) 256-4261
 EMAIL: sue.mathis.landscape@gmail.com

REVISIONS

NO.	DESCRIPTION



OWNER/DEVELOPER:
 Steve Eglash & Gisela Colon
 5580 Bill Cody Rd.
 Hidden Hills, CA 91302

CONTACT:
 Steve Eglash (818) 621-0039
 Gisela Colon (310) 890-1421

PROJECT:
WEST OASIS RD. WAREHOUSE

190 WEST OASIS RD.
 PALM SPRINGS, CA 92262

APN: 669-444-011
 669-444-012

SHEET TITLE:
CONCEPTUAL LANDSCAPE PLAN

Project No.: 889
 Date: 5-10-2023
 Checked: SMM
 Drawn: SMM
 CAD File: 889-W OASIS WAREHOUSE

SHEET
LC
 1 OF 1 SHEETS



Agave weberi-1int857



Agave_weberi_1int417



Cactus, Barrel-1-int475



Hesperaloe parviflora-int70



Cercidum floribunda 'Desert Museum', Palo ve...