ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: JUNE 26, 2023 NEW BUSINESS

SUBJECT: A REQUEST BY HENRIK ARTONIAN, OWNER, FOR A MAJOR ARCHITECTURAL APPLICATION (MAJ) FOR THE CONSTRUCTION OF A 4,112-SQUARE FOOT SINGLE-FAMILY RESIDENCE ON A HILLSIDE LOT LOCATED AT 2310 TUSCAN ROAD, ZONE R-1-B (CASE 3.4287-MAJ) (GM).

FROM: Department of Planning Services

PROJECT DESCRIPTION:

This is a request for approval of a Major Architectural Application for the construction of a new 4,112-square foot, single-family residence on a hillside lot of approximately 13,664-square feet in size. The project includes a 4,112-square foot single-story building, with a two-car garage, five (5) bedrooms with living and kitchen areas with a maximum height of 17'-11" feet. Outdoor areas include a large cover patio and pool/deck. The proposed residence has a modern design style, which will accompany the eclectic styles of homes in the Little Tuscany neighborhood.

RECOMMENDATION:

That the Architectural Review Committee approve the application, subject to the attached conditions.

BACKGROUND INFORMATION:

Neighborhood Meeting/Neighborhood Notice	
06/12/23	Notice mailed by staff to adjacent property owners notifying that the subject project would be reviewed by the Architectural Review Committee on January 26, 2023
06/22/23	The surrounding neighborhood organizations within a mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on June 26, 2023.

STAFF ANALYSIS:

Site Area	
Net Acres	13,664-square feet

General Plan and Zoning Designations		
General Plan Designation	*Permitted Density*	*Compliance*
Estate Residential (ER)	0-2.0 DU/AC	Y
Zoning Designation		
R-1-B		

Development Standards:
Pursuant to PSZC Section 92.01.03, the following development standards apply:

Standard	*Required/ Allowed*	*Provided*	*Compliance*
Min. Setbacks			
• Front (West)	25 Feet	25 Feet – Tuscan Rd	Y
• Side Front (South)	20 Feet	20 Feet – Via Olivera	Y
• Side (North)	10 Feet	10 Feet	Y
• Rear (East)	15 Feet	15'-6" Feet	Y
Max. Lot Coverage	35%	30%	Y
Max. Building Height	12 Feet @ setback, 18 Feet Max	17'-11" Feet	Y
Parking	2 spaces (covered)	2 spaces (covered)	Y

The project before the ARC was formally submitted to the Planning Department in May 2021 with multiple reviews between Staff, the project architect, and the property owner. The plan that is before the ARC is a culmination of revisions to the project to address comments from the Planning Department's Urban Design Planner. The site design, landscaping and building elevations has improved with each revision and is before the ARC for approval.

FINDINGS:

Hillside Review Criteria:
PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

	Guidelines [PSZC 93.13.00(B)(4)(a)]	*Compliance*
1.	*Rock and soil exposure;* The subject vacant lot contains rocks and boulders typically found in the hillside neighborhood of Little Tuscany. The siting of the house will take into consideration of the hillside condition with a grade elevation change of eleven (11) feet from the street (Tuscan Road) to the lower portion (Via Olivera). The house finished floor pad will sit six (6) feet below the existing street level of Tuscan Road and will use the hillside condition to step down multiple times within the house, leading to the garage and the pool/patio area.	Y
2.	*Size of building pad;* The size of the building pad will consist of the house footprint of 4,112-square feet with separate but attached 2-car garage plus outdoor patio and pool deck. The construction will require portions of the lot to be graded to establish the building pad.	Y
3.	*Design considerations, such as supporting stilts, colors and building arrangement;* The proposed home is modern in its design and consists of a neutral color scheme. The one-level home will be “U” in shape surrounding the outdoor area and sits on a level pad without supporting stilts which are not required or proposed.	Y
4.	*Screening of parking areas;* The house is sited in a manner that has the driveway and garage facing the secondary street with a twenty (20) foot long paved surface. The elevation change will lessen the visual impact of the driveway and garage door with heightened use of quality building materials and finishes.	Y
5.	*Landscaping plans;* The project proposes a lush and efficient set of plants. The proposed plant species consist of multiple large 36” box shade trees, Blue Palm, California Fan Palm, and numerous shrubs, and succulents. The landscape plan includes plants along the two streets, with ground cover to include crushed stone, gravel, pebbles, and boulders.	Y
6.	*Continuity with surrounding development;* The proposed home is complementary with the existing residential development on the street and maintains a similar scale with homes in the vicinity.	Y

	Guidelines [PSZC 93.13.00(B)(4)(a)]	*Compliance*
7.	*Sensitivity to existing view corridors.*	Y
	The project site has a grade difference from the top of Tuscan Road at the north-west corner of the lot down eleven (11) feet to the south-east corner along Via Olivera Road. The building pad will be six (6) feet lower than the street (Tuscan Road) per the cross-section plan resulting in the house at the same elevation as the existing residence to the north. The adjacent house along Via Olivera currently as constructed will be at a lower elevation as the street continues to descend the hill. Development of the parcel will not impede existing view corridors due to the topography, and the building height for the proposed new home.	

Architectural Review Criteria and Findings:

PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

	Criteria and Findings [PSZC 94.04.00(E)]	*Compliance*
1.	*The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;*	Y
	The main building exterior will be 3-coat stucco finish in a La Habra grey color, a metal fascia in black with stone veneer accent on the garage, around the front door and on the west elevation. Architectural treatment is consistent on all four sides of the proposed building.	
2.	*The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;*	N/A
	There are no accessory structures proposed.	
3.	*The façade elements and fenestration are composed in a harmonious manner;*	Y
	The “U” shape of the house located on a corner lot with two front sides provides a good opportunity to address the most visible elevations of the house. The use of stucco on the main body walls and stone veneer are good materials composed in a harmonious manner. The multiple roof lines as viewed from the west facing elevation shows a series of angled roof lines that should be simplified.	

	Criteria and Findings [PSZC 94.04.00(E)]	*Compliance*
4.	*The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;*	Y
	Proposed material consists of a painted smooth plaster finish in a warm custom blended gray color, a metal dark fascia, with stone veneer in a mixed off-white/beige color scheme. The garage door will be frosted glass in dark metal frame. Light sconces frame the front door which will be frosted glass in a dark frame similar to garage door. The building elements are consistent with the context of the site and nearby buildings which are all one-story.	
5.	*The proposed color scheme is appropriate to the desert environment and consistent with the site context;*	Y
	The home is proposed in a light grey stucco with white fascias. Accent stone veneer panels help integrate the colors and textures of the rocky terrain on the site successfully.	
6.	*Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;*	Y
	The house design features a building height of 17'-11" with wide overhangs at the pool/outdoor area that are proportionate to the structure and provide solar control. In addition, the west facing widows/sliders have been recessed beyond the building wall forming a shadow box and eyebrows have been added for solar control. These overhangs will provide shade to the structure and takes into consideration the building orientation and solar control. The orientation of the outdoor spaces on the east side of the house help buffer those areas from the prevailing heavy winds blowing out of the northwest.	
7.	*The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;*	Y
	The project proposes a lush and efficient set of plants. The proposed plant species consist of multiple large 36" box shade trees, Blue Palm, California Fan Palm, and numerous shrubs, and succulents. The landscape plan includes plants along the two streets, with ground cover to include crushed stone, gravel, pebbles, and boulders. Any new plants will meet the planting requirements of the PSZC.	
8.	*The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;*	Y

	Criteria and Findings [PSZC 94.04.00(E)]	*Compliance*
	The landscape plan submitted includes the planting of three (3) Southern Live Oak, and three (3) olive trees in 36" boxes; in addition, thirteen (13) Washingtonian Filifiera at ten (10) feet tall and four (4) Blue Palms and two (2) Pygmy Date Palms comprise the main trees. The remainder understory plants include grasses, Bottle Bush, Yucca, Agave, and other ground cover. The use of several species of grasses should be eliminated from the plans which are not native to the Coachella Valley.	
9.	*The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;*	N/A
	The Little Tuscany neighborhood has streets that are considered rural with no sidewalks or gutters. These types of improvements are not required.	
10.	*The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;*	Y
	The project proposes placing wall mounted lights adjacent to the garage and front door in a dark sconce fixture. Recessed lighting in the eaves of the roof overhangs are shown.	
11.	*Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;*	N/A
	No signage proposed.	
12.	*Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;*	Y
	The HVAC mechanical equipment will be placed on the north side of the house. Pool equipment to be placed adjacent to the east side of the garage behind a low wall with gate and not visible from the street or abutting properties.	
13.	*The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.*	Y
	The project is consistent in its coordination of materials, landscape, color, massing and an overall design sensitive to the unique characteristics of the site.	

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a "project" pursuant to the terms of the California Environmental Quality Act ("CEQA") and has been determined to be categorically exempt pursuant to Section 15303(a) of the CEQA Guidelines (Class 3, New Single-Family Residence).

CONCLUSION:

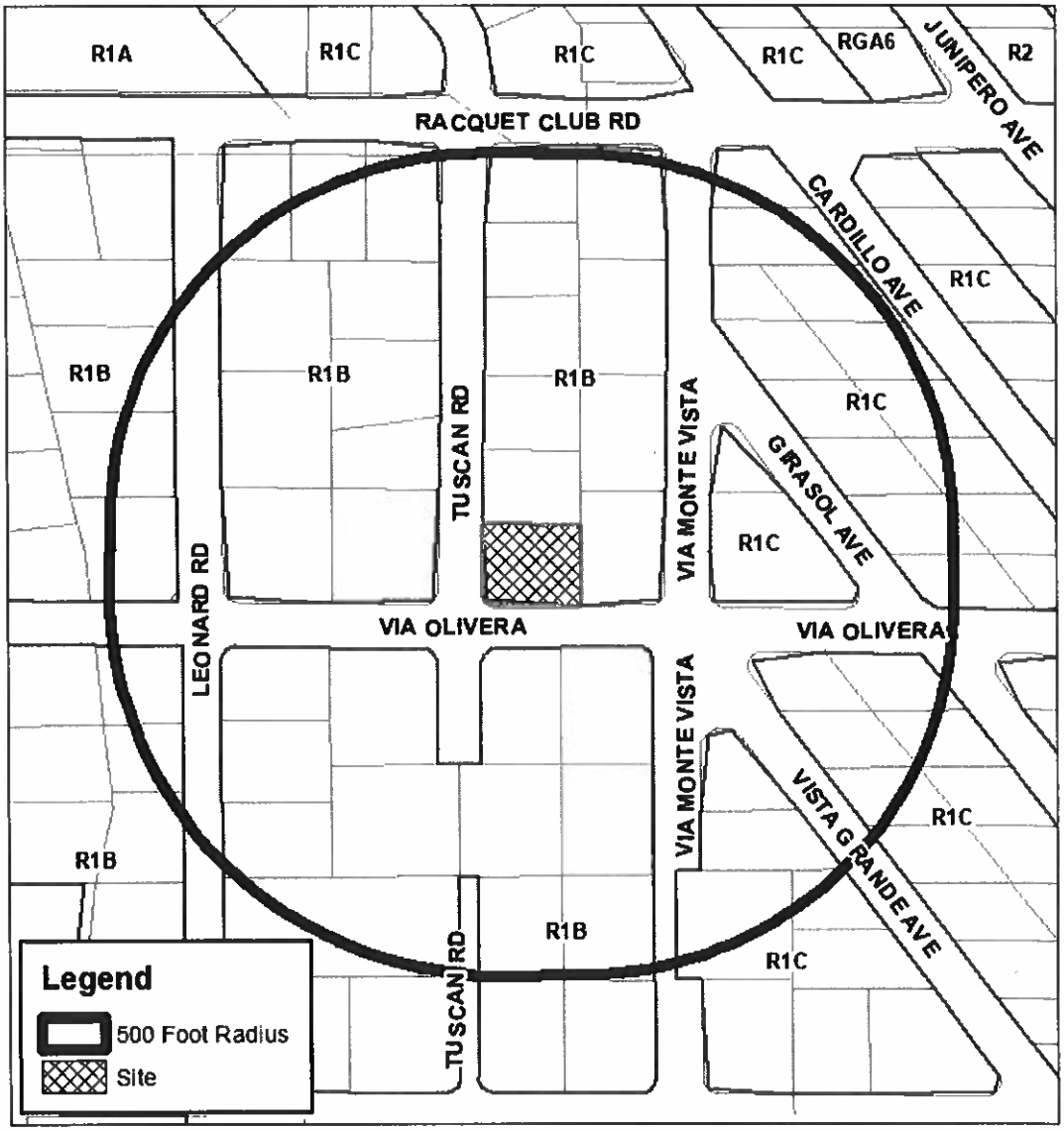
The proposed single-family home is designed to integrate with the topography and natural features on the site. The structure conforms to the development standards of the zone and will provide a desirable environment for its occupants. The proposed development will be compatible with the character of other single-story homes in the Little Tuscany neighborhood.

PREPARED BY:	Glenn Mlaker, AICP - Associate Planner
REVIEWED BY:	Edward Robertson - Principal Planner
REVIEWED BY:	Christopher Hadwin, Planning Director

ATTACHMENTS:

1. Vicinity Map
2. Resolution and Conditions of Approval
3. Justification Letter
4. Material Board
5. Site Photos
6. Exhibit Package

Department of Planning Services
Vicinity Map



CITY OF PALM SPRINGS

Case 3.4287 MAJ
2310 Tuscan Road

RESOLUTION NO.

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MAJOR ARCHITECTURAL APPLICATION FOR DEVELOPMENT OF A 4,112-SQUARE FOOT SINGLE FAMILY RESIDENCE ON A HILLSIDE LOT LOCATED AT 2310 TUSCAN ROAD (CASE 3.4287-MAJ).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

A. Henrik Artonian, Owner ("Applicant") filed an application with the City, pursuant to the Palm Springs Zoning Code (PSZC) Section 94.04.00 (architectural review), for construction of a 4,112-square foot single family residence located at 2310 Tuscan Road ("the Project").

B. On April 8, 2021, the City Council adopted Ordinance No. 2042, amending Section 94.04.00 of the PSZC to reassign review of Major Architectural Review (MAJ) applications from the City's Planning Commission to the City's Architectural Review Committee.

C. On June 26, 2023, the City's Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The proposed single-family residence is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Single-Family Residence).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Section 94.04.00 ("architectural review").

Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Case 3.4287 MAJ, for the construction of a 4,112-square foot single-family residence on a hillside lot located at 2310 Tuscan Road, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 26th day of June 2023.

AYES:
ABSENT:

ATTEST: CITY OF PALM SPRINGS, CALIFORNIA

_____

Christopher Hadwin
Planning Director

ARCHITECTURAL REVIEW COMMITTEE

RESOLUTION NO.

CONDITIONS OF APPROVAL

Case 3.4287 MAJ
Proposed Single Family Residence.
Located at 2310 Tuscan Road

June 26, 2023

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, the Director of Planning Services, the Director of Building and Safety, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

ADM 1. Project Description. This approval is for the project described per Case 3.4287 MAJ.

ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, date stamped (June 8, 2023), including site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Planning Division except as modified by the approved Mitigation Measures and conditions below.

ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.

ADM 4. Minor Deviations. The Director of Planning or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.

ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers

or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case 3.4287 MAJ. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent, but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

ADM 6. Maintenance and Repair. The property owner(s) and successors and assignees in interest shall maintain and repair the improvements including and without limitation all structures, sidewalks, bikeways, parking areas, landscape, irrigation, lighting, signs, walls, and fences between the curb and property line, including sidewalk or bikeway easement areas that extend onto private property, in a first class condition, free from waste and debris, and in accordance with all applicable law, rules, ordinances and regulations of all federal, state, and local bodies and agencies having jurisdiction at the property owner's sole expense. This condition shall be included in the recorded covenant agreement for the property if required by the City.

ADM 7. Time Limit on Approval. Approval of the Major Architectural Approval shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.

ADM 8. Right to Appeal. Decisions of an administrative officer or agency of the City of Palm Springs may be appealed in accordance with Municipal Code Chapter 2.05.00. Permits will not be issued until the appeal period has concluded.

PLANNING DEPARTMENT CONDITIONS

PLN 1. Outdoor Lighting Conformance. Exterior lighting plans, including a photometric site plan showing the project's conformance with Section 93.21.00 Outdoor Lighting Standards of the Palm Springs Zoning ordinance, shall be submitted for approval by the Department of Planning prior to issuance of a building permit. Manufacturer's cut sheets of all exterior lighting on the building and in the landscaping shall be included. If lights are proposed

to be mounted on buildings, down-lights shall be utilized. No lighting of hillsides is permitted.

PLN 2. Landscape Plan. Landscape plan to eliminate all non-native grass species.

PLN 3. Roof. Roof color to be tan or similar.

PLN 4. Water Efficient Landscaping Conformance. The project is subject to the Water Efficient Landscape Ordinance (Chapter 8.60.00) of the Palm Springs Municipal Code and all other water efficient landscape ordinances. The applicant shall submit a landscape and irrigation plan to the Director of Planning for review and approval prior to the issuance of a building permit. Landscape plans shall be wet stamped and approved by the Riverside County Agricultural Commissioner's Office prior to submittal. Prior to submittal to the City, landscape plans shall also be certified by the local water agency that they are in conformance with the water agency's and the State's Water Efficient Landscape Ordinances.

PLN 5. Maintenance of Awnings & Projections. All awnings shall be maintained and periodically cleaned.

PLN 6. Screen Roof-mounted Equipment. All roof mounted mechanical equipment shall be screened per the requirements of Section 93.03.00 of the Zoning Ordinance.

PLN 7. Surface Mounted Downspouts Prohibited. No exterior downspouts shall be permitted on any facade on the proposed building(s) that are visible from adjacent streets or residential and commercial areas.

PLN 8. Pool Enclosure Approval Required. Details of fencing or walls around pools (material and color) and pool equipment areas shall be submitted for approval by the Planning Department prior to issuance of Building Permits.

PLN 9. Exterior Alarms & Audio Systems. No sirens, outside paging or any type of signalization will be permitted, except approved alarm systems.

PLN 10. Outside Storage Prohibited. No outside storage of any kind shall be permitted except as approved as a part of the proposed plan.

PLN 11. No off-site Parking. Vehicles associated with the operation of the proposed development including company vehicles or employee's vehicles shall not be permitted to park off the proposed building site unless a parking management plan has been approved.

PLN 12. Pad Elevations. Final building pad elevations shall not vary more than 12 inches above or below the pad elevation established by the approved

preliminary grading plan and / or tentative map. Any deviations from this provision shall require approval by the Planning Commission.

Conditions imposed by Architectural Review Committee.

PLN 13.

BUILDING DEPARTMENT CONDITIONS

BLD 1. Prior to any construction on-site, all appropriate permits must be secured.

ENGINEERING CONDITIONS

The Engineering Services Department recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

STREETS

ENG 1. The Engineering Services Department recommends deferral of off-site improvement items (identified as "***Deferred***") at this time due to lack of full improvements in the immediate area. The owner shall execute a street improvement covenant agreeing to construct all required street improvements upon the request of the City of Palm Springs City Engineer at such time as deemed necessary. The covenant shall be executed and notarized by the property owner(s) prior to approval of the Grading Plan or issuance of grading or building permits. A current title report; or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.

ENG 2. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.

ENG 3. Submit street improvement plans prepared by a registered California civil engineer to the Engineering Services Department. The plan(s) shall be

approved by the City Engineer prior to issuance of any building permits. ***Deferred.***

ENG 4. **Provide proposed finish floor elevations of all proposed structures, existing structures on site, and all adjacent off-site structures. Provide proposed on-site drainage flow designs. This information required prior to site plan approval.**

TUSCAN ROAD

ENG 5. Construct a future 6-inch curb and gutter, 18 feet east of centerline along the entire frontage, with a 25 feet radius curb return and spandrel at the northeast corner of the intersection of Via Olivera and Tuscan Road in accordance with City of Palm Springs Standard Drawing No. 200 and 206. ***Deferred.***

ENG 6. Construct a future 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210. ***Deferred.***

ENG 7. Construct future pavement with a minimum pavement section of 3 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, from edge of proposed future gutter to clean sawcut edge of pavement along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 110 and 300. (Additional pavement removal and replacement may be required upon review of existing pavement cross-sections, and to ensure grade breaks of the pavement cross-section do not occur within a travel lane.) If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval. ***Deferred.***

ENG 8. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.

ENG 9. Construct 2-inch asphalt concrete pavement over compacted native subgrade or install appropriate landscaping and ground cover to provide adequate dust control measures, meeting the approval of the Director of Planning Services and City Engineer, from clean sawcut edge of pavement to property line along the entire frontage, excluding approved driveway locations.

ENG 10. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

VIA OLIVERA

ENG 11. Construct a future 6-inch curb and gutter, 18 feet north of centerline along the entire frontage, with a 25 feet radius curb return and spandrel at the northeast corner of the intersection of Via Olivera and Tuscan Road in accordance with City of Palm Springs Standard Drawing No. 200 and 206. ***Deferred.***

ENG 12. Construct the future east half of a 6 feet wide cross gutter and spandrel at the northeast corner of the intersection of Via Olivera and Tuscan Road with a flow line parallel with and located 18 feet north of the centerline of Via Olivera in accordance with City of Palm Springs Standard Drawing No. 200 and 206. ***Deferred.***

ENG 13. Construct a 6-inch concrete driveway, unless otherwise approved by the City Engineer, from the property line to a clean sawcut edge of pavement.

ENG 14. Construct a future driveway approach in accordance with City of Palm Springs Standard Drawing No. 201. ***Deferred.***

ENG 15. Construct a future 5 feet wide sidewalk behind the curb along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 210. ***Deferred.***

ENG 16. Construct a future Type-B curb ramp meeting current California State Accessibility standards at the northeast corner of the intersection of Via Olivera and Tuscan Road in accordance with City of Palm Springs Standard Drawing No. 213. ***Deferred.***

ENG 17. Construct future pavement with a minimum pavement section of 3 inches asphalt concrete pavement over 4 inches crushed miscellaneous base with a minimum subgrade of 24 inches at 95% relative compaction, or equal, from edge of proposed future gutter to clean sawcut edge of pavement along the entire frontage in accordance with City of Palm Springs Standard Drawing No. 110 and 300. (Additional pavement removal and replacement may be required upon review of existing pavement cross-sections, and to ensure grade breaks of the pavement cross-section do not occur within a travel lane.) If an alternative pavement section is proposed, the proposed pavement section shall be designed by a California registered Geotechnical Engineer using "R" values from the project site and submitted to the City Engineer for approval. ***Deferred.***

ENG 18. Remove and replace existing asphalt concrete pavement where required, in accordance with applicable City standards.

ENG 19. Construct 2-inch asphalt concrete pavement over compacted native subgrade or install appropriate landscaping and ground cover to provide adequate dust control measures, meeting the approval of the Director of Planning Services and City Engineer, from clean sawcut edge of pavement to property line along the entire frontage, excluding approved driveway locations.

ENG 20. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

SANITARY SEWER

ENG 21. In accordance with City of Palm Springs Municipal Code 15.14.010, applicant shall connect new building to a public sewer, unless an exemption is granted by the Municipal Code, the City Manager, or the City Council. Because the sewer mainline along the Via Olivera centerline, is within 500 feet of the subject parcel, the applicant shall extend a public sewer mainline in Via Olivera to connect to the public sewer system.

ENG 22. If an exemption is granted, construct a private sanitary sewer system in accordance with City of Palm Springs Ordinance No. 1084. The record property owner shall enter into a covenant agreeing to extend the private sewer lines the necessary distance to connect to the public sewer system within one year of official notice that an operating public sewer has been completed within 500 feet of the lot. The covenant shall be executed and notarized by the property owner and submitted to the City Engineer prior to issuance of a grading permit. A current title report or a copy of a current tax bill and a copy of a vesting grant deed shall be provided to verify current property ownership. A covenant preparation fee in effect at the time that the covenant is submitted shall be paid by the applicant prior to issuance of any grading or building permits.

ENG 23. The City recommends that the applicant contact the Riverside County Health Department for requirements related to the construction of private septic systems. Private septic systems may require additional environmental requirements from Riverside County Health Department and/or the Regional Water Quality Control Board. A “Plan Check Clearance” for septic tank systems will be performed by Riverside County Health Department and/or Regional Water Quality Control Board, following permits for construction of the septic system will be issued by the City of Palm Springs.

ENG 24. Existing sewer plans for Via Olivera and Tuscan Road are approved and on file (see files 1D-1-67 and 1D-1-59 approved 7/7/1983). If used for construction, the approved sewer plans shall be revised to reflect current City standards, and submitted to the Engineering Services Department for review and approval. Otherwise, new sewer improvement plans prepared by a California Registered Civil Engineer shall be submitted to the Engineering Services Department for review and approval. The new or revised sewer improvement plans shall be approved by the City Engineer prior to issuance of any grading or building permits.

ENG 25. All sewer mains constructed by the developer and to become part of the City sewer system shall be digitally video recorded (Developer shall contact City treatment plant facility for acceptable digital video format) and submitted to the City for review prior to acceptance of the sewer system for maintenance by the City. Any defects of the sewer main shall be removed, replaced, or repaired to the satisfaction of the City Engineer prior to acceptance.

ENG 26. Costs associated with design and construction of the off-site sewer extension may be reimbursed, pursuant to a Sewer Construction Refund Agreement approved by the City Council, in accordance with the policies established by Resolution 13773, and amended by Resolution 15975. Following completion and acceptance of the off-site sewer extension by the City Engineer, if reimbursement is requested in writing by the applicant, the applicant shall submit a formal request for preparation of a Sewer Construction Refund Agreement and a $2,500 deposit for City staff time associated with the preparation of the Sewer Construction Refund Agreement, including City Attorney fees. The applicant shall be responsible for payment of all associated staff time and expenses necessary in the preparation and processing of the Sewer Construction Refund Agreement with the City Council, and shall submit additional deposits as necessary when requested by the City, which are included in the amount that may be reimbursed to the applicant through the Sewer Construction Refund Agreement. The Sewer Construction Refund Agreement is subject to the City Council's review and approval at a Public Hearing, and its approval is not guaranteed nor implied by this condition.

ENG 27. Upon completion of the construction of public sewer lines, an as-built drawing in digital format shall be provided to the City as required by the City Engineer, if the sewer was not constructed in accordance with the original approved sewer plans.

ENG 28. Pay the Racquet Club Road sewer line extension area fee of $26,469 per EDU in accordance with Resolution No. 24899. Fees shall be paid prior to issuance of a building permit.

GRADING

ENG 29. Submit a Precise Grading Plan prepared by a California registered Civil engineer to the Engineering Services Department for review and approval. The Precise Grading Plan shall be approved by the City Engineer prior to issuance of grading permit.

a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at http://www.AQMD.gov. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report; and a copy of the associated Hydrology Study/Report.

ENG 30. Prior to approval of a Grading Plan (or issuance of a Grading Permit), the applicant shall obtain written approval to proceed with construction from the Agua Caliente Band of Cahuilla Indians, Tribal Historic Preservation Officer or Tribal Archaeologist (a copy of the written approval must be provided to the City). The applicant shall contact the Tribal Historic Preservation Officer or the Tribal Archaeologist at ACBCI-THPO@aguacaliente.net to determine their requirements, if any, associated with grading or other construction. The applicant is advised to

contact the Tribal Historic Preservation Officer or Tribal Archaeologist as early as possible. If required, it is the responsibility of the applicant to coordinate scheduling of Tribal monitors during grading or other construction, and to arrange payment of any required fees associated with Tribal monitoring.

ENG 31. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed prior to issuance of Grading Permit and commencement of grading operations.

ENG 32. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.

ENG 33. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.

ENG 34. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.

ENG 35. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars ($800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.

ENG 36. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan. (if required)

ENG 37. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in

accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.

ENG 38. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval prior to issuance of Building Permits.

ENG 39. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, CA 90040 (Phone (760) 782-3271, (562) 505-6415), Sonia.Oran@cdfa.ca.gov.

DRAINAGE

ENG 40. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMPs).

ENG 41. All stormwater runoff passing through the site shall be accepted and conveyed across the property in a manner acceptable to the City Engineer. For all stormwater runoff falling on the site, on-site retention or other facilities approved by the City Engineer shall be required to contain the increased stormwater runoff generated by the development of the property. Provide a hydrology study to determine the volume of increased stormwater runoff due to development of the site, and to determine required stormwater runoff mitigation measures for the proposed development. Final retention basin sizing and other stormwater runoff mitigation measures shall be determined upon review and approval of the hydrology study by the City Engineer and may require redesign or changes to site configuration or layout consistent with the findings of the final hydrology study. No more than 40-50% of the street frontage parkway/setback areas should be designed as retention basins. On-site

open space, in conjunction with dry wells and other subsurface solutions should be considered as alternatives to using landscaped parkways for on-site retention.

ENG 42. The applicant shall accept and convey all stormwater runoff across the property and conduct the runoff to an approved drainage structure. On-site retention may be allowed on that portion of the property where historically, stormwater runoff is conveyed. All on-site grade slopes shall not be less than 0.5%. If onsite retention is utilized, retention basin calculations shall be provided to the City Engineer. **This information required prior to site plan approval.**

ENG 43. The project is subject to flood control and drainage implementation fees. The acreage drainage fee at the present time is $7,287.76 per acre in accordance with Resolution No. 15189. Fees shall be paid prior to issuance of a building permit.

GENERAL

ENG 44. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.

ENG 45. All proposed utility lines shall be installed underground.

ENG 46. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.

ENG 47. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format, consisting of a DWG (AutoCAD drawing filetype), DXF (AutoCAD ASCII drawing exchange filetype), and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.

ENG 48. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing “as-built” information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.

ENG 49. Nothing shall be constructed or planted in the corner cut-off area of any intersection or driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.

ENG 50. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.

ENG 51. This property is subject to the Coachella Valley Multiple Species Habitat Conservation Plan Local Development Mitigation Fee (CVMSHCP-LDMF). The LDMF shall be paid prior to issuance of Building Permit.

TRAFFIC

ENG 52. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and streetlights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.

ENG 53. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 “Temporary Traffic Control” of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

ENG 54. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

FIRE DEPARTMENT CONDITIONS

FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

FID 2. Fire Department Conditions were based on the 2019 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix “T” Development Requirements. This building will require fire sprinklers.

FID 3. **Materials and Construction Methods for Exterior Wildfire Exposure:** All Materials and Construction Methods shall comply with Chapter 7A of the Building Code for High Fire Areas.

FID 4. **Conditions of Approval** – "Conditions of Approval" received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 5. **Plans and Permits (CFC 105.1):**
Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set. Plans shall be submitted to:

City of Palm Springs
Building and Safety Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

FID 6. **Access During Construction (CFC 503):** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department

access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.

FID 7. **Required access (CFC 504.1):** Exterior doors and openings required by this code or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.

FID 8. **NFPA 13D Fire Sprinklers Required:** An automatic fire sprinkler system is required. Only a C-16 licensed fire sprinkler contractor shall perform system design and installation. System to be designed and installed in accordance with NFPA standard 13D, 2016 Editions, as modified by local ordinance.

FID 9. **Residential Smoke Alarms Required:** Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke alarms within the dwelling & guest house to sound and activate the exterior horn/strobe

END OF CONDITIONS

May 20, 2021

To Whom It May Concern
Planning Department
City Of Palm Springs, California

PROJECT DATA:

PROJECT ADDRESS: Lot No.1 TUSCAN ROAD – PALM SPRINGS, CA 92262
PROJECT DESCRIPTION: Single Family Residence
OCCUPANCY TYPE: R-1
TYPE OF CONSTRUCTION: V-B

JUSTIFICATION LETTER:

This Letter of Intent for the Proposed New Single Family Residence With a (2) Two Car Garage attached on a R-1 Zoning Location In the City Of Palm Springs Limits, Following The Major Architectural Review (94.04.00(D) Guidelines and requirements.
This Single Family Residence will serve as a primary Dwelling for the Applicant and his family.

This Dwelling will be build under the Approved California Building Codes and City Planning and Building Department Guidelines.

Mr. Henrik Antonian
Owner

RECEIVED
OCT 05 2021
PLANNING SERVICES
DEPARTMENT

3.4287

Job Address

Lot No. 1 Tuscan Road
Palm Springs, CA 92262

X-16 SILVER GREY (BASE 200)

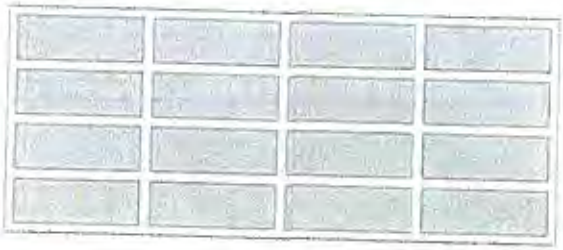
Body Of The Building
LaHabra Stucco
X-16 Silver Grey Base 200

Outdoor Lightning
EGLO Ascoli 2-Light
Stainless Steel O Color
Install Per Manufacturer's specifications

Window Frame Material
Aluminum Grey Color
Install Per Manufacturer's specifications

X-50 CRYSTAL WHITE (BASE 100)

Body Of The Building
LaHabra Stucco
X-50 Crystal White Base 200

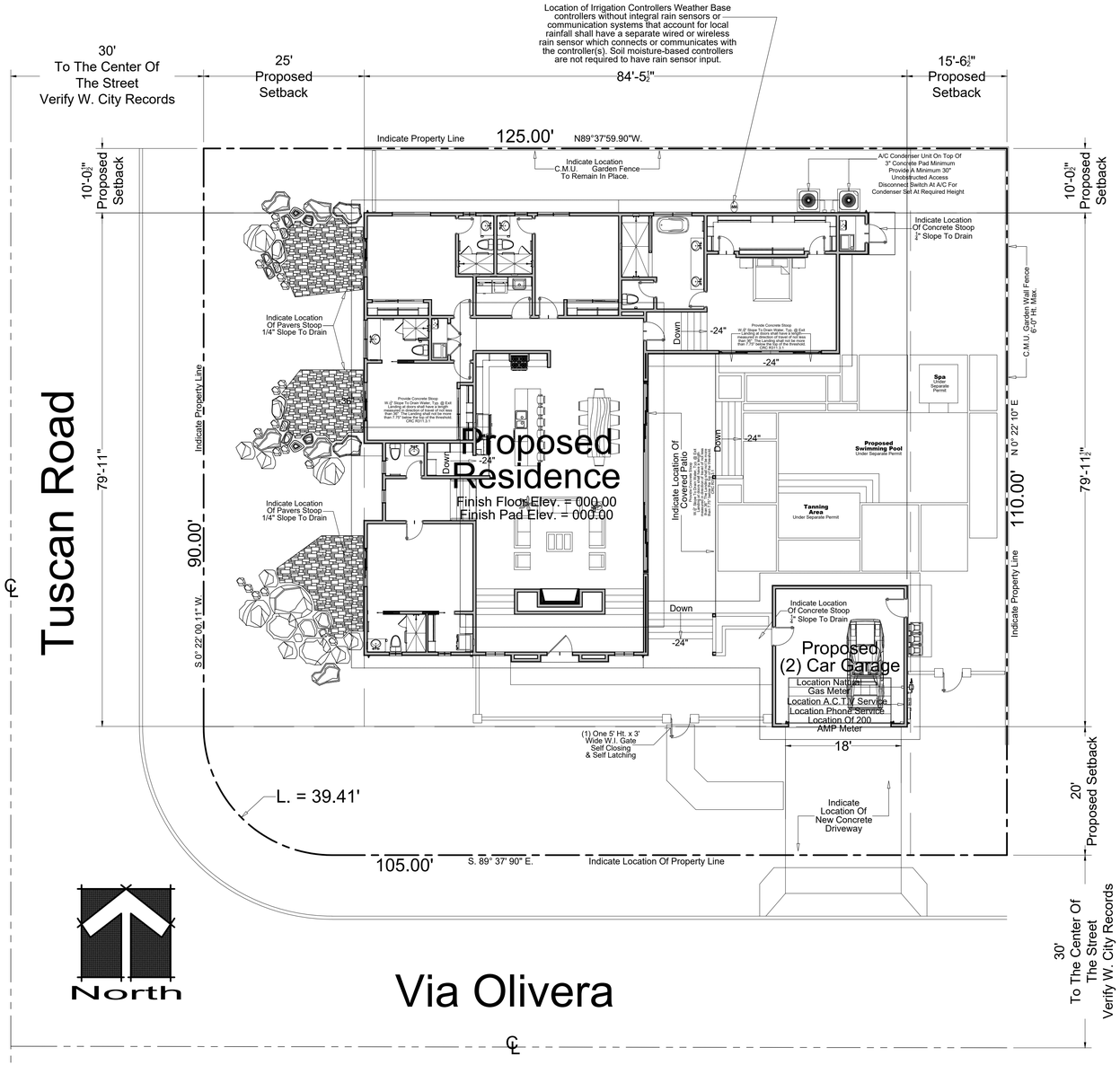


Roll Up Doors Direct
Overhead Warehouse Doors
Model 650 Full View Aluminum
Roll Up Door Type
Color Paint Over 555 Covered Bridge From
FRAZEE

Porcelain Veneer Of Walnut Daltile
Or Approved Equal Install Per
Manufactured Specifications.

Concrete Driveway Finish
Concrete W./Acid Wash Finish
Install Per Manufacturer's specifications


N Tuscan Rd



Site Plan & General Notes

Utility Companies:

Power:	Southern California Edison 73-540 Higway 111 Palm Desert, CA 92260 Telephone 1-(800) 655-4555 Fax Number: 1-(760) 339-9471
Water:	Desert Water Agency 1200 Gene Autry Trail Palm Springs, CA 92264 Telephone: 1-(760) 323-4971 e-Mail Address: www.dwa.org
Gas Company	Southern California Gas Company Telephone: 1-(800) 427-2200
Cable T.V.	Warner-Cable Road Runner 81-557 Dr. Carreon Boulevard # C-7 Indio, CA 92201 Telephone: 1-(866) 340-0183 Telephoen: 1-(760) 340-2225
School District	Palm Springs School Unified District 980 East Tahquitz Canyon Way Palm Springs, CA 92276 Telephone: 1-(760) 416-6000
Permit Assistance Center	Palm Springs Building & Safety Dpto. 3200 East Tahquitz Canyon Way Palm Springs, CA 922633-2743 Phone Number: 1-(760) 323-8245 Fax Number: 1-(760) 322-8360 e-Mail Address: www.cipalm-springs.ca.us

Tabulation Area:

Based on Square Feet and Percentage

Site Area: 13,664.0 Square Feet	=	100.00	.
Building Area: Garage Area: Total Areas: 3,654.0 Sq. Ft. 458.0 Sq. Ft. 4,112.0 Sq. Ft.	=	30.09	%
Driveways and Parking Areas: 400.0 Sq. Ft.	=	2.92	%
Open Space Area (Landscaping & Recreation) 9,152.0 Sq. Ft.	=	66.96	%

Unauthorized Changes & Uses:

The designer preparing these plans will not be responsible for, or liable for, unauthorized changes to uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

Projections:

Cornices, eave overhangs, exterior balconies and similar projections extending beyond the floor area shall conform to the requirements of this section and Section 1406 Exterior egress balconies and exterior exit stairways shall also comply with Section 1014.5 and 1023.1 respectively. Projections shall not extend beyond the distance determined by the following two methods, whichever result in the lesser projection:

1. A point one-third the distance to the lot line from an assumed vertical plane located where protected openings are required in accordance with Section 704.8.
2. More than 12 inches (305 mm.) into areas where openings are prohibited. C.B.C. Chapter 7 Section 704.2.

Residential Mandatory Measures:

1. **Storm water drainage and retention during construction:**
   Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

   a. Retention basins of sufficient size shall be utilized to retain storm water on the site.
   b. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
   c. Compliance with a lawfully enacted storm water management ordinance.

Storm Water And Retention:
Projects disturbing less than one acre shall comply with Section 4.106.2 of The California Green Building Standards Code (CGBC).
Compliance:
Use STRAW WATTLES
Straw Wattles or Fiber Rolls are very similar to Straw Bales; however, they come in roles and are design to be placed along the contours of a slope to prevent sediment discharge. Straw Wattles allow water to seep through the material while preventing the transfer of sediment. Proper installation of Straw Wattles requires the Wattles to be entrenched into the ground at least 2" - 3" deep and stacked roughly every six feet (6') Minimum Stakin requirements of Straw Wattles increases on a slope to roughly one stake every Four Feet (4') Additionally, the proper Layout of Straw Wattles requires the ends to be looped up in a 'J' fashion on each end to prevent the water plus suspended sediment from just flowing around the ends, thus defeating their intended purpose.

Drainage Note:
R401.3 (2019 CRC) Drainage. Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection that does not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall not fewer than 6 inches (152 mm) within the first 10 feet (3048 mm).
Exception: Where lot lines, walls, slopes or other physical barriers prohibit 6 inches (152 mm) of fall within 10 feet (3048 mm), drains or swales shall be constructed to ensure drainage away from the structure. Impervious surfaces within 10 feet (3048 mm) of the building foundation shall be sloped not less than 2 percent away from the building.

811 Know what's below. Call 811 before you dig.

Name & Address of Owner:
Mr. Stella Khodaverdian & Henrik Artonian
1857 Arvin Drive
Glendale, CA 91208
Phone Number: 1-(818) 955-5111

Name & Address Of Applicant:
Mr. Stella Khodaverdian & Henrik Artonian
1857 Arvin Drive
Glendale, CA 91208
Phone Number: 1-(818) 955-5111
E-Mail Address: glendalealrheat@sbcglobal.net

A. P. N. Number = 504-183-005

Job Address:
Lot No. 1
TUSCAN ROAD
PALM SPRINGS, CA 92262

Legal Description:
Lot 1 POR. S. W.1/4, Section 3, T. 4 S. R., 4 E. M.B. 20/84 REMOTE ESTATES Map Book 504 Page 18 Riverside County Records, Riverside, California.

Title Ehibit:A	Single Family Residence
Main Dwelling Living Area:	3,654.0 Sq. Ft.
Two Car Garage Area:	458.0 Sq. Ft.
Mechanical Room Area:	29.0 Sq. Ft.
Rear Covered Patio Area:	552.0 Sq. Ft.
Lot Area:	13,664.0 Sq. Ft. 0.31 Acres
Thomas Brothers Map Page & Coordinates:	756 C5 Year 2,005
oning Classification:A	R-1C Residential Low Density
Sewage:	On City Sewer
Airport Land Use Compatibility Map	Zone 'C'

Code Requirements:

This Project Comply with:

2022	California Building Code
2022	California Electrical Code
2022	California Mechanical Code
2022	California Plumbing Code
2022	California Energy Code
2022	California Fire Code
2022	California Residential Code
2022	Green Code

All other State and Local Codes that are applicable.

Occupancy:	R-3
Type of Construction	V-B
Sprinklers Required	YES
Zoning Classification	R-1-C
Finish Floor =	658.50
Pad Elev. =	658.00

If Finish Floor of dwelling is not above upstream manhole provide Backwater Valve per C.P.C. 710. Fixtures above such elevation shall not discharge through the backwater valve

Note:

- Foundation Elevation Must Be 18" (Inches) Above Top Of Curb Or Crown Of Street Unless Engineered Design Provides Equivalent Protection. (1805 CBC Ord. amendment)
- Minimum 50 % Front Yard Landscaping
- Landscape To City Standards
- All Existing Block Walls to be of Sound Construction and 6' high from Proposed Site Side.
- **Provide Termite Treatment Of Soils Prior To Pouring Concrete.**

Note:
New C.M.U. wall, New Fence, New Side Walk, Swimming Pool & Spa and Driveway Apron will be Under SEPARATE PERMIT.

Mike Mendoza
Design Principal
Drafting-Design-Planning & Revit Short - A Vision Of Space
73-900 Dinah Shore Drive
Suite 202
Palm Desert, CA 92211
Cell No. 1-(760) 275-1816
E-Mail Address:
mikedraftingdesigncvca@gmail.com

Planning-Revisions	Date
Plan Check Revisions 1	00/00/2023

Building-Revisions	Date
Plan Check Revisions 1	00/00/2023

Owner Name:
Mr. Henrik Artonian
1857 Arvin Drive
Glendale, CA 91208
Phone No. 1-(818) 955-5111
E-mail Address:
glendalealrheat@sbcglobal.net

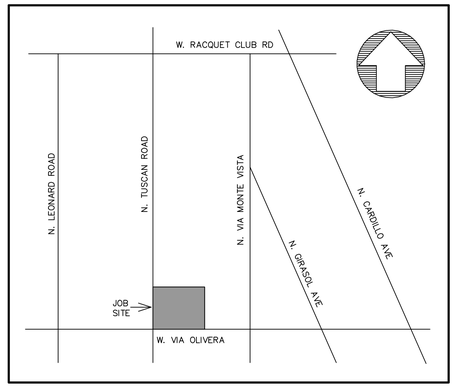
Job Address:
Lot No. 1
Tuscan Road
Palm Springs, CA 92262

Sheet Name:
Site Plan & General Notes

Date: MAY-2023
Drawn By: Mike Mendoza
Sign By:

Sheet Number:
SP.01

Scale To Plot: 1" = 10'-0"

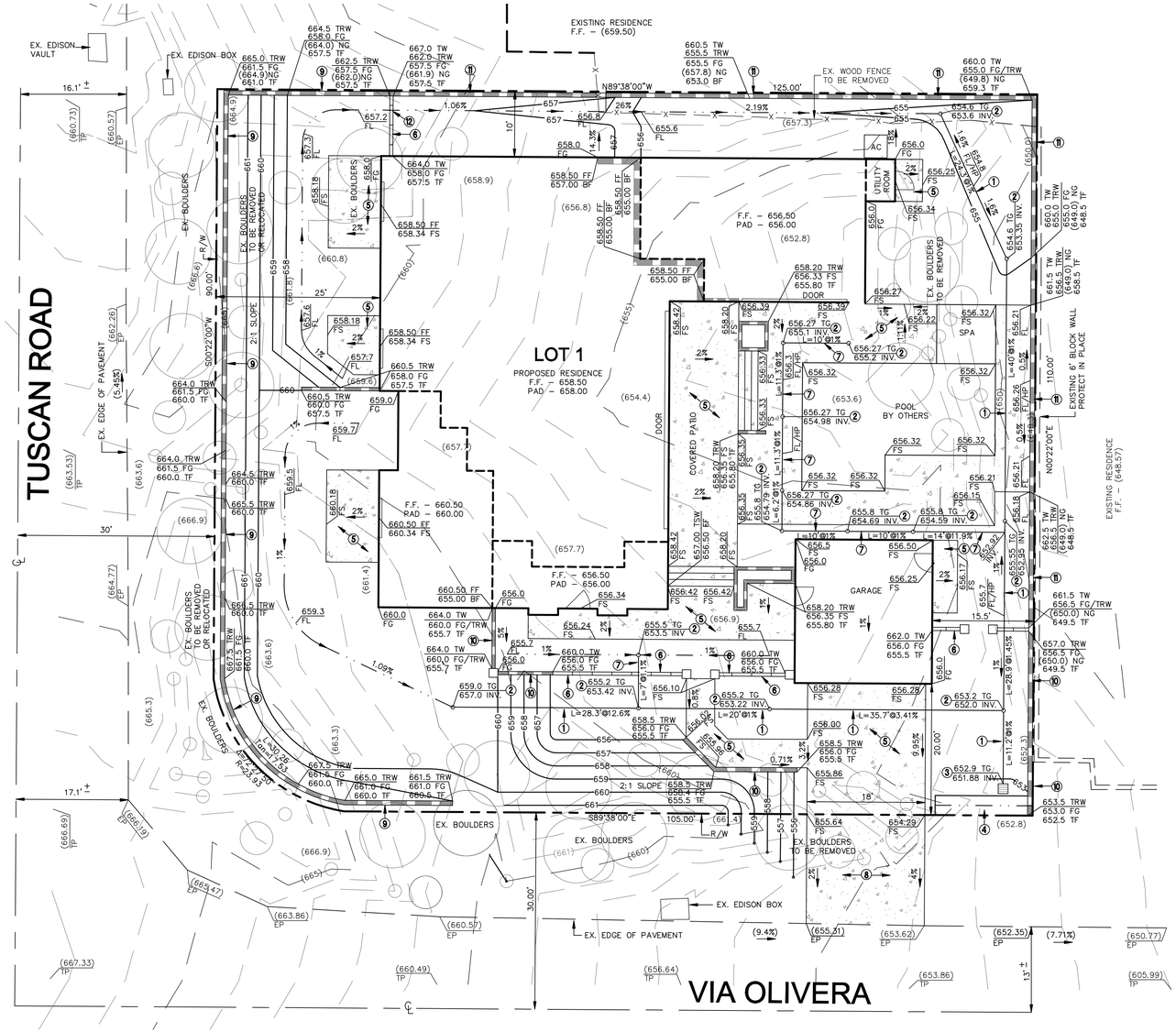


VICINITY MAP
NO SCALE

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.



REQUIRED PERMITS
GRADING PERMIT
ENCROACHMENT
PM10
BLOCK WALL
RED FIRE ANT

ESTIMATED DIRT QUANTITIES
RAW FILL – 317 C.Y.
RAW CUT – 1217 C.Y.

NOTE: ESTIMATED QUANTITIES ARE SHOWN FOR PERMIT PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR HIS/HER OWN QUANTITIES

SERVICES:

ELECTRICITY:	*SO. CALIFORNIA EDISON CO., ATTN: AMBER WRIGHT*	(760) 202-4250
SEWER:	*VEOLIA WATER (ATTEN: GARY GREY)*	(760) 323-8166 ext.2
WATER:	*DESERT WATER AGENCY, ATTN: DEBBIE RANDALL*	(760) 323-4971 EXT. 146
TELEPHONE:	*FRONTIER*	(760) 864-1715
GAS:	*SO. CALIFORNIA GAS CO.*	(800) 427-2200
CABLE T.V.:	*SPECTRUM*	(760) 340-1312
SCHOOL:	*PALM SPRINGS UNIFIED SCHOOL DISTRICT*	(760) 416-8000
WHITEWATER	*MUTUAL WATER CO., ATTN: DEBBIE RANDALL*	(760) 323-4971 ext. 146

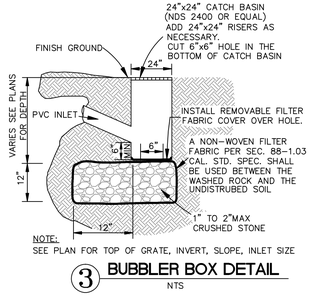
CONSTRUCTION contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further aggrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.

REGISTERED PROFESSIONAL ENGINEER
JOHN HENRY HACKER
NO. 14614
CIVIL
STATE OF CALIFORNIA

811 Know what's below. Call before you dig

CONSTRUCTION NOTES and QUANTITIES

①	INSTALL 6" PVC PIPE SDR35	290.2 LIN.FT.
②	INSTALL 6" DECK/YARD DRAIN MODEL NDS# 20 OR EQUAL	20 EA.
③	INSTALL BUBBLER BOX PER DETAIL SHOWN HEREON	1 EA.
④	CONSTRUCT 3' WIDE x 6" DEEP DRAINAGE SWALE	15 LIN.FT.
⑤	CONST. 4" P.C.C.	2410 SQ.FT.
⑥	CONSTRUCT 6' HIGH BLOCK WALL (SEP. PERMIT)	74 LIN.FT.
⑦	INSTALL 4" PVC PIPE SDR35	100.4 LIN.FT.
⑧	CONST. 6" P.C.C. WITHIN R/W	302 SQ.FT.
⑨	1' to 7.5' RETAINING WALL W/ 42" SAFETY RAILING ON TOP (SEP. PERMIT)	160 LIN.FT.
⑩	1' to 5' RETAINING WALL (SEP. PERMIT)	29 LIN.FT.
⑪	1' to 6' RETAINING WALL W/ 5' BLOCK WALL ON TOP (SEP. PERMIT)	180 LIN.FT.
⑫	REMOVE 1/2 BLOCK FROM BOTTOM COURSE TO ALLOW FOR DRAINAGE	1 EA.



③ BUBBLER BOX DETAIL
NTS

LEGEND

FF	FINISH FLOOR ELEVATION
FG	FINISH GROUND
FS	FINISH SURFACE
GB	GRADE BREAK
GF	GARAGE FLOOR
HP	HIGH POINT
PAD	FINISH PAD ELEVATION
PA	PLANTER AREA
PUE	PUBLIC UTILITY EASEMENT
TC	TOP OF CURB
FL	FLOWLINE
INV	INVERT
TG	TOP OF GRATE
TW	TOP OF WALL
TF	TOP OF FOOTING
TOS	TOP OF SLOPE
BOS	BOTTOM OF SLOPE
WS	WATER SURFACE
TRW	TOP RETAINING WALL
ROOF DRAIN	⊗

EXISTING CONTOUR ----- -----(100)-----
PROPOSED CONTOUR ——— 100 ———
EXISTING ELEVATION ..... (100.50)
FINISHED ELEVATION 101.50
DRAINAGE SWALE
PROPERTY LINE
CENTERLINE
RIGHT-OF-WAY (R/W)
EXIST. 8"SEWER LINE ----------S8----------
EXIST. 8"WATER LINE --------W8---------
EXIST. BLOCK WALL
RETAINING WALL
SCREEN/GARDEN WALL
ROOF DRAIN CONNECTION
CONCRETE FINISH

GENERAL NOTES
DATED: 4-16-12

1. **The work shall be done in accordance with the Standard Drawings of the City of Palm Springs and the Standard Specifications for Public Works Construction, 2012 Edition.**
2. **The Contractor shall be responsible for providing an effective means of dust control which shall include provisions for adequate watering during the grading process and provisions for continuance of dust control until the graded surface presents sufficient cover against wind or water erosion, so that special dust control measures are no longer necessary.**
3. **Nothing in these Plans shall relieve the Contractor from obtaining permits as required by Chapter 14.16 of the City of Palm Springs Municipal Code.**
4. **The Contractor shall set an appointment for inspection with the engineering inspector a minimum of 24 hours prior to the date of inspection.**
5. **All grading shall comply with Section 1804 and Appendix J of the 2016 California Building Code.**
6. **The location of existing underground utilities are to be shown in a schematic manner only . Subject to the provisions of Section 4215 of the California Government Code, the Contractor shall determine the exact location of all existing utilities before commencing the Work. Contact Underground Service Alert (U.S.A.) at 1-800-227-2600 two working days prior to any excavation .**
7. **Dimensioning to curbs shall be to face of curb.**
8. **Contractor shall dispose of all debris off-site daily, unless otherwise specified by the City Engineer.**
9. **Contractor shall remove any abandoned utility facilities and show limits of removals on the record drawings.**
10. **The Contractor shall be responsible for the removal , replacement or relocation of all regulatory, warning and guide signs.**
11. **A 'Record Drawing' (formerly called "As-Built" Drawing) of this Plan shall be submitted by the Project Engineer of record to the City Engineer , for approval prior to acceptance of the Work.**
12. **Construction signing, lighting and barricading shall be provided on all projects as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices for Streets and Highways, dated January 13, 2012, or subsequent editions in force at the time of construction.**
13. **The flow line of all curb and gutters and cross gutters shall be water tested before acceptance of the Work .**
14. **Parking stalls shall be clearly delineated with a 4 to 6 inch stripe "hairpin" or elongated "U" design or other approved striping or stall delineation.**
15. **Final site grading and drainage flow lines shall be certified, in writing, by the Engineer of Record to be in conformance to the approved grading plan PRIOR TO FINAL INSPECTION.**
16. **For projects in excess of 1 acre, a Notice of Intent to comply with California General Construction Storm water Permit (Water Quality Order 2009-0009-DWQ as modified September 2, 2009, as well as a copy of the executed letter issuing a Waste Discharge Identification (WDID) number, is required prior to issuance of Grading or Building Permit, via the California Regional Water Quality Control Board (Phone No. (760) 346-7491). A updated copy of the project-specific Storm Water Pollution Prevention Plan (SWPPP) must be kept at the project site at all times.**
17. **A city approved fugitive dust (PM-10) control plan is required prior to issuance of a grading permit. All dust control measures described in AQMD Rule 403 (BEST AVAILABLE CONTROL MEASURES) and in the City-approved fugitive dust control plan shall be implemented at all times. A wind fence and proper signage, shall be erected, inspected and approved by the City's Dust Control Inspector prior to initiation of clearing, grubbing, grading or import/export of soil, or fill material at the site. Failure to call 760-323-8253, extension 8740 for inspection 72 hours prior to initiating work will result in issuance of citation by the City.**
18. **The block walls, retaining walls, and other structures shown on the grading plan are for location purposes only. Separate permits for the above are required from the Building Department.**
19. **All provisions of the preliminary soils report prepared by _____ Dated _____, shall be complied with.**

STREET PAVEMENT

20. **The asphalt concrete design shall meet the City of Palm Springs Std. Dwg. No 110 and Standard Specifications for Public Works Construction, 2012 Edition; use Type B for the base lift and Type C2 for the final 1" cap. The design shall have a HVEEM stability of 35 AND 33 respectively per the California Test Method 304 and 366. Performance Grade asphalt (PG 70-10) meeting the 2016 Caltrans Standard Specifications shall be used. The specified miscellaneous base shall be crushed miscellaneous base according to the Standard Specifications for Public Works Construction, 2012 Edition.**

TRENCH PAVEMENT

21. **Street cuts shall be paved with temporary A.C. paving immediately. Major and Secondary Thoroughfares shall be permanently paved within 15 days of the initial excavation (30 days on collector and residential streets) per City of Palm Springs Std. Dwg. No. 115. See Ordinance No. 14.16.375.**
22. **Trenches shall be completely backfilled and compacted to support traffic at the end of each work day. The Contractor shall place permanent pavement through intersections at the end of each work day. No trench excavation or pipe laying on Fridays, weekends or holidays will be permitted on major and secondary thoroughfares or collector streets without prior approval of the City Engineer. Contractor shall place permanent paving each Friday.**
23. **If, in the opinion of the City Engineer, the trench backfill is unsafe to traffic, the Contractor shall place permanent paving at the end of each work day.**
24. **Steel trench plating shall conform to the Caltrans Encroachment Permit Manual Section 602.1 as revised July, 2009.**
25. **The specified miscellaneous base shall be crushed miscellaneous base according to the Standard Specifications for Public Works Construction, 2012 Edition.**

OWNER/DEVELOPER:
HENRICK ARTONIAN & STELLA KHODAVERDIAN
1857 ARVIN DRIVE
GLENDALE, CA. 91208
(818) 955-5111
GLENDALEAIRHEAT@SBCGLOBAL.NET

LEGAL DESCRIPTION:
LOT 1
OAKMAN TRACT
M.B. 34/42
APN: 504-183-004

NO.	REVISION	APPROVED	DATE

"RECORD DRAWING"	CORRECTED BY	APPROVED BY
	DATE	DATE

BENCH MARK 3-13 — ELEV. 663.806 NAVD88
LOCATION 2" BRASS DISC AT THE S.E. M.O.C. OF RACQUET CLUB DRIVE AND TUSCAN ROAD

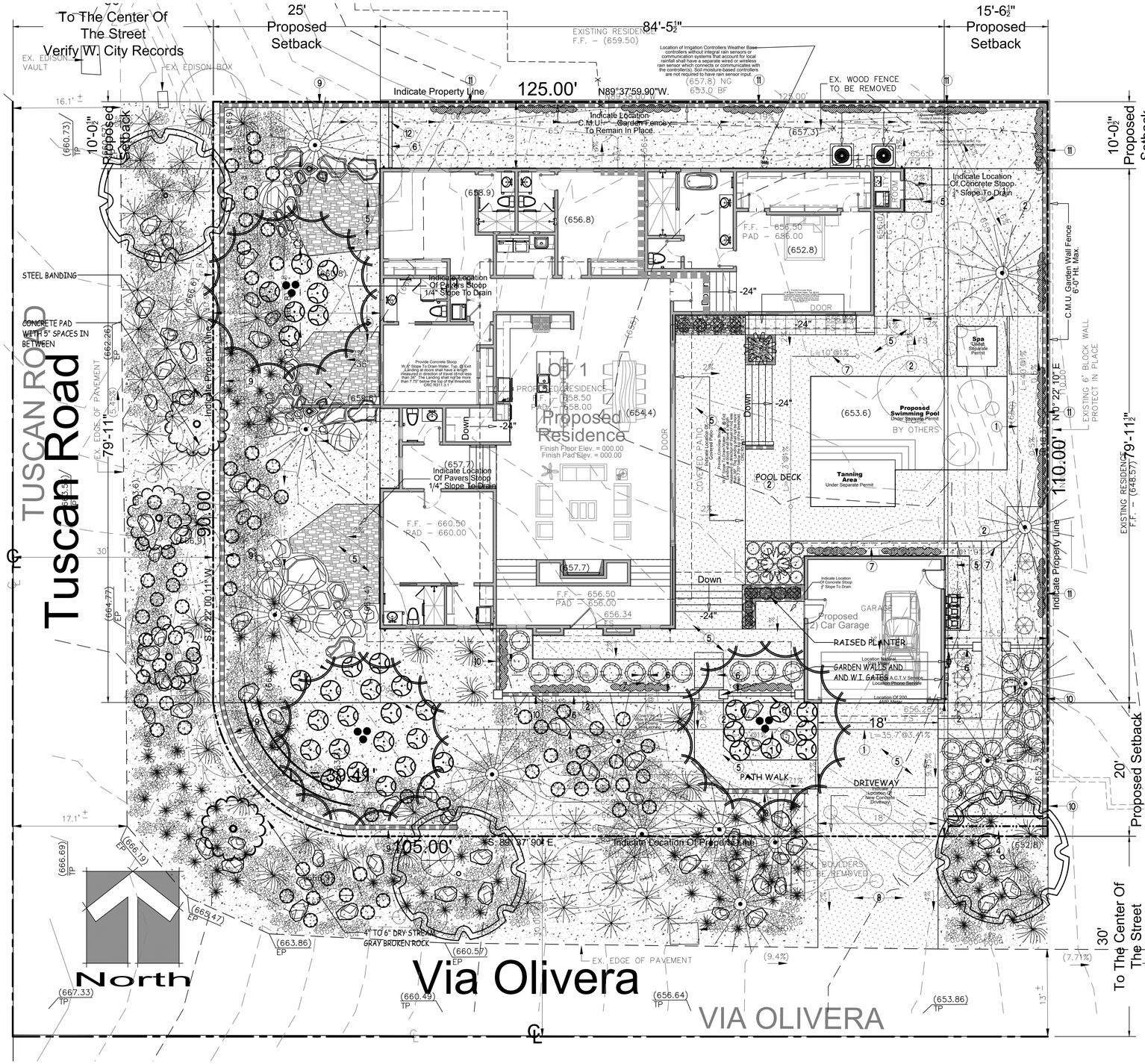
JHA Engineers
Subsidiary of Jones-Payne Inc.
43585 Monterey Avenue, Suite 7
Palm Desert, CA. 92260
(760) 345-1352
dan @ jhaengineering.com
JOHN H. HACKER, R.C.E. NO. 14614 — DATE

		INITIAL	DATE
DESIGN BY:	DAN		
DRAWN BY:	DAN		
CHECKED BY:	JHH		
CITY CHECK			
RIGHT-OF-WAY			
TRAFFIC ENG'G			
FIELD ENG'G			

REVIEWED BY: JOHN M. BRUDIN — R.C.E. NO. 41836 — DATE
APPROVED BY: JOEL MONTALVO — R.C.E. NO. 62624 — DATE

CITY OF PALM SPRINGS, CALIFORNIA
PRECISE GRADING PLAN
TUSCAN ROAD
APN: 504-183-004
SECTION 3 T.4 S., R.4 E., S.B.B.M.

FILE NO. 20-6236
DWG. NO.
SHEET 1 OF 1 SHTS.



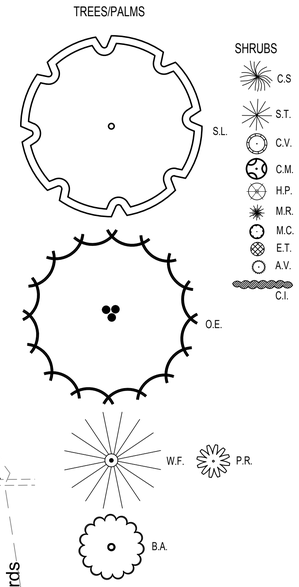
PRELIMINARY PLANTING PALETTE

FINAL PLANT MATERIAL WILL BE SELECTED BY PLANTS BELOW

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WTER` USAGE FACTOR	EMITTER SIZE
TREES/PALMS						
S.L.	SOUTHERN LIVE OAK	QUERCUS VIRGINIANA	36" BOX	3	L	1401 BUBBLER
O.E.	OLEA EUROPAEA	OLIVE TREE	36" BOX	3	.	1401 BUBBLER
B.A.	BRAHEA ARMATA	MEXICAN BLUE PALM	24" BOX	4	L	1401 BUBBLER
P.R.	PHOENIX ROEBELENII	PYGMY DATE PALM	24" MULTY	2	M	1401 BUBBLER
W.F.	WASHINGTONIA FILIFERA(HYBRID)	CALIFORNIA FAN PALM	10' H	13	M	1401 BUBBLER
SHRUBS/PERENNIALS/SUCCULENTS/VINES						
M.R.	MUHLENBERGIA RIGENS	DEERGRASS	5 GAL.	80	M	XB-10-PC-1032
M.C.	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	5 GAL.	15	L	XB-10-PC-1032
S.T.	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	15 GAL.	30	M	XB-20-PC-1032
C.S.	CORTADERIA SELLOANA	PAMPAS GRASS	15 GAL.	24	M	XB-20-PC-1032
C.V.	CALLISTEMON VIMINALIS	BOTTLEBRUSH 'LITTLE JOHN'	5 GAL.	32	L	XB-10-PC-1032
H.P.	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.	7	L	XB-10-PC-1032
E.T.	EUPHORBIA TRIGONA	AFRICAN MILK TREE CACTUS	5 GAL.	7	L	XB-5-PC-1032
C.M.	CARISSA MACROCARPA	GREEN CARPET	5 GAL.	42	M	XB-20-PC-1032
C.I.	CALLIANDRA INAEQUILATERA (VINE)	PINK POWDER PUFF	5 GAL.	20	L	XB-20-PC-1032
A.V.	AGAVE VICTORIAE REGINAE	QUEEN VICTORIA AGAVE	15 GAL.	6	L	XB-15-PC-1032

NOTE: CONTRACTOR TO VERIFY EXACT AMOUNT OF PLANTS AND INERT MATERIAL SQ. FT.

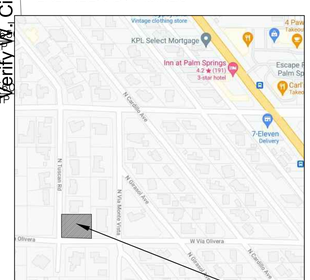
SYMBOLS



NOTE:
HARDSCAPE ELEMNTS BY OTHERS
GRADING AND DRAINAGE SEE ENGINEER DRAWINGS

LANDSCAPE GUIDELINES AND NOTES

1. DETAILED PLANTING AND IRRIGATION PLANS SHALL BE PREPARED AND SUBMITTED AT A LATER STAGE AS PART OF THE FINAL LANDSCAPE CONSTRUCTION DRAWINGS FOR THE PROJECT. THE PLANS WILL MEET THE CITY OF PALM SPRINGS CA GUIDELINES AND REQUIREMENTS.
2. SIZE OF ALL TREES TO BE 24" BOX UP TO 48" BOX, WITH FEW EXCEPTIONS WERE TREE SIZE WILL BE 15 GAL. SIZE OF PALM TREES TO BE MIN 6" BROWN TRUNK, SIZE OF LARGE SHRUBS: 15 GAL.; MEDIUM SHRUBS: 5 GAL.; SMALL SHRUBS: 1 OR 5 GAL.; GROUNDCOVERS: 1 GAL., OR FLATS; SPECIMEN PLANTS: TO BE SELECTED.
3. HEIGHT OF EARTH MOUNDS (IF APPLICABLE) TO BE MAX. 2'-6" ABOVE CURB OR NEAREST PAVEMENT IN THE LANDSCAPE SET BACK AREAS, EXACT LAYOUT AND HEIGHT OF MOUNDS SHALL BE BASED ON LOCATION OF RETENTION BASINS PER CIVIL ENGINEER PLAN.
4. INERT MATERIALS - DECOMPOSED GRANITE (D.G.), PEBBLES, COBBLE STONES, ETC. WILL BE PLACED OVER LAYER OF FILTER FABRIC. D.G. WILL BE COMPACTED AND STABILIZED.
5. EXISTING BOULDERS WILL BE USE AND RELOCATED AS NEEDED.
6. IRRIGATION SYSTEM TO BE FULLY AUTOMATED. IT WILL BE MOSTLY DRIP. THERE SHALL BE COMPLETE SEPARATION BETWEEN DIFFERENT PLANT GROUPS - TREES, SHRUBS, GROUNDCOVERS, TURF, COLOR DRIPS, AND POTS.



VICINITY MAP

Name & Address of Owner:
Mr. Stella Khodaverdian & Henrik Artonian
1851 Arvin Drive
Glendale, CA 91208
Phone Number: 1-(818) 955-5111

Name & Address Of Applicant:
Mr. Stella Khodaverdian & Henrik Artonian
1851 Arvin Drive
Glendale, CA 91208
Phone Number: 1-(818) 955-5111
E-Mail Address: glendalesilmest@sbcglobal.net

A. P. N. Number = 504-183-005
Job Address:
Lot No. 1
TUSCAN ROAD
PALM SPRINGS, CA 92262

Legal Description:
Lot 1 FOR S. 1/2 Section 3, 4 S. R. 4 E. M.B. 20/84 REMOTE ESTATES Map Book 504 Page 18 Riverside County Records, Riverside, California.

SCALE 1/ 18"=1'-0"

0 4 8 16 32

JOB SITE

INORGANIC MATERIALS

NOTE: EXISTING BOULDERS ON SITE TO BE RELOCATED TO AREAS PER PLAN(SEE PLAN.) (BOULDERS NOT USED TO BE REMOVE)

REVISIONS		
NO.	DATE	BY

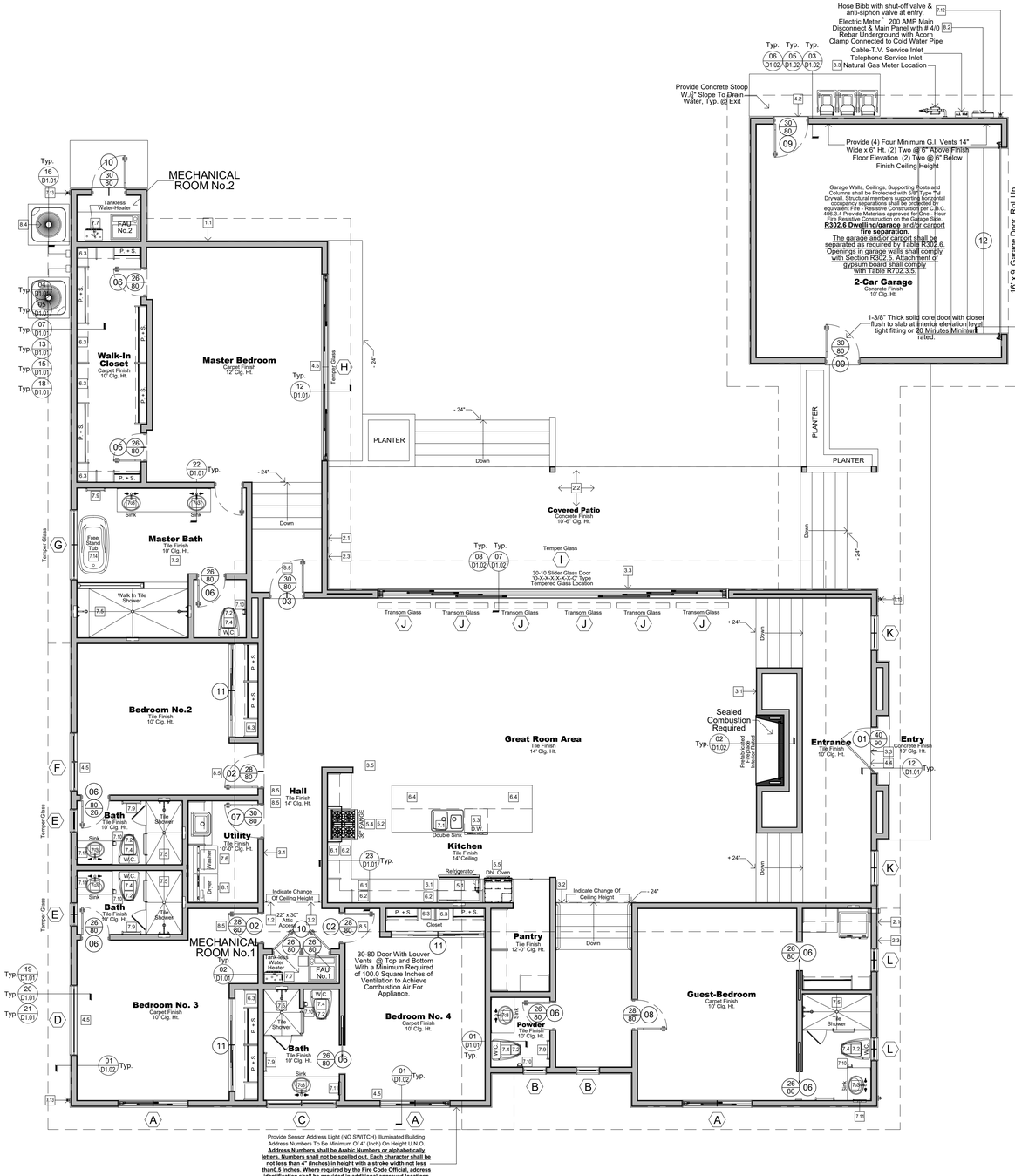
Luis A. Sandoval & Associates Inc.
Landscape Architecture
45-175 Panorama Drive, Suite C
Palm Desert CA 92260
(760) 88 3370
Luisandthedvd.com

Mr. Henrik Artonian
Lot No. 1
Tuscan Road
Palm Springs, CA 92262

Preliminary Landscape Plan

SHEET-#
PL-1
OFF SHEET

JOB NO.
DRAWN
CHECKED
DATE 6-14-2021



Glazing:

R308.1 Identification. Except as indicated in Section R308.1.1 each pane of glazing installed in hazardous locations as defined in Section R308.4 shall be provided with a manufacturer's designation specifying who applied the designation, the type of glass and the safety glazing standard with which it complies, and that is visible in the final installation. The designation shall include the manufacturer or distributor, ceramo-fired, laser etched, sandblast, or be of a type that once applied cannot be removed without being destroyed. A label shall be permitted in lieu of the manufacturer's designation.

Exceptions:
1. For other than tempered glass, manufacturer's designations are not required provided that the building official approves the use of a certificate, affidavit or other evidence confirming compliance with this code.
2. Tempered spandrel glass is permitted to be identified by the manufacturer with a removable paper designation.

R308.4.2 Glazing adjacent to doors. Glazing in an individual fixed or operable panel adjacent to a door shall be considered to be a hazardous location where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) above the floor or walking surface and it meets either of the following conditions:
1. Where the glazing is within 24 inches (610 mm) of either side of the door in the plane of the door in a closed position.
2. Where the glazing is on a wall less than 180 degrees (3.14 rad) from the plane of the door in a closed position and within 24 inches (610 mm) of the hinge side of an in-swinging door.

Exceptions:
1. Decorative glazing.
2. Where there is an intervening wall or other permanent barrier between the door and the glazing.
3. Where access through the door is to a closet or storage area 3 feet (914 mm) or less in depth. Glazing in this application shall comply with Section R308.4.3.
4. Glazing that is adjacent to the fixed panel of patio doors.

R308.4.3 Glazing adjacent to the bottom stair landing. Glazing adjacent to the bottom stair landing shall be considered to be a hazardous location.

1. The exposed area of an individual pane is larger than 9 square feet (0.836 m2).
2. The bottom edge of the glazing is less than 18 inches (457 mm) above the floor.
3. The top edge of the glazing is more than 36 inches (914 mm) above the floor.

[CRC 308.4.5 & Table R308.3.1 (1) & (2)] R308.4.4 Glazing and wet surfaces. Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) measured vertically above any standing or walking surface shall be considered to be a hazardous location. This shall apply to single glazing and each pane in multiple glazing.

Exception: Glazing that is more than 60 inches (1524 mm) measured horizontally and in a straight line, from the water's edge of a bathtub, hot tub, spa, whirlpool or swimming pool or from the edge of a shower, sauna or steam room.

Exterior Door Shall Comply With One Of The Following:

716.2.2.2 Door assemblies in other fire partitions. Fire door assemblies required to have a minimum fire protection rating of 20 minutes where located in other fire partitions having a fire-resistance rating of 0.5 hour in accordance with Table 716.1(2) shall be tested in accordance with NFP A 252, UL 10B or UL 10C with the hose stream test.

716.2.6.1 Door closing. Fire doors shall be latching and self- or automatic-closing in accordance with this section.

The Following Glazing Shall Be Tempered [CRC R308.4:a

A. All glazing less than 60" above a shower or tub door with in 60"d horizontally from fixtures water edge.
B. All glazed where the nearest exposed edge of the glass is within 24" of either vertical edge of a door in the plane of the door in closed positions.
C. Glazing on a wall perpendicular to the plan of door in a closed position and within 24" of the hinge side of an in-swinging door.

TABLE R302.6
DWELLING / GARAGE AND / OR CARPORT SEPARATION

SEPARATION	MATERIAL
From The Residence And Attics	Not Less than 1/2 -Inch Gypsum Board or Equivalent applied to the Garage Side

R302.6 Dwelling/garage and/or carport **fire separation.** The garage and/or carport shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. Attachment of gypsum board shall comply with Table R702.3.5. The wall separation provisions of Table R302.6 shall not apply to garage walls that are perpendicular to the adjacent dwelling unit wall. A separation is not required between the dwelling unit and a carport, provided the carport is entirely open on two or more sides and there are not enclosed areas above.

Additional Notes:

1. 507.13 Installation in Garages. Appliances in garages and in adjacent spaces that open to the garage and are not part of the living space of a dwelling unit shall be installed so that burners and burner-ignition devices are located not less than 18 inches (457 mm) above the floor unless listed as flammable vapor ignition resistant. [NFPA 54.9.1.10.11
2. Exterior Wall Construction Assembly. A Minimum Of One Layer Of No.15 Asphalt Felt, Free From Holes And Breaks, Complying With ASTM D 226 For Type 1 Felt Shall Be Applied Over Stud Walls. Specify That (2) Two Layers Of Grade 'D' Or 60 Minute Grade 'D' Paper Shall Be Applied Over All Wood Base Sheathing. [CRC R703.2]
3. All New Windows and Doors shall have a Label Indicating the U-Factor and SHGC. Comply with Energy Documentation Requirements.
4. Each Bathroom Containing a bathtub, shower or tub/shower combination shall be mechanically ventilated for purposes of humidity control in accordance with CMC, Chapter 4 and CGBSC, Chapter 4, Division 4.5 (R303.3.1 CRC)
"WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL."
   a. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
   b. Unless functioning as a component of a whole house ventilation system, fan must be controlled by a humidity control.
   c. Humidity controls shall be capable of adjustment between a relative humidity range of 50 percent to a maximum of 80 percent. A humidity control may utilize manual or automatic means of adjustment.
   d. A humidity control may be separate component to the exhaust fan and is not required to be integral (i.e. built-in.)
   e. Shower Compartments, regardless of shape, shall have a minimum finished interior of 1024 square inches and shall be capable of encompassing a 30 inch diameter circle per CPC 408.6.
   f. Carbon Monoxide Alarms:
5. **R315.1 General.** Carbon monoxide alarms shall comply with Section R315.
6. **R315.1.1 Listings.** Carbon monoxide alarms shall be listed in accordance with UL 2034. Combination carbon monoxide and smoke alarms shall be listed in accordance with UL 2034 and UL 217.
7. Hot Mopped Shower Pan Note:
"Hot Mopped Shower Pan shall be inspected upon completion of hot-mopping and shall be filled with water for inspection."
8. ***R313.3.2.4.2.1*** Additional requirements for pendent sprinklers. Pendent sprinklers within 3 feet (915 mm) of the center of a ceiling fan, surface-mounted ceiling luminary or similar object shall be considered to be obstructed, and additional sprinklers shall be installed.

ARCHITECTURAL

1. R309.1 Floor surface. Garage floor surfaces shall be of approved noncombustible material. The area of floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.
2. R309.4 Automatic garage door openers. Automatic garage door openers, if provided, shall be listed in accordance with UL 325, See Health and Safety Code Sections 19890 and 19891 for additional provisions for residential garage door openers.

   Automatic Garage Door Openers Installed in a residence must have an automatic reverse safety device and a Battery Backup Function that is designed to operate when activated because of an electrical outage.
3. R806.3 Vent and insulation clearance. Where eave or cornice vents are installed, insulation shall not block the free flow of air. A minimum of a 1-inch (25 mm) space shall be provided between the insulation and the roof sheathing and at the location of the vent.
4. **R903.2.1 Locations.** Flashings shall be installed at wall and roof intersections, wherever there is a change in roof slope or direction and around roof openings. A flashing shall be installed to divert the water away from where the eave of a sloped roof intersects a vertical sidewall. Where flashing is of metal, the metal shall be corrosion resistant with a thickness of not less than 0.019 inch (0.5 mm) (No. 26 galvanized sheet).
5. R807.1 Attic access. Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that exceed 30 square feet (2.8 m2) and have a vertical height of 30 inches (762 mm) or greater. The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members. The rough-framed opening shall not be less than 22 inches by 30 inches (559 mm by 762 mm) and shall be located in a hallway or other readily accessible location. When located in a wall, the opening shall be minimum of 22 inches wide by 30 inches high. When the access is located in a ceiling, minimum unobstructed headroom in the attic space shall be 30 inches (762 mm) at some point above the access measured vertically from the bottom of ceiling framing members. See the California Mechanical Code for access requirements where mechanical equipment is located in attics.
6. R307.2 Bathtub and shower spaces. Bathtub and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet (1829 mm) above the floor
7. R702.3.7.1 Limitations. Water resistant gypsum backing board shall not be used where there will be direct exposure to water, or in areas subject to continuous high humidity.
8. R703.7.2.1 Weep screeds. A minimum 0.019-inch (0.5 mm) (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic weep screed, with a minimum vertical attachment flange of 3½ inches (89 mm) shall be provided at or below the foundation plate line on exterior stud walls in accordance with ASTM C 926. The weep screed shall be placed a minimum of 4 inches (102 mm) above the earth or 2 inches (51 mm) above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. The weathe-resistant barrier shall lap the attachment flange. The exterior lath shall cover and terminate on the attachment flange of the weep screed.
9. 2406.4.5 Glazing and wet surfaces. Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) measured vertically above any standing or walking surface shall be considered a hazardous location. This shall apply to single glazing and all panes in multiple glazing.
10. Tempered Glass Required on Glazing that is more than 60 inches (1524 mm), measured horizontally and in a straight line, from the water's edge of a bathtub, hot tub, spa, whirlpool, or swimming pool.
11. Upon completion of the installation of the insulation a card certifying that the insulation has been installed in conformance with the requirements of this regulations shall be completed by the insulation applicator and by the builder. This Insulation compliance card shall be posted at conspicuous location within the dwelling. Provide radiant barrier @ vertical walls of attic space.
12. Owens Corning R-15 - 3-1/2" (Inches) thickness R-38 -12" un-faced ASTM C 665, Type 1. ASTM E-136 (Noncombustible), ASTM E-84 (Flame Spread 25 or Less)
13. All exterior dimensions given to the face of concrete stem see structural drawings for shear materials to determine out to out walls dimensions.
14. R302.5.1 Openings protection.Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3⁄8 inches (35 mm) in thickness, solid or honey comb core steel doors not less than 1-3/8; inches (35 mm) thick, or 20-minute fire-rated doors. Doors shall be self-closing and self -latching.

    Exception: Where the residence and the private garage are protected by an automatic residential re sprinkler system in accordance with Sections R309.6 and R313 other door openings between the private garage and the residence need only be self-closing and self-latching. This exception shall not apply to rooms used for sleeping purposes.
15. R302.5.2 Duct penetration. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage.

Additional Notes:

1. 507.13 Installation in Garages. Appliances in garages and in adjacent spaces that open to the garage and are not part of the living space of a dwelling unit shall be installed so that burners and burner-ignition devices are located not less than 18 inches (457 mm) above the floor unless listed as flammable vapor ignition resistant. [NFPA 54.9.1.10.11
2. Exterior Wall Construction Assembly. A Minimum Of One Layer Of No.15 Asphalt Felt, Free From Holes And Breaks, Complying With ASTM D 226 For Type 1 Felt Shall Be Applied Over Stud Walls. Specify That (2) Two Layers Of Grade 'D' Or 60 Minute Grade 'D' Paper Shall Be Applied Over All Wood Base Sheathing. [CRC R703.2]
3. All New Windows and Doors shall have a Label Indicating the U-Factor and SHGC. Comply with Energy Documentation Requirements.
4. Each Bathroom Containing a bathtub, shower or tub/shower combination shall be mechanically ventilated for purposes of humidity control in accordance with CMC, Chapter 4 and CGBSC, Chapter 4, Division 4.5 (R303.3.1 CRC)
"WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL."
   a. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
   b. Unless functioning as a component of a whole house ventilation system, fan must be controlled by a humidity control.
   c. Humidity controls shall be capable of adjustment between a relative humidity range of 50 percent to a maximum of 80 percent. A humidity control may utilize manual or automatic means of adjustment.
   d. A humidity control may be separate component to the exhaust fan and is not required to be integral (i.e. built-in.)
   e. Shower Compartments, regardless of shape, shall have a minimum finished interior of 1024 square inches and shall be capable of encompassing a 30 inch diameter circle per CPC 408.6.
   f. Carbon Monoxide Alarms:
5. **R315.1 General.** Carbon monoxide alarms shall comply with Section R315.
6. **R315.1.1 Listings.** Carbon monoxide alarms shall be listed in accordance with UL 2034. Combination carbon monoxide and smoke alarms shall be listed in accordance with UL 2034 and UL 217.
7. Hot Mopped Shower Pan Note:
"Hot Mopped Shower Pan shall be inspected upon completion of hot-mopping and shall be filled with water for inspection."
8. ***R313.3.2.4.2.1*** Additional requirements for pendent sprinklers. Pendent sprinklers within 3 feet (915 mm) of the center of a ceiling fan, surface-mounted ceiling luminary or similar object shall be considered to be obstructed, and additional sprinklers shall be installed.
9. **Exterior Doors To Be Caulked Between The Door And The Building And Be Weather Stripped. CEC 110.6(b).**

9 - Building Data

Conditioned Living Area:	3,654.0 Sq. Feet
2- Car Garage Area:	458.0 Sq. Feet
Mechanical Room Area:	29.0 Sq. Feet
Rear Covered Patio Area:	552.0 Sq. Feet

10 - Wall Types

2x Stud Wall	2x6 Stud Perimeter and Plumbing Walls & 2x4 Stud Interior Wall Wood studs @ 16" O.C. with Sound Batt Insulation with (1) One layer of 1/2" Gypsum Board inside & 1-Coat Stucco + 1" EPS Typ.
2x Stud Wall	5/8" type "X" gypsum board applied to the garage side to separate the garage from the dwelling unit and the dwelling attic area. Separation to be from the foundation to roof sheathing.

1 - Spatial

1.1	Dashed Line of floor, wall and/or roof avobe.
1.2	22" x 30" Minimum Attic Access - 30" x 30" Minimum when F.A.U. in Attic.

2 - Exterior

2.1	2x Stud Wall Framing. Typical U.N.O.
2.2	Hard-scape - Refer to Site Plan Page SP.01.
2.3	(1) One Coat Stucco System, must include one layer of water resistive barrier, having a flame-spread index of 25 or less and smoke-developed index of 450 or less. The water resistive barrier must be installed over the sheathing in accordance with IBC Section 1404.2 EPS insulation board with a nominal 1.5 pcf (24 kg/m) density must be installed at a 1-inch (25 mm) thickness horizontally in running bond to the sheathing. The lath insulation board and water resistive barrier must be positively fastened to the studs framing. The Stucco System must be applied at a ⅞ inch (9.5 mm) minimum thickness. ICC-ES Evaluation Report ESR-1194
2.4	FOUR PLY BUILT UP ROOFING SYSTEM NAILABLE DECK QUIK-SHIELD 125 ROOFING SPRAY FOAM **System Will Be Class 'A' Roof System As Outlined In ICC Evaluation Report.**

3 - Interior

3.1	2 x Stud Framing, @ 16" O.C. Typical U.N.O.
3.2	Line of Floor Material Change.
3.3	Soffit or Line of Ceiling Change - Refer to Reflected Ceiling Plan U.N.O.
3.4	Structure(s) Supporting Floor / Ceiling Assemblies Used For Separation Required By This Section.Not Less than 1/2 -Inch Gypsum Board or Equivalent R302.6 Dwelling/garage and/or carport fire separation. The garage and/or carport shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. This provision does not apply to garage walls that are perpendicular to the adjacent dwelling unit wall. A separation is not required between the dwelling unit and a carport, provided the carport is entirely open on two or more sides and there are not enclosed areas above.
3.5	TOUCHSTONE TS Sideline Series ELECTRIC FIREPLACE HEATER 50" Note: This fireplace must be electrically wired and grounded in accordance with local codes or, in the absence of local codes, with National Electric Code ANSI/NFPA 70-latest edition (U.S.A.) or the Canadian Electrical Code CSA C22.1 (Canada). This fireplace has been tested in accordance with the CSA Standards for fixed and location-dedicated electric room appliances in the nited States and Canada. **Install per manufacturer specifications, Wood Burning Fireplaces are Prohibited.**

4 - Openings

4.1	R302.5.1 Openings protection.Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3⁄8 inches (35 mm) in thickness, solid or honey comb core steel doors not less than 1⅜; inches (35 mm) thick, or 20-minute fire-rated doors. Doors shall be self-closing and self -latching. Provide 1/2" Gypsum Board. See Garage For Location Per C.R.C. (R302.5.1 Thru R302.5.3 & Table R302.6) **R302.5.2 Duct penetration.** Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall not have openings into the garage.
4.2	Wood Gate/Door - Refer To Exterior Elevations.
4.3	Custom Entry Door 1-3/4" Thick, Solid Core Door with an Angle Viewer, deadbolt and Weather Strip.- Refer to exterior Elevations.
4.4	Sectional Overhead Garage Door - Refer to Exterior Elevations, Owner and or G.C. To Verify Selection.
4.5	**R310.2.1 Minimum opening area.** Emergency and escape rescue openings shall have a net clear opening not less than 5.7 square feet (0.530 m2). The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height of the opening shall be not less than 24 inches (610 mm) and the net All swinging doors and window openings to the exterior or to unconditioned area such as garages shall be fully weather stripped gasketed or otherwise treated to limit infiltration.

5 - Appliances

5.1	Built - In Refrigerator - Provide Recessed Cold Water Bibb for Ice Maker - Verify Dimensions with Manufacturere's Specifications.
5.2	Gas Range with Exhaust Vent Vent to Outside Air - Verify Dimensions with Manufacturer's Specifications.
5.3	Built - In - Dish Washer - Verify Dimensions with Manufacturer's Specifications.
5.4	Metal Exhaust Vent Hood Verify Dimensions with Manufacture's Specifications.
5.5	Built - In - Oven / Microwave Oven - Verify Dimensions with Manufacture's Specifications.

6 - Cabinets And Counters

6.1	Base Cabinets with Countertop - Verify height with Owner prior to Fabrication.
6.2	Upper Cabinets shown dashed - Refer to Interior Elevations.
6.3	Shelves & Pole - Refer to Cabinet Company Drawings.
6.4	Island Base Cabinets with Countertop - Verify Height with Owner Prior to Fabrication.

7 - Plumbing

7.1	Kitchen Sink with Garbage Disposal. G.C. To Verify Selection & Install Per Manufacturer Specifications.
7.2	Exhaust an Capable of Minimum 5 Air Changes per Hour. (Verify with Electrical Plan if Light & Fan combination applies).
7.3	Bathroom Sink G.C. To Verify Selection & Install Per Manufacturer Specifications.
7.4	Toilet with 30" Minimum Clear Space in Width and 24" Minimum Clear Space in Front. Verify Selection & Install Per Manufacturer Specifications.
7.5	Hot Mopped Shower Pan with Mudset Ceramic Tile Floor & Wall Finish to Lid Provide Shatter Resistant Glass Enclosure-Shower Head at 78" A.F.F. Shower Compartments shall be not less than 1,024 Sq. Inches and also be capable of encompassing a 30" diameter circle. (408.6 CPC) **Cement, Fiber-Cement, Fiber Mat reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers shall be used as a base for wall tile in tub and shower areas and ceiling panels in shower areas. (R702.4.2 CRC)**
7.6	Washer Space - Provide Recessed Hot and Cold Water Bibbs, Waste Drain, and G.I. Pan with Drain. 609.10 Water Hammer. [Not adopted by HCD] Building water supply systems where quick-acting valves are installed shall be provided with water hammer arrester(s) to absorb high pressures resulting from the quick closing of these valves. Water hammer arresters shall be approved mechanical devices in accordance with ASSE 1010 or PDIWH 201 and shall be installed as close as possible to quickacting valves.
7.7	On Demand Water Heater MT-M50/T-M50 ASME TAKAGI Industrial, Co. USA. Inc. Natural Gas Impute (Operating Range) Min. 15,000 Btu/h, **Maximum 180,000 Btu/h** Gas Connection 1" Ø NPT Water Conection 1" Ø NPT.
7.8	STACKED UNIT- Washer Space - Provide Recessed Hot and Cold Water Bibbs, Waste Drain, and G.I .Pan with Drain. 609.10 Water Hammer. [Not adopted by HCD] Building water supply systems where quick-acting valves are installed shall be provided with water hammer arrester(s) to absorb high pressures resulting from the quick closing of these valves. Water hammer arresters shall be approved mechanical devices in accordance with ASSE 1010 or PDIWH 201 and shall be installed as close as possible to quickacting valves.
7.9	Provide Towel Bar G.C. To Verify Selection
7.10	Paper Holder G.C. To Verify Selection
7.11	Recessed, Medicine Cabinet (Medicine Cabinet Top at 72" Ht. F.F.F.) mirror type at Baths (Size and finish per General Contractor).
7.12	Hose Bibb with shut-off valve & anti-siphon valve at entry.
7.13	Additional Hose Bibb with anti-siphon valve.
7.14	FREE Stand - Kohler MAESTRO K-839 Elegant Tub - Verify Dimensions with Manufacture's Specifications. **NO Hydro-Massage Tub**

8 - Electrical - Mechanical

8.1	Dryer Space - Provide 4" Diameter Vent with Maximum 14'-0" Run and Maximum (2) 90 Degree Bends - Vents to the Outside Air Per C.M.C. - Shown Dashed.
8.2	Electrical Panel/Meter - Exact Size and Location to be Determined by Electrical Contractor.
8.3	Gas Meter - Verify Exact Location (I.P.M.R.).
8.4	Forced Air Unit - Exact Location To Be determined by H.V.A.C. Contractor (I.P.M.R.).
8.5	Smoke Detectors: Single or multiple station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations: 1. On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms. 2. In each room used for sleeping purposes.
8.6	Carbon Monoxide Alarm: Shall be 120-Volt with Battery Back-Up (CRC - R315.1.1) In Dwelling units and in sleeping units within which fuel burning appliances are installed and in dwelling units that have attached garages an approved Carbon Monoxide Alarm shall be installed at all of the following locations: a. On the Ceiling or Wall outside of each separate sleeping area in the immediate vicinity of bedrooms. b. On every level of a dwelling unit including basements. (CRC - R315).
8.7	A kitchen is defined as any room containing cooking appliances. Each kitchen is required to have an exhaust fan ducted to the outside with a minimum ventilation rate of 100 CFM. The range hood over the stove may be used to meet this requirement but the range hood must vent to the outside; reticulating range hoods cannot be used.The ducting of the exhaust fan shall be sized according to ASHRAE Standard 62.2 Table 7.1. This local exhaust fan may operate continuously or intermittently. Installing this local exhaust fan in the kitchen will allow the home occupant to regulate the indoor air quality when needed.

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Drafting Design Planning
Red Hill Sketch - A Vision Of Space

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mikedraftingdesigncvca@gmail.com

Planning-Revisions	Date
Plan Check Revisions 1	00/00/2023

Building-Revisions	Date
Plan Check Revisions 1	00/00/2023

Owner Name:

Mr. Henrik Artonian
1857 Arvin Drive
Glendale, CA 91208
Phone No. 1-(818) 955-5111
E-mail Address:
glendaleairheat@sbcglobal.net

Job Address:

Lot No. 1
Tuscan Road
Palm Springs, CA 92262

Sheet Name:

Floor Plan &
General Notes

Date: MAY-2023

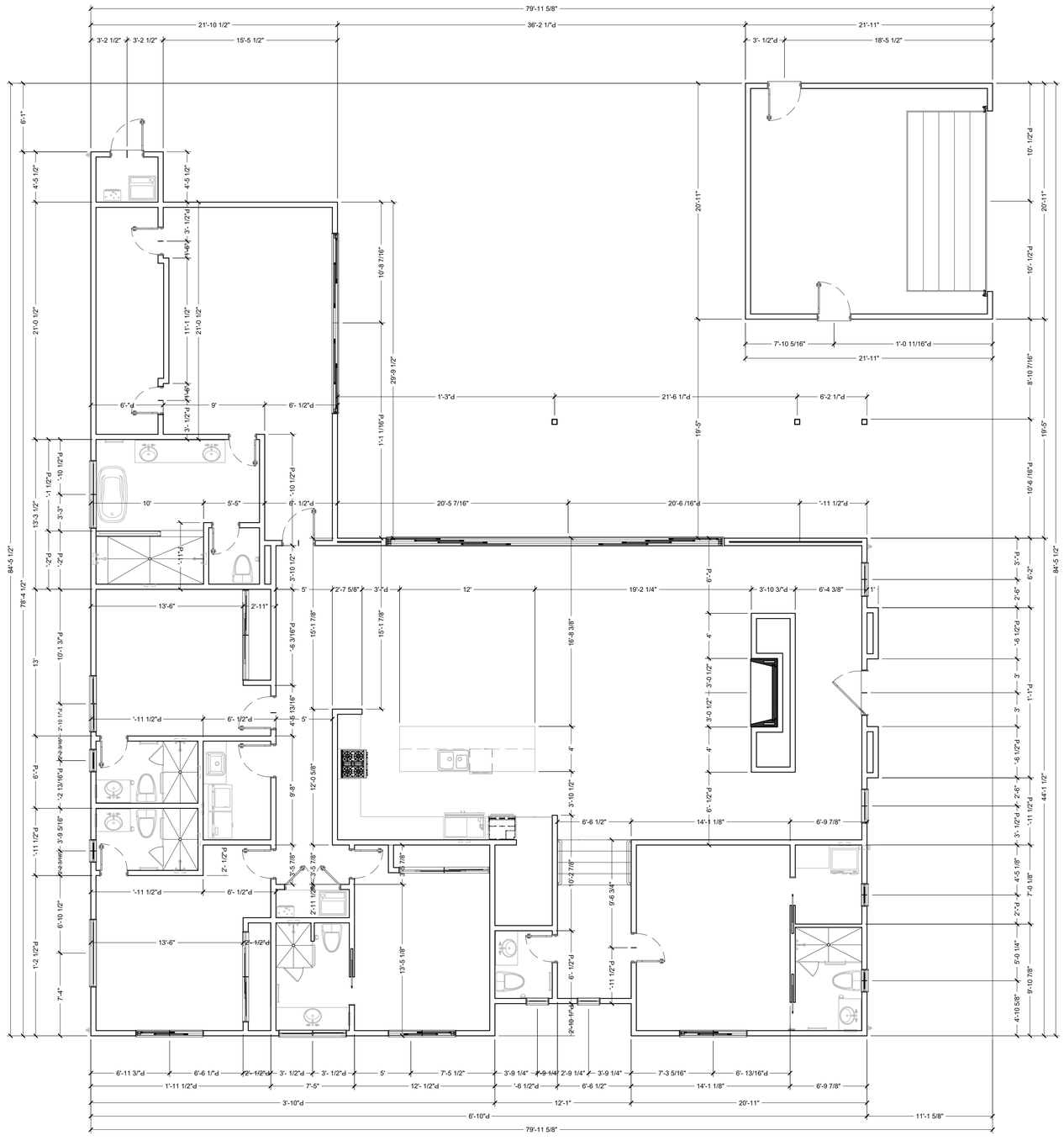
Drawn By: Mike Mendoza

Sign By:

Sheet Number:

A1.01

Scale To Plot: 3/16" = 1'-0"



Dimension Floor Plan

Scale: 3/16" = 1'-0"

Mike Mendoza
Design Principal
Drafting-Design-Planning
Research-Sketch-A Vision Of Space

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Palm Springs, CA 92262

Sheet Name:

Dimension
Floor Plan

Date: MAY-2023

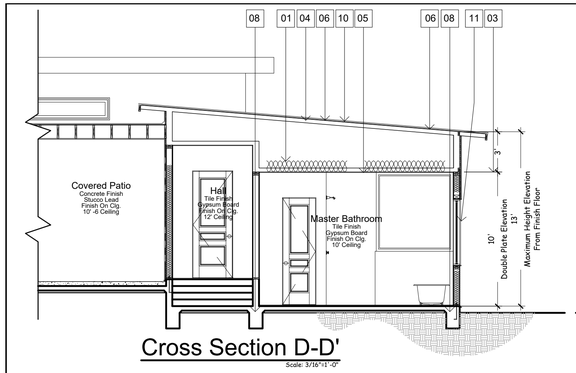
Drawn By: Mike Mendoza

Sign By:

Sheet Number:

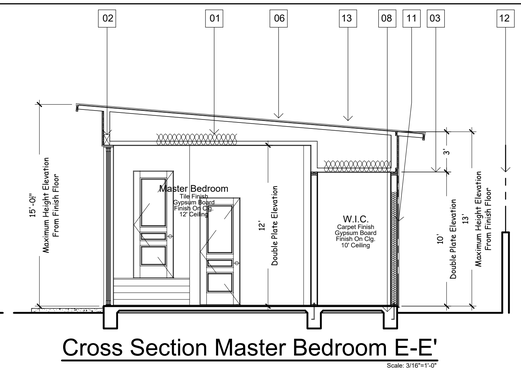
A1.03

Scale To Plot: 3/16" = 1'-0"



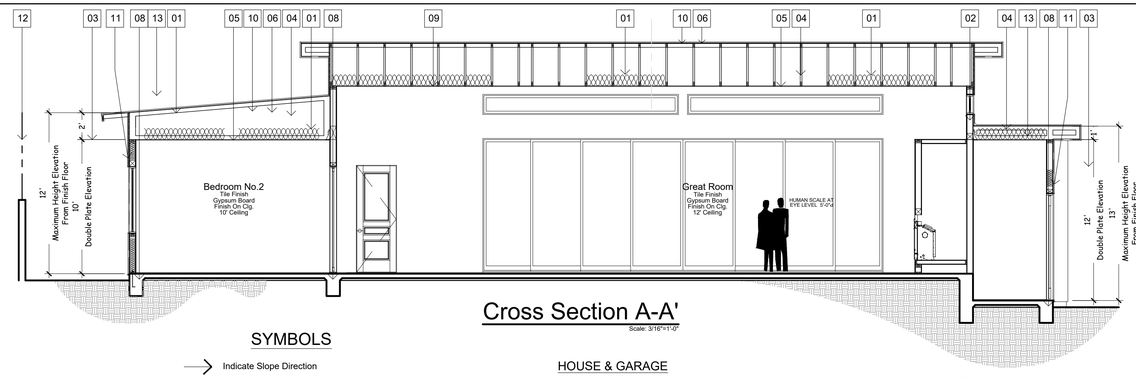
Cross Section D-D'

Scale: 3/16"=1'-0"



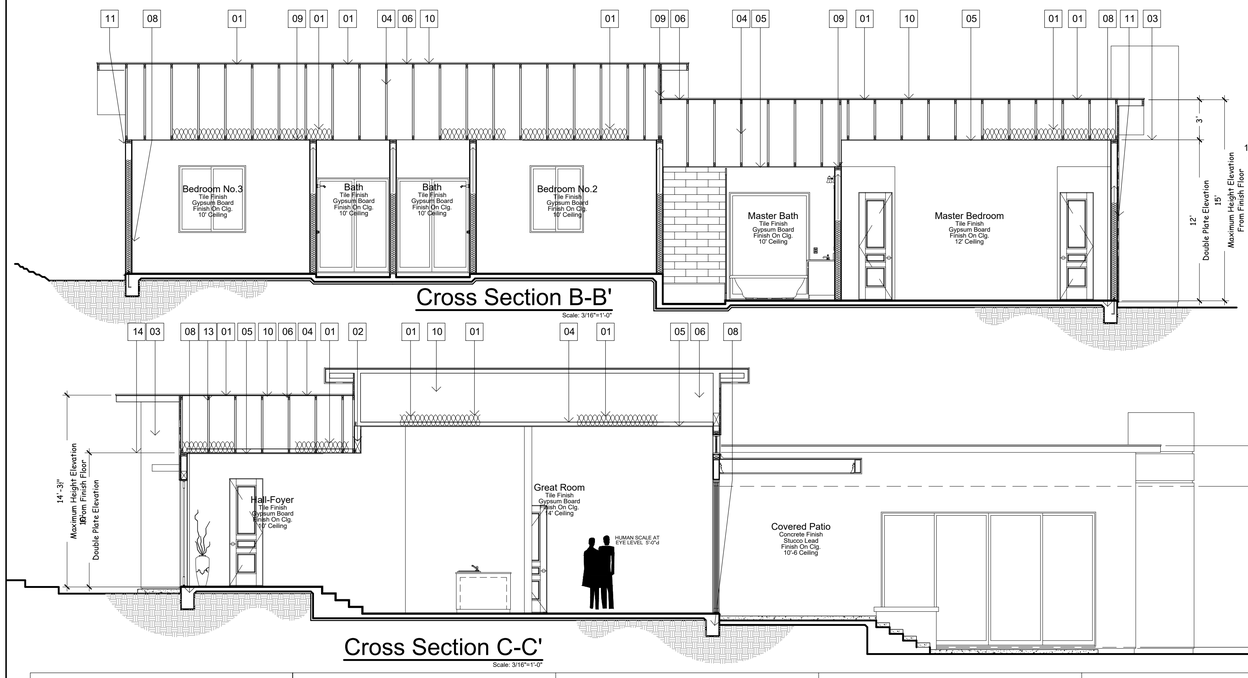
Cross Section Master Bedroom E-E'

Scale: 3/16"=1'-0"



Cross Section A-A'

Scale: 3/16"=1'-0"



Cross Section B-B'

Scale: 3/16"=1'-0"

Cross Section C-C'

Scale: 3/16"=1'-0"

SYMBOLS

- Indicate Slope Direction
- 1/4" / 12 PITCH — Indicate Pitch On Roof Created By Foam Cover Roof Edge Of Roof 1" Then Slope 1/4" Up From Edges.
- Provide Cricket On The Top Of Manufactured Wood Trusses System For Water Drain (Typ.) Specify Minimum ¼"/Ft. Deck/Roof Slope For Cricket + 90 # Hot Mop.
- Indicate Location Attic "Static Ventilation Systems R-247
- Indicate - Continuous Eave Vent Louvers @ 80.0 Sq. Inches

1 St. Must Apply On Flat Profile Roof Material

FOUR PLY BUILT UP ROOFING SYSTEM
NAILABLE DECK **System Will Be Class 'A' Roof System As Outlined In ICC Evaluation Report.**

MATERIALS:

Asphalt (Per Ply)	25 Lbs. (1.22 kg/m²)
Base Sheet	1 Ply
Ply Sheets	2 Plies
Cap Sheet	1 Ply

Evaluation Report UL ER1306-02
Thermal And Moisture Protection.
Installation of roofing shall be in accordance with manufacturer's specifications. Built-Up roofing material complies with CRC Table R905.9.2 ASTM D4601.

2 Nd. Apply On Top Flat Profile Roof Material

QUIK-SHIELD 125 ROOFING SPRAY FOAM
System Will Be Class 'A' Roof System As Outlined In ICC Evaluation Report.

QUIK-SHIELD 125 is a closed cell spray applied Polyurethane roofing foam. It creates a monolithic, water resistant barrier that stops air and provides excellent insulation.

ICC Evaluation Report ESR-2532
E-108 UL 790 Class A/B Roof System
UL Class A/B Approval R9303 Const. # 136, 181, 206
Thermal And Moisture Protection.

Sections Legend:
Section General Notes

A. Refer to floor plan for dimension not shown.
B. Refer Foundation plan for more information.
C. Refer to framing plans for member sizes and layouts.
D. Typical Insulation, see Energy Calculations more information.

a. Wall Insulation	R-21
b. Ceiling Insulation	R-38
c. Acoustical Walls	R-38
d. Top Chord Insulation	**R-13**

E. Provide 26 Ga. Weep Screed.
a. Weep Screed shall be placed a minimum 4" Inches above the earth or 2" Inches above paved areas.
F. Provide 1" Inch Clear space from Insulation to Roof Sheathing for air flow.
G. Provide Radiant Barrier at Gable Ends Typical.

HOUSE & GARAGE

1/2 Of Vents Are Located 3'-0" Above Eaves
1/2 Of Vents Are Located 3'-0" At Eaves

Attic Area = 4,661.0 SQ. FT.
4,661.0 SQ.FT. . 150 = 31.07 x 144 = 4,475.0 SQUARE INCHES TOTAL

TOTAL AREA REQUIRED ABOVE EAVES = 2,237.50 SQUARE INCHES
TOTAL AREA REQUIRED AT EAVES = 2,237.50 SQUARE INCHES

Provide (20 Count) 2" x 8' Continuous Eave Vents Simpson Louver Vents Two Way Vent (4 mesh) 100.0 Sq. Inches Typ. = 2,000.0 Sq. Inches
Provide (13 Count) Static Ventilation System Series-247 = 2,964.0 Sq. Inches
TOTAL Natural Cross Ventilation = 4,964.0 Sq. Inches

TOTAL AREA REQUIRED = 4,475.00 SQ.IN.
TOTAL AREA PROVIDED = 4,964.00 SQ.IN.

MANDATORY REQUIREMENTS FOR SOLAR READY BUILDINGS

Solar zone.

1. **Minimum solar zone area.** The solar zone shall have a minimum total area as described below. The solar zone shall comply with access, pathway, smoke ventilation and spacing requirements as specified in Title 24, Part 9 or other Parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area shall be comprised of areas that have no dimension less than five feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet.
   A. **Single-family residences.** The solar zone shall be located on the roof or overhang of the building and have a total area no less than 250 square feet.
2. A one-inch diameter electrical conduit shall be provided for installation of future Solar PV Energy System on Single Family Dwellings. The one Inch diameter electrical conduit shall extend from the exterior wall location adjacent to the main electrical service panel and terminate into the attic space. At each location, the conduit shall terminate at two-gang, electric junction box. Three open spaces shall be provided at the bottom of the buss to accommodate future Solar PV Systems.

Section Reference Notes

01 Insulation:
See Energy and Acoustical Requirements.
R-21 On Exterior Walls & R-38 On Ceilings Per T-24 Report
R-13 Top Chord Insulation Required Per T-24 Report

02 Framing Members, See Framing Plans.

03 Double 2x Nail Plate

04 Manufactured Wood Trusses See Truss Calculations From manufacturer For Detail & Intallation

05 1/2" and Or 5/8" Gypsum Board (Drywall) Install Per Manufactured and C.B.C. Specifications

06 Plywood Sheathing See Structural Plans.

07 Provide 5/8" Type 'X' Gypsum Board. See Garage For Location Per C.R.C. (R302.5.1 Thru R302.5.3 & Table R302.6)

08 Typical Foundation See Foundation Page For Dimensions

09 Interior Non Bearing Wall See Framing For Anchorage Details

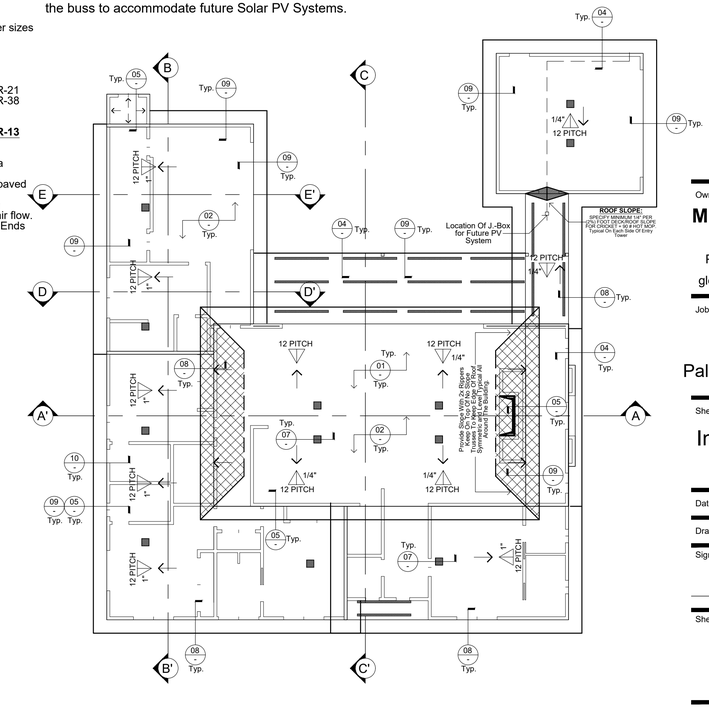
10 Built-Up Roofing (Typical).
FOUR PLY BUILT UP ROOFING SYSTEM
NAILABLE DECK
QUIK-SHIELD 125 ROOFING SPRAY FOAM
System Will Be Class 'A' Roof System
As Outlined In ICC Evaluation Report.

11 Exterior Plaster
See Color Board for more information.
Exterior cement plaster application shall consist of a 3-Coat process per CBC Section 2508. The Contractor shall provide a lath base using 'RUB-LATH' where required to prevent sagging.
The plaster is to be Applied using the following:
1. Scratch Coat
2. Brown Coat
3. Finish Coat
Plater Application shall be 7/8" Minimum.

12 Indicate Location Of Garden Wall At Property Line

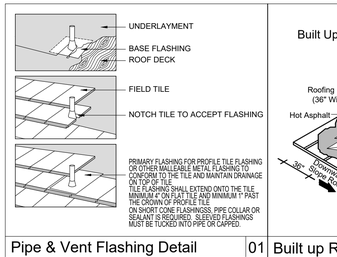
13 Dotted Line Indicate Building Height Envelope Required By City Ordinance

14 Truss Cantilever To Create an Eye Brow On Elevation Entry

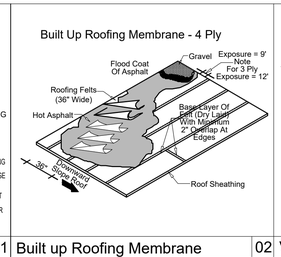


Roof Plan

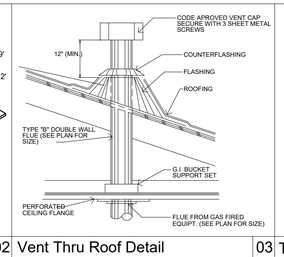
Not To Scale



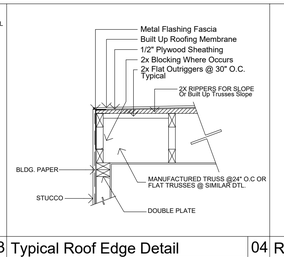
Pipe & Vent Flashing Detail 01



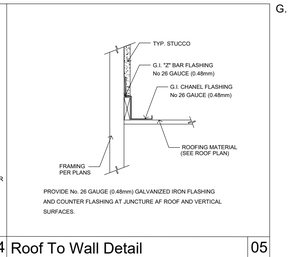
Built up Roofing Membrane 02



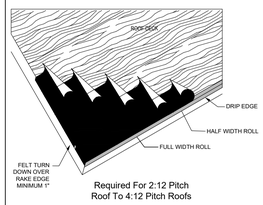
Vent Thru Roof Detail 03



Typical Roof Edge Detail 04



Roof To Wall Detail 05

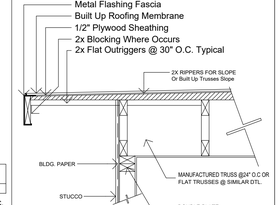


Double Layer Underlayment 06

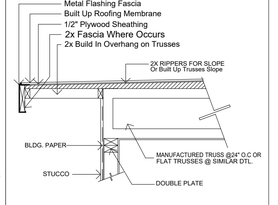
MODLE No.	FREE AREA (SQ. IN.)	STACK DIAMETER	FLASHING DIMENSION	HEIGHT (IN.)
R-247 ALUMINUM	247	18-3/8	18x18	6

26 GAUGE STEEL GALVANIZE METAL VENTS-CONSTRUCTION METALS INC.

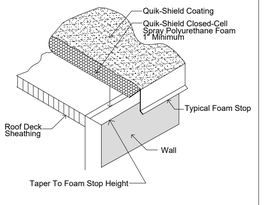
Attic Ventilation-Natural Ventilation 07



Outrigger Detail 08



Typical Overhang Detail 09



Foam Roof Edge Detail 10

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Rural Tuscan - A Vision Of Serenity

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Planning-Revisions	Date
Plan Check Revisions 1	00/00/2023

Building-Revisions	Date
Plan Check Revisions 1	00/00/2023

Owner Name:

Mr. Henrik Artonian
1857 Arvin Drive
Glendale, CA 91208
Phone No. 1-(818) 955-5111
E-mail Address:
glendaleairheat@sbcglobal.net

Job Address:

Lot No. 1
Tuscan Road
Palm Springs, CA 92262

Sheet Name:

Interior Elevations & Roof Plan

Date: MAY-2023

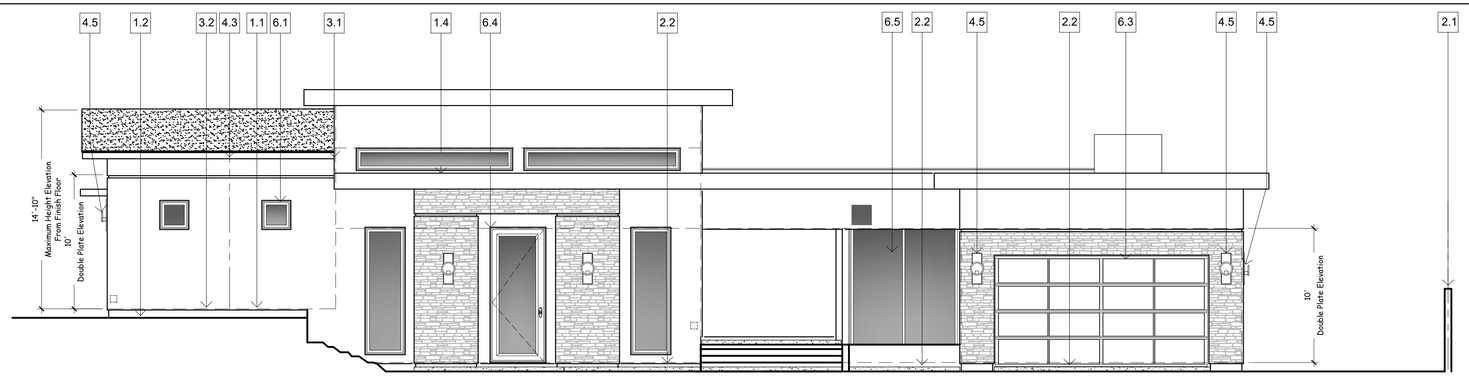
Drawn By: Mike Mendoza

Sign By:

Sheet Number:

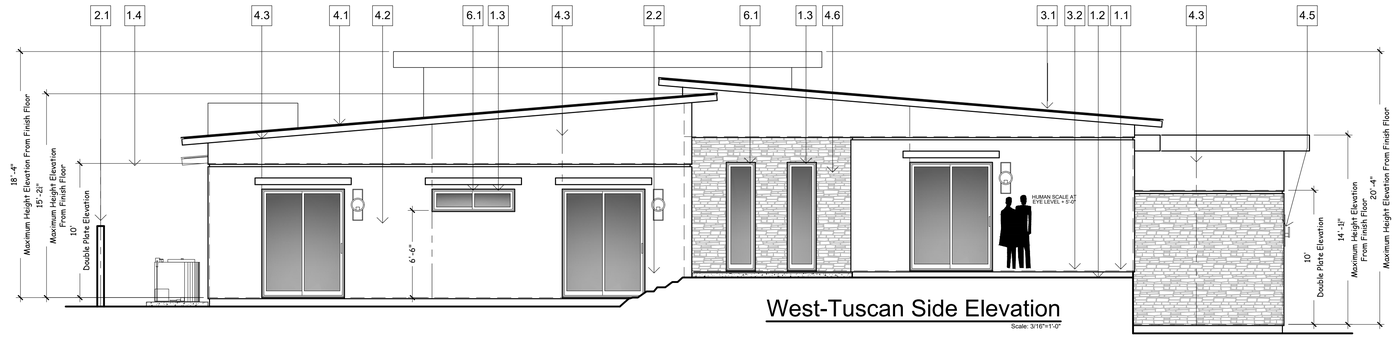
A1.04

Scale To Plot: To Plot 3/16" = 1'-0"



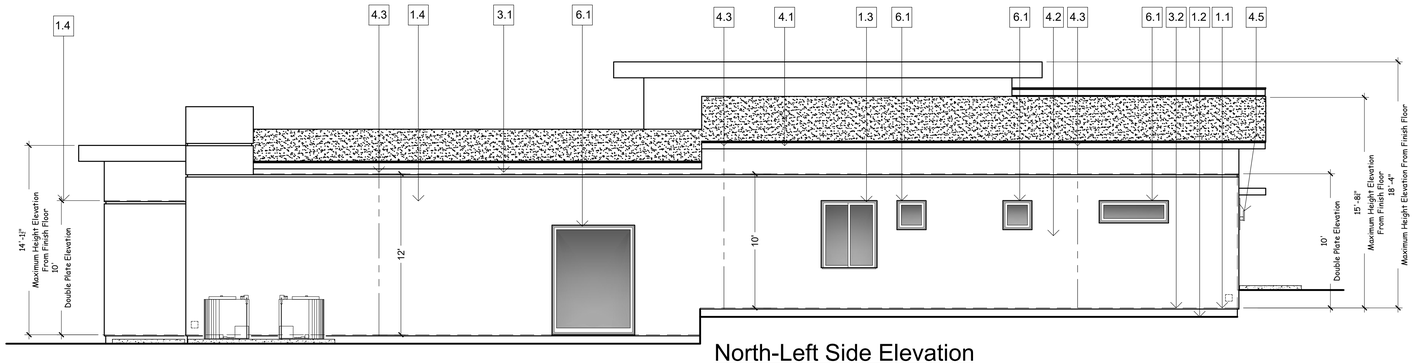
South-Right Side Elevation

Scale: 3/16"=1'-0"



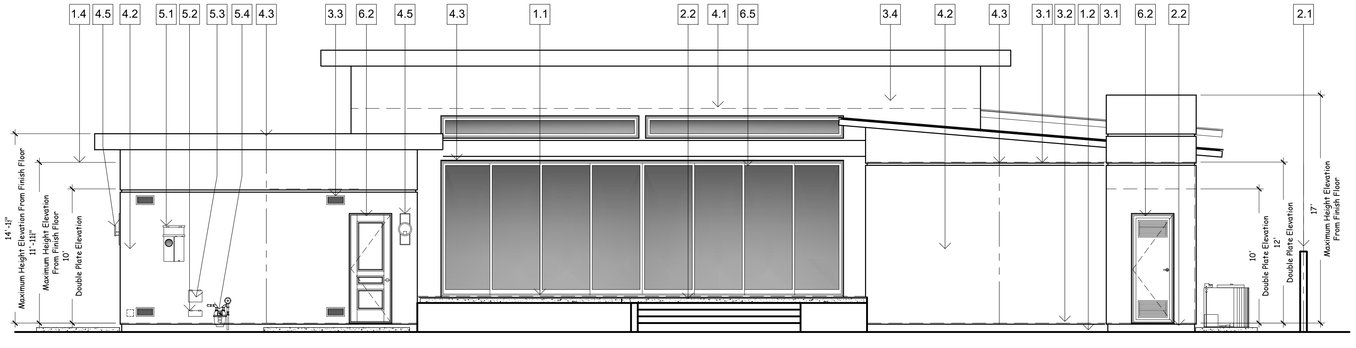
West-Tuscan Side Elevation

Scale: 3/16"=1'-0"



North-Left Side Elevation

Scale: 3/16"=1'-0"



East-Rear Side Elevation

Scale: 3/16"=1'-0"

Exterior Material Legend

Exterior Walls	3-Coat Stucco Sand Finish Verify Color Selection Pryor To Construction
Roof Material	QUIK-SHIELD 125 ROOFING SPRAY FOAM **System Will Be Class 'A' Roof System** **As Outlined In ICC Evaluation Report.** QUIK-SHIELD 125 is a closed cell spray applied Polyurethane roofing foam. It creates a monolithic, water resistant barrier that stops air and provides excellent insulation. ICC Evaluation Report ESR-2532 E-108 UL 790 Class A/B Roof System UL Class A/B Approval R9303 Const. # 136, 181, 206 Thermal And Moisture Protection.
Garage Doors	Metal Type (4) Four Break Roll Type W./ No Insulation NO GLASS ON GARAGE DOOR Either
Window & Doors	Jeld-Wen Premium Aluminum (A-500) Or Approved Equal Provide Tempered Glass In Areas Of Human Impact Frame Color: Grey \ Aluminum
Wrought Iron	Bronze Tone Finish
Light Fixtures	Bronze Tone Finish Verify Selection Type and Model Pryor To Construction.

5 - Utilities

- 5.1 200 AMP's Panel
- 5.2 Telephone Service Box
- 5.3 C.A.T.V. Service Box
- 5.4 Gas Meter Location Verify W./Utility Company

6 - Doors and Windows

- 6.1 Windows - Refer To Window Schedule.
- 6.2 Doors - Refer to Door Schedule.
- 6.3 Metal Type Sectional Overhead Garage Door - Refer To Door Schedule.
- 6.4 Custom Entry Door - Refer To Door Schedule.
- 6.5 Slider Glass Doors - Refer to Door Schedule.

1 - Spatial

- 1.1 Top Of Slab Line / Top Of Garage Curb
- 1.2 Finish Grade Line
- 1.3 Align Top of The Window with Top Of Door
- 1.4 Top of Plate

2 - Site

- 2.1 Site Walls - Refer To Civil and Landscape Drawings
- 2.2 Flat Work Steps - Refer to Landscape Drawings

3 - Metals

- 3.1 Galvanized Sheet Metal Flashing at Roof to Wall Condition, Typical.
- 3.2 Continuous Weep Screed.
- 3.3 Provide (2) minimum G.I. Screen Vents 14" wide x 6" Ht.
  (2) Two @ 6" Above Finish Floor Elevation
  (2) Two @ 12" Below Ceiling Ht. Elevation.

4 - Exterior Finsh

- 4.1 See Roof Plan for Material and Colors.
- 4.2 3-Coat, 7/8" Exterior Plater.
- 4.3 Provide Stucco Expansion Joints on Any Wall That is Bigger Than 15' Lineal Use Phillips # 15 Double V Expansion Joints or Approved Equal.
- 4.4 Vent and Termination Clearances. Install According to local Codes. ANSI Z223.1 NFPA 54 in the USA Approved Spark Arrestor. Spark Arrestor to be a Minimum 2'-0" Higher than any Portion of the Building or Roof within a 10'-0" Diameter Circle.
- 4.5 Indicate Location Of Exterior Rated Light Fixture Verify Selection W./Owner / Builder, Model Type and or Color Selection.
- 4.6 Indicate Location Of Walnut Daltile By Porcelain Veneer - Or Approved Equal Install Per Manufactured Specifications.
- 4.7 Indicate Location Of Stone Veneer By BORAL-VERSETTA Stone Veneer - New Color Sand Stone Series, ICC - Evaluation Report ESR-2859. Or Approved Equal Install Per Manufactured Specifications. **BORAL VERSETTA Ledgstone 2-1/4" Thickness.**

Roof Color
Elastomeric Roof
Top Coating White
Color

X-50 Crystal White - La Habra

X-16 Silver Grey - La Habra

Mike Mendoza
Design Principal
Drafting Design Planning
Results Beyond A Vision Of Service

73-900 Dinah Shore Drive
Suite 202
Palm Desert, CA 92211
Cell No. 1-(760) 275-1816
E-Mail Address:
mikedraftingdesigncvca@gmail.com

Planning-Revisions	Date
Plan Check Revisions 1	00/00/2023

Building-Revisions	Date
Plan Check Revisions 1	00/00/2023

Owner Name:

Mr. Henrik Artonian
1857 Arvin Drive
Glendale, CA 91208
Phone No. 1-(818) 955-5111
E-mail Address:
glendaleairheat@sbcglobal.net

Job Address:

Lot No. 1
Tuscan Road
Palm Springs, CA 92262

Sheet Name:

Exterior Elevations & General Notes

Date: MAY-2023

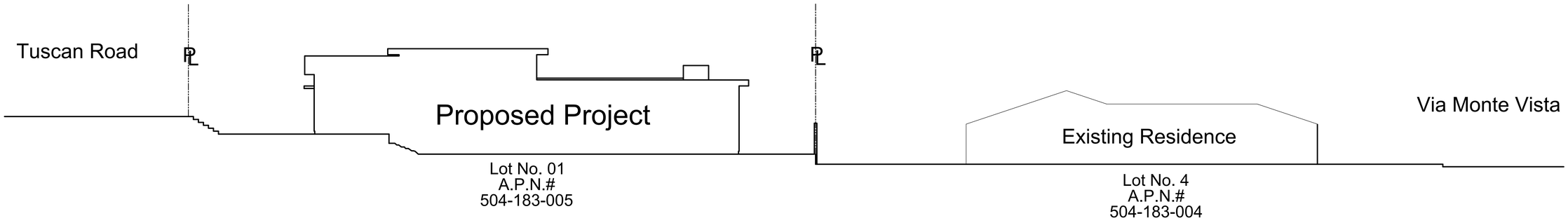
Drawn By: Mike Mendoza

Sign By:

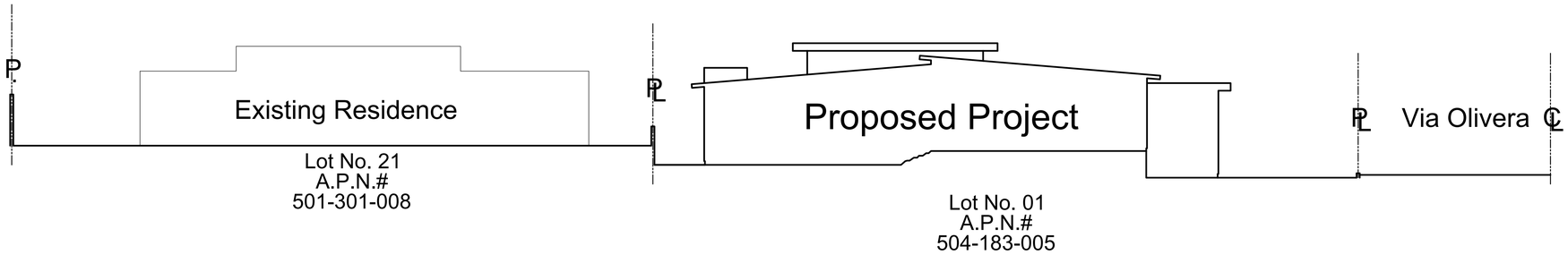
Sheet Number:

A1.05

Scale To Plot: 3/16" = 1'-0"



Cross Section West To East



Cross Section North To South

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Design Principal
Drafting-Design-Planning & 3D Revit Short - A Vision Of Space

73-900 Dinah Shore Drive
Suite 202
Palm Desert, CA 92211
Cell No. 1-(760) 275-1816
E-Mail Address:
mikedraftingdesigncvca@gmail.com

Planning-Revisions	Date
Plan Check Revisions 1	00/00/2023

Building-Revisions	Date
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Owner Name:

Mr. Henrik Artonian
1857 Arvin Drive
Glendale, CA 91208
Phone No. 1-(818) 955-5111
E-mail Address:
glendaleairheat@sbcglobal.net

Job Address:

Lot No. 1
Tuscan Road
Palm Springs, CA 92262

Sheet Name:

Site Cross Sections

Date: MAY-2023

Drawn By: Mike Mendoza

Sign By:

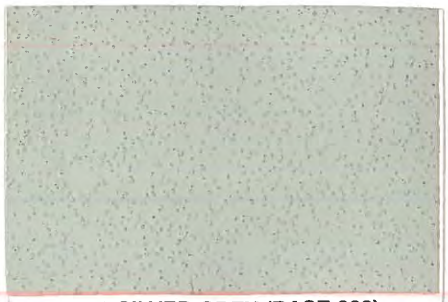
Sheet Number:

A1.06

Scale To Plot: 1" = 10'-0"

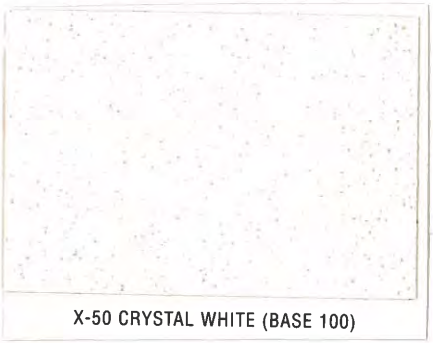
Job Address

Lot No. 1 Tuscan Road
Palm Springs, CA 92262



X-16 SILVER GREY (BASE 200)

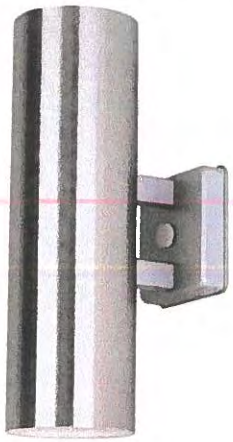
Body Of The Building
LaHabra Stucco
X-16 Silver Grey Base 200



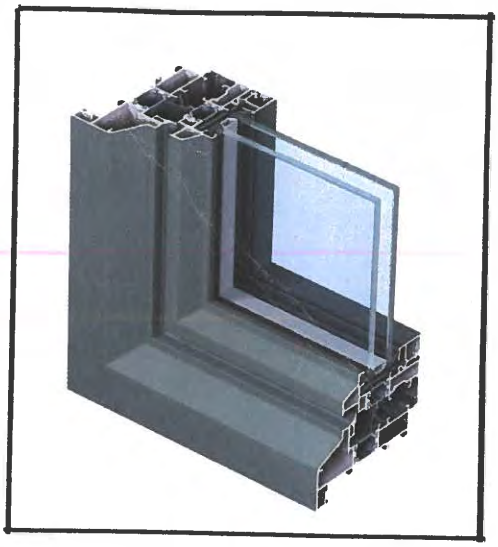
X-50 CRYSTAL WHITE (BASE 100)

Body Of The Building
LaHabra Stucco
X-50 Crystal White Base 200

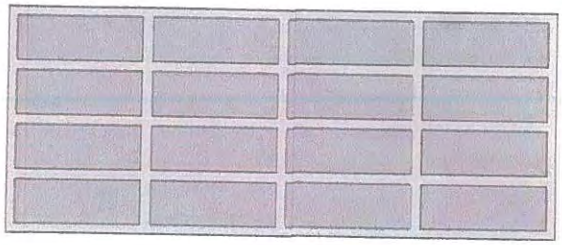
Porcelain Veneer Of Walnut Daltile Or Approved Equal Install Per Manufactured Specifications.



Outdoor Lightning
EGLO Ascoli 2-Light
Stainless Steel O Color
Install Per Manufacturer's specifications



Window Frame Material
Aluminum Grey Color
Install Per Manufacturer's specifications



Roll Up Doors Direct
Overhead Warehouse Doors
Model 650 Full View Aluminum
Roll Up Door Type
Color Paint Over 555 Covered Bridge From FRAZEE

Concrete Driveway Finish
Concrete W./Acid Wash Finish
Install Per Manufacturer's specifications

3.4287

Tuscan Rd

Via Olivera


MRC 1920