

ATTACHMENT C



CITY OF PALM SPRINGS

Department of Planning Services
3200 E. Tahquitz Canyon Way, Palm Springs, CA 92262
Tel: 760 323 8245 - Fax: 760 322 8360

(For Staff Use Only)

Planning Case Number & HSPB #: 3.330

Taken in by (Planner): RS

Date Submitted: 4/4/2023

CERTIFICATE OF APPROPRIATENESS APPLICATION (C OF A)

TO THE APPLICANT: USE THIS FORM FOR PROPOSED ALTERATIONS TO CLASS 1 AND CLASS 2 HISTORIC SITES AND CONTRIBUTING STRUCTURES IN A DESIGNATED HISTORIC DISTRICT. Please fill out the information requested below. Attach any signed authorization letters, drawings, color & material boards, photographs, cut sheets and/or any other materials necessary to describe the proposed project.

PROJECT INFORMATION.

Project Address: 101 N. Museum Drive APN: 513-011-034
(Number and Street name) (9-digit assessor parcel number ex. 000-000-000)

Project Name (example: Name of Condo Association or HOA): ALUMINAIRE ART EXHIBIT

Zone: CBD General Plan: C Section/Township/Range: /15-45-4E/ Lot Area: 4.63 ACRES

Detailed Description of Project:

Aluminaire art exhibit constructed in south parking lot of P.S. Art Museum. This is a modification of previous application

PROPERTY OWNER INFORMATION:

Property Owner's Name: PALM SPRINGS ART MUSEUM INC.

Property Owner's Signature: Alan

Property Owner's Mailing Address: 101 N. MUSEUM DR
(Number and Street Name or P.O. Box)
101 N. MUSEUM DR
City State Zip

Property Owner's Phone: 760-423-5260 Fax _____

Property Owner's Email: LSTEWART@PSMUSEUM.ORG

CONTRACTOR, PROJECT MANAGER, OR OWNER'S AGENT AUTHORIZED TO INITIATE THE WORK:

Company Name: SANBORN ARCHITECTURE GROUP, INC
(Please print) I AM THE: OWNER'S AUTHORIZED AGENT (example CONTRACTOR) LESSEE (TENANT) OTHER

Agent's Name & Signature: _____

Agent's Mailing Address: 71650 SAHARA ROAD, STE 4 APR 04 2023
(Number and Street Name or P.O. Box)
RANCHO MIRAGE DEPARTMENT OF
City State Zip CA 92211
PLANNING SERVICES

Agent's Phone: 760-423-0600 Agent's Fax: _____

Agent's Email: ALLEN@SANBORNAG.COM

(Please continue to next page)



April 3, 2023

Ken Lyons
Principal City Planner
City of Palm Springs
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262
(760) 322-8380

RE: Aluminaire Project – Palm Springs Art Museum

This letter is to communicate the response to the August 10, 2021 letter from the HSPB,

1. The Museum board and architectural team disagrees that the south concrete wall has any significances and has weathered and cracked over time. The wall is a simple concrete wall with intergral color that has faded. The height of the wall is only 3 feet in most places. The board has a desire to secure the site when not open to the public with a 5' high barrier. There is no good solution to adding 2' to the existing wall to prevent people from jumping over it. Also it hides from passing security and police anybody sleeping or hiding inside the enclosure. The solution proposed would enhance the aesthetics of the Aluminaire space consistant with the structure.
2. The existing gum drop lights are being relocated to the entrance of the Aluminaire site along Museum Drive.
3. The existing flagpoles are on City property and would require their permission to be removed.
4. The existing seating belongs to the City of Palm Springs and is part of the Heritage trail bike trail.
5. Boulders have been removed.
6. Grey groundcover is preferred for aesthetics.
7. No date palms are part of the project. Existing palms to be relocated.
8. New revised landscape is proposed.

Sincerely,

Allen M. Sanborn
Architect
Sanborn Architect Group, Inc.

RECEIVED

APR 04 2023

DEPARTMENT OF
PLANNING SERVICES

3.330



Palm Springs
Art Museum

May 2, 2023

Historic Site Preservation Board
City of Palm Springs

Dear Board:

I am writing to provide the rationale for our proposed plan to demolish the existing low, concrete wall at the southern edge of the Aluminaire House Exhibit and create a steel fence around the entire perimeter:

1. A low, solid wall is inadequate to the current day security needs in downtown Palm Springs. Museum security currently finds people sleeping behind the current wall along Tahquitz Canyon Way. Museum security requested that the Aluminaire House Exhibit have a tall fence that is more difficult to scale. A fence that is more effective at keeping people out when the site is closed to the public reduces confrontations between security and trespassers.
2. A fence with an unobscured view makes it easier for security to patrol the site and observe any activity inside.
3. A consistent steel fence enclosure around the Aluminaire House Exhibit creates an elegant ceremonial platform for the architectural icon.
4. As an historic exhibit, there is a value in having it as visible as possible to the public, while maintaining security.

The museum believes that a tall, steel fence with spaced pickets and a low rail is best able to ensure security while presenting appropriate elegance and maintaining public accessibility.

Sincerely,

Adam J. Lerner, PhD
JoAnn McGrath Executive Director / CEO
Palm Springs Art Museum



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led Map

Description for your map.

Legend

- COACHELLA VALLEY NATIONAL WILDLIFE R
- Riddle Routes



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PROJECT NOTES

DEPARTMENT OF BUILDING AND SAFETY

- ALL CONTRACTORS SHALL HAVE CURRENT VALID BUSINESS LICENSE PRIOR TO PERMIT ISSUANCE.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL HAVE VALID STATE CONTRACTOR LICENSES.
- ALL CONTRACTORS AND/OR OWNER-BUILDERS MUST SUBMIT CERTIFICATE OF WORKER'S COMPENSATION INSURANCE COVERAGE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT PER CALIFORNIA LABOR CODE SECTION 3700.
- APPROVED TEMPORARY SANITARY FACILITIES (I.E. CHEMICAL TOILETS) SHALL BE IN THE CONSTRUCTION SITE PRIOR TO REQUEST FOR FIRST INSPECTION. HEALTH & SAFETY CODE, SEC. 5416.
- CONTRACTOR AND/OR OWNER SHALL PROVIDE A TRASH BIN TO INSURE PROPER CLEAN-UP OF ALL BUILDING MATERIALS.
- STORAGE OF BUILDING MATERIALS OR DEBRIS SHALL BE CONFINED TO THE LOT FOR WHICH THE PERMIT IS ISSUED. ADJACENT VACANT PROPERTIES MAY NOT BE UTILIZED FOR THIS PURPOSE UNLESS WRITTEN PERMISSION OF THE OWNER IS ON FILE WITH THE CITY. THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED IN A CLEAR CONDITION AT ALL TIMES.
- SEPARATE REVIEW, APPROVAL AND PERMITS ARE REQUIRED FOR GRADING, ACCESSORY BUILDINGS AND STRUCTURES, SIGNS TRASH ENCLOSURES, BLOCK WALLS RETAINING WALLS NOT SUPPORTING THE BUILDING AND DEMOLITION WORK. CONTACT THE CITY FOR PROCEDURAL INFORMATION.
- ALL "OR EQUAL" SUBSTITUTIONS MUST BE SUBMITTED TO, AND APPROVED BY THE CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.
- LANDSCAPING SHALL BE INSTALLED PRIOR TO REQUEST FOR FINAL INSPECTION.
- ADDRESS NUMERALS SHALL COMPLY WITH CITY OF PALM SPRINGS CITY CODES.
- PRIOR TO REQUESTING A FOUNDATION INSPECTION, THE OWNER'S ENGINEER SHALL FIELD A REQUEST FOR THE BUILDING TOP OF FORM HEIGHT AND SUBMIT A LETTER OF THE CITY ENGINEER CERTIFYING THE BUILDING TOP OF FORM HEIGHT AS COMPLYING WITH THE APPROVED GRADING PLAN.
- THIS PROJECT IS NOT WITHIN A NOISE CRITICAL AREA (CNEL CONTOUR OF 60 DB) AS SHOWN ON THE GENERAL PLAN.

REQUIRED SPECIAL INSPECTIONS

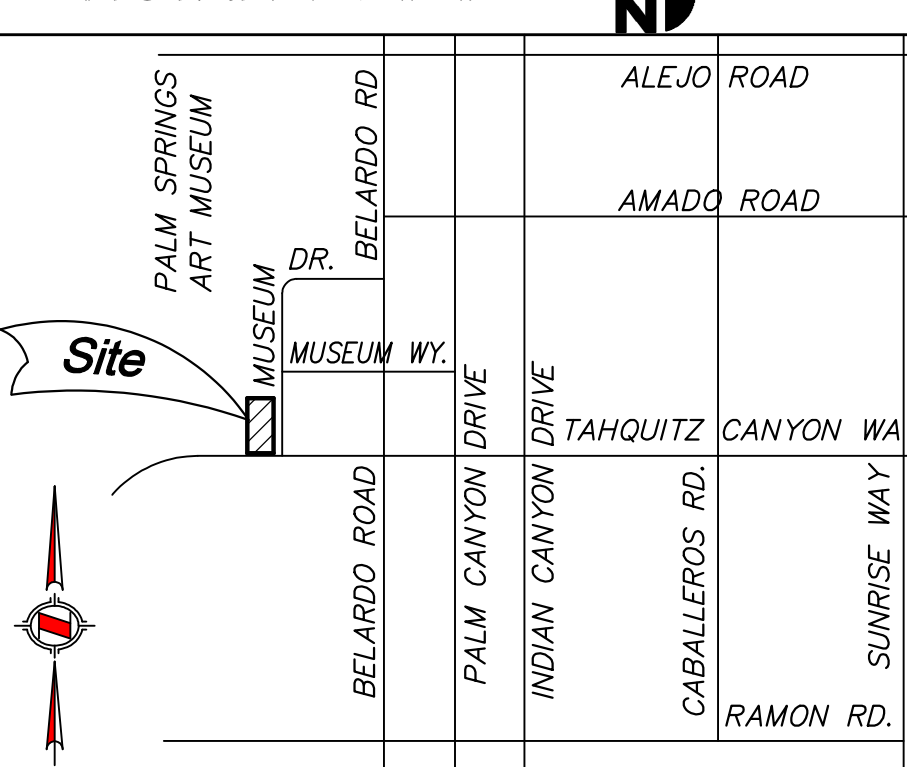
IN ADDITION TO THE REGULAR INSPECTIONS, THE FOLLOWING ITEMS WILL ALSO REQUIRE SPECIAL INSPECTIONS IN ACCORDANCE WITH SECTION 17011 OF THE CALIFORNIA BUILDING CODE.

"SPECIAL INSPECTION PROGRAM" SHALL BE COMPLETELY FILLED OUT AND SUBMITTED TO THE CITY OF PALM SPRINGS BUILDING DEPARTMENT PRIOR TO ISSUANCE OF BUILDING PERMIT.

GENERAL REQUIREMENTS

- THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, TECHNIQUES, SEQUENCE OF PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, ALL OF WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACINGS, SHORING, TEMPORARY SUPPORTS, ETC., DURING DEMOLITION AND CONSTRUCTION, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER OR ARCHITECT.
- JOB SITE MEASUREMENTS ARE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR AND MUST BE TAKEN FOR ALL ITEMS PRIOR TO FABRICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING ALL FINISHED SURFACES CLEAN AT THE COMPLETION OF THE WORK AND SHALL REMOVE ALL EXCESS MATERIAL AND DEBRIS FROM THE JOB REGULARLY.
- THE CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL SUBCONTRACTORS THE SIZE AND LOCATION OF ALL NEW AND EXISTING PIPING, FOOTINGS, TRENCHES, SLEEVES, CONDUITS, ETC.
- ALL CONSTRUCTION AND WORKMANSHIP SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND STANDARDS.
- WORKMANSHIP SHALL BE FIRST CLASS, FINISHED, SAFE, NEAT THROUGHOUT AND PERFORMED BY COMPETENT AND EXPERIENCED WORKMEN. CONSTANT SUPERVISION OF WORK BY CONTRACTOR SHALL BE MAINTAINED.
- ALL NEW CONSTRUCTION MATERIALS SHALL BE 100% ASBESTOS FREE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SUITABLE BACKING BEHIND ALL EQUIPMENT REQUIRING BACKING.
- WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 803.5.
- ALL INTERIOR WALL OR CEILING FINISHES (EXCEPT CLASS 1) LESS THAN 1/4" THICK SHALL BE APPLIED DIRECTLY AGAINST A NONCOMBUSTIBLE BACKING UNLESS IT IS IN ACCORDANCE WITH AN APPROVED TESTED ASSEMBLY. (SECTION 803, ITEM 4).
- TOILET ROOMS SHALL BE PROVIDED WITH A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET (914 MM) FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- CONTRACTOR SHALL VISIT THE SITE, FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND REVIEW AND UNDERSTAND THE REQUIREMENTS OF THE CONSTRUCTION PLANS AND OF THE CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING ON-SITE AND OFF-SITE CONDITIONS INCLUDING ALL DIMENSIONS, GRADES, ELEVATIONS, SOILS AND UNDERGROUND CONDITIONS WITH RESPECT TO THE WORK DESCRIBED ON THESE CONSTRUCTION DRAWINGS THROUGHOUT THE DURATION OF CONSTRUCTION. ANY DISCREPANCIES AND/OR UNEXPECTED CONDITIONS THAT AFFECT CHANGE THE WORK DESCRIBED HEREIN SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY UPON NOTICE. CONTRACTOR SHALL NOT PROCEED WITH ANY OF THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO AND FAILS TO NOTIFY THE ARCHITECT IN A TIMELY MANNER, THEN IT IS UNDERSTOOD THAT THE CONTRACTOR SHALL BE PROCEEDING AT HIS OWN RISK AND WILL ASSUME ALL LIABILITIES AND INVOIR ALL COSTS TO RESOLVE THE ISSUE TO THE ACCEPTANCE OF THE ARCHITECT, OWNER AND/OR GOVERNING AGENCY. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE ON THE DRAWINGS. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS AND REPAIRS REQUIRED DUE TO HIS FAILURE TO DO SO. COST OF CORRECTING WORK BASED ON MISINTERPRETATION BY CONTRACTOR OF UNREPORTED DISCREPANCIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND COMMENCING WITH THE WORK TO DETERMINE IF ANY UTILITIES ARE REQUIRED TO BE REMOVED OR RELOCATED AND SHALL NOTIFY IN WRITING, THE ARCHITECT AND UTILITY COMPANY. CONTRACTOR SHALL FIELD VERIFY AND INCLUDE ANY AND ALL DEMOLITION NECESSARY TO COMPLETE ALL IMPROVEMENT WORK IN THE CONTRACT AND SHALL OBTAIN ALL NECESSARY PERMITS TO PERFORM THE PROJECT WORK OPERATION AS A PART OF THIS CONTRACT.

VICINITY MAP



GENERAL REQUIREMENTS - Cont.

- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXISTENCE, PRECISE LOCATION AND PREVENTION OF DAMAGE TO ALL UNDERGROUND UTILITIES OR STRUCTURES IN THE VICINITY OF THE PROJECT WORK OPERATION. CONTRACTOR SHALL PROMPTLY NOTIFY EACH OF THE ADJACENT PROPERTIES, WHO ARE AFFECTED BY THE WORK OF THIS PROJECT, UTILITY COMPANY, MUNICIPALITY, LANDOWNER OR OTHER AGENCY WHO OWN AND OPERATE ANY SURFACE OR SUBSURFACE UTILITY OR STRUCTURES, AND REQUEST THEY FURNISH ENGINEERING INFORMATION AND/OR PLACE PHYSICAL MARKINGS OF THEIR FACILITIES IN THE FIELD PRIOR TO STARTING ANY PROJECT WORK. RESUME DURING CALL 800-441-4133.
- CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION TO PERSONS AND PROPERTY DURING CONSTRUCTION AS NECESSARY PER CITY OR COUNTY CODE REQUIREMENTS. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR ALL JOB SITE CONDITIONS INCLUDING THE SAFETY OF PERSONS AND PROPERTY AND THEIR PROTECTION FROM DAMAGE, FIRE, INJURY OR LOSS, INCLUDING COMPLIANCE WITH APPLICABLE O.S.H.A. SAFETY STANDARDS. THIS REQUIREMENT SHALL INCLUDE SUCH PRECAUTIONARY MEASURES TO PROVIDE AND CONSTRUCT TEMPORARY CONSTRUCTION FENCES, COVERED WALKWAYS, (AS REQUIRED BY THE GOVERNING AGENCIES) BARRICADES, SCAFFOLDING, ETC., AND SHALL APPLY CONTINUOUSLY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT AND NOT BE LIMITED TO NORMAL WORKING HOURS. IT IS UNDERSTOOD, THE ARCHITECT AND PROJECT CONSULTANTS JOB SITE OBSERVATIONS ARE NOT INTENDED TO INCLUDE THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, ARCHITECT, OR CIVIL ENGINEER.
- ALL GRADING WORK SHALL CONFORM TO ALL CITY AND/OR COUNTY REGULATIONS AND ORDINANCES. GENERAL CONTRACTOR SHALL EMPLOY A CIVIL ENGINEER AND REGISTERED LAND SURVEYOR (REFER TO SPECIFICATIONS) FOR ALL STAKING, TESTS, INSPECTIONS, SUPERVISION, CERTIFICATIONS AND RELATED WORK AT THE SOLE EXPENSE OF THE CONTRACTOR AS A PART OF PERFORMING THE PROJECT WORK OPERATION.
- PROVIDE GRADED PAD(S) PER CIVIL AND SITE ARCHITECTURAL PLANS TO 5'-0" BEYOND BUILDING FOOTPRINT AND CANOPY COLUMN LINES AS SHOWN ON BUILDING PLANS. BUILDING PADS SHALL BE CONSTRUCTED PER SOILS ENGINEER'S SPECIFICATIONS AND ARE TO BE AT LEAST 6" (152.4 MM) BELOW THE ELEVATIONS SHOWN ON THE PLANS. CONTRACTOR SHALL NOTIFY ARCHITECT AND CIVIL ENGINEER OF ANY DISCREPANCIES UPON VERIFICATION. CERTIFIED BUILDING PADS SHALL BE PROVIDED BY THE SITE CONTRACTOR. BUILDING CONTRACTOR SHALL COORDINATE WITH THE SITE CONTRACTOR.
- CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTION TO ADJACENT PROPERTY. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE ADJACENT PROPERTY OWNER PRIOR TO COMMENCING ANY WORK WHICH REQUIRES USE OF, OR ANY IMPROVEMENTS TO THEIR PROPERTY.
- VEHICULAR ACCESS MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. ALL CONSTRUCTION WORK PROVIDED HEREON IS TO BE CONSTRUCTED AND FINISHED IN EVERY PART BY A GOOD AND SUBSTANTIAL WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, THE FULL INTENT OF THE SAME. ANY WORK REQUIRED BY LAW BUT WHICH MAY NOT BE SPECIFICALLY MENTIONED HEREIN SHALL BE PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE LAWS OF THE CITY, COUNTY, DISTRICT OR STATE UNDER WHICH JURISDICTION MAY COME AND COST SHALL BE BORNE BY THE CONTRACTOR. ANY SUCH EXTRA WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE PLAN, BOTH AS TO THE MANNER AND APPEARANCE. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT EDITION OF C.B.C., TITLE 17, TITLE 24 AS REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL CONSTRUCT PROJECT IMPROVEMENTS TO DRAIN SURFACE WATER AWAY FROM BUILDINGS.
- SURFACE WATER SHALL DRAIN AWAY FROM BUILDING AT A 5% SLOPE UNLESS ALTERNATE DRAINAGE DEVICES ARE PROVIDED.

GREEN BUILDING CODE REQUIREMENTS

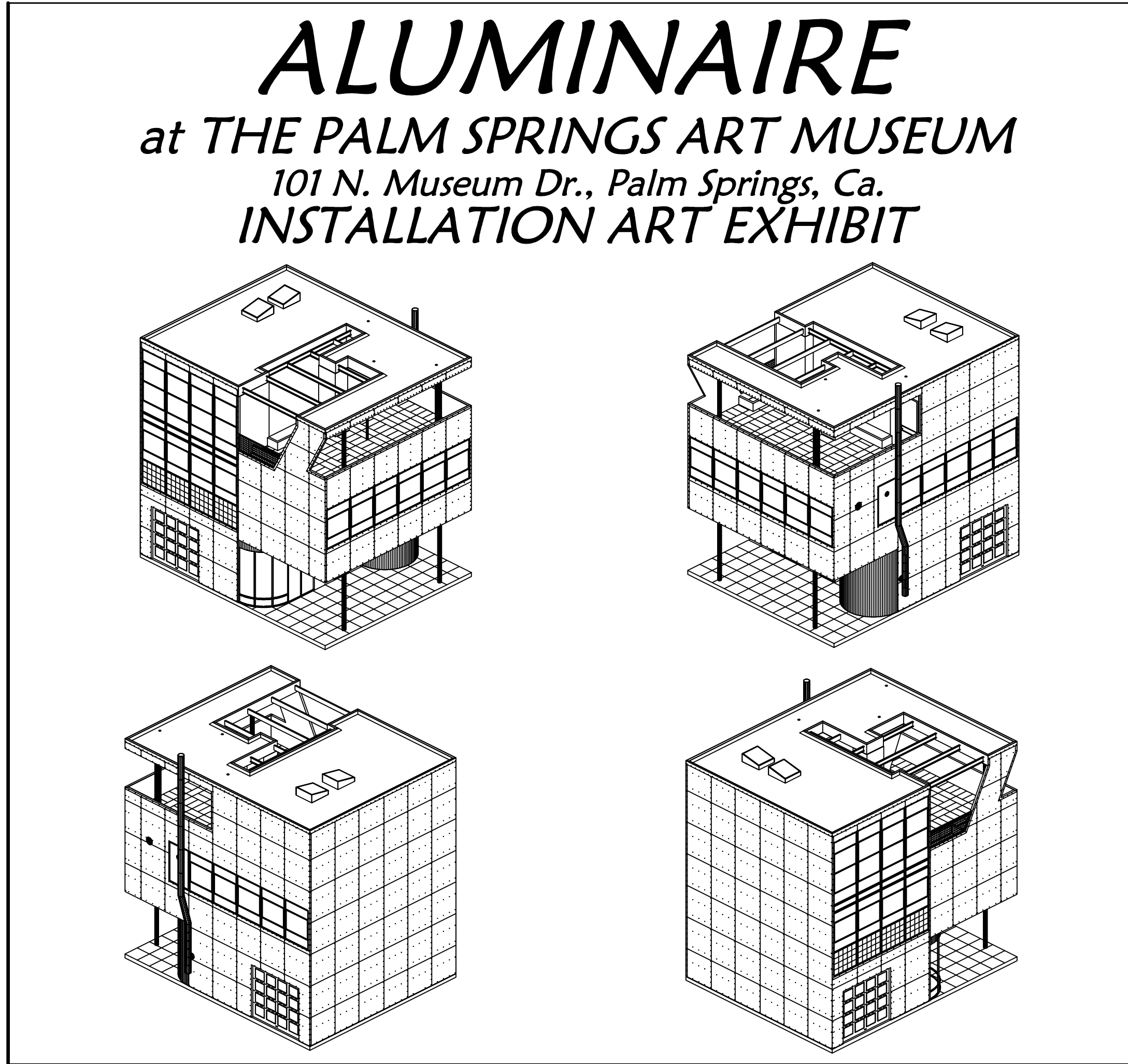
- PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING:
 - RETENTION BASINS.
 - WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD.
- CONTRACTOR TO COMPLY WITH MATERIAL POLLUTION PER CBC 5.504.4.
- RECYCLING: THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT. REDUCING WASTE A MINIMUM OF 65%. CBC 5.508.
- DURING CONSTRUCTION, ENDS OF JUNCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CBC 5.504.3.
- VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.3 AND TABLES 5.504.1, 5.504.2, 5.504.3 AND 5.504.5 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITE PRODUCTS. CBC 5.504.4.
- THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEED TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CBC SECTION 4.505.3.
- ALL BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. CBC 4.506.1.
- HEATING AND AC SHALL BE SIZED AND SELECTED BY ACCA MANUAL J OR ASHRAE HANDBOOK OR EQUIVALENT. THE DUCT SIZING SHALL BE SIZED IN ACCORDANCE WITH ONE OF THE ACCA METHODS LISTED IN CBC SECTION 4.507.2.
- PRIOR TO FINAL APPROVAL OF THE BUILDING LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CBC 102.3.

CONSTRUCTION SAMPLE/MOCK-UP

- ALL FINISH MATERIALS SAMPLES TO BE SUBMITTED TO OWNER FOR FINAL REVIEW.
- CONTRACTOR TO MOCK UP TYPICAL PANEL/WALL ASSEMBLY TO INCLUDE CORNER AND JOINT. WORKMAN JOURNAL. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING ON-SITE AND OFF-SITE CONDITIONS INCLUDING ALL DIMENSIONS, GRADES, ELEVATIONS, SOILS AND UNDERGROUND CONDITIONS WITH RESPECT TO THE WORK DESCRIBED ON THESE CONSTRUCTION DRAWINGS THROUGHOUT THE DURATION OF CONSTRUCTION. ANY DISCREPANCIES AND/OR UNEXPECTED CONDITIONS THAT AFFECT CHANGE THE WORK DESCRIBED HEREIN SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY UPON NOTICE. CONTRACTOR SHALL NOT PROCEED WITH ANY OF THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO AND FAILS TO NOTIFY THE ARCHITECT IN A TIMELY MANNER, THEN IT IS UNDERSTOOD THAT THE CONTRACTOR SHALL BE PROCEEDING AT HIS OWN RISK AND WILL ASSUME ALL LIABILITIES AND INVOIR ALL COSTS TO RESOLVE THE ISSUE TO THE ACCEPTANCE OF THE ARCHITECT, OWNER AND/OR GOVERNING AGENCY. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE ON THE DRAWINGS. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS AND REPAIRS REQUIRED DUE TO HIS FAILURE TO DO SO. COST OF CORRECTING WORK BASED ON MISINTERPRETATION BY CONTRACTOR OF UNREPORTED DISCREPANCIES SHALL BE BORNE BY THE CONTRACTOR.
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PROJECT UTILITIES

UTILITY	AGENCY	ADDRESS	PHONE
WATER	DESERT WATER AGENCY	2000 S. GENIE AVE. TRAIL PALM SPRINGS, CA. 92262	(760) 323-4971
SEWER	VEOLIA	4315 E. MESQUITE AVE. PALM SPRINGS, CA. 92262	(760) 323-8144
ELECTRIC	SOUTHERN CALIFORNIA EDISON COMPANY	34-100 CATHEDRAL CANYON DRIVE CATHEDRAL CITY, CA. 92234	(760) 202-4291
GAS	SOUTHERN CALIFORNIA GAS COMPANY	78-015 N. FAIR DRIVE PALM DESERT, CA. 92211	(760) 324-4441
TELEPHONE	FRONTIER	215 N. SUNRISE WAY PALM SPRINGS, CA. 92262	(760) 718-3403
TELEVISION	SPECTRUM	810 N. FARRELL DR. PALM SPRINGS, CA. 92261	(760) 474-4562
SCHOOL DISTRICT	PALM SPRINGS UNIFIED SCHOOL DISTRICT	980 E. TAQUITZ CANYON WAY PALM SPRINGS, CA. 92262	(760) 414-1000



PROJECT INFORMATION

PROJECT ADDRESS

101 N. MUSEUM DRV.

ASSESSOR'S PARCEL NO.

513-01-034

LEGAL DESCRIPTION

PORTION OF LOTS 1, 2, 1, 3 OF BLOCK 1 AND LOT 3 OF BLOCK 10 AS FILED IN M.S. 9482, RECORDS OF SAN DIEGO COUNTY BEING A PORTION OF THE S.E. 1/4 OF SEC. 8, T4S, R4E, S58M

BUILDING CODES

THIS PROJECT SHALL COMPLY WITH, BUT NOT LIMITED TO THE FOLLOWING:
 LIST OF 2019 CALIFORNIA BUILDING STANDARDS ADOPTED BY THE CALIFORNIA BUILDING STANDARDS COMMISSION, EFFECTIVE AS OF JANUARY 1, 2017.

2019 CALIFORNIA BUILDING CODE (PART 2 OF TITLE 24), BASED ON THE INTERNATIONAL BUILDING CODE (I.B.C.).

2019 CALIFORNIA ELECTRICAL CODE (PART 3 OF TITLE 24), BASED ON THE NATIONAL ELECTRICAL CODE (N.E.C.).

2019 CALIFORNIA MECHANICAL CODE (PART 4 OF TITLE 24), BASED ON THE UNIFORM MECHANICAL CODE (U.M.C.).

2019 CALIFORNIA PLUMBING CODE (PART 5 OF TITLE 24), BASED ON THE UNIFORM PLUMBING CODE (U.P.C.).

2019 CALIFORNIA ENERGY CODE (PART 6 OF TITLE 24), BASED ON THE CALIFORNIA ENERGY CODE.

2019 CALIFORNIA ELEVATOR SAFETY CODE (PART 7 OF TITLE 24), BASED ON THE CALIFORNIA CODE OF REGULATIONS (C.C.R.) TITLE 8.

2019 CALIFORNIA HISTORICAL BUILDING CODE (PART 8 OF TITLE 24), BASED ON BUILDING STANDARDS APPROVED BY THE COMMISSION FOR THE 2013 CALIFORNIA HISTORICAL BUILDING CODE.

2019 CALIFORNIA FIRE CODE (PART 9 OF TITLE 24), BASED ON THE INTERNATIONAL FIRE CODE (I.F.C.).

2019 CALIFORNIA EXISTING BUILDING CODE (PART 10 OF TITLE 24), BASED ON APPENDIX CHAPTER 41 SEISMIC STRENGTHENING PROVISIONS FOR UNREINFORCED MASONRY BEARING WALL BUILDINGS, BASED ON THE INTERNATIONAL EXISTING BUILDING CODE (I.E.B.C.).

2019 CALIFORNIA REFERENCED STANDARD CODE (PART 12 OF TITLE 24), BASED ON BUILDING STANDARDS ADOPTED BY THE COMMISSION FOR THE 2010 CALIFORNIA STANDARDS CODE.

CALIFORNIA REGULATIONS, TITLE 19

IN ADDITION, LOCAL AMENDMENTS TO ANY OF THE STATE ADOPTED CODES SHALL APPLY.

ZONING: EXISTING ZONING: CBD

CONSTRUCTION TYPE: II-B - NON SPRINKLED - CBC SECTION 402.2

OCCUPANCY TYPE: BUSINESS GROUP B - CBC SECTION 303.1.1

BUILDING AREA:

AREA	NET AREA	GROSS AREA
GROUND FLOOR	259.5 S.F.	406.9 S.F.
ENTRY HALL	17.5 S.F.	
GARAGE	221 S.F.	
SECOND FLOOR	558.5 S.F.	646 S.F.
LIVING-DINING	274.5 S.F.	
BEDROOM	141.4 S.F.	
BATHROOM-EXERCISE	79 S.F.	
KITCHEN	44.8 S.F.	
THIRD FLOOR	146 S.F.	158 S.F.
LIBRARY	129.25 S.F.	
BATH	11.75 S.F.	
TOTAL AREA	959 S.F.	1210.3 S.F.
GROUND FLOOR TERRACE	240 S.F.	
THIRD FLOOR TERRACE	304 S.F.	

NOTE: FLOOR AREA NET; THE ACTUAL AREA ARE NOT INCLUDING UNOCCUPIED AREAS SUCH AS CORRIDORS, STAIRWAYS, TOILET ROOM, MECHANICAL ROOMS AND CLOSETS. CBC SECTION 1002.1

BUILDING HEIGHT - 21'-3"

PROJECT DIRECTORY

OWNER/DEVELOPER:

PALM SPRINGS ART MUSEUM
 101 N. MUSEUM DRIVE
 PALM SPRINGS, CA. 92263
 (760) 322-4804

EXECUTIVE ARCHITECT:

SANBORN ARCHITECTURE GROUP, INC.
 71-450 SAHARA RD., #4
 RANCHO MIRAGE, CA. 92218
 (760) 423-0100 TEL.
 (760) 423-0103 FAX.
 ALLEN@SANBORN.AE.COM

MEP CONSULTANT:

EQUITY SPEC. CONSULTING ENGINEER, INC.
 42-152 PANORAMA BLVD.
 PALM DESERT, CA. 92260
 (760) 834-1537

STRUCTURAL ENGINEER:

UT GROUP LLC
 JEFFREY GUTOWSKY, PE, SE
 17-015 N. FAIR DRIVE
 PALM DESERT, CA. 92211
 (760) 285-3033

HISTORIC ARCHITECTS:

CAMPANI AND SCHWARTZ ARCHITECTS
 160-3 EAST MAIN STREET
 PORT JEFFERSON, NY 11771
 (430) 442-0228

CIVIL ENGINEERING

KEITH CHRISTIANSEN
 5225 CANYON CREST DR. STE. 251
 RIVERSIDE, CA. 92501
 (951) 503-1111

LANDSCAPE ARCHITECT

ASSOCIATES INC.
 TOM DOCCI
 RANCHO MIRAGE, CA. 92210
 (760) 716-1751

SHEET INDEX

C.I.O.	COVER SHEET
CIVIL	
1 of 2	GRADING PLAN COVER SHEET DEMO PLAN
2 of 2	GRADING PLAN

LANDSCAPE PLANS

L-CS	COVER SHEET
L-10	HARDSCAPE AND MATERIALS PLAN
L-20	SITE PLANTING PLAN
L-30	IRRIGATION PLAN
L-3.1	IRRIGATION DETAILS
L-40	LANDSCAPE LIGHTING PLAN
LD-1	PLANTING DETAILS

ARCHITECTURAL

A0.1	ARCHITECTURAL NOTES
A1.0	REFERENCE SITE PLAN
A1.1	ARCHITECTURAL SITE PLAN
A1.2	SITE DETAILS
A2.0	1ST AND 2ND FLOOR PLANS
A2.1	3RD FLOOR AND ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
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A4.0	BUILDING SECTIONS
A4.1	BUILDING SECTIONS
A5.0	DETAILS
A5.1	DETAILS AND SPECIFICATION SHEETS

MECHANICAL

M1.0	MECHANICAL TITLE SHEET - CODES, ABBREVIATIONS, LEGEND
M1.1	EQUIPMENT SCHEDULES, SPECIFICATIONS
M1.2	MECHANICAL SITEPLAN PLANS
M2.0	MECHANICAL FLOOR PLAN
M2.1	MECHANICAL ROOF PLAN
M3	DETAILS AND DIAGRAMS
M4	BUILDING MECHANICAL SECTION VIEWS

ELECTRICAL

E1.0	TITLE SHEET - CODES, ABBREVIATIONS
E1.1	LEGEND, GENERAL NOTES
E1.2A	SPECIFICATIONS
E1.2B	SPECIFICATIONS, LIGHTING FIXTURE & CONTROL SCHEDULES
E1.3A	ALUMINAIRE BUILDING SERVICES SITE ELECTRICAL PLAN
E1.3B	MUSEUM PROPERTY OVERALL SITE PLAN
E2.0	LIGHTING PLANS
E2.1	POWER PLANS
E3	PANEL SCHEDULES, SINGLE LINE DIAGRAM
E4	BUILDING ELECTRICAL SECTION VIEWS

STRUCTURAL

S-0.0	STRUCTURAL NOTES
S-0.1	STRUCTURAL NOTES
S-0.2	STRUCTURAL NOTES
S-1.0	FOUNDATION PLAN
S-2.0	2nd FLOOR FRAMING PLAN
S-2.1	3rd FLOOR FRAMING PLAN
S-2.2	ROOF FRAMING PLAN
S-3.0	FOUNDATION DETAILS
S-4.0	SOUTH & WEST WALL ELEVATION
S-4.1	NORTH & EAST WALL ELEVATION
S-4.2	FRAMING DETAILS
S-4.3	FRAMING DETAILS
S-4.4	FRAMING DETAILS
USWH1	USWH ANCHORAGE DETAILS
USWH2	USWH FRAMING DETAILS
USWH4	USWH PORTAL SYSTEM FRAMING DETAILS

ALUMINAIRE:

THE ALUMINAIRE HOUSE WAS AN EXHIBITION PAVILION DESIGNED BY ALBERT FREY AND LAURENCE KROEGER. IT WAS ERRECTED IN NEW YORK CITY TO EXHIBIT MODERN DESIGN AND MATERIALS. IT HAS BEEN DISMANTLED AND REBUILT TO EXHIBIT THE INTERIOR AND WILL BE RECONSTRUCTED ON THE MUSEUM GROUNDS TO BE VIEWED BY MUSEUM VISITORS AND PATRONS CONDUCTED THROUGH GUIDED TOURS. THE SECURED SITE GROUNDS WILL ALSO BE OPEN FOR SELF-GUIDED EXPLORATION OF THE PAVILION.

AS THERE IS NOT THE POSSIBILITY TO ACCOMMODATE HANDICAP ACCESS TO THE INTERIOR WITHOUT COMPROMISING THE INTEGRITY OF THE STRUCTURE FOR HISTORICAL PRESERVATION CRITERIA, THERE WILL BE NO INTERIOR ACCESS ALLOWED.

SCOPE OF WORK:

THE ALUMINAIRE HOUSE WAS DISMANTLED IN 2012 AND PUT INTO STORAGE IN A TRACTOR TRAILER AND SHIPPED OUT TO PALM SPRINGS IN 2011 AND IS AT THE PROPOSED SITE.

THE SCOPE OF WORK IS THE FOLLOWING:

SITE CONSTRUCTION - THE SITE IS A RECTANGULAR AREA SURROUNDED BY A 5 FOOT FENCE WITH GATES ON THE NORTH SIDE. THE BUILDING WILL BE SURROUNDED BY PEROVIOUS DECOMPOSED GRANITE AND CONCRETE WALK BETWEEN THE GRANITE AND WALL.

FOOTING AND FOUNDATIONS - NEW CONCRETE AS DESCRIBED ON THE STRUCTURAL CONSTRUCTION DRAWINGS.

STRUCTURAL FRAME - THE EXISTING FRAME CONSISTING OF 4'-5" DIAMETER ALUMINUM COLUMNS AND A COMBINATION OF ALUMINUM AND STEEL "I" AND "C" SECTIONS WILL BE ERRECTED.

STAIRS - EXISTING STEEL STAIRS WITH NEW LINOLEUM TREADS TO BE INSTALLED.

FLOORING AND ROOFING CONSTRUCTION - THE GROUND FLOOR IS CONCRETE SLAB, THE SECOND AND THIRD FLOORS ARE EXISTING 2"x4" GALVANIZED CHANNELS, SOUND INSULATION AND LINOLEUM. THE ROOF IS GALVANIZED CHANNELS INSULATION AND A RUBBER ROOFING.

EXTERIOR WALL CONSTRUCTION - AN EXISTING 2"x2" STEEL ANGLE VERTICLE GIRT SYSTEM IS ATTACHED TO THE BEAMS. 2"x2" WAILERS ARE ATTACHED TO THE GIRTS SYSTEM. 1/2" PLYWOOD IS FASTENED TO DO BOTH SIDES OF THE WOOD WAILERS. NEW BUILDING PAPER IS MOUNTED ON THE EXTERIOR AND NEWLY FABRICATED ALUMINUM PANELS ARE SCREWED TO THE PLYWOOD. A SYNTHETIC FABRIC, REPLICATING A HISTORICAL "FABRICOID", IS APPLIED TO THE EXTERIOR PLYWOOD.

FUTURE TENANT IMPROVEMENT.

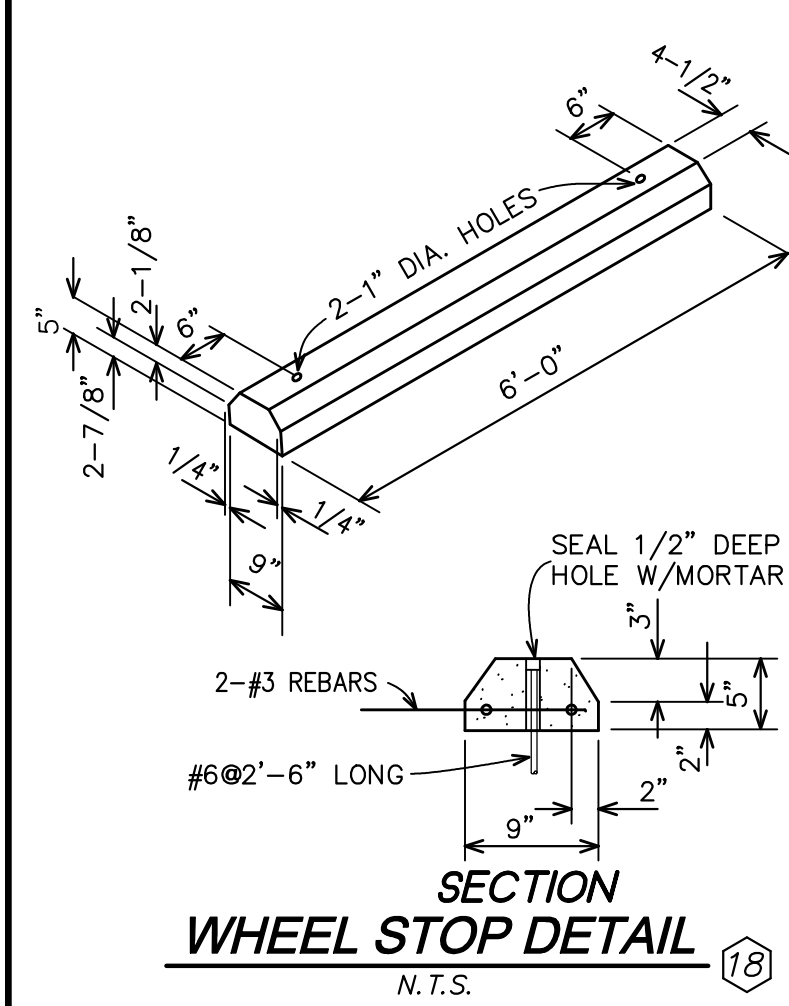
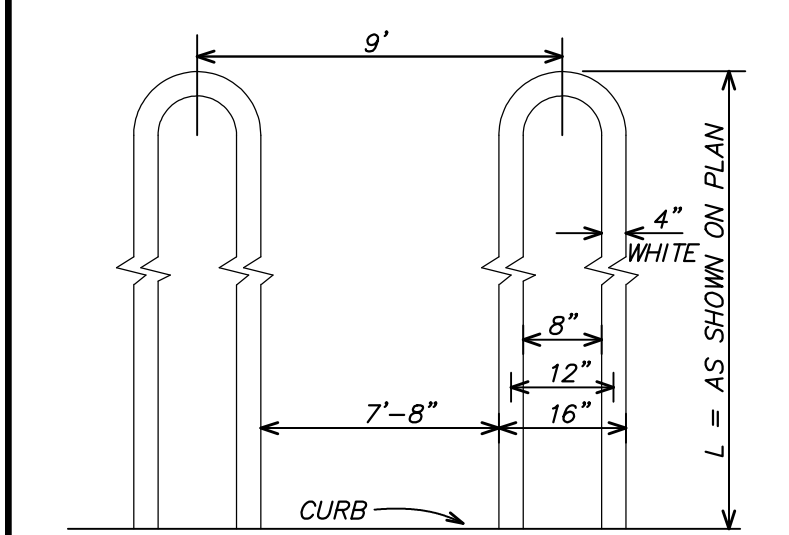
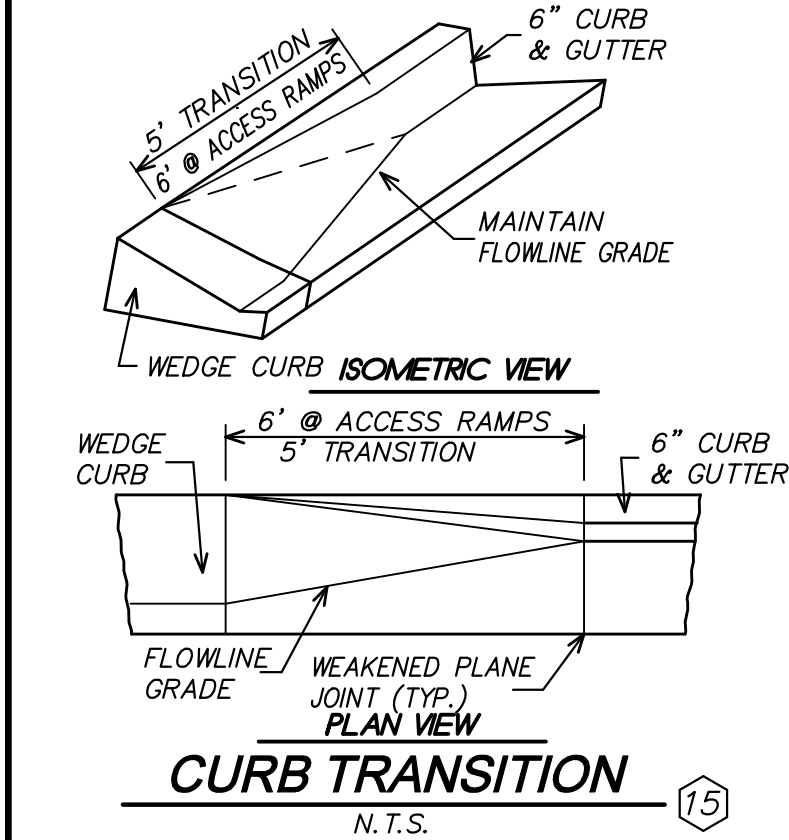
EXTERIOR PARAPET CONSTRUCTION - SAME AS WALL CONSTRUCTION - 2" STEEL ANGLES WITH 2"x2" WOOD WAILERS.

EXTERIOR CEILING CONSTRUCTION - 2" LIGHT GAUGE METAL FURRING WITH CEMENT FIBER PANELS WITH BATTENS TO BE INSTALLED AT EXTERIOR PORCH CEILING.

INSULATION - 2" HIGH DENSITY FOAM INSULATION IN EXTERIOR WALLS. ROOFING INSULATION TAPERED TO ROOF DRAINS.

CONSTRUCTION NOTES:

- 1) CONSTRUCT TYPE A1 6" CURB PER CPS STD. DWG. NO. 200
- 2) CONSTRUCT 4" P.C.C. THICK CONC. SIDEWALK BROOM FINISH: GREY TO MATCH CITY STD.
- 3) CONSTRUCT 4" P.C.C. THICK CONC. SIDEWALK: MICA/SILICARB FINISH: DAVIS-LIGHT GREY
- 4) INSTALL 5" HIGH METAL FENCING - SEE ARCHITECT PLANS FOR DETAIL
- 5) INSTALL 60" METAL GATES - SEE ARCHITECTURE PLANS FOR DETAILS
- 6) INSTALL 6" PVC DRAIN PIPE @ 1% MIN. SLOPE UNLESS OTHERWISE NOTED
- 7) INSTALL 8" PVC DRAIN PIPE @ 1% MIN. SLOPE UNLESS OTHERWISE NOTED
- 8) INSTALL NDS 4" ATRIUM GRATE NO. NDS 78 S
- 9) INSTALL BUBBLER BOX - BROOKS 1212 L18/PARKWAY GRATE PER DETAIL 8 - SHEET 1
- 10) CONSTRUCT 2'x2' ADS NYLOPLAST ROAD & HIGHWAY GRATE W/FLEXSTORM MEDIUM PC INLET FILTER BAG, DIAGONAL OR EQUAL
- 11) PAINT WHITE STRIPING AND LETTERING AS SHOWN ON PLAN
- 12) INSTALL 2" 20M² PAVEMENT OVER 2" OF CRUSHED AGG. MISC. BASE, SUBGRADE 24" WITH A MIN. 95% RELATIVE COMPACTION PER C.P.S. STD. NO. 110
- 13) INSTALL 3/8" PEWTER GREY CRUSH ROCK SURFACE
- 14) CONSTRUCT CURB RAMP "TYPE C" PER C.P.S. STD. DWG. NO. 214
- 15) CONSTRUCT 5" CURB TRANSITION PER DETAIL 15 - SHEET 2
- 16) PAINT PARKING LOT STRIPING PER DETAIL 16 - SHEET 2
- 17) CONSTRUCT TYPE A3 6" CURB & GUTTER PER CPS STD. DWG. NO. 200
- 18) INSTALL CONCRETE WHEEL STOP WHERE OCCURS PER DETAIL 18 - SHEET 2
- 19) CONSTRUCT ROLL CURB PER CPS STD. DWG. NO. 202
- 20) INSTALL STONE PAVERS: ALBERNCE BLUE STONE



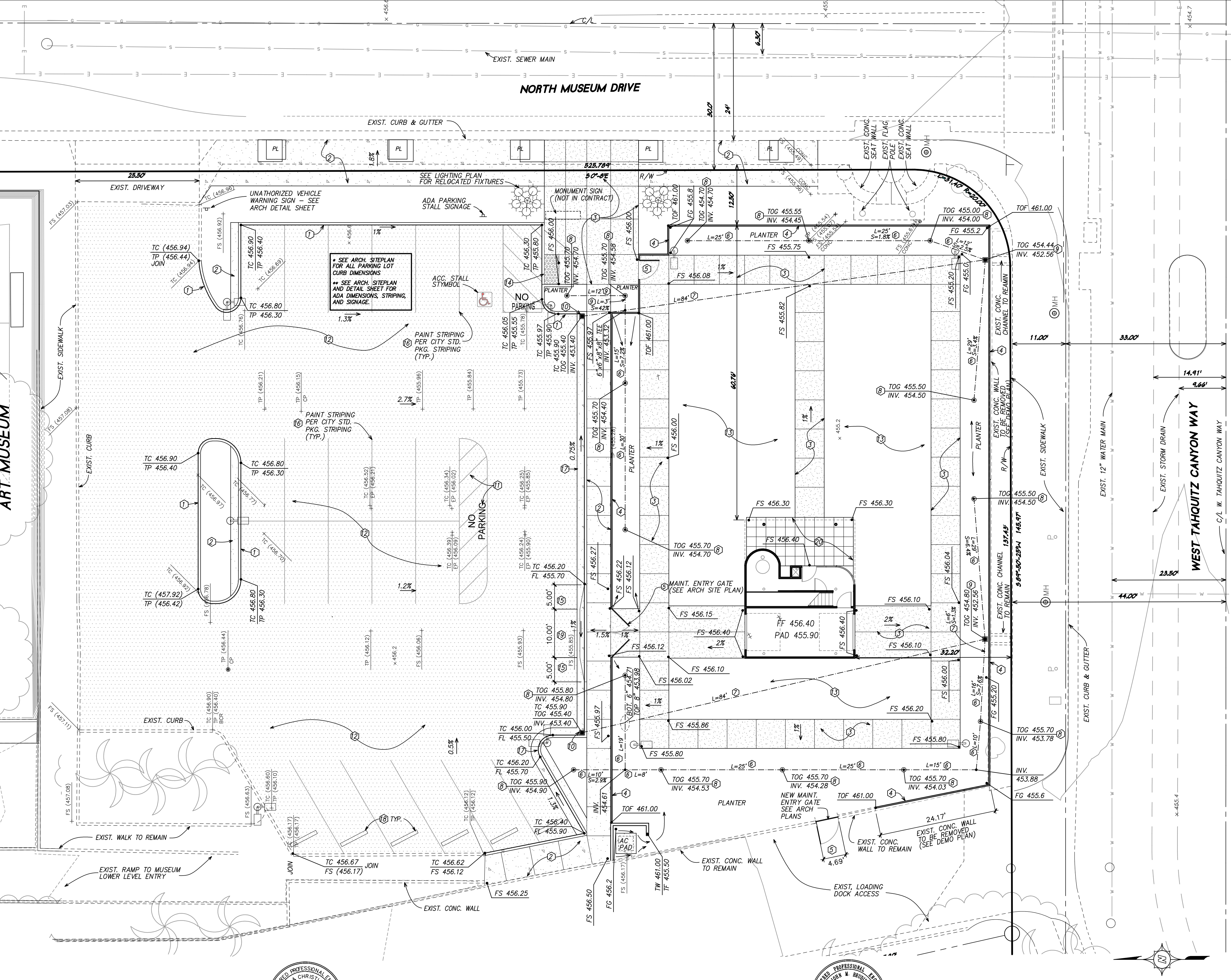
UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

PRIVATE ENGINEERING NOTE: CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

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48 HOURS BEFORE YOU DIG
CALL
UNDERGROUND SERVICE ALERT
811

NO.	REVISION	APPROVED	DATE



NO.	AS BUILT	CORRECTED BY	APPROVED BY

BENCH C.P.S. MARK LIBRA
 ELEV. 451.523
 LOCATION: 2-1/2" OPS BRONZE DISK STAMPED "LIBRA 1970" SET IN CONCRETE N.E. OF ENTRANCE TO MUSEUM MURRAY MEMORIAL LIBRARY AT THE INTERSECTION OF TAHQUITZ CANYON WAY AND SOUTH PALM CANYON DRIVE.

SANBORN ARCHITECTURE GROUP, INC.
 71780 SAN JACINTO DR., BLDG. E-1
 RANCHO MIRAGE, CA 92270
 TEL (760) 423-0800
 FAX (760) 423-0803

PREPARED UNDER THE DIRECT SUPERVISION OF:
 R.C.E. 50083
 DATE: 3/15/2023

DESIGN BY: A.M.S.
 DRAWN BY: F.J.
 CHECKED BY: A.M.S.

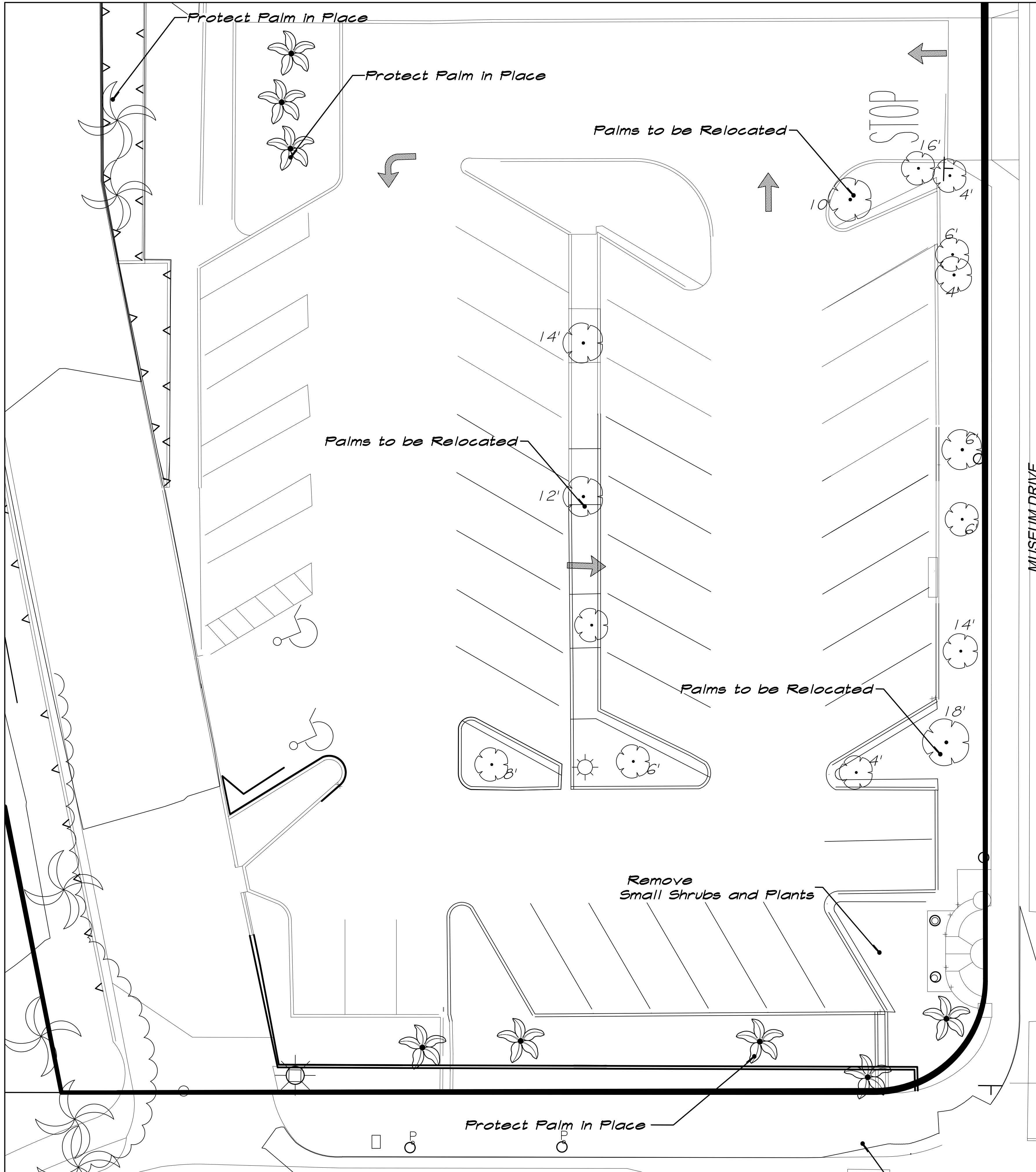
REVIEWED BY: JOHN M. BRUDIN
 R.C.E. NO. 41836
 DATE:

APPROVED BY: JOEL MONTALVO
 R.C.E. NO. 62624
 DATE:

CITY OF PALM SPRINGS, CALIFORNIA
 PORTION OF LOTS 1,2&3 OF BLOCK 9 AND LOT 3 OF BLOCK 10
 M.B. 9/432, SAN DIEGO COUNTY RECORDS
 PORTION OF S.E. 1/4, OF SECTION 15, T4S, R4E, S.B.M.

FILE NO. E-4629
 DWG. NO. 2
 SHEET OF 2 SHEETS

GRAPHIC SCALE
 SCALE 1"=10'
 W.O.: 22-130



PLANT SCHEDULE

PALM TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	15	Washingtonia filifera / California Fan Palm	Existing to be relocated
	8	Washingtonia x filibusta / Hybrid Fan Palm	Existing to remain

- * SEE CIVIL PLANS FOR PAVING AND HARDSCAPE REMOVAL.
- * SEE PLANTING PLAN FOR TREE RELOCATIONS

T K D ASSOCIATES, INC.
 LAND PLANNING - LANDSCAPE ARCHITECTURE
 WATER CONSERVATION

71-711 SAN JACINTO DR. SUITE C 92270
 RANCHO MIRAGE, CALIFORNIA
 PH: (760) 776-1751 FAX: (760) 776-1753

PROJECT NAME

ALUMINAIRE EXHIBIT

MUSEUM DRIVE

PALM SPRINGS CA

PALM SPRINGS ART MUSEUM

LICENSE STAMP:

REG. STAMPED LANDSCAPE ARCHITECT
 THOMAS K. DOCZI #2370
 Signature
 Date
 STATE OF CALIFORNIA

CONSULTANTS:

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SHEET TITLE

LANDSCAPE DEMO PLAN

NORTH

SCALE
1" = 10'

PROJECT NUMBER
3141

REVISIONS			
NO	DATE	TYPE	BY

DATE: 02-27-2023

ISSUED FOR:

EFFECTIVE DATE:

DESIGN BY: TKD

DRAWN BY: TD

FILENAME: 3141

SHEET NO:

TOTAL 7 SHEETS

L-1.0

Important Notice - Underground Service Alert!



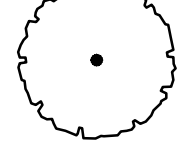


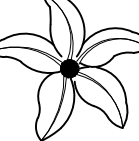



Read the underground utility map that is available on the project website for the location of all underground utilities. Do not dig or excavate until you have confirmed the location of all underground utilities. If you are unsure of the location of any underground utility, call 811 or the utility company responsible for the utility. Failure to follow these instructions may result in damage to underground utilities, personal injury, or property damage. TKD ASSOCIATES, INC. is not responsible for any damage to underground utilities, personal injury, or property damage resulting from the use of these plans.

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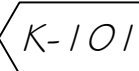
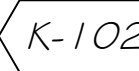
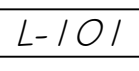
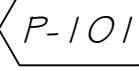
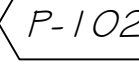
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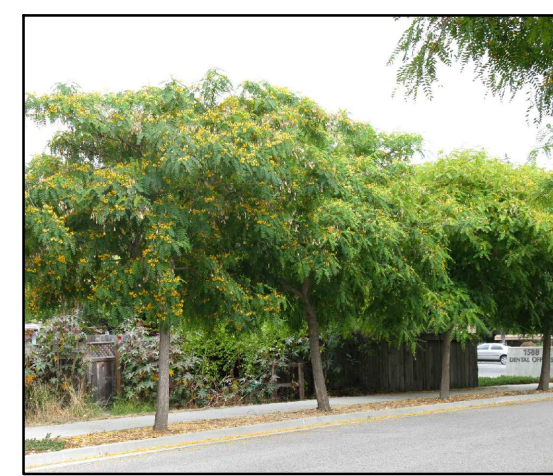
TAHQUITZ CANYON WAY

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	3	Caesalpinia cocalaco 'Smoothie'™ TM Cascalote	36"box	Low
	2	Dalbergia sissoo Rosewood	60" Box	Low - Medium
	18	Tipuana tipu Tipu Tree	36" Box	Low - Medium
PALM TREES	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	21	Chamaerops humilis Mediterranean Fan Palm	24"box	Low - Medium
	15	Washingtonia filifera California Fan Palm	Existing to be relocated	Low - Medium
	9	Washingtonia x filibusta Hybrid Fan Palm	Existing to remain	Medium
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	47	Buxus microphylla 'Compacta' Dwarf Littleleaf Boxwood	15 gal.	Medium
	79	Carissa macrocarpa 'Green Carpet' Green Carpet Natal Plum	5 gal	Low - Medium
	15	Prunus caroliniana 'Monus' Bright 'N Tight Carolina Laurel Cherry	15 gal columns	Low - Medium

REFERENCE NOTES SCHEDULE

SYMBOL	ROCK DESCRIPTION	QTY
	3/8" Graphite Grey Decomposed Granite Blend w/ Stabilizer over Filter Fabric: Compacted.	3,568 sf
	3/8" Mojave Gold and Graphite Grey Blend Decomposed Granite in Landscape Areas	5,676 sf
SYMBOL	LANDSCAPING DESCRIPTION	QTY
	Steel Edging	129 lf
SYMBOL	CONCRETE DESCRIPTION	QTY
	Natural Gray Concrete Side Walk Per City of Palm Springs Stds.	sf
	Color Concrete Walk with Acid Finish - Mica / Silicarb Finish: Color to be Light Gray by Davis Colors: (323) 265-8323	sf



Tipuana tipu



Dalbergia sissoo



Washingtonia filifera



Chamaerops



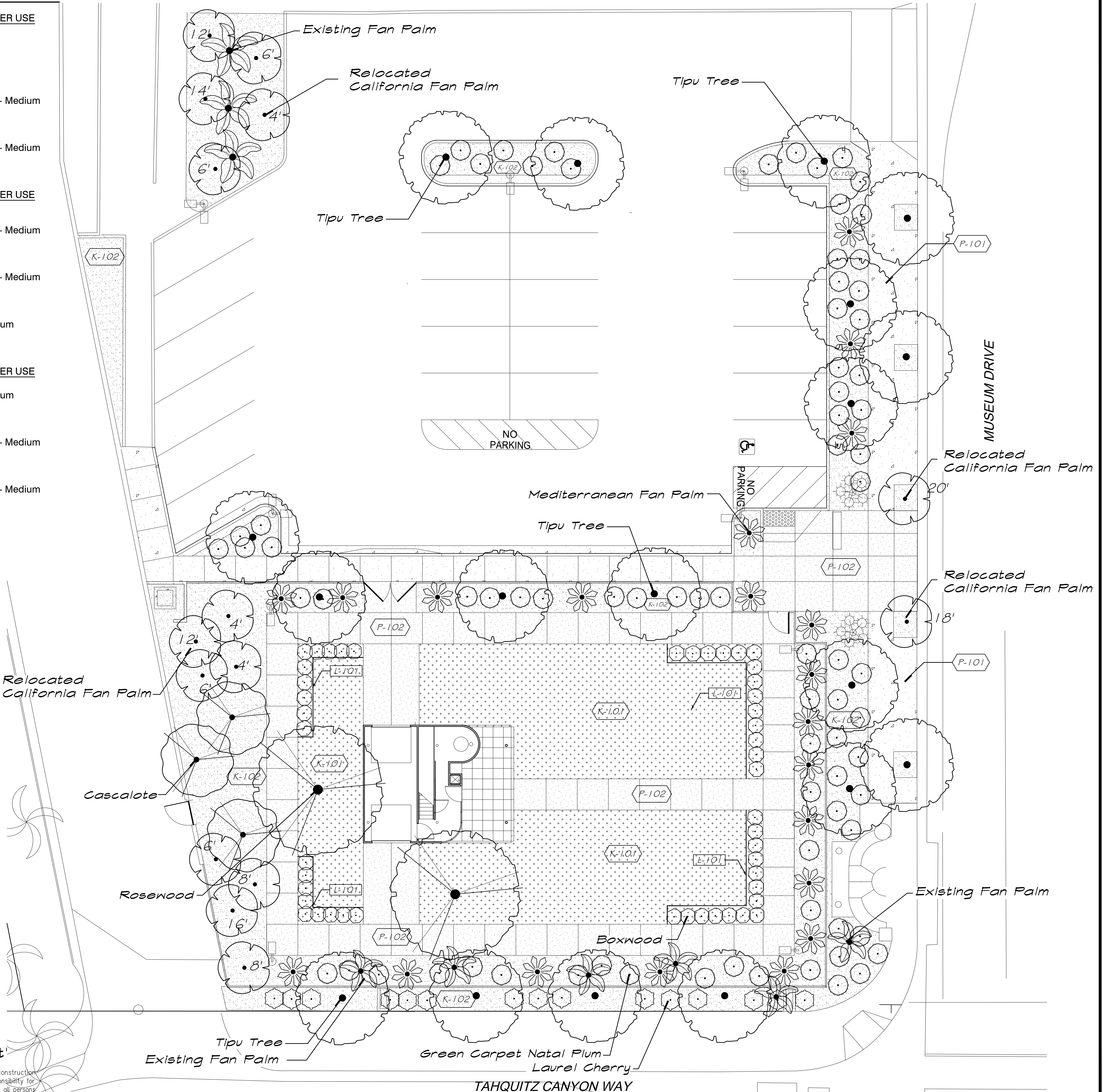
Prunus c.



Buxus 'Compact'



Carissa 'Green Carpet'




TKD ASSOCIATES, INC.
 LAND PLANNING - LANDSCAPE ARCHITECTURE
 WATER CONSERVATION

71-711 SAN JACINTO DR. SUITE C
 RANCHO MIRAGE, CALIFORNIA 92270
 PH: (760) 776-1751 FAX: (760) 776-1753

PROJECT NAME

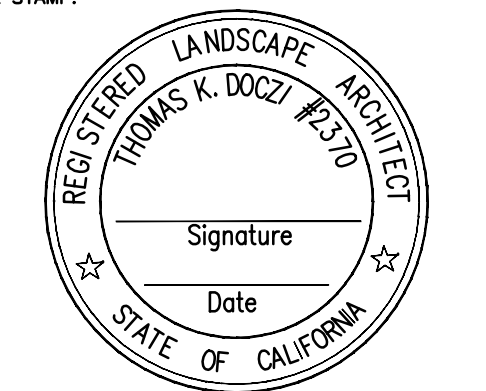
ALUMINAIRE EXHIBIT

MUSEUM DRIVE

PALM SPRINGS CA

PALM SPRINGS ART MUSEUM

LICENSE STAMP:



Signature _____
 Date _____

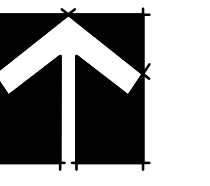
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SHEET TITLE

COVER SHEET

NORTH



SCALE

1" = 10'

PROJECT NUMBER

3141

REVISIONS			
NO	DATE	TYPE	BY

DATE:	02-27-2023
ISSUED FOR:	
EFFECTIVE DATE:	
DESIGN BY:	TKD
DRAWN BY:	TD
FILENAME:	3141


SHEET NO:

TOTAL SHEETS

L-2.0

Important Notice - Underground Service Alert

Section 4216/4217 of the Government Code requires a Dig Alert Identification Number be issued before a "Permit to Excavate" will be valid. For your Dig Alert Identification Number call Underground Service Alert TOLL FREE at 1-800-227-2600 two working days before you dig.

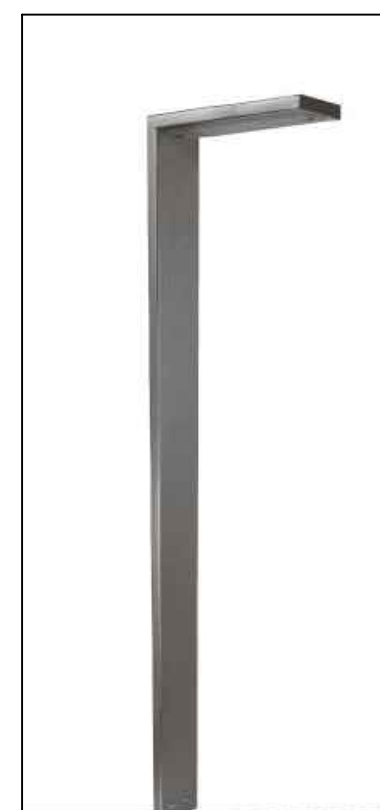


Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

LANDSCAPE LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	Finish	Watts	Color Temp	Optics
	Accent Uplight: TRL Lighting TLR-UL-101	11	PVD	3W	2700K	Spot
	Accent Uplight: TRL Lighting TLR-UL-102	7	PVD	6W	2700K	Spot
	Path Light / Marker Light: TRL Lighting TLR-IGM-301	18	PVD	3W	2700K	Path
	Well Light: TLR-IG-GR-312	19	PVD	6W	2700K	Well
	Path Light: TLR-PL-401 SPJ Lighting	26	PVD	3W	2750K	Path
	Transformer: TRL Lighting	3	Stainless Steel	200W	WIFI	* Separate Circuits TBD

* CONTACT: IO LIGHTING AND AUDIO SABRINA RINDELS: (760) 880-2722



TLR-PL-401



TLR-IGM-301



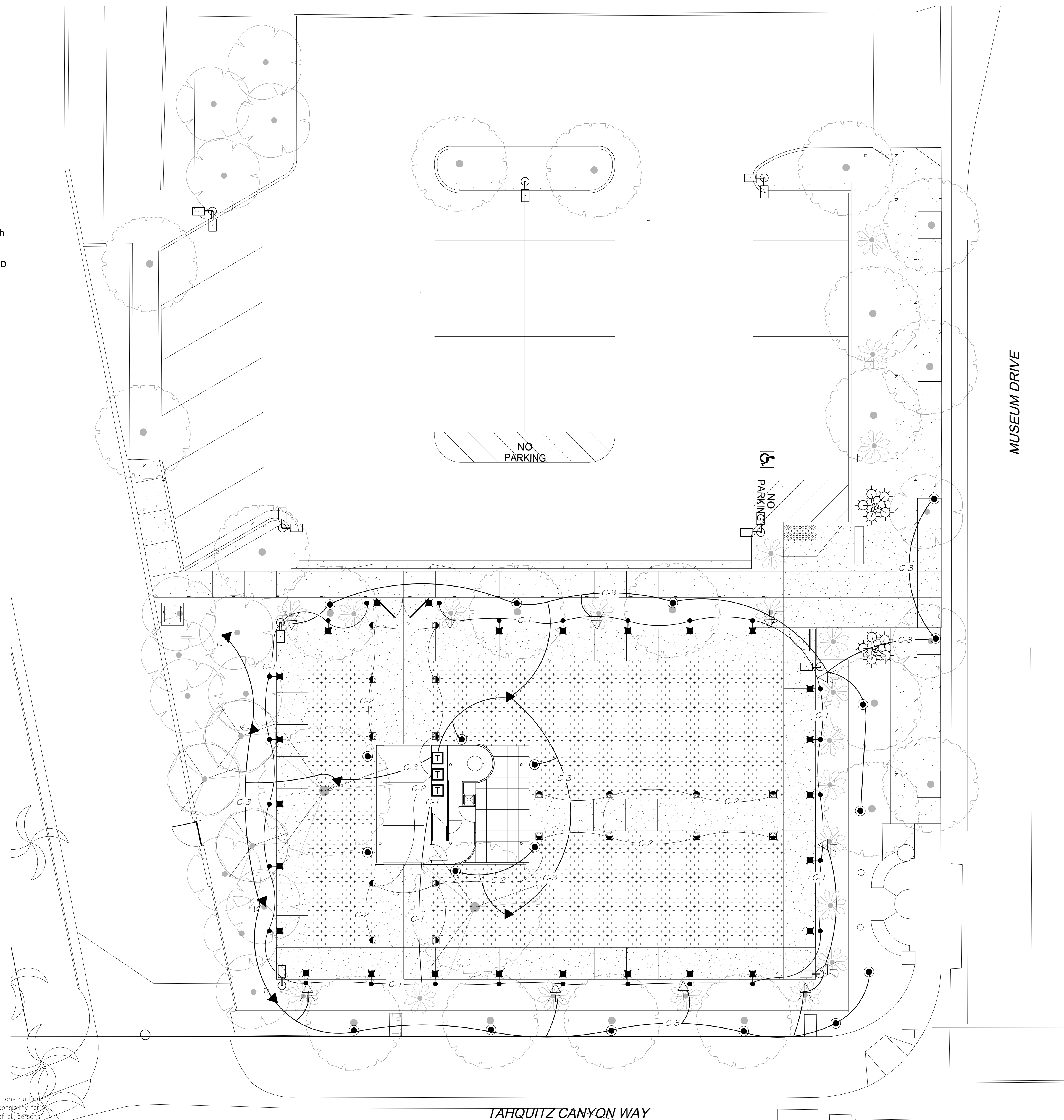
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TLR-IG-GR-312

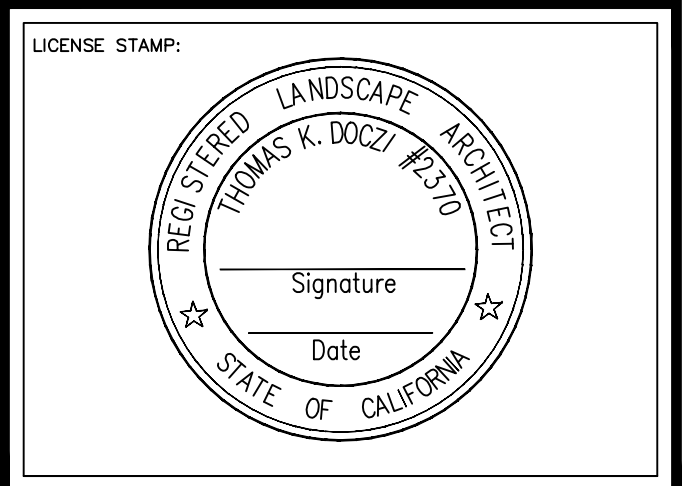


TLR-UL-102



T K D ASSOCIATES, INC.
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 WATER CONSERVATION
 71-711 SAN JACINTO DR. SUITE C 92270
 RANCHO MIRAGE, CALIFORNIA
 PH: (760) 776-1751 FAX: (760) 776-1753

PROJECT NAME
ALUMINAIRE EXHIBIT
MUSEUM DRIVE
 PALM SPRINGS CA
 PALM SPRINGS ART MUSEUM



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SHEET TITLE
COVER SHEET

NORTH

SCALE
 1" = 10'

PROJECT NUMBER
 3141

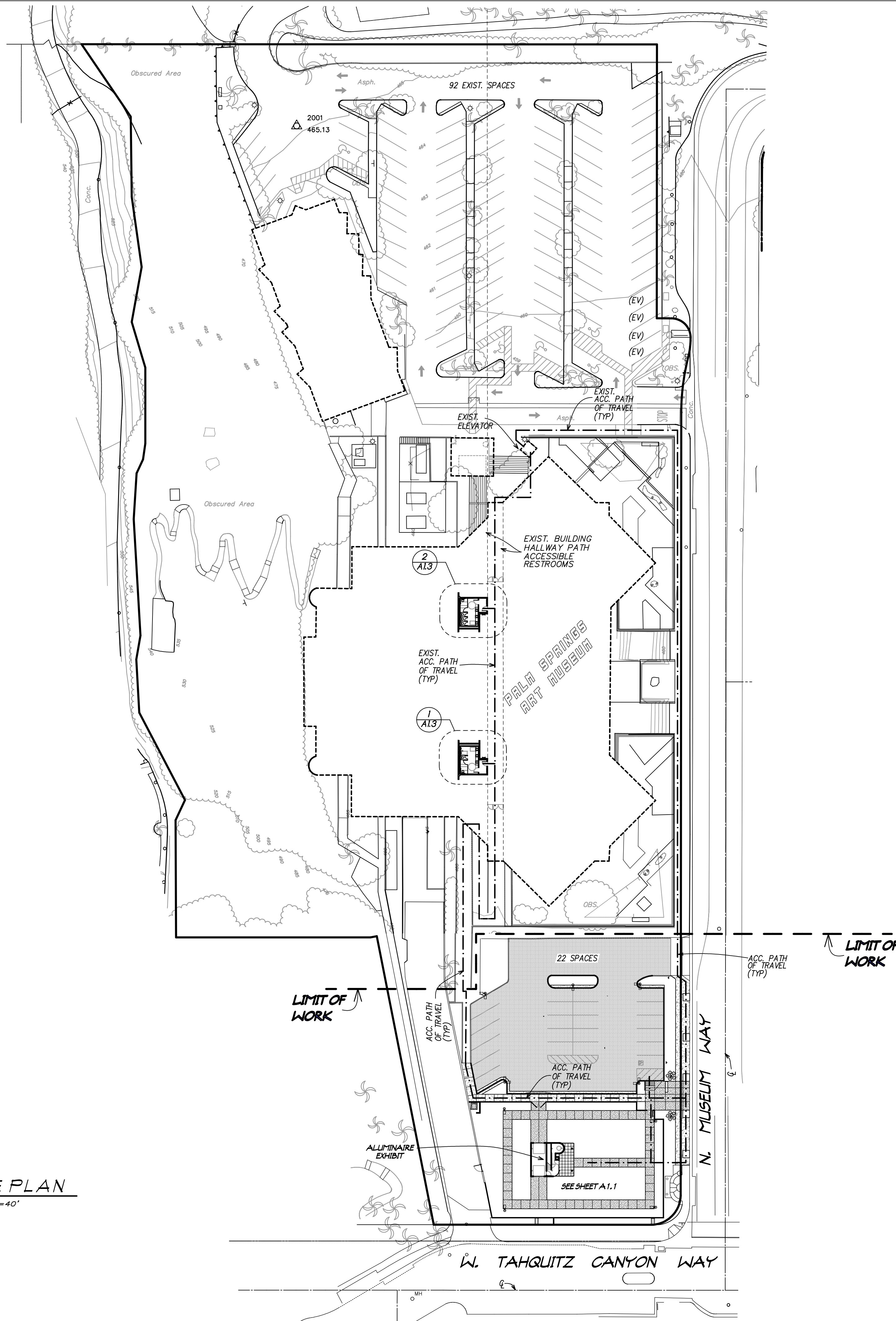
REVISIONS			
NO	DATE	TYPE	BY

DATE: 02-27-2023
 ISSUED FOR:
 EFFECTIVE DATE:
 DESIGN BY: TKD
 DRAWN BY: TD
 FILENAME: 3141

SHEET NO:
 TOTAL SHEETS
L-4.0

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1 SITE PLAN
SCALE 1"=40'

ACCESSIBLE ROUTE OF TRAVEL

ACCESSIBLE PATH OF TRAVEL - - - - -

- NOTE:
ACCESSIBLE ROUTE OF TRAVEL IS DEFINED AS A "CONTINUOUS UNOBSTRUCTED PATH CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES IN AN ACCESSIBLE BUILDING OR FACILITY THAT CAN BE NEGOTIATED BY A PERSON WITH A SEVERE DIABILITY USING A WHEELCHAIR, AND THAT IS ALSO SAFE FOR AND USABLE BY PERSONS WITH OTHER DIASABILITIES, AND THAT ALSO IS CONSISTENT WITH THE DEFINITION OF "PATH OF TRAVEL" IN SECTION 217-P AND 1102B".
1. SITE DEVELOPMENT AND GRADING SHALL BE DESIGNED TO PROVIDE ACCESS TO ALL AND ENTRANCES AND EXTERIOR GROUND FLOOR EXISTS, AND ACCESS TO NORMAL PATHS OF TRAVEL, AND WHERE NECESSARY TO PROVIDE ACCESS, SHALL INCORPORATE PEDESTRIAN RAMPS, ETC. SEC. 1127B.1.
 2. AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE BOUNDARY OF THE SITE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING, ACCESSIBLE PASSENGER SIDEWALKS TO THE ACCESSIBLE BUILDING THEY SERVE, WHEN MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES SHALL BE ACCESSIBLE SEC. 114B.1.2.
 3. WHEN MORE THAN ONE BUILDING OR FACILITY IS LOCATED ON A SITE, ACCESSIBLE ROUTES OF TRAVEL SHALL BE PROVIDED BETWEEN BUILDINGS AND ACCESSIBLE SITE FACILITIES. SEC. 114B.1.2 AND 1127B.1.
 4. THE ACCESSIBLE ROUTE OF TRAVEL SHALL "BE THE MOST PRACTICAL, DIRECT ROUTE BETWEEN ACCESSIBLE BUILDING ENTRANCES, ACCESSIBLE SITE FACILITIES ENTRANCE TO THE SITE TO THE MAXIMUM EXTENT FEASIBLE, COINCIDING WITH THE ROUTE FOR THE GENERAL PUBLIC" SEC. 114B.1.2 AND 1127B.1.
 5. PROVIDE SIGNS DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND EVERY PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO THE ACCESSIBLE ROUTE OF TRAVEL, SIGNS SHALL INDICATE THE DIRECTION TO THE ACCESSIBLE BUILDING ENTRANCES AND SHALL COMPLY WITH SECTION 1117B.5 SEC. 1127B.3.

ALL PATH OF TRAVEL SLOPES

- 5% MAX. RUNNING SLOPE
- 2% MAX. CROSS SLOPE

SITE PLAN GENERAL NOTES

1. FINISH GRADE AROUND THE STRUCTURE/ ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM OF 10 FEET. (2% FOR IMPERVIOUS SURFACES)
2. PROVIDE BICYCLE PARKING MEETING THE REQUIREMENTS OF 5.10.4.4 CGBC.
3. PROVIDE CONSTRUCTION WASTE MANAGEMENT PLAN REDUCING WASTE A MINIMUM OF 65% (5.408.1 CGBC)
4. COMPLY WITH MATERIAL POLLUTION PER 5.504.4 CGBC.
5. INSTALL PATH OF TRAVEL DIRECTIONAL SIGNS PER DETAIL 5/A1.2 AS REQUIRED ALONG ACCESSIBLE PATH OF TRAVEL ROUTE.
6. ALL WALKING SURFACES CROSS SLOPES SHALL NOT EXCEED 1.48, CBC 11B-404.2.10

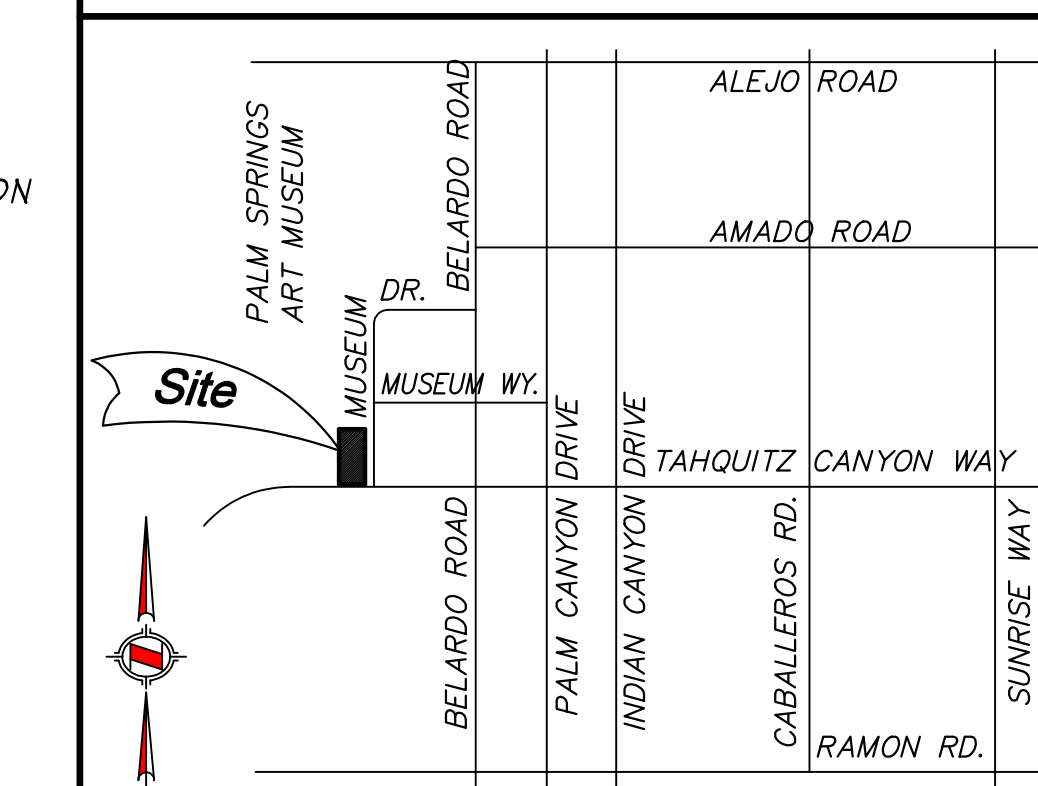
EXISTING ELECTRIC VEHICLE CHARGING SPACES:

EVC REQ.	VAN	ALL	STD.	ALL	AMBULATORY
TOTAL PARKING =	112	4	1	0	0

ACCESSIBLE PARKING SPACES:

TOTAL PARKING:	112 - 5 REQUIRED
ACCESS SPACE PARKING PROVIDED	
REG. VAN	
	3 2

VICINITY MAP/LOCATION MAP



NOTE:

NO NEW PARKING SPACES ARE PROVIDED AS PART OF THIS PROJECT. THE NEW CONSTRUCTION OF PARKING AND EXHIBITION SPACE REDUCES THE EXISTING SOUTH PARKING LOT FROM 43 TO 20 SPACES.



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PROJECT TITLE:
ALUMINAIRE EXHIBIT at THE PALM SPRINGS ART MUSEUM

101 N. Museum Dr.
Palm Springs, California

SHEET TITLE:
REFERENCE SITE PLAN

REVISIONS

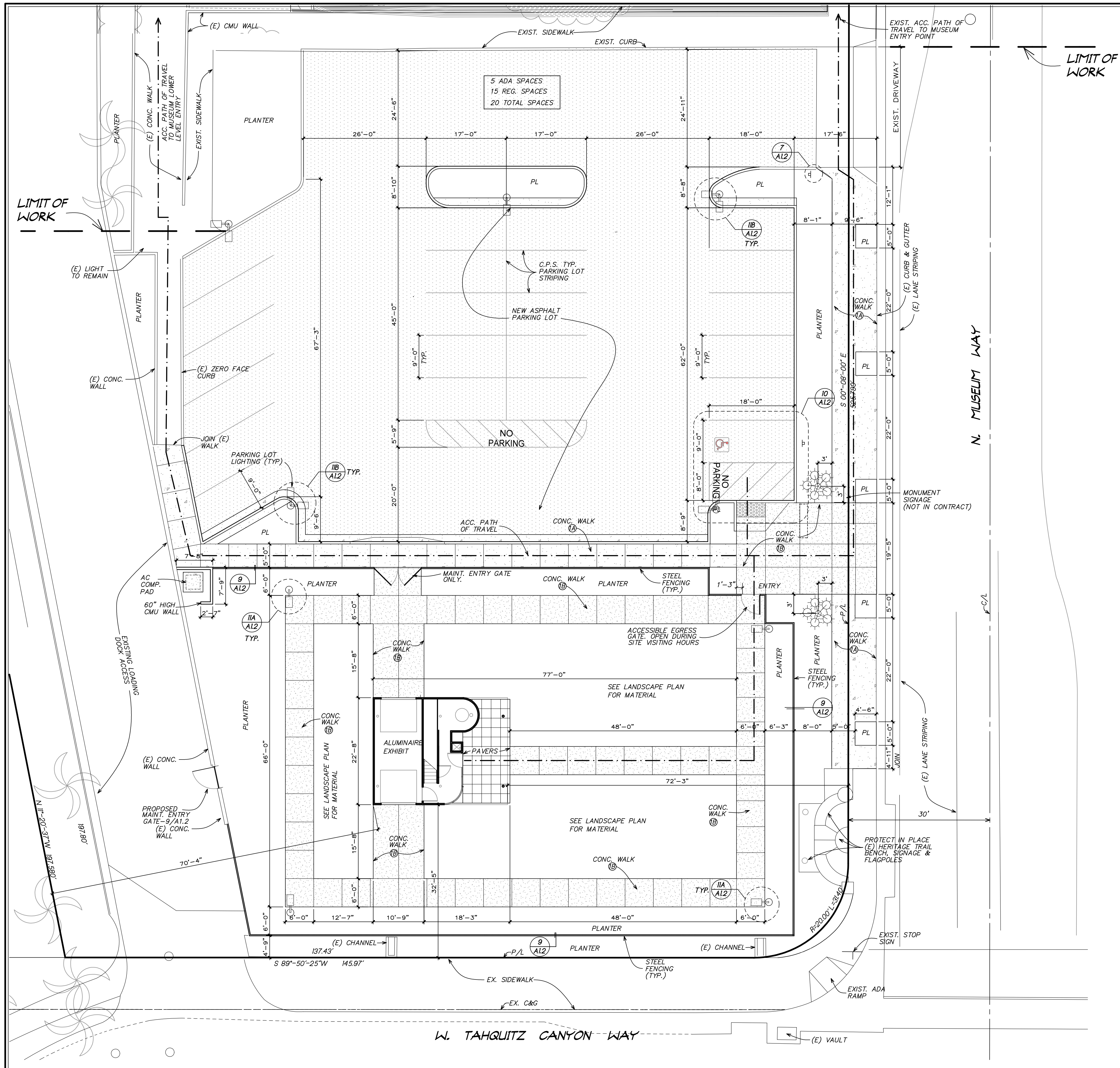
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U.O.	22-130	SCALE 1"=40'
FILE NAME	A10 SITE PLAN	
SAVE DATE	2/26/2023	
DRAWN	User	
SHEET NO.		

A1.0

P:\Unsaved Files\22-130 Aluminare Area\CONST.DWG (REVISED) PLOT DATE 2/21/2023 11:41 AM



1. SITE DEVELOPMENT

A. GRADE AND DEVELOP SITE THAT ALL BUILDING ENTRANCES, REQUIRED EXITS, AND OTHER ACCESS POINTS TO THE BUILDING, AS DESIGNATED BY THE GOVERNING AGENCY, ARE ACCESSIBLE TO THE PHYSICALLY DISABLED FROM BOTH THE PUBLIC WAY AND FROM THE SPECIAL PARKING SPACE(S) PROVIDED FOR THE DISABLED. THE ACCESSIBLE ROUTE OF TRAVEL SHALL BE PROVIDED BETWEEN ALL BUILDINGS AND FACILITIES ON THE SITE.

ACCESSIBLE ROUTE OF TRAVEL
 --- ACCESSIBLE PATH OF TRAVEL

NOTE: ACCESSIBLE ROUTE OF TRAVEL IS DEFINED AS A "CONTINUOUS UNOBSTRUCTED PATH CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES IN AN ACCESSIBLE BUILDING OR FACILITY THAT CAN BE NEGOTIATED BY A PERSON WITH A SEVERE DISABILITY USING A WHEELCHAIR, AND THAT IS ALSO SAFE FOR AND USABLE BY PERSONS WITH OTHER DISABILITIES, AND THAT ALSO IS CONSISTENT WITH THE DEFINITION OF "PATH OF TRAVEL" IN SECTION 217-P AND 1102B."

- A. SITE DEVELOPMENT AND GRADING SHALL BE DESIGNED TO PROVIDE ACCESS TO ALL AND ENTRANCES AND EXTERIOR GROUND FLOOR EXITS, AND ACCESS TO NORMAL PATHS OF TRAVEL, AND WHERE NECESSARY TO PROVIDE ACCESS, SHALL INCORPORATE PEDESTRIAN RAMPS, ETC. SEC. 1127B.1.
- B. AT LEAST ONE ACCESSIBLE ROUTE WITHIN THE BOUNDARY OF THE SITE SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING, ACCESSIBLE PASSENGER SIDEWALKS TO THE ACCESSIBLE BUILDING THEY SERVE. WHEN MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES SHALL BE ACCESSIBLE SEC. 1114B.1.2.
- C. WHEN MORE THAN ONE BUILDING OR FACILITY IS LOCATED ON A SITE, ACCESSIBLE ROUTES OF TRAVEL SHALL BE PROVIDED BETWEEN BUILDINGS AND ACCESSIBLE SITE FACILITIES. SEC. 1114B.1.2 AND 1127B.1.
- D. THE ACCESSIBLE ROUTE OF TRAVEL SHALL "BE THE MOST PRACTICAL, DIRECT ROUTE BETWEEN ACCESSIBLE BUILDING ENTRANCES, ACCESSIBLE SITE FACILITIES ENTRANCE, TO THE SITE TO THE MAXIMUM EXTENT FEASIBLE, COINCIDING WITH THE ROUTE FOR THE GENERAL PUBLIC" SEC. 1114B.1.2 AND 1127B.1.
- E. PROVIDE SIGNS DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND EVERY PRIMARY PUBLIC ENTRANCE AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO THE ACCESSIBLE ROUTE OF TRAVEL. SIGNS SHALL INDICATE THE DIRECTION TO THE ACCESSIBLE BUILDING ENTRANCES AND SHALL COMPLY WITH SECTION 1117B.5 SEC. 1127B.3.
- F. ALL COMMON USE AREAS THAT SERVE ADAPTABLE DWELLING UNITS SHALL BE ACCESSIBLE. THIS INCLUDES RECREATIONAL AREAS, POOLS, TRAILS, WALKS, PLAYGROUNDS, LAUNDRY ROOMS, PARKING AREAS, ETC. SEC. 1102A.3, 1105A AND 1107A.1.

ALL PATH OF TRAVEL SLOPES

5% MAX. RUNNING SLOPE
 2% MAX. CROSS SLOPE

LEGEND:

- NEW PARKING LOT / SITE LIGHTING
SEE ELECTRICAL SITE PLAN - POLE DETAIL SEE SHT. A1.2
- RELOCATE EXIST. PARKING LOT LIGHTING
SEE ELECTRICAL SITE PLAN
- CONCRETE WALK 1A
FINISH: GREY TO MATCH CITY STANDARD.
BROOM FINISH
- CONCRETE WALK 1B
FINISH: COLORED CONCRETE WALK W/ MICA/SILICARB
FINISH - COLOR LIGTH GREY BY DAVIS
- STONE PAVERS
ALBERNCE BLUE STONE
- STEEL FENCING - SEE DETAIL 9/SHT. A1.2
- PL INDICATES PLANTER - 3/8 GREY GRAPHITE DECOMPOSED GRANITE
- P/L INDICATES PROPERTY LINE
- C/L INDICATES CENTERLINE
- C&G INDICATES CURB & GUTTER
- ACC. INDICATES ACCESSIBLE
- C.P.S. INDICATES CITY OF PALM SPRINGS
- TYP. INDICATES TYPICAL



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PROJECT TITLE:
ALUMINAIRE EXHIBIT at THE PALM SPRINGS ART MUSEUM

101 N. Museum Dr.
 Palm Springs, California

SHEET TITLE:
ARCHITECTURAL SITE PLAN

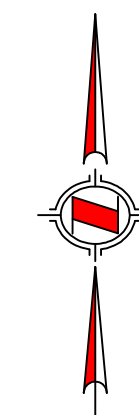
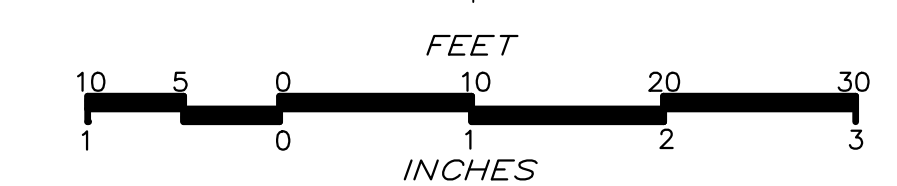
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W.O.	22-130	SCALE 1"=10'
FILE NAME	A10 SITE PLAN	
SAVE DATE	2/26/2023	
DRAWN	User	
SHEET NO.	A1.1	

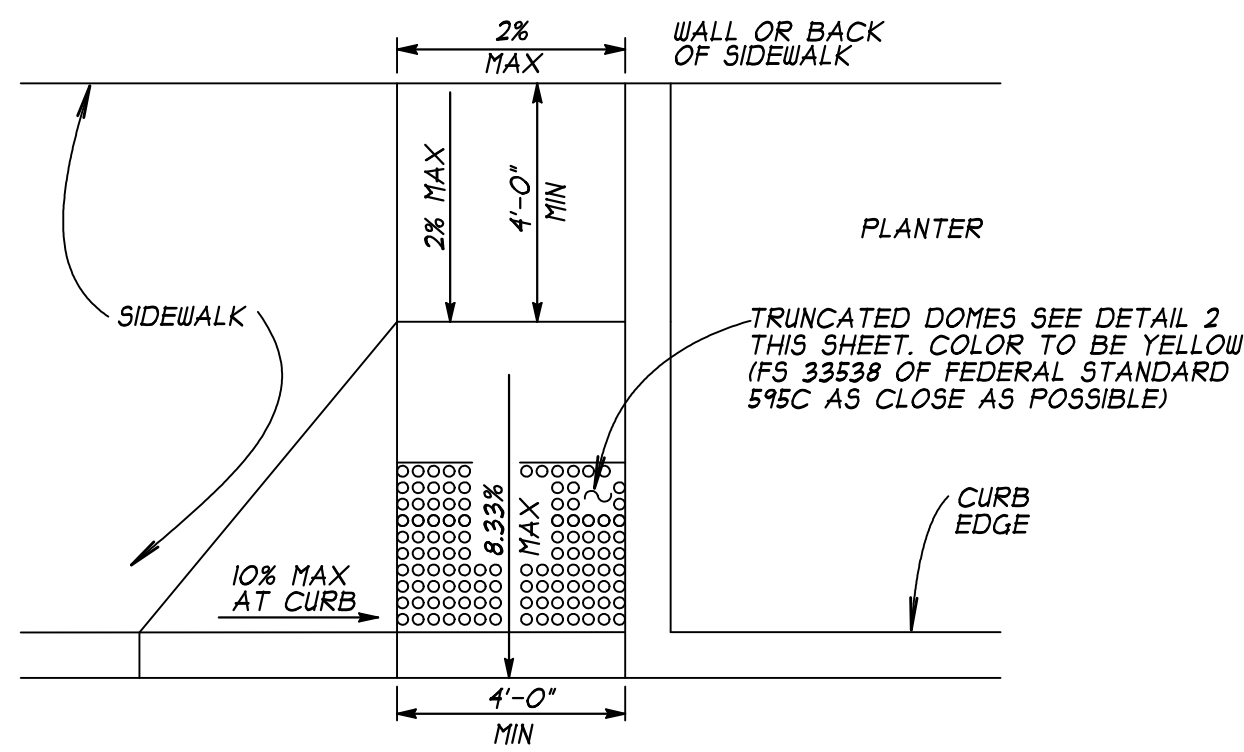
1 SITE PLAN
 SCALE 1"=10'



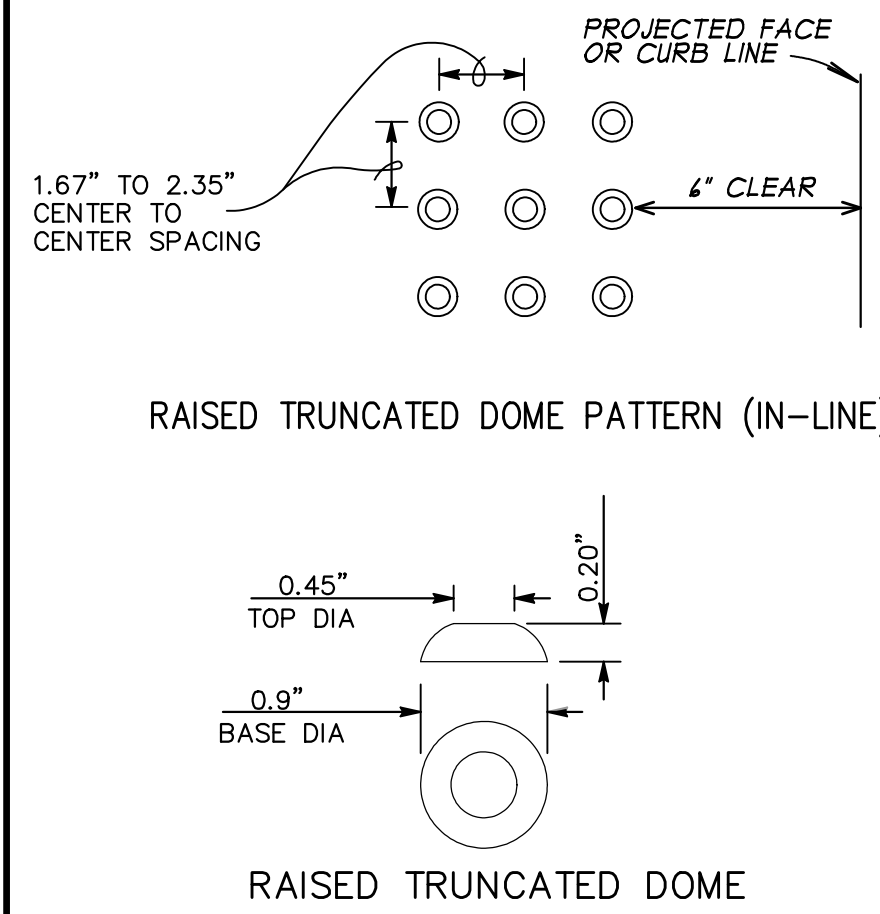
2:Unrevised File:132-Dated: File:132-30 Aluminaire Exhibit CONST. DOCS (REVISED)

NOTES:

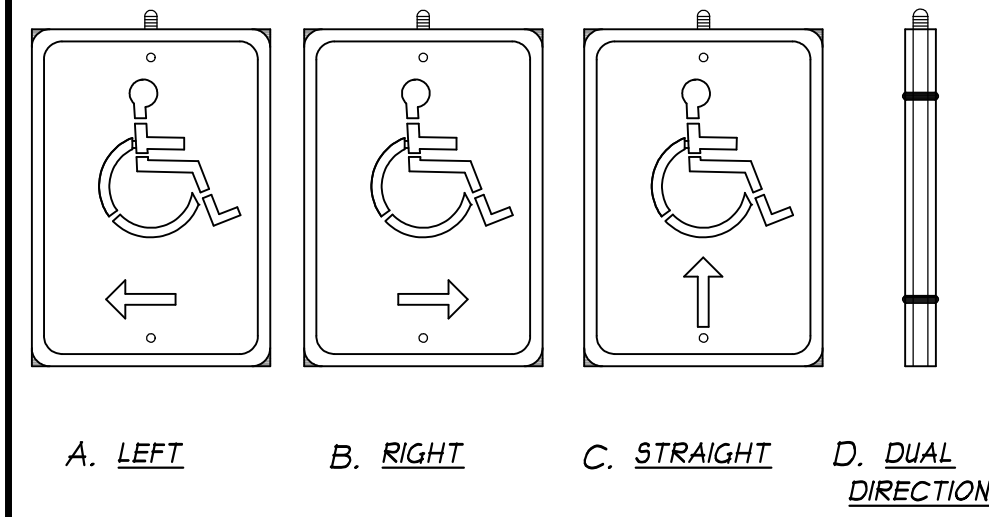
- CURB RAMPS SHALL HAVE A DETECTABLE WARNING SURFACE THAT EXTENDS THE FULL WIDTH OF THE RAMP. DETECTABLE WARNING SURFACES SHALL CONFORM TO THE DETAILS ON THIS PLAN AND THE REQUIREMENTS OF CBC 11B-102.1.3
- THE EDGE OF THE DETECTABLE WARNING SURFACE NEAREST THE STREET SHALL BE BETWEEN 4" TO 8" FROM THE GUTTER FLOWLINE.



1. TYPE 'A' CURB RAMP

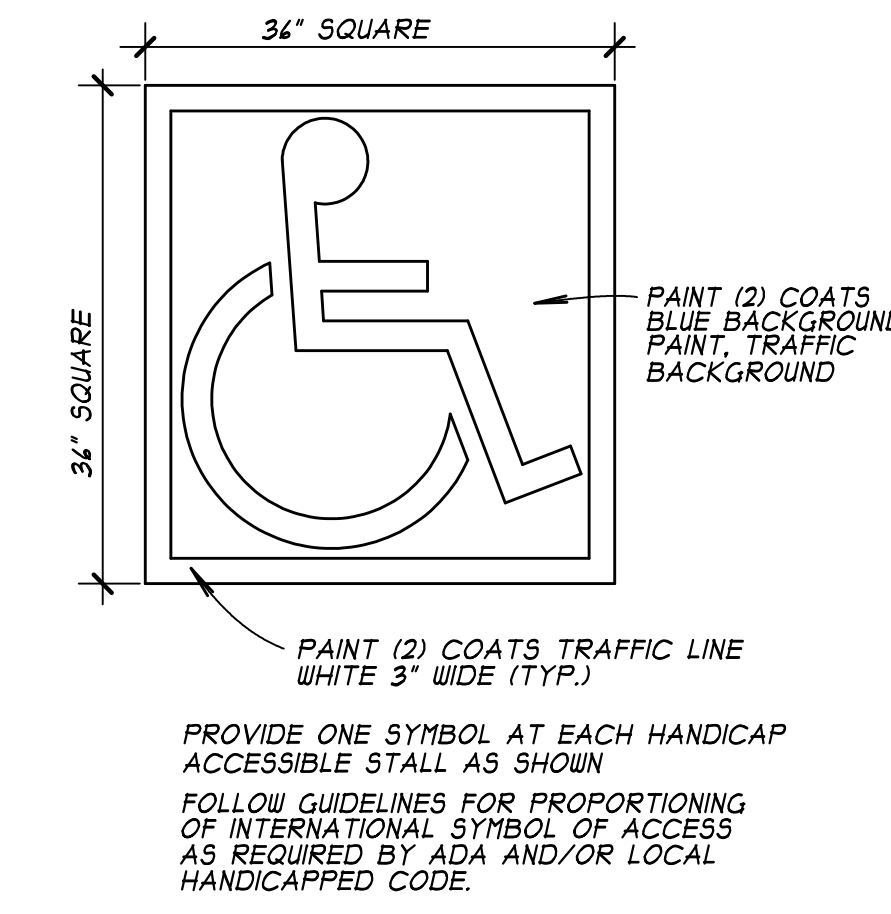


2. DETECTABLE WARNINGS DET.

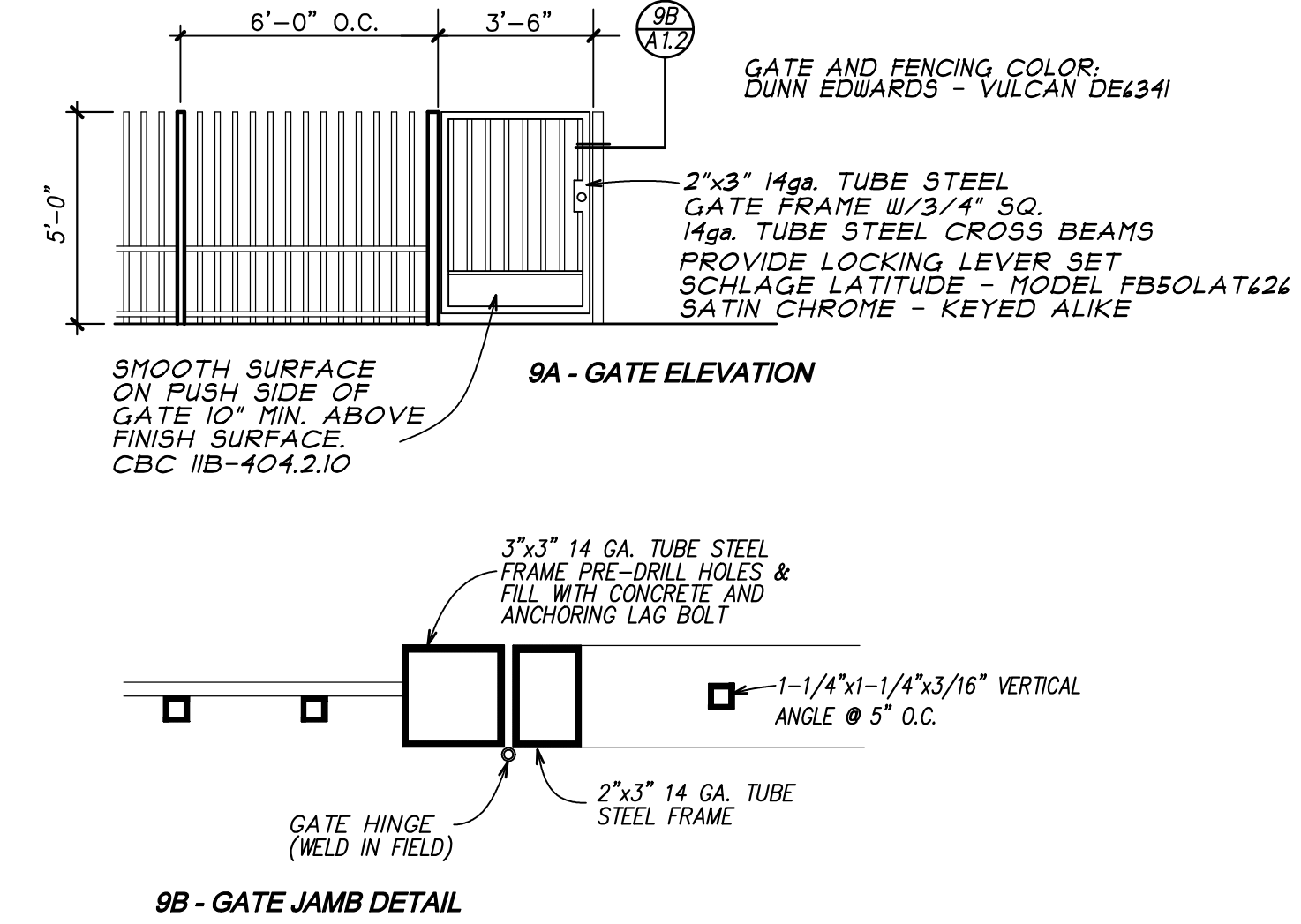


- NOTES:**
- USE APPROPRIATE ARROWS TO INDICATE ACCESSIBLE PATH OF TRAVEL
 - WHITE (REFLECTORIZED) SYMBOLS & BLUE BACKGROUND
 - 12"x18" SIGNS SHALL BE MOUNTED SO THEY DO NOT PROJECT INTO PATH OF TRAVEL - IF SIGN DOES NOT PROJECT PATH OF TRAVEL, THE SIGN SHALL BE MOUNTED 11" BOTTOM EDGE AT 80" MIN. ABOVE THE GROUND SURFACE.

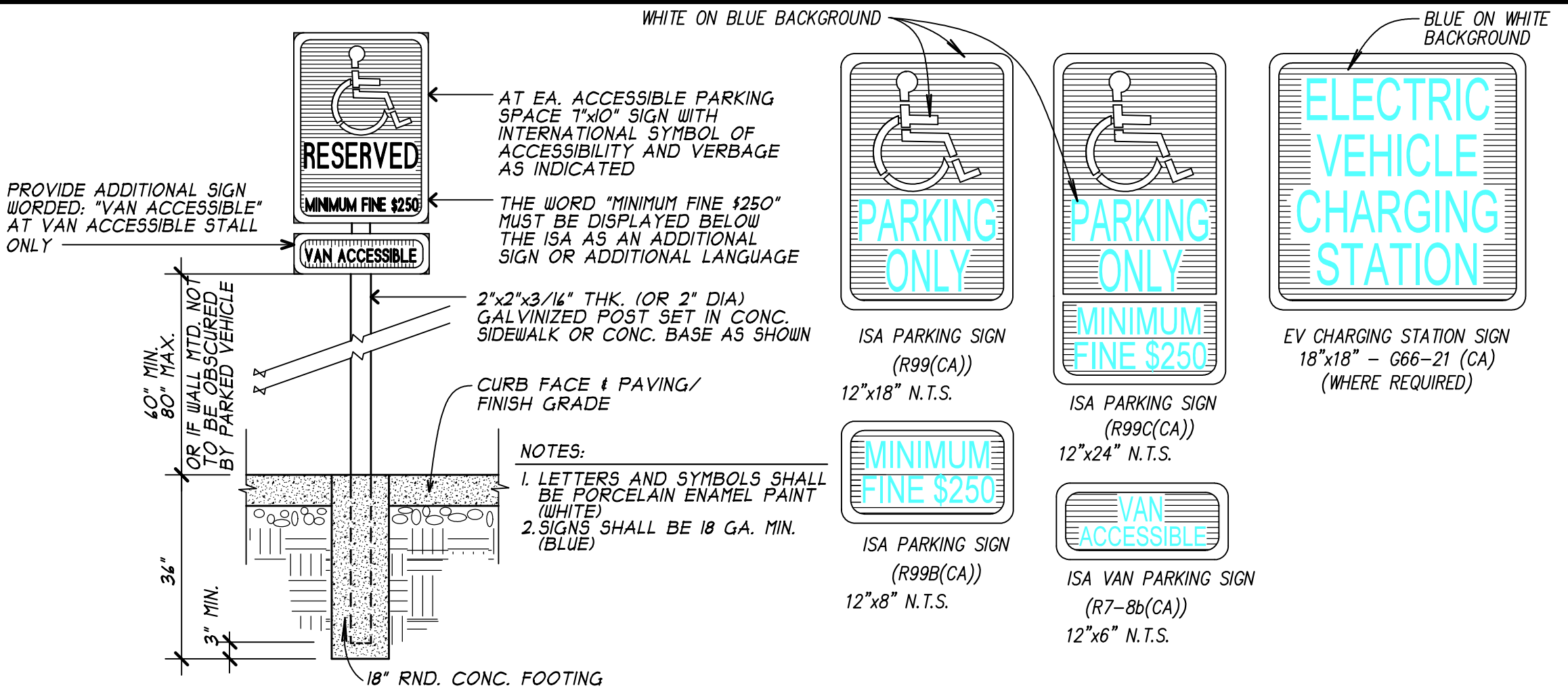
3. DIRECTIONAL SIGNS



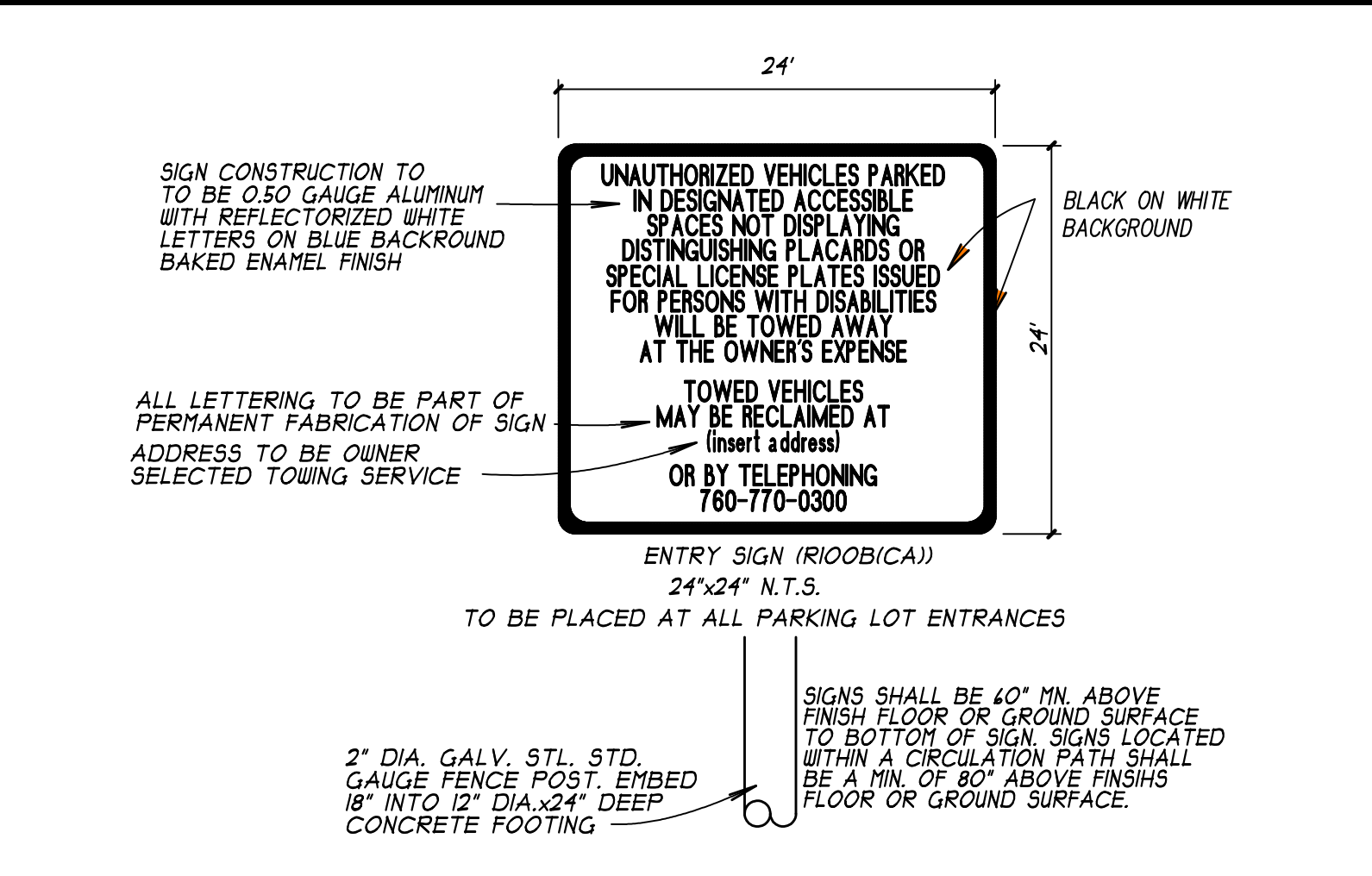
4. ACCESSIBLE STALL SYMBOL



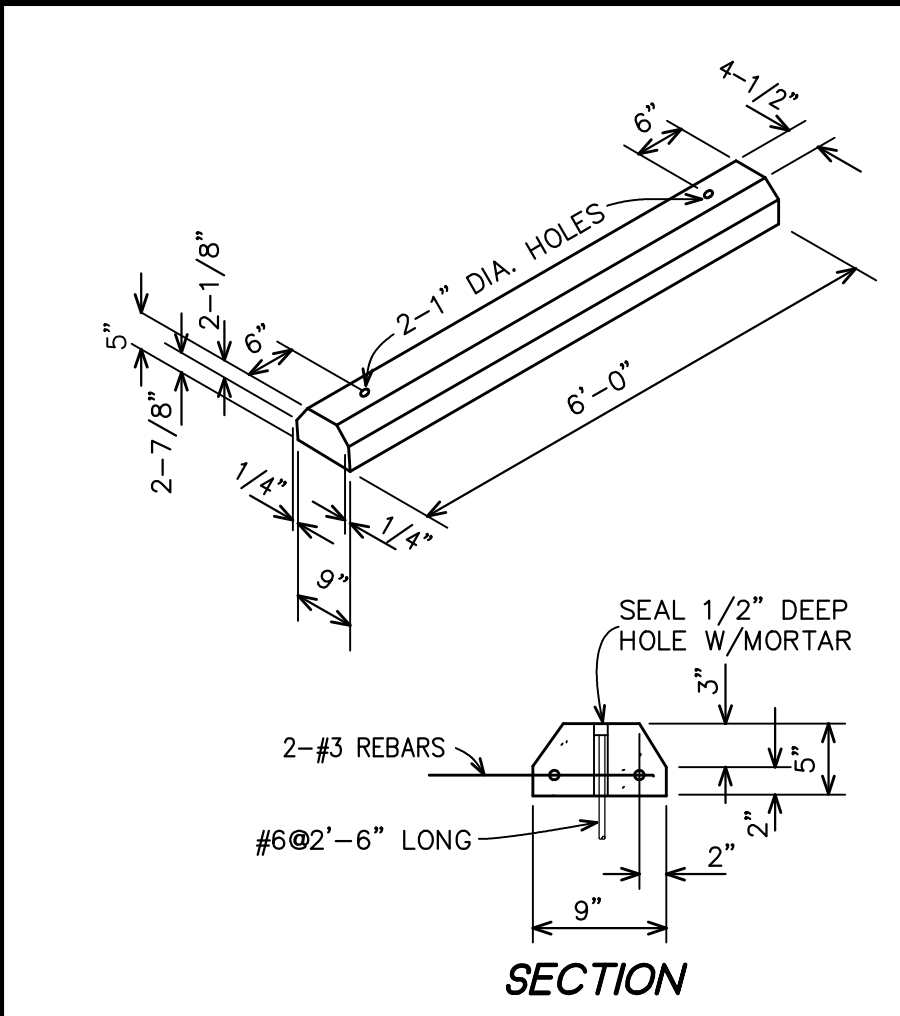
9B - GATE JAMB DETAIL



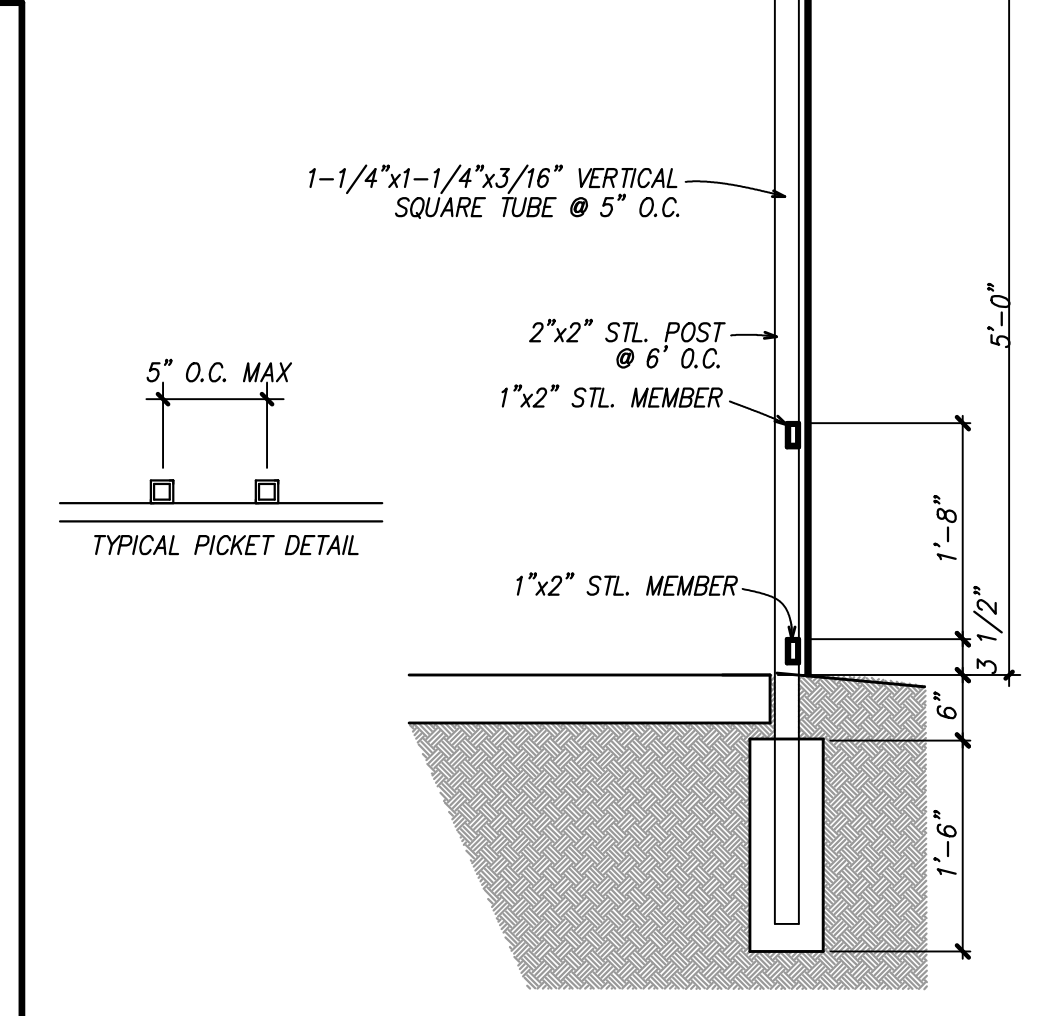
6. ADA PARKING SPACE SIGNAGE



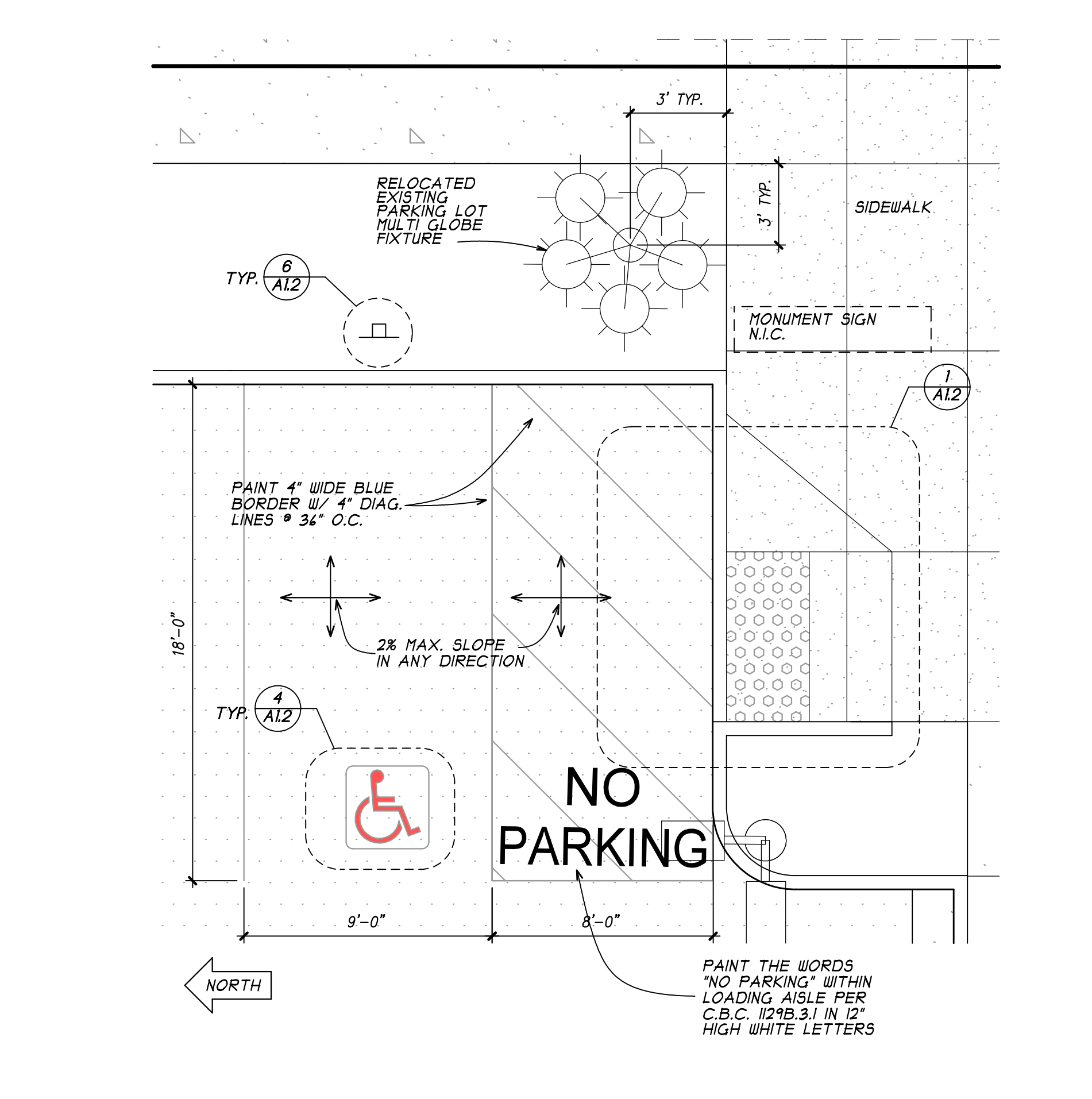
7. UNAUTHORIZED VEHICLE WARNING SIGN



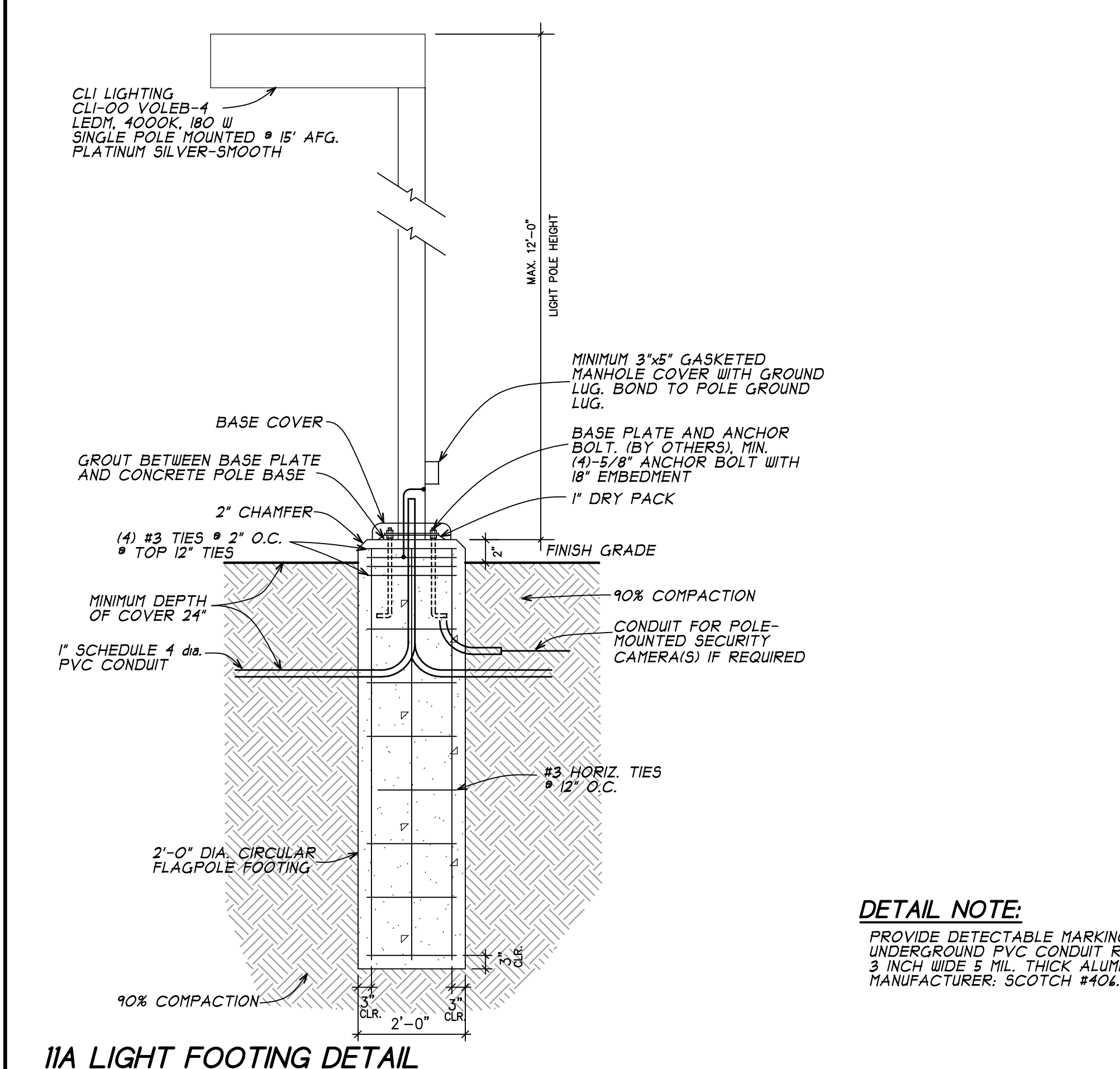
8. PRECAST WHEEL STOP



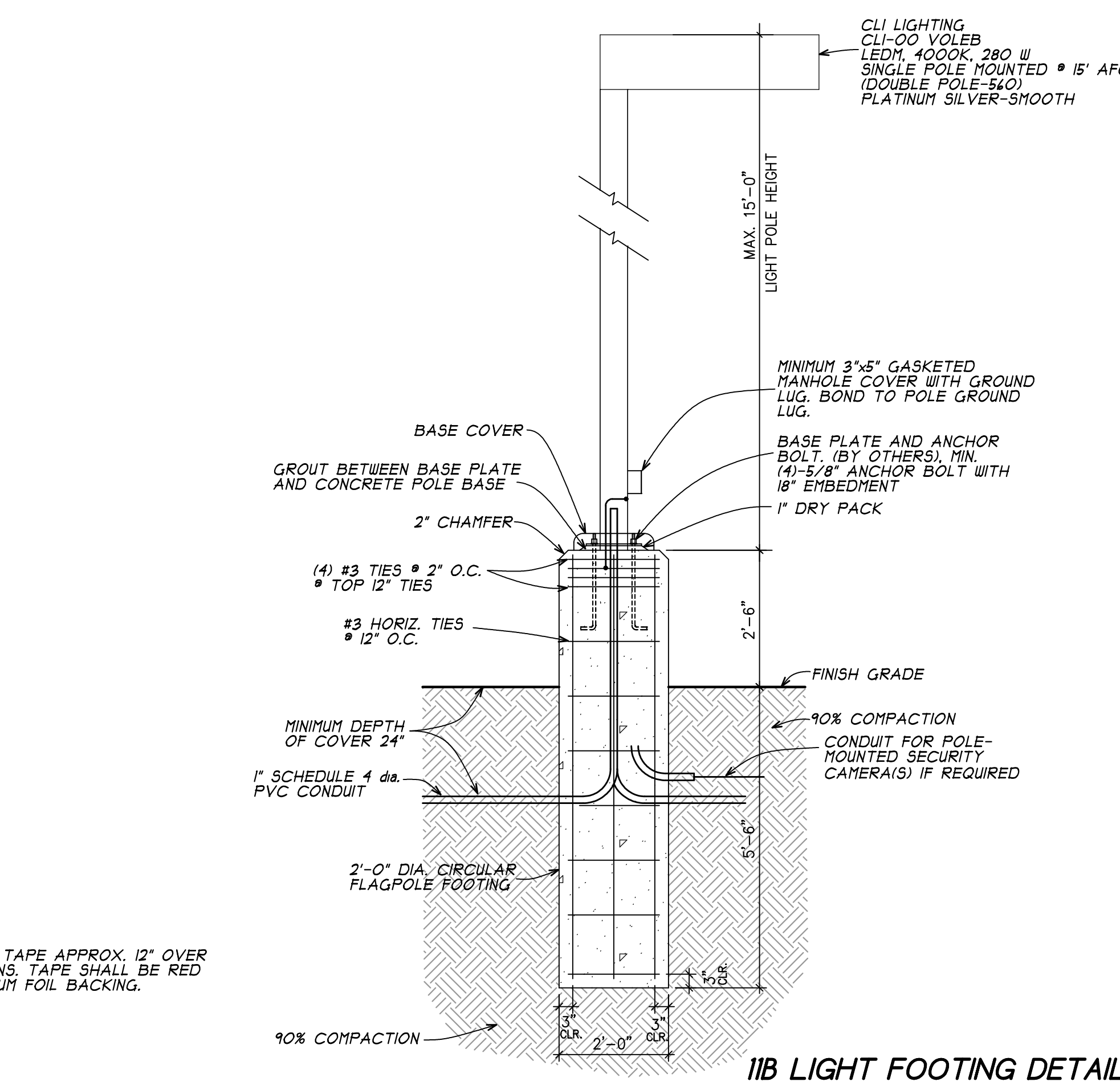
9. STEEL FENCE DETAIL



10. ENLARGED PLAN



11A LIGHT FOOTING DETAIL



11B LIGHT FOOTING DETAIL



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PROJECT TITLE:
 ALUMINAIRE EXHIBIT at THE PALM SPRINGS ART MUSEUM

101 N. Museum Dr.
 Palm Springs, California

SHEET TITLE:
 SITE DETAILS

REVISIONS

NO.	DESCRIPTION

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W.O. 22-130 **SCALE** AS SHOWN

FILE NAME A12 SITE DETAILS 2

SAVE DATE 2/21/2023

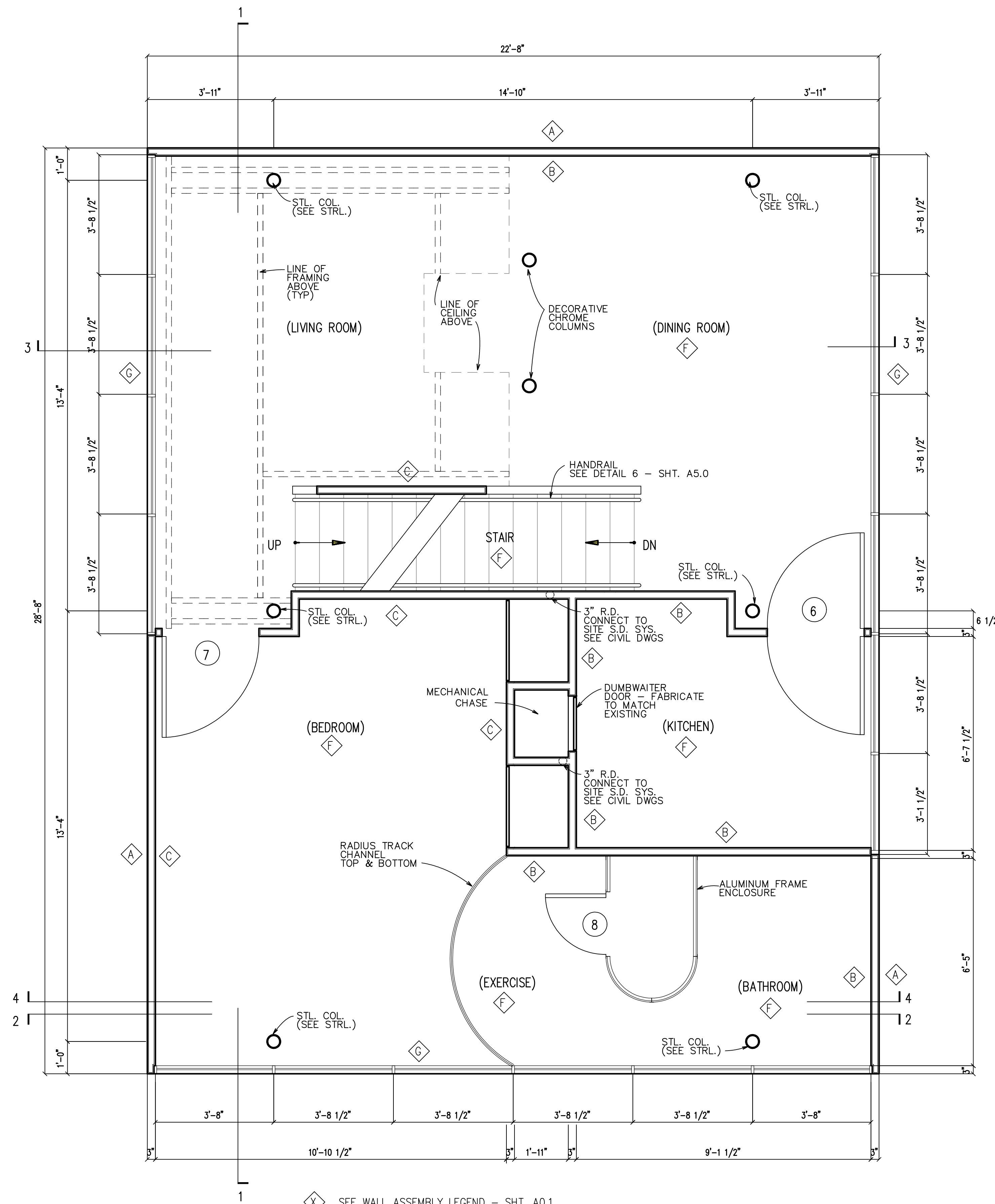
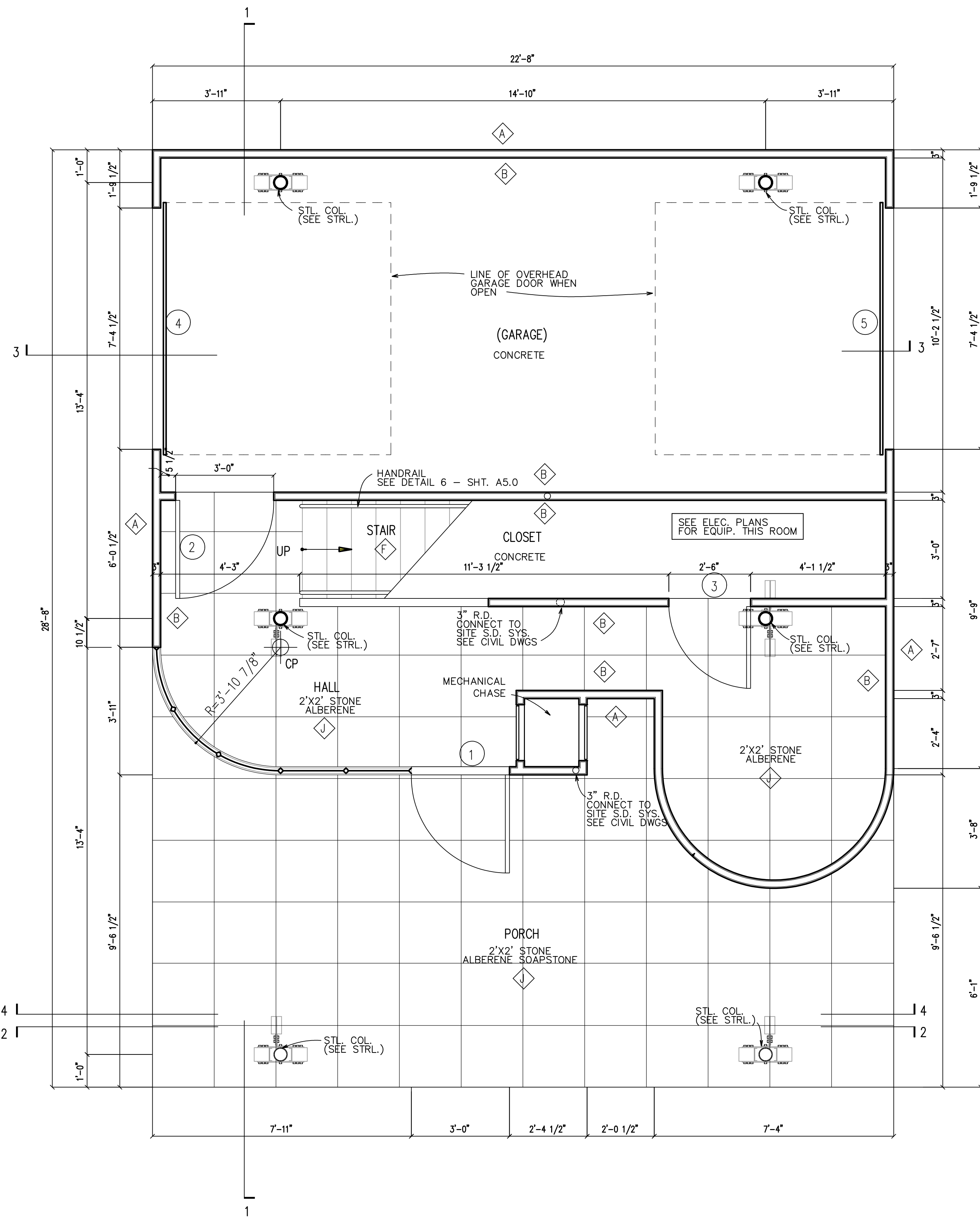
DRAWN User

SHEET NO.

A1.2

NO.	DESCRIPTION

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◇ SEE WALL ASSEMBLY LEGEND - SHT. A0.1

⊗ SEE DOOR SCHEDULE - SHT. A0.1

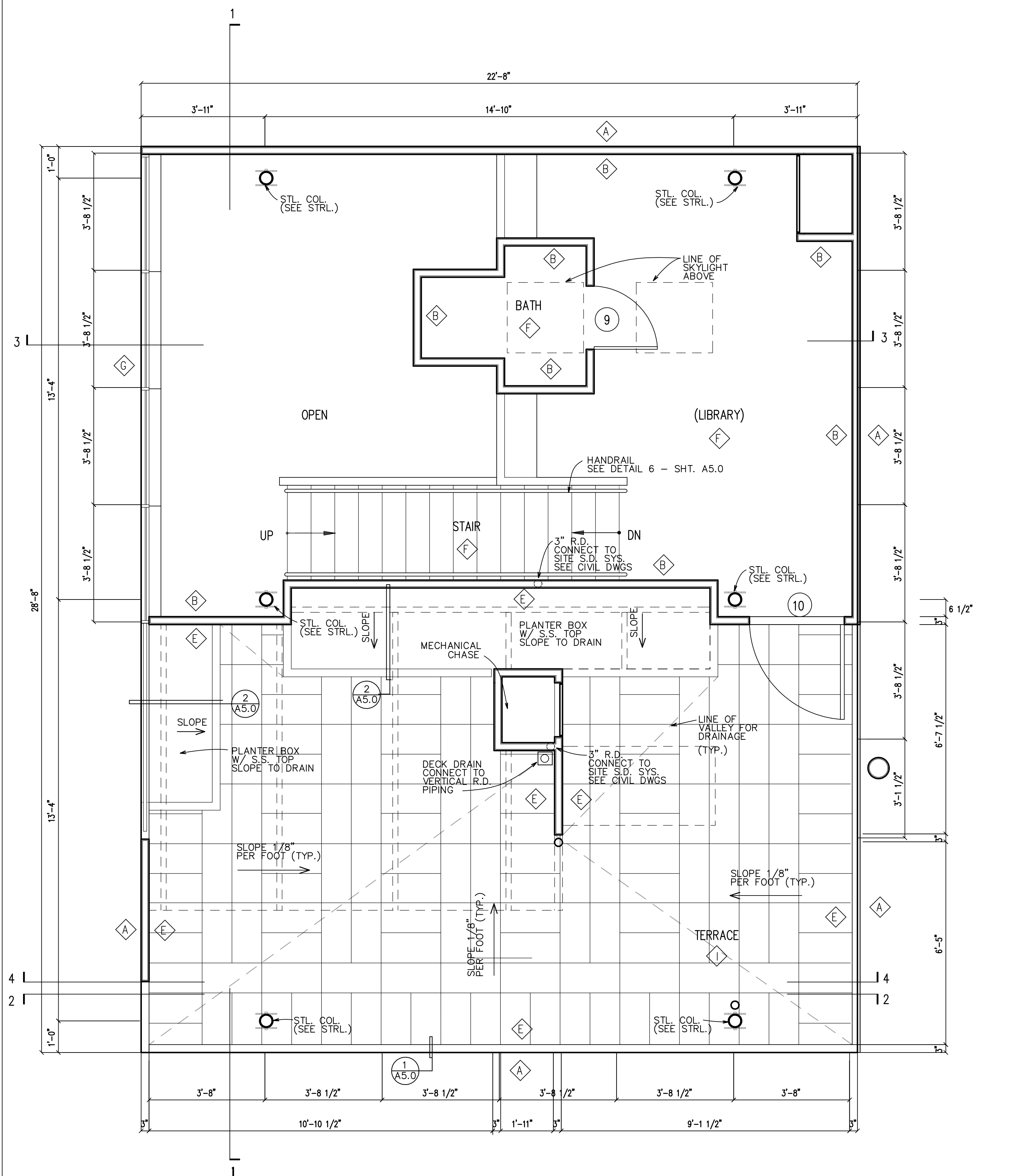
NOTE: 1931 BATHROOM FIXTURES AND KITCHEN SINK HAVE BEEN REMOVED FOR EXHIBIT

ROOF DRAINAGE
PER CALIFORNIA PLUMBING CODE APPENDIX D AND CHAPTER 11, 1101.12 ROOF DRAINAGE
TAPERED INSULATION TO VALLEYS AS SHOWN

PRIMARY ROOF DRAINAGE:
AREA 1: 300 SF X 0.021 GAL/SF/MINUTE = 6.3 GPM 2 PIPE REQUIRED (30 GPM MAX)
AREA 2: 180 SF X 0.021 GAL/SF/MINUTE = 3.78 GPM 2 PIPE REQUIRED (30 GPM MAX)

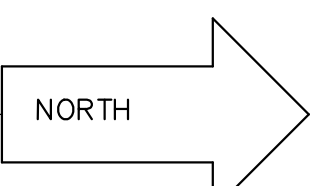
SECONDARY ROOF DRAINAGE:
OPEN-SIDED ROOF.
TABLE 1101.12- MAXIMUM ALLOWABLE HORIZONTAL PROJECTED ROOF AREAS AT 2 INCHES/HOUR RAINFALL = 1440 SF.
ACTUAL ROOF AREA = 480 SF < 1440 SF (SO OK)

ROOF DRAINS
THUNDERBIRD PRODUCTS - SIDE OUTLET ROOF DRAIN W/ OVERFLO W/ CLAMPING RING
3" OUTLET SIZE - NO HUB #RDCBNZ3NE-CL-LAL

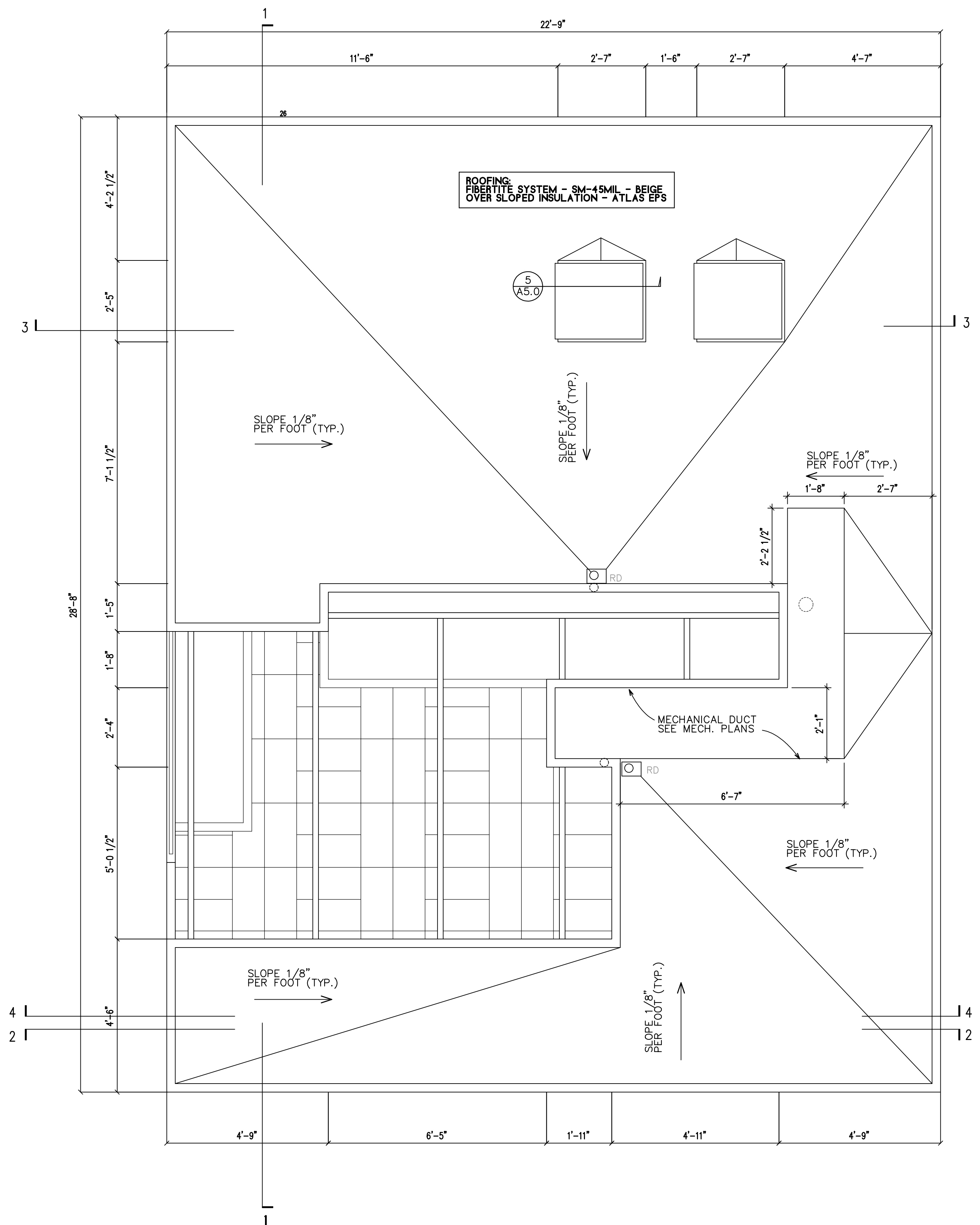


3 THIRD FLOOR PLAN
SCALE: 1/2" = 1'-0"

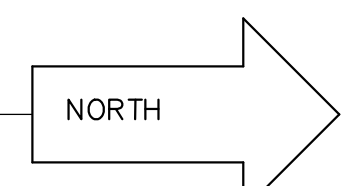
TAKEN @ EL. +3'-6" AFF.



NOTE: NO PLUMBING, BATHROOM FIXTURES
CABINERY INSTALLED IN THIS EXHIBIT



4 ROOF PLAN
SCALE: 1/2" = 1'-0"



PROJECT DATE: 2/21/2023, 8:18 PM, 2:\Users\meh123\Desktop\Floor 3D Aluminaire Exhibit CONST.DWG

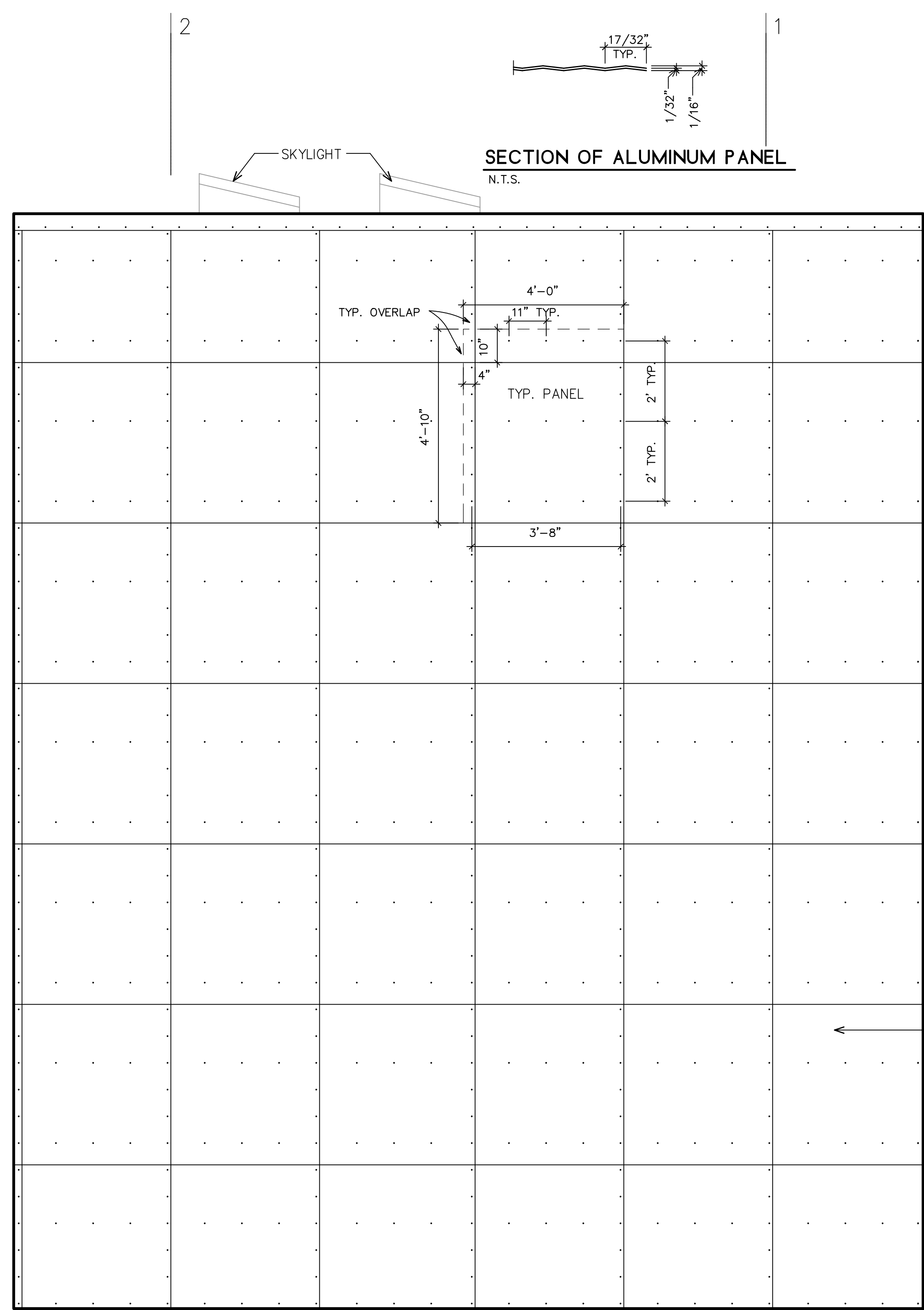
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W.O.	22-130	SCALE	1/2"=1'-0"
FILE NAME	A30 ELEVATIONS		
SAVE DATE	2/21/2023		
DRAWN	Allen Sanborn		
SHEET NO.			

A3.0



ELEV 27'-0"
T.O. DECK

ELEV 18'-0"
T.O. DECK

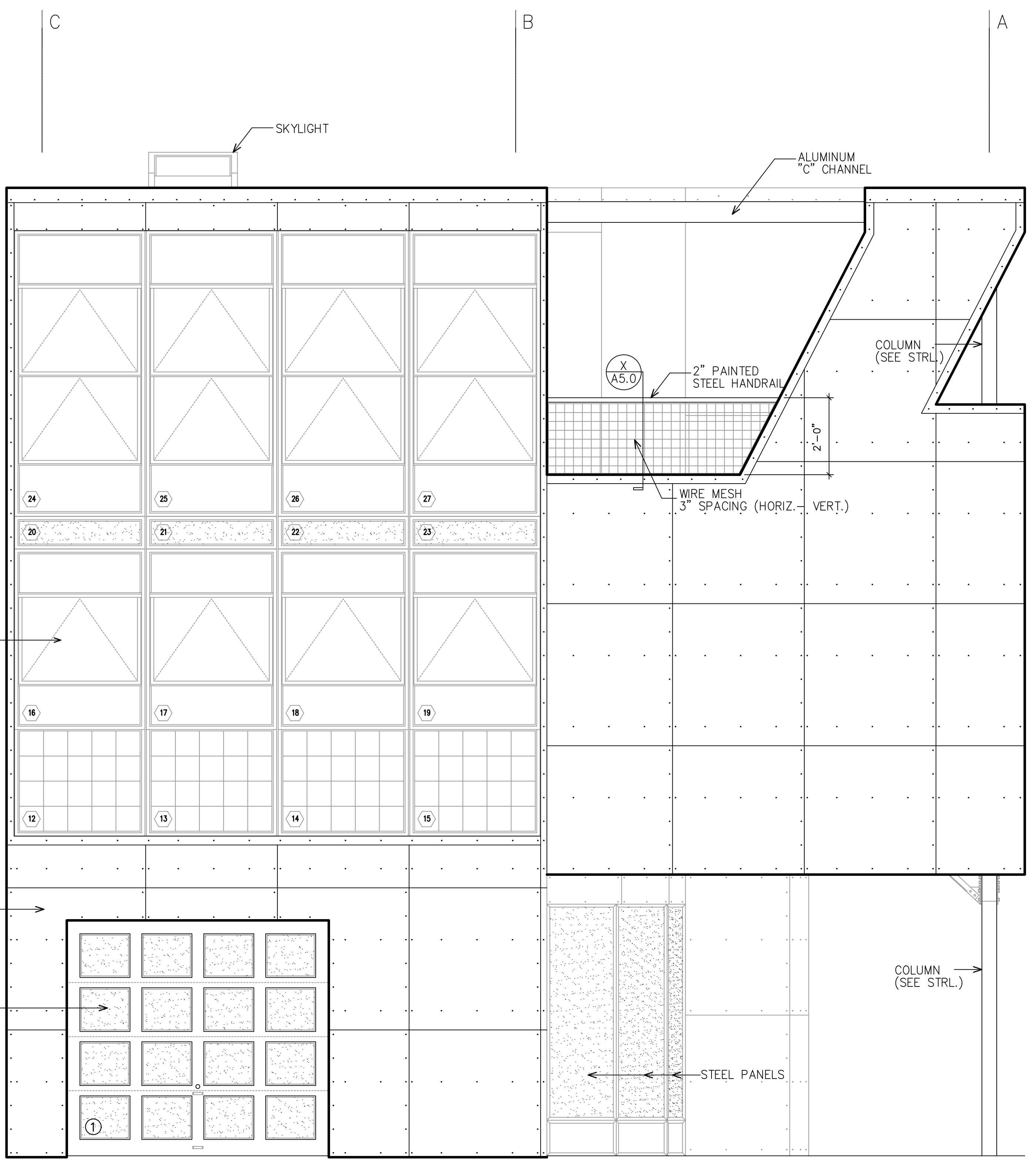
STEEL & GLASS
WINDOWS
SEE WINDOW SCHED.
SHT. A0.1

ELEV 9'-0"
T.O. DECK

ALUMINUM PANELS

ALUMINUM & GLASS
OVERHEAD GARAGE DOOR
SEE DOOR SCHED.
SHT. A0.1

ELEV 0'-0"
GRADE



⊗ SEE WINDOW SCHEDULE
SHT. A0.1

⊗ SEE DOOR SCHEDULE
SHT. A0.1

Z:\Desktop Files\22-130 Aluminare House\CONSTR\DOC31

PROJECT TITLE:
**ALUMINAIRE
EXHIBIT at
THE PALM SPRINGS
ART MUSEUM**
101 N. Museum Dr.
Palm Springs, California

SHEET TITLE:
**EXTERIOR
ELEVATIONS**

REVISIONS

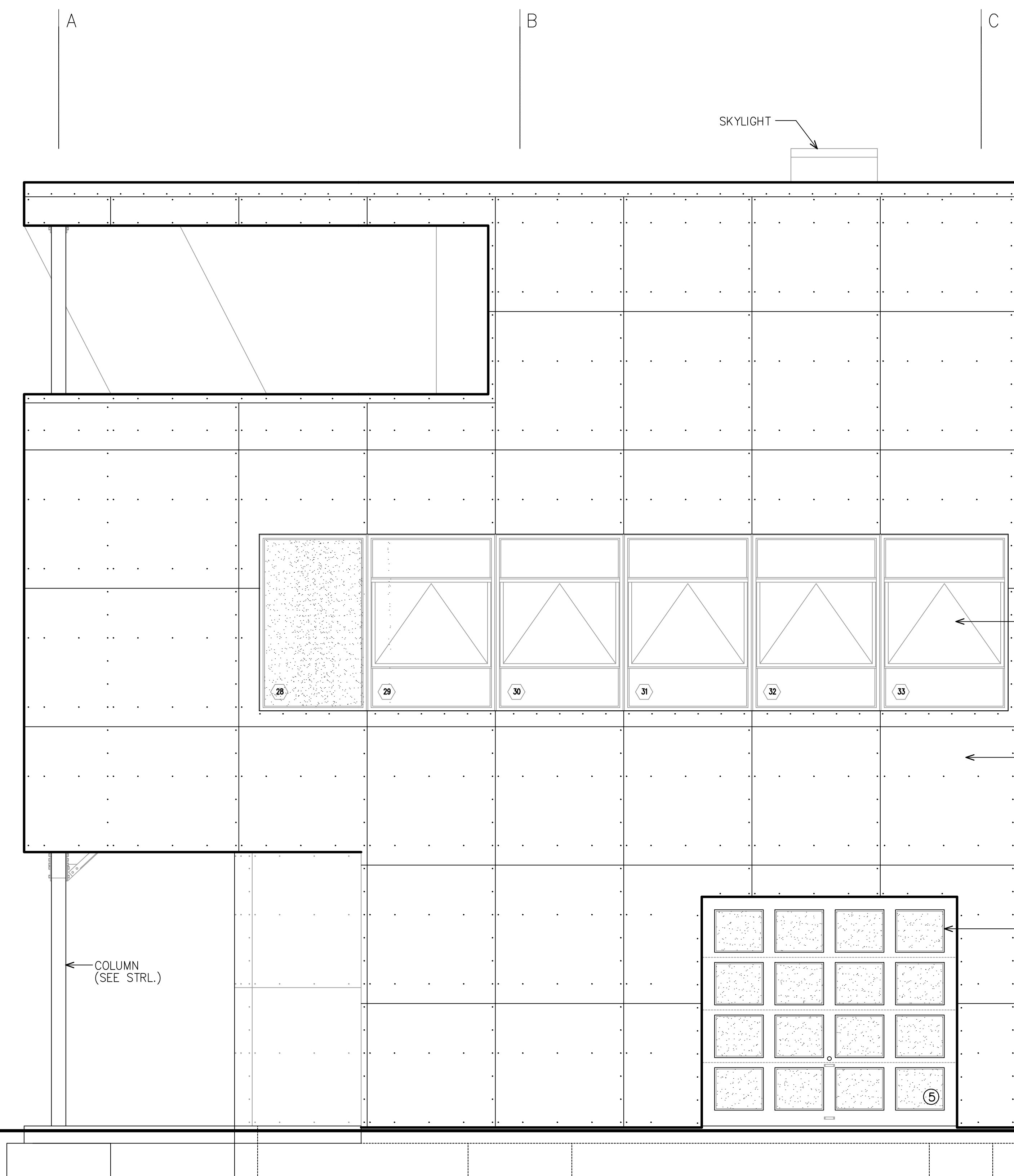
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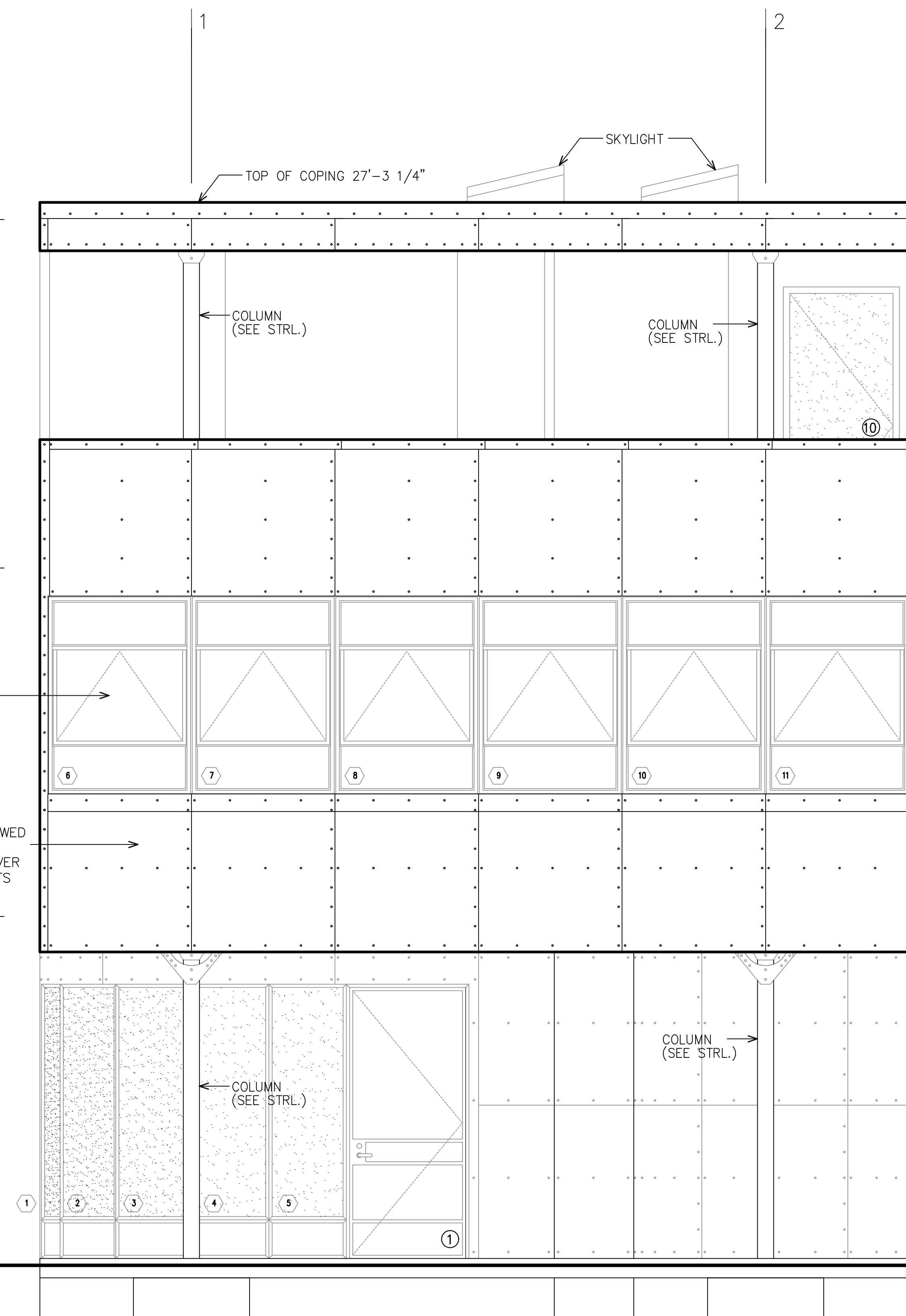
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W.O.	22-130	SCALE	1/2"=1'-0"
FILE NAME	A30 ELEVATIONS		
SAVE DATE	2/21/2023		
DRAWN	Allen Sanborn		
SHEET NO.			

A3.1



3 NORTH ELEVATION
SCALE: 1/2" = 1'-0"



4 EAST ELEVATION
SCALE: 1/2" = 1'-0"

⊗ SEE WINDOW SCHEDULE SHT. A0.1
⊗ SEE DOOR SCHEDULE SHT. A0.1

Z:\Users\Allen\OneDrive\Files\A30\A30 - Aluminaire Exhibit\Const\DOCS