



ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: JUNE 12, 2023

NEW BUSINESS

SUBJECT: A REQUEST BY JOHN ELLIOTT (OWNER), FOR A MAJOR ARCHITECTURAL APPLICATION TO CONSTRUCT A 5,064-SQUARE-FOOT SINGLE-FAMILY RESIDENCE ON A HILLSIDE LOT LOCATED ON LOT 12 WITHIN THE DESERT PALISADES SPECIFIC PLAN AREA, 2215 WINTER SUN VIEW DRIVE (APN: 504-390-012), ZONE ESA-SP, SECTION 4 (CASE 3.4370 MAJ). (GM)

FROM: Department of Planning Services

PROJECT DESCRIPTION:

This is a request for the approval of a Major Architectural (MAJ) application for the construction of a new 5,064-square-foot single-family residence on a 22,185-square foot lot within the Desert Palisades Specific Plan area. The Desert Palisades Specific Plan was adopted by the City Council on January 5, 2011 (Case 5.1154 SP). This project is required to be evaluated for consistency against the following guidelines and standards:

- Section 93.13.00 of the Zoning Code (Hillside Development).
- Section 94.04 of the Zoning Code (Architectural Review).
- Section III "Development Standards" (page 58), Section V "Architecture & Site Design Guidelines" (page 70), and Section VI "Landscaping Guidelines of the DPSP" (page 96) of the Desert Palisades Specific Plan
- Section 92.21.1.05 of the Zoning Code (Design Guidelines for the ESA-SP zone) including mandatory standards in Part "D" and findings outlined in Part "I".
- Section 94.06.01(B)(3) of the Zoning Code (Administrative Minor Modification)

RECOMMENDATION:

That the Architectural Review Committee approve the Major Architectural Application subject to the attached conditions.

BACKGROUND INFORMATION:

<i>Related Relevant City Actions</i>	
01/05/2011	The City Council approved the Desert Palisades Specific Plan and certified the Final Environmental Impact Report (EIR) for the project.
01/07/2015	The City Council approved an addendum to the previously certified EIR to extend the time frame in which grading activities could occur from December 31 st to January 31 st .

<i>Neighborhood Meeting/Neighborhood Notice</i>	
05/30/2023	Notice mailed by staff to adjacent property owners notifying that the subject project would be reviewed by the Architectural Review Committee on June 12, 2023.
06/07/2023	The surrounding neighborhood organizations within one (1) mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on June 12, 2023.

STAFF ANALYSIS:

<i>Site Area</i>	
Area	22,185-square feet – Lot 12

<i>General Plan and Zoning Designations</i>		
<i>General Plan Designation</i>	<i>Permitted Density (Max)</i>	<i>Compliance</i>
SPA	1 DU/40 Acres	Y
<i>Zoning Designation</i>		
ESA-SP Planning Area 4 (Desert Palisades Specific Plan)		

PSZC Section 94.04.00(E)(13) requires that the proposed application be consistent with any adopted Specific Plan or Planned Development District Design Standards:

<i>Applicable Specific Plan Area or Design Standards</i>	<i>Compliance</i>
Desert Palisades Specific Plan	Y

Development Standards:

Pursuant to PSZC Section 92.01.03, the following development standards apply:

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks			
• Front	25 Feet	25 Feet	Y
• Side (East)	10 Feet	10 Feet	Y
• Side (West)		10 Feet + 7'-6" no build easement	
• Rear	15 Feet	15 Feet	Y
Max. Lot Coverage	35%	23%	Y
Max. Building Height	18 Feet	15'-10" Feet	Y

<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Parking	2 spaces (covered)	2 spaces in garage	Y

Hillside Review Criteria:

PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
1.	<p><i>Rock and soil exposure;</i></p> <p>The proposed dwelling sits on top of the native terrain on an ungraded lot. The construction of the house on the rocky site will limit disturbance by building overtop an existing water course. This will be achieved using two poured in place foundation walls that will channel water run-off underneath the first-floor slab of the structure. In addition, a round pylon will suspend the north-east corner of the house over the drainage route to minimize interruption. There will be no disturbance of the 7'-5" foot "no-build" easement along the west property line and will stay in its naturalized appearance. The lot frontage along (Winter Sun Drive) slopes from a high point on the west to a lower elevation on the east with the street siting twelve (12) feet below the finished floor of the house at the middle point. The driveway at the high point will provide access to the side loaded garage and motor court. The placement of the house elevated above the existing water course using concrete support walls will allow the new structure to integrate into the natural environment.</p>	Y
2.	<p><i>Size of building pad;</i></p> <p>The new construction will utilize two foundation walls and concrete pylon channeling the existing water course underneath the building slab resulting in a limited area of the site disturbance. The design of the house with internal steps will terrace the structure down the hillside and blend into the natural topography. The project conforms to DPSP standards for non-mass grading.</p>	Y
3.	<p><i>Design considerations, such as supporting stilts, colors and building arrangement;</i></p> <p>The proposed home is contemporary/modern in its aesthetic and proposed colors and materials are harmonious with the site.</p>	Y

	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
4.	<i>Screening of parking areas;</i> The two-car garage and motor court will be screened from view as it is sited at the western end of the house which is accessed from a driveway at the high point of the lot. The sloping parcel allows the house design to take advantage of the topography and orient the house in a manner that meets the DPSP guidelines.	Y
5.	<i>Landscaping plans;</i> The proposed landscape plan includes multi-trunk Desert Museum Palo Verde, and Olive trees, Agave, Brittlebush, Yucca and, Barrell Cactus, plants interspersed between boulders.	Y
6.	<i>Continuity with surrounding development;</i> The proposed house is similar in design to others currently built and under construction in DP.	Y
7.	<i>Sensitivity to existing view corridors.</i> Views are preserved and directed, building and landscape sited to not block views from adjacent parcels.	Y

Conclusion: The project is consistent with the architectural guidelines of Zoning Code Section 93.13.00. (“Hillside Development”).

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i> The home is appropriately sited on the lot with the outdoor living areas oriented to the south-east of the parcel taking advantage of views and solar angles and will be finished on all sides with a consistent design. The topography along with the design of the house with a maximum height of 15'-10" feet will not exceed the determined “pillow” height of eighteen (18) feet. The proposed design will be finished on all four sides and meets the standard from the DPSP guidelines.	Y
2.	<i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i> There are no accessory structures proposed.	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
3.	<i>The façade elements and fenestration are composed in a harmonious manner;</i>	Y
	The project proposes simplistic façade elements and fenestration treatment to showcase the details and contrast of building materials and colors. The position of the proposed residence with strong horizontal elements appears elevated above the ground as if floating above the lot. The long flat roof and wall elements terracing down the hillside will add movement and interest to the residence when viewed from the street.	
4.	<i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i>	Y
	Building materials suitable for harsh desert climate and conforming to the architectural guidelines of the DPSP are proposed.	
5.	<i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i>	Y
	Materials and colors proposed include smooth textured stucco in light gray colors for the main body, vertical wood panel walls and eaves, board-formed concrete for foundation and walls, black steel and metal eaves, dark anodized metal window and door frames with glazing. Other finishes include pavers for the driveway and concrete surfaces which are durable and appropriate for a harsh desert climate.	
6.	<i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i>	Y
	The structure is oriented east/west fronting the street with the outdoor living area facing south. The main great room/kitchen leading to the internal terrace on the south side has a wide overhang providing solar control and interest for the building architecture.	
7.	<i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i>	Y
	The site is proposed in a naturalized form, with some disturbance to the existing terrain. The “no-build” easement on the west property line will be maintained in a natural state. The new plants will meet the planting requirements for the DPSP for plant type and species and confirm to Chapter 8.60 of the PSMC.	

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
8.	<p><i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i></p> <p>The proposed landscape plan includes multi-trunk Desert Museum Palo Verde, and Olive trees, Agave, Brittlebush, Yucca and, Barrell Cactus, plants interspersed between boulders.</p>	Y
9.	<p><i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i></p> <p>There are no public sidewalks or pathways present on the lots.</p>	N/A
10.	<p><i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i></p> <p>The project proposes a variety of landscape light fixtures, which include LED in ground lights with stainless steel trim, recessed LED ceiling lights under the eaves, 3” bronze spotlights focused on rock features, and linear LED tape lights under steps.</p>	Y
11.	<p><i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i></p> <p>No signage proposed.</p>	N/A
12.	<p><i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i></p> <p>The mechanical equipment for the house will be ground mounted and placed along the foundation wall of the drainage channel underneath the first-floor slab. Pool equipment will be in a separate underground pit accessed from the channel and an access door from the deck.</p>	Y
13.	<p><i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i></p>	Y

	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The proposed dwelling demonstrates an integrated solution to the challenges inherent with construction in an environmentally sensitive area. The project is comprehensive in its coordination of materials, landscape, color, massing, and an overall design sensitive to the unique characteristics of the site. The overall height of the structure is within the specified DPSP guidelines.	

Furthermore; DPSP Sections V (“Architecture and Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC Section 92.21.1.05 (“Findings Required for Approval”) were evaluated and the proposed project is consistent with these regulations.

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”), and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Single-Family Residence).

CONCLUSION:

The project proposes good integration of the structure, terraces, and other elements into the natural features of the site with minimal disturbance to terrain and vegetation. Where disturbance is unavoidable, appropriate site restoration techniques are proposed. Full integration of the proposed dwelling into the natural characteristics of the site has been achieved to the greatest extent possible. The proposed dwelling is consistent with the design guidelines of the DPSP with respect to low roof lines, minimal cut and fill and thoughtful solutions to integrate the home into the site and Staff recommends approval. As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”) and 94.04.00 (“architectural review”); the Architecture, Landscaping and Design Guidelines of Desert Palisades Specific Plan Sections V (“Architecture ad Site Design”) and VI (“Landscaping Guidelines”).

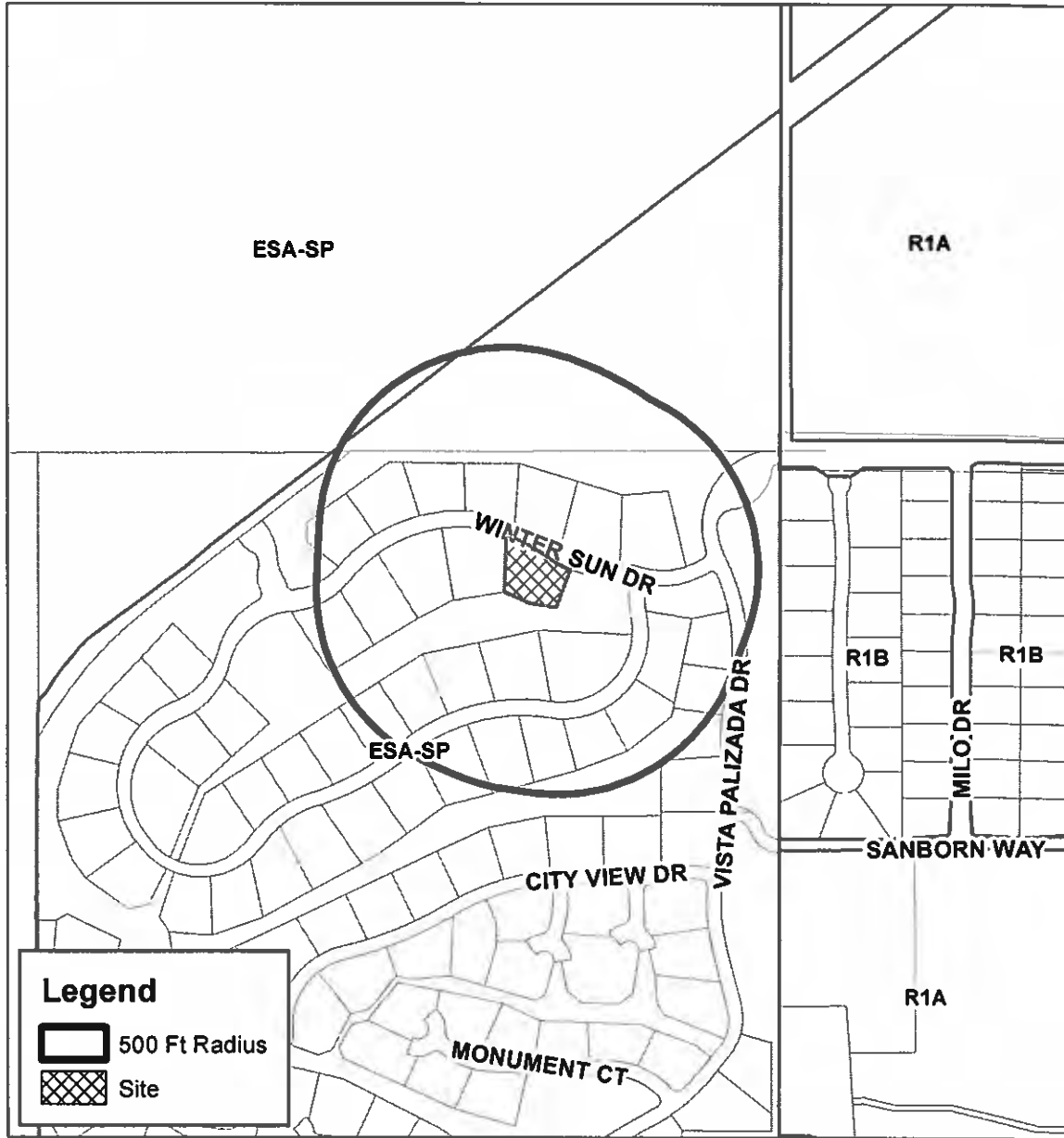
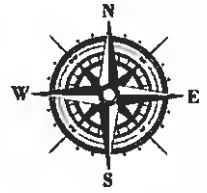
PREPARED BY:	Glenn Mlaker, AICP, Associate Planner
REVIEWED BY	Edward Robertson, Principal Planner
REVIEWED BY:	Christopher Hadwin, Director Planning Services

ATTACHMENTS:

1. Vicinity Map
2. Draft Resolution
3. Conditions of Approval
4. Justification Letter
5. Exhibit Package



Department of Planning Services Vicinity Map



Legend

- 500 Ft Radius
- Site

CITY OF PALM SPRINGS

Case 3.4370 MAJ
2215 Winter Sun Drive – Lot 12

RESOLUTION NO. _____

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION FOR DEVELOPMENT OF 5,064-SQUARE FOOT SINGLE FAMILY RESIDENCE ON A HILLSIDE LOT LOCATED AT 2215 WINTER SUN DRIVE, LOT 12, ZONE ESA-SP PLANNING AREA, DESERT PALISADES SPECIFIC PLAN, SECTION 3 (CASE 3.4370 MAJ).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

A. John Elliott (“Applicant”) filed an application with the City, pursuant to the Palm Springs Zoning Code (PSZC) Sections 94.04.00 (E) (architectural review), and 93.13.00 (hillside development), of the Palm Springs Zoning Code, for construction of a 5,064-square foot single-family residence located at 2215 Winter Sun Drive (“the Project”).

B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City’s Planning Commission to the City’s Architectural Review Committee.

B. On May 30, 2023, City staff notified the owners of properties immediately adjacent to the Project site of the scheduling of an Architectural Review Committee meeting to consider the subject application, pursuant to PSZC 93.13.00 (B,1,c).

C. On June 12, 2023, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Construction or Conversion of Small Structures).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”), 94.04.00 (“architectural review”); the Architecture, Landscaping and Design Guidelines of Desert Palisades Specific Plan Sections V (“Architecture and Site Design”) and VI (“Landscaping Guidelines”); and Design Standards of PSZC 92.12.1.05 (“Findings Required for Approval”).

Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Case 3.4370 MAJ, for the construction of a 5,064-square foot house on a hillside lot located at 2215 Winter Sun Drive, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 12th day of June, 2023.

AYES:

NOES:

ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

Christopher Hadwin, AICP
Director of Planning Services

EXHIBIT A

Case 3.4370 MAJ
Proposed Single Family Residence on a hillside lot
Located at 2215 Winter Sun Drive, Lot 12, Desert Palisades,
ESA-SP Zone, Planning Area 4.

June 12, 2023

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case (3.4370 MAJ).
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped (May 22, 2023), including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.
- ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.4370 MAJ. The City of Palm Springs will promptly

notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

- ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.
- ADM 7. Time Limit on Approval. Approval of the Major Architectural Approval shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.
- ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.

ENVIRONMENTAL ASSESSMENT CONDITIONS

- ENV 1. Coachella Valley Multiple-Species Habitat Conservation Plan (CVMSHCP) Local Development Mitigation Fee (LDMF) required. All projects within the City of Palm Springs, not within the Agua Caliente Band of Cahuilla Indians reservation are subject to payment of the CVMSHCP LDMF prior to the issuance of certificate of occupancy.
- ENV 2. Notice of Exemption. The project is exempt from the California Environmental Quality Act (CEQA); therefore, an administrative fee of \$50 shall be submitted by the applicant in the form of a money order or a cashier's check payable to the Riverside County Clerk within two business days of the Commission's

- final action on the project. This fee shall be submitted by the City to the County Clerk with the Notice of Exemption. Action on this application shall not be considered final until such fee is paid (projects that are Categorically Exempt from CEQA).
- ENV 3. Cultural Resource Survey Required. Prior to any ground disturbing activity, including clearing and grubbing, installation of utilities, and/or any construction related excavation, an Archaeologist qualified according to the Secretary of the Interior's Standards and Guidelines, shall be employed to survey the area for the presence of cultural resources identifiable on the ground surface.
- ENV 4. Cultural Resource Site Monitoring. There is a possibility of buried cultural or Native American tribal resources on the site. A Native American Monitor shall be present during all ground-disturbing activities. (check for duplication in engineering conditions)
- ENV 5. a). A Native American Monitor(s) shall be present during all ground disturbing activities including clearing and grubbing, excavation, burial of utilities, planting of rooted plants, etc. Contact the Agua Caliente Band of Cahuilla Indian Cultural Office for additional information on the use and availability of Cultural Resource Monitors. Should buried cultural deposits be encountered, the Monitor shall contact the Director of Planning. After consultation the Director shall have the authority to halt destructive construction and shall notify a Qualified Archaeologist to further investigate the site. If necessary, the Qualified Archaeologist shall prepare a treatment plan for submission to the State Historic Preservation Officer and Agua Caliente Cultural Resource Coordinator for approval.
- b). Two copies of any cultural resource documentation generated in connection with this project, including reports of investigations, record search results and site records/updates shall be forwarded to the Tribal Planning, Building, and Engineering Department and one copy to the City Planning Department prior to final inspection.
- ENV 6. Protect Soil during Acid-washing of concrete. Ensure all appropriate measures are used in handling the acid-etching of the concrete so as not to contaminate the adjacent soil.

PLANNING DEPARTMENT CONDITIONS

Conditions imposed by Architectural Review Committee (ARC)

- PLN 1. Solar Panels. Solar panels to be placed on the roof in a manner that the equipment will not be visible from adjoining properties or the public street.

- PLN 2. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.
- PLN 3. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.
- PLN 4. Provide smart controllers on irrigation system.
- PLN 5. Roof surfaces shall be tan, beige, grey, sand or other color that blends with the natural color in the area; no white or off-white roofs.
- PLN 6. Drainage at Concrete Terraces. Provide drainage at the joints in the impervious concrete terraces. (Per Section III, DPSP).
- PLN 7. Drainage. The project shall be conditioned to conform to the Guiding Principles for Drainage pursuant PSZC Section 92.21.1.05.
- PLN 8. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.
- PLN 9. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.
- PLN 10. Boulder Relocation. Place boulders and rocks that are relocated as a result of the project's construction in a naturalized manner with boulders "settled" into the soil, not piled up.

BUILDING DEPARTMENT CONDITIONS

BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

ENGINEERING CONDITIONS

GENERAL

ENG 1. The applicant shall comply with all required Standard Conditions and Mitigation Measures identified in the Final Environmental Impact Report for the Desert Palisades development, as applicable to the individual lots, whether or not restated in these conditions of approval. All required plans shall be prepared in conformance with all applicable Standard Conditions and Mitigation Measures.

ENG 2. Development of the site is subject to all applicable provisions of Chapter 92.21.1.05 "Design Standards" of the Palm Springs Zoning Code, whether or not restated in these conditions of approval. All required plans shall be prepared in conformance with all applicable provisions of the Code.

ENG 3. The Property is located in the Environmentally Sensitive Area – Specific Plan ("ESA-SP") zone. Pursuant to Section 92.21.1.05(J) of the Palm Springs Zoning Code, prior to the issuance of any permit for grading or construction of any improvement on any property within the ESA-SP zone, the property owner shall enter into an agreement with the City ensuring that should the improvement not be completed as permitted, that the land will be re-naturalized. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. Security Bond (\$50,000.00) and agreement preparation fee in effect at the time that the agreement is submitted shall be paid by the applicant prior to issuance of any grading or building permits.

SANITARY SEWER

ENG 4. All sanitary facilities shall be connected to the private sewer system. New laterals shall not be connected at manholes.

ENG 5. Applicant shall pay a sewer assessment fee of \$3,628.77 in accordance with the terms of the Racquet Club Road Sewer Construction Refund Agreement between the City of Palm Springs and the Pirozzi Family Trust Established November 30, 1992, Sewer Agreement No. 6253. The fee shall be paid to the City of Palm Springs prior to issuance of a building permit.

GRADING

- ENG 6. Submit a Precise Grading Plan prepared by a California registered Civil engineer to the Engineering Services Department for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.
- a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.
 - b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report; a copy of the project-specific Final Water Quality Management Plan.
- ENG 7. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be provided to the City). The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at ACBCI-THPO@aguacaliente.net to determine their requirements, if any, associated with grading or other construction. The applicant is advised to contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other

- construction, and to arrange payment of any required fees associated with Tribal monitoring.
- ENG 8. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit, and immediately prior to commencement of grading operations.
- ENG 9. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 10. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ~~ENG 11.~~ In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 12. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan.
- ENG 13. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.
- ENG 14. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval prior to issuance of Building Permits.

- ENG 15. Prior to issuance of any permit for ground disturbance activities, the applicant shall provide verification to the City that applicable fees have been paid to the Agua Caliente Band of Cahuilla Indians in accordance with the Tribal Habitat Conservation Plan (THCP).
- ENG 16. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, Ca 90040 (Phone(760)782-3271,(562)505-6415),Sonia.Oran@cdfa.ca.gov.

WATER QUALITY MANAGEMENT PLAN

- ENG 17. This project shall be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating contaminated stormwater and non-stormwater runoff, shall be required.
- ENG 18. A Final Project-Specific Water Quality Management Plan (WQMP) shall be submitted to and approved by the City Engineer prior to issuance of a grading or building permit. The WQMP shall address the implementation of operational Best Management Practices (BMP's) necessary to accommodate nuisance water and storm water runoff from the site. Direct release of nuisance water to the adjacent property (or public streets) is prohibited. Construction of operational BMP's shall be incorporated into the Precise Grading and Paving Plan.
- ENG 19. Prior to issuance of any grading or building permits, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument on a standardized form to inform future property owners of the requirement to implement and maintain the approved Final Project-Specific Water Quality Management Plan (WQMP). Other alternative instruments for requiring implementation of the approved Final Project-Specific WQMP include: requiring the implementation of the Final Project-Specific WQMP in

Home Owners Association or Property Owner Association Covenants, Conditions, and Restrictions (CC&Rs); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the Final Project-Specific WQMP; or equivalent. Alternative instruments must be approved by the City Engineer prior to issuance of any grading or building permits.

DRAINAGE

- ENG 20. In accordance with Chapter 92.21.1.05 "Design Standards" of the Palm Springs Zoning Code, development of the site shall preserve existing drainage patterns, natural streams and local watershed boundaries.
- ENG 21. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property, as described in the Preliminary Hydrology Report for TTM35540, prepared by MSA Consulting, Inc., dated July 1, 2009 (or as may be amended). Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and approval of the hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study.
- ENG 22. This project will be required to install measures in accordance with applicable National Pollution Discharge Elimination System (NPDES) Best Management Practices (BMP's) included as part of the NPDES Permit issued for the Whitewater River Region from the Colorado River Basin Regional Water Quality Control Board (RWQCB). The applicant is advised that installation of BMP's, including mechanical or other means for pre-treating stormwater runoff, will be required by regulations imposed by the RWQCB. It shall be the applicant's responsibility to design and install appropriate BMP's, in accordance with the NPDES Permit, that effectively intercept and pre-treat stormwater runoff from the project site, prior to release to the City's municipal separate storm sewer system ("MS4"), to the satisfaction of the City Engineer and the RWQCB. Such measures shall be designed and installed on-site; and provisions for perpetual maintenance of the measures shall be provided to the satisfaction of the City Engineer.
- ENG 23. The project is subject to flood control and drainage implementation fees. The drainage fee at the present time is \$6,511.00 per acre per Resolution No. 15189.

GENERAL

- ENG 24. Any utility trenches or other excavations of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115. The developer shall be responsible for removing, replacing, or repairing any existing off-site streets as required by and at the discretion of the City Engineer, including additional pavement repairs to pavement repairs made by utility companies for utilities installed for the benefit of the proposed development (i.e. Desert Water Agency, Southern California Edison, Southern California Gas Company, Time Warner, Frontier, etc.). Multiple excavations, trenches, and other street cuts within existing structural sections of off-site streets required by the proposed development may require complete removal and replacement of the streets structural section of the affected off-site streets, at the discretion of the City Engineer. The pavement condition of the existing off-site streets shall be returned to a condition equal to or better than existed prior to construction of the proposed development.
- ENG 25. All proposed utility lines shall be installed underground.
- ENG 26. All existing utilities shall be shown on the improvement plans required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.
- ENG 27. Upon approval of any improvement plan by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD 2004 drawing file), DXF (AutoCAD ASCII drawing exchange file), and PDF (Adobe Acrobat 6.0 or greater) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval of the City Engineer.
- ENG 28. The original improvement plans prepared for the proposed development and approved by the City Engineer shall be documented with record drawing "as-built" information and returned to the Engineering Division prior to issuance of final approvals. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.
- ENG 29. Nothing shall be constructed or planted in the corner cut-off area of any intersection or driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.

TRAFFIC

ENG 30. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 “Temporary Traffic Control” of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

ENG 31. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

FIRE DEPARTMENT CONDITIONS

These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire & building codes. Detailed plans are still required for review.

FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

FID 2. Fire Department Conditions were based on the 2022 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix “O” Development Requirements. and latest adopted NFPA Standards. Three (3) complete sets of plans for fire sprinkler systems must be submitted prior to a building permit being released.

FID 3. **Conditions of Approval** – “Conditions of Approval” received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 4. **Plans and Permits (CFC 105.1):**
Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set.
Plans shall be submitted to:

City of Palm Springs
Building and Safety Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

- FID 5. **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.
- FID 6. **NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2016 Editions, as modified by local ordinance.
- FID 7. **Residential Smoke Alarms Required:** Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke alarms within the dwelling & guest house to sound and activate the exterior horn/strobe.
- FID 8. **Required access (CFC 504.1):** Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

END OF CONDITIONS

PLANNING APPLICATION

2215 WINTER SUN DR, PALM SPRINGS, CA 92262

APN Number: 504-390-012
Date: April 19, 2023
From: Guille Castaneda



Dear Palm Springs Planning Department,

Please accept this Planning Application for our project located in Desert Palisades, Lot 12. Desert Palisades Architectural Review Committee members have officially approved our design. Their letter is included in our submittal.

Our project entails the construction of a new one story 5,064sqft 4BR/4.5BA Single Family Home with a 562sqft Garage. The attached submission includes all documents required in your application checklist.

We look forward to hearing from you soon. Let us know should you require further information.

Sincerely,
Guille Castaneda

Guille Castaneda
Nomos RED
(650)290-1906
guille@nomosred.com

Monday, October 31, 2022

JKE Development LLC
2294 Driftwood Tide Avenue
Henderson, NV 89052

RE: Architectural Application for 2215 Winter Sun Drive

Dear Homeowner,

Thank you for submitting an Architectural Application for the following request: New Home Build. We are happy to report that your application has been approved, as submitted. Please be sure your contractor and vendors follow the rules of the Association, including daily clean up of the site.

Desert Palisades HOA acknowledges that any and all agreed changes to the original design that may be a condition of this approval will be at the homeowner's expense. The correction of any damage caused by this agreed construction will also be at the homeowner's expense. Homeowner shall henceforth agree to maintain the improvement in accordance with the guidelines and aesthetics of the community.

It is the homeowner's responsibility to obtain any permits, which may be required. Please be aware the ARC approval does not supersede City Building Codes. You should contact the City Planning Department to determine what, if any, permits may be required. Additionally, the Board of Directors encourages that you use a licensed and insured contractor. This approval does not release the homeowner from meeting any county, state or federal requirements such as building permits, workmen's compensation, or other waivers or permits.

Thank you for submitting an application in advance. Please retain this letter in your files. We ask that you contact management upon completion at sswenstad@drmineternet.com and submit photos of the completed improvement so that the committee and/or management can inspect and see that all work is as agreed before the final sign-off.

Again, we appreciate your cooperation. These procedures allow us to maintain our properties in a manner to the benefit of you as the homeowner and of the community as a whole.

Sincerely,

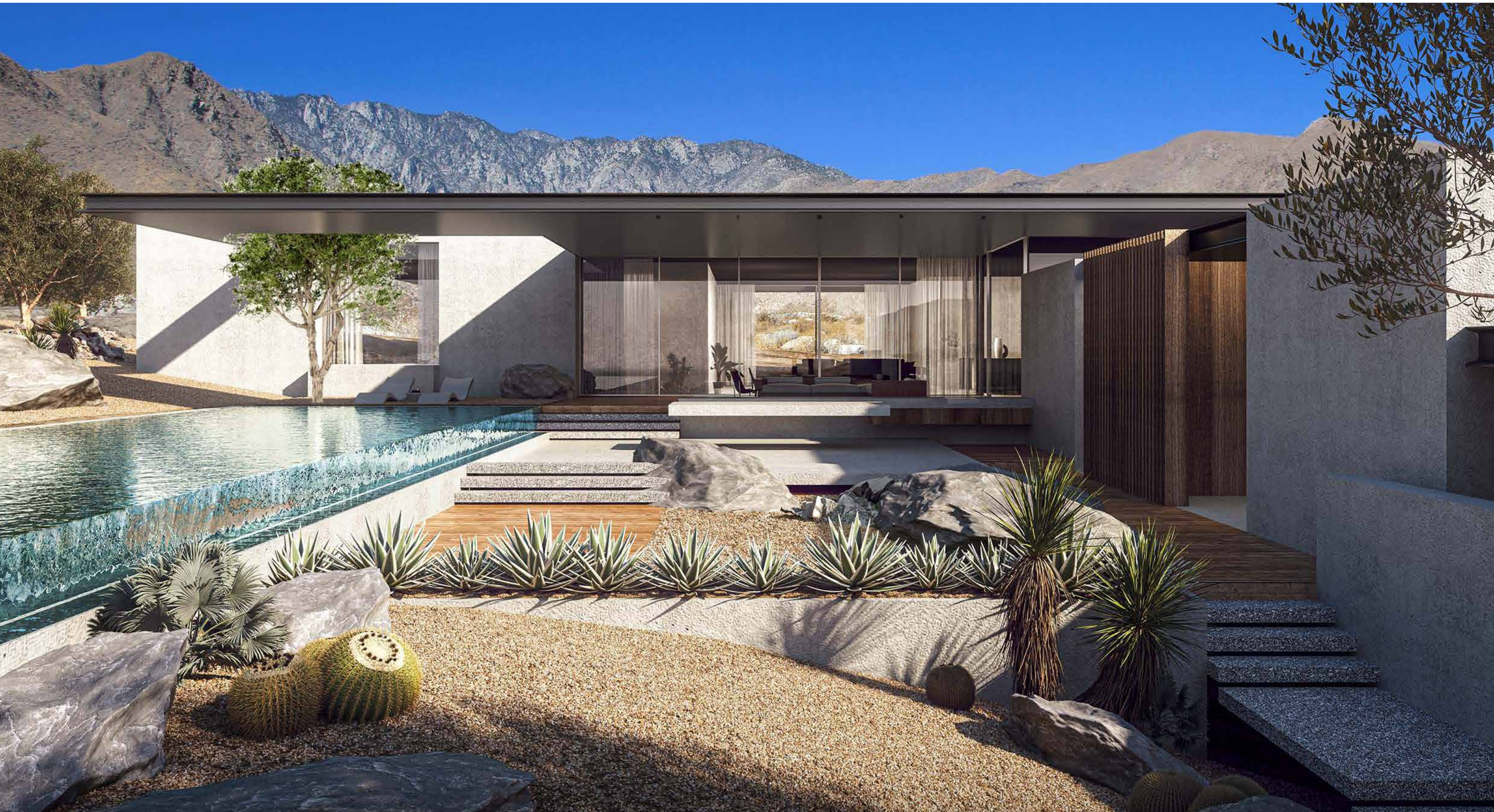
Stephanie Swenstad
Community Association Manager
On behalf of Desert Palisades Homeowners Association



DESERT PALISADES 12
PLANNING REVIEW



ROAD VIEW



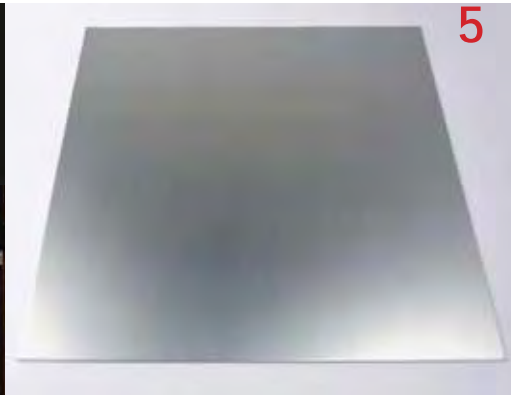
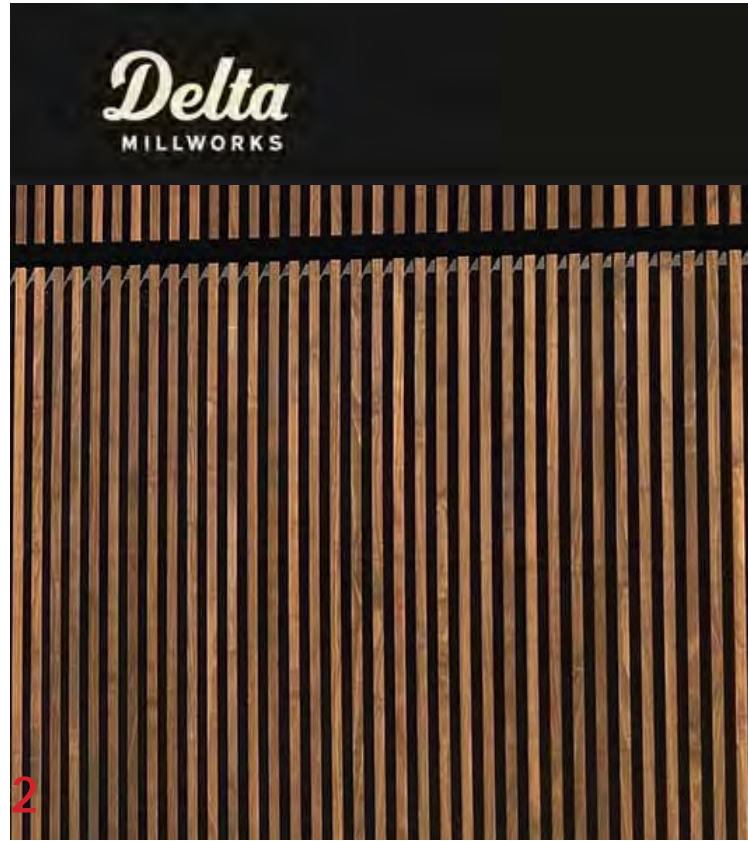
POOL VIEW



REAR VIEW

NOMOS RED - PLANNING REVIEW

DESERT PALISADES - LOT 12 - 2215 WINTER SUN DR



FRONT VIEW



- 1 - FASCIA PAINT - BEHR SATIN BLACK - PPU26-01
- 2 - VERTICAL WOOD - STAIN GRADE ACCOYA
- 3 - SIDING - NEOLITH SHILIN - RIVERWASHED
- 4 - LANDSCAPE DECK&WALLS - CAST IN PLACE CONCRETE
- 5 - WINDOW FRAMES - CLEAR NATURAL ANODIZED ALUMINUM
- 6 - DECKING WOOD - ACCOYA UNFINISHED DECKING





VICINITY MAP



DESERT PALISADES, LOT 12 2215 WINTER SUN DR

BUILDING PERMIT- NEW CONSTRUCTION

SITE INFORMATION
PROJECT ADDRESS: 2215 WINTER SUN DR
 PALM SPRINGS, CA 92262
APN: 594-390-012
LOT AREA: 22,185 SQFT
NO OF STORIES: 1

SCOPE OF WORK: NEW CONSTRUCTION
 1. NEW 4BR/4.5BA RESIDENCE INCLUDING ATTACHED 2 CAR GARAGE
 2. LANDSCAPING INCLUDING A SWIMMING POOL AND OUTDOOR BARBEQUE AREA

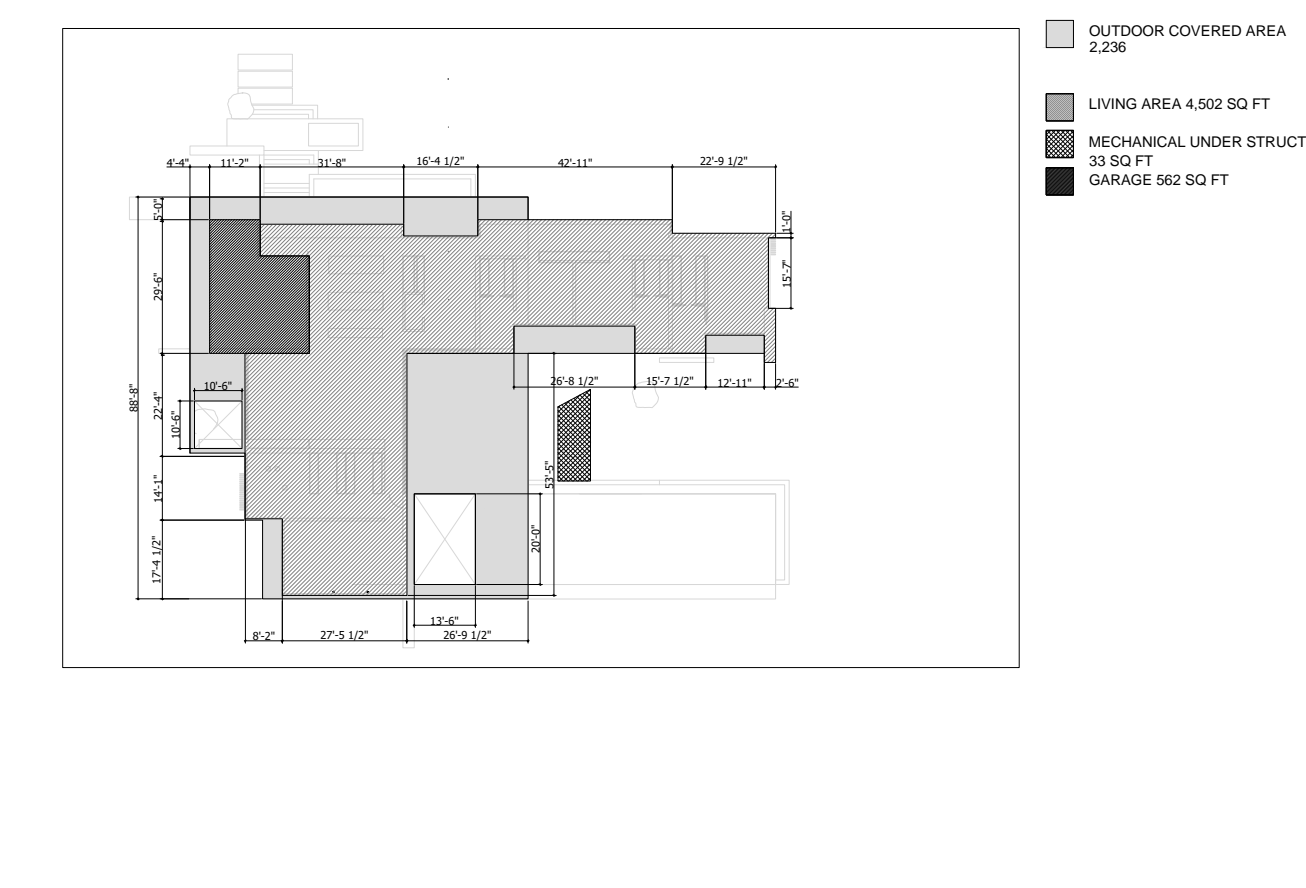
ZONING DATA
ZONE DISTRICT: RL-RESIDENTIAL ZONING
SPECIFIC ZONE: DESERT PALISADES - SPECIFIC PLAN
CONSTRUCTION TYPE: ONE STOREY SINGLE FAMILY HOUSE
OCCUPANCY GROUP: R-3/U
CONSTRUCTION TYPE: VB

GENERAL PROJECT INFORMATION

- A0.0 COVER SHEET
- A1.01 PROPOSED SITE PLAN
- A2.00 PROPOSED WATER COURSE FLOOR PLAN
- A2.01 PROPOSED FLOOR PLAN
- A2.03 PROPOSED ROOF PLAN
- A2.04 PROPOSED SLAB PLAN
- A3.00 PROPOSED SITE ELEVATIONS
- A3.01 PROPOSED ELEVATIONS
- A4.01 PROPOSED SECTIONS
- SU.01 TOPOGRAPHIC SURVEY
- G.01 GRADING PLAN
- G.02 GRADING PLAN
- L.01 PLANTING PLAN
- PV.01 PHOTOVOLTAIC SOLAR PANELS DRAWINGS

	PROPOSED	ALLOWED/ REQUIRED
TOTAL LOT COVERAGE	5,973 SQ FT	PSP CITY 35% LOT= 7,764 SQ FT DP-SP 6,000 SQ FT
FLOOR AREA	LIVING AREA: 4,502 SQ FT GARAGE: 562 SQ FT MEC 33 SQ FT TOTAL GFA 5,064 SQ FT	
SETBACKS		
FRONT	25'-00"	15 FEET
REAR	53'-00"	30 FEET
RIGHT SIDE (1ST/ 2ND)	15'-01"	10 FEET
LEFT SIDE (1ST/ 2ND)	15'-01"	10 FEET
SWIMMING POOL	16'-02"	10 FEET
HEIGHT	15'-10" FEET	18 FEET (25 FT MAX FROM FG)

APPLICABLE BUILDING CODES LOT CALCULATIONS



HOMEOWNER
 JKE INVESTMENTS
 CONTACT JOHN ELLIOT
 PHONE (714)313-0789

DESIGNER
 NOMOS RED
 PAULA BUESO-INCHAUSTI & GUILLE CASTANEDA
 483 SANDPIPER ST, PALM DESERT, CA 92260
 CONTACT GUILLE CASTANEDA
 PHONE (650) 290-1906
 EMAIL guille@nomosred.com

STRUCTURAL ENGINEER
 TBD

CONTACT
 PHONE
 EMAIL

CIVIL ENGINEER
 SANBORN ARCHITECTURE GROUP, INC.
 71650 SAHARA RD. SUITE 4
 RANCHO MIRAGE, CA, 92270
 CONTACT ALLEN M. SANBORN
 PHONE (760) 423-0600
 EMAIL allen@sanbornag.com

LANDSCAPE DESIGNER
 SITIO LANDSCAPE ARCHITECTURE
 323 N. REFRESH ST
 ANAHEIM, CA 92805
 CONTACT PABLO CORTEZ, PLA #6373
 PHONE 657.217.6169
 EMAIL pcortez@sitiola.com

PLANNING DEPARTMENT
 3200 E TAHQUITZ CANYON WAY
 PALM SPRINGS, CA 92262
 PHONE (760) 323-8245
 WEB WWW.PALMSPRINGS.GOV

GENERAL CONTRACTOR
 MIRAGE DEVELOPERS
 CONTACT: TOD DAVIDSON
 PHONE: (760)272-8300

PROJECT DIRECTORY

General Notes

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No.	Revision/Issue	Date
	PLANNING SUBMISSION	04/03/2023
	PLANNING PRELIMINARY	10/04/2022
	HOA REVIEW	09/06/2022

Name:
 Nomos Inc.
 www.nomosred.com
 T. 650 290 1906



Address:
 Desert Palisades Lot 12,
 2215 Winter Sun Dr,
 Palm Springs
 CA 92262

COVER SHEET

Project	Sheet
DP12	
Date	
09/06/2022	
Scale	Paper Size
1/8" = 1'-0"	30x42"

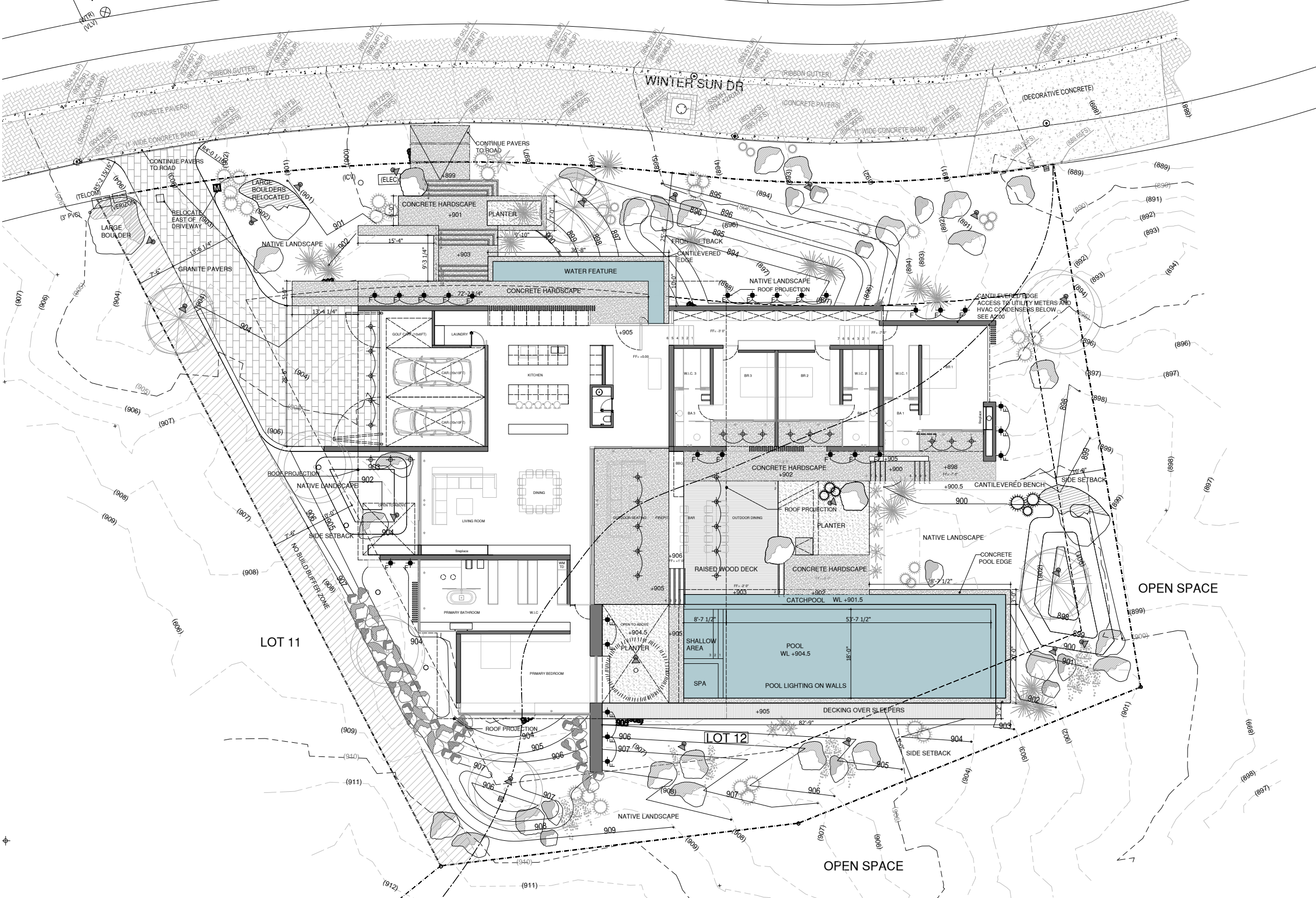
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COVER SHEET

LOT 4

LOT 3

LOT 2



General Notes

- Existing Desert boulder
- 5W 4" LED In-Ground Light (Stainless Steel trim)
- 5W 2" Recessed LED Ceiling Light (Recessed light source)
- 5W 3" Bronze Spot Light (Hidden light from street & adj. lots)
- 2W/ft Outdoor WPF Linear LED Tape (Under steps)
- * All LEDs to be 2700K, 90+ CRI

- Acid etched concrete hardscape
- Water
- Acacia deck for exterior siding and decking 3/4" thick X 7-3/8" wide
- Grass lawn
- Ice Gray Granite
- Sand/Gravel
- No build buffer zone
- Existing contour lines
- Property line
- Setback line
- Path of drainage flow

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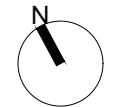


Address: Desert Palisades Lot 12, 2215 Winter Sun Dr, Palm Springs CA 92262

PROPOSED SITE PLAN

Project	DP12	Sheet	
Date	09/06/2022		
Scale	1/8" = 1'-0"	Paper Size	30x42"

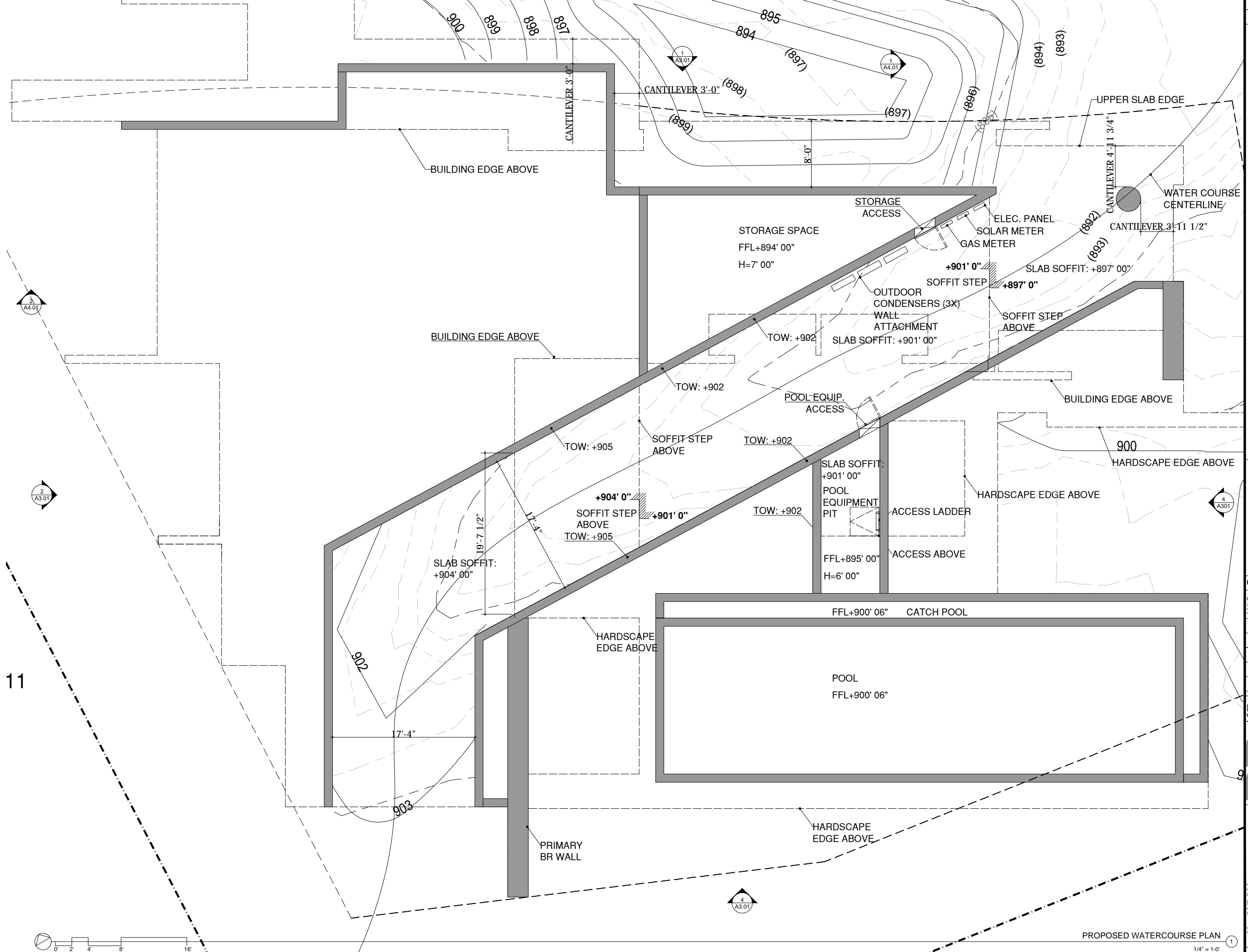
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PROPOSED SITE PLAN

PROPOSED SITE PLAN 1

1/8" = 1'-0"



11



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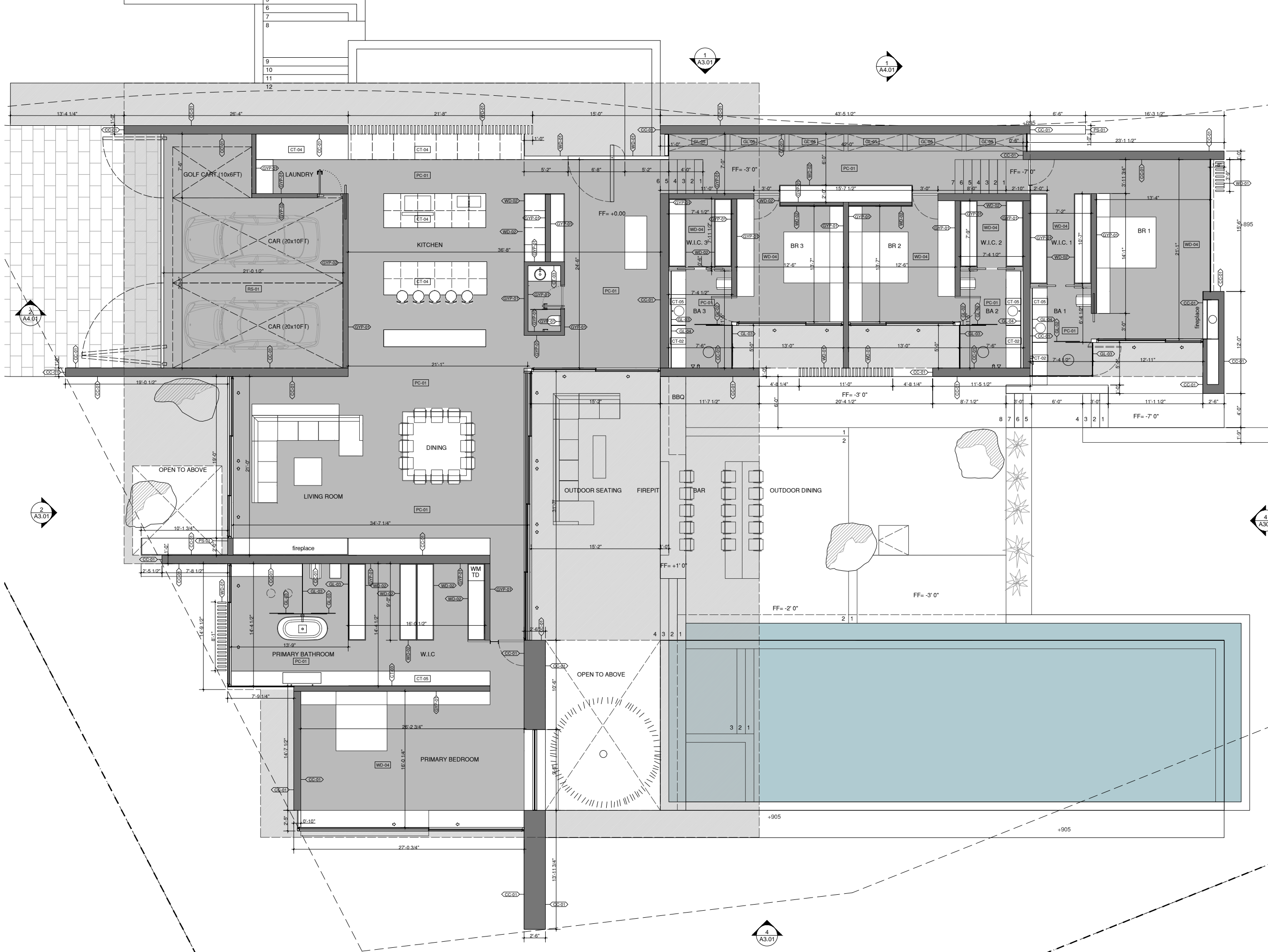


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 CA 92262

PROPOSED WATERCOURSE PLAN

Project	Sheet
DP12	
Date	
09/06/2022	
Scale	Paper Size
1/4" = 1'-0"	30x42"

A2.00



General Notes

FINISHES LEGEND

CT-01	1/4" NEOLITH PORCELAIN TILE - WHITE ARTIC
CT-02	1/4" NEOLITH CERAMIC TILE - STRATA ARGENTUM
CT-03	1/4" NEOLITH CERAMIC TILE - NERO
CT-04	1/2" NEOLITH ZAHA
CT-05	1/2" DEKTON LUYINI (WHITE)
CT-06	1/4" NEOLITH CERAMIC TILE - PIETRA GREY
ST-02	1" CALACATTA LAZA QUARTZ
WD-01	EXTERIOR WOOD - ACCOYA BARNWOOD IVORY
WD-02	VERTICAL GRAN RIFT WHITE WASHED OAK VENEER
WD-03	SOLID WHITE OAK - WPF FINISH COAT
WD-04	WOOD FLOORING - WHITE OAK
WD-05	DECKING WOOD - ACCOYA UNTREATED
WD-06	INTERIOR VENEER - EBONY BLACK WOOD
PL-01	6-COAT SMOOTH STUCCO
GYP-01	1/2" DRYWALL LEVEL 5
GYP-02	TYPE X - 1/2" DRYWALL LEVEL 5
SS-01	STAINLESS STEEL
AL-01	NATURAL ANODIZED ALUMINUM
PC-01	POLISHED CONCRETE FLOORING
CC-01	BOARDS FORMED WHITE CONCRETE
PS-01	PRIMED GALVANIZED STEEL WITH AUTOMOTIVE PAINT
PS-02	POWDER COATED ALUMINUM
PS-03	POWDER COATED STEEL
GL-01	DOUBLE PANE GLASS
GL-02	SINGLE PANE GLASS
GL-03	ACID ETCHED GLASS
GL-04	MIRROR
GL-05	CLEAR 1" FLOOR GLASS
BL-01	BLACKOUT INTERIOR BLINDS
RS-01	RESIN FLOORING

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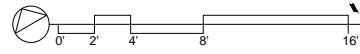
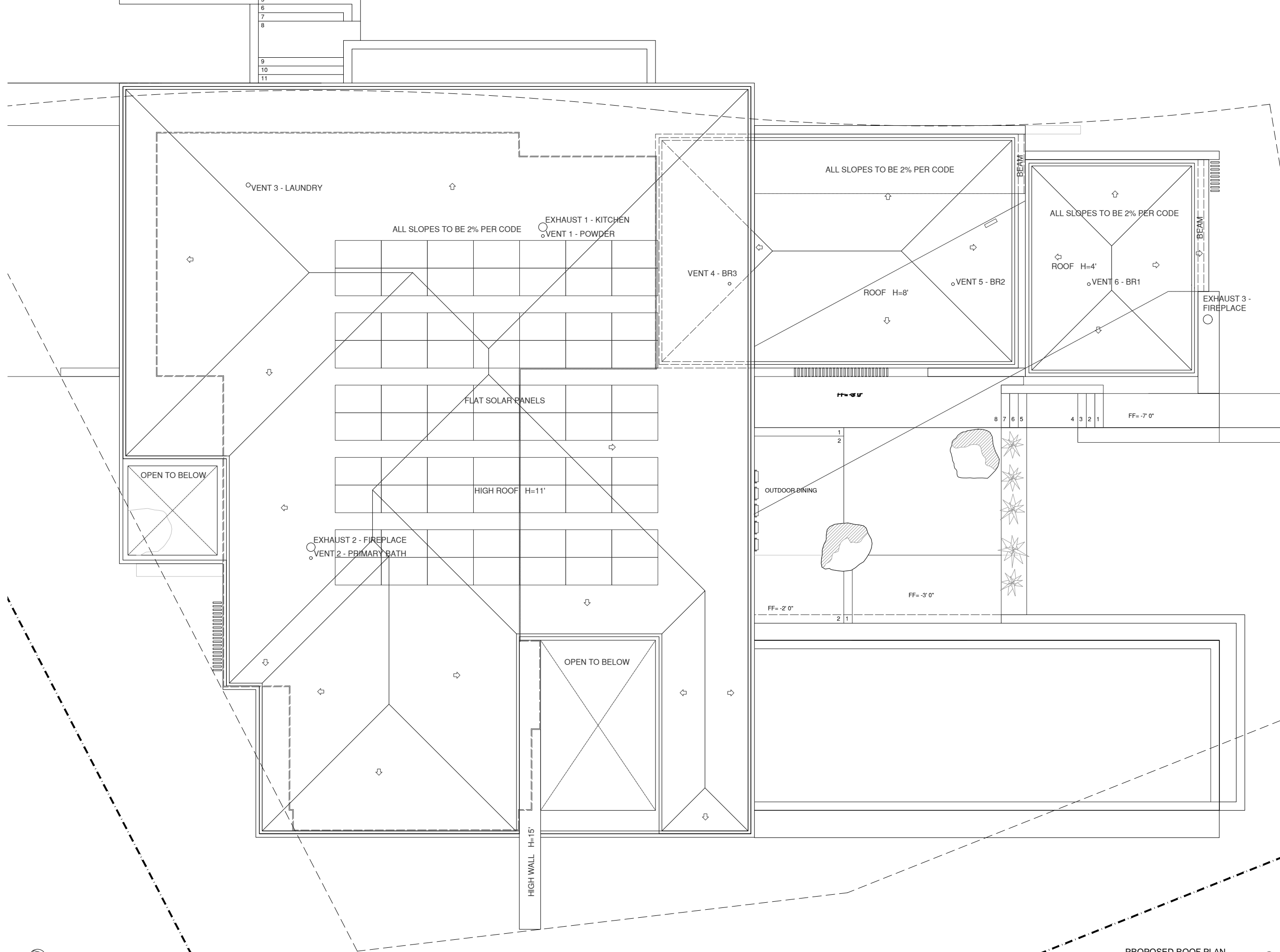
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PROPOSED FLOOR PLAN

Project	DP12	Sheet
Date	09/06/2022	
Scale	1/4" = 1'-0"	Paper Size 30x42"



PROPOSED ROOF PLAN

PROPOSED ROOF PLAN

1/4" = 1'-0"

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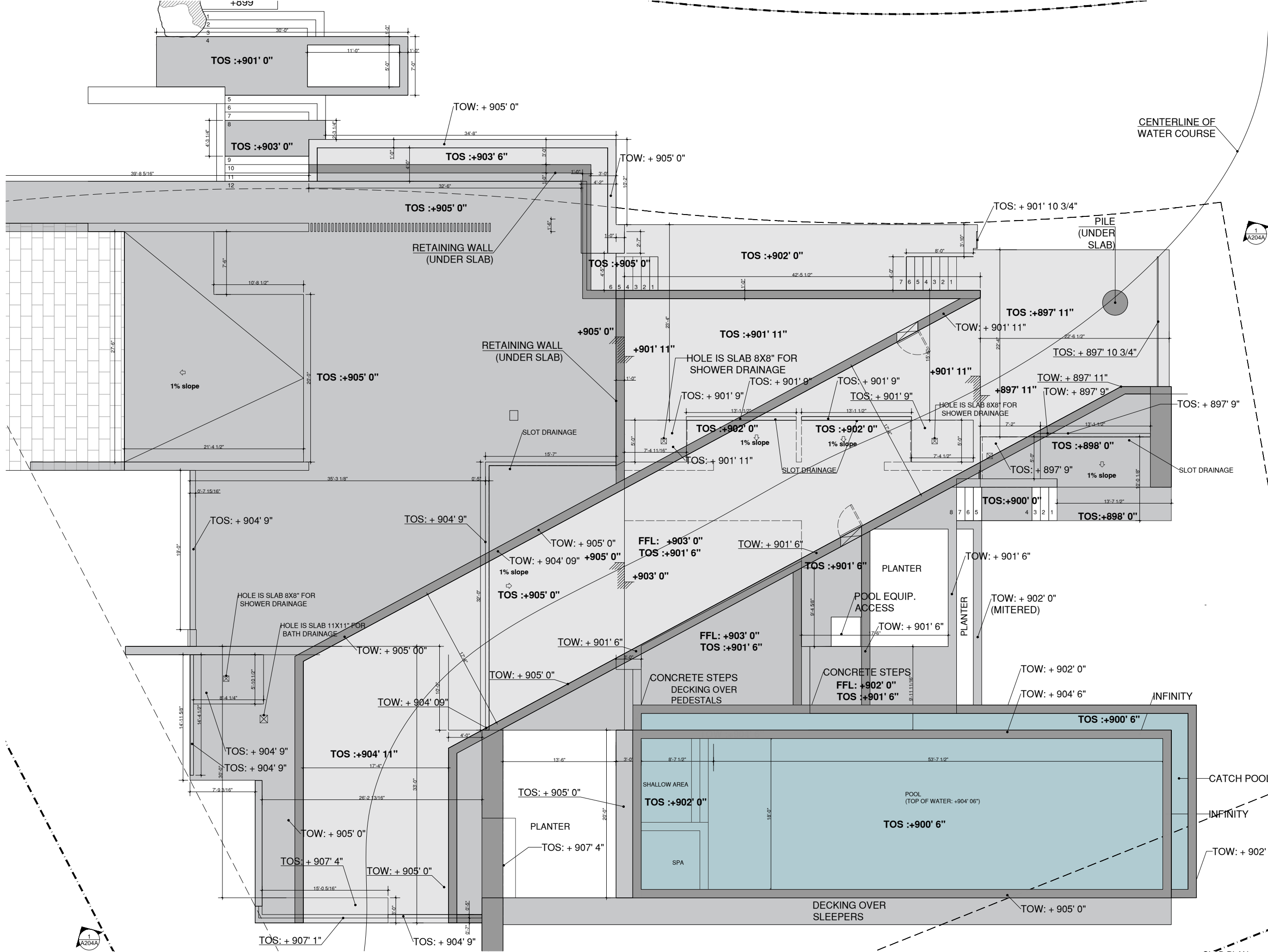
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PROPOSED ROOF PLAN

Project	DP12	Sheet
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Scale	1/4" = 1'-0"	Paper Size 30x42"

A2.03

- SLAB ON GROUND
- SLAB CANTILEVERED ABOVE GROUND



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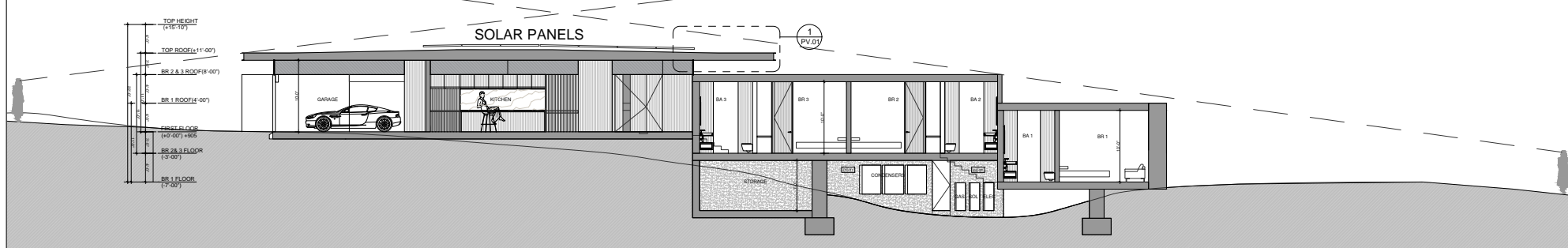
Address: Desert Palisades Lot 12, Winter Sun Dr, Palm Springs CA 92262

PROPOSED SLAB PLAN

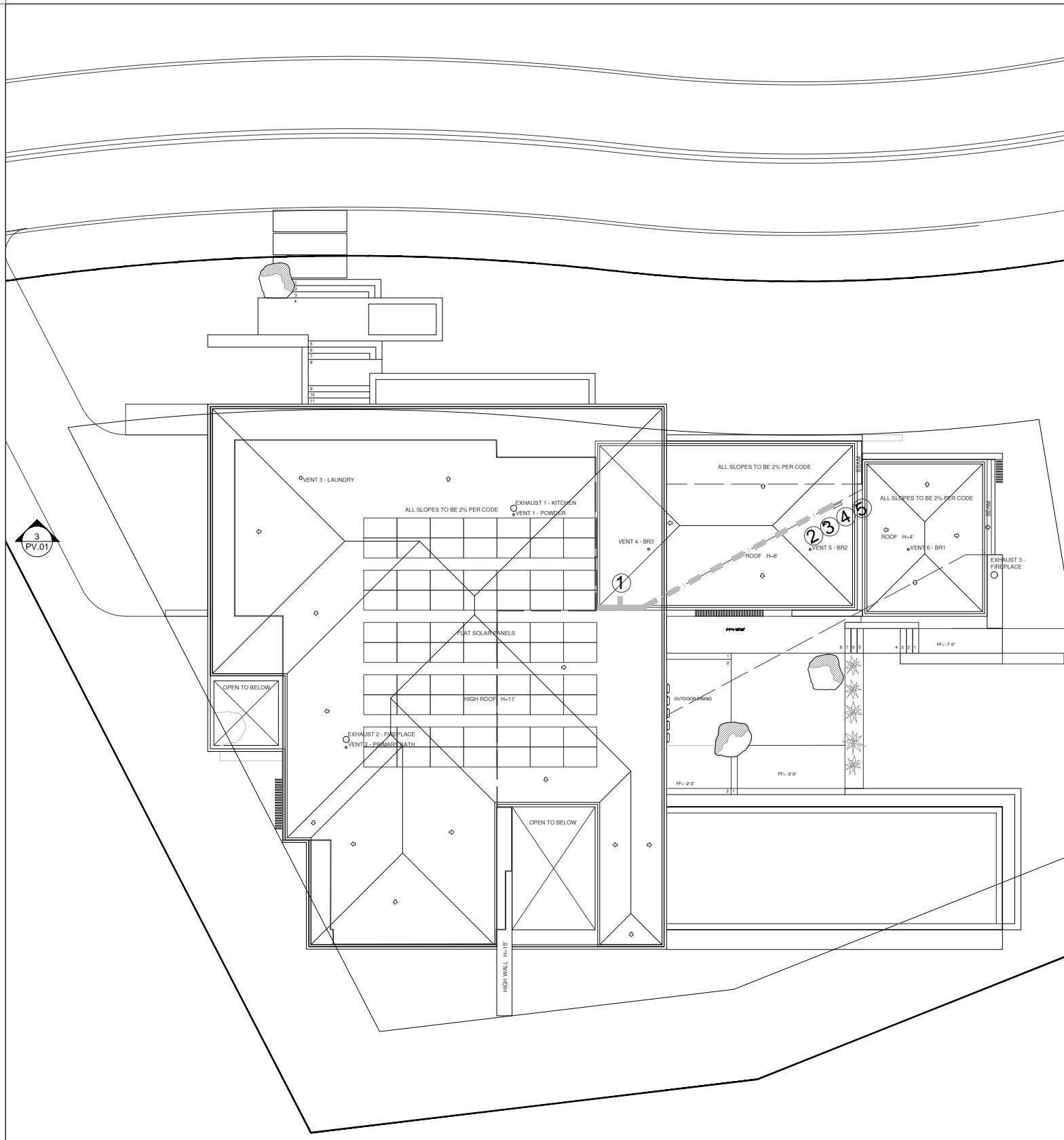
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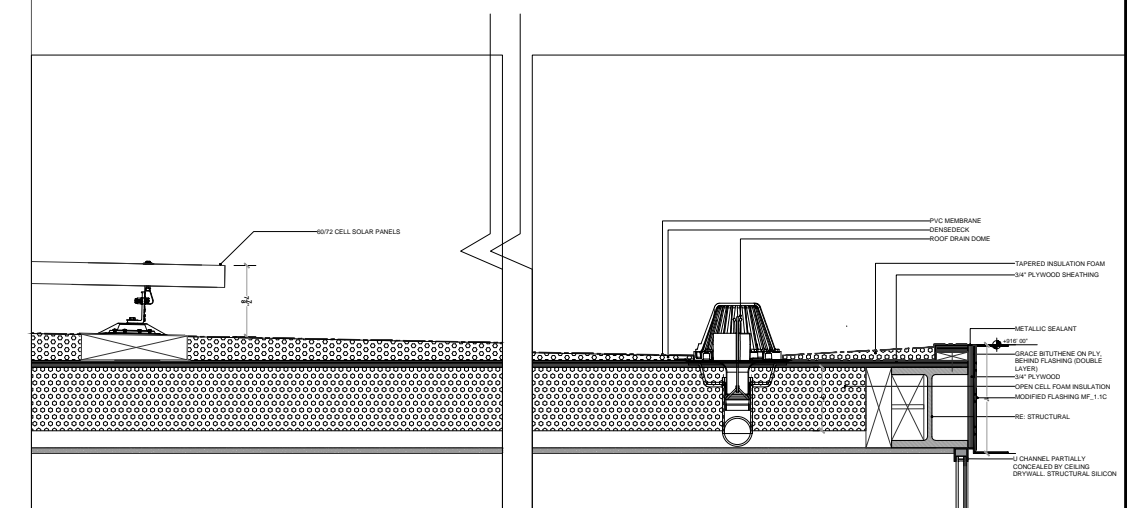
SLAB PLAN 1/4" = 1'-0"



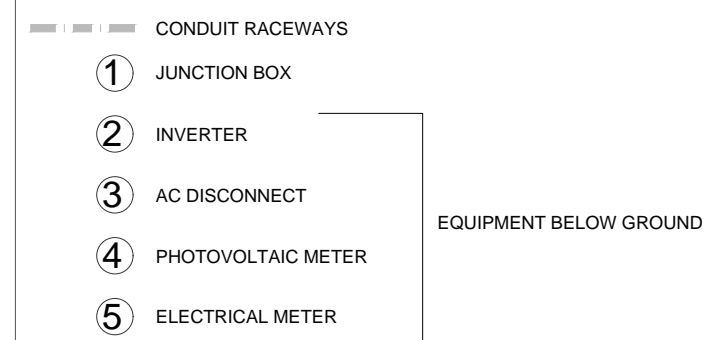
3 SECTION SCALE: 1/8" = 1'-0"



2 ROOF PLAN. DIAGRAM SCHEMATICS SCALE: 1/8" = 1'-0"



1 FLASHING/SOLAR PANELS SCALE: 1 1/2" = 1'-0"



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PLANNING SUBMISSION	04/03/2023	
PLANNING PRELIMINARY	10/04/2022	
HOA REVIEW	09/06/2022	
No.	Revision/Issue	Date

Name:
Nomos Inc.
www.nomosred.com
T. 650 290 1906

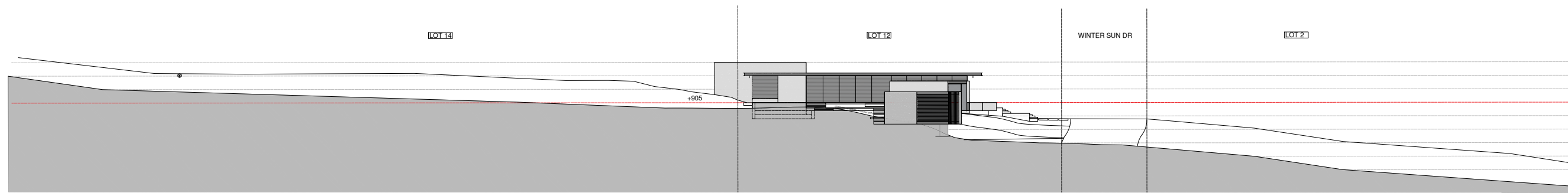


Address:
Desert Palisades Lot 12,
Winter Sun Dr,
Palm Springs
CA 92262

PHOTOVOLTAIC SOLAR PANELS DRAWINGS

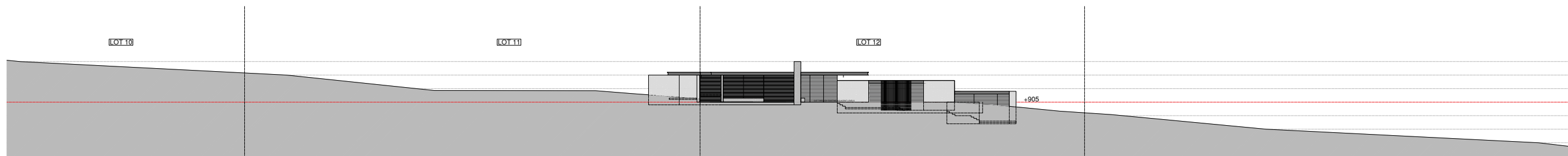
Project	Sheet
DP12	
Date	
09/06/2022	
Scale	Paper Size
VARIES	30x42"

PV.01



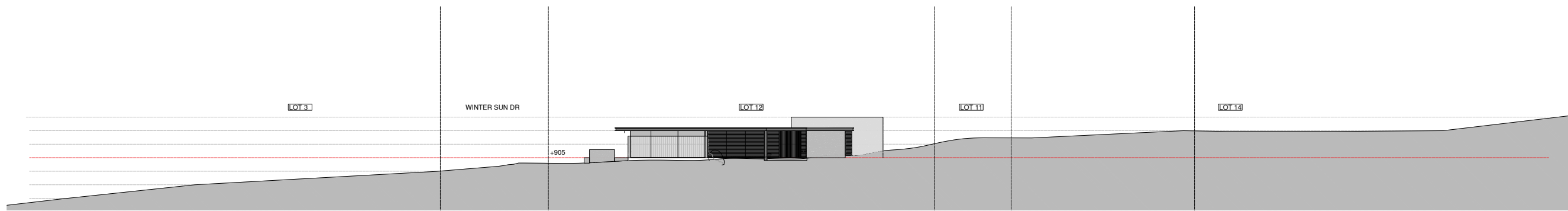
EAST ELEVATION ④

1/16" = 1'-0"



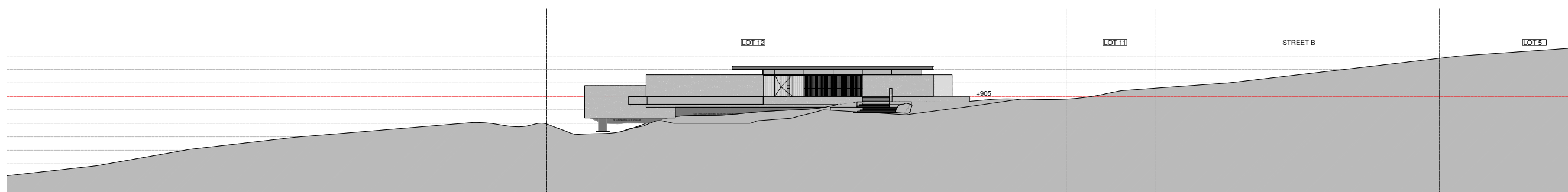
SOUTH ELEVATION ③

1/16" = 1'-0"



WEST ELEVATION ②

1/16" = 1'-0"



NORTH ELEVATION ①

1/16" = 1'-0"

PROPOSED SITE ELEVATIONS

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	PLANNING PRELIMINARY	10/04/2022
	HOA REVIEW	09/06/2022

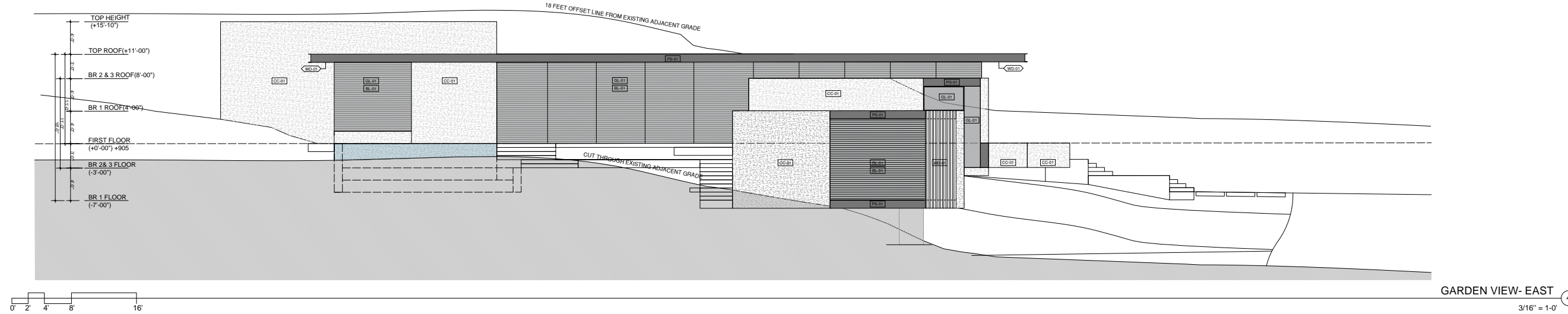
Nomos Inc.
www.nomosred.com
T. 650 290 1906



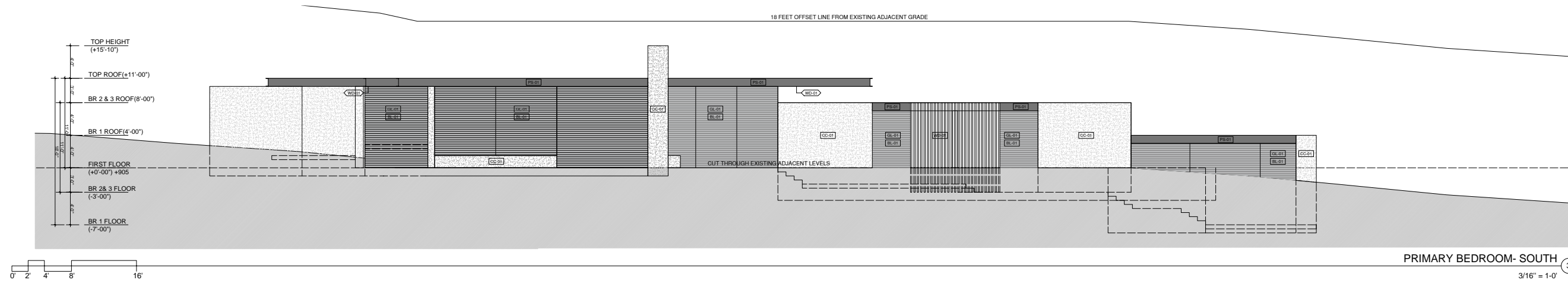
Address:
Desert Palisades Lot 12,
2215 Winter Sun Dr,
Palm Springs
CA 92262

PROPOSED SITE ELEVATIONS

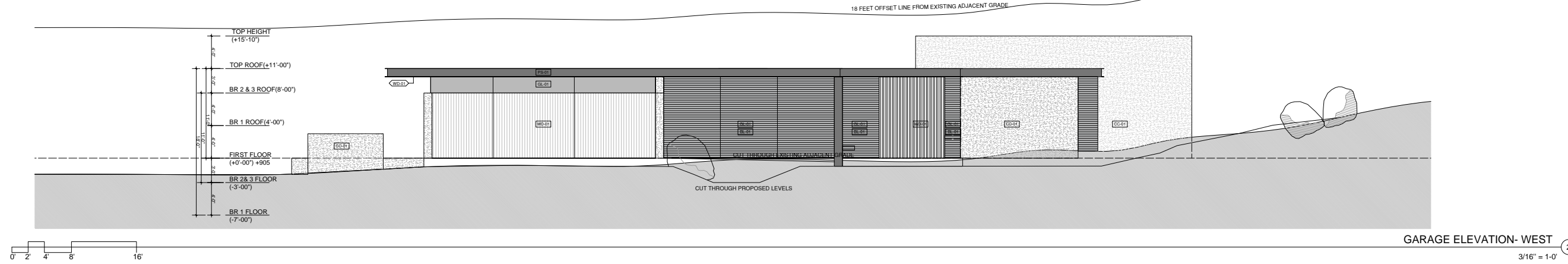
Project DP12	Sheet
Date 09/06/2022	A3.00
Scale 1/16" = 1'-0"	



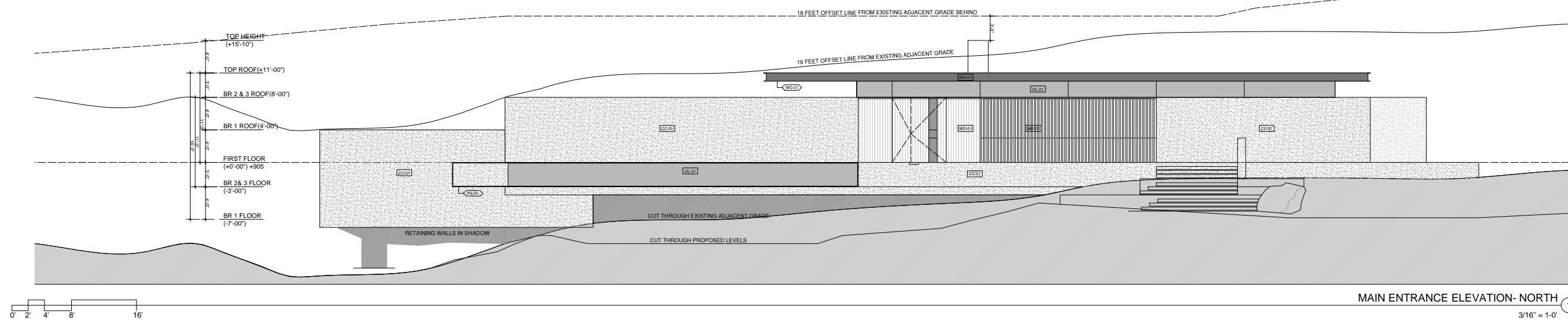
GARDEN VIEW- EAST
3/16" = 1'-0"



PRIMARY BEDROOM- SOUTH
3/16" = 1'-0"



GARAGE ELEVATION- WEST
3/16" = 1'-0"



MAIN ENTRANCE ELEVATION- NORTH
3/16" = 1'-0"

PROPOSED ELEVATIONS

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	HOA REVIEW	09/06/2022

Address:
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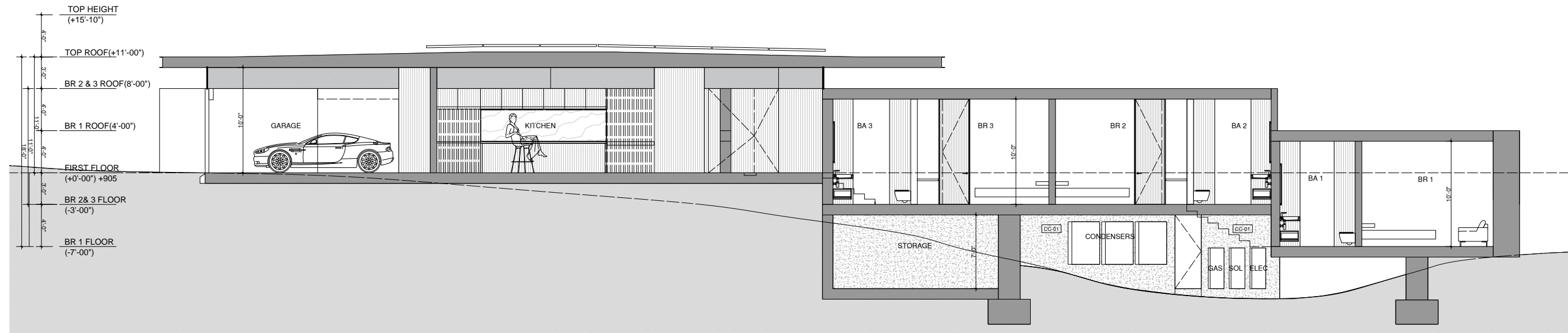


Address:
Desert Palisades Lot 12,
2215 Winter Sun Dr,
Palm Springs
CA 92262

PROPOSED ELEVATIONS

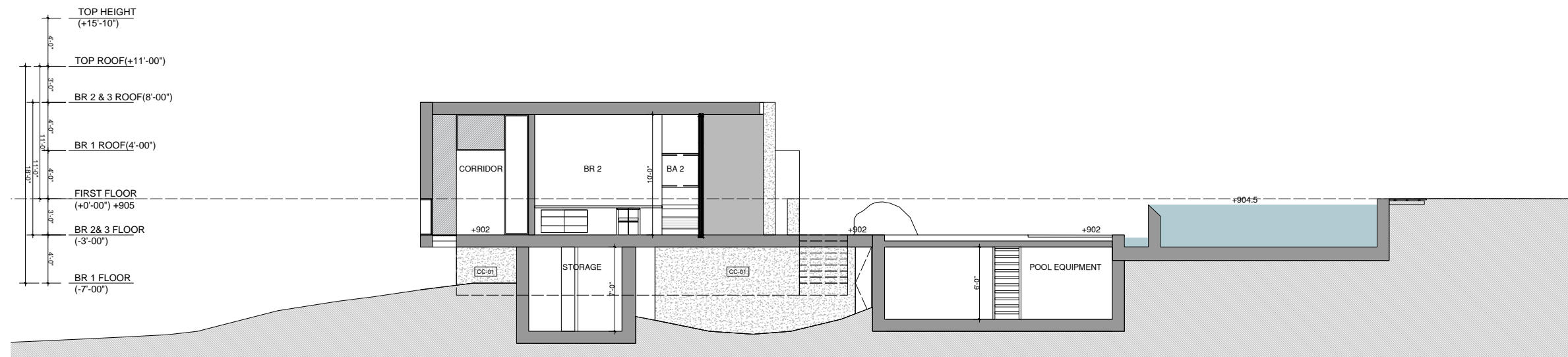
Project	Sheet
DP12	
Date	
09/06/2022	
Scale	Paper Size
3/16" = 1'-0"	30x42"

A3.01



SECTION THROUGH BEDROOMS 2

1/4" = 1'-0"



SECTION THROUGH BEDROOM 2 1

1/4" = 1'-0"

PROPOSED SECTIONS

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	PLANNING PRELIMINARY	10/04/2022
	HOA REVIEW	09/06/2022

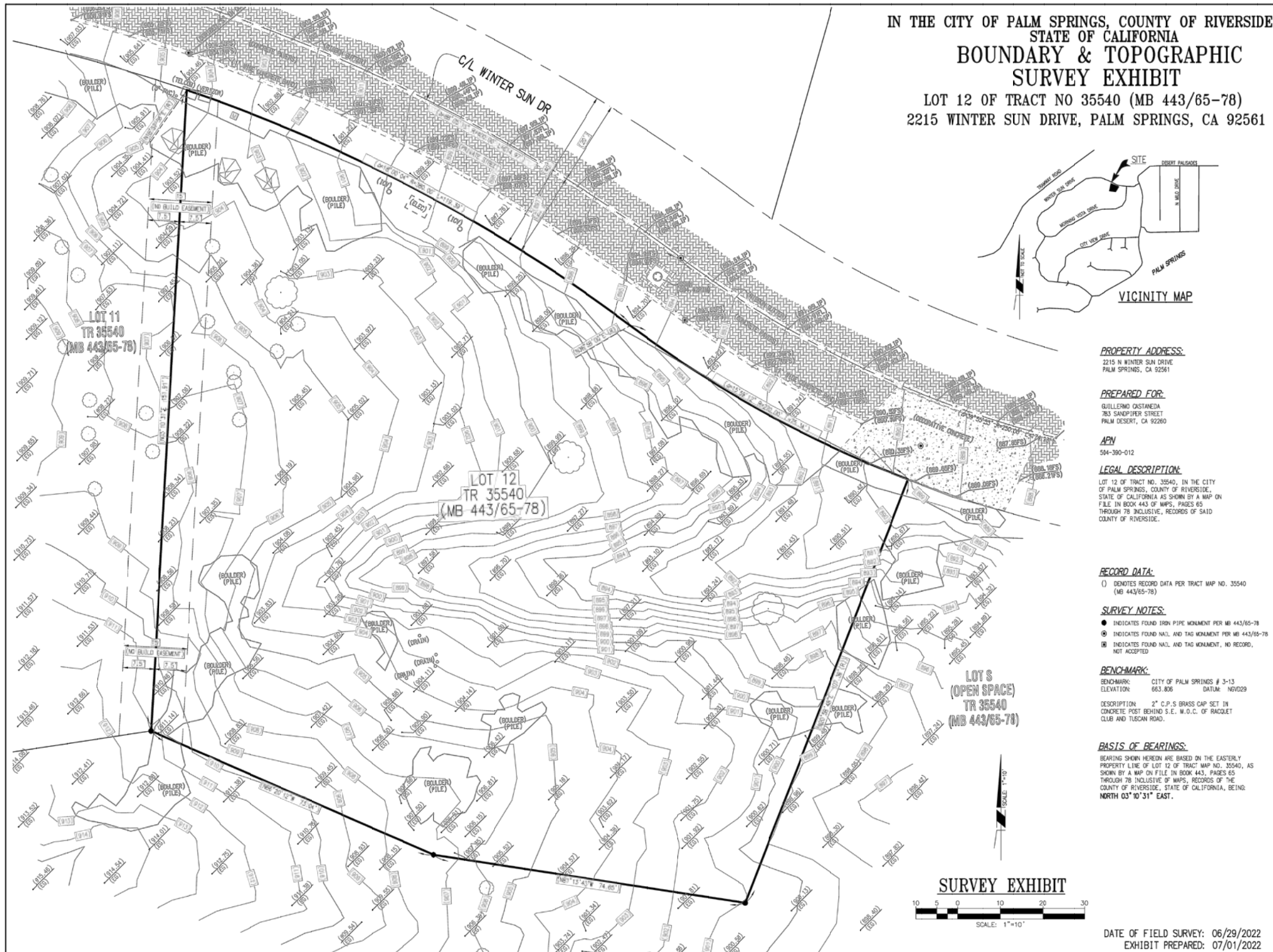
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Address:
Desert Palisades Lot 12,
2215 Winter Sun Dr,
Palm Springs
CA 92262

PROPOSED SECTIONS

Project	Sheet
DP12	
Date: 09/06/2022	
Scale: 1/4" = 1'-0"	Paper Size: 30x42"
	A4.01



IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE
STATE OF CALIFORNIA
**BOUNDARY & TOPOGRAPHIC
SURVEY EXHIBIT**
LOT 12 OF TRACT NO 35540 (MB 443/65-78)
2215 WINTER SUN DRIVE, PALM SPRINGS, CA 92561



PROPERTY ADDRESS:
2215 N WINTER SUN DRIVE
PALM SPRINGS, CA 92561

PREPARED FOR:
GUILLELMO CASTANEDA
783 SANDPIPER STREET
PALM DESERT, CA 92280

APN
504-390-012

LEGAL DESCRIPTION:
LOT 12 OF TRACT NO. 35540, IN THE CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA AS SHOWN BY A MAP ON FILE IN BOOK 443 OF MAPS, PAGES 65 THROUGH 78 INCLUSIVE, RECORDS OF SAID COUNTY OF RIVERSIDE.

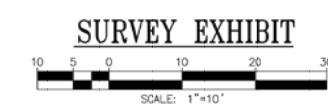
RECORD DATA:
() DENOTES RECORD DATA PER TRACT MAP NO. 35540 (MB 443/65-78)

SURVEY NOTES:
● INDICATES FOUND IRON PIPE MONUMENT PER MB 443/65-78
⊙ INDICATES FOUND NAIL AND TAG MONUMENT PER MB 443/65-78
⊞ INDICATES FOUND NAIL AND TAG MONUMENT, NO RECORD, NOT ACCEPTED

BENCHMARK:
BENCHMARK: CITY OF PALM SPRINGS # 3-13
ELEVATION: 663.806 DATUM: NAVD83

DESCRIPTION:
2" C.P.S BRASS CAP SET IN CONCRETE POST BEHIND S.E. W.O.C. OF RACQUET CLUB AND TUSCAN ROAD.

BASIS OF BEARINGS:
BEARING SHOWN HEREON ARE BASED ON THE EASTERLY PROPERTY LINE OF LOT 12 OF TRACT MAP NO. 35540, AS SHOWN BY A MAP ON FILE IN BOOK 443, PAGES 65 THROUGH 78 INCLUSIVE OF MAPS, RECORDS OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, BEING NORTH 03°10'31" EAST.



DATE OF FIELD SURVEY: 06/29/2022
EXHIBIT PREPARED: 07/01/2022

SYMBOL LEGEND:

BOUNDARY	ROADWAY	RAILROAD AND TRAIL	UTILITY (MET)	LANDSCAPING	ABBREVIATIONS:	IRON PIPE MONUMENT	STORM DRAIN MARKER
CONTROL	PAVEMENT MARKINGS	RAILROAD	CHAD BROWN	ADJ. TERRACE	C/L CENTERLINE	TOP OF COLUMN	TOP OF DRAIN
AVENUE	PAVING STRIP	RAIL SIGNAL	VALVE	TREES	E	TOP OF WALL	TOP OF CURB
BUILDING	STRIPING	RAIL CROSSING	WATER	SHRUBS	EG EXISTING GROUND	TOP OF WEST	TOP OF EAST
POOL	STAIR	RAIL TIE	WELL	INDEX CONTOUR	FG FINISH SURFACE	WATER METER	TOP OF CURB
		RAIL TIE	WELL	INNER CONTOUR	GPS GLOBAL POS. SYSTEM	WATER METER	TOP OF CURB
		RAIL TIE	WELL	INNER CONTOUR	IND. FIRE HYDRANT	WATER METER	TOP OF CURB

EGAN CIVIL, INC.
PO BOX 5282 LA BUNIA, CA 92248-5282
(760) 404-7663 WWW.EGANCIVIL.COM

DATE: 07/01/2022
P.L.S. 8136
BENJAMIN DANIEL EGAN, P.E., P.S.

CITY OF PALM SPRINGS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
LOT 12 OF TRACT NO. 35540 (MB 443/65-78)
BOUNDARY & TOPOGRAPHIC SURVEY EXHIBIT
2215 WINTER SUN DRIVE, PALM SPRINGS 92561
GUILLELMO CASTANEDA

FIELD CREW: JO/HA
MAPPING: BOE/TE
SCALE: 1" = 10'
JOB NUMBER: 20221085
DATE: JULY 01, 2022

SHEET 1
OF 1 SHEETS
FILE NO. 20221085

CITY STAMP

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PLANNING SUBMISSION	04/03/2023
PLANNING PRELIMINARY	10/04/2022
HOA REVIEW	09/06/2022
No. Revision/Issue	Date

Nomos Inc.
www.nomosred.com
T. 650 290 1906



Desert Palisades Lot 12,
2215 Winter Sun Dr,
Palm Springs
CA 92262

TOPOGRAPHIC SURVEY

Project	DP12
Date	09/06/2022
Scale	VARIES
Sheet	SU1.0

IN THE CITY OF PALM SPRINGS, CALIFORNIA
PRECISE GRADING PLAN
 LOT 12, TRACT NO. 35540, M.B. 443/65-78
 IN SECTION 4, T4S, R4E, S.B.M.

- GRADING PLAN GENERAL NOTES**
- The work shall be done in accordance with the Standard Drawings of the City of Palm Springs and the Standard Specifications for Public Works Construction, 2012 Edition.
 - The Contractor shall be responsible for providing an effective means of dust control which shall include provisions for adequate watering during the grading process and provisions for continuance of dust control until the graded surface presents sufficient cover against wind or water erosion so that special dust control measures are no longer necessary.
 - Nothing in these Plans shall relieve the Contractor from obtaining permits as required by Chapter 14.16 of the City of Palm Springs Municipal Code.
 - The Contractor shall set an appointment for inspection with the engineering inspector a minimum of 24 hours prior to the date of inspection.
 - All grading shall comply with Section 1804 and Appendix J of the 2010 California Building Code.
 - The location of existing underground utilities are to be shown in a schematic manner only. Subject to the provisions of Section 4215 of the California Government Code, the Contractor shall determine the exact location of all existing utilities before commencing the Work. Contact Underground Service Alert (U.S.A.) at 1-800-422-4133 two working days prior to any excavation.
 - Dimensioning to curbs shall be to face of curb.
 - Contractor shall dispose of all debris off-site daily, unless otherwise specified by the City Engineer.
 - Contractor shall remove any abandoned utility facilities and show limits of removals on the record drawings.
 - The Contractor shall be responsible for the removal, replacement or relocation of all regulatory, warning and guide signs.
 - A "Record Drawing" (formerly called "As-Built" Drawing) of this Plan shall be submitted by the Project Engineer of record to the City Engineer, for approval prior to acceptance of the Work.
 - Construction signing, lighting and barricading shall be provided on all projects as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices for Streets and Highways, dated January 13, 2012, or subsequent editions in force at the time of construction.
 - The flow line of all curbs and gutters and cross gutters shall be water tested before acceptance of the Work.
 - Parking stalls shall be clearly delineated with a 4 to 6 inch stripe "hairpin" or elongated "U" design or other approved striping or stall delineation.
 - Final site grading and drainage flow lines shall be certified, in writing, by the Engineer of Record to be in conformance to the approved grading plan PRIOR TO FINAL INSPECTION.
 - For projects in excess of 1 acre, a Notice of Intent to comply with California General Construction Stormwater Permit (Water Quality Order 2009-0009-DWQ as modified September 2, 2009), as well as a copy of the executed letter issuing a Waste Discharge Identification (WQID) number, is required prior to issuance of Grading or Building Permit, via the California Regional Water Quality Control Board (Phone No. (760) 346-7491). A updated copy of the project-specific Storm Water Pollution Prevention Plan (SWPPP) must be kept at the project site at all times.
 - A city approved fugitive dust (PM-10) control plan is required prior to issuance of a grading permit. All dust control measures described in AQMD Rule 403 (BEST AVAILABLE CONTROL MEASURES) and in the city-approved fugitive dust control plan shall be implemented at all times. A wind fence and proper signage, shall be erected, inspected and approved by the City's Dust Control Inspector prior to initiation of clearing, grubbing, grading or import/export of soil, or fill material at the site. Failure to call 760-323-8253, extension 8740 for inspection 72 hours prior to initiating work will result in issuance of citation by the City.
 - The block walls, retaining walls, and other structures shown on the grading plan are for location purposes only. Separate permits for the above are required from the Building Department.
 - All provisions of the preliminary soils report dated February 24, 2022 prepared by Sladden Engineering, report no. 544-22088 22-02-122, shall be complied with.
- STREET PAVEMENT**
- The asphalt concrete design shall meet the City of Palm Springs Std. Dwg. No 110 and Standard Specifications for Public Works Construction, 2012 Edition; use Type B for the base lift and Type C2 for the final 1" cop. The design shall have a HVEEM stability of 35 AND 33 respectively per the California Test method 304 and 366. Performance Grade asphalt (PG-70-10) meeting the 2010 Caltrans Standard Specifications shall be used. The specified miscellaneous base shall be crushed miscellaneous base according to the Standard Specifications for Public Works Construction, 2012 Edition.
- TRENCH PAVEMENT**
- Street cuts shall be paved with temporary A.C. paving immediately. Major and Secondary Thoroughfares shall be permanently paved within 15 days of the initial excavation (30 days on collector and residential streets) per City of Palm Springs Std. Dwg. No. 115. See Ordinance No. 14.16.375.
 - Trenches shall be completely backfilled and compacted to support traffic at the end of each work day. The Contractor shall place permanent pavement through intersections at the end of each work day. No trench excavation or pipe laying on Fridays, weekends or holidays will be permitted on major and secondary thoroughfares or collector streets without prior approval of the City Engineer. Contractor shall place permanent paving each Friday.
 - If, in the opinion of the City Engineer, the trench backfill is unsafe to traffic, the Contractor shall place permanent paving at the end of each work day.
 - Steel trench plating shall conform to Caltrans Encroachment Permit Manual Sec. 602.1 as revised July, 2009.
 - The specific miscellaneous base shall be crushed miscellaneous base according to the Standard Specification for Public Works Construction, 2012 Edition.
- WQMP GENERAL NOTES**
- Erosion control Best Management Practices (BMPs) shall be implemented and maintained to minimize and/or prevent the entrainment of soil in runoff from disturbed soil areas on construction sites.
 - Sediment control BMPs shall be implemented and maintained to prevent and/or minimize the transport of soil from the construction site.
 - Stockpiles of soil shall be properly contained to eliminate or reduce sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind.
 - Appropriate BMPs for construction-related materials, wastes, spills or residues shall be implemented to eliminate or reduce transport from the site to streets, drainage facilities, or adjoining properties by wind or runoff.
 - BMPs shall be inspected prior to predicted storm events and following storm events, and shall be properly maintained.
 - Runoff from equipment and vehicle washing shall be contained at construction sites and must not be discharged to receiving waters, adjacent roadways, catch basins, or other components of the local storm drain system.
 - All construction contractor and subcontractor personnel are to be made aware of the required best management practices and good housekeeping measures for the project site and any associated construction staging areas.
 - At the end of each day of construction activity, all construction debris and waste materials shall be collected and properly disposed of in covered trash or recycle bins.
 - Construction sites shall be maintained in such a condition that a storm does not carry wastes or pollutants off the site. Discharges other than stormwater (i.e., non-stormwater discharges) are prohibited, except as authorized by an individual National Pollution Discharge Elimination System (NPDES) permit, the General Permit for Stormwater Discharges Associated with Construction Activity, or the General Permit for Stormwater Discharges Associated with Construction Activity from Small Linear Underground/Overhead Projects. Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, solvents, detergents, glues, lime, pesticides, herbicides, fertilizers, wood preservatives, asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; concrete and related cutting or curing residues; concrete washout; floatable wastes; wastes from engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning; and super-chlorinated potable water from line flushing and testing. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site, physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
 - Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging non-contaminated groundwater produced by dewatering activities may require a National Pollutant Discharge Elimination System (NPDES) permit or Waste Discharge Requirements (WDRs) issued by the Colorado River Basin Regional Water Quality Control Board.
 - Construction sites shall be managed to minimize the exposure time of disturbed soil areas through phasing and scheduling of grading to the extent feasible and the use of temporary and permanent soil stabilization.

PROJECT DATA

OWNER/CONTACT:
 MIRAGE DEVELOPERS, INC.
 C/O: TOD DAVIDSON
 72-049 PETLAND PLACE
 THOUSAND PALMS, CA. 92276
 (760) 272-8300

ENGINEER:
 SANBORN ARCHITECTURE GROUP, INC.
 71-780 SAN JACINTO DR.
 BLDG. E-1
 RANCHO MIRAGE, CA. 92270
 (760) 423-0600

PERMITS REQUIRED:
 GRADING PERMIT
 P.M. 10
 WALL PERMIT

UTILITIES:

ELECTRIC: SO. CALIFORNIA EDISON
 760-202-4291

GAS: SO. CALIFORNIA GAS CO.
 760-324-4691

TELEPHONE: FRONTIER
 760-778-3603

TELEVISION: SPECTRUM
 760-674-5452

SEWER: VEOLIA WATER
 760-323-8166

WATER: DESERT WATER AGENCY
 760-323-4971

BASIS OF BEARINGS:

THE RADIAL CENTERLINE OF WINTER SUN DRIVE OF SECTION 35, PER M.B. 443/65-78 BEING 88°05'15"

TOPOGRAPHY:
 SANBORN ARCHITECTURE GROUP, INC.
 DATE OF SURVEY: 07/2022

ASSESSOR'S PARCEL NO.
 LOT 12: 504-390-012

EARTHWORK QUANTITIES

NOTE: THESE ARE AN ESTIMATE ONLY. CONTRACTOR IS REQUIRED TO PREPARE HIS OWN ESTIMATES FOR THE PURPOSE OF BIDDING. QUANTITIES DO NOT STRIPPING, SHORING, COMPACTOR OR SUBSIDENCE LOSSES

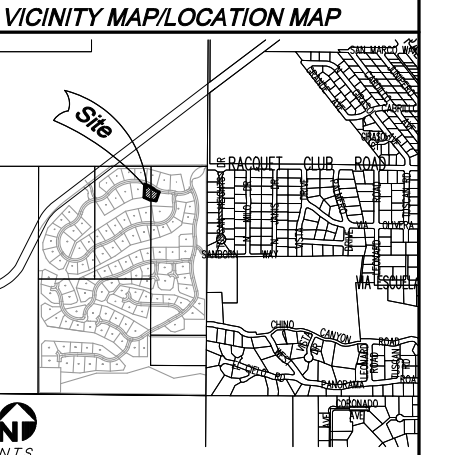
NOTE: A RED IMPORTED FIRE ANT CLEARANCE REQUIRED FOR ALL EXPORTED MATERIAL

CUT 2013 C.Y. FILL 480 C.Y.

LEGAL DESCRIPTION
 LOT 12 OF TRACT NO. 35540, PER M.B. 443/65-78

FEMA FLOOD ZONE

ZONE: X500 & X
 COMMUNITY PANEL NO.: 0602571558G
 DATED: 08/28/2008



LEGEND

INV.	INDICATES INVERT ELEVATION
TOG	INDICATES TOP OF GRATE
FE	INDICATES FINISH FLOOR ELEVATION
FL	INDICATES FLOWLINE
TC	INDICATES TOP OF CONCRETE
TF	INDICATES TOP OF FOOTING
TSW	INDICATES TOP OF STEM WALL
RD	INDICATES ROOF DRAINS
TS	INDICATES TOP OF STEP
FS	INDICATES FINISH SURFACE OTHER THAN DIRT
FF	INDICATES FINISH FLOOR
TRW	INDICATES TOP OF RETAINING WALL
TW	INDICATES TOP OF WALL
FG	INDICATES FINISH GRADE
INV.	INDICATES INVERT
B.S.L.	INDICATES BUILDING SETBACK LINE
[Symbol]	INDICATES GRAVEL DRIVEWAY
[Symbol]	INDICATES CONCRETE
[Symbol]	INDICATES GRAVEL
[Symbol]	INDICATES CMU WALLS
[Symbol]	INDICATES STEP IN FINISH FLOOR

CONSTRUCTION NOTES AND QUANTITIES:

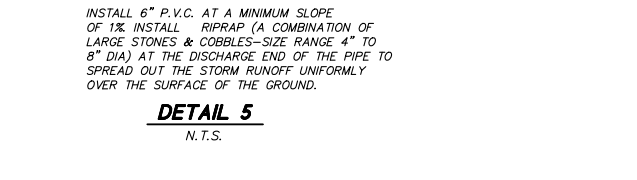
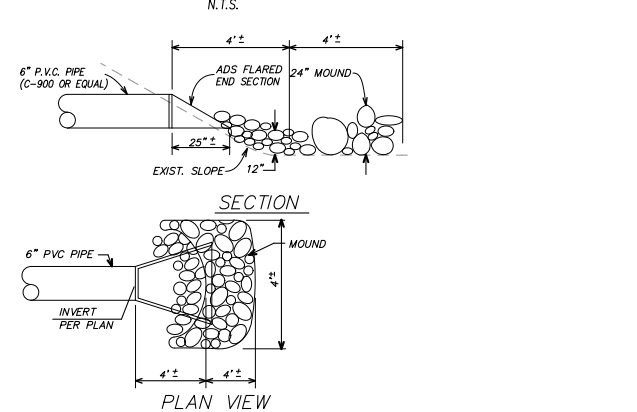
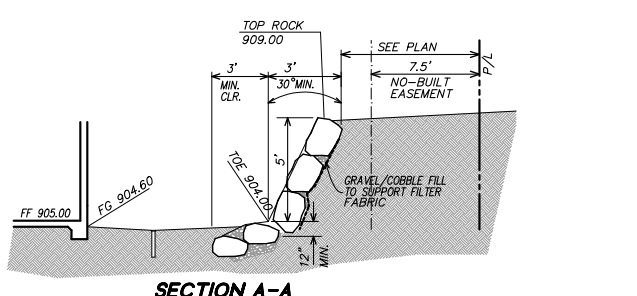
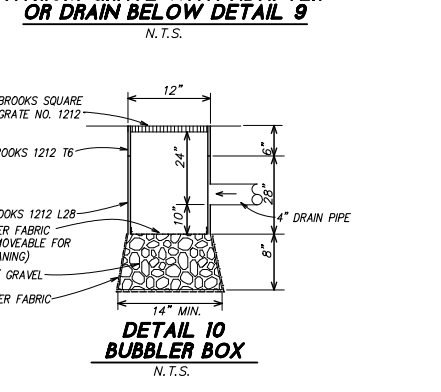
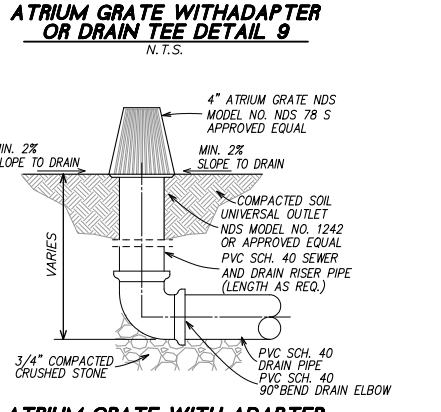
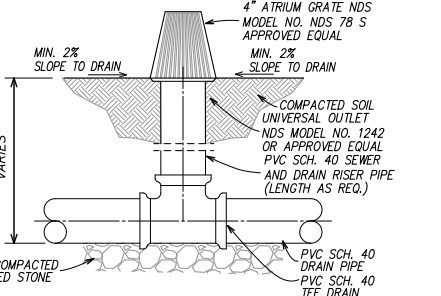
NOTE: THESE ESTIMATES ARE FOR PERMIT USE ONLY. CONTRACTOR IS REQUIRED TO PREPARE HIS OWN ESTIMATES FOR THE PURPOSE OF HIS BIDDING.

①	CONSTRUCT PAVERS DRIVEWAY - (ICE GRAY GRANITE)	886	S.F.
②	CONSTRUCT 4" P.C.C. CONCRETE - (ACID ETCHED)	788	S.F.
③	INSTALL ACCOYA EXTERIOR DECKING 3/4" THICK x 7-3/8" WIDE	61	L.F.
④	CONSTRUCT CMU WALL - SEE ARCHITECT PLANS FOR DETAILS (UNDER SEPARATE PERMIT)	---	L.F.
⑤	INSTALL RIP-RAP AT DRAIN PIPE END PER DETAIL 5 ON SHEET 1	1	EA.
⑥	INSTALL 4" PVC (SDR-35) STORM DRAIN WITH 1% MIN. SLOPE UNLESS OTHERWISE NOTED	---	L.F.
⑦	INSTALL 6" PVC (SDR-35) STORM DRAIN WITH 1% MIN. SLOPE UNLESS OTHERWISE NOTED	---	L.F.
⑧	INSTALL 12" PVC (SDR-35) STORM DRAIN WITH 1% MIN. SLOPE UNLESS OTHERWISE NOTED	221	L.F.
⑨	INSTALL NDS 4" ATRIUM GRATE NO. NDS 78 S	4	EA.
⑩	CONSTRUCT BUBBLER BOX - BROOKS 1212 L18/PARKWAY GRATE PER DETAIL 10	2	EA.

- NOTE:**
- CONTRACTOR SHALL OVEREXCAVATE OR OTHERWISE PREPARE SUBGRADE FOR PAVING AREAS PER GEOTECHNICAL ENGINEERS REPORT AND RECOMMENDATIONS.
 - ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THIS PLAN.
 - SURFACE WATER WILL DRAIN AWAY FROM BUILDING.
 - FOR SEWER, WATER & GAS LINE CONNECTIONS TO BUILDING SEE ARCHITECTS PLANS
 - ALL FREESTANDING BLOCK WALLS TO BE CONSTRUCTED UNDER SEPARATE PERMIT

SHEET INDEX:

SHEET 1	GRADING & DRAINAGE COVER SHEET
SHEET 2	GRADING & DRAINAGE PLAN



REGISTERED PROFESSIONAL ENGINEER
 KEITH A. CHRISTIANSEN
 NO. 50083
 CIVIL
 STATE OF CALIFORNIA

REGISTERED PROFESSIONAL ENGINEER
 JOHN M. BRUDIN
 NO. 41836
 CIVIL
 STATE OF CALIFORNIA

NO.	"AS BUILT"	CORRECTED BY	APPROVED BY	AREA:
				LOT 12 22,186 S.F. .51 AC.
NO.	REVISION	APPROVED	DATE	BENCH MARK
				C.P.S. 3-11
				ELEV. 804.929
				LOCATION
				CORNER OF FIRE HYDRANT NO. 593, SOUTHEAST CORNER OF MILO RACQUET CLUB.

UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

PRIVATE ENGINEERING NOTE: CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

48 HOURS BEFORE YOU DIG
 CALL UNDERGROUND SERVICE ALERT
 811

SANBORN ARCHITECTURE GROUP, INC.
 71650 SAHARA RD.
 RANCHO MIRAGE, CA 92270
 TEL (760) 423-0600
 FAX (760) 423-0603

PREPARED UNDER THE DIRECT SUPERVISION OF:
 KEITH A. CHRISTIANSEN
 R.C.E. 50083
 DATE

DESIGN BY:	A.M.S.	REVIEWED BY:	JOHN M. BRUDIN	APPROVED BY:	JOEL MONTALVO
DRAWN BY:	F.J.	R.C.E. NO.:	41836	R.C.E. NO.:	62824
CHECKED BY:	A.M.S.	DATE:		DATE:	

CITY OF PALM SPRINGS, CALIFORNIA

GRADING PLAN COVER SHEET
 for 2215 WINTER SUN DRIVE
 LOT 12 - TRACT NO. 35540, M.B. 443/65-78
 IN SECTION 4, T4S, R4E, S.B.M.

FILE NO. E- SHEET 1 OF 2 SHEETS

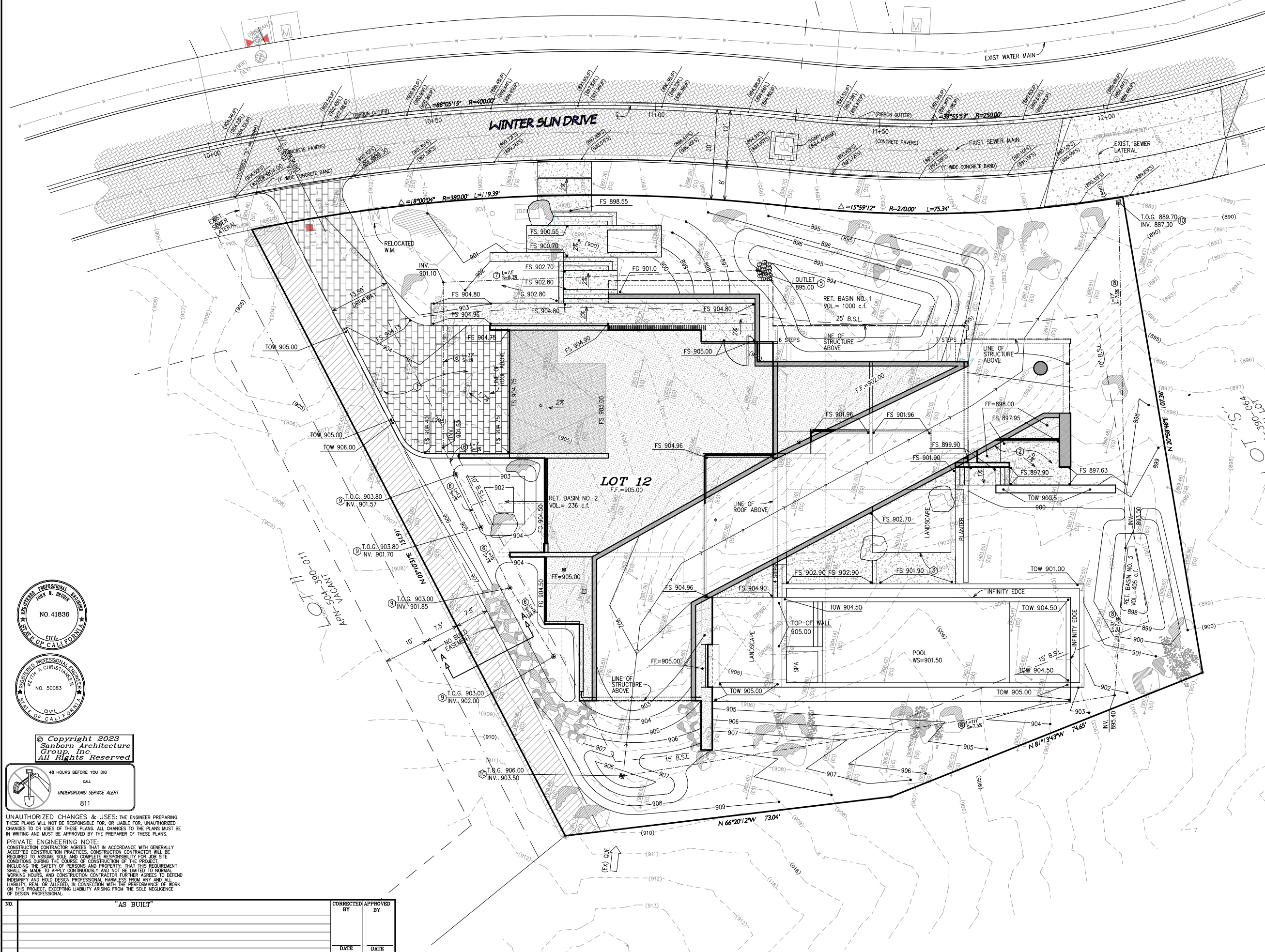
2/27/2023 3:06 PM Z:\Datacenter Files\122-132_Palisades 12\GRADING PLAN\GT GRADING LOT 12

- CONSTRUCTION NOTES**
- CONSTRUCT PAVERS DRIVEWAY - ((ICE GRAY GRANITE))
 - CONSTRUCT 4" P.C.C. CONCRETE - (ACID ETCHED)
 - INSTALL ACCOYA EXTERIOR DECKING 3/4" THICK x 7-3/8" WIDE
 - CONSTRUCT CMU WALL - SEE ARCH. PLANS FOR DETAILS (UNDER SEPARATE PERMIT)
 - INSTALL RIP-RAP AT DRAIN PIPE PER DETAIL 5 ON SHEET 1
 - INSTALL 4" PVC (SDR-35) STORM DRAIN WITH 1% MIN. SLOPE UNLESS OTHERWISE NOTED
 - INSTALL 6" PVC (SDR-35) STORM DRAIN WITH MIN. 1% SLOPE UNLESS OTHERWISE NOTED
 - INSTALL 12" PVC (SDR-35) STORM DRAIN WITH MIN. 1% SLOPE UNLESS OTHERWISE NOTED
 - INSTALL NDS 4" ATRIUM GRATE NO. NDS 78 S
 - CONSTRUCT BUBBLER BOX - BROOKS 1212 L18/PARKWAY GRATE PER DETAIL 10

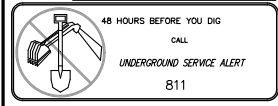
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 Q100 = 0.00 CFS
 V100 = 00.00 CF

RETENTION BASIN NO. 2
 Q100 = 0.00 CFS
 V100 = 00.00 CF

RETENTION BASIN NO. 3
 Q100 = 0.00 CFS
 V100 = 00.00 CF



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NO.	REVISION	"AS BUILT"	
		CORRECTED BY	APPROVED BY

NO.	APPROVED	DATE

BENCH MARK 3-11
 ELEV. 804.929
 LOCATION: TOP OF FIRE HYDRANT NO. 593, SOUTHEAST CORNER OF MILO RACQUET CLUB.

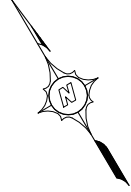
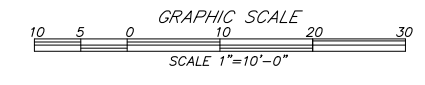


PREPARED UNDER THE DIRECT SUPERVISION OF:
 DESIGN BY: A.M.S.
 DRAWN BY: F.J.
 CHECKED BY: A.M.S.
 R.C.E. NO. 60083
 JOHN M. BRUDIN
 DATE

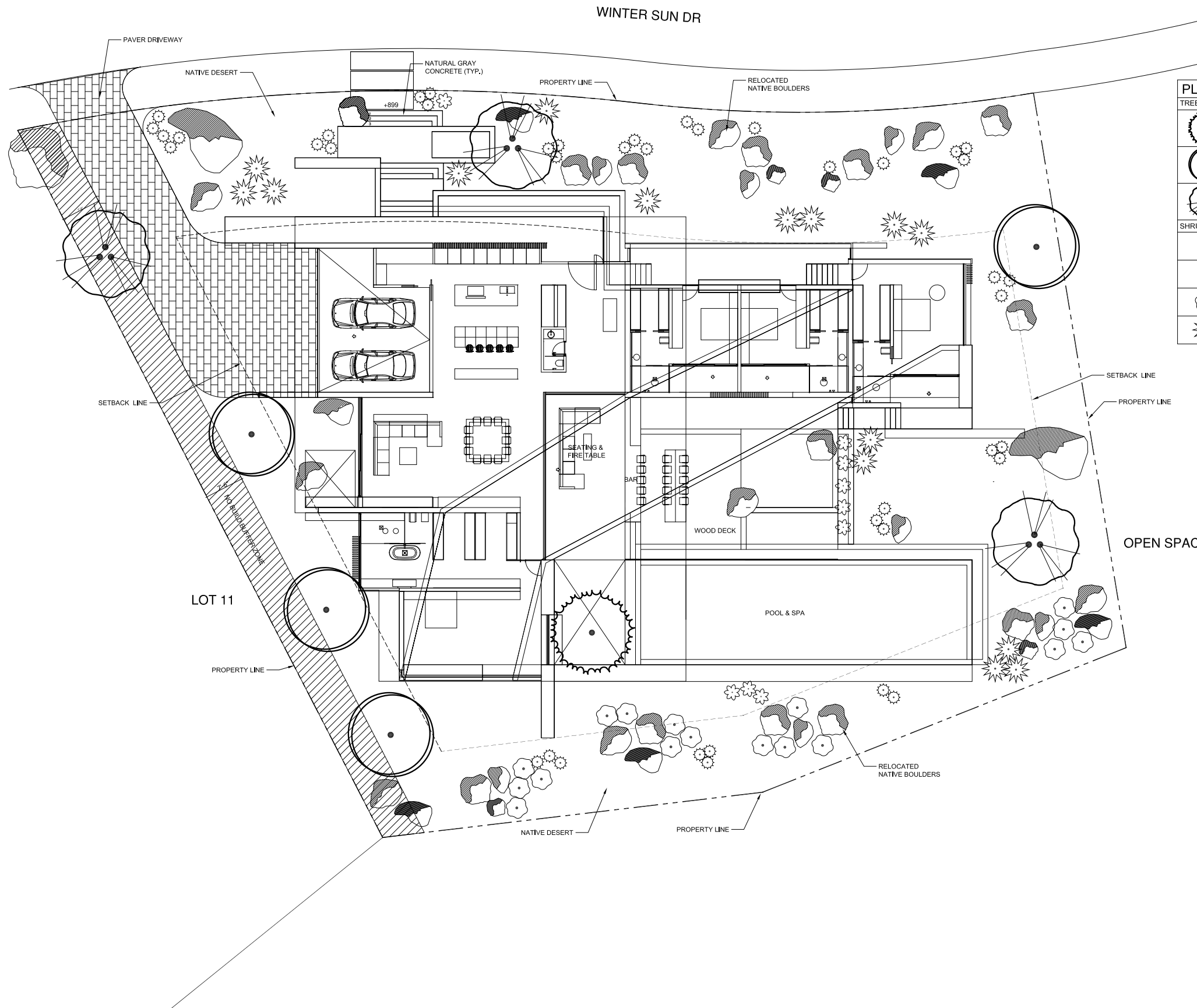
REVIEWED BY: JOHN M. BRUDIN
 APPROVED BY: JOEL MONTALVO
 R.C.E. NO. 41836
 R.C.E. NO. 62624
 DATE

CITY OF PALM SPRINGS, CALIFORNIA
 GRADING PLAN
 for 2215 WINTER SUN DRIVE
 LOT 12 - TRACT NO. 35540, M.B. 443/65-78
 IN SECTION 4, T4S, R4E, S.B.M.

FILE NO. E-
 SHEET 2
 OF 2 SHEETS



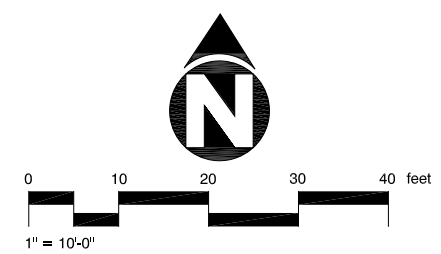
Z:\Datacad Files\22 Grading Plans\22-132 Grading Plan\02 GRADING PLAN\02 GRADING LOT 12 7/13/2023 2:39 PM



PLANTING LEGEND					
TREES	BOTANICAL / COMMON NAME	SIZE	WUCOLS	QTY	REMARKS
	MELALEUCA QUINQUENERVIA PAPERBARK TREE	36" BOX	LOW	1	STANDARD
	OLEA EUROPAEA 'WILSONII' WILSON OLIVE	24" BOX	LOW	4	STANDARD
	PARKINSONIA X 'DESERT MUSEUM' DESERT MUSEUM PALO VERDE	24" BOX	LOW	3	MULTI-TRUNK
SHRUBS	BOTANICAL / COMMON NAME	SIZE	WUCOLS	QTY	REMARKS
	AGAVE DESERTI DESERT AGAVE	15 GAL	LOW	9	
	ECHINOCACTUS GRUSONII GOLDEN BARREL CACTUS	5 GAL	LOW	42	
	ENCELIA FARINOSA BRITTLEBUSH	5 GAL	LOW	17	
	YUCCA ROSTRATA BEAKED YUCCA	15 GAL	LOW	15	

- PLANTING NOTES:**
- IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS OR IF THERE ARE DISCREPANCIES BETWEEN THE PLANS, CONTACT THE OWNER, OR OWNER'S REPRESENTATIVE FOR DIRECTION AS TO HOW TO PROCEED.
 - VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER, OR OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
 - EXACT LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE OWNER IN THE FIELD PRIOR TO INSTALLATION. OWNER RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
 - VERIFY PLANT COUNTS AND SQUARE FOOTAGES: QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM GRAPHIC INDICATIONS, THEN GRAPHICS SHALL PREVAIL.
 - CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.
 - PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
 - TREES SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING.
 - TREES TO BE PLANTED A MINIMUM OF 5 FEET FROM FACE OF BUILDING, OR PAVEMENT, EXCEPT AS APPROVED BY THE OWNER
 - INSTALL ROOT BARRIER AROUND ANY TREES WITHIN 5' OF ANY FACE OF BUILDING, PAVEMENT OR ANY RIGHT-OF-WAY CONCRETE.
 - PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
 - ALIGN AND EQUALLY SPACE IN ALL DIRECTIONS TREES AND SHRUBS SO DESIGNATED PER THESE NOTES AND DRAWINGS.
 - FINISH GRADES OF PLANTER AREAS SHALL BE 3 INCHES BELOW ADJACENT PAVING OR TOP OF WALL UNLESS OTHERWISE NOTED.
 - OWNER, OR OWNER'S REPRESENTATIVE, TO REVIEW PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPHS PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.

*PROGRESS SHEET
NOT FOR CONSTRUCTION*



SITIO

LANDSCAPE ARCHITECTURE

323 N. RESH STREET
ANAHEIM, CA 92805
PH: (657) 217-6169

RESIDENTIAL DEVELOPMENT
LANDSCAPE PLANS

2215 WINTER SUN DRIVE
PALM SPRINGS, CA

PREPARED FOR:
JOHN ELLIOT, OWNER
10112 WORKMAN CIRCLE
VILLA PARK, CA 92861
PH: (714) 313-0798

PROGRESS SHEET	DATE
03/2/2023	

DATE: 03/2/2023
SCALE: 1" = 10'-0"
DRAWN BY: PC

SHEET TITLE:
PLANTING PLAN

SHEET DESIGNATOR:
LX

SHEET X OF X

no one

SITE PHOTOS



ROAD VIEW



POOL VIEW



REAR VIEW



DRIVEWAY VIEW