



ARCHITECTURAL REVIEW COMMITTEE MEMORANDUM

DATE: SEPTEMBER 18, 2023 NEW BUSINESS

SUBJECT: A REQUEST BY MDESIGN GROUP, INC., ON BEHALF OF BRANDON RIKER, FOR A MINOR ARCHITECTURAL APPLICATION TO CONSTRUCT A 609-SQUARE-FOOT DETACHED ACCESSORY STRUCTURE AND A TERRACE AT AN EXISTING HILLSIDE SINGLE-FAMILY RESIDENTIAL PROPERTY LOCATED AT 1655 RIDGEMORE DRIVE (APN: 686-412-003), ZONE R-1-C, SECTION 1 (CASE AR-2023-0073). (NK)

FROM: Department of Planning Services

PROJECT DESCRIPTION:

This is a request for the approval of a Minor Architectural application for the construction of a 609-square-foot detached accessory structure and a terrace at an existing hillside single-family residential property. Pursuant to Palm Springs Zoning Code Sections 93.13.00(B)(1)(c) and 93.13.00(B)(2)(b), a hillside addition which exceeds 500 feet in area requires review and approval by the Architectural Review Committee (ARC).

RECOMMENDATION:

That the Architectural Review Committee approve the application subject to the conditions attached to the draft resolution (Attachment 2).

PROPERTY OWNERSHIP:

The subject property is owned by an individual named Brandon Riker, a natural person.

BACKGROUND INFORMATION:

<i>Related Relevant City Actions</i>	
10/21/1985	Approval of an Architectural Review application for a 74-SF addition to the primary residence for a closet space (Case 3.930).

<i>Neighborhood Notice</i>	
08/03/2023	Notice mailed by staff to adjacent property owners notifying that the subject application had been filed with the Department of Planning Services, in accordance with 93.13.00 of the Zoning Code.
09/06/2023	Notice mailed by staff to adjacent property owners notifying that the subject project would be reviewed by the Architectural Review Committee on September 18, 2023.
09/14/2023	The surrounding neighborhood organizations within one (1) mile of the site were sent notice that the proposed project would be reviewed by the Architectural Review Committee on September 18, 2023.

PUBLIC COMMENTS:

In response to the application filing/project notification letters mailed to the owners of the adjacent properties on August 3, 2023, the Department of Planning Services received one (1) response letter, which is attached to this memorandum (Attachment 4). In the letter, a concern for potential noise issues associated with the use of the terrace was stated. Following the receipt of the letter, the applicant modified the development proposal to install a 5-foot-high stucco wall along the 3-foot-high terrace retaining wall as a sound barrier.

STAFF ANALYSIS:

<i>Site Area</i>	
Net Acre	0.58 Acre (25,264 SF)

<i>General Plan and Zoning Designations</i>		
<i>General Plan Designation</i>	<i>Permitted Density</i>	<i>Compliance</i>
(Estate Residential - ER)	1.16 DU/AC (0-2.0 DU/AC)	Y
<i>Zoning Designation</i>		
(Single-Family Residential – R-1-C)		

Development Standards:

Pursuant to PSZC Section 92.01.03, the following development standards apply:

<i>Table 1. Development Standards</i>			
<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks			
• Front (North)	25 Feet	>25 Feet	Y
• Side (West)	10 Feet	10 Feet*	Y*
		*Excludes architectural projection	*Excludes architectural projection
• Side (East)	10 Feet	>10 Feet	Y

<i>Table 1. Development Standards</i>			
<i>Standard</i>	<i>Required/ Allowed</i>	<i>Provided</i>	<i>Compliance</i>
•Rear (South)	15 Feet	18 Feet	Y
Architectural Projection (West Elevation – Roof Overhang)	40 Inches	11 Inches	Y
Max. Lot Coverage	35%	20.0%	Y
Max. Building Height	12 Feet	10.61 Feet	Y
Building Separation	10 Feet	>10 Feet	Y
Wall/Sound Barrier Height	Max. 6 Feet	5 Feet	Y
Parking	2 spaces (covered)	2 spaces	Y

ACCESSORY STRUCTURE:

The proposed detached accessory structure will not include a cooking facility; therefore, it is not defined as an Accessory Dwelling Unit (ADU). Accessory structures are permitted by right in the R-1-C Zone pursuant to Palm Springs Zoning Code Section 92.01.01(A)(2).

TERRACE:

The proposed terrace is located at the rear of the proposed accessory structure. The finished surface elevation of the terrace is 0.94 foot lower than the elevation measured at the top of the proposed accessory structure. There is no rooftop deck proposed for the accessory structure, and the roof of the accessory structure will be physically separated from the proposed terrace by a 42-inch-high wall. The proposed terrace is designed with a 3-foot-high retaining wall, a 19-inch-high firepit (gas), and a 19-inch-high bench against the retaining wall. The terrace is accessible via stairs which will be located along the east elevation of the proposed accessory structure. Pursuant to Palm Springs Zoning Code Section 93.01.00(F)(1), landscape architectural features including patios, open air grills, and similar features are allowed to project into the required yard setback areas.

SITE VISIT:

On September 12, 2023, staff conducted a site visit to confirm the site’s existing conditions. According to a property owner’s agent who was available at the time of the visit, the existing Mexican Fan Palm in the rear yard and hedges along the south and west property lines will be retained. Furthermore, staff was informed that the property owner is considering repainting the exterior of the primary residence. The specifics of the future exterior color alterations such as paint colors and the expected implementation time were not available. An architectural review is not required to modify the exterior colors of a hillside single-family residence pursuant to PSZC Sections 94.04.00 and 93.13.00.

Hillside Review Criteria:

PSZC Section 93.13.00(B)(4) requires that architectural review of hillside development shall consider the following criteria:

<i>Table 2. Hillside Review Criteria</i>		
	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
1.	<p><i>Rock and soil exposure;</i></p> <p>The project is proposed in the hillside portion of the property, which is approximately 25.6% in slope. Currently, the project area is landscaped sparsely with desert plant materials which include, but are not limited to, Mexican Fan Palm, Ocotillo, Agave, and Bougainvillea. The property was originally developed in 1980, and no peculiar natural geological features were observed that would require special consideration.</p>	Y
2.	<p><i>Size of building pad;</i></p> <p>The project proposes a 609-square-foot accessory structure on a 0.58-acre (25,2464.8 SF) lot. Including the proposed terrace, which is approximately 250 square feet in size, the total building pad area is expected to be approximately 0.3 % of the total lot area. Therefore, the size of the building pad is adequate for the project site.</p>	Y
3.	<p><i>Design considerations, such as supporting stilts, colors and building arrangement;</i></p> <p>The project proposes the implementation of a cut and fill technique to nest the accessory structure in the hillside area while creating a flat surface behind the structure for a terrace. The project will retain the appearance of a single-story construction, and the use of supporting stilts is not being proposed for this project. The location of the existing features such as the primary residence and pool limits a space for the proposed project to the southwest corner of the property. The use of supporting stilts is not proposed. The proposed color palette is desert neutral, and an additional analysis pertaining to the proposed colors is provided in item 5 of Table 3 (Architectural Review Criteria and Findings) below.</p>	Y
4.	<p><i>Screening of parking areas;</i></p> <p>The property is developed with an existing two-car garage. The site's off-street parking is conforming to the zoning code, and expansion or alteration to the existing garage is not required.</p>	Y
5.	<p><i>Landscaping plans;</i></p> <p>Design changes to the existing landscape are not being proposed as a part of this application; however, the project involves incidental removal of some of the existing desert plant materials. The project area landscape currently consists of plant materials that have not reached maturity, and the mature well-established materials such as Mexican Fan Palm and hedges will be retained.</p>	N/A

<i>Table 2. Hillside Review Criteria</i>		
	<i>Guidelines [PSZC 93.13.00(B)(4)(a)]</i>	<i>Compliance</i>
6.	<p><i>Continuity with surrounding development;</i></p> <p>An aerial view (Attachment 3) of the project site and its vicinity shows that the neighboring hillside properties to the west and east (1635 & 1675 Ridgemore Drive) are developed with detached accessory structures that are comparable to the size of the proposed 609-square-foot accessory structure (approximately 617 SF and 482 SF). The accessory structures on these neighboring properties are located at the corner of their rear yards, a similar installation location to the proposed accessory structure. Hence, the proposed development is compatible with the site's surrounding developments.</p>	Y
7.	<p><i>Sensitivity to existing view corridors.</i></p> <p>The proposed accessory structure is 10.61 feet in height, and it will be located against the hillside at the rear of the property. The project area slopes upward towards the rear property line by approximately 25.6%. The project area is adjacent to the existing mature hedges that extend along the rear (south) and side (west) property lines that are approximately 9 feet in height. Based on the submitted cross section (Sheet C3.1), the proposed accessory structure and terrace will be located approximately 7.39 feet and 8.33 feet lower than the top of the hedges, respectively. The height of all proposed development features will be lower than the height of the hedges; therefore, the proposed project will not affect the view corridors.</p>	Y

Architectural Review Criteria and Findings:
PSZC Section 94.04.00(E) requires the approval authority to evaluate the application and make findings for conformance to the following criteria:

<i>Table 3. Architectural Review Criteria and Findings</i>		
	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
1.	<p><i>The architectural treatment is consistent on all four sides of the proposed building(s), unless otherwise approved by the ARC;</i></p> <p>The proposed architectural style is contemporary. The project proposes simplistic architectural treatment, which is consistent on all elevations.</p>	Y
2.	<p><i>The design of accessory structures, such as carports, cabanas, and similar accessory structures, shall be consistent with the form, materials and colors of the principal building(s), unless otherwise approved by the ARC;</i></p>	Y

<i>Table 3. Architectural Review Criteria and Findings</i>		
	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The façade of the residence is characterized by a mix of different roof styles and a prominent horizontal profile created by fascia and decorative bands that are applied to the exterior of the building. The proposed accessory structure will incorporate a flat roof and a fascia to repeat the design elements found on the primary residence.	
3.	<i>The façade elements and fenestration are composed in a harmonious manner;</i> Glazing is proposed for the north/primary elevation only. Since the proposed exterior design lacks any decorative elements, the windows and sliding door will function as an architectural accent on the north elevation. The new windows and sliding door will be aligned towards the west end of the north elevation to provide a blank space on the east side of the glazing. The architectural treatment of the north elevation complements the simplistic architectural treatment of the west and east elevations.	Y
4.	<i>The proposed materials are consistent with the context of the site, adjacent buildings, and the desert environment;</i> The exterior of the proposed accessory structure will be finished in stucco, which matches the exterior treatment of the primary residence. Additionally, the project proposes the use of windows with dark anodized aluminum frames. Both stucco and anodized aluminum windows are common construction materials found in the local developments.	Y
5.	<i>The proposed color scheme is appropriate to the desert environment and consistent with the site context;</i> The project proposes the use of two paint colors: Total Recall (DEW312) and Serene Thought (DE6234) by Dunn-Edwards. Although the proposed paint colors for the accessory structure do not exactly match the colors found on the primary residence, they are desert neutral colors and compatible amongst each other. Being located near the southwest corner of the property in the back, the visibility of the accessory structure from the street will be limited.	Y
6.	<i>Shading devices and sun control elements, excluding landscape materials, are provided to address environmental conditions and solar orientation;</i> Glazing is proposed for the north elevation only under a roof overhang. The south elevation will function as a retaining wall for the terrace, and there will be no windows or doors proposed for the west elevation. Additionally, the east elevation will accommodate one door only. Solar control is not a concern due to the location and design of the accessory structure.	Y

<i>Table 3. Architectural Review Criteria and Findings</i>		
	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
7.	<i>The proposed landscape plan is consistent with the requirements of PSMC Chapter 8.60;</i> Alterations to the design of the existing landscape are not proposed as a part of this project.	N/A
8.	<i>The proposed landscape plan is consistent with all applicable zoning requirements, including any streetscape requirements, landscape buffer requirements, and screening requirements;</i> Alterations to the design of the existing landscape are not proposed as a part of this project.	N/A
9.	<i>The shading for pedestrian facilities on the subject site or abutting public right(s)-of-way is adequate;</i> The proposed accessory structure is detached and located in the rear yard of an existing single-family residential property. Due to the single-family residential use of the property, there is no defined path of travel from the primary residence to the accessory structure or vice versa.	N/A
10.	<i>The proposed lighting plan is consistent with the requirements of PSZC Section 93.21.00, and the proposed lighting will not materially impact adjacent properties;</i> The submitted plan set does not include any information relating to outdoor lighting fixture installation. Staff recommends a condition of approval which requires outdoor lighting fixture installation to be in conformance with the requirements of Palm Springs Zoning Code Section 93.21.00 (Outdoor Lighting Standards), should the property owner wish to do so as a part of this project. Outdoor lighting fixture installation shall be reviewed and approved via a Building Permit application. As conditioned, the proposed project meets this finding.	Yes, as conditioned.
11.	<i>Appropriateness of signage locations and dimensions relative to the building façade(s), or appropriateness of the site location for any freestanding signage, as may be warranted for the development type;</i> Signage installation is not proposed as a part of this project.	N/A
12.	<i>Screening is provided for mechanical equipment and service yards, so as to screen such facilities from view from public rights-of-way and abutting properties;</i>	Y

<i>Table 3. Architectural Review Criteria and Findings</i>		
	<i>Criteria and Findings [PSZC 94.04.00(E)]</i>	<i>Compliance</i>
	The project proposes the installation of a condenser and a water heater against the west elevation of the proposed accessory structure. The proposed accessory structure is located in the rear yard, and the new equipment will not be visible from the street. Additionally, the visibility of the equipment will be concealed from the adjacent property to the west because of the existing mature hedge on the west property line. There is no rooftop mechanical equipment, including solar panels, being proposed as a part of this application.	
13.	<i>The proposed application is consistent with any adopted design standards of an applicable specific plan, planned development district, or other applicable adopted design standards and regulations.</i>	Y
	The project site is located neither within a Specific Plan area nor a Planned Development District. The proposed project conforms to the applicable development standards, and the proposed design generally conforms to the hillside and architectural review criteria subject to the recommended conditions of approval as analyzed in this staff memorandum.	

ENVIRONMENTAL ANALYSIS:

The proposed development is considered a “project” pursuant to the terms of the California Environmental Quality Act (“CEQA”), and has been determined to be categorically exempt pursuant to Section 15303(e) of the CEQA Guidelines (Class 3, New Construction or Conversion of Small Structures).

CONCLUSION:

The proposed project generally conforms to the applicable development standards, hillside review criteria (PSZC Section 93.13.00.B.4.), and architectural review criteria (PSZC 94.04.00.E.). Although the applicant is not proposing intentional changes to the design of the existing landscape, the implementation of the proposed project will result in incidental landscape alterations such as the removal of the existing young desert landscape. However, the mature well-established plant materials such as Mexican Fan Palm and hedges along the side and rear property lines will be retained. The submitted plan set does not provide any information relating to outdoor lighting fixture installation. Therefore, staff recommends a condition of approval which requires outdoor lighting fixture installation to be conducted in accordance with the City’s Outdoor Lighting Standards should the property owner decide to install such equipment as a part of this project. Considering the fact that the proposed development plans are generally in conformance with the applicable regulations and standards, staff recommends that the ARC approve the proposed project subject to the conditions of approval included in the

attached draft resolution (Attachment 2).

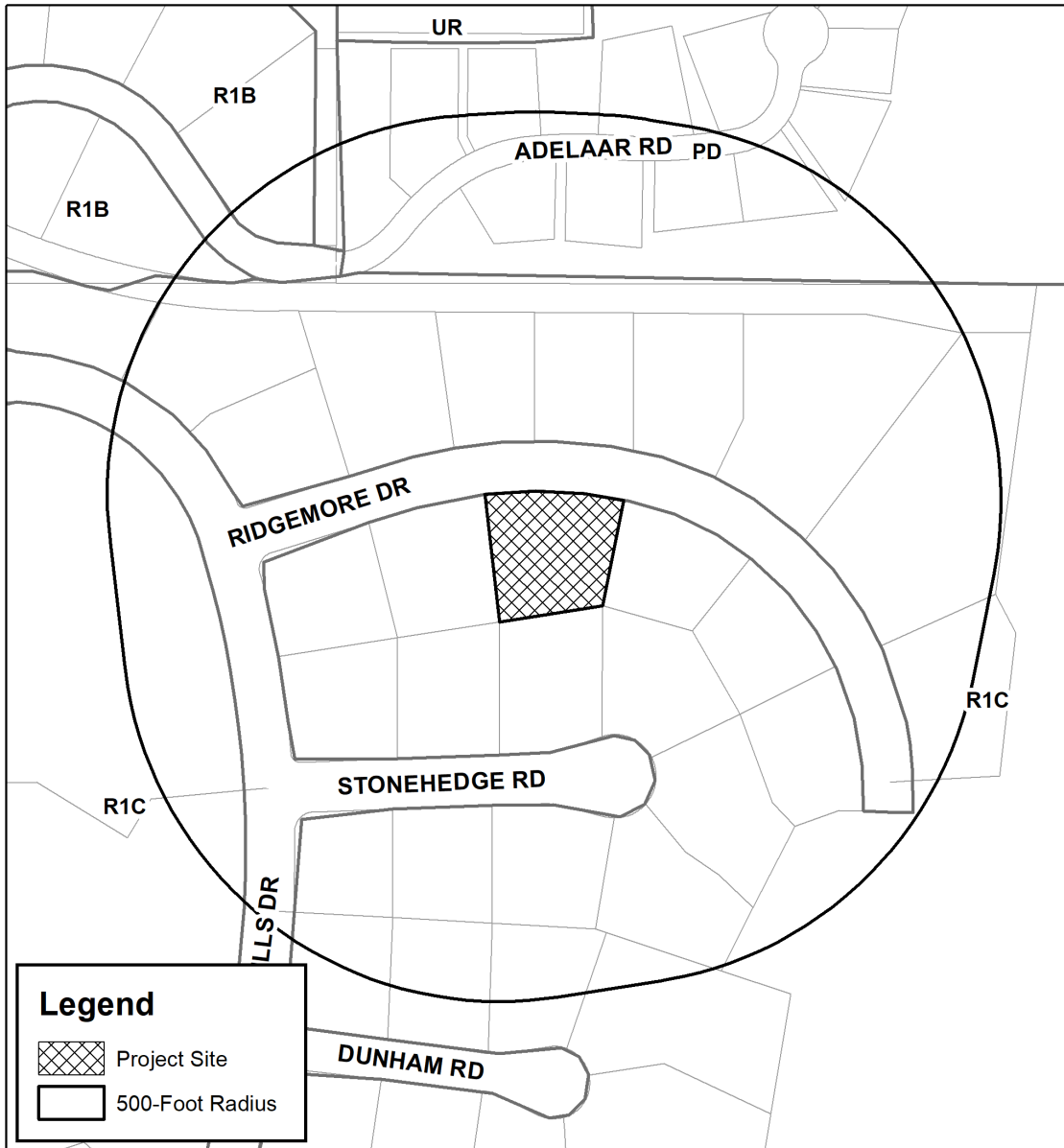
PREPARED BY:	Noriko Kikuchi, AICP, Associate Planner
REVIEWED BY:	Edward Robertson, Principal Planner
REVIEWED BY:	Christopher Hadwin, Director of Planning Services

ATTACHMENTS:

1. Vicinity Map
2. Resolution and Conditions of Approval
3. Aerial View
4. Public Comments
5. Plans and Exhibits



Department of Planning Services Vicinity Map



CITY OF PALM SPRINGS

Case AR-2023-0073
1655 Ridgemore Drive
(APN: 686-412-003)

RESOLUTION NO. _____

A RESOLUTION OF THE ARCHITECTURAL REVIEW COMMITTEE OF THE CITY OF PALM SPRINGS, CALIFORNIA, APPROVING A MINOR ARCHITECTURAL APPLICATION TO CONSTRUCT A 609-SQUARE-FOOT DETACHED ACCESSORY STRUCTURE AND A TERRACE AT AN EXISTING HILLSIDE SINGLE-FAMILY RESIDENTIAL PROPERTY LOCATED AT 1655 RIDGEMORE DRIVE (APN: 686-412-003), ZONE R-1-C, SECTION 1 (CASE AR-2023-0073).

THE ARCHITECTURAL REVIEW COMMITTEE FINDS AND DETERMINES AS FOLLOWS:

- A. Brandon Riker, Owner (“Applicant”), filed an application with the City, pursuant to Palm Springs Zoning Code (PSZC) Sections 94.04.00 (architectural review) and 93.13.00 (hillside development) for construction of a 609-square-foot detached accessory structure and a terrace at an existing hillside single-family residence located at 1655 Ridgemoore Drive (“the Project”).
- B. On September 6, 2023, City staff notified the owners of properties immediately adjacent to the Project site of the scheduling of an Architectural Review Committee meeting to consider the subject application, pursuant to PSZC 93.13.00 (B,1,c).
- C. On September 18, 2023, the City’s Architectural Review Committee held a public meeting in accordance with applicable public law. At said meeting, the Architectural Review Committee carefully reviewed and considered all of the evidence presented in connection with the Project, including, but not limited to, the staff report, and all written and oral testimony presented.

THE ARCHITECTURAL REVIEW COMMITTEE RESOLVES:

Section 1: The construction of the proposed detached accessory structure and terrace is considered a project pursuant to the California Environmental Quality Act (CEQA). The Architectural Review Committee has evaluated the Project pursuant to CEQA and determined it to be Categorically Exempt from further analysis under CEQA Guidelines Section 15303(a) (Class 3, New Construction or Conversion of Small Structures).

Section 2: As demonstrated in the staff report, the Project conforms to the Architectural Guidelines of PSZC Sections 93.13.00 (“hillside development”) and 94.04.00 (“architectural review”) as conditioned.

Section 3: Based upon the foregoing, the Architectural Review Committee hereby approves Case AR-2023-0073, for the construction of a 609-square-foot detached accessory structure and a terrace at an existing hillside single-family residence located at 1655 Ridgemoore Drive, subject to the conditions of approval attached herein as Exhibit A.

ADOPTED this 18th day of September 2023.

AYES:
NOES:
ABSENT:

ATTEST:

CITY OF PALM SPRINGS, CALIFORNIA

Christopher Hadwin
Director of Planning Services

RESOLUTION NO. _____

EXHIBIT A

Case AR-2023-0073

Riker Residence (Hillside Addition)

1655 Ridgemore Drive
(APN: 686-412-003)

September 18, 2023

CONDITIONS OF APPROVAL

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer, Planning Services Director, Building Official, the Chief of Police, the Fire Chief or their designee, depending on which department recommended the condition.

Any agreements, easements or covenants required to be entered into shall be in a form approved by the City Attorney.

ADMINISTRATIVE CONDITIONS

- ADM 1. Project Description. This approval is for the project described per Case AR-2023-0073 except as modified by the conditions below.
- ADM 2. Reference Documents. The site shall be developed and maintained in accordance with the approved plans, which include site plans, architectural elevations, exterior materials and colors, landscaping, and grading on file in the Department of Planning Services except as modified by the conditions below.
- ADM 3. Conform to all Codes and Regulations. The project shall conform to the conditions contained herein, all applicable regulations of the Palm Springs Zoning Ordinance, Municipal Code, and any other City County, State and Federal Codes, ordinances, resolutions and laws that may apply.
- ADM 4. Minor Deviations. The Director of Planning Services or designee may approve minor deviations to the project description and approved plans in accordance with the provisions of the Palm Springs Zoning Code.

ADM 5. Indemnification. The owner shall defend, indemnify, and hold harmless the City of Palm Springs, its agents, officers, and employees from any claim, action, or proceeding against the City of Palm Springs or its agents, officers or employees to attach, set aside, void or annul, an approval of the City of Palm Springs, its legislative body, advisory agencies, or administrative officers concerning Case AR-2023-0073. The City of Palm Springs will promptly notify the applicant of any such claim, action, or proceeding against the City of Palm Springs and the applicant will either undertake defense of the matter and pay the City's associated legal costs or will advance funds to pay for defense of the matter by the City Attorney. If the City of Palm Springs fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Palm Springs. Notwithstanding the foregoing, the City retains the right to settle or abandon the matter without the applicant's consent but should it do so, the City shall waive the indemnification herein, except, the City's decision to settle or abandon a matter following an adverse judgment or failure to appeal, shall not cause a waiver of the indemnification rights herein.

ADM 6. Time Limit on Approval. Approval of this Minor Architectural application shall be valid for a period of two (2) years from the effective date of the approval. Extensions of time may be granted by the Planning Commission upon demonstration of good cause.

PLANNING DEPARTMENT CONDITIONS

PLN 1. Pad Elevations. Final building pad elevations shall not vary more than 12 inches above or below the pad elevation established by the approved preliminary grading plan and / or tentative map. Any deviations from this provision shall require approval by the Planning Commission.

PLN 2. Outdoor Lighting Fixture Installation. Should the applicant decide to install outdoor lighting fixture as a part of this project, such an activity shall conform to the regulations of the City's Outdoor Lighting Standards (PSZC Section 93.21.00) subject to review and approval via a Building Permit application.

BUILDING & SAFETY DEPARTMENT CONDITIONS

The following standard Building & Safety conditions of approval are applicable to this Project:

BLDG 1. Prior to any construction on-site, all appropriate permits must be secured.

ENGINEERING DEPARTMENT CONDITIONS

APPLICATION FOR APPROVAL OF A CASITA ADDITION LOCATED AT 1655 RIDGEMORE DRIVE, (APN 686-412-003), SECTION 1, TOWNSHIP 5 S, RANGE 4 E, S.B.M., CASE NO. AR-2023-0073, ENG. FILE NO. 4811.

The Engineering Services Department recommends that if this application is approved, such approval is subject to the following conditions being completed in compliance with City standards and ordinances.

Before final acceptance of the project, all conditions listed below shall be completed to the satisfaction of the City Engineer.

All Grading Plans, Improvement Plans, Required Studies and Documents listed below, must be submitted to Engineering Services Department for review and approval.

STREETS

- ENG 1. Any improvements within the public right-of-way require a City of Palm Springs Encroachment Permit. All improvements are subject to inspection and a 48-hour inspection notification is required.
- ENG 2. A Road and Bridge Impact Fee of \$2,704 per single family residential unit; as well as a Fire Station Fee of \$469.00 per acre for single family residential units and \$1,875 per multi-family residential units shall be paid (or as may be adjusted annually) in accordance with Chapter 9.69.040 and 9.69.060 of the Palm Springs Municipal Code, shall be paid prior to issuance of a building permit.
- ENG 3. **Provide proposed finish floor elevations of all proposed structures, existing structures on site, and all adjacent off-site structures. Provide proposed on-site drainage flow designs. This information required prior to site plan approval.**

RIDGEMORE DRIVE

- ENG 4. All broken or off grade street improvements along the project frontage shall be repaired or replaced.

SANITARY SEWER

- ENG 5. All sanitary facilities shall be connected to the public sewer system. The existing sewer service to the property shall be used for new sanitary facilities. New laterals shall not be connected at manholes.

GRADING

- ENG 6. Submit a Precise Grading Plan prepared by a California licensed civil engineer to the Engineering Services Department for review and approval. If the overall project grading volumes are less than 50 cubic yards and the project does not involve a hillside lot as defined by City of Palm Springs Zoning Code 93.13.00, then the plan does not need to be prepared by a licensed professional unless determined otherwise by the City Engineer. The plan shall be approved by the City Engineer prior to grading permit issuance.

a. A Fugitive Dust Control Plan shall be prepared by the applicant and/or its grading contractor and submitted to the Engineering Services Department for review and approval. The applicant and/or its grading contractor shall be required to comply with Chapter 8.50 of the City of Palm Springs Municipal Code, and shall be required to utilize one or more "Coachella Valley Best Available Control Measures" as identified in the Coachella Valley Fugitive Dust Control Handbook for each fugitive dust source such that the applicable performance standards are met. The applicant's or its contractor's Fugitive Dust Control Plan shall be prepared by staff that has completed the South Coast Air Quality Management District (AQMD) Coachella Valley Fugitive Dust Control Class. The applicant and/or its grading contractor shall provide the Engineering Services Department with current and valid Certificate(s) of Completion from AQMD for staff that have completed the required training. For information on attending a Fugitive Dust Control Class and information on the Coachella Valley Fugitive Dust Control Handbook and related "PM10" Dust Control issues, please contact AQMD at (909) 396-3752, or at <http://www.AQMD.gov>. A Fugitive Dust Control Plan, in conformance with the Coachella Valley Fugitive Dust Control Handbook, shall be submitted to and approved by the Engineering Services Department prior to approval of the Grading plan.

b. The first submittal of the Grading Plan shall include the following information: a copy of final approved conformed copy of Conditions of Approval; a copy of a final approved conformed copy of the Site Plan; a copy of current Title Report; a copy of Soils Report.

- ENG 7. In accordance with an approved PM-10 Dust Control Plan, temporary dust control perimeter fencing shall be installed at the limits of grading and/or

disturbed areas. Fencing shall have screening that is tan in color; green screening will not be allowed. Temporary dust control perimeter fencing shall be installed after issuance of Grading Permit and immediately prior to commencement of grading operations.

- ENG 8. Temporary dust control perimeter fence screening shall be appropriately maintained, as required by the City Engineer. Cuts (vents) made into the perimeter fence screening shall not be allowed. Perimeter fencing shall be adequately anchored into the ground to resist wind loading.
- ENG 9. Within 10 days of ceasing all construction activity and when construction activities are not scheduled to occur for at least 30 days, the disturbed areas on-site shall be permanently stabilized, in accordance with Palm Springs Municipal Code Section 8.50.022. Following stabilization of all disturbed areas, perimeter fencing shall be removed, as required by the City Engineer.
- ENG 10. Drainage swales shall be provided adjacent to all curbs and sidewalks to keep nuisance water from entering the public streets, roadways, or gutters.
- ENG 11. In accordance with City of Palm Springs Municipal Code, Section 8.50.022 (h), the applicant shall post with the City a cash bond of eight hundred dollars (\$800) (if there is disturbance of 5,000 square feet or more) at the time of issuance of grading permit for mitigation measures for erosion/blowsand relating to this property and development.
- ENG 12. A Geotechnical/Soils Report prepared by a California registered Geotechnical Engineer shall be required for and incorporated as an integral part of the grading plan for the proposed development. A copy of the Geotechnical/Soils Report shall be submitted to the Engineering Services Department with the first submittal of a grading plan. (if required)
- ENG 13. The applicant shall provide all necessary geotechnical/soils inspections and testing in accordance with the Geotechnical/Soils Report prepared for the project. All backfill, compaction, and other earthwork shown on the approved grading plan shall be certified by a California registered geotechnical or civil engineer, certifying that all grading was performed in accordance with the Geotechnical/Soils Report prepared for the project. Documentation of all compaction and other soils testing are to be provided even though there may not be a grading plan for the project. Prior to issuance of Building Permits.
- ENG 14. The applicant shall provide Grading Certification for all building (or structure) pads in conformance with the approved grading plan to the Engineering Services Department for review and approval prior to issuance of Building Permits.

ENG 15. In cooperation with the California Agricultural Commissioner and the California Department of Food and Agriculture Red Imported Fire Ant Project, applicants for grading permits involving a grading plan and involving the export of soil will be required to present a clearance document from a Department of Food and Agriculture representative in the form of an approved "Notification of Intent To Move Soil From or Within Quarantined Areas of Orange, Riverside, and Los Angeles Counties" (Revised - RIFA Form CA-1) prior to approval of the Grading Plan (if required). The California Department of Food and Agriculture office is located at 6819 East Gage Avenue, Commerce, CA 90040 (Phone (760) 782-3271, (562) 505-6415), Sonia.Oran@cdfa.ca.gov.

DRAINAGE

ENG 16. All stormwater runoff across the property shall be accepted and conveyed in a manner acceptable to the City Engineer and released to an approved drainage system. Stormwater runoff may not be released directly to the adjacent streets without first intercepting and treating with approved Best Management Practices (BMPs).

ENG 17. The applicant shall accept and convey all stormwater runoff across the property and conduct the runoff to an approved drainage structure. On-site retention may be allowed on that portion of the property where historically, stormwater runoff is conveyed. All on-site grade slopes shall not be less than 0.5%. If onsite retention is utilized, retention basin calculations shall be provided to the City Engineer. **This information required prior to site plan approval.**

GENERAL

ENG 18. Any utility trenches or other excavations within existing asphalt concrete pavement of off-site streets required by the proposed development shall be backfilled and repaired in accordance with City of Palm Springs Standard Drawing No. 115.

ENG 19. All proposed utility lines shall be installed underground.

ENG 20. All existing utilities shall be shown on the improvement plans if required for the project. The existing and proposed service laterals shall be shown from the main line to the property line.

ENG 21. Upon approval of any improvement plan (if required) by the City Engineer, the improvement plan shall be provided to the City in digital format,

consisting of a DWG (AutoCAD drawing filetype) and PDF (Adobe Acrobat document filetype) formats. Variation of the type and format of the digital data to be submitted to the City may be authorized, upon prior approval by the City Engineer.

ENG 22. The original improvement plans prepared for the proposed development and approved by the City Engineer (if required) shall be documented with record drawing "as-built" information and returned to the Engineering Services Department prior to issuance of a final certificate of occupancy. Any modifications or changes to approved improvement plans shall be submitted to the City Engineer for approval prior to construction.

ENG 23. Nothing shall be constructed or planted in the corner cut-off area of any driveway which does or will exceed the height required to maintain an appropriate sight distance per City of Palm Springs Zoning Code Section 93.02.00, D.

ENG 24. All proposed trees within the public right-of-way and within 10 feet of the public sidewalk and/or curb shall have City approved deep root barriers installed in accordance with City of Palm Springs Standard Drawing No. 904.

TRAFFIC

ENG 25. All damaged, destroyed, or modified pavement legends, traffic control devices, signing, striping, and streetlights, associated with the proposed development shall be replaced as required by the City Engineer prior to issuance of a Certificate of Occupancy.

ENG 26. Construction signing, lighting and barricading shall be provided during all phases of construction as required by City Standards or as directed by the City Engineer. As a minimum, all construction signing, lighting and barricading shall be in accordance with Part 6 "Temporary Traffic Control" of the California Manual on Uniform Traffic Control Devices (CAMUTCD), dated November 7, 2014, or subsequent editions in force at the time of construction.

ENG 27. This property is subject to the Transportation Uniform Mitigation Fee which shall be paid prior to issuance of building permit.

FIRE DEPARTMENT CONDITIONS

FID 1. These Fire Department conditions may not provide all requirements. Owner/developer is responsible for all applicable state and locally adopted fire codes. Detailed plans are still required for review. Conditions are subject to final plan check and review.

FID 2. Fire Department Conditions were based on the 2022 California Fire Code as adopted by City of Palm Springs, Palm Springs Municipal Code, PSFD Appendix "T" Development Requirements. This building will require fire sprinklers.

FID 3. **Conditions of Approval** – "Conditions of Approval" received from the Palm Springs Planning Department must be submitted with each plan set. Failure to submit will result in a delay of plan approval.

FID 4. **Plans and Permits:**
Permits and scaled drawings are required for this project. Plan reviews can take up to 20 working days. Submit a minimum of three (3) sets of drawings for review. Upon approval, the Fire Prevention Bureau will retain one set. Plans shall be submitted to:

City of Palm Springs
Building and Safety Department
3200 E. Tahquitz Canyon Way
Palm Springs, CA 92262

Counter Hours: 8:00 AM – 6:00 PM, Monday – Thursday

A deposit for Plan Check and Inspection Fees is required at the time of Plan Submittal. These fees are established by Resolution of the Palm Springs City Council.

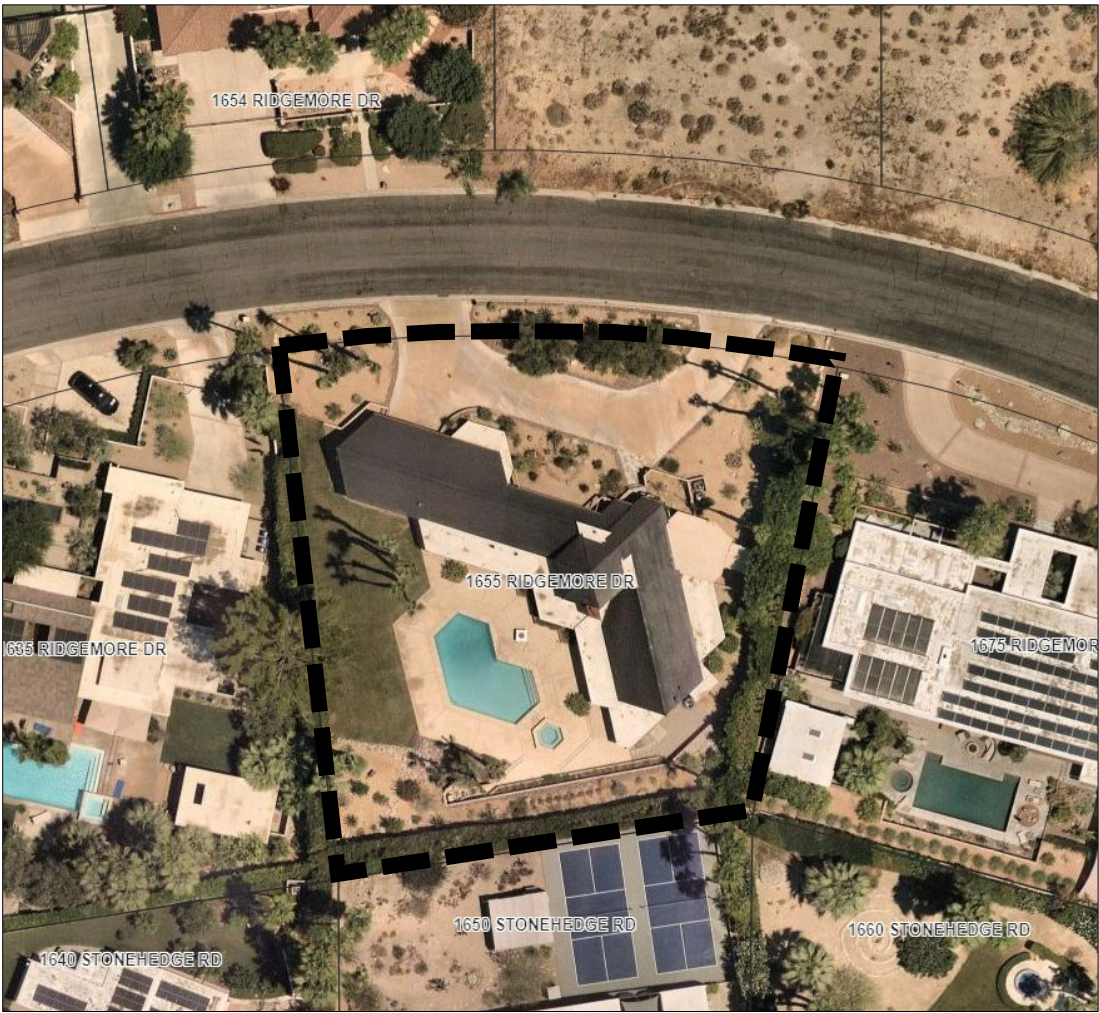
Complete listings and manufacturer's technical data sheets for all system materials shall be included with plan submittals. All system materials shall be UL listed or FM approved for fire protection service and approved by the Fire Prevention Bureau prior to installation.

Plans shall include all necessary engineering features, including all hydraulic reference nodes, pipe lengths and pipe diameters as required by the appropriate codes and standards. Plans and supporting data, (calculations and manufacturers technical data sheets) including fire flow data, shall be

submitted with each plan submittal. Complete and accurate legends for all symbols and abbreviations shall be provided on the plans.

- FID 5. **Access During Construction:** Access for firefighting equipment shall be provided to the immediate job site at the start of construction and maintained until all construction is complete. Fire apparatus access roads shall have an unobstructed width of not less than 24 feet and an unobstructed vertical clearance of not less than 13'-6". Fire Department access roads shall have an all-weather driving surface and support a minimum weight of 73,000 lbs.
- FID 6. **Required access:** Exterior doors and openings required by this code, or the California Building Code shall be maintained readily accessible for emergency access by the fire department. An approved access walkway leading from fire apparatus access roads to exterior openings shall be provided when required by the fire code official.
- FID 7. **Residential Smoke Alarms Required:** Shall be interconnected so that operation of any smoke alarm or fire sprinkler flow switch causes all smoke alarms within the dwelling & guest house to sound and activate the exterior horn/strobe.

END OF CONDITIONS



Aerial View

 Project Site

Noriko Kikuchi

From: Thomas Ford <tomford57@aol.com>
Sent: Friday, August 11, 2023 6:57 AM
To: Noriko Kikuchi
Subject: 665-SF hillside detached

NOTICE: This message originated outside of The City of Palm Springs -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.

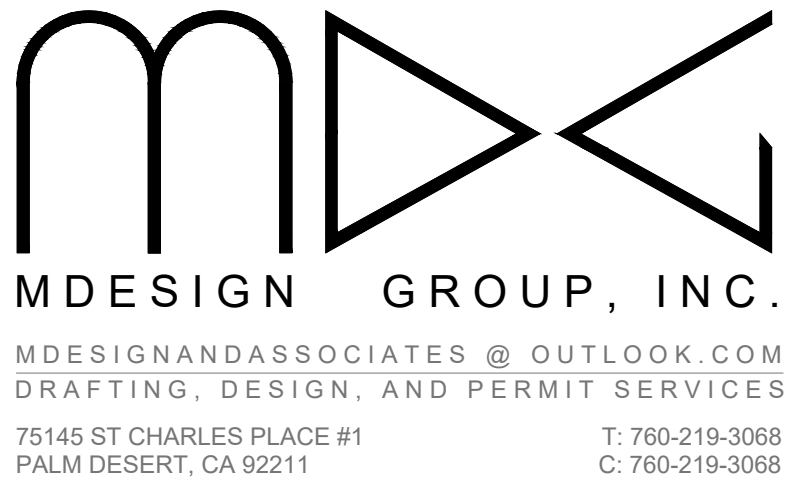
Case AR.2024-0073

This is too express my concern on the detached house that is being built on the hillside property line next to our home 1635 ridgemore dr

The home is fine , it is the raised fire pit patio at the rear of the building that will be positioned above our property that is a concern. Besides looking into our property by being 10 feet above our heads , the fire pit seating area on a concrete wall will amplify the noise to our property. Since this home is used as a rental property, I am corned about the noise that will come in our property, and if there will also be amplified sound.

[Sent from the all new AOL app for iOS](#)

NEW CASITA FOR RIKER RESIDENCE



RESIDENTIAL GENERAL NOTES

CONSTRUCTION NOTES

1. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND REMAIN THE PROPERTY OF MDESIGN GROUP, INC. THEY ARE NOT TO BE REPRODUCED OR ALTERED IN ANY WAY, NOR DISCLOSED OR ASSIGNED TO ANY THIRD PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION OF MDESIGN GROUP, INC.

2. THESE DOCUMENTS HAVE BEEN PREPARED TO SECURE A BUILDING PERMIT, ENABLE PRICING BY SUBCONTRACTORS, AND TO FACILITATE CONSTRUCTION; THEY ARE NOT TO BE CONSIDERED COMPLETE. THE QUALITY OF WORKMANSHIP THROUGHOUT SHALL BE FIRST CLASS AND ALL MATERIALS SHALL MEET OR EXCEED NORMAL INDUSTRY STANDARDS.

3. ALL WORK DESCRIBED BY THESE PLANS OR REQUIRED TO ADEQUATELY PERFORM THE WORK SHALL CONFORM TO ALL CURRENT CODES AND ORDINANCES WHICH HAVE JURISDICTION OVER THIS PROJECT.

4. IF A SEPARATE GEOTECHNICAL ENGINEERING INVESTIGATION HAS BEEN PERFORMED FOR THIS SITE, IT SHALL BE PART OF THE CONSTRUCTION DOCUMENTS.

5. A REGISTERED SOILS ENGINEER SHALL BE PRESENT DURING ALL BACKFILL AND COMPACTION AS REQUIRED PER LOCAL CODES.

6. REFER TO THE GRADING PLAN PREPARED BY THE CIVIL ENGINEER AND INCORPORATED INTO THESE DOCUMENTS FOR INFORMATION REGARDING ROOF AND SITE DRAINAGE.

7. WHERE DISCREPANCIES EXIST BETWEEN THE DESIGNERURAL DRAWINGS AND THE STRUCTURAL DRAWINGS, THE DESIGNER DRAWINGS WILL GOVERN IN MATTERS OF AESTHETIC DETAILS. THE STRUCTURAL DRAWINGS WILL GOVERN IN MATTERS OF STRUCTURAL INTEGRITY. FOR EXAMPLE, FOR A STAIR NOSING DETAIL OR SOFFIT FRAMING, THE DESIGNER DRAWINGS WOULD GOVERN. FOR REBAR INFORMATION OR A BEAM SIZE, THE STRUCTURAL DRAWINGS WOULD GOVERN.

8. THE MECHANICAL, ELECTRICAL, PLUMBING, FLOOR FINISH, AND REFLECTED CEILING SHEETS ARE TO BE USED BY THOSE CONTRACTORS ONLY. THE FLOOR PLAN LAYOUT SHOWN ON THE DESIGNER FLOOR PLAN HAS PRECEDENCE OVER THESE SHEETS.

9. DO NOT SCALE THE DRAWINGS. THE CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK. IF DISCREPANCIES ARISE, CONTACT THE DESIGNER IMMEDIATELY FOR RESOLUTION.

10. TEMPORARY SANITARY TOILET FACILITIES SHALL BE PROVIDED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

11. PROVIDE ULTRA-LOW FLOW PLUMBING FIXTURES AS REQUIRED BY THE CALIFORNIA PLUMBING CODE.

12. FLASH ALL EXTERIOR OPENINGS.

13. THE CONTRACTOR SHALL LEAVE THE PREMISES AND ALL AFFECTED AREAS CLEAN AND IN AN ORDERLY MANNER READY FOR MOVE-IN. THIS IS TO INCLUDE CLEANING OF ALL GLASS, METAL OR WOOD FRAMES AND CARPETS.

14. ALL FLOORS ARE TO BE LEVELED, FILLED, AND SWEEPED BROOM CLEAN BY THE CONTRACTOR.

15. TRASH AND DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED AND THE SITE SHALL BE MAINTAINED REASONABLY NEAT, CLEAN, AND HAZARD FREE DURING THIS PHASE OF THE WORK. BURNING OF TRASH OR DEBRIS SHALL NOT BE PERMITTED AT THE SITE.

16. ALL "OR EQUAL" SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY THE CITY BUILDING OFFICIAL PRIOR TO INSTALLATION OF THE ITEM.

17. PROVIDE FIRE BLOCKING AT ALL INTERSECTIONS BETWEEN CONCEALED WALL AND HORIZONTAL SPACES SUCH AS SOFFITS, ROOFS, OR CEILINGS WHETHER OR NOT SPECIFICALLY SHOWN.

18. FIXED APPLIANCES ARE TO BE SECURELY FASTENED IN PLACE PER CMC

19. THE ENGINEER OF RECORD OR SOIS ENGINEER SHALL CERTIFY THE PAD, FORMS, AND COMPACTION PRIOR TO FOUNDATION INSPECTION.

DESIGN

1. AN AUTOMATIC RESIDENTIAL NFPA 13D FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO FAMILY DWELLINGS. THIS INCLUDES CARPORTS WITH HABITABLE SPACE ABOVE AND ATTACHED GARAGES. (CRC) PROVIDE WRITTEN EVIDENCE OF RIVERSIDE COUNTY FIRE DEPARTMENT APPROVAL. CONTACT THE FIRE DEPARTMENT DIRECTLY @ (760) 346-1870 FOR REQUIRED APPLICATION, PLANS AND SPECIFICATIONS. (CRC)

2. EXCEPTION: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL NOT BE REQUIRED FOR ADDITIONS OR ALTERATIONS TO EXISTING BUILDING THAT ARE NOT ALREADY PROVIDED WITH AN AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM. FIRE SPRINKLERS ARE NOT REQUIRED FOR THIS PROJECT.

3. ALL FOAM PLASTIC INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450. (CRC)

4. WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. (CRC)

GLAZING NOTES

1. GLAZING IN DOORS AND ENCLOSURES FOR BATHTUBS AND SHOWERS HAVE A MINIMUM CATEGORY CLASSIFICATION OF II PER CRC STD.

2. ALL GLAZING SHALL HAVE A TEMPORARY LABEL ON THE PRODUCT CERTIFIED BY THE NFRC, SHOWING COMPLIANCE UNTIL THE FIELD INSPECTOR HAS INSPECTED IT.

3. ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED IN CRC STD. SHALL BE TEMPERED GLASS INCLUDING:
- SWINGING OR SLIDING DOORS
- GLAZING WITHIN 24" OF DOORS AND WITHIN 60" OF WALKING SURFACE
- GLAZING GREATER THEN 9 SQ. FT. WITHIN 18" VERTICALLY OR 36" HORIZONTALLY OF WALKING SURFACE WHOSE TOP EDGE IS HIGHER THEN 36" ABOVE FLOOR.

DOOR AND WINDOW NOTES

1. MANUFACTURED FENESTRATION PRODUCTS SHALL HAVE A LABEL WITH A CERTIFIED U-VALUE.

2. WINDOW AND DOOR LITES WITHIN 40" OF THE LOCKING DEVICE AND ANY GLAZING WITHIN 18 INCHES OF THE ADJACENT FLOOR SHALL BE 1/4 INCH TEMPERED GLASS, MINIMUM.

3. ALL WINDOW AND SLIDING GLASS DOOR OPENINGS ARE TO BE FIELD MEASURED PRIOR TO FABRICATION. THE DIMENSIONS SHOWN ARE TO BE USED AS A GUIDELINE.

FINISH NOTES

1. STONE TILE TO CARPET CONNECTIONS ARE TO BE UNDER DOOR WHEREVER A DOOR IS PRESENT.

2. CABINETS ARE NOT PART OF THESE DRAWINGS. REFER TO THE INTERIOR DESIGNER'S DRAWINGS FOR ADDITIONAL CABINET INFORMATION.

3. ANY FLOOR FINISH PATTERNS MAY BE REVISED BY THE INTERIOR DESIGNER. CONSULT WITH THE INTERIOR DESIGNER PRIOR TO PURCHASE OR INSTALLATION OF ANY FINISHES.

SECURITY NOTES

1. EXTERIOR DOORS, DOORS BETWEEN HOUSE AND GARAGE, WINDOWS AND THEIR HARDWARE SHALL CONFORM TO THE CALIFORNIA CODE OF REGULATIONS - TITLE 24, PART 2.5

2. EXTERIOR SINGLE SWINGING DOOR, AND THE ACTIVE LEAF OF A PAIR OF DOORS SHALL BE EQUIPPED WITH A LATCH AND A DEADBOLT KEY-OPERATED FROM THE OUTSIDE. DEADBOLT SHALL HAVE A HARDENED INSERT, 1" MINIMUM THROW AND 5/8" MINIMUM EMBEDMENT INTO JAMB. IF LATCH HAS A KEY LOCKING FEATURE IT SHALL BE A DEAD-LATCH TYPE.

3. DOOR HINGE PINS ACCESSIBLE FROM THE OUTSIDE SHALL BE NON-REMOVABLE.

4. WINDOW AND DOOR LITES WITHIN 40" OF THE LOCKING DEVICE AND ANY GLAZING WITHIN 18 INCHES OF THE ADJACENT FLOOR SHALL BE 1/4 INCH TEMPERED GLASS, MINIMUM.

5. ALL EXTERIOR DOORS, SLIDING GLASS DOORS AND OPERABLE WINDOWS SHALL BE WIRED FOR SECURITY. ALARM SHALL SOUND IF SEAL IS BROKEN. THE CONTRACTOR IS TO CONSULT WITH THE OWNER TO DETERMINE THE EXTENT OF THE SYSTEM BEYOND THIS MINIMUM REQUIREMENT.

ENERGY EFFICIENCY NOTES

1. THE BUILDING DESIGN MEETS THE REQUIREMENTS OF CALIFORNIA CODE OF REGULATIONS - TITLE 24, PART 6

2. INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE CONTRACTOR STATING THAT THE INSTALLATION CONFORMS TO THE REQUIREMENTS OF THE 2013 CALIFORNIA CODE OF REGULATIONS - TITLE 24, PART 2.5

3. THE FOLLOWING APPLIANCES, IF PROVIDED BY THE DEVELOPER, SHALL BE ENERGY STAR RATED:
- DISHWASHERS - REFRIGERATORS
- CLOTHES WASHERS - CLOTHES DRYERS (NATURAL GAS ONLY)
- CEILING FANS - EXHAUST FANS

4. CONTRACTOR TO SUBMIT A COMPLETED CF-2R-LTG-01-E INSTALLATION CERTIFICATE DEMONSTRATING AT LEAST 50 PERCENT OF THE TOTAL KITCHEN WATTAGE IS FROM HIGH EFFICIENCY LUMINARIES AT FINAL BUILDING INSPECTION.

5. ALL HERS RATERS ARE CONSIDERED "SPECIAL INSPECTORS" AND MUST FIRST REPORT TO THE CITY, DEPARTMENT OF BUILDING AND SAFETY PRIOR TO WORKING ON THE PROJECT SITE. IN ADDITION, THE CERTIFICATE OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF-2R FORM) SHALL BE COMPLETED BY THE HERS RATER WHEN FIELD VERIFICATION AND/OR DIAGNOSTIC TESTING IS REQUIRED.

6. THE MAXIMUM FLOW RATE FOR LAVATORY FAUCETS AND KITCHEN FAUCETS REFER TO CALGREEN.

7. AFTER JULY 1 2014, ALL NEWLY CONSTRUCTED BUILDINGS THAT INCLUDE HERS VERIFICATION THE CF-1R, CF-2R AND CF-3R MUST BE REGISTERED WITH A HERS PROVIDER.

8. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A LIST OF THE HEATING, COOLING, WATER HEATING, LIGHTING SYSTEMS, AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.

9. A MAINTENANCE LABEL SHALL BE AFFIXED TO ALL EQUIPMENT REQUIRING PREVENTIVE MAINTENANCE, AND A COPY OF THE MAINTENANCE INSTRUCTIONS SHALL BE PROVIDED FOR THE OWNER'S USE.

10. ALL INSULATING MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL.

11. ALL INSULATION SHALL HAVE THE REQUIRED "R" VALUES INDICATED ON THE DRAWINGS AND SHALL CONFORM TO FEDERAL SPECIFICATIONS HH-1-521 & HH-1-1030A. UNLESS OTHERWISE NOTED, ROOF INSULATION SHALL BE R38, FRAME WALL INSULATION SHALL BE R21, AND RAISED FLOOR INSULATION SHALL BE R38.

12. DOORS AND WINDOWS BETWEEN CONDITIONED AND OUTSIDE OR UNCONDITIONED SPACES (SUCH AS GARAGES OR COMPARTMENTS OBTAINING COMBUSTION AIR FROM OUTSIDE FOR CENTRAL AIR GAS FURNACES) SHALL BE FULLY WEATHER-STRIPPED.

13. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED IN COMPLIANCE WITH THE APPROPRIATE STANDARDS LISTED IN 2013 CALIFORNIA CODE OF REGULATIONS - TITLE 24, PART 6 SECTION 110.6

14. FAN SYSTEMS EXHAUSTING AIR FROM THE BUILDING SHALL BE PROVIDED WITH BACK-DRAFT DAMPERS.

15. DUCTS SHALL BE CONSTRUCTED, INSTALLED AND INSULATED (R4.2 MIN.) ACCORDING TO THE UNIFORM MECHANICAL CODE. SEE TITLE 24 CALCULATIONS FOR REQUIRED INSULATION.

16. THE DUCT SYSTEM SHALL BE TIGHTLY SEALED WITH MASTIC OR TAPE.

17. THERMOSTATICALLY CONTROLLED HEATING OR COOLING SYSTEMS (EXCEPT ELECTRIC HEAT PUMPS) SHALL HAVE AN AUTOMATIC THERMOSTAT WITH A CLOCK MECHANISM WHICH THE OWNER CAN MANUALLY PROGRAM TO AUTOMATICALLY SET BACK THE THERMOSTAT SET POINTS FOR AT LEAST 2 PERIODS WITHIN 24 HOURS.

18. PROVIDE GASKETS AT ALL DUPLEX J-BOX OUTLETS AT EXTERIOR WALLS.

19. ALL APPLIANCES MUST BE ENERGY STAR LABELED.

ELECTRICAL NOTES

1. BOND GROUNDING ELECTRODE TO METAL GAS AND WATER PIPING, POINT OF ATTACHMENT OF THE BONDING JUMPER(S) SHALL BE ACCESSIBLE. (CEC)

2. INTERSYSTEM BONDING TERMINATION IS REQUIRED TO BE PROVIDED EXTERNALLY TO ENCLOSURES. (CEC)

3. ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES IN ALL AREAS SPECIFIED IN THE CALIFORNIA ELECTRICAL CODE SECTION 210.52. (CEC)

4. PROVIDE AT LEAST TWO 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS TO SERVE ALL WALL, FLOOR, AND COUNTERTOP RECEPTACLES IN KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREA. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC)

5. PROVIDE AT LEAST ONE 20-AMPERE BRANCH CIRCUIT TO SERVE BATHROOM RECEPTACLES. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC)

6. BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER. (CEC)

7. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP (CRC)

8. SMOKE ALARMS SHALL BE INTERCONNECTED SO THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. (CRC)

9. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL POWER SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. (CRC)

10. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED SO THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. (CRC)

11. PROVIDE PRE WIRING FOR A SECURITY SYSTEM FOR ALL EXTERIOR DOORS AND OPERABLE WINDOWS IN THE BUILDING WITH CONTROL PANEL LOCATIONS AS INSTRUCTED BY THE OWNER.

12. THE CONTRACTOR IS TO CONSULT WITH THE OWNER ON THE EXACT MODEL AND LOCATION OF ALL COMPONENTS OF A SECURITY SYSTEM OTHER THAN THE PREPARATION WORK NOTED ABOVE IF DESIRED BY THE OWNER.

13. THE ELECTRICAL CONTRACTOR IS TO INSTALL SWITCHES IN THE ORDER SHOWN ON THE DRAWINGS.

14. REFER TO THE REFLECTED CEILING PLAN FOR EXACT LIGHTING LOCATIONS.

15. FOR THE PURPOSES OF BIDDING, LIGHT FIXTURES ARE OWNER FURNISHED AND CONTRACTOR INSTALLED. BID TO INCLUDE COST OF INSTALLING OWNER'S LIGHT FIXTURE.

16. ALL CURRENT CARRYING CONDUCTORS SHALL BE COPPER.

17. 110V SMOKE DETECTORS ARE TO HAVE A BATTERY BACK-UP PER CODE

18. OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTIVE RATED WALLS, PARTITIONS, FLOORS, OR CEILINGS SHALL BE FIRE-STOPPED USING APPROVED METHODS TO MAINTAIN THE FIRE RESISTIVE RATING.

PLUMBING NOTES

1. WHERE ROOF DRAINS ARE REQUIRED, OVERFLOW HAVING THE SAME SIZE AS THE ROOF DRAIN SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED 2" ABOVE THE LOW OF THE ROOF. OVERFLOW DRAINS SHALL BE INDEPENDENT OF ROOF DRAINS. ALL ROOF DRAINS SHALL BE EQUIPPED WITH STRAINERS EXTENDING NOT LESS THAN 4" ABOVE THE IMMEDIATE SURFACE.

2. EFFECTIVE JANUARY 1, 2010, NO PERSON SHALL USE ANY PIPE, PIPE OR PLUMBING FITTING OR FIXTURE, SOLDER, OR FLUX THAT IS NOT LEAD FREE IN THE INSTALLATION OR REPAIR OF ANY PUBLIC WATER SYSTEM OR ANY PLUMBING IN A FACILITY PROVIDING WATER FOR HUMAN CONSUMPTION, EXCEPT WHEN NECESSARY FOR THE REPAIR OF LEADED JOINTS OF CAST IRON PIPES. (HEALTH & SAFETY CODE 116875)

3. PROVIDE PRESSURE REGULATOR FOR WATER SERVICE WHERE STATIC PRESSURE EXCEEDS 80 PSI. (CPC)

RESIDENTIAL GREEN BUILDING - MANDATORY MEASURES

1. SEE CAL GREEN TITLE SHEET FOR ALL APPLICABLE NOTES

MISCELLANEOUS ITEM

1. PROVIDE ONE COPY EACH OF THE SITE PLAN AND FLOOR PLAN FOR THE COUNTY ASSESSOR'S OFFICE. WHILE NOT REQUIRED FOR RESUBMITTAL, THIS ADMINISTRATIVE ITEM MUST BE ADDRESSED PRIOR TO ISSUANCE OF BUILDING PERMIT.

2. CONTRACTOR AND/OR OWNER TO PROVIDE PROOF OF PAYMENT OF SCHOOL FEES. WHILE NOT REQUIRED FOR RESUBMITTAL, THIS ADMINISTRATIVE ITEM MUST BE ADDRESSED PRIOR TO ISSUANCE OF BUILDING PERMIT.

3. VERIFICATION OF SQUARE FOOTAGE DOCUMENT ATTACHED.

4. PROVIDE LETTER OF APPROVAL FROM HOMEOWNERS ASSOCIATION, IF THE PROJECT FALLS WITHIN A HOMEOWNERS ASSOCIATION JURISDICTION.

PROJECT DATA

PROPERTY OWNER:
RIKER
1655 RIDGEMORE DRIVE
PALM SPRINGS, CA 92264

PROJECT ADDRESS
1655 RIDGEMORE DRIVE
PALM SPRINGS, CA 92264
APN: 686-412-003-8

LOT DESCRIPTION
LOT / PARCEL: 15
RECORDED BOOK / PAGE: MB 63/94
SUBDIVISION NAME: TR 3600

PROJECT AREAS
LOT SIZE: .58 AC 25,264.00 S.F.
EXISTING LIVING AREA: 3,930.00 S.F.
EXISTING GARAGE: 527.00 S.F.
PROPOSED CASITA: 609.00 S.F.

LOT COVERAGE: 20%

BUILDING DATA:
ZONING: R1C
OCCUPANCY TYPE: R3/U
CONSTRUCTION TYPE: VB
FIRE SPRINKLERS: NO
YEAR BUILT: 1980
NO. OF STORIES: 1

SCOPE OF WORK

PROPOSED 609 SF CASITA
PROPOSED 5' HIGH SCREEN WALL
PROPOSED ROOF TERRACE AT CASITA

THIS APPROVAL APPLIES ONLY TO THE ACTUAL WORK WITHIN THE PROPOSED SCOPE. IT DOES NOT INCLUDE THE LEGALIZATION OF ANY AREAS OF THE DWELLING THAT MAY HAVE BEEN PREVIOUSLY ADDED AND / OR ALTERED WITHOUT PERMIT.

PROJECT TYPE NEW CASITA

OWNER
RIKER
ADDRESS
1655 RIDGEMORE DRIVE
PALM SPRINGS, CA 92264

DESIGNER

ALL DRAWING ARE THE PROPERTY OF MDESIGN GROUP INC., AND ARE ONLY TO BE USED AS AN INSTRUMENT OF SERVICE. THESE DRAWINGS SHALL NOT BE REPRODUCED OR MODIFIED IN ANY WAY WITHOUT THE WRITTEN CONSENT FROM MDESIGN GROUP INC. SUBMISSION OF THESE DRAWINGS TO ANY THIRD PARTY DOES NOT RELEASE IN ANY WAY THE COPYRIGHT AND OWNERSHIP OF DRAWINGS PROVISIONS LISTED HEREIN.

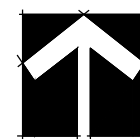
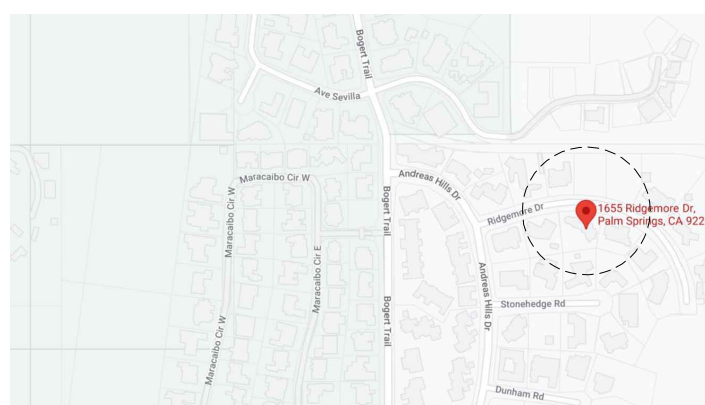
REVISIONS
NO. DESCRIPTION DATE

PROJECT # 222108
DATE 09/11/2023
STATUS 1ST SUBMITTAL

SHEET NAME TITLE SHEET / SITE PLAN

A1.10

VICINITY MAP



CONSTRUCTION HOURS

WEEKDAYS: 7AM TO 7PM
SATURDAY: 8AM TO 5PM
SUNDAYS AND HOLIDAYS*: NOT PERMITTED

*THANKSGIVING DAY, CHRISTMAS, NEW YEARS DAY, JULY 4TH, LABOR DAY, AND MEMORIAL DAY

PROJECT CONSULTANTS

DESIGNER

MDESIGN GROUP, INC.
74991 JONI DRIVE, STE 9
PALM DESERT, CA 92260
TEL: 760-219-3068
EMAIL: MDESIGNANDASSOCIATES@OUTLOOK.COM

STRUCTURAL

ELEVATED DESIGN AND CONSULTING
TEL: 562-412-8599
EMAIL: FABIAN.EDNC@GMAIL.COM

TITLE 24

SCOTT DESIGN AND TITLE 24, INC.
74-818 VELIE WAY, STE 8
PALM DESERT, CA 92260
TEL: 760-200-4780
EMAIL: JSCOTT464@YAHOO.COM

MECHANICAL

MDESIGN GROUP, INC.
74991 JONI DRIVE, STE 9
PALM DESERT, CA 92260
TEL: 760-219-3068
EMAIL: MDESIGNANDASSOCIATES@OUTLOOK.COM

ELECTRICAL

MDESIGN GROUP, INC.
74991 JONI DRIVE, STE 9
PALM DESERT, CA 92260
TEL: 760-219-3068
EMAIL: MDESIGNANDASSOCIATES@OUTLOOK.COM

PLUMBING

MDESIGN GROUP, INC.
74991 JONI DRIVE, STE 9
PALM DESERT, CA 92260
TEL: 760-219-3068
EMAIL: MDESIGNANDASSOCIATES@OUTLOOK.COM

CITY OF PALM SPRINGS

DEPARTMENT OF CODE COMPLIANCE:

ALL CONTRACTORS AND SUBCONTRACTORS SHALL HAVE A CURRENT BUSINESS LICENSE PRIOR TO PERMIT ISSUANCE PER MUNICIPAL CODE, TITLE 5. ALL CONTRACTORS AND/OR OWNER-BUILDERS MUST SUBMIT CERTIFICATE OF WORKER'S COMPENSATION INSURANCE COVERAGE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT PER CALIFORNIA LABOR CODE, SECTION 1800. GENERAL CONTRACTORS AND/OR OWNER-BUILDERS SHALL COMPLETE AND SUBMIT A CONTRACTOR'S LIST FROM THE DEPARTMENT OF CODE COMPLIANCE PRIOR TO REQUEST FOR FINAL INSPECTION.

DEPARTMENT OF BUILDING AND SAFETY :

APPROVED TEMPORARY SANITARY FACILITIES (I.E. CHEMICAL TOILETS) SHALL BE IN THE CONSTRUCTION SITE PRIOR TO REQUEST FOR FIRST INSPECTION). HEALTH AND SAFETY CODE SECTION 5406. CONTRACTOR AND/OR OWNER SHALL PROVIDE A TRASH BIN TO INSURE PROPER CLEAN-UP OF ALL BUILDING MATERIALS. STORAGE OF BUILDING MATERIALS OR DEBRIS SHALL BE CONFINED TO THE LOT FOR WHICH THE PERMIT IS ISSUED. ADJACENT VACANT PROPERTIES MAY NOT BE UTILIZED FOR THIS PURPOSE UNLESS WRITTEN PERMISSION OF THE OWNER IS ON FILE WITH THIS OFFICE. THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED IN A CLEAR CONDITION AT ALL TIMES.

PROJECT IS APPROVED UNDER

2019 CALIFORNIA BUILDING CODE CBC
2019 CALIFORNIA RESIDENTIAL CODE CRC
2019 CALIFORNIA MECHANICAL CODE CMC
2019 CALIFORNIA PLUMBING CODE CPC
2019 CALIFORNIA ELECTRICAL CODE CEC
2019 CALIFORNIA FIRE CODE CFC
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE CALGREEN
2019 CALIFORNIA ENERGY CODE CEC

TITLE 24, PART 2, CALIFORNIA ADMINISTRATIVE CODE HANDICAP COMPLIANCE REGULATIONS AND ALL OTHER LOCAL CODES, ORDINANCES AND STATE AMENDMENTS.

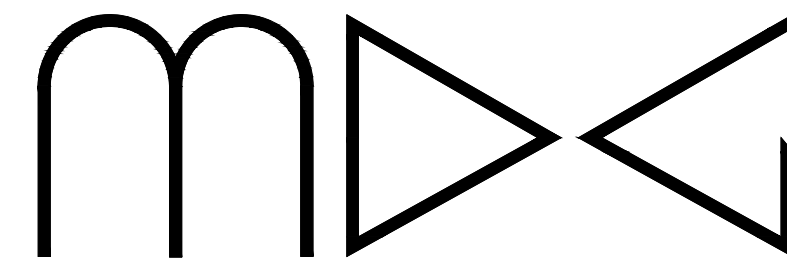
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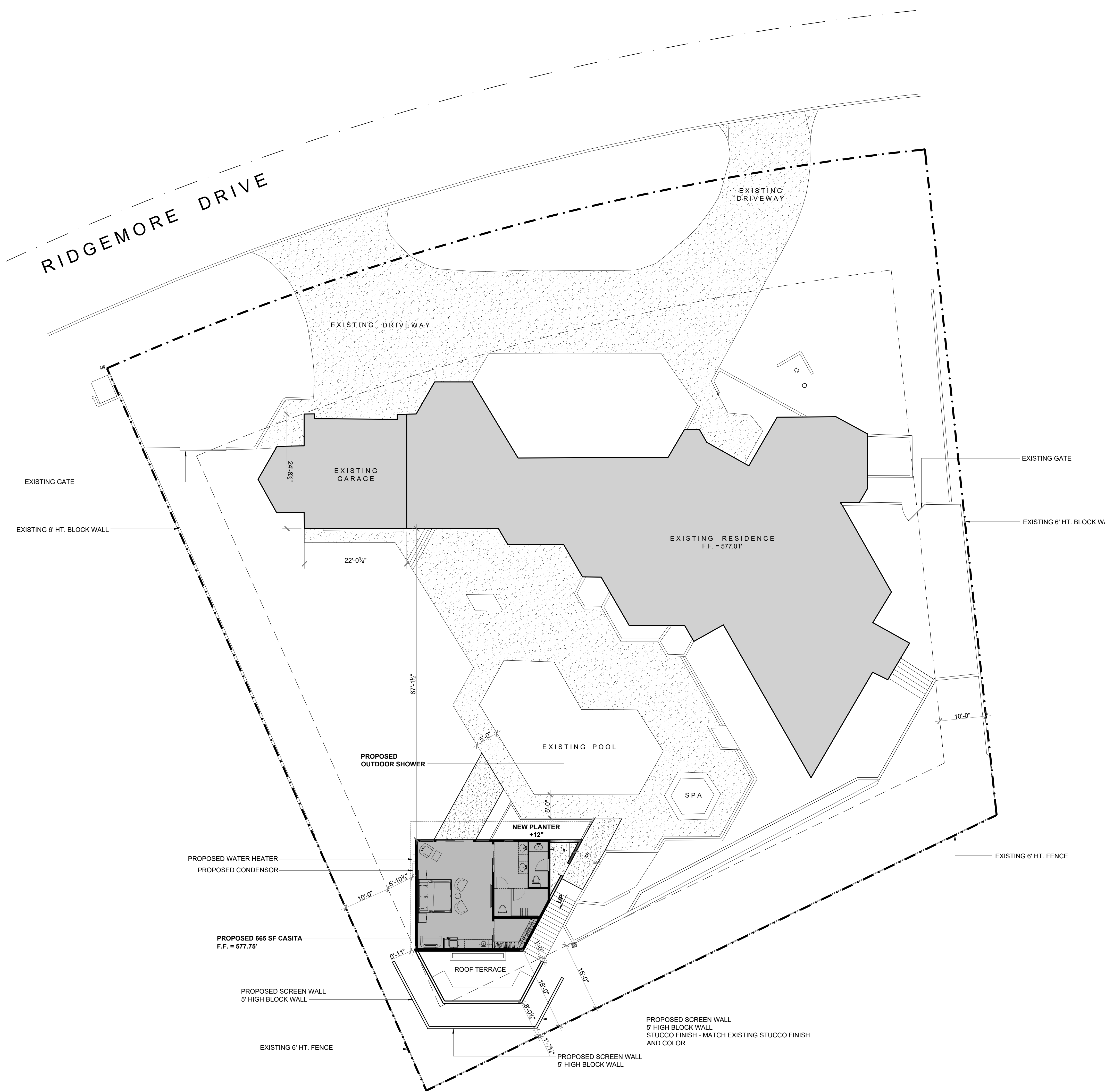
POOL ENCLOSURE NOTES

1. ANY ACCESS GATES THROUGH THE ENCLOSURE OPEN AWAY FROM THE SWIMMING POOL AND ARE SELF-CLOSING WITH A SELF LATCHING DEVICE PLACED NO LOWER THAN 60" ABOVE THE GROUND.
2. A MINIMUM HEIGHT OF 60".
3. MAXIMUM VERTICAL CLEARANCE FROM THE GROUND TO THE BOTTOM OF THE ENCLOSURE OF 2".
4. GAPS OR VOIDS, IF ANY, DO NOT ALLOW PASSAGE OF A SPHERE EQUAL TO OR GREATER THAN 4" IN DIAMETER.
5. AN OUTSIDE SURFACE FREE OF PROTRUSIONS, CAVITIES, OR OTHER PHYSICAL CHARACTERISTICS THAT WOULD SERVE AS HANDHOLDS OR FOOTHOLDS THAT COULD ENABLE A CHILD BELOW THE AGE OF FIVE YEARS TO CLIMB OVER.

6. IN ALL CASES, OWNERS/OCCUPANTS ARE RESPONSIBLE FOR MAINTAINING ALL REQUIRED ENCLOSURES/BARRIERS AND SAFETY ELEMENTS.
7. THE TOP OF THE BARRIER SHALL BE AT LEAST 60 INCHES ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. ANY GATES OTHER THAN PEDESTRIAN ACCESS GATES SHALL BE EQUIPPED WITH LOCKABLE HARDWARE OR PADLOCKS AND SHALL REMAIN LOCKED AT ALL TIMES WHEN NOT IN USE.

IN ADDITION TO PART A ABOVE, AT LEAST ONE ADDITIONAL DROWNING PREVENTION FEATURE OF THE SIX LISTED BELOW SHALL BE INCORPORATED. NOTE, HOWEVER, THAT WHERE A WALL OF A GROUP R, DIVISION 3 OCCUPANCY (INCLUDING ATTACHED GARAGE) SERVES AS PART OF THE BARRIER, ITEMS 3 OR 4 SHALL BE REQUIRED AS PART OF THE BARRIER.

1. THE POOL SHALL INCORPORATE REMOVABLE MESH POOL FENCING ENCLOSURE THAT MEETS ASTM F2286 IN CONJUNCTION WITH A GATE THAT IS SELF-CLOSING AND SELF-LATCHING AND CAN ACCOMMODATE A KEY LOCKABLE DEVICE.
2. THE POOL SHALL BE EQUIPPED WITH AN APPROVED SAFETY POOL COVER MEETING ASTM F1346-91.
3. THE RESIDENCE SHALL BE EQUIPPED WITH EXIT ALARMS ON THOSE DOORS PROVIDING DIRECT ACCESS TO THE POOL OR SPA. THE EXIT ALARMS MAY CAUSE EITHER AN ALARM NOISE OR A VERBAL WARNING, SUCH AS A REPEATING NOTIFICATION THAT "THE DOOR TO THE POOL IS OPEN."
4. ALL DOORS PROVIDING DIRECT ACCESS FROM THE HOME TO THE SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54" ABOVE THE FLOOR.
5. AN ALARM THAT, WHEN PLACED IN A POOL OR SPA, WILL SOUND UPON DETECTION OF ACCIDENTAL OR UNAUTHORIZED ENTRANCE INTO THE WATER. THE ALARM SHALL MEET AND BE INDEPENDENTLY CERTIFIED TO THE ASTM STANDARD F2208.
6. OTHER MEANS OF PROTECTION, IF THE DEGREE OF PROTECTION AFFORDED IS EQUAL TO OR GREATER THAN THAT AFFORDED BY ANY OF THE FEATURES SET FORTH ABOVE AND HAS BEEN INDEPENDENTLY VERIFIED BY AN APPROVED TESTING LABORATORY AS MEETING STANDARDS FOR THOSE FEATURES ESTABLISHED BY THE ASTM OR THE AMERICAN SOCIETY OF TESTING MECHANICAL ENGINEERS (ASME).



PROJECT TYPE NEW CASITA

OWNER
RIKER
ADDRESS
1655 RIDGEMORE DRIVE
PALM SPRINGS, CA 92264

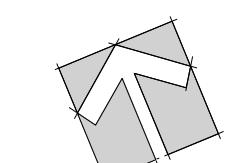
DESIGNER
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NO.	DESCRIPTION	DATE

PROJECT # 222108
DATE 09/11/2023
STATUS 1ST SUBMITTAL

SHEET NAME SITE PLAN

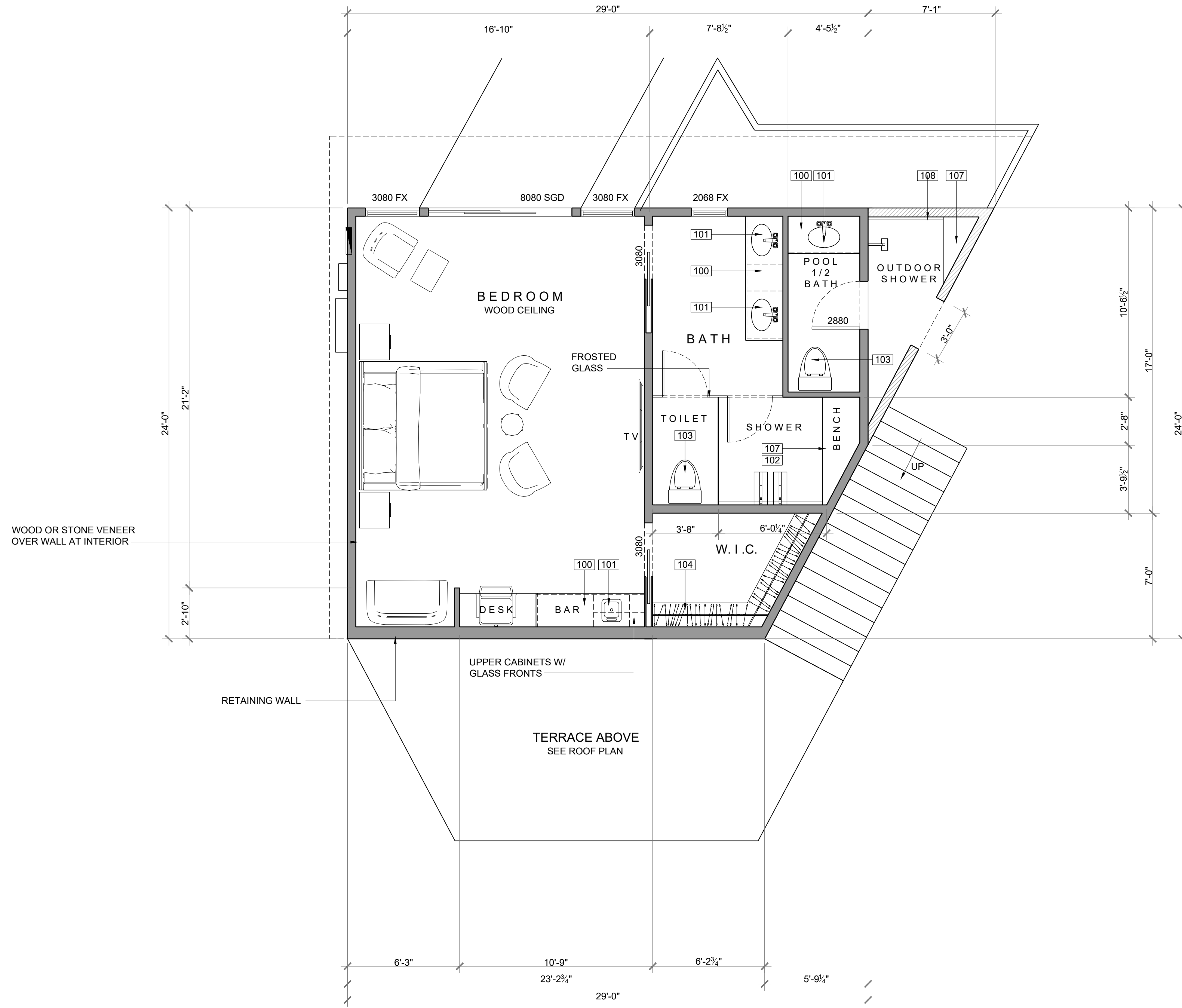


SITE PLAN SCALE 3/32" = 1'-0" 1

A1.11

KEYNOTES

- [100] NEW CABINETS WITH COUNTERTOP - FINISH AND MATERIAL TO BE SELECTED BY OWNER
- [101] NEW SINK AND FAUCET
- [102] NEW SHOWER WITH DEPRESSED STALL
- A. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. CRC R307.2
- B. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.
- C. SHOWER DOOR TO BE 22" MINIMUM. SHOWER DOOR SHALL OPEN SO AS TO MAINTAIN A 22" MINIMUM UNOBSTRUCTED OPENING FOR EGRESS PER CPC 408.5.
- D. SHOWER STALL TO BE 1024 SQUARE INCHES MINIMUM AND CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE. CPC 408.6.
- E. SHOWER AND TUB-SHOWER COMBINATIONS SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. CPC 408.3.
- F. PROVIDE CEMENTITIOUS BACKING BOARD OR SIMILAR AT SHOWER ENCLOSURE.
- G. SHOWERS ARE REQUIRED TO HAVE A MINIMUM 2" CURB PER CPC 408.5
- [103] NEW TOILET - TO BE SELECTED BY OWNER. SIDE CLEARANCES - 15" FROM THE CENTERLINE OF THE WATER CLOSET TO THE WALLS OR OTHER OBSTRUCTIONS. CPC 402.5. FRONT CLEARANCES - 24" IN FRONT OF THE WATER CLOSET. CPC 402.5
- [104] NEW SHELF AND POLE
- [105] NEW INSTANTANEOUS WATER HEATER
- [106] NEW SUBPANEL
- [107] NEW BENCH - 17"-19" HIGH
- [108] NEW LINEAR DRAIN



PROJECT TYPE NEW CASITA

OWNER
RIKER
 ADDRESS
 1655 RIDGEMORE DRIVE
 PALM SPRINGS, CA 92264

DESIGNER

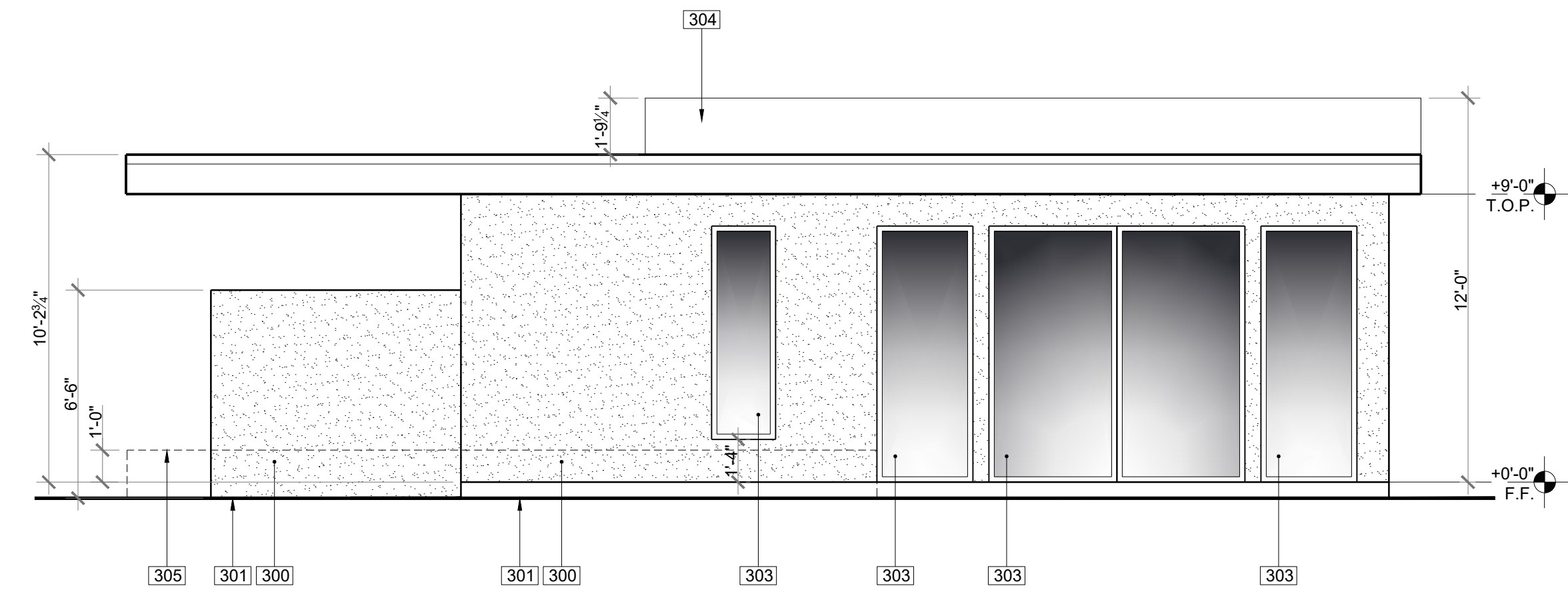
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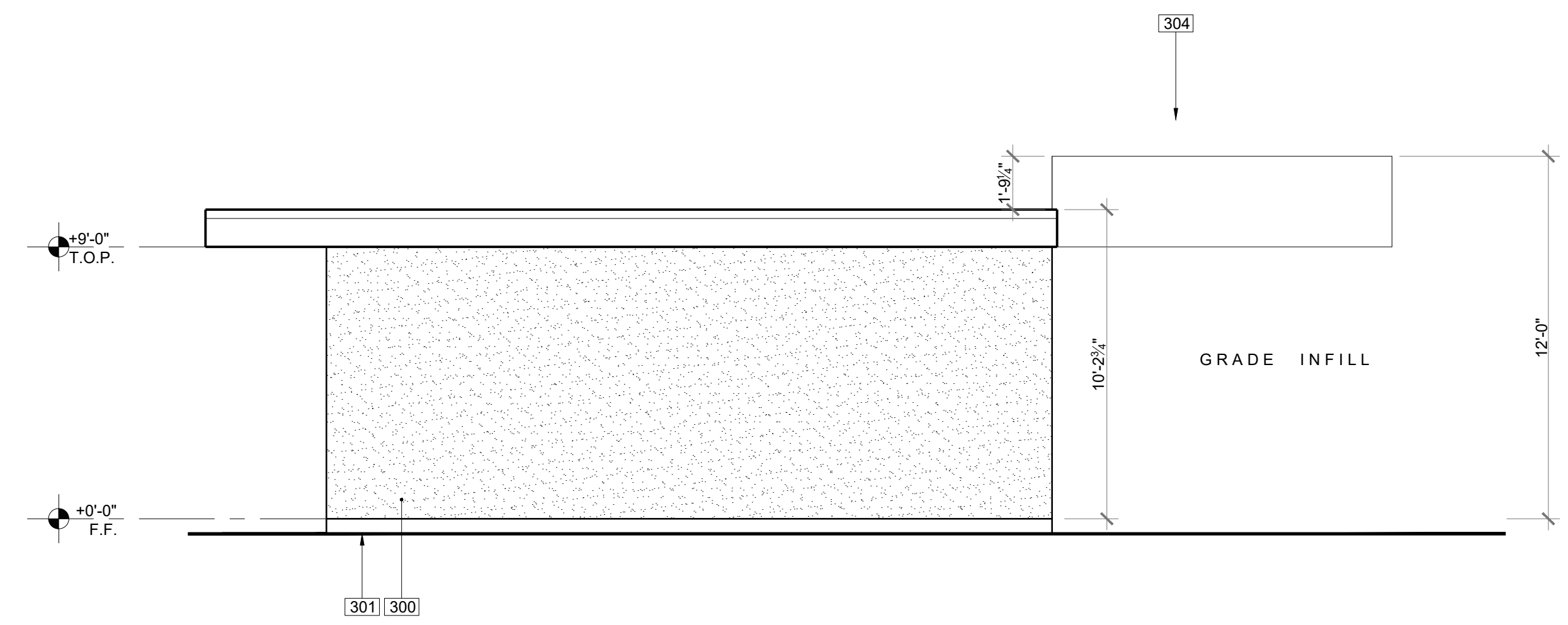
PROJECT #	222108
DATE	09/11/2023
STATUS	1ST SUBMITTAL
SHEET NAME	NEW FLOOR PLAN

KEYNOTES

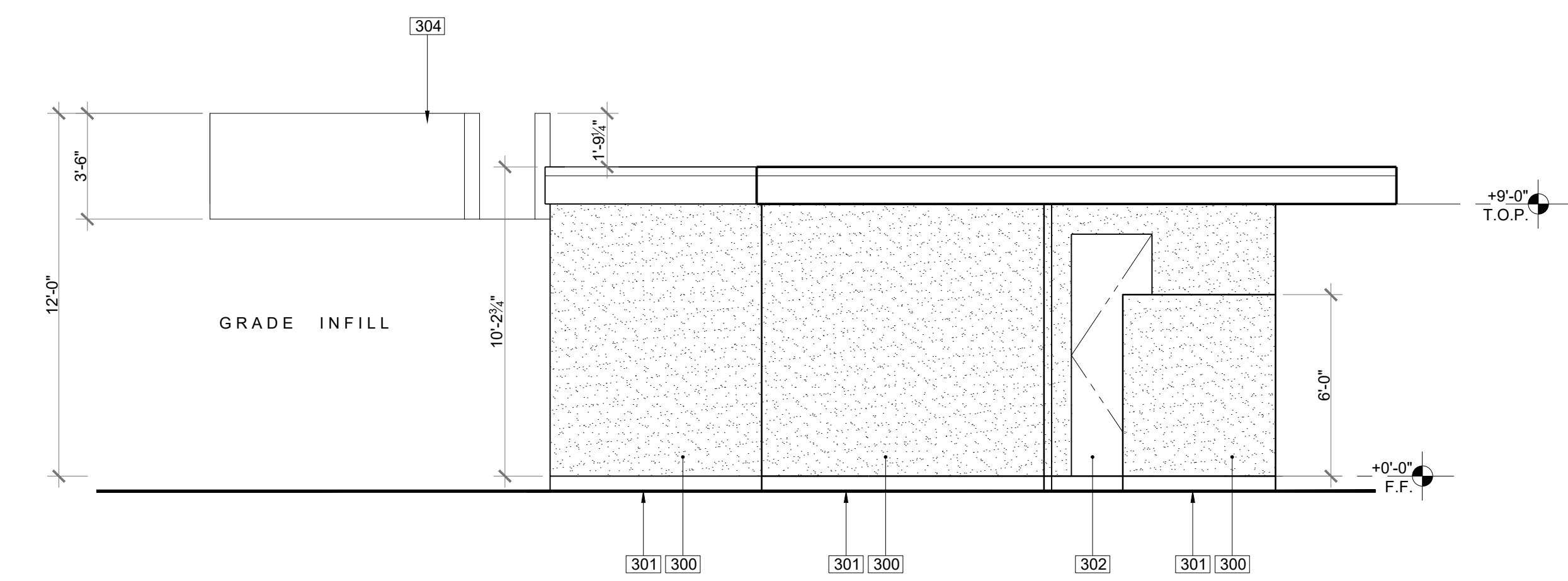
- [300] NEW 7/8" (3) COAT STUCCO WITH FLAT ELASTOMERIC COATING OVER METAL LATH WITH 2 LAYERS OF GRADE D PAPER. CRC R703.7.2 & R703.7.3. MATCH EXISTING
- [301] NEW 26 GA. MIN. CORROSION RESISTANT WEEP SCREED PLACED 6" ABOVE FINISHED GRADE
- [302] NEW DOOR - SEE DOOR SCHEDULE
- [303] NEW WINDOW - SEE WINDOW SCHEDULE
- [304] NEW DECK WALL
- [305] NEW PLANTER WALL



(NORTH) FRONT ELEVATION SCALE 1/4" = 1'-0" 1



(WEST) RIGHT ELEVATION SCALE 1/4" = 1'-0" 2



(EAST) LEFT ELEVATION SCALE 1/4" = 1'-0" 3

PROJECT TYPE NEW CASITA

OWNER
RIKER
 ADDRESS
 1655 RIDGEMORE DRIVE
 PALM SPRINGS, CA 92264

DESIGNER

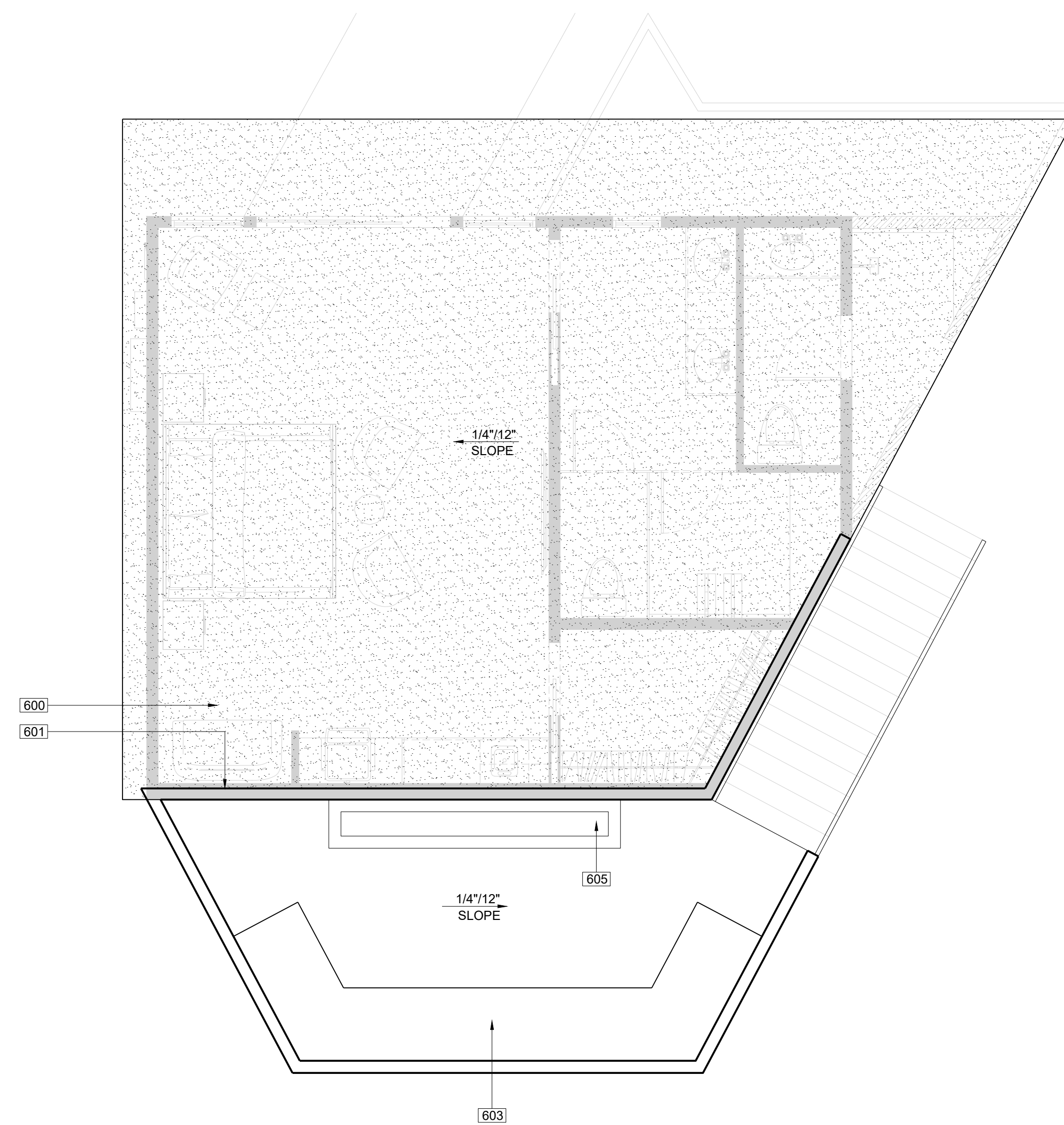
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REVISIONS	NO.	DESCRIPTION	DATE

PROJECT # 222108
 DATE 08/18/2023
 STATUS 1ST SUBMITTAL
 SHEET NAME ELEVATIONS

KEYNOTES

- [600] NEW FOAM ROOF
- [601] NEW PARAPET, +/- 8" HIGH
- [602] NEW PLYWOOD CRICKET
- [603] NEW BENCH - 17"-19" HIGH
- [604] NEW PLANTER
- [605] NEW FIREPIT - +17"-19" HIGH



ROOF PLAN NOTES

1. WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. TO ACCOMMODATE THE THICKNESS OF INSULATION PLUS THE REQUIRED 1" CLEARANCE. SECTION R806.3.
2. NOTE ON THE PLANS: "ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH 1/16" MINIMUM TO 1/2" MAXIMUM OPENINGS. SECTION R806.1.

PROJECT TYPE NEW CASITA

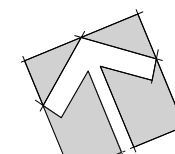
OWNER
RIKER
 ADDRESS
**1655 RIDGEMORE DRIVE
 PALM SPRINGS, CA 92264**

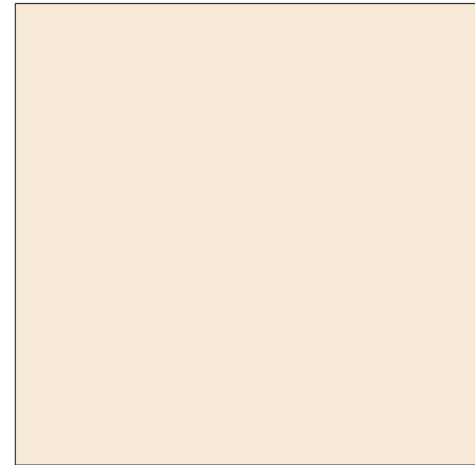
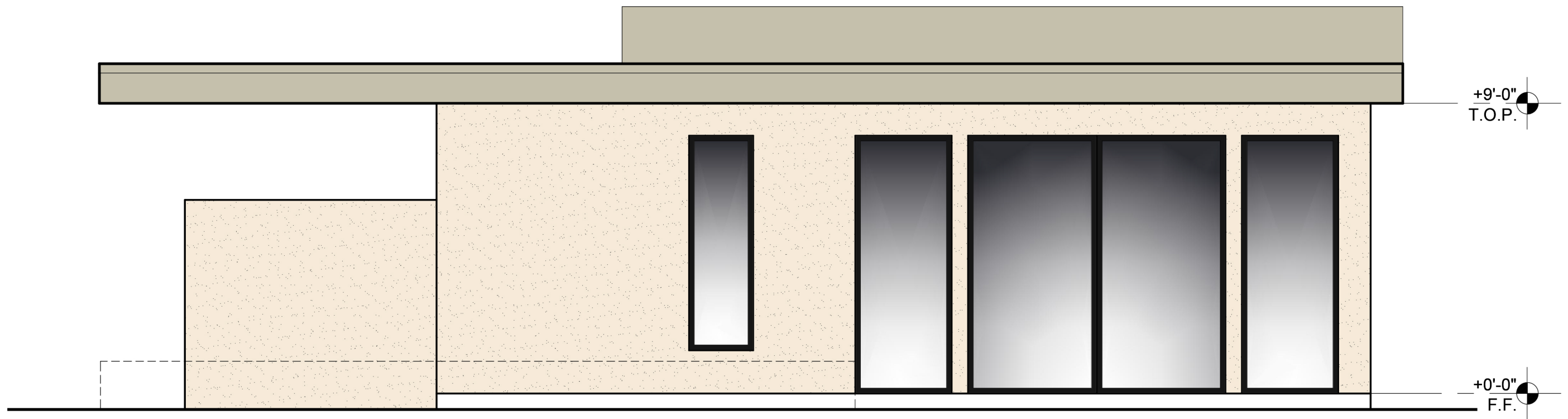
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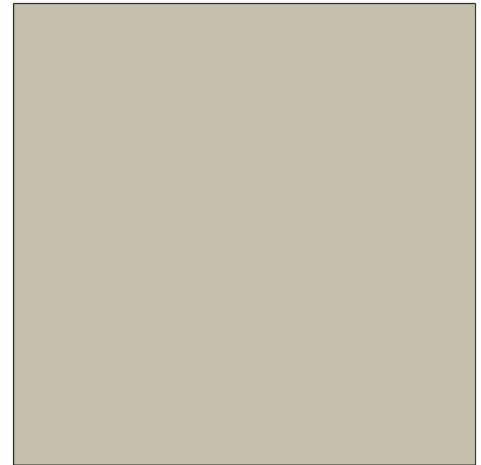
NO.	DESCRIPTION	DATE

PROJECT # 222108
 DATE 08/18/2023
 STATUS 1ST SUBMITTAL
 SHEET NAME NEW ROOF PLAN

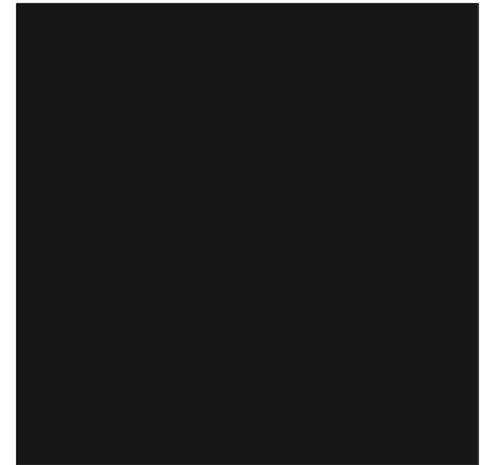




P01
 TOTAL RECALL
 DEW312
 DUNN EDWARDS



P02
 SERENE THOUGHT
 DE6234
 DUNN EDWARDS



P03
 DARK ANODIZED ALUMINUM

GRADING GENERAL NOTES

- ALL GRADING AND CONSTRUCTION SHALL CONFORM TO THE 2014 CALIFORNIA BUILDING CODES AND THE STATE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
- ANY MODIFICATIONS OF OR CHANGES TO APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
- ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH CITY MUNICIPAL CODE THAT REGULATES THE HOURS OF OPERATION OF THE USE OF CONSTRUCTION AND GRADING EQUIPMENT.
- CALIFORNIA PUBLIC RESOURCES CODE (SECTION 50971.98) AND HEALTH AND SAFETY CODE (SECTION 1050.03) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETERY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE, OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING MEASURES HAVE BEEN TAKEN:
 - THE COUNTY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED, AND
 - IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS FROM THE DECEASED NATIVE AMERICANS HAVE MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE BUILDING OFFICIAL OR A LEGAL DUMPSITE. RECEIPTS FOR THE ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSITE MAY BE REQUIRED.
- A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
- NO GRADING OR CONSTRUCTION SHALL OCCUR WITHIN THE PROTECTED ZONE OF ANY OAK TREE. THE PROTECTED ZONE SHALL MEAN THAT AREA WITHIN THE DRIP LINE OF AN OAK TREE EXTENDING THERE FROM A POINT AT LEAST FIVE FEET OUTSIDE THE DRIP LINE, OR 15 FEET FROM THE TRUNK(S) OF A TREE, WHICHEVER IS GREATER.
- A PREVENTIVE PROGRAM TO PROTECT THE SLOPES FROM POTENTIAL DAMAGE FROM BURROWING RODENTS IS REQUIRED. OWNER IS TO INSPECT SLOPES PERIODICALLY FOR EVIDENCE OF BURROWING RODENTS AND AT FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTERMINATOR FOR THEIR REMOVAL.
- IF GRADING AUTHORIZED BY THIS PLAN IS TO EXTEND THROUGH THE RAINY SEASON, NOVEMBER 1 THROUGH APRIL 15 OF THE FOLLOWING YEAR, SEPARATE UPDATED PLANS FOR EROSION CONTROL MUST BE SUBMITTED PRIOR TO OCTOBER.

DRAINAGE NOTES

- ROOF DRAINAGE MUST BE DIVERTED FROM GRADED SLOPES.
- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- IF CONSTRUCTION AND GRADING WITHIN A STORM DRAIN EASEMENT ARE TO BE DONE, ALL WORK IS TO BE DONE PER PRIVATE DRAIN PD NO _____ OR MISCELLANEOUS TRANSFER DRAIN MTD NO _____.
- ALL STORM DRAIN WORK IS TO BE DONE UNDER CONTINUOUS INSPECTION BY THE FIELD ENGINEER.

GEOTECHNICAL NOTES

THE GEOTECHNICAL REPORT AND ADDENDUMS ARE CONSIDERED PART OF THE PLANS AND SHOULD BE KEPT AT THE JOBSITE AT ALL TIMES.

LIST OF REPORTS & ADDENDUMS
PRELIMINARY SOILS AND GEOTECHNICAL ENGINEERING REPORT

FILL NOTES

- ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
 - 45 PERCENT OF MAXIMUM DRY DENSITY
THE RELATIVE COMPACTION SHALL BE DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D1557-91 WHERE APPLICABLE; WHERE NOT APPLICABLE, A TEST ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE USED.
 - FIELD DENSITY SHALL BE DETERMINED BY A METHOD ACCEPTABLE TO THE BUILDING OFFICIAL. HOWEVER, NOT LESS THAN 10% OF THE REQUIRED DENSITY TEST, UNIFORMLY DISTRIBUTED, AND SHALL BE OBTAINED BY THE SAND CONE METHOD.
 - SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
 - ONE TEST FOR EACH TWO-FOOT VERTICAL LIFT.
 - ONE TEST FOR EACH 1000 CUBIC YARDS OF MATERIAL PLACED.
 - ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
 - ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
- SUFFICIENT TESTS OF FILL SOILS SHALL BE MADE TO VERIFY THAT THE SOIL PROPERTIES COMPLY WITH THE DESIGN REQUIREMENTS, AS DETERMINED BY THE SOIL ENGINEER INCLUDING SOIL TYPES, SHEAR STRENGTH PARAMETERS AND CORRESPONDING UNIT WEIGHTS IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:
 - PRIOR AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPE OF SOIL OR SOIL MIXTURE TO BE USED FOR ALL FILL SLOPES STEEPER THAN THREE (3) HORIZONTAL TO ONE VERTICAL.
 - SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE SLOPE STABILITY REQUIREMENTS. OTHERWISE THE SLOPE MUST BE REEVALUATED USING THE ACTUAL SHEAR TEST VALUE OF THE FILL MATERIAL THAT IS IN PLACE.
 - FILL SOILS SHALL BE FREE OF DELETERIOUS MATERIALS.
- FILL SHALL NOT BE PLANTED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS, AND INSTALLATION OF SUBDRAIN (IF ANY) HAVE BEEN INSPECTED AND APPROVED BY THE SOIL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE A "STANDARD TEST METHOD FOR MOISTURE, ASH, ORGANIC MATTER, PEAT OR OTHER ORGANIC SOILS" ASTM D-2974-87 ON ANY SUSPECT MATERIAL. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. SOIL CONTAINING SMALL AMOUNTS OF ROOTS MAY BE ALLOWED PROVIDED THAT THE ROOTS ARE IN A QUANTITY AND DISTRIBUTED IN A MANNER THAT WILL NOT BE DETRIMENTAL TO THE FUTURE USE OF THE SITE AND THE SOILS ENGINEER APPROVES THE USE OF SUCH MATERIAL.
- ROCK OR SIMILAR MATERIAL GREATER THAN 6 INCHES IN DIAMETER SHALL NOT BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENTS HAVE BEEN SUBMITTED BY THE SOIL ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL. LOCATION, EXTENT, AND ELEVATION OR ROCK DISPOSAL AREAS MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
- CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILLS HAVE A DEPTH GREATER THAN 30 FEET OR SLOPE SURFACE STEEPER THAN 2:1.
- FILL SLOPES IN EXCESS OF 2:1 STEEPNESS RATIO ARE TO BE CONSTRUCTED BY THE PLACEMENT OF SOIL AT SUFFICIENT DISTANCE BEYOND THE PROPOSED FINISH SLOPE TO ALLOW COMPACTION EQUIPMENT TO BE OPERATED AT THE OUTER LIMITS OF THE FINAL SLOPE SURFACE. THE EXCESS FILLS TO BE REMOVED PRIOR TO COMPLETION OF ROUGH GRADING. OTHER CONSTRUCTION PROCEDURES MAY BE USED WHEN IT IS DEMONSTRATED TO THE SATISFACTION OF THE BUILDING OFFICIAL THAT THE ANGLE OF SLOPE, CONSTRUCTION METHOD AND OTHER FACTS WILL HAVE EQUIVALENT EFFECT.

NOTICE TO CONTRACTOR

- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF EXCAVATION TO ARRANGE FOR FIELD LOCATIONS OF UTILITY LINES. CALL 1-800-422-4199 FOR THIS SERVICE. ANY UTILITY NOT SUBSCRIBING TO THIS SERVICE SHALL BE CONTACTED DIRECTLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHETHER ALL UTILITIES HAVE BEEN NOTIFIED.
- THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT OF WAY.
- ALL CONSTRUCTION ACTIVITIES WITHIN CITY RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN PUBLIC WORKS ASSOCIATION STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE CITY OF LOS ANGELES "BROWN BOOK".
- ALL TRAFFIC CONTROL, BARRICADING, AND CONSTRUCTION SIGNING SHALL BE IN CONFORMANCE WITH THE WORK AREA TRAFFIC CONTROL HANDBOOK (WATCH), DETOUR SIGNS SHALL BE POSTED ON WOOD OR METAL POSTS. SIGNS SHALL NOT BE POSTED ON ANY TREE OR TRAFFIC SIGN.
- NO WATER SHALL BE TAKEN FROM FIRE HYDRANTS WITHOUT APPROVAL FROM THE JURISDICTIONAL WATER AGENCY.
- DUST SHALL BE CONTROLLED BY SWEEPING AND WATERING.
- ALL NONSTORMWATER DISCHARGES FROM THE CONSTRUCTION PHASE ACTIVITIES AT THE PROJECT (I.E. MIXING AND CLEANING OF CONSTRUCTION MATERIALS, CONCRETE AND PLASTER WASHOUT, DISPOSAL, OF PAINTS, ADHESIVES, SOLVENTS, AND LANDSCAPE PRODUCTS) SHALL BE PROHIBITED FROM ENTERING THE PUBLIC STORM DRAINAGE SYSTEM (INCLUDING MUNICIPAL STREETS, CATCH BASINS, CURBS, GUTTERS, DITCHES, MAN-MADE CHANNELS OR UNDERGROUND STORM DRAINS).

STORMWATER CONSTRUCTION NOTES

MINIMUM BMP REQUIREMENTS FOR CONSTRUCTION ACTIVITIES FOR ALL DEVELOPMENT CONSTRUCTION PROJECTS.

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OR EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCE OF WIND AND WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTINGS AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OR RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPE WITH DISTURBED SOILS OR DENIVED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- ADDITIONAL BMPs WILL BE IMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS.

WM-1 MATERIAL STORAGE AND DELIVERY
PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACTICES AND SCHEDULE PROPOSED FOR THIS AREA.

WM-2 MATERIAL USE
HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDLED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRAINING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.

WM-4 SPILL PREVENTION AND CONTROL
IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS, BY WHICH ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSSED OF.

WM-5 SOLID WASTE MANAGEMENT
PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAINMENT. CONTAINERS ARE REQUIRED TO PROTECT WASTE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.

WM-6 HAZARDOUS WASTE MANAGEMENT
HAZARDOUS MATERIALS MUST BE DISPOSSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.

WM-7 CONTAMINATED SOIL MANAGEMENT
PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRECONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND PREMEDITATING CONTAMINATED SOIL PROMPTLY.

STORMWATER CONSTRUCTION NOTES CONT.

WM-3 CONCRETE WASTE MANAGEMENT
STORE DRY AND WET MATERIALS UNDER COVER. AVOID ONSITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON SITE SHALL SET-UP, BE BROKEN APART, AND DISPOSSED OF PROPERLY. CONTAINMENT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.

WM-4 SANITARY/SEPTIC WASTE MANAGEMENT
UNTREATED RAW WASTEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITARY SEWER FACILITIES ON SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.

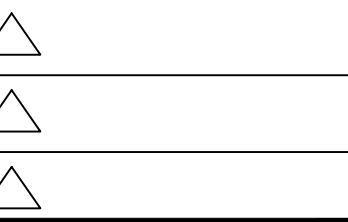
TC-1 STABILIZED CONSTRUCTION ENTRANCE
A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERTY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE OF ROCK OR PAVED.

SE-1 SILT FENCE / SE-3 SEDIMENT TRAP / SE-8 SAND BAGS
ERODED SEDIMENTS MUST BE RETAINED ONSITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. MAY BE WAIVED AT THE SOLE DISCRETION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL BMPs ARE DEEMED SUFFICIENT.



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CIVIL NOTES



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C1.0
SHEET 1 OF 4

GENERAL NOTES

VICINITY MAP					PROJECT DATA					PROJECT DIRECTORY					GRADING INFORMATION					SHEET INDEX																																																				
					<p>PROJECT LOCATION 1655 RIDGEMORE DRIVE PALM SPRINGS, CA 92264</p> <p>LEGAL DESCRIPTION APN NUMBER: 686-412-003 TRACT #: 3600 LOT/PARCEL: 15</p> <p>PROJECT INFORMATION LOT SIZE: 0.58 ACRES PROPOSED IMPERMEABLE AREA: 1033 SQ.FT. CONSTRUCTION TYPE: V-B</p>					<p>OWNER RIKER 1655 RIDGEMORE DRIVE PALM SPRINGS, CA 92264</p> <p>PROJECT DESIGNER MDESIGN GROUP 75145 ST CHARLES PLACE #1 PALM DESERT, CA 92211</p> <p>CIVIL ENGINEER FABIAN MENDOZA, P.E. EDnC, INC. P.O. BOX 2305 NORWALK, CA 90651 (562) 412-8544</p>					<table border="1"> <thead> <tr> <th colspan="5">GRADING SUMMARY</th> </tr> <tr> <th></th> <th>WITHIN BUILDING FOOTPRINT</th> <th>OUTSIDE FOOTPRINT</th> <th>REMOVE AND RECOMPACT</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>CUT</td> <td>166.58 CU.YD.</td> <td>35.08 CU.YD.</td> <td>201.66 CU.YD.</td> <td>201.66 CU.YD.</td> </tr> <tr> <td>FILL</td> <td>10.14 CU.YD.</td> <td>143.70 CU.YD.</td> <td>203.84 CU.YD.</td> <td>203.84 CU.YD.</td> </tr> <tr> <td></td> <td></td> <td></td> <td>NET</td> <td>3 CU.YD. FILL</td> </tr> </tbody> </table>					GRADING SUMMARY						WITHIN BUILDING FOOTPRINT	OUTSIDE FOOTPRINT	REMOVE AND RECOMPACT	TOTAL	CUT	166.58 CU.YD.	35.08 CU.YD.	201.66 CU.YD.	201.66 CU.YD.	FILL	10.14 CU.YD.	143.70 CU.YD.	203.84 CU.YD.	203.84 CU.YD.				NET	3 CU.YD. FILL	<table border="1"> <thead> <tr> <th>SHEET</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>C1.0</td> <td>CIVIL NOTES</td> </tr> <tr> <td>C2.0</td> <td>GRADING PLAN</td> </tr> <tr> <td>C3.0</td> <td>GRADING SECTIONS</td> </tr> <tr> <td>C3.1</td> <td>GRADING SECTIONS</td> </tr> </tbody> </table>					SHEET	DESCRIPTION	C1.0	CIVIL NOTES	C2.0	GRADING PLAN	C3.0	GRADING SECTIONS	C3.1	GRADING SECTIONS	<table border="1"> <thead> <tr> <th colspan="2">SHEET INDEX</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>3</td> </tr> <tr> <td>4</td> <td>5</td> </tr> <tr> <td>6</td> <td></td> </tr> </tbody> </table>					SHEET INDEX		2	3	4	5	6	
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GRADING PLAN LEGEND

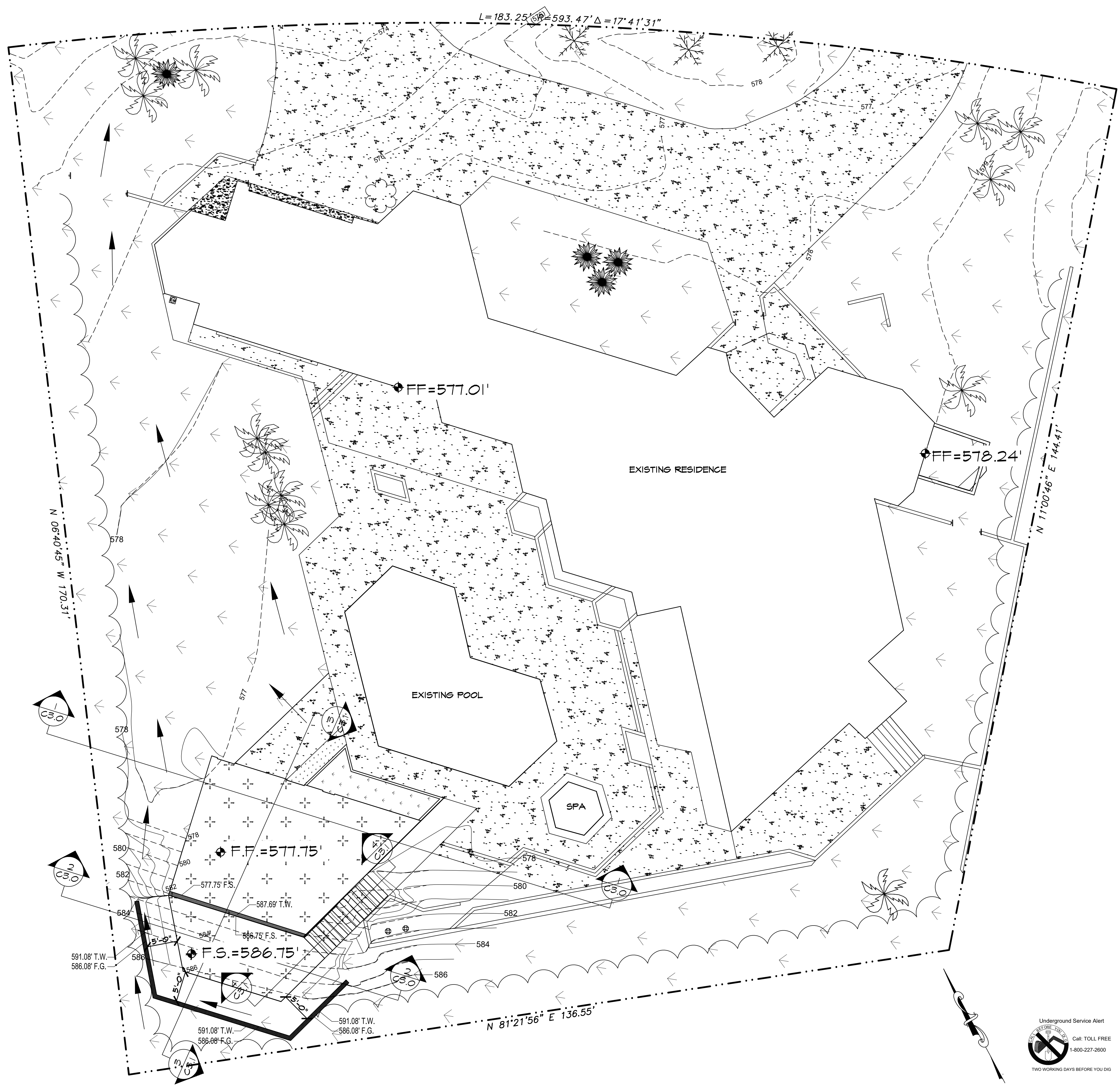
	PROPERTY LINE
	EXISTING CONTOUR LINE
	NEW CONTOUR LINE
	DIRECTION OF FLOW
	TREE
	HARDSCAPE
	NEW CONCRETE
	LANDSCAPE
	PROPOSED STRUCTURE
	EXISTING STRUCTURE
	RETAINING WALL
	CONCRETE SCREEN WALL

ABBREVIATIONS

F.F.	ELEVATION AT TOP OF FINISHED FLOOR
F.S.	ELEVATION AT TOP OF FINISHED SURFACE
F.G.	ELEVATION AT TOP OF FINISHED GRADE
T.C.	ELEVATION AT TOP OF CURB
N.G.	NATURAL GRADE
L.S.	LANDSCAPING
T.C.	TOP OF CURB
F.L.	FLOWLINE
T.W.	TOP OF WALL
B.W.	BOTTOM OF WALL
F.S.	FINISH SURFACE
F.G.	FINISH GRADE
∅	DIAMETER
MIN.	MINIMUM
H.	HIGH
B.W.	BACK OF WALK
INV.	INVERT ELEVATION

GRADING PLAN NOTES

- ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED.
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- MAN MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FT BELOW FINISH GRADE AND 45% OF MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW GRADE UNLESS JUSTIFIED BY SOILS ENGINEER.
- REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE SITE EXCEEDS 60,000 SF, CUT OR FILL SLOPE EXCEED 2:1, CUTS EXCEED 40 FT IN HEIGHT AND WITHIN 20 FT OF PROPERTY LINE, FOUNDATION EXCAVATION BELOW A 1:1 PLANE FROM PROPERTY LINE, PROJECTS INVOLVING UNUSUAL HAZARDS, OR SHORING WORK INCLUDING SLOT-CUTS.
- WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES FROM EXPOSED EARTH SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.



GRADING PLAN

SCALE: 1/8" = 1'-0" |

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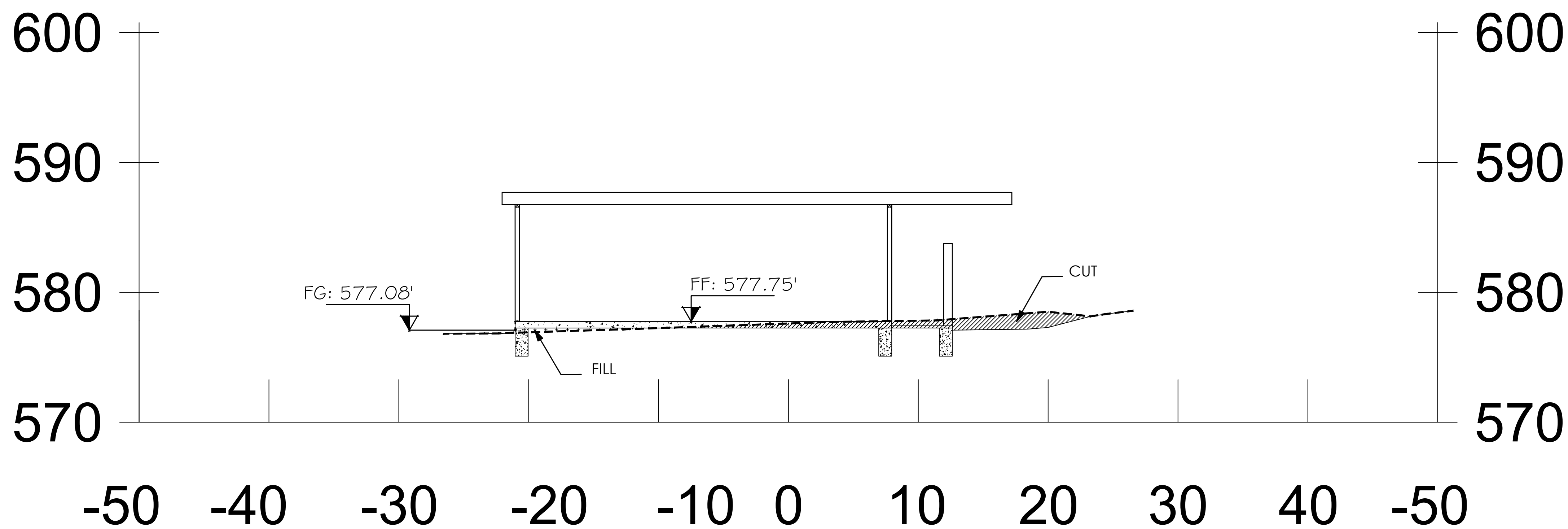
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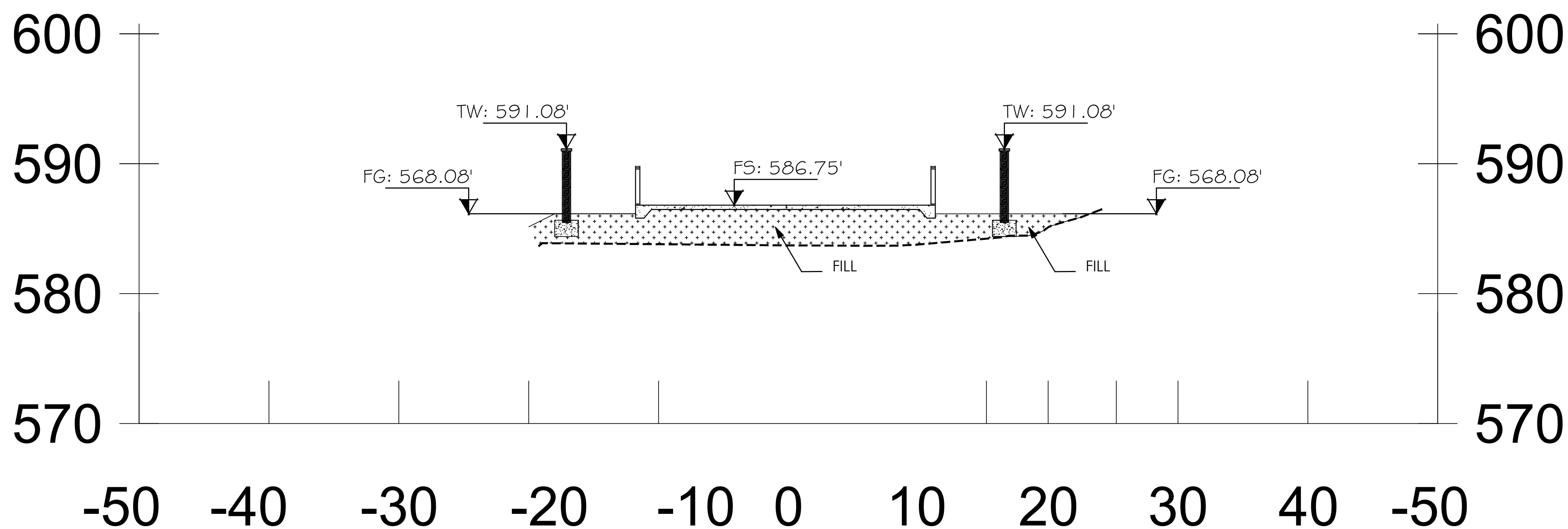


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LEGEND	
---	EXISTING GRADE
—	NEW GRADE
—	NEW FINISHED SURFACE
	CUT AREA
	FILL AREA

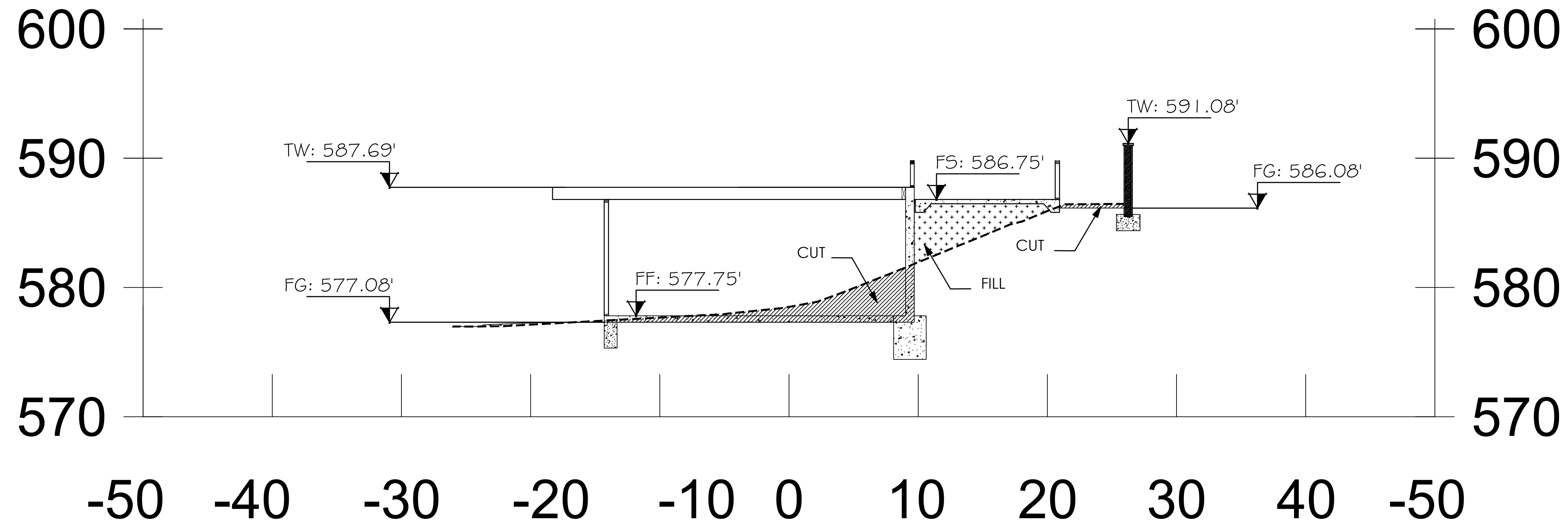
SCALE: 3/16" = 1'-0"



LEGEND	
---	EXISTING GRADE
—	NEW GRADE
—	NEW FINISHED SURFACE
	CUT AREA
	FILL AREA

SCALE: 3/16" = 1'-0"

GRADING SECTION



LEGEND	
---	EXISTING GRADE
—	NEW GRADE
—	NEW FINISHED SURFACE
	CUT AREA
	FILL AREA

GRADING SECTION

SCALE: 3/16" = 1'-0" 3

GRADING SECTION

SCALE: 3/16" = 1'-0" 4

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